
Heritage Advisory Committee

Date: April 13, 2021
Time: 9:30 AM
Location: Online Video Conference

Members

Councillor George Carlson	Ward 11 (Chair)
Councillor Carolyn Parrish	Ward 5
Councillor Stephen Dasko	Ward 1
David Cook	Citizen Member (Vice-Chair)
Alexander Hardy	Citizen Member
James Holmes	Citizen Member
Lisa Small	Citizen Member
Jamie Stevens	Citizen Member
Melissa Stolarz	Citizen Member
Terry Ward	Citizen Member
Matthew Wilkinson	Citizen Member

Participate Virtually and/or via Telephone

Advance registration is required to attend, participate and/or make a comment in the virtual meeting. Questions for Public Question Period are required to be provided to Clerk's staff at least 24 hours in an advance of the meeting. Any materials you wish to show the Committee during your presentation must be provided as an attachment to the email. Links to cloud services will not be accepted. Comments submitted will be considered as public information and entered into public record. Please note the Heritage Advisory Committee will not be streamed or video posted afterwards.

To register, please email martha.cameron@mississauga.ca and for Residents without access to the internet via computer, smartphone or tablet, can register by calling Martha Cameron at 905-615-3200 ext.5438 no later than Friday, April 9, 2021 before 4:00 PM. You will be provided with directions on how to participate from Clerks' staff.

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. **CALL TO ORDER**
2. **APPROVAL OF AGENDA**
3. **DECLARATION OF CONFLICT OF INTEREST**
4. **MINUTES OF PREVIOUS MEETING**
- 4.1. Draft Heritage Advisory Committee Minutes March 9, 2021
5. **DEPUTATIONS - Nil**
6. **PUBLIC QUESTION PERIOD - 15 MINUTES**

Public Comments: Advance registration is required to participate and/or to make comments in the virtual public meeting. Any member of the public interested in speaking to an item listed on the agenda must register by calling 905-615-3200 ext. 5438 or by emailing martha.cameron@mississauga.ca by Friday, April 9, 2021 before 4:00 PM.

Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended:

Heritage Advisory Committee may grant permission to a member of the public to ask a question of Heritage Advisory Committee, with the following provisions:

1. Questions shall be submitted to the Clerk at least 24 hours prior to the meeting;
2. A person is limited to two (2) questions and must pertain specific item on the current agenda and the speaker will state which item the question is related to;
3. The total public question period time is 15 minutes maximum and shall not be extended by the Chair; and
4. Any response not provided at the meeting will be provided in the format of a written response

7. **MATTERS TO BE CONSIDERED**
- 7.1. Request to Demolish a Heritage Listed Property: 1427 Dundas Crescent (Ward 6)
- 7.2. Request to Demolish a Heritage Listed Property: 29 Queen Street South (Ward 11)
- 7.3. Request to Alter a Heritage Designated Property: 875 Enola Avenue (Ward 1)
- 7.4. Lisa Small – Request for Temporary Leave from the Heritage Advisory Committee
- 7.5. Terry Ward – Request for Temporary Leave from the Heritage Advisory Committee
8. **INFORMATION ITEMS**
- 8.1. Alteration to a Listed Heritage Property: 1130 to 1140 Clarkson Road North (Ward 2)
- 8.2. Alteration to a Listed Heritage Property: 1249 Mississauga Road (Ward 2)

9. OTHER BUSINESS

10. DATE OF NEXT MEETING

May 11, 2021

11. ADJOURNMENT

Heritage Advisory Committee

Date: March 9, 2021
Time: 9:30 AM
Location: Online Video Conference

Members Present	Councillor George Carlson	Ward 11 (Chair)
	Councillor Carolyn Parrish	Ward 5
	Councillor Stephen Dasko	Ward 1
	Alexander Hardy	Citizen Member
	James Holmes	Citizen Member
	Jamie Stevens	Citizen Member
	Matthew Wilkinson	Citizen Member
Members Absent	Dave Cook	Vice-Chair
	Lisa Small	Citizen Member
	Terry Ward	Citizen Member
	Melissa Stolarz	Citizen Member

Staff Present

John Dunlop, Manager, Heritage and Indigenous Relations
Paula Wubbenhorst, Heritage Planner
Megan Piercey, Legislative Coordinator
Martha Cameron, Legislative Coordinator

1. CALL TO ORDER – 9:30 AM

2. APPROVAL OF AGENDA

Approved (Councillor Parrish)

3. DECLARATION OF CONFLICT OF INTEREST - Nil

4. MINUTES OF PREVIOUS MEETING

4.1 Heritage Advisory Committee Minutes – February 9, 2021

Approved (J. Holmes)

5. DEPUTATIONS - Nil

6. PUBLIC QUESTION PERIOD - 15 Minute Limit - Nil

7. CONSENT AGENDA

No items moved during the consent agenda.

8. MATTERS TO BE CONSIDERED

8.1 Request to Demolish a Heritage Listed Property: 451 Temagami Crescent (Ward 2)

No discussion took place regarding this item.

RECOMMENDATION HAC-0018-2021

Moved By M. Wilkinson

That the property at 451 Temagami, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated February 23, 2021.

Approved

8.2 Request to Alter a Heritage Designated Property: 42 Peter Street South (Ward 1)

Councillor Carlson advised that both items 8.2 and item 9.1 are to be discussed together, as item 9.1 is a request that the drawings in the Corporate Report be replaced. Matthew Wilkinson, Citizen Member advised that the revised drawings were complimentary to the area, and stated that the plan was done well.

RECOMMENDATION HAC-0019-2021

Moved By M. Wilkinson

1. That the request to alter the heritage designated property at 42 Peter Street South as per the Corporate Report from the Commissioner of Community Services dated February 23, 2021, be approved.
2. That the Memorandum dated February 26, 2021 from John Dunlop, Manager, Heritage Planning and Indigenous Relations, entitled "42 Peter Street South (Ward 1)" be received.
3. That the drawings attached in the Memorandum dated February 26, 2021 from John Dunlop, Manager, Heritage Planning and Indigenous Relations entitled "42 Peter Street South (Ward 1)" replace the drawings that form part of the Corporate Report entitled "Request to Alter a Heritage Designated Property: 42 Peter Street South (Ward 1)".

Approved, as amended

9. INFORMATION ITEMS

9.1 42 Peter Street South (Ward 1)

This item was discussed and approved with item 8.2.

9.2 Alteration to a Listed Heritage Property: 3265 Principal's Road (Ward 8)

Matthew Wilkinson, Citizen Member addressed concerns about the impact of the development on the column and plaque commemorating the moon landing. Mr. Wilkinson inquired if the sculpture and plaque could be relocated if the development blocks them from view.

Paula Wubbenhorst, Heritage Planner advised that staff would investigate and report back to the Committee.

RECOMMENDATION HAC-0020-2021

Moved by M. Wilkinson

That the Memorandum dated February 1, 2021 by Paul Damaso, Director, Culture Division regarding 3265 Principals Road be received for information.
(Ward 8)

Received

10. OTHER BUSINESS

John Dunlop, Manager, Heritage Planning and Indigenous Relations advised that Andrew Douglas, would be stepping into the role of Heritage Analyst, as well as his continued work on the heritage grant program.

Mr. Dunlop advised that the cultural heritage inventory online survey was launched, and staff have received several responses. Mr. Dunlop advised that he would provide committee members with the link to the survey to complete and share.

Mr. Dunlop advised that the zoning by-law will be amended to correct the zoning for gravel driveways in order to acknowledge heritage characteristics. Mr. Dunlop further advised that once the zoning by-law amendment is approved, residents of Meadowvale Village Heritage Conservation District can have gravel driveways, if they choose, without a Committee of Adjustment process.

Councillor Parrish provided an update on the Avro Arrow project, which included an update on the drawing completion and the funding status.

Councillor Parrish provided an update on the motion to stop Highway 413 and advised that the motion will be voted on at the Region of Peel on March 11, 2021.

Councillor Dasko welcomed Martha Cameron as new Legislative Coordinator to the Heritage Advisory Committee.

11. DATE OF NEXT MEETING – April 13, 2021
12. ADJOURNMENT – 9:47 AM (M. Wilkinson)

City of Mississauga Corporate Report



<p>Date: March 30, 2021</p> <p>To: Chair and Members of Heritage Advisory Committee</p> <p>From: Shari Lichterman, CPA, CMA, Commissioner of Community Services</p>	<p>Originator's files:</p> <hr/> <p>Meeting date: April 13, 2021</p>
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Subject

Request to Demolish a Heritage Listed Property: 1427 Dundas Crescent (Ward 6)

Recommendation

That the property at 1427 Dundas Crescent, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated March 30, 2021.

Executive Summary

- The proposal is to demolish the existing structure at 1427 Dundas Crescent and sever the property into three building lots. The property is listed on the City's Heritage Register.
- The property is located within the Credit River Corridor Cultural Heritage Landscape.
- The existing house is a 20th Century bungalow, and does not meet the criteria for designation under the *Ontario Heritage Act*.
- The severance of the property will have no impact on the Credit River Corridor CHL.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

Comments

The owner of the subject property has submitted a heritage application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Credit River Corridor cultural landscape, recognized as a rare natural landmark. The Heritage Impact Assessment and Arborist Report are attached as Appendices 1 and 2 respectively. It is the consultant's conclusion that the house at 1427 Dundas Crescent is not worthy of heritage designation. Staff concurs with this opinion.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 1427 Dundas Crescent has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a Heritage Impact Assessment that provides information which does not support the building's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Arborist Report



Shari Lichterman, CPA, CMA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

W.E. OUGHTRED & ASSOCIATES INC.

Heritage Impact Assessment

1427 Dundas Crescent

January 27, 2021

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Introduction

This Heritage Impact Assessment (HIA) has been prepared by W.E. Oughtred & Associates Inc. as a requirement for obtaining a heritage permit for the demolition of the existing dwelling. 1427 Dundas Crescent is identified as part of the Credit River Corridor. The subject property abuts the Credit River. The proposal is the severance of 1427 Dundas Crescent into three (3) residential lots.

The Credit River Corridor is noted as a Cultural Landscape for a variety of reasons. The corridor is a scenic rare natural landmark in the city. The 58 mile river cuts through both the Peel and Iroquois Plains. In some of these areas underlying Paleozoic bedrock of shale and sandstone is exposed. There are also heavily treed and marshy areas. Benches and alluvial terraces provide for a variety of recreational opportunities. The Mississauga's settled on the banks of the river until they were displaced by European settlers. Pioneers established mills on the river in Meadowvale Village, Streetsville and Erindale. Some remain. Thus, the river is not only ecologically significant, it is also an invaluable archaeological site that yields information about our native, pioneer and industrial history, as well as a link to the historic community development along the river corridor.¹

This report has been prepared in accordance with the City of Mississauga Terms of Reference for Heritage Impact Assessments (June, 2017). A site visit was undertaken on December 23, 2020 to assess and document the property and its relationship to the neighbourhood.

¹ City of Mississauga

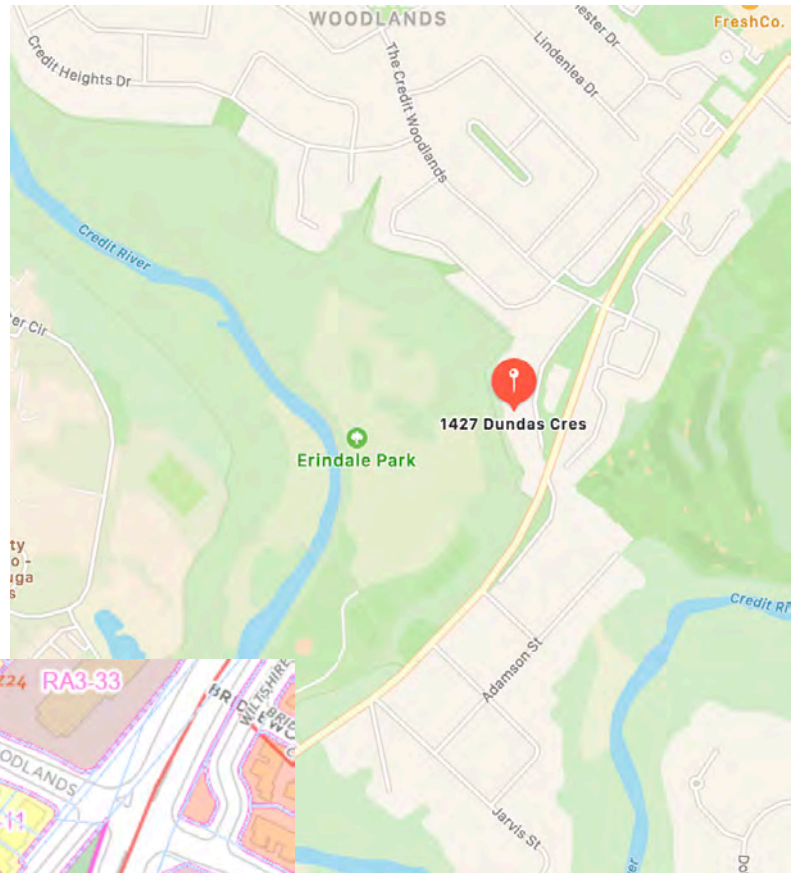
Location and Site Description

Municipal Address: 1427
Dundas Crescent

Legal Description: Part of Lot 6,
Range 1, SDS and part of Lot 6, Range
1, NDS and part of Road Allowance
between Range 1, NDS and Range 1,
SDS

Lot Area: 6,923.66 (City
Records).

General Location: North of

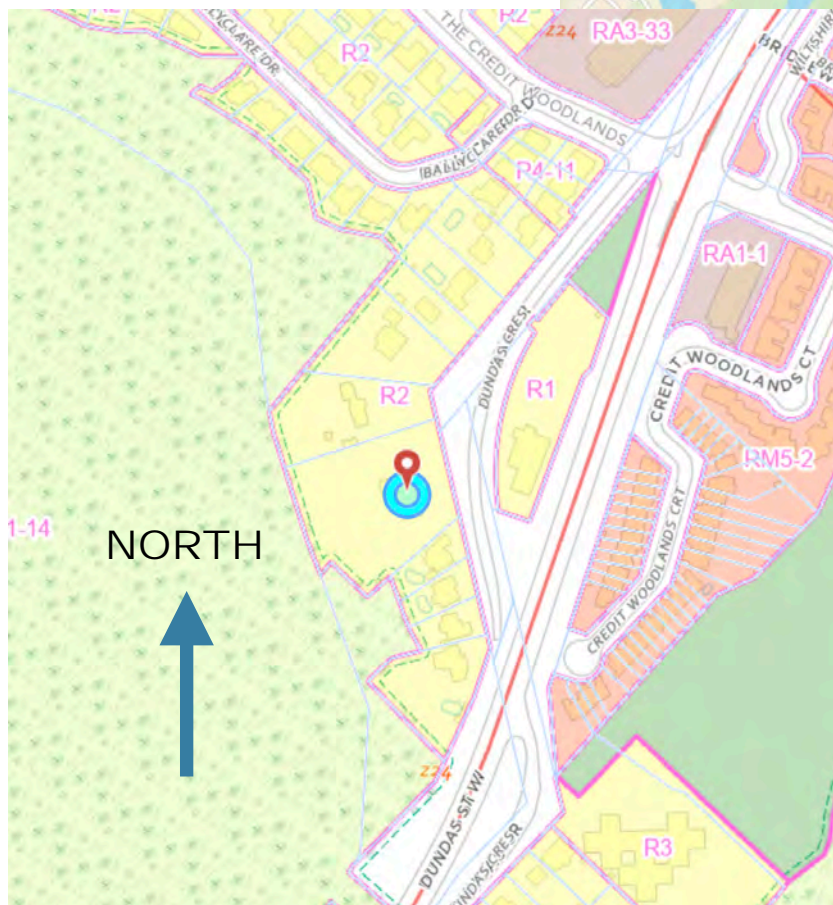


Dundas Street, East of
Mississauga Road

FIGURE 1: GENERAL SITE LOCATION

1427 Dundas Crescent is
located on the west side of
Dundas Crescent, backing
onto Erindale Park and the
Credit River.

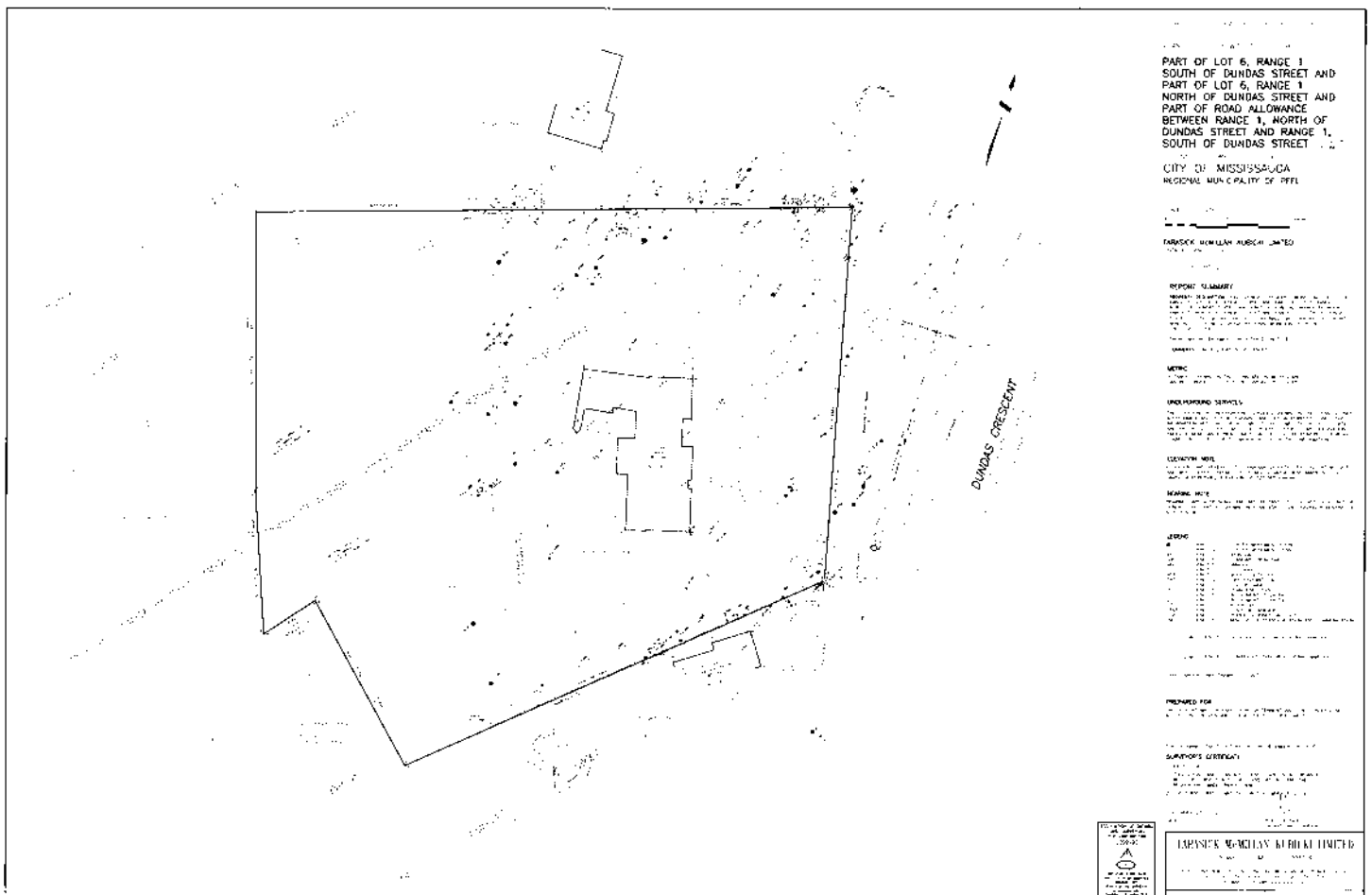
FIGURE 2: SITE LOCATION



The subject property is an irregularly shaped lot having an area of 6,923.66sm (according to City Records).

A copy of the topographic survey is attached. The survey was prepared September 2019 by Tarasick McMillan Kubicki Limited.

FIGURE 3: TOPOGRAPHIC SURVEY



Property History

TABLE 1: TITLE CHAIN

A summary of the title chain from the Crown to the current owners was undertaken by Stephen Nott Conveyancing Services.

DATE	GRANTOR	GRANTEE
	Lot 6, Range 1, SDS - outlined in red on the attached plan	
November 6, 1821	The Crown	Samuel Smith
August 10, 1829	John B. Robinson	William Proudfoot
June 28, 1832	Heleen Adamson	William Proudfoot
July 28, 1832	William Proudfoot	Alexander Proudfoot
March 20, 1854	Alexander Proudfoot	James McGrath
February 5, 1861	James McGrath	Christina Wilson
May 1, 1899	Christina W. Noble, nee Dixie	Mary A. Sprowl
August 26, 1904	Mary A. Sprowl, nee Dixie	Arthur M. Adamson Henry H. Adamson
September 26, 1904	William Skynner	Wm. H. Draper
September 26, 1904	William H. Draper	D. Minne Gregg
January 11, 1908	Minnie Gregg Estate	Christopher E. Bunting
April 27, 1910	Christopher E. Bunting	Harriet C. Bunting
August 1, 1910	Harriet C. Bunting	Edith A. Draper
June 20, 1940	Edith A. Draper	Delia N. Rylance Peter H. Rylance
September 14, 1945	Delia Rylance	George F. Daly
November 30, 1955	George F. Daly	Charles T. Sharpe Lucy V. Sharpe

DATE	GRANTOR	GRANTEE
October 30, 1959	Charles T. Sharpe Lucy V. Sharpe	Current owner
	Lot 6, Range 1, NDS	
November 6, 1821	The Crown	John Samuel Smith John B. Robertson
April 7, 1834	Rev. James Magrath	Thomas W. Magrath
October 7, 1843	John B. Robinson	Rev. James Magrath
	Bryce R. Taylor	Timothy C. Tickner
April 16, 1849	Rev. James Magrath	Thomas W. Magrath
August 13, 1851	Rev. James Magrath	Thomas W. Magrath
January 12, 1857	James W. Magrath	William Dickson
January 12, 1857 Mortgage	William Dickson	Thomas W. Magrath
January 3, 1862	James Magrath	Thomas W. Magrath
April 8, 1873	Emma A. Dickson	Tomas W. McGrath
April 8, 1873	Thomas W. McGrath	Wm. Hall
April 17, 1873	Thomas W. McGrath	Wm. Hall
December 27, 1875	Wm. Hall	Wm. McGrath
July 23, 1886	Wm. Hall	Wm. McGrath
May 4, 1887	William Magrath	Marian C.C. Hector
March 31, 1896	Wm. Magrath Estate	Marianne C.C. Hector
April 16, 1896	Arthur B. Harris et al Executors	Marianne C. C. Hector
August 19, 1919	Marian C. Hector	Wm. V. Watson
October 25, 1947	William V. Watson Estate	Charles Collard Emily Collard

DATE	GRANTOR	GRANTEE
March 27, 1962	Charles Collard Emily Collard	Current owner
	Part of Road Allowance	
October 4, 1865	The Municipal Council of the Township of Toronto	The Corporation of School Section No. 3 of The Township of Toronto
	BREAK IN CHAIN - RECORDS UNVAILABLE	
August 1, 1942	Mabel C. Jamieson	Delia N. Rylance Peter H. Rylance
September 14, 1945	Delia Rylance	George F. Daly
November 30, 1955	George F. Daly	Charles T. Sharpe Lucy V. Sharpe
October 20, 1959	Charles T. Sharpe Lucy V. Sharpe	Current owner

The plans below depict the separate portions of the lot, prior to merger in 1962.

Red - Portion of Lot 6, NDS

Blue - Portion of Road Allowance

Yellow - Portion of Lot 6, SDS.

Green - Portion of road allowance to adjacent property

The house is located on this yellow portion of the lot. It was merged with the road allowance in 1959. The portion of the lot north of Dundas, depicted in red below, was obtained in 1961 and merged with the other portion to create the lot it is today. Further, in consultation with the existing owner's daughter, it was learned that the road allowance property line was adjusted so that the adjacent property could gain more frontage onto Dundas Crescent. See the attached letter from Maurice Foster, dated May 30th, 1962.

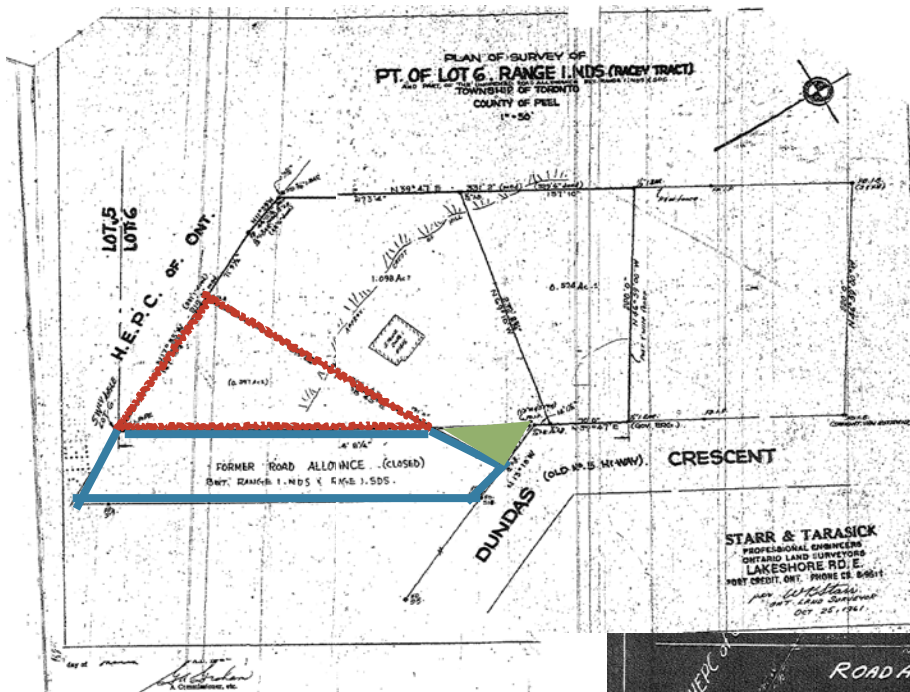


FIGURE 4: SURVEY OF PART OF LOT 6,
NDS, STARR & TARASICK, 1961

FIGURE 5: SURVEY OF PART OF LOT 6,
SDS, JAMES & WANDABSENSE, 1955

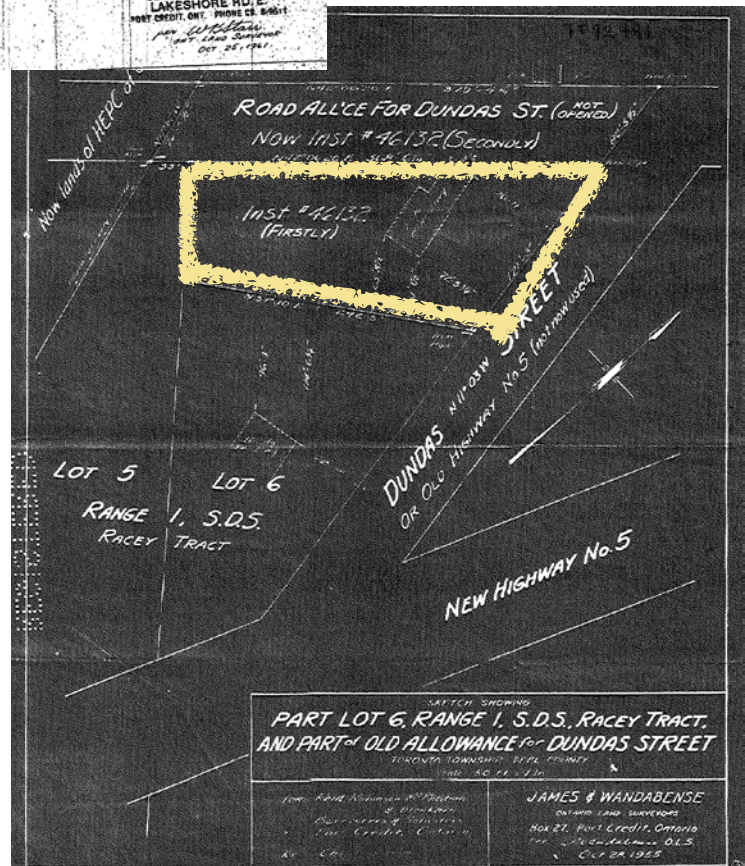


FIGURE 6: LAWYER LETTER RE TRANSFER

RESIDENCE TELEPHONE
277-8956BUSINESS TELEPHONE
TA. 6-1662

Maurice C. Foster, B.A.
BARRISTER & SOLICITOR

214 QUEEN ST. SOUTH
STREETSVILLE - ONTARIO

May 30th, 1962.

Mrs. Joene Tennent,
Dundas Crescent,
Erindale, Ontario.

Dear Mrs. Tennent: RE: Charles Collard and Exchanged Lands

I am pleased to enclose herewith your deed from Charles and Emily Collard which was registered in your name in the Registry Office for the Registry Division of the County of Peel as number 144554 for the Township of Toronto. There was some considerable delay in completing this transaction but same has now been satisfactorily concluded.

Attached to your deed is a copy of the survey made by Messrs. Starr and Tarasick, Ontario Land Surveyors, dated October 25th, 1961, which indicates the location of the parcel of land which you received from Mr. Collard.

As discussed with you, Mr. Collard has seen to the payment of all expenses in connection with the exchange of these properties. I appreciate very much your co-operation in this matter.

Yours very truly,

*Maurice C. Foster*Maurice C. Foster. *pc jh*MCF/jfh
Encl.

*Deed & Print
deposited Vault 29 Sept 64*

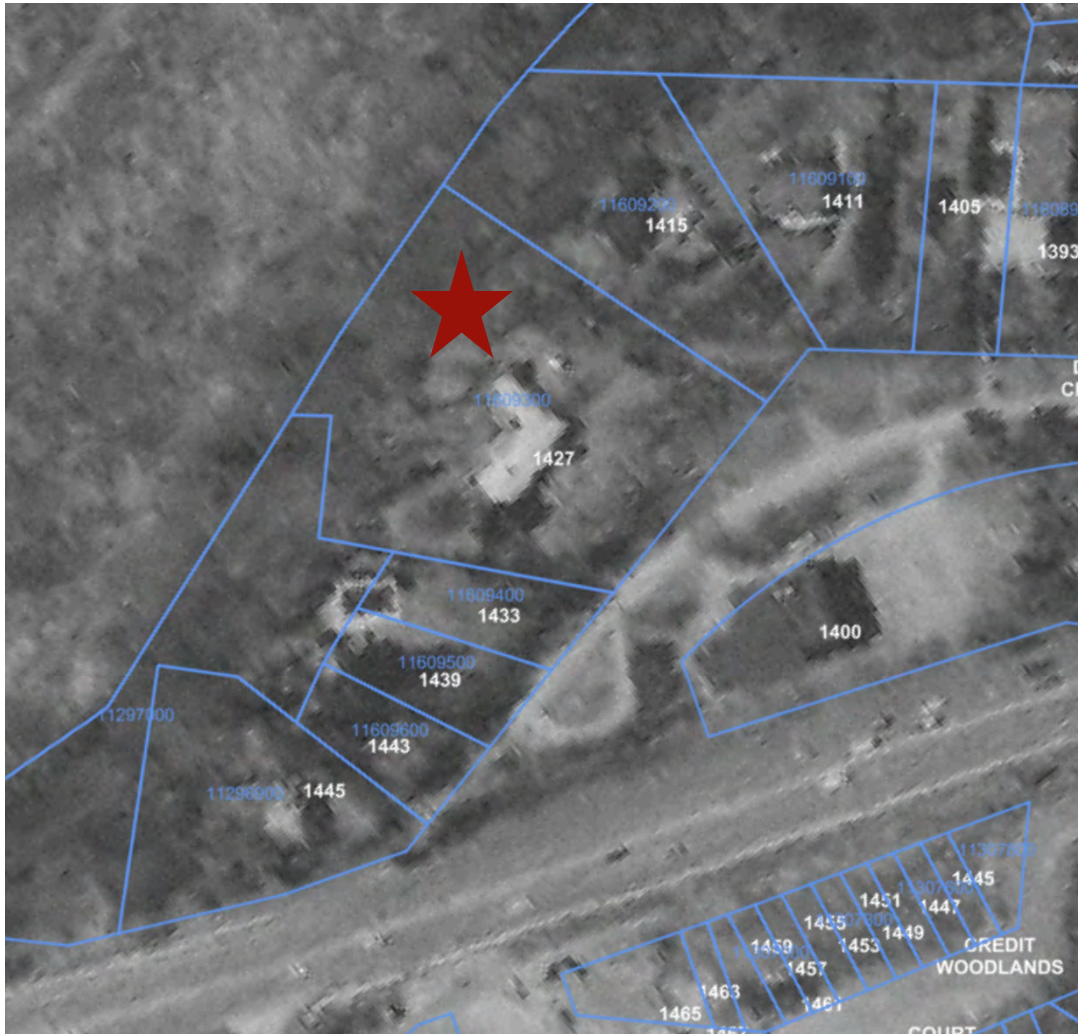
FIGURE 7: 1944 AERIAL IMAGE

The subject property is identified by the red star. You can faintly make out the house. Please note that Dundas Street had not yet been realigned yet.

FIGURE 8: 1954 AERIAL IMAGE

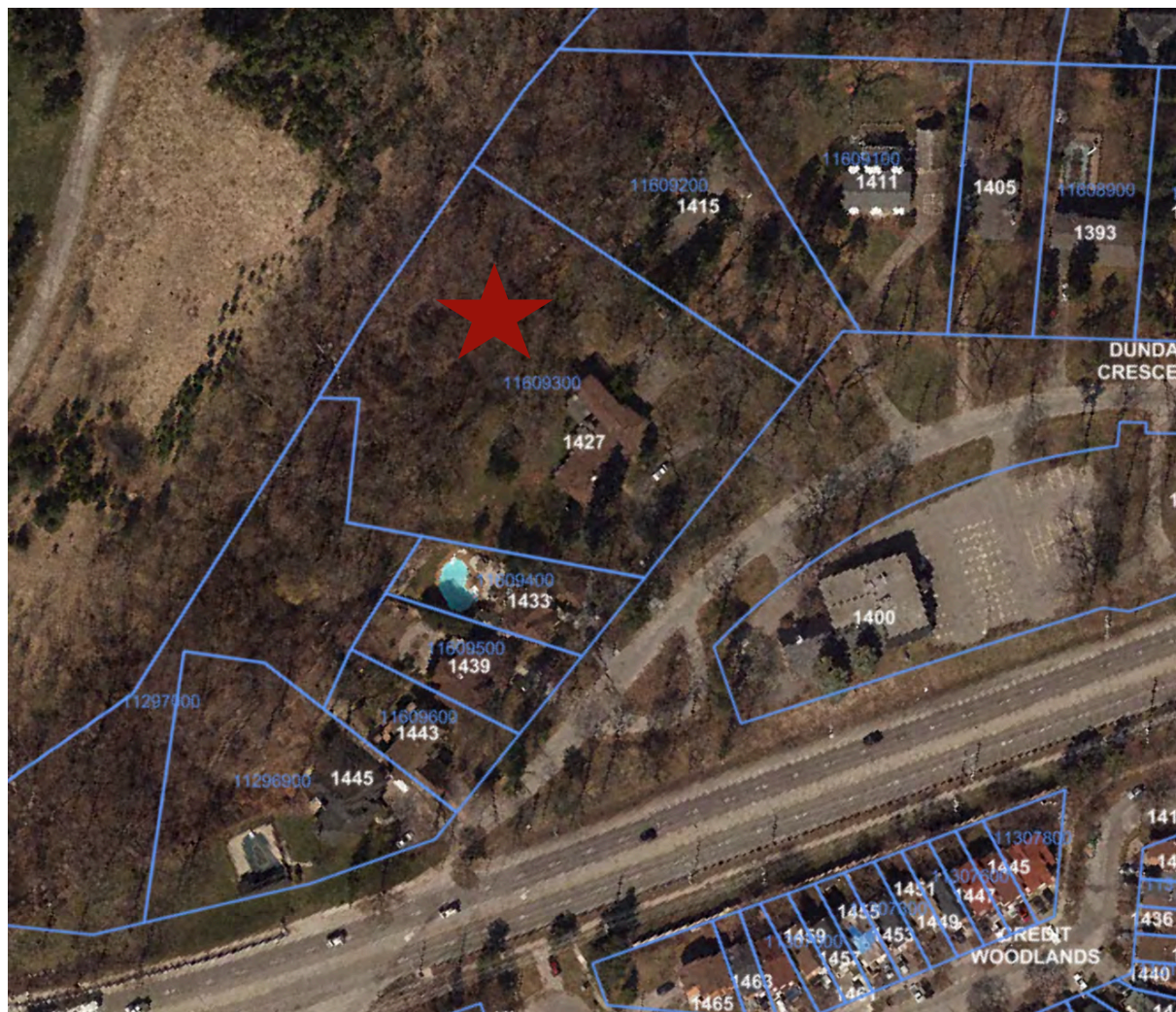
The subject property is identified by the red star. You can faintly make out the house. Dundas Street has now been realigned. Dundas Street was straightened, raised and widened between 1948 and 1949.²

² Matthew Wilkinson, Heritage Mississauga

FIGURE 9: 1980 AERIAL IMAGE

The subject property is identified by the red star. All additions have been completed by 1974. The house has remained in this configuration since then.

FIGURE 10 : 2020 AERIAL IMAGE



The subject property is identified by the red star.

Present day conditions. The severance proposal will be in keeping with the lots to the south.

Existing Exterior Photos**PHOTO 1 & 2: FRONT ELEVATION****PHOTO 3: SOUTH ELEVATION**

The change from brick to siding indicates the rear addition in approximately 1950.

This is the south end of the property looking north.



PHOTO 4 & 5: NORTH ELEVATION

This is the north end of the property

looking south.



PHOTO 6: PARTIAL REAR ELEVATION





PHOTO 7, 8 AND 9: REAR ELEVATION VIEWS



The exterior of the dwelling is a combination of brick, aluminum siding and wood panel siding. Windows and doors can be dated to the time of the additions.

The property was purchased in 1959. The house when they purchased it consist of the original dwelling (red), the rear addition (green) and the 1955 addition (dark blue). The owner did the second rear addition in 1962 (teal) and the final addition in 1972 (brown).

FIGURE 10: ADDITIONS

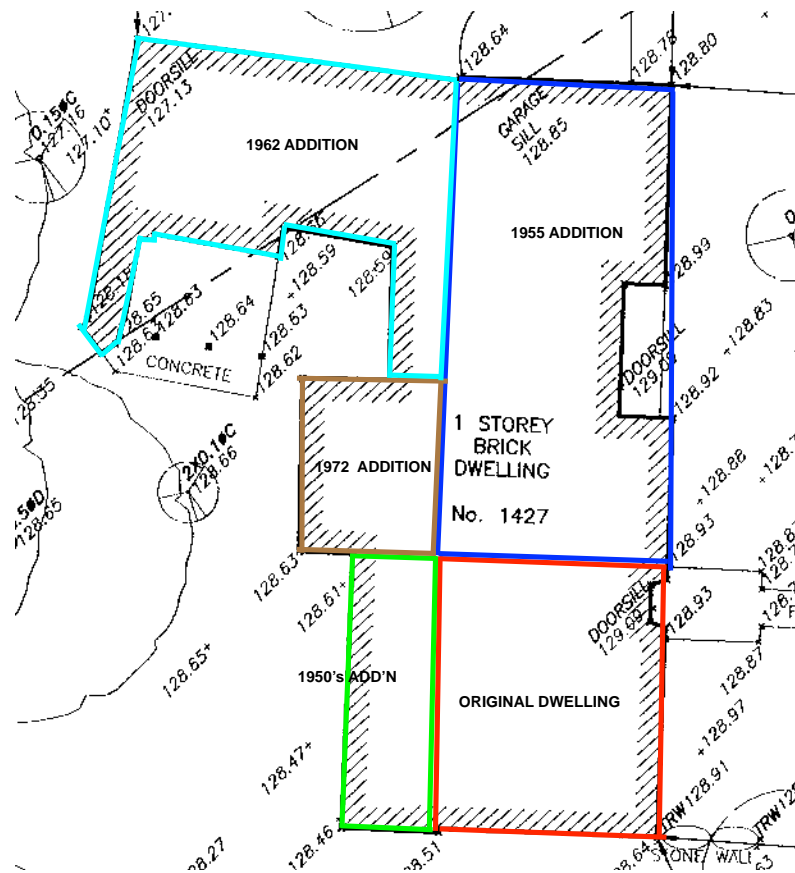




PHOTO 10: FRONT ENTRY

PHOTO 11: LOOKING FROM THE FRONT ENTRY THROUGH TO THE LIVING AREA





**PHOTO 12: KITCHEN
LOOKING THROUGH TO THE
FRONT ENTRY**

**PHOTO 13: KITCHEN
LOOKING THROUGH TO THE
BACK HALLWAY**





PHOTO 14: DETAIL OF COUNTERTOP

Yellow formica edged in aluminum.

PHOTO 15: ORIGINAL STOVE



**PHOTOS 20 AND 21:
SUNROOM ADDITION**

This is the 1972 addition as noted in Figure 10.





**PHOTO 22: MASTER
BEDROOM**



PHOTO 23: MASTER BATH (ABOVE)



PHOTO 24: HALLWAY (ABOVE RIGHT)

The master bath is off the hallway. The hallway leads to the music room, photo number 16. The hallway is actually part of the ensuite as there are built in closets.



PHOTO 25: OPEN AREA (ABOVE)

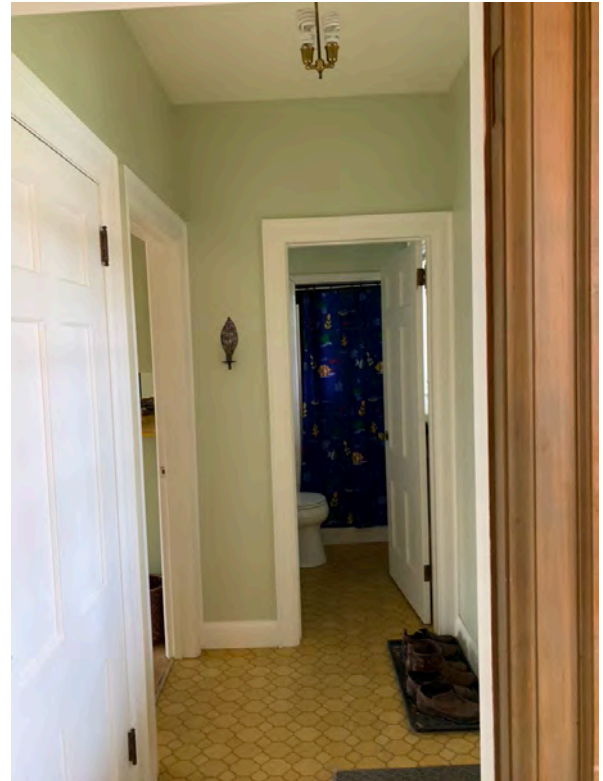


PHOTO 26: BACK HALLWAY



PHOTO 27: BATHROOM

The wing addition (as the family called it) of 1962 added four (4) bedrooms and a bathroom. Two bedrooms and a bathroom on the partial second floor, and two bedrooms and a storage area in the lower level.



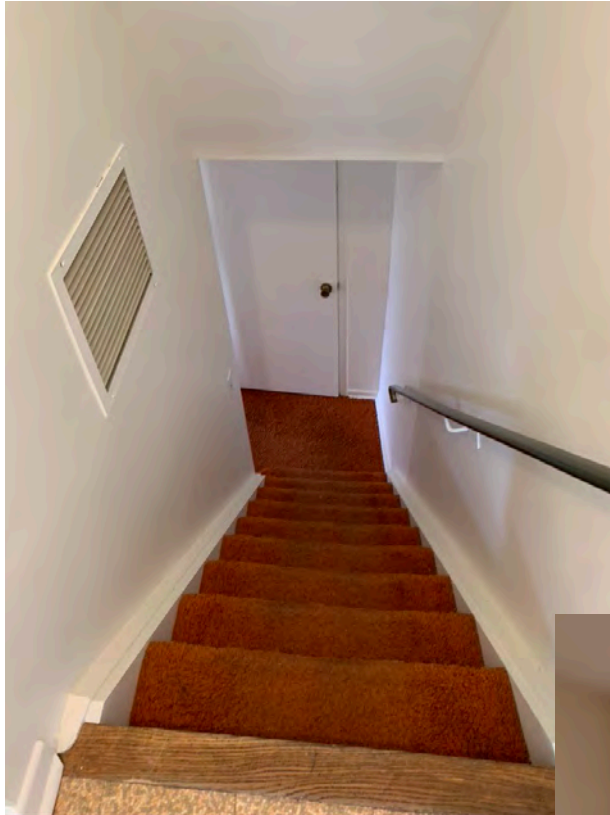
PHOTO 28: HALLWAY OF ANNEX ADDITION



PHOTO 29: BEDROOM



PHOTO 30: BATHROOM



**PHOTO 31: STAIRWAY TO BASEMENT -
ANNEX ADDITION**

PHOTOS 32 AND 33: BASEMENT BEDROOMS



The proposal is to sever the existing lot into three (3) building lots. These lots are in keeping with the adjacent lots in the area.

FIGURE 11: PROPOSED SEVERANCE SKETCH



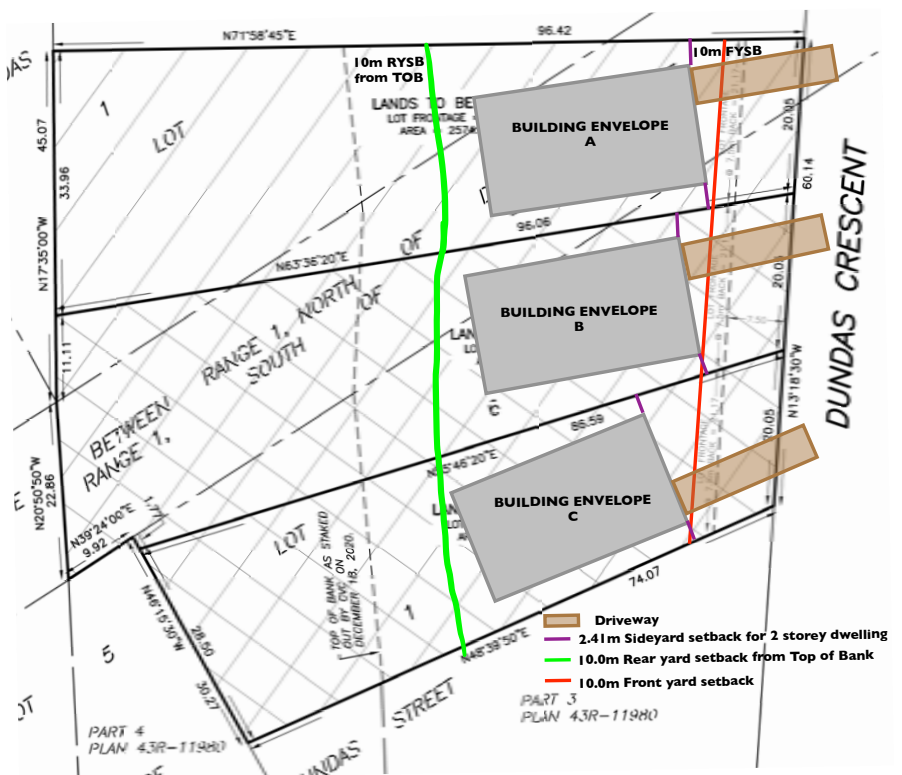
TABLE 2: ZONING PROVISIONS

Zoning Provision	Requirement	Lot A	Lot B	Lot C
Lot Area	695m ²	2574.6m ²	2472.0m ²	1862.2m ²
Lot Frontage	18.0m	21.17m	21.17m	21.17m
Minimum Front Yard Setback	9.0m	9.0m	9.0m	9.0m
Minimum Interior Side Yard	1.8m + 0.61m for each additional storey	2.41m	2.41m	2.41m
Minimum Rear Yard Setback	7.5M	7.5m	7.5m	7.5m
Maximum driveway width	6.0m	6.0m	6.0m	6.0m

FIGURE 12: BUILDING ENVELOPES

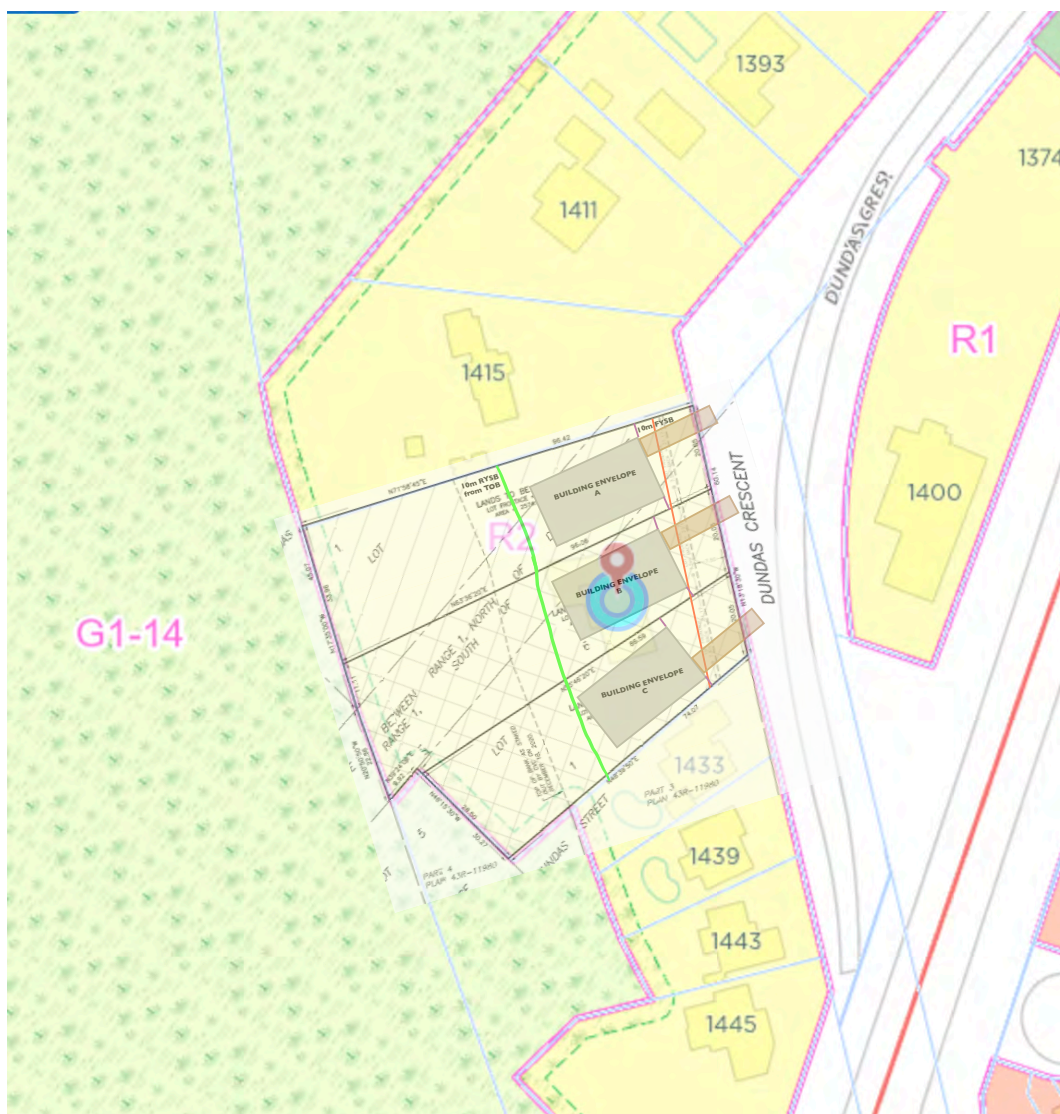
The subject property is zone R2. The zoning provisions are outlined above.

There are no restrictions on dwelling depth or lot coverage within the R2 Zoning. We are proposing a setback of 10.0m from the top of bank to the rear of the dwelling, exceeding the minimum requirement.



It is assumed that the dwellings will be built to comply with the regulations of the by-law. At this time, there are no design proposals, as such, we have included a plan indicating building envelopes, setbacks and potential driveway locations.

FIGURE 13: NEIGHBOURHOOD CONTEXT



The subject property is designated as Residential Low Density I, within the City of Mississauga's Official Plan and is situated within the Erindale Neighbourhood. The Urban Design Policies, Section 16.18.1 for Infill Housing include the following guidelines and stipulate: 16.18.1.1 For development of all detached dwellings on lands identified in the Site Plan Control By-law, the following will apply:

- a. preserve and enhance the generous front, rear and side yard setbacks;
- b. ensure that existing grades and drainage conditions are preserved;
- c. encourage new housing to fit the scale and character of the surrounding area, and take advantage of the features of a particular site, i.e. topography, contours, mature vegetation;
- d. garages should be recessed or located behind the main face of the house. Alternatively, garages should be located in the rear of the property;
- e. ensure that new development has minimal impact on its adjacent neighbours with respect to overshadowing and overlook;
- f. encourage buildings to be one to two storeys in height. The design of the building should de-emphasize the height of the house and be designed as a composition of small architectural elements, i.e. projecting dormers and bay windows;
- g. reduce the hard surface areas in the front yard;
- h. existing trees, large groupings or areas of vegetation and landscape features such as retaining walls, fences, hedgerows, etc. should be preserved and enhanced, along with the maintenance of topographic features and drainage systems;

i. large accessory structures will be discouraged, and any accessory structures will be located in side and rear yards only;

j. house designs which fit with the scale and character of the local area, and take advantage of the particular site are encouraged. The use of standard, repeat designs is strongly discouraged; and

k. the building mass, side yards and rear yards should respect and relate to those of adjacent lots.³

TABLE 3: EVALUATION ACCORDING TO ONTARIO REGULATION 09/06

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	It has had multiple additions over the years. It does not represent a rare or unique representation of a construction method or material.
b) Displays a high degree of craftsmanship or artistic merit	NO	It is constructed of standard building materials and does not display a high degree of craftsmanship or artistic merit
c) Demonstrates a high degree of technical or scientific achievement	NO	This home reflects the era in which it was built, and the growth of the family along with it represented in the additions over the years.
2. Historical or associative value		
a) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	NO	The home is not known to be associated with any direct associations significant to the community.
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture	NO	The existing home does not have the potential to yield any information that would contribute to an understanding of the community or culture.

³ City of Mississauga, Official Plan, September 3, 2020 Office Consolidation

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	NO	The home is not associated with a builder, developer or architect significant to the community. It is not known who constructed the home.
3. Contextual Value		
a) Is important in defining, maintaining, or supporting the character of an area	NO	The subject property is not known to support the character of an area. Larger lots in the area are being redeveloped through severance.
b) Is physically, functionally, visually, or historically linked to its surroundings	NO	The existing structures are not physically, functionally, visually or historically linked to its surroundings.
c) Is a landmark	NO	It is not a landmark.

TABLE 4: EVALUATION OF IMPACT OF PROPOSED DEVELOPMENT AND MITIGATION STRATEGY

Potential Negative Impact	Assessment	Mitigation
Destruction of any part, or part of any, significant heritage attributes or features	No perceived impact. No part of the existing home or detached structure contains any heritage attributes or features.	No mitigation required.
Removal of natural heritage features, including trees.	No perceived impact. Two of the mature trees in the front yard will be maintained as part of the new construction.	Additional plantings and landscape plan should be considered. Any trees removed from the lots will be compensated for with replanting required through a tree permit.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	No perceived impact.	Dundas Crescent has undergone re-development in terms of severance and new construction. Part of its uniqueness is the diversity of styles and exterior building materials.

Potential Negative Impact	Assessment	Mitigation
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	No perceived impact. There will be no change to a natural feature or plantings.	Harmonize mass, setback, settings and materials in the proposed new construction.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.	No perceived impact. The scenic and visual quality of Dundas Crescent will remain unchanged.	Maintaining mature trees and additional plantings as required to preserve and enhance the streetscape.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	No perceived impact.	None required.
A change in land use where the change in use negates the property's cultural heritage value.	Not applicable. The existing and continued use of the property is residential.	Maintain the property as residential
Land disturbances such as change in grade that alters soils, and drainage patterns that adversely affect cultural heritage resources.	No perceived impact. The existing grading and drainage pattern for the property is to remain.	Site grading that is compatible with the three dwellings.

Mitigation Measures

The proposal for 1427 Dundas Crescent is the demolition and removal of the existing dwelling and shed and the severance of the lot into three (3). Construction of new single family detached dwellings will occur on both the retained and severed lots.

Mitigation that has already been undertaken by the property owner, includes the following (and is outlined in this report) a title search to document past ownership, research

to document site chronology and building evolution and photographic documentation. Further, the Official Plan and a lot area assessment were reviewed to evaluate compatibility of the proposed severance.

A review of the potential negative impacts on the Heritage attributes has been conducted and is outlined in the table above. The PPS, 2005 defines heritage attributes as “the principal features, characteristics, context, and appearance that contribute to the cultural heritage significance of a protected heritage property.” Significant cultural heritage landscapes are often protected as, or are part of, a heritage conservation district. As noted above, the heritage attributes of the Credit River Corridor will be preserved in light of the proposed severance.

TABLE 5: CONSERVATION OF CULTURAL LANDSCAPE FEATURE CRITERIA

FEATURE	CONSERVATION METHOD
<u>Landscape Environment</u>	
Scenic and Visual Quality	The proposed development will maintain the visual integrity of the area.
Natural Environment	The topography of the lot will not be altered. The natural environment will be maintained.
Landscape Design, Type and Technological Interest	Not applicable
<u>Historical Association</u>	
Direct Association with Important Person or event	The existing dwelling was constructed in the 1940's and has had numerous additions over the years. There are no historical associations. It does not illustrate a style, trend or pattern. No conservation necessary.
Illustrates Important Phase in Mississauga's Social or Physical Development	The lot and existing structures do not have a link to the social or physical development of Mississauga. No conservation is required.
<u>Other</u>	

FEATURE	CONSERVATION METHOD
Historical or Archaeological Interest	Not applicable, no links to historical events.
Outstanding Features/ Interest	Not applicable.
Significant Ecological Interest	The proposed severance of the property will not devalue the natural purpose or diversity of the Credit River Corridor.

Conclusions, Recommendations

The subject property contains a residential dwelling built in and around the 1940's. It does not meet any of the criteria for Designation under the Ontario Heritage Act. The proposed new construction will not impact the cultural heritage resource, that being the Credit River Corridor. Mitigation measures, as noted above, have been considered and no further action is required.

About the Author:

William Oughtred of W.E. Oughtred & Associates Inc., is a development and land use consultant who has been practicing in the Mississauga and GTA area for over 30 years. Mr. Oughtred has a Bachelor of Arts from McMaster University. Mr. Oughtred is well versed in both Planning and building procedures and the City of Mississauga Zoning By-law and Official Plan.

Mr. Oughtred specializes in infill development projects. His extensive experience has afforded him the opportunity to see the City evolve and be at the forefront of growing trends and patterns in land development in Mississauga. He consults regularly on both heritage and urban design for infill projects.

Heritage Impact Statements and Assessments have been completed for many properties in Mississauga, including, but not limited to, the properties listed below.

- ❖ 1532 Adamson Road
- ❖ 1484 Hurontario Street
- ❖ 191 Donnelly Drive
- ❖ 2222 Doulton Drive
- ❖ 2375 Mississauga Road
- ❖ 943 Whittier Crescent
- ❖ 2417 Mississauga Road
- ❖ 1503 Petrie Way
- ❖ 1445 Glenburnie Road

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Welwyn Consulting

February 22, 2021

Meagan Sanderson

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meagans@me.com

**SUBJECT: Arborist Report and Tree Preservation Plan (Heritage report)
1427 Dundas Crescent, Mississauga**

Dear Meagan:

Attached please find the Arborist Report and Tree Preservation Plan which has been prepared for the above listed property. It is the client's responsibility to review the entire report to ensure all required tree permit application forms are filed with the City of Mississauga.

This report includes an evaluation of all trees on or within 6 metres of the subject site's property lines with a diameter at breast height (DBH) of **15cm or greater**. This evaluation includes the DBH, height, canopy spread, health, and structural condition of all trees that may be affected by the currently proposed site plan. This report also provides a Tree Preservation Plan for the property, including the appropriate Tree Protection Zones (TPZ).

This information complies with The City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006*. Included in the report (if required) are Valuation Appraisals of any City-owned trees as required by the City of Mississauga to obtain the necessary tree permits.

This letter is part of the Arborist Report and Tree Preservation Plan and may not be used separately. Please feel free to contact me to discuss this report further.

Best regards,

Tom Bradley B.Sc. (Agr)
ASCA Registered Consulting Arborist #492
ISA Certified Arborist #ON-1182A
ISA Certified Tree Risk Assessor
Butternut Health Assessor #257 (OMNR)
Welwyn Consulting
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(905) 301-2925



Welwyn Consulting

Arborist Report and Tree Preservation Plan

1427 Dundas Crescent, Mississauga

Prepared For

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Prepared By

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ISA Certified Tree Risk Assessor
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L5J 3J3

Prepared On

February 22, 2021



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Summary

This Arborist Report and Tree Preservation Plan addresses all trees with a diameter at breast height (D.B.H.) of 15cm or greater and within 6 metres of the subject site that may be affected by the proposed property development and provides recommendations for their preservation and/or removal. This report also includes hoarding distances for the Tree Protection Zones (TPZ) and provides recommendations for current and future tree health care.

Based upon the Tree Inventory for this property, there are **eighty three (83) trees** that may be affected by the proposed site development plan:

- Fifty six (56) trees on the subject site
- Nine (9) neighbouring trees within 6 metres of the subject site property line
- Four (4) shared ownership trees (subject site and neighbours to the west and east)
- Fourteen (14) City-owned trees within proximity to the subject site

Table 1: Tree Preservation and Removal

<u>TREES TO PRESERVE</u>	<u>TREE NUMBER</u>	<u>TOTAL</u>
i) Subject Site Trees	6, 7, 8, 9, 10, 11, 12, 24, 25, 26, 27, 28, 29, 30, 31,	54
	37, 41, 42, 43, 44, 45, 46, 47, 49, 51, 52, 53,	
	54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67,	
	68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 80, 82	
ii) Neighbouring Trees	32, 33, 34, 35, 36, 40, 48, 79, 81	9
iii) Shared Ownership Trees	20, 21, 22, 39	4
iv) City trees	1, 2, 3, 4, 5, 13, 14, 15, 16, 17, 18, 19, 23, 83	<u>14</u>
	#of Trees To Be Preserved:	81
<u>TREES TO BE REMOVED</u>	<u>TREE NUMBER</u>	<u>TOTAL</u>
i) Subject Site Trees	38, 50 (hazard trees)	2
ii) Neighbouring Trees	0	0
iii) Shared Ownership Trees	0	0
iv) City trees	0	<u>0</u>
	#of Trees To Be Removed:	2
	Total trees on or adjacent to subject site:	83

Specific tree-related issues on this site:

Please refer to the Tree Removals section on Page 8 of this report for hazard tree removal recommendations.



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Introduction

This Arborist Report and Tree Preservation Plan provides the current condition of all trees with a D.B.H of 15cm or greater on or adjacent to the subject site that may be affected by the proposed site development plan, including any City and/or neighbouring trees within 6 metres of the subject site's property lines as indicated by the attached site plan in Appendix A. The intent of the Tree Preservation Plan is to retain as many trees on the site as is reasonable through the use of Tree Protection Zones (TPZ) and other generally recognized arboricultural practices and to minimize the potential impact of construction injury to the trees.

Assignment

Welwyn Consulting was contacted by **W.E. Oughtred & Associates Inc.** to provide an Arborist Report and Tree Preservation Plan, as required by the City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006* to minimize the impact that the proposed construction may have on the trees on or adjacent to this property. This report shall list specific trees to be preserved or removed, recommend any immediate maintenance required to create a safer environment for contractors and the property owner and provide a long-term tree preservation and management plan for the site.

Limits of Assignment

This report is limited to assessing and documenting the health and structural condition of the trees with a D.B.H of 15cm or greater on or 6 metres from the subject site during the site survey on **February 4th and 18th, 2021**. Evaluations are based upon a visual inspection of the trees from the ground, and the analysis of photos and any samples taken during that inspection.

Unless specifically stated in the report;

- 1.) Neither aerial inspections nor root excavations were performed on any trees on or within 6 metres of the subject site.
- 2.) A Level II Basic Assessment using the 2011 International Society of Arboriculture (I.S.A.) *Best Management Practices* was used for tree evaluations on the subject site.
- 3.) Where access to off-site trees was restricted, a Level I Limited Visual Assessment was used as required.

Purpose and Use

The purpose of this report is to document the current health and structural condition of the trees with a D.B.H of 15cm or greater on and within 6 metres of the subject site property, and to provide an Arborist Report and Tree Preservation Plan that complies with the City of Mississauga's *Private Tree Protection By-Law 254-12* and *Site Plan Control By-Law 0293-2006*.

This report is intended for the exclusive use of **W.E. Oughtred & Associates Inc.** Upon submission by and payment to Welwyn Consulting, this report will become licensed for use by **W.E. Oughtred & Associates Inc.** at their discretion.



Welwyn Consulting

Observations

The proposed development is located in an established residential area near the intersections of The Credit Woodlands and Dundas Crescent within the City of Mississauga. This site presently contains a residential dwelling that will be demolished and the lot is proposed to be severed into three (3) separate lots. Welwyn Consulting visited the site on **February 4th and 18th, 2021** to conduct the tree inventory and take photographs of the trees on site, as well as any neighbouring or City-owned trees that may be affected by the proposed site plan.



Photo #1



Photo #1

Figure #1: These 2 photos show the front and rear yard of the property at 1427 Dundas Crescent as they appeared during the tree inventory conducted on February 4th and 18th, 2021.

Appendices

Appendix A contains the most current site plan supplied by **W.E. Oughtred & Associates Inc.** and provides the following information:

- The location of the trees on or adjacent to the subject site
- Property lines for the subject site and neighbouring properties
- Property lines for City-owned lands adjacent to the subject site
- All existing buildings and hard surfaces
- An outline of the proposed building

Appendix B contains the Tree Inventory for this site. All trees were assigned numbers, and measured for diameter at breast height (DBH=1.4m), height, and canopy spread. The trees' health, structural condition and physical location/ownership provide the basis for their recommended preservation or removal.

Appendix C contains the Tree Appraisal values for any City-owned trees on municipal property adjacent to the subject site that may be impacted by the proposed site plan.

Appendix D contains selected photos of trees on this site.



Trees to Preserve (54)

NOTES:

- 1.) It is the responsibility of the client to ensure that all architects, engineers, and contractors involved with the project be provided with a copy of the entire Arborist Report and Tree Preservation Plan for review prior to the commencement of construction activities on this site.
- 2.) All trees 15cm DBH or greater require a permit to injure. Removal of three (3) trees or more over 15cm DBH will require the completion of an “Application to Permit the Injury or Destruction of Trees on Private Property” form available from the link below: www.mississauga.ca/portal/services/formsonline
- 3.) A tree’s root system extends 2-3 times beyond the edge of the canopy/dripline. As Tree Protection Zone (TPZ) hoarding protects only that portion of the root system governed by municipal regulations, most trees on urban residential properties may sustain a degree of injury (including but not limited to root severance, soil compaction and disturbance) during proposed construction activities.

■ **Trees #1, 2, 3, 4, 5, 13, 14, 15, 16, 17, 18, 19, 23 and 83** **City trees**

These fourteen (14) are located in the boulevard yard of the property at 1427 Dundas Crescent on lands owned by the City of Mississauga. These 14 trees must be protected for the duration of the proposed construction activities on this site.

These fourteen (14) City-owned trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the trees’ continued survival.

■ **Trees #32, 33, 34, 35, 36, 40, 48, 79 and 81** **Neighbouring trees**

These nine (9) trees are located on the neighbouring properties to the west and east of the subject site at 1427 Dundas Crescent. These 9 trees must be protected for the duration of the proposed construction activities on this site.

These nine (9) neighbouring trees must be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the trees’ continued survival.

■ **Trees #20, 21, 22 and 39** **Shared ownership trees**

These four (4) trees are located on the west property line at 1427 Dundas Crescent and have shared ownership with the neighbour to the west. These 4 trees must be protected for the duration of the proposed construction activities on this site.

All shared trees must be preserved unless their removal is agreed upon in a “Letter of Agreement” signed by all owners. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the trees’ continued survival.

- **Trees #6, 7, 8, 9, 10, 11, 12, 24, 25, 26, 27, 28, 29, 30, 31, 37, 41, 42, 43, 44, 45, 46, 47, 49, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 80 and 82**

These fifty four (54) trees shall be preserved. Full implementation of the Tree Care Recommendations, Tree Preservation Plan and Tree Preservation Guidelines starting on Page 10 of this report should result in the trees' continued survival.

There are no finalized building footprints for the proposed severances at 1427 Dundas Crescent at this time. For the purposes of this report, all City, neighbouring and subject site trees (other than the 2 subject site hazard trees mentioned below) have been recommended for preservation. Since all trees are to be preserved, a tree protection zone (TPZ) hoarding plan has not been provided at this time.

NOTES:

- 1.) All trees 15cm DBH or greater require a permit to injure. Removal of three (3) trees or more over 15cm DBH will require the completion of an “Application to Permit the Injury or Destruction of Trees on Private Property” form available from the link below: www.mississauga.ca/portal/services/formsonline
- 2.) Guidelines for Tree Removal can be found at the following City of Mississauga link: www.mississauga.ca/portal/business/communityservicesstandards?paf_gear_id=9700018&itemId=300012

Red Oak and Black Locust (subject site)

These trees are in poor structural condition and represent an increased 'level of risk.' These 2 trees are recommended to be safely removed to grade level as soon as is reasonably possible.



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Replacement Tree Planting (0)

Below are the City of Mississauga's Tree Replacement Plan Policy from The City of Mississauga's *Private Tree Protection By-Law 254-12* and the 2017 Forestry Fee Schedule:

- (2) Where the planting of a Replacement Tree(s) has been imposed as a condition, the Commissioner may require any one or more of the following:
- (a) the Replacement Tree(s) be located on the same Lot in a location, number, size; and/or species to the satisfaction of the Commissioner;
 - (b) a replanting plan be filed to the satisfaction of the Commissioner;
 - (e) a written undertaking by the Owner to carry out the replacement planting;
 - (f) monies or a letter of credit in a form satisfactory to the Commissioner be delivered to the Commissioner to cover the costs of the Replacement Trees, and the maintenance of the Tree(s) for a period of up to two (2) years; or
 - (g) payment of each Replacement Tree not replanted on the Owner's Lot be made into the City's Replacement Tree Planting Fund. The payment for each such Tree shall be the cost of each street Tree planting as provided in the Fees and Charges By-law.

Schedule "D" Parks, Forestry and Environment Fees and Charges

Effective Date: January 1, 2021

Forestry		
Forestry Inspection	Per Inspection	\$53.90
Road Occupancy Permit Fee	Per Use	\$154.50
Street Tree Planting: 60mm (2.5 in.) Caliper Deciduous Tree or 200cm (6.5 ft. Height) Coniferous Tree	Per Tree	\$607.12
Forestry Section Administration Fee	Per Use	\$445.01 or 8% of total costs of the service, whichever is greater

Based upon a 1:1 ratio (a 2:1 ratio for trees of 50cm DBH and greater), the City of Mississauga requires no (0) replacement trees to be planted as compensation for trees 15cm DBH and greater being removed due to site re-development. In accordance with the Tree By-Law, replacement trees are to be native in species, a minimum 60mm caliper for deciduous trees and a minimum 1.80m high for coniferous trees. The "cash in lieu of tree replacement planting" fee for 2021 is \$607.12



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Tree Care Recommendations

Cabling

Cabling is a practice which provides physical support for trees with structurally weak limbs, co-dominant stems, any branch or trunk unions with included bark, and tree species generally known to be weak-wooded. An aerial inspection of the tree's structural condition should be performed prior to cable installation, and any dead, diseased, or hazardous wood should be removed. Cabled trees should be inspected annually to assess both the cabling hardware and the tree's structural condition. Cabling recommendations by Welwyn Consulting are made as a part of "due diligence" to alert tree owners to the 'potential' for tree failure and to provide hazard mitigation options based upon observed conditions. Cabling reduces but does not eliminate a tree's hazard or failure potential.

- **There are no trees recommended for cabling on this site at this time.**

Fertilization

Current research conducted through the International Society of Arboriculture (I.S.A.) indicates that preserved trees within close proximity of proposed construction activities should not be fertilized during the 1st year following construction injury. Uptake of nutrients and water in compacted soils can be reduced and fertilizer salts may actually remove water from a tree's root zone. If and when supplemental fertilization is deemed necessary, products which stimulate root growth should be employed over those that stimulate shoot and foliage growth and be applied at low application rates.

Supplemental fertilization needs should be assessed by a Certified Consulting Arborist upon completion of all on-site construction activities, and any recommendations should be based on site-specific soil nutrient deficiencies determined primarily through soil testing and secondarily by visual analysis of nutrient deficiencies in foliage, twigs, buds, and roots.

Pruning

Pruning is a practice which removes dead, diseased, broken, rubbing, crossing, and hazardous limbs 2.5 cm and larger from trees to create a safer working environment and improve tree health and vigor. Pruning also provides an excellent opportunity for an aerial inspection of the structural integrity of the tree(s). All pruning should be completed prior to any site demolition or construction.

Tree #20 (shared), 23 (City), 35 (neighbour) and 42 (subject site)

- **Remove large-caliper hazardous deadwood from these 4 trees**



Welwyn Consulting

Root Pruning/Air Spade/Hydro-Vac

Root pruning is performed to minimize a tree's potential loss of structural stability through root removal and/or injury due to excavation within close proximity of its root zone. While not always feasible for all projects, root pruning should occur in late autumn during tree dormancy and ideally one full growing season prior to any on-site construction or demolition to allow for root regeneration. Root pruning should only be performed by a Certified Arborist in accordance with generally recognized standards and principles within the field of Arboriculture. *Air-Spade/dry-vac technologies provide two of the least invasive methods for root zone excavation, and shall be performed under the supervision of a Certified Arborist.*

General Methodology (other than air spade/dry-vac)

Under the direction of a Certified Consulting Arborist and using hand and/or mechanical excavation techniques, the soil shall be carefully removed starting approximately 4-6m (where feasible) from the tree's base perpendicular to the edge of the proposed building foundation area. Digging in a line parallel to the roots rather than across them should minimize cracking of any large roots near the tree's base. The soil shall be removed in shallow layers to minimize the potential for striking any large roots that may have been close to the soil surface.

- **There is no root pruning required on this site at this time.**

Irrigation

An irrigation plan for preserved trees should be designed and implemented with the assistance of a Certified Consulting Arborist. The amount and frequency of irrigation will depend on factors such as soil type, local and seasonal precipitation patterns, duration of droughts, and the amount of construction activity near specific trees.

The top 30 cm of soil in a tree's root zone should be kept moist without being saturated. Infrequent deep watering produces trees with deeper roots, while frequent shallow watering produces shallow-rooted trees. *When combined with soil aeration improvement techniques such as vertical mulching, drill holes, and radial trenching, an adequate but not excessive supply of moisture to a tree's root zone can be an effective and efficient way to help alleviate construction injury.*

Preserved trees should be monitored at regular intervals by a Certified Consulting Arborist for signs of drought stress or excess irrigation.

- **An irrigation plan will be developed upon determination of tree injury levels after completion of any required root pruning.**



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Horizontal Mulching

It may be determined by the Certified Consulting Arborist that trees within close proximity of construction activities will require a layer of composted wood chip mulch applied to the root zones inside the TPZ hoarding. Decomposed wood mulch 5–10 cm (2–4 inches) deep applied to a tree's root zone should help to retain soil moisture, regulate soil temperature, and provide a natural organic source of nutrients in their elemental form over time. Piling of mulch against the tree stem must be avoided. Fresh wood chip mulch shall be applied to a depth of 30 cm beneath steel plates or plywood on vehicle and equipment traffic areas within close proximity to the TPZ to distribute weight on the soil and help reduce potential root zone soil compaction.

- **There are no specific mulching requirements at this time.**

Root Zone Aeration Improvements

Aeration improvement techniques such as drill holes, vertical mulching, soil fracturing, and radial trenching have the ability to reduce various degrees of soil compaction by increasing the amount of soil macro and micropores. Any form of root zone aeration improvement should be performed post-construction and under the supervision of a Certified Consulting Arborist to help remediate soil compaction caused by construction activity near preserved trees.

- **There are no root zone aeration improvements required on this site at this time.**

Transplanting

Transplanting of larger caliper trees, through either hand digging or tree spade, allows for relocation and retention of desirable trees that might have otherwise been removed due to conflict with the proposed property construction design. Trees should be tree-spaded out by a reputable operator, and are best transplanted during dormancy in late autumn. No construction activity should take place near re-located trees either before or after transplantation.

Any transplanted trees should be fertilized using a complete fertilizer with a preferred nitrogen/phosphorus/potassium ratio of 1-2-2, with the Nitrogen component in slow release form. A 10 cm layer of composted wood mulch should be applied to the root zone, and the tree should receive regular irrigation for a period of at least one year. The tree may also require staking for a period of 1 year to provide stability while it re-establishes its root system.

- **There are no trees recommended for transplanting on this site at this time.**



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Tree Preservation Plan

The following Tree Preservation Plan shall be implemented prior to any on-site construction activity.

Hoarding

Hoarding is used to define the **Tree Protection Zone (TPZ)**, which protects a tree's root zone, trunk, and branches from injury during both construction and landscaping phases of the project. Hoarding shall be installed prior to any construction activity, and remain intact until construction and landscaping is completed. **No** TPZ shall be used for the temporary storage of building materials, storage or washing of equipment, or the dumping of construction debris, excess fill, or topsoil.

As required by the City of Mississauga, hoarding shall be constructed of 4x8 plywood sheets using 2x4 top and bottom rail construction supported by 4x4 wooden posts. A TPZ may be constructed of orange safety fencing using 2x4 top and bottom rail construction and supported by t-bar supports when protecting street trees where site line obstruction is a concern. TPZ signage shall be posted in visible locations on the TPZ hoarding. T-bar supports for solid hoarding will only be allowed through pre-approval from the City of Mississauga's Development and Design Department. The project architect shall update the most current site plan/grading plan to include all existing trees properly plotted and numbered and all TPZ hoarding locations clearly indicated and to scale.

NOTE: A tree's root system extends 2-3 times beyond the edge of the canopy/dripline. As Tree Protection Zone (TPZ) hoarding protects only that portion of the root system governed by municipal regulations, most trees on urban residential properties may sustain a degree of injury (including but not limited to root severance, soil compaction and disturbance) during proposed construction activities.

Hoarding Installation

A diagram of the proposed hoarding plan for this site can be found in Appendices A and A1 on Pages 18 and 19 of this report. The recommended radial distances from the trunk for installation of TPZ hoarding are listed in Appendix B starting on Page 20 of this report, and the hoarding shall be installed using the following guidelines:

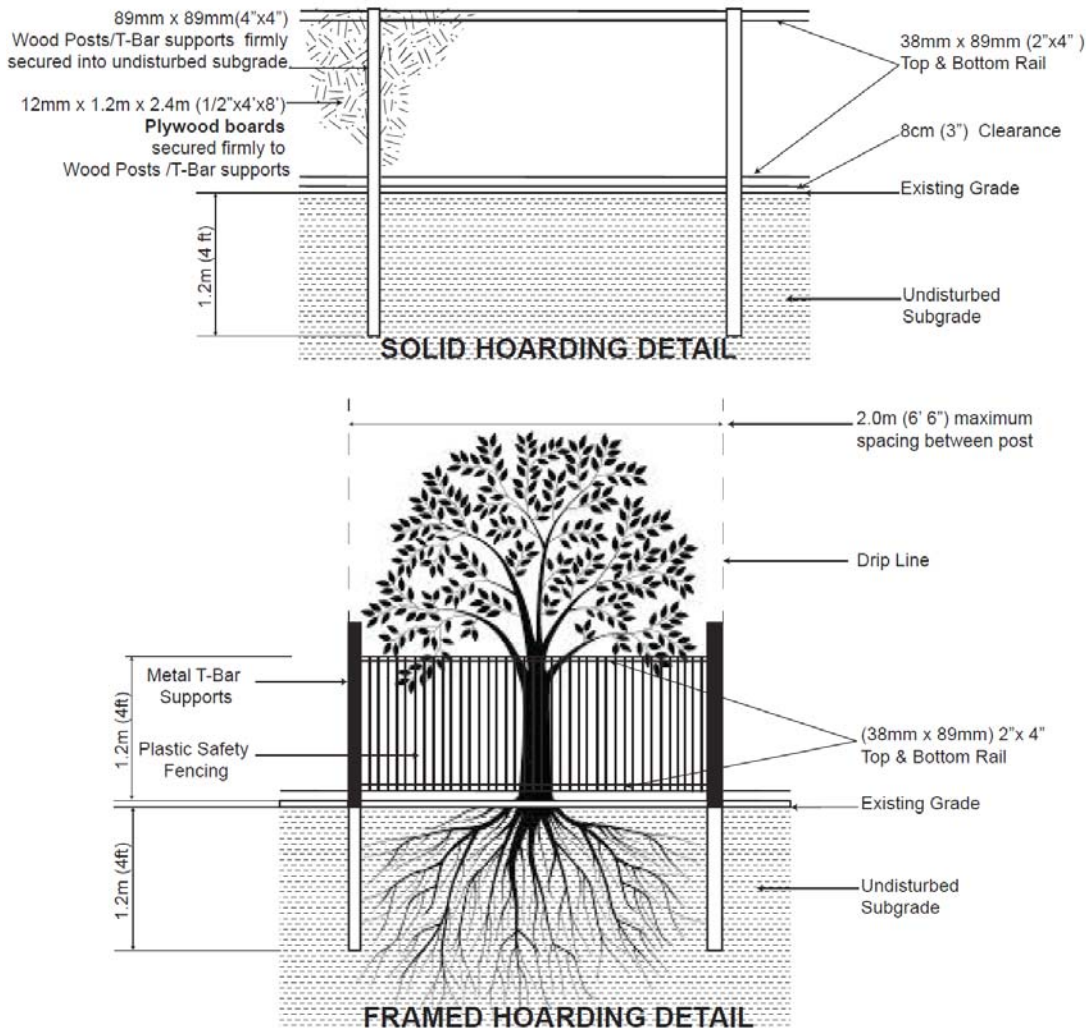
- 1) All TPZ hoarding shall be placed at the recommended radial distance from the base of all trees to be protected or up to all existing and/or proposed hard surfaces to allow for construction.
- 2) Any large numbers of trees that can be grouped together in a closed box or continuous line system for protection shall have their TPZ hoarding placed at the recommended radial distance from the base of all of the largest peripheral trees of the system, or up to all existing and/or proposed hard surfaces to allow for construction.
- 3) Encroachment within a tree's TPZ will require a special permit from the City of Mississauga and/or on-site supervision by a Certified Consulting Arborist during any proposed excavation activities for root pruning and assessment.



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City of Mississauga TPZ Hoarding Specifications

The diagram below provides the City of Mississauga's standards for Tree Protection Zone (T.P.Z) hoarding.



NOTES:

1. Hoarding details to be determined following initial site inspection.
2. Private tree hoarding to be approved by Development & Design ;
City tree hoarding to be approved by Community Services Dept.
3. Hoarding must be supplied, installed and maintained by the applicant throughout all phases of construction.
Inspection must be conducted by the Development and Design Division prior to removing any/all private hoarding.
4. Do not allow water to collect and pond behind or within hoarding.
5. T-bar supports are acceptable alternative to 4x4 posts. U-shaped metal supports will not be accepted.
6. Plywood must be utilized for 'solid' hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on "construction" side of frame.
7. Applicant is responsible to ensure utility locates are completed within city boulevard prior to installing framed hoarding.

TREE PRESERVATION HOARDING

SCALE : N.T.S DATE : June 2017





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Tree Preservation Plan Summary

I.) Pre-Construction Phase

- It is recommended that an on-site meeting take place with the project Certified Consulting Arborist, a representative from the City of Mississauga's Urban Forestry Department, the property owner(s), and any Architects, Engineers, and contractors involved with the project to discuss the Tree Preservation Plan.
- Complete all Tree Care Recommendations, including pruning and any required tree removals.
- Install Tree Protection Zone (TPZ) hoarding as required.
- Where required, apply composted wood mulch to tree root zones within the TPZ hoarding, and apply fresh wood mulch over steel plates and/or plywood to any high-traffic areas immediately adjacent to the TPZ hoarding to help reduce soil compaction.
- If permitted by the City of Mississauga, root-prune any preserved trees adjacent to excavation areas prior to construction under the supervision of a Certified Consulting Arborist.
- Establish an irrigation plan with the assistance of a Certified Consulting Arborist.

II.) Construction Phase

- Maintain and respect TPZ hoarding throughout the construction phase. Do not store or dump materials in this area.
- Continue irrigation plan as directed by a Certified Consulting Arborist.
- If permitted by the City of Mississauga, prune any roots exposed during excavation under the supervision of a Certified Consulting Arborist.
- On-going monitoring by a Certified Consulting Arborist to evaluate construction injury/stress and make recommendations.

III.) Post-Construction Phase

- Remove hoarding only after permission from the City of Mississauga.
- Continue irrigation program as directed by a Certified Consulting Arborist.
- Supplemental fertilizer needs assessment by a Certified Consulting Arborist.
- Post-construction monitoring of all trees by a Certified Consulting Arborist.

NOTE:

Post-Construction Monitoring

Construction injury may take several years to become apparent. All preserved trees should be inspected by a Certified Consulting Arborist on a semi-annual basis for a period of up to 2 years to pro-actively address any tree health related issues as they occur.



ASSUMPTIONS AND LIMITING CONDITIONS

Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, by-laws, or other governmental regulations.

Care has been taken to obtain all information from reliable sources, and all data has been verified insofar as possible. The consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Loss or alteration of any part of this report invalidates the entire report.

Possession of this report or a copy thereof does not imply right of publication or use for any purpose by anyone other than the person to whom it is addressed without the prior expressed written or verbal consent of the consultant/appraiser.

Neither all nor any part of the contents of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society, institute, or any initialed designation conferred upon the consultant/appraiser as stated in his/her qualification.

This report and the values expressed herein represent the opinion of the consultant/appraiser, and the consultant/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as either engineering or architectural reports or surveys.

Unless expressed otherwise: 1) Information contained in this report covers only those items that were examined and reflections the condition of those items at the time of inspection, and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.



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CERTIFICATE OF PERFORMANCE

I, Tom Bradley, certify that:

- I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of any evaluation or appraisal is stated in the attached report and the Limits of Assignment.
- I have no current or prospective interest in the vegetation of the property that is the subject of this report, and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts.
- My compensation is not contingent upon the reporting of a pre-determined conclusion that favours the cause of the client or any other party, or upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.
- My analysis, opinions and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a Registered Consulting Arborist through the *American Society of Consulting Arborists (A.S.C.A)*, and both a Certified Arborist and Certified Tree Risk Assessor with the *International Society of Arboriculture (I.S.A)*. I have been involved in the fields of Arboriculture and Horticulture in a full-time capacity for a period of more than 20 years.

Signed: _____

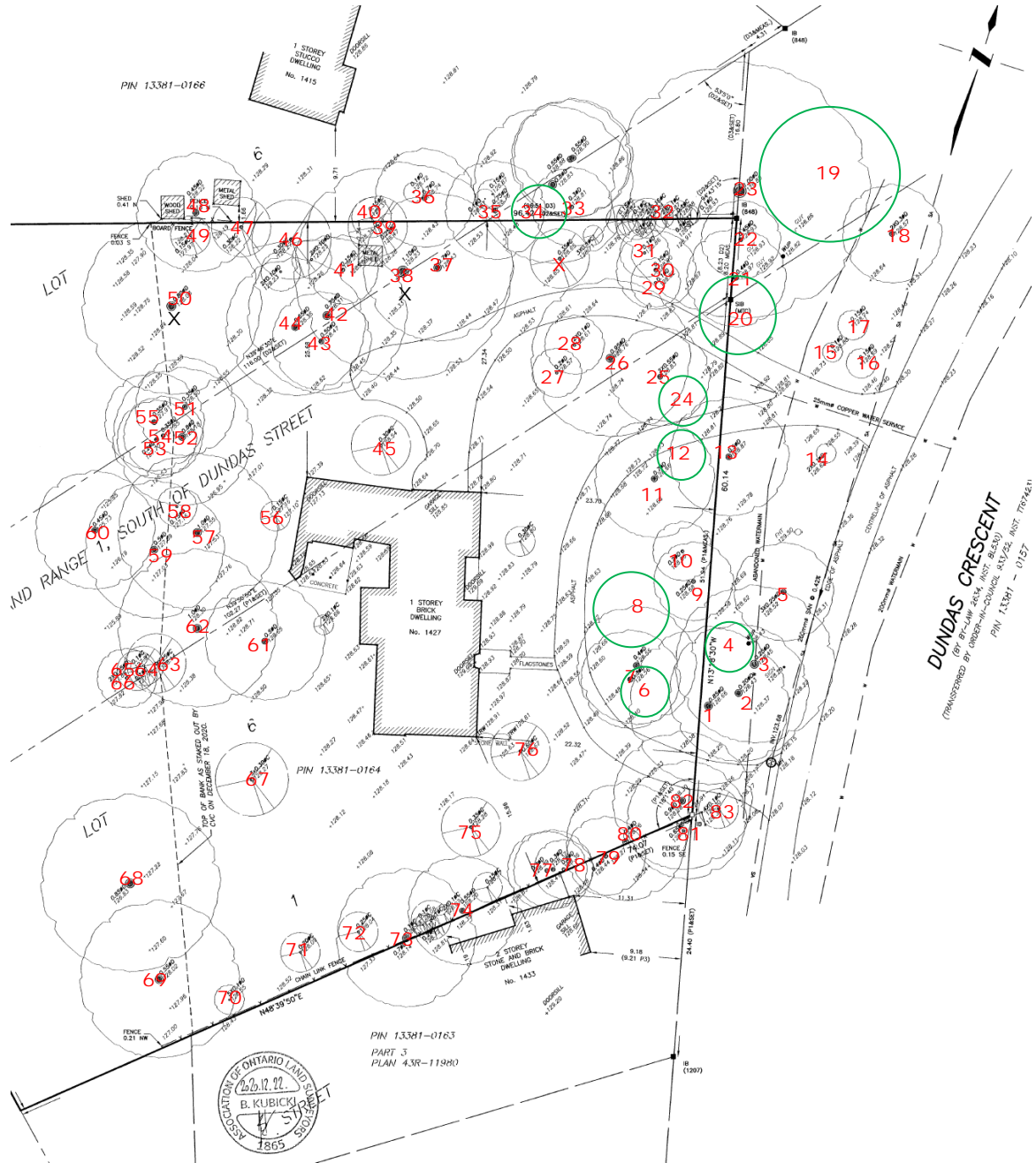
Date: February 22, 2021



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Appendix A: Proposed Site Plan – 1427 Dundas Cres., Mississauga

Note: The locations of Trees #4, 6, 8, 12, 19, 20, 24 and 34 are approximations. No Tree Protection Zone (TPZ) hoarding has been provided as there are currently no finalized building envelopes for this site. X denotes two (2) hazard trees recommended for removal (Trees # 38 and 50).



Legend:

Solid Hoarding

Water Service (proposed)



Framed Hoarding

Sanitary Service (proposed)





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Appendix A1: Lot severances and potential building envelopes 1427 Dundas Crescent, Mississauga

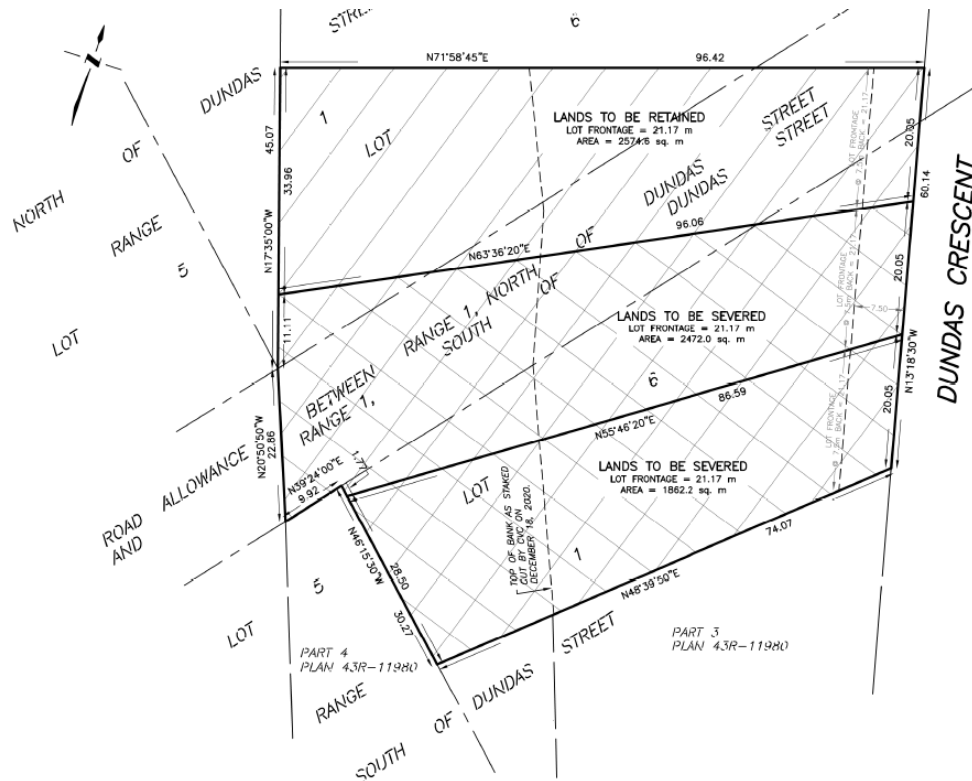


Figure A: Proposed lot severances – 1427 Dundas Crescent, Mississauga



Figure B: Potential building envelopes – 1427 Dundas Crescent, Mississauga



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Appendix B: Tree Survey – 1427 Dundas Crescent, Mississauga

* denotes estimated DBH due to restricted site access/private property

I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
1	City of Mississauga	Black Locust	<i>Robinia pseudoacacia</i>	89	24	10	Good	Fair	Small-caliper deadwood in canopy; stem crack on north side of west stem from base to 3m at site of previously removed stem; <i>Ganoderma spp.</i> conks on stem at 16-18m	Preserve: TPZ = 5.4m <i>Perform structural inspection of tree</i>
2	City of Mississauga	Black Locust	<i>Robinia pseudoacacia</i>	24	16	5	Good	Fair	Small-caliper deadwood in canopy; branch canopy clearance pruned on north side from overhead utility lines to 7m; approx. 5 degree stem sweep north	Preserve: TPZ = 2.4m
3	City of Mississauga	Black Locust	<i>Robinia pseudoacacia</i>	30	16	6	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 3m from tree base; approx. 5 degree stem sweep north; branch canopy clearance pruned on north side from overhead utility lines	Preserve: TPZ = 2.4m
4	City of Mississauga	Black Locust	<i>Robinia pseudoacacia</i>	14	10	3	Good	Good	Small-caliper deadwood in canopy; branch canopy above 6m	Preserve: TPZ = 2.4m
5	City of Mississauga	Paper Birch	<i>Betula papyrifera</i>	24, 29, 29 (48)	12	9	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union at tree base; lower branch canopy clearance pruned 2m from tree base	Preserve: TPZ = 3.6m
6	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	27	10	8	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 4m from tree base; branch canopy above union	Preserve: TPZ = 2.4m
7	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	42	20	8	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with addressed included bark union 4m from tree base; branch canopy above 5m and stem sweep approx. 10 degrees south	Preserve: TPZ = 3.0m



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I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
8	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	54	24	12	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 6m from tree base; branch canopy above union; approx. 10 degree stem lean south	Preserve: TPZ = 3.6m
9	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	29	12	6	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 2m from tree base; branch canopy above union	Preserve: TPZ = 2.4m
10	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	23	10	4	Good	Good	Small-caliper deadwood in canopy; branch canopy above 2m	Preserve: TPZ = 2.4m
11	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	59	22	10	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 8m from tree base; branch canopy above 10m; stem sweep approx. 30 degrees east at 6m	Preserve: TPZ = 3.6m
12	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	16, 18 (24)	8	7	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union at tree base; branch canopy above 2m	Preserve: TPZ = 2.4m
13	City of Mississauga	Black Locust	<i>Robinia pseudoacacia</i>	55	16	8	Good	Fair	Small-caliper deadwood in canopy; branch canopy clearance pruned on south side from overhead utility lines	Preserve: TPZ = 3.6m
14	City of Mississauga	Paper Birch	<i>Betula papyrifera</i>	5, 10, 14 (18)	12	4	Good	Fair	Small-caliper deadwood in canopy; large and small aspect ratio co-dominant stems with included bark unions at tree base	Preserve: TPZ = 2.4m
15	City of Mississauga	Paper Birch	<i>Betula papyrifera</i>	6, 7, 11 (14)	10	4	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union at tree base	Preserve: TPZ = 2.4m
16	City of Mississauga	Paper Birch	<i>Betula papyrifera</i>	7, 9, 14 (18)	10	4	Good	Fair	Small-caliper deadwood in canopy; large and small aspect ratio co-dominant stems with included bark unions at tree base	Preserve: TPZ = 2.4m



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I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
17	City of Mississauga	Paper Birch	<i>Betula papyrifera</i>	5, 9, 15 (18)	11	4	Good	Fair	Small-caliper deadwood in canopy; large and small aspect ratio co-dominant stems with included bark unions at tree base	Preserve: TPZ = 2.4m
18	City of Mississauga	Black Locust	<i>Robinia pseudoacacia</i>	13, 34, 35 (51)	16	10	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union at tree base; approx. 20 degree stem lean north; branch canopy reduced on south side	Preserve: TPZ = 3.6m
19	City of Mississauga	Black Locust	<i>Robinia pseudoacacia</i>	85	24	14	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union 2m from tree base; utility lines on north side of branch canopy	Preserve: TPZ = 5.4m
20	Shared Ownership/ City	Black Locust	<i>Robinia pseudoacacia</i>	88	28	18	Fair	Fair	Large-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 3m from tree base; <i>Ganoderma spp.</i> conks on stem	Preserve: TPZ = 5.4m
21	Shared Ownership/ City	Horse Chestnut	<i>Aesculus hippocastanum</i>	42	14	6	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded/reduced by adjacent tree species	Preserve: TPZ = 3.0m
22	Shared Ownership/ City	Horse Chestnut	<i>Aesculus hippocastanum</i>	43	14	8	Good	Fair	Small-caliper deadwood in canopy; previously topped with epicormic re-growth	Preserve: TPZ = 3.0m
23	Shared Ownership (City and neighbour)	Black Locust	<i>Robinia pseudoacacia</i>	110	28	16	Good	Fair	Small-caliper deadwood in canopy; <i>Ganoderma spp.</i> conks on stem and animal burrow holes in stem	Preserve: TPZ = 7.2m
24	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	61, 65 (89)	22	8	Good	Poor	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 1m from tree base; 2 stems topped with epicormic re-growth	Preserve: TPZ = 5.4m
25	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	37	12	4	Good	Poor	Small-caliper deadwood in canopy; approx. 5 degree stem lean east; east stem hollow; branch canopy above 4m	Preserve: TPZ = 2.4m



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I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
26	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	47, 68 (83)	22	12	Good	Fair	Small-caliper deadwood in canopy; small and large aspect ratio co-dominant stems with included bark unions at base and 5 from tree base; <i>Ganoderma spp.</i> conks on stem	Preserve: TPZ = 5.4m
27	Subject Site	Thornless Honey Locust	<i>Gleditsia triacanthos var. inermis</i>	22	10	6	Good	Fair	Small-caliper deadwood in canopy; topped at 4m with epicormic re-growth	Preserve: TPZ = 2.4m
28	Subject Site	Eastern Redbud	<i>Cercis canadensis</i>	9, 11 (14)	7	5	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union at tree base; <u>below 15cm DBH</u>	Preserve: TPZ = 2.4m
29	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	13	8	2	Good	Fair	Small-caliper deadwood in canopy; <u>below 15cm DBH</u>	Preserve: TPZ = 2.4m
30	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	18	11	4	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 2.4m
31	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	14	11	3	Good	Good	Small-caliper deadwood in canopy; <u>below 15cm DBH</u>	Preserve: TPZ = 2.4m
32	Neighbour	Cedar hedge (5 plants)	<i>Thuja occidentalis</i>	4-8*	4	2	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 2.4m
33	Neighbour	Black Locust	<i>Robinia pseudoacacia</i>	30*	8	5	Good	Fair	Small-caliper deadwood in canopy; broken top with re-growth	Preserve: TPZ = 2.4m
34	Neighbour	White Oak	<i>Quercus alba</i>	75*	30	15	Good	Fair	Small-caliper deadwood in canopy; 3 large aspect ratio co-dominant stems with included bark union 8m from tree base; branch canopy above 10m	Preserve: TPZ = 4.8m
35	Neighbour	Black Locust	<i>Robinia pseudoacacia</i>	80*	30	8	Good	Fair	Large-caliper deadwood in canopy; branch canopy above 20m	Preserve: TPZ = 4.8m
36	Neighbour	Black Locust	<i>Robinia pseudoacacia</i>	75*	24	14	Good	Fair	Small-caliper deadwood in canopy; approx. 25 degree stem lean west; large <i>Ganoderma spp.</i> conk on stem	Preserve: TPZ = 4.8m
37	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	80	16	8	Fair	Good	Small-caliper deadwood in canopy; topped at 8m with epicormic re-growth	Preserve: TPZ = 4.8m
38	Subject Site	Red Oak	<i>Quercus rubra</i>	116	24	12	Poor	Poor	Large-caliper deadwood in canopy; appears to be at least 90% dead (small leaf canopy at apex); basal <i>Ganoderma spp.</i> conks on stem	Remove: Potential safety hazard



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I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
39	Shared Ownership	White Pine	<i>Pinus strobus</i>	27	16	4	Good	Good	Small-caliper deadwood in canopy; branch canopy above 4m	Preserve: TPZ = 2.4m
40	Neighbour	Scots Pine	<i>Pinus sylvestris</i>	20*	9	4	Good	Good	Small-caliper deadwood in canopy; branch canopy above 5m and shaded and reduced on east side	Preserve: TPZ = 2.4m
41	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	15	10	4	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 2.4m
42	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	79	24	10	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union 8m from tree base; branch canopy above 16m	Preserve: TPZ = 4.8m
43	Subject Site	Weeping Willow	<i>Salix alba var. tristis</i>	47	7	8	Good	Poor	Small-caliper deadwood in canopy; topped at 2.5m with epicormic re-growth	Preserve: TPZ = 3.0m
44	Subject Site	Norway Spruce	<i>Picea abies</i>	30	6	5	Good	Good	Small-caliper deadwood in canopy; branch canopy clearance pruned 1.8m from tree base	Preserve: TPZ = 2.4m
45	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	68	22	10	Good	Good	Small-caliper deadwood in canopy; branch canopy above 6m	Preserve: TPZ = 4.8m
46	Subject Site	White Pine	<i>Pinus strobus</i>	32	8	8	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 3m from tree base; canopy above 2m	Preserve: TPZ = 2.4m
47	Subject Site	White Pine	<i>Pinus strobus</i>	31	6	5	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union 2m from tree base	Preserve: TPZ = 2.4m
48	Neighbour	Persian Walnut	<i>Juglans regia</i>	55	20	14	Good	Good	Small-caliper deadwood in canopy; branch canopy above 6m	Preserve: TPZ = 3.6m
49	Subject Site	White Spruce	<i>Picea glauca</i>	12	5	2.5	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 1.5m from tree base; below 15cm DBH	Preserve: TPZ = 2.4m
50	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	97	18	10	Good	Poor	Small-caliper deadwood in canopy; 45 degree stem lean north due to split/failure on south side of stem; canopy growing vertically above 8m	Remove: Potential safety hazard
51	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	39	20	8	Good	Fair	Small-caliper deadwood in canopy; branch canopy above 4m; epicormic re- growth from previously cut tree	Preserve: TPZ = 2.4m



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I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
52	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	77	20	10	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 8m from tree base; approx. 45 degree stem sweep north from base to 8m	Preserve: TPZ = 4.8m
53	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	37	24	10	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 8m from tree base	Preserve: TPZ = 2.4m
54	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	21	8	8	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union 1.8m from tree base	Preserve: TPZ = 2.4m
55	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	37	22	6	Good	Fair	Small-caliper deadwood in canopy; branch canopy above 6m and shaded and reduced on south side	Preserve: TPZ = 2.4m
56	Subject Site	Anglo Japanese Yew	<i>Taxus cuspidata</i>	7, 10 10 (16)	5	3	Good	Fair	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 2m from tree base	Preserve: TPZ = 2.4m
57	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	102	24	16	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union 4m from tree base; failed static support cable at 8m	Preserve: TPZ = 7.2m <i>Inspect and, if feasible, re-install cabling system</i>
58	Subject Site	Ginkgo	<i>Ginkgo biloba</i>	17	10	4	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 2.4m
59	Subject Site	Thornless Honey Locust	<i>Gleditsia triacanthos var. inermis</i>	51	21	15	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 6m from tree base; branch canopy above 4m	Preserve: TPZ = 3.6m
60	Subject Site	Thornless Honey Locust	<i>Gleditsia triacanthos var. inermis</i>	44	16	10	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with narrow included bark union 3m from tree base	Preserve: TPZ = 3.0m
61	Subject Site	Thornless Honey Locust	<i>Gleditsia triacanthos var. inermis</i>	55	20	14	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 4m from tree base; branch canopy above 2m	Preserve: TPZ = 3.6m



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I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
62	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	108	24	16	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 6m from tree base; branch canopy above 10m – static steel cable installed at 10m	Preserve: TPZ = 7.2m <i>Inspect static steel cable</i>
63	Subject Site	Cedar	<i>Thuja occidentalis</i>	24	6	4	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 2.4m
64	Subject Site	Cedar	<i>Thuja occidentalis</i>	10	6	2	Good	Good	Small-caliper deadwood in canopy; <u>below 15cm DBH</u>	Preserve: TPZ = 2.4m
65	Subject Site	Cedar	<i>Thuja occidentalis</i>	10	6	2	Good	Good	Small-caliper deadwood in canopy; <u>below 15cm DBH</u>	Preserve: TPZ = 2.4m
66	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	20, 25 (32)	12	9	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union at tree base	Preserve: TPZ = 2.4m
67	Subject Site	Cedar	<i>Thuja occidentalis</i>	30, 30 35 (55)	12	8	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union at tree base	Preserve: TPZ = 3.6m
68	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	75	24	14	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 8m from tree base; branch canopy above 6m	Preserve: TPZ = 4.8m
69	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	60	24	18	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 4m from tree base; branch canopy above 8m	Preserve: TPZ = 3.6m
70	Subject Site	Siberian Elm	<i>Ulmus pumila</i>	40	22	14	Good	Fair	Small-caliper deadwood in canopy; 4 large aspect ratio co-dominant stems with addressed included bark unions 6m from tree base	Preserve: TPZ = 2.4m
71	Subject Site	White Pine	<i>Pinus strobus</i>	15	8	4	Good	Good	Small-caliper deadwood in canopy	Preserve: TPZ = 2.4m
72	Subject Site	Colorado Blue Spruce	<i>Picea pungens 'Glauca'</i>	23	12	3	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded/reduced on north side from base to 4m	Preserve: TPZ = 2.4m



Welwyn Consulting

I.D #	Owner	Tree Species Common Name	Tree Species Botanical Name	DBH (cm)	Height (m)	Canopy (m)	Tree Health	Structural Condition	Comments	Minimum TPZ unless otherwise indicated
73	Subject Site	Black Locust	<i>Robinia pseudoacacia</i>	60	24	10	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 6m from tree base; branch canopy above 12m; corrected stem lean east	Preserve: TPZ = 3.6m
74	Subject Site	Shagbark Hickory	<i>Carya ovata</i>	64	18	10	Good	Fair	Small-caliper deadwood in canopy; small aspect ratio co-dominant stems with included bark union 2m from tree base; branch canopy above 4m	Preserve: TPZ = 4.8m
75	Subject Site	White Spruce	<i>Picea glauca</i>	32	14	5	Good	Poor	Small-caliper deadwood in canopy; previously topped at 4m with re-growth of apices	Preserve: TPZ = 2.4m
76	Subject Site	Colorado Blue Spruce	<i>Picea pungens</i> 'Glaucous'	68	28	6	Good	Good	Small-caliper deadwood in canopy; lower branch canopy clearance pruned 3m from tree base	Preserve: TPZ = 4.8m
77	Subject Site	Norway Maple	<i>Acer platanoides</i>	28, 30 (41)	16	6	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union at tree base; lower branch canopy clearance pruned 8m on east side	Preserve: TPZ = 3.0m
78	Subject Site	Norway Maple	<i>Acer platanoides</i>	24	16	5	Good	Good	Small-caliper deadwood in canopy; branch canopy shaded/reduced on all sides	Preserve: TPZ = 2.4m
79	Neighbour	Scots Pine	<i>Pinus sylvestris</i>	40*	16	5	Good	Fair	Small-caliper deadwood in canopy; large aspect ratio co-dominant stems with narrow included bark union 4m from tree base; branch canopy above 6m	Preserve: TPZ = 2.4m
80	Subject Site	Norway Maple	<i>Acer platanoides</i>	50	16	10	Good	Fair	Small-caliper deadwood in canopy; topped at 5m with epicormic re-growth	Preserve: TPZ = 3.6m
81	Neighbour	White Pine	<i>Pinus strobus</i>	80*	28	10	Good	Good	Small-caliper deadwood in canopy; branch canopy above 12m	Preserve: TPZ = 4.8m
82	Subject Site	Horse Chestnut	<i>Aesculus hippocastanum</i>	94	16	12	Good	Fair	Large-caliper deadwood in canopy; large aspect ratio co-dominant stems with included bark union 2m from tree base; west stem removed at 4m with epicormic re-growth	Preserve: TPZ = 6.0m
83	City of Mississauga	Yew	<i>Taxus densiformis</i>	8, 8, 8, 8 (16)	3	8	Good	Good	Small-caliper deadwood in canopy; shrub form	Preserve: TPZ = 2.4m



Welwyn Consulting

Appendix C: Tree Valuation Appraisals (Trunk Formula Method)

TREE APPRAISAL Trunk Formula Method

Tree Number: One (1)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Black Locust	
2	Condition:	75	%
3	DBH:	89	cm
4	Location:	77	%

*Robinia
pseudoacacia*

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	56	%
6	Replacement Plant Size:	5	cm
	Trunk		
6b	Area:	19.625	cm ²
7	Replacement Plant Cost:	\$180.00	
8	Installation Cost: (1.5x Plant Cost)	\$270.00	
9	Installed Tree Cost:	\$450.00	
10	Unit Tree Cost:	\$22.93	

Calculations by Appraiser Using Field and/or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	5990	cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	5970	cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$137,350.32	
14	Appraised Value (#13 x #5 x #2 x #4) :	\$44,226.80	
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.		
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.		

APPRAISED VALUE: \$44,200



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Two (2)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Black Locust		<i>Robinia pseudoacacia</i>
2	Condition:		81 %	
3	DBH:		24 cm	
4	Location:		72 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	56 %
6	Replacement Plant Size:	5 cm
	Trunk	
6b	Area:	19.625 cm ²
7	Replacement Plant Cost:	\$180.00
8	Installation Cost: (1.5x Plant Cost)	\$270.00
9	Installed Tree Cost:	\$450.00
10	Unit Tree Cost:	\$22.93

Calculations by Appraiser Using Field and/or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	452 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	432 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$10,364.33
14	Appraised Value (#13 x #5 x #2 x #4) :	\$3,379.64
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$3,380



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Three (3)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Black Locust		<i>Robinia pseudoacacia</i>
2	Condition:		81 %	
3	DBH:		30 cm	
4	Location:		72 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	56 %
6	Replacement Plant Size:	5 cm
	Trunk	
6b	Area:	19.625 cm ²
7	Replacement Plant Cost:	\$180.00
8	Installation Cost: (1.5x Plant Cost)	\$270.00
9	Installed Tree Cost:	\$450.00
10	Unit Tree Cost:	\$22.93

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	707 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	687 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$16,211.46
14	Appraised Value (#13 x #5 x #2 x #4) :	\$5,286.29
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$5,300



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Four (4)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Black Locust		<i>Robinia pseudoacacia</i>
2	Condition:		81 %	
3	DBH:		14 cm	
4	Location:		68 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	56 %
6	Replacement Plant Size:	5 cm
	Trunk	
6b	Area:	19.625 cm ²
7	Replacement Plant Cost:	\$180.00
8	Installation Cost: (1.5x Plant Cost)	\$270.00
9	Installed Tree Cost:	\$450.00
10	Unit Tree Cost:	\$22.93

Calculations by Appraiser Using Field and/or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	154 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	134 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$3,531.21
14	Appraised Value (#13 x #5 x #2 x #4) :	\$1,097.91
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$1,100



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TREE APPRAISAL Trunk Formula Method

Tree Number: Five (5)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Paper Birch		<i>Betula papyrifera</i>
2	Condition:		81 %	
3	DBH:		48 cm	
4	Location:		72 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	60 %
6	Replacement Plant Size:	9 cm
	Trunk	
6b	Area:	63.585 cm ²
7	Replacement Plant Cost:	\$250.00
8	Installation Cost: (1.5x Plant Cost)	\$375.00
9	Installed Tree Cost:	\$625.00
10	Unit Tree Cost:	\$9.83

Calculations by Appraiser Using Field and/or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	1809 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	1745 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$17,781.32
14	Appraised Value (#13 x #5 x #2 x #4) :	\$6,212.35
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$6,200



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Thirteen (13)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Black Locust	
2	Condition:		81 %
3	DBH:		55 cm
4	Location:		73 %

*Robinia
pseudoacacia*

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	56 %
6	Replacement Plant Size:	5 cm
	Trunk	
6b	Area:	19.625 cm ²
7	Replacement Plant Cost:	\$180.00
8	Installation Cost: (1.5x Plant Cost)	\$270.00
9	Installed Tree Cost:	\$450.00
10	Unit Tree Cost:	\$22.93

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	2375 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	2355 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$54,458.60
14	Appraised Value (#13 x #5 x #2 x #4) :	\$18,171.02
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$18,200



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Fourteen (14)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Paper Birch		<i>Betula papyrifera</i>
2	Condition:		81 %	
3	DBH:		18 cm	
4	Location:		67 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	60 %
6	Replacement Plant Size:	9 cm
	Trunk	
6b	Area:	63.585 cm ²
7	Replacement Plant Cost:	\$250.00
8	Installation Cost: (1.5x Plant Cost)	\$375.00
9	Installed Tree Cost:	\$625.00
10	Unit Tree Cost:	\$9.83

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	254 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	190 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$2,496.66
14	Appraised Value (#13 x #5 x #2 x #4) :	\$811.41
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$810



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Fifteen (15)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Paper Birch		<i>Betula papyrifera</i>
2	Condition:		81 %	
3	DBH:		14 cm	
4	Location:		67 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	60 %
6	Replacement Plant Size:	9 cm
	Trunk	
6b	Area:	63.585 cm ²
7	Replacement Plant Cost:	\$250.00
8	Installation Cost: (1.5x Plant Cost)	\$375.00
9	Installed Tree Cost:	\$625.00
10	Unit Tree Cost:	\$9.83

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	154 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	90 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$1,513.72
14	Appraised Value (#13 x #5 x #2 x #4) :	\$491.96
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$490



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Sixteen (16)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Paper Birch		<i>Betula papyrifera</i>
2	Condition:		81 %	
3	DBH:		18 cm	
4	Location:		67 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	60 %
6	Replacement Plant Size:	9 cm
	Trunk	
6b	Area:	63.585 cm ²
7	Replacement Plant Cost:	\$250.00
8	Installation Cost: (1.5x Plant Cost)	\$375.00
9	Installed Tree Cost:	\$625.00
10	Unit Tree Cost:	\$9.83

Calculations by Appraiser Using Field and/or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	254 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	190 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$2,496.66
14	Appraised Value (#13 x #5 x #2 x #4) :	\$811.41
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$810



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Seventeen (17)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Paper Birch		<i>Betula papyrifera</i>
2	Condition:		81 %	
3	DBH:		18 cm	
4	Location:		67 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	60 %
6	Replacement Plant Size:	9 cm
	Trunk	
6b	Area:	63.585 cm ²
7	Replacement Plant Cost:	\$250.00
8	Installation Cost: (1.5x Plant Cost)	\$375.00
9	Installed Tree Cost:	\$625.00
10	Unit Tree Cost:	\$9.83

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	254 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	190 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$2,496.66
14	Appraised Value (#13 x #5 x #2 x #4) :	\$811.41
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$810



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Eighteen (18)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Black Locust		<i>Robinia pseudoacacia</i>
2	Condition:		81 %	
3	DBH:		51 cm	
4	Location:		72 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	56 %
6	Replacement Plant Size:	5 cm
	Trunk	
6b	Area:	19.625 cm ²
7	Replacement Plant Cost:	\$180.00
8	Installation Cost: (1.5x Plant Cost)	\$270.00
9	Installed Tree Cost:	\$450.00
10	Unit Tree Cost:	\$22.93

Calculations by Appraiser Using Field and/or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	2042 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	2022 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$46,822.93
14	Appraised Value (#13 x #5 x #2 x #4) :	\$15,268.18
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$15,300



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Nineteen (19)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Black Locust		<i>Robinia pseudoacacia</i>
2	Condition:		81 %	
3	DBH:		85 cm	
4	Location:		73 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	56 %
6	Replacement Plant Size:	5 cm
	Trunk	
6b	Area:	19.625 cm ²
7	Replacement Plant Cost:	\$180.00
8	Installation Cost: (1.5x Plant Cost)	\$270.00
9	Installed Tree Cost:	\$450.00
10	Unit Tree Cost:	\$22.93

Calculations by Appraiser Using Field and /or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	5520 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	5500 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$126,573.25
14	Appraised Value (#13 x #5 x #2 x #4) :	\$42,233.27
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$42,200



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Twenty Three (23)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga/1415 Dundas Cres.
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Black Locust		<i>Robinia pseudoacacia</i>
2	Condition:		75 %	
3	DBH:		110 cm	
4	Location:		75 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	56 %
6	Replacement Plant Size:	5 cm
	Trunk	
6b	Area:	19.625 cm ²
7	Replacement Plant Cost:	\$180.00
8	Installation Cost: (1.5x Plant Cost)	\$270.00
9	Installed Tree Cost:	\$450.00
10	Unit Tree Cost:	\$22.93

Calculations by Appraiser Using Field and/or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	8287 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	8267 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$190,020.38
14	Appraised Value (#13 x #5 x #2 x #4) :	\$59,856.42
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$59,900



Welwyn Consulting

TREE APPRAISAL Trunk Formula Method

Tree Number: Eighty Three (83)
 Address: 1427 Dundas Crescent, Mississauga
 Owner: City of Mississauga
 Date of Appraisal: February 4, 2021
 Appraiser: Tom Bradley
 Certification Number: R.C.A. #492 (A.S.C.A.)

Field Observations (based on *Guide for Plant Appraisal, 9th Edition*)

1	Species:	Dense Yew		<i>Taxus densiformis</i>
2	Condition:		81 %	
3	DBH:		16 cm	
4	Location:		70 %	

Regional Plant Appraisal Committee Information - *Guide for Plant Appraisal, 9th Edition*

5	Species Rating:	72 %
6	Replacement Plant Size:	4 cm
	Trunk	
6b	Area:	12.56 cm ²
7	Replacement Plant Cost:	\$46.00
8	Installation Cost: (1.5x Plant Cost)	\$69.00
9	Installed Tree Cost:	\$115.00
10	Unit Tree Cost:	\$9.16

Calculations by Appraiser Using Field and/or Regional Information

11	Appraised Trunk Area (using Table 4.6) :	254 cm ²
12	Appraised Tree Trunk Increase (#11 - #6b):	241 cm ²
13	Basic Tree Cost (#12 x #10 + #9) :	\$2,325.64
14	Appraised Value (#13 x #5 x #2 x #4) :	\$952.35
15	Appraised Value > \$5000.00 is rounded to the nearest \$100.	
16	Appraised Value < \$5000.00 is rounded to the nearest \$10.	

APPRAISED VALUE: \$950



Welwyn Consulting

Appendix D: Site Photos – 1427 Dundas Crescent, Mississauga



Photo #3 (Tree #38)



Photo #4 (Tree #50)

Figure #2:

The above photos show the two (2) hazard trees proposed for removal on the site at 1427 Dundas Crescent, Mississauga.

Please refer to Page 8 of this report for further information.

City of Mississauga

Corporate Report



<p>Date: March 30, 2021</p> <p>To: Chair and Members of Heritage Advisory Committee</p> <p>From: Shari Lichterman, CPA, CMA, Commissioner of Community Services</p>	<p>Originator's files:</p> <hr/> <p>Meeting date: April 13, 2021</p>
---	--

Subject

Request to Demolish a Heritage Listed Property: 29 Queen Street South (Ward 11)

Recommendation

That the property at 29 Queen Street South, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated March 30, 2021.

Executive Summary

- The proposal is to demolish the existing structure at 29 Queen Street South and replace it with a new build. The property is listed on the City's Heritage Register.
- The property is located within the Streetsville Core Cultural Heritage Landscape.
- The existing house is a 20th Century bungalow, and does not meet the criteria for designation under the *Ontario Heritage Act*.
- The proposed new build is sympathetic to the Cultural Heritage Landscape.

Background

Section 27.3 of the *Ontario Heritage Act* states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

Comments

The owner of the subject property has submitted a heritage application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part

of the Streetsville Village Core cultural landscape, which retains the scale and character of a rural farming town. The Heritage Impact Assessment is attached as Appendix 1. It is the consultant's conclusion that the house at 29 Queen Street South is not worthy of heritage designation. Staff concurs with this opinion.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 29 Queen Street South has requested permission to demolish a structure on a property that is listed on the City's Heritage Register. The applicant has submitted a Heritage Impact Assessment that provides information which does not support the building's merit for designation under the Ontario Heritage Act.

Attachments

Appendix 1: Heritage Impact Assessment



Shari Lichterman, CPA, CMA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

HERITAGE IMPACT ASSESSMENT

29 QUEEN STREET SOUTH, STREETSVILLE
CITY OF MISSISSAUGA, ONTARIO

Prepared for:

Avondale Homes Inc.
21 Amarone Avenue
Woodbridge On
L4H2N8

ASI File: 17CH-066

June 2017
(Updated February 2021)



528 Bathurst Street Toronto, ONTARIO M5S 2P9
T 416-966-1069 F 416-966-9723 ASIheritage.ca

HERITAGE IMPACT ASSESSMENT

29 QUEEN STREET SOUTH, STREETSVILLE CITY OF MISSISSAUGA, ONTARIO

EXECUTIVE SUMMARY

ASI was contracted by Avondale Homes Inc. to prepare a Heritage Impact Assessment (HIA) of the property at 29 Queen Street South in the City of Mississauga, Ontario. This HIA is structured to provide an evaluation of the cultural heritage value of the property at 29 Queen Street South as determined by the criteria set in Ontario Regulation 9/06 and to evaluate the impact of the proposed demolition of the building on the Mississauga Road Scenic Route and the Streetsville Village Core Cultural Heritage Landscape. This report also provides an analysis of the proposed replacement structure's suitability within the Mississauga Road Scenic Route and the Streetsville Cultural Heritage Landscape.

The proposed planning application involves the demolition of the building at 29 Queen Street South and the construction of a replacement building to be used for commercial purposes. Based on the results of archival research, a field review and heritage evaluation, the property at 29 Queen Street South was determined to not contain cultural heritage value following application of Ontario Regulation 9/06 of the *Ontario Heritage Act*. Additionally, the property was not found to contribute to the Mississauga Road Scenic Route or the Streetsville Village Core Cultural Heritage Landscape.

The proposed replacement building is a two-storey mixed-use building that is consistent with the existing character of the surrounding area and will not have an impact on the Mississauga Road Scenic Route or the Streetsville Village Core Cultural Heritage Landscape.

PROJECT PERSONNEL

<i>Senior Project Manager:</i>	Annie Veilleux, MA, CAHP Cultural Heritage Specialist Manager, Cultural Heritage Division
<i>Project Manager:</i>	James Neilson, MES Cultural Heritage Specialist
<i>Project Administrator</i>	Carol Bella, Hon. BA Archaeologist Executive Assistant - Operations Division
<i>Historical Research:</i>	James Neilson
<i>Field Review</i>	James Neilson
<i>Report Preparation:</i>	James Neilson
<i>Graphics Preparation:</i>	Blake Williams, MLitt Staff Archaeologist and Geomatics Specialist
<i>Report Reviewer:</i>	Annie Veilleux

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1.0 INTRODUCTION

ASI was contracted by Avondale Homes Inc. to prepare a Heritage Impact Assessment (HIA) of the property at 29 Queen Street South, on Part Lot 5, Concession 4 West of Hurontario Street in the City of Mississauga, Ontario. This HIA is part of the proposed undertaking to demolish the existing building at 29 Queen Street South and replace it with a two-storey mixed-use building.

The subject property at 29 Queen Street South is located on the northeast side of Queen Street South, northwest of Ellen Street and southeast of Britannia Road West. The property is located within the Mississauga Road Scenic Route and the Streetsville Village Core Cultural Heritage Landscape.



Figure 1: Location map of 29 Queen Street South (Base Map: Open Street Maps)

The research, analysis and site visit was conducted by James Neilson under the project direction of Annie Veilleux, Manager of the Cultural Heritage Division, ASI. The present heritage impact assessment follows the Ministry of Tourism, Culture and Sports' *Ontario Heritage Toolkit* (2006), the City of Mississauga Cultural Heritage Impact Assessment Terms of Reference (2014) and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010). Research was completed to investigate, document and evaluate the cultural heritage resources within and adjacent to the study area.

This document will provide:

- a description of the cultural heritage resources, including location, a detailed land use history of the site and photographic documentation;
- a description of the site's cultural heritage value based on archival research, site analysis, and municipally accepted criteria for establishing cultural heritage significance; and
- an assessment of impacts of the proposed undertaking.

1.1 Location and Study Area Description

The study area consists of 29 Queen Street South, which is located on the northeast side of Queen Street South, northwest of Ellen Street and southeast of Britannia Road West. The subject property consists of a one storey bungalow residential building that has been converted for commercial use. The property is accessed from Queen Street South by a driveway extending from the road to behind the building (Figure 2).

The surrounding area consists of detached post-war residential-style buildings, many of which have been converted for commercial uses. This area acts as a transition area between the historic Village of Streetsville located to the southeast and the modern commercial buildings to the northwest.

The property is located within the Mississauga Road Scenic Route (MRSR) and the Streetsville Village Core Cultural Heritage Landscape (SVCCHL).

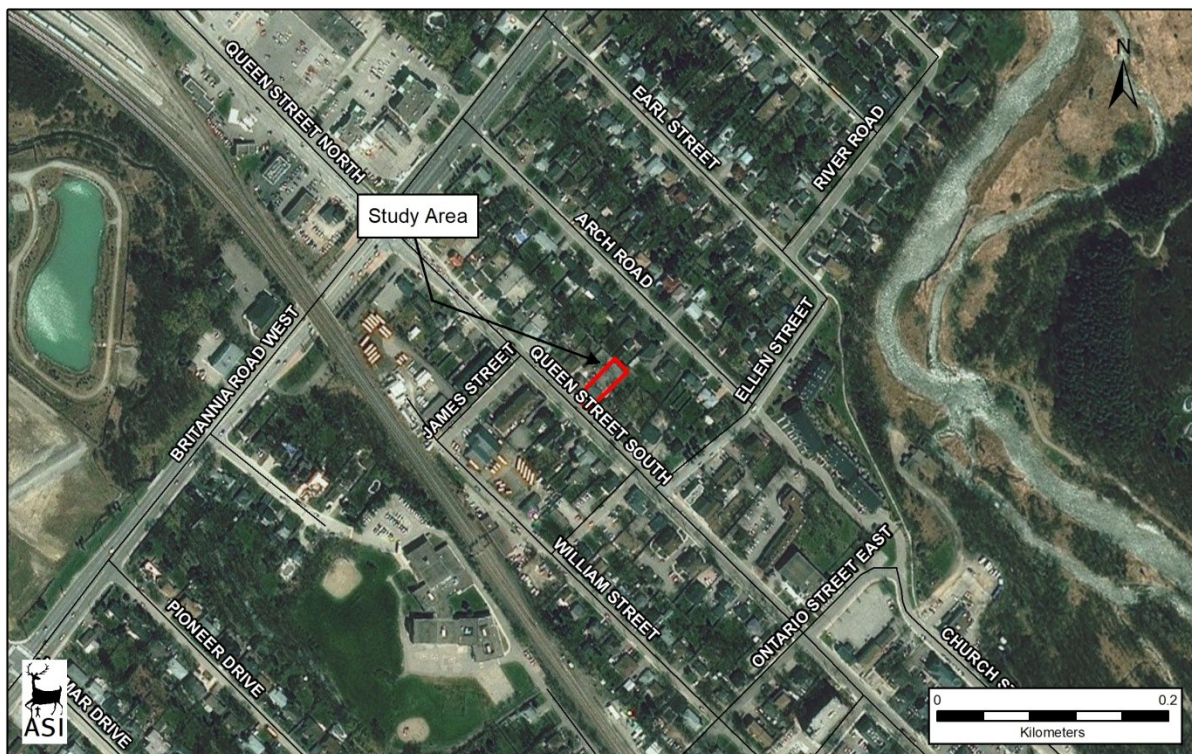


Figure 2: Aerial view of 29 Queen Street South

1.2 Policy Framework

The authority to request this Cultural Heritage Impact Assessment arises from the Ontario Heritage Act, Section 2(d) of the Planning Act (1990), the Provincial Policy Statement (2020) and the City of Mississauga *Official Plan* (2020).

The Ontario Heritage Act (OHA) (MHSTCI 1990) enables designation of properties and districts under Part IV and Part V, Sections 26 through 46 and provides the legislative bases for applying heritage easements to real property.

The Planning Act (1990) and related Provincial Policy Statement (PPS 2020) make a number of provisions relating to heritage conservation (Ministry of Municipal Affairs and Housing 1990; Government of Ontario 2020). One of the general purposes of the Planning Act (the Act) is to integrate matters of provincial interest in provincial and municipal planning decisions. To inform all those involved in planning activities of the scope of these matters of provincial interest, Section 2 of the Act provides an extensive listing. These matters of provincial interest shall be regarded when certain authorities, including the council of a municipality, carry out their responsibilities under the Act. One of these provincial interests is directly concerned with:

2 (i) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.

The PPS indicates in Section 4.0 - Implementation/Interpretation, that:

4.6 The official plan is the most important vehicle for implementation of this Provincial Policy Statement. Comprehensive, integrated and long-term planning is best achieved through official plans.

Official plans shall identify provincial interests and set out appropriate land use designations and policies. To determine the significance of some natural heritage features and other resources, evaluation may be required.

In order to protect provincial interests, planning authorities shall keep their official plans up-to-date with this Provincial Policy Statement. The policies of this Provincial Policy Statement continue to apply after adoption and approval of an official plan.

Those policies of particular relevance for the conservation of cultural heritage are contained in Section 2.0, Wise Use and Management of Resources, in which the preamble states that "Ontario's long-term prosperity, environmental health, and social well-being depend on conserving biodiversity, protecting the health of the Great Lakes, and protecting natural heritage, water, agricultural, mineral and cultural heritage and archaeological resources for their economic, environmental and social benefits" (Province of Ontario 2020:22).

Accordingly, in subsection 2.6, Cultural Heritage and Archaeology makes the following provisions relevant to this assessment:



2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Italicized terms in the foregoing policy statements are defined in Section 6.0 Definitions of the PPS and have been considered as part of the present assessment.

This provides the context not only for discrete planning activities detailed in the Planning Act but also for the foundation of policy statements issued under Section 3 of the Planning Act.

The following policies, outlined in the City of Mississauga's *Official Plan* (2020), direct the undertaking of Heritage Impact Assessment within the City:

- 7.4.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Statement, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

Furthermore, the City of Mississauga's *Official Plan* provides policy direction for development on or adjacent to cultural heritage resources. These policies include:

- 7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources
- 7.4.1.3 Mississauga will require development to maintain location and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.
- 7.4.1.11 Cultural heritage resources designated under the Ontario Heritage Act, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the Ontario Heritage Tool Kit, the Ontario Ministry of Culture, and the Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada.
- 7.4.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.
- 9.5.1.15 Development in proximity to landmark buildings or sites, to the Natural Areas System or cultural heritage resources, should be designed to:



- a. respect the prominence, character, setting and connectivity of these buildings, sites and resources; and
- b. ensure an effective transition in built form through appropriate height, massing, character, architectural design, siting, setbacks, parking, amenity and open spaces.

The property is currently Listed on the City of Mississauga's Heritage Register as part of the Streetsville Village Core Cultural Heritage Landscape (SVCCHL). The SVCCHL is recognized for containing the following cultural heritage attributes:

- Historical Association
 - Illustrates Style, Trend or Pattern
 - Illustrates Important Phase in Mississauga's Social or Physical Development
- Built Environment
 - Aesthetic/Visual Quality
 - Designated Structures
- Other
 - Historical or Archaeological Interest
- Site Description

Despite the encirclement of Streetsville by encroaching urbanization over the past twenty years, the main core of the community retains the distinct scale and character of a rural farming town. New developments continue to respect the scale of shop fronts along the main portion of the street and local features have crept into the many forecourt walls fronting buildings to the north end of the core area. Because of its integration with the surrounding development, the core area remains a local service centre to its surrounding community - albeit to a much larger population base. Care should be taken to ensure that the appearance of Streetsville, including extant churches, cemeteries and public buildings, is retained in the face of future development pressures to ensure that the character of this part of Mississauga remains intact. There are over ninety heritage properties listed, many of which are designated. Streetsville is recognized as a significant cultural landscape because it retains a portfolio of heritage buildings of a consistent scale and portrays a period landscape of a small village.

In addition, 29 Queen Street South is also Listed on the City of Mississauga's Heritage Register as part of the Mississauga Road Scenic Route. The MRSR is recognized for containing the following cultural heritage attributes:

- Landscape Environment
 - Scenic and Visual Quality
 - Horticultural Interest
 - Landscape Design, Type and Technological Interest
- Historical Association
 - Illustrates Style, Trend or Pattern
 - Illustrates Important Phase in Mississauga's Social or Physical Development
- Built Environment



- Consistent Scale of Built Features
- Site Description
Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

1.3 Project Consultation

The following organizations, websites, online heritage documents, online heritage mapping tools were reviewed and heritage staff were contacted to confirm the level of significance of the subject property, the location of additional previously identified cultural heritage resources adjacent to the study area, and to request additional information generally:

- City of Mississauga Heritage Property Search Interactive Map [Accessed 7 June, 2017] at <https://www.mississauga.ca/portal/services/property?DPSLogout=true>
- City of Mississauga Cultural Heritage Landscapes Inventory (January 2005);
- City of Mississauga Planner, Ben Philips (June 5, 2017);
- Canadian Register of Historic Places [Accessed 7 June, 2017] at <http://www.historicplaces.ca/en/pages/about-apropos.aspx>;
- Parks Canada website (national historic sites) [Accessed 7 June, 2017] at <http://www.pc.gc.ca/eng/progs/lhn-nhs/index.aspx>;
- Ontario Heritage Trust *Ontario Heritage Plaque Guide*, an online, searchable database of Ontario Heritage Plaques [Accessed 7 June, 2017] at <http://www.heritagetrust.on.ca/Resources-and-Learning/Online-Plaque-Guide.aspx>;
- Federal Heritage Buildings Review Office (FHBRO) [these properties are recognized under the Treasury Board Policy on the Management of Real Property (TBPMRP)];
- Toronto Reference Library;
- Region of Peel Land Registry Office; and
- Historical and genealogical records at Ancestry.com

2.0 HISTORICAL RESEARCH

A review of available primary and secondary source material was undertaken to produce a contextual overview of the study area, including a general description of Euro-Canadian settlement and land-use, and the development of transportation infrastructure. The following section provides the results of this research.

The subject property is located in Part Lot 5, Concession 4 West of Hurontario Street in the historical Village of Streetsville and Toronto Township, and modern-day City of Mississauga, Ontario. The property consists of a one-storey bungalow building fronting on Queen Street with an entrance drive leading to a parking area to the rear. The property is bounded by Queen Street South to the southwest and residential properties to the northwest, northeast and southeast. Queen Street South is a historical thoroughfare and the main street of the historical Village of Streetsville.

2.1 Township and Settlement History

Village of Streetsville

The settlement of Streetsville began between 1819 and 1821 on the banks of the Credit River, just east of Queen Street South in the City of Mississauga. The original settlement probably focused around Timothy Street's mills, after whom the community is named. In 1821 a general store and trading post was opened by John Barnhart. As early as 1823 a bridge was built over the Credit River, this made the community a key crossing point. By 1835 Streetsville had become a political and economic hub, attracting merchants and tradesmen. By 1850 Streetsville had a population of 1000 and was the most prosperous and populated village in Peel County. By 1858 its population had grown to 1500. Streetsville reached its apex by 1867 and while it continued to thrive after the construction of the Credit Valley Railway, it could not supplant Brampton as the centre of Peel County. By the early Twentieth Century Streetsville's mills began to close and by the 1940s the last of Streetsville's many hotels also closed. By 1951 the population had receded to 1139 and in 1974 it was amalgamated into the City of Mississauga (Heritage Mississauga 2009).

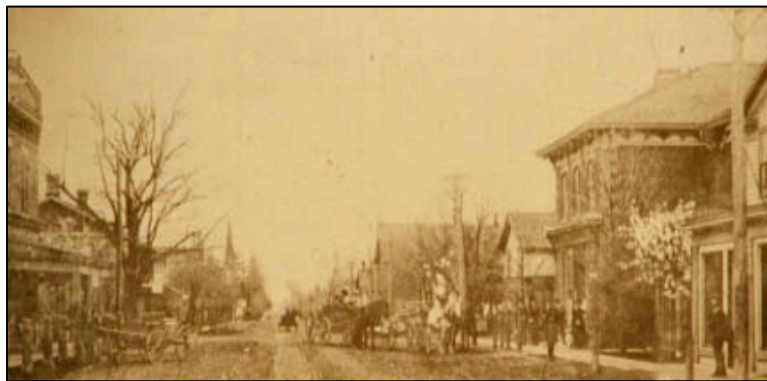


Figure 3: Image of Queen Street South c.1906 (Mississauga Library, N359)

Toronto Township

The Township of Toronto was originally surveyed in 1806 by Mr. Wilmot, Deputy Surveyor. The first settler in this Township, and also the County of Peel, was Colonel Thomas Ingersoll. The whole population of the Township in 1808 consisted of seven families, scattered along Dundas Street. The number of inhabitants gradually increased until the war broke out in 1812, which gave considerable check to its progress. When the war was over, the Township's growth revived and the rear part of the Township was surveyed and called the "New Survey". The greater part of the New Survey was granted to a colony of Irish settlers from New York City, who suffered persecution during the war.

The Credit River runs through the western portion of the Township, and proved to be a great source of wealth to its inhabitants, as it was not only a good watering stream, but there were endless mill privileges along the entire length of the river.

In 1855, the Hamilton and Toronto Railway completed its lakeshore line. In 1871, the railway was amalgamated with the Great Western Railway, which in turn, was amalgamated in 1882, with the Grand Trunk Railway, and then in 1923, with Canadian National Railway (Andrea 1997:126–127). Several villages of varying sizes had developed by the end of the nineteenth century, including Streetsville, Meadowvale, Churchville, and Malton. A number of crossroad communities also began to grow by the end of the nineteenth century. These included Britannia, Derry, Frasers Corners, Palestine, Mt Charles, and Grahamsville.

2.2 Land Use History: 29 Queen Street South

The subject property at 29 Queen Street South is located in Part Lot 5, Concession 4 West of Hurontario Street in the City of Mississauga, Ontario. The Lot was originally granted to the Crown, who sold the property to Henry Rutledge in 1831 (Hicks 2008). Henry Rutledge was an important figure in the Village of Streetsville, sitting on the Village's first Council in 1858 and helping to form the Streetsville Farmers' and Mechanics Institute. Over time, the Rutledge family owned a number of lots in the area including Lot 6 in Concession 4 and Lots 5, 6, 8, 9 and 10 in Concession 5.

By 1860, the Village of Streetsville was already well developed, stretching along Queen Street between Part Lots 3 to 5. Rutledge's ownership of the property is represented on the 1860 Tremaine Map of Peel (Tremaine 1860, Figure 7) and shows the Rutledge farm situated on the northern edge of the Village, with much of the surrounding area already subdivided and developed. According to Hicks (2008:8), the Rutledge farmhouse was a two-storey white roughcast house located north of the existing Ellen Street (Figure 4). Two brick barns were situated in close proximity to the location of the property at 29 Queen Street South. The property was known for its many lilac bushes and also contained kilns, which produced bricks for many buildings in the community including the Trinity Anglican Church, which sat on land south of Ellen Street, donated by Rutledge (Figure 6).





Figure 4: Henry Rutledge House (Hicks 2008)

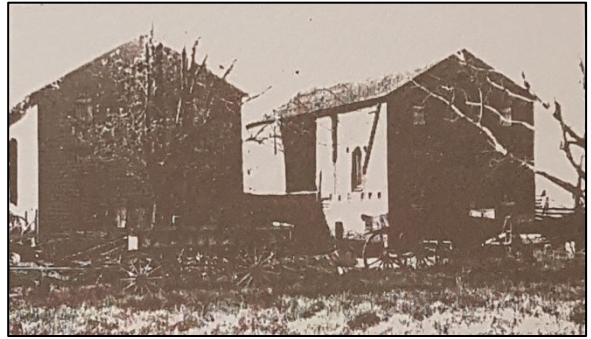


Figure 5: Henry Rutledge's barns (Hicks 2008)



Figure 6: Trinity Anglican Church

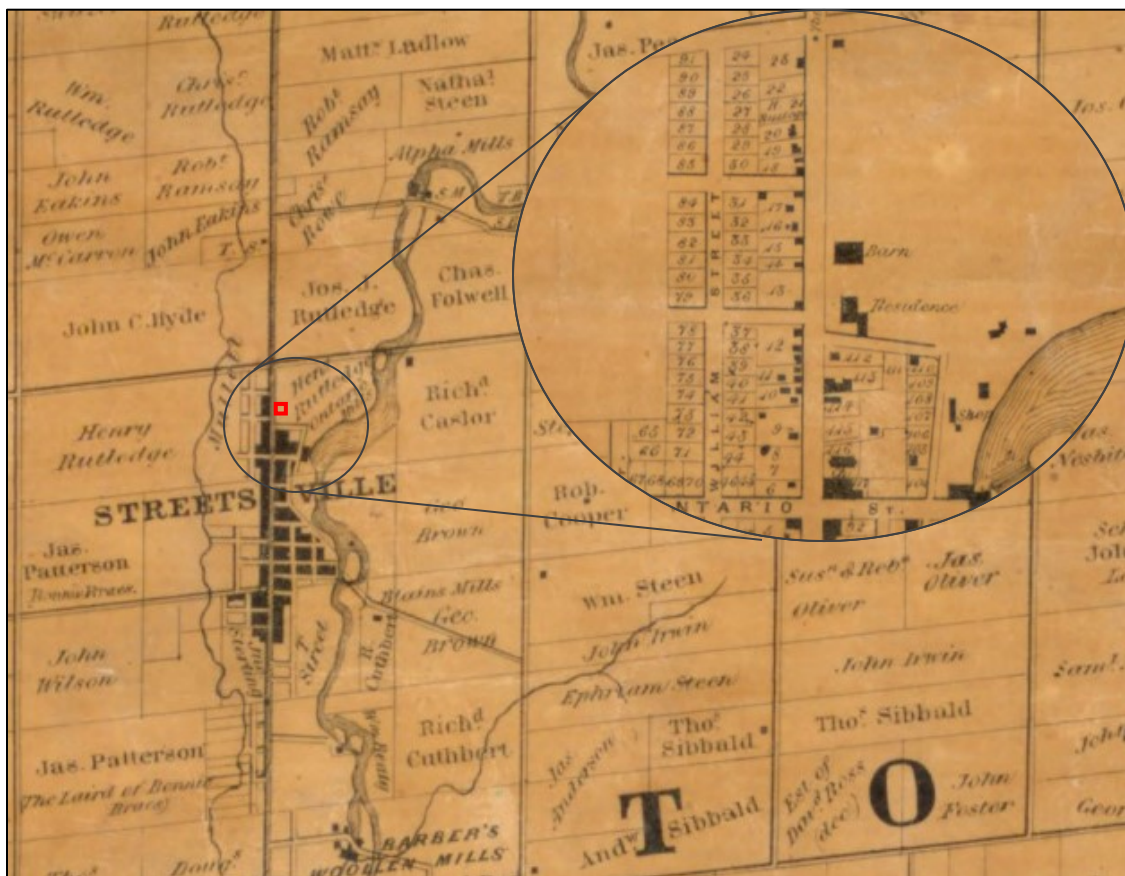


Figure 7: Approximate location of the study area on the 1860 Tremain Map (Tremain 1860, Annotated by ASI)



Figure 8: Approximate location of the study area on the 1877 Map of Peel County (Walker & Miles 1877, Annotated by ASI)

The level of detail on the 1877 Peel County map does not show the farmhouse and barn, though the area is shown as being part of the Village of Streetsville (Walker & Miles 1877, Figure 8). We can assume that the agricultural nature of the property was maintained throughout the late- nineteenth and early- twentieth century as the 1939 Fire Insurance Plan of Streetsville shows the property in a similar condition as the 1860 Tremaine Map (Underwriters Survey Bureau 1939, Figure 9). This map shows the property as it looked when Nellie Rutledge sold the property to Elizabeth and Logan Hoey in 1938, signalling the end of over a century of the property being owned by the Rutledge family.

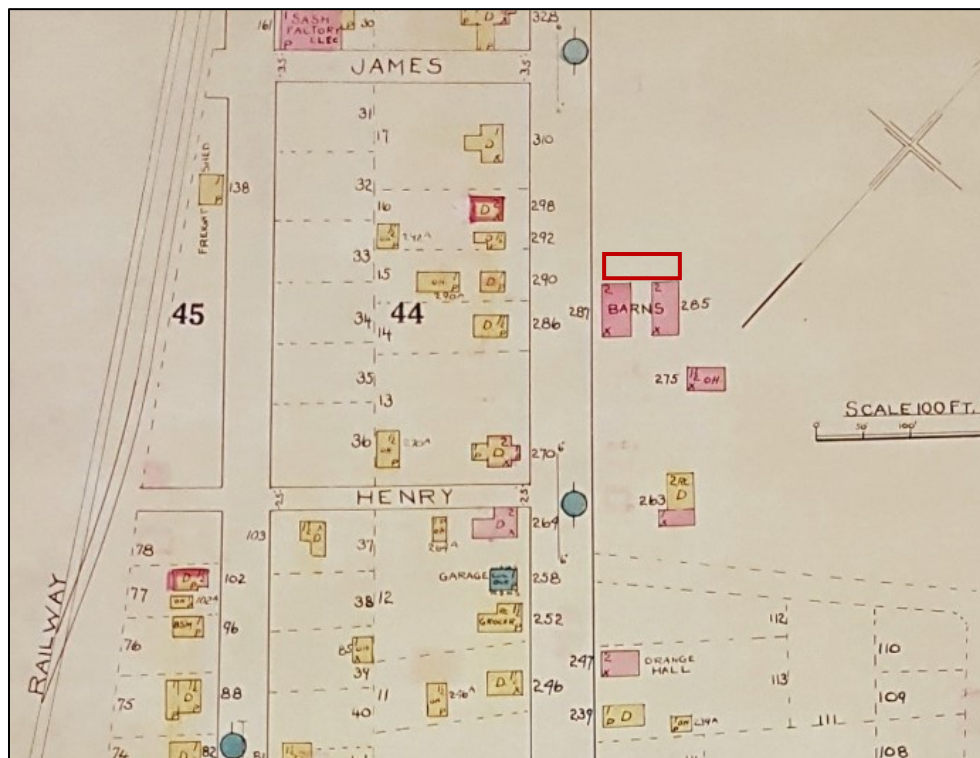


Figure 9: 1939 Streetsville Fire insurance Map (Underwriters' Survey Bureau 1939, Annotated by ASI)

The Hoey's owned the property until 1948 when it was sold to William C Arch. Arch was a local politician in Streetsville and owned a construction company, Arch and Sons Building and Construction Ltd. In 1949, Arch registered Plan 374, which subdivided the property into a series of lots from Britannia Road to just north of Ellen Street (Figure 10). 29 Queen Street South was built c.1950 at the same time as the entire row of houses on the northeast side of Queen Street South (see Figure 11 and Figure 12). This was part of the first wave of residential development on the Rutledge farm, and by 1966, there was little trace of the original farm (see Figure 12 and Figure 13). The history of the property is reflected in the street names found in the area. Many of the roads have been named after Henry Rutledge's children (James, William and Ellen), while Arch Road is named after William Arch.

Figure 10: 1949 Subdivision Plan, Plan 374 (Land Registry Office)

Historical Aerial Photos



Figure 11: Aerial image from 1944 (City of Mississauga)



Figure 12: Aerial image from 1954 (City of Mississauga)



Figure 13: Aerial image from 1966 (City of Mississauga)

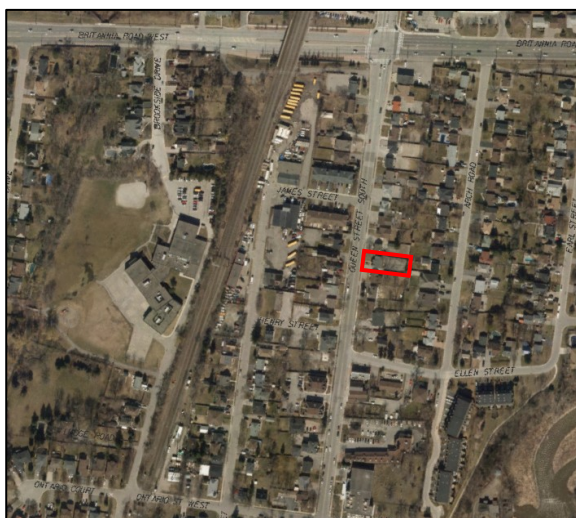


Figure 14: Aerial image from 2015 (City of Mississauga)

2.3 Architecture

29 Queen Street South is a one-storey post-war bungalow style residential building. Composed of simple designs on square or rectangular footprints, this building type was made popular following World War II, during a time when Canada experienced a residential building boom. Approximately 1.7 million housing units were built across the country between 1946 and 1961 (Canada Mortgage and Housing Corporation 1994: 11).

Historically, house construction was based on traditional, or non-engineered, construction practices. Thus, methods had been developed and proven to be satisfactory by trial and error. In contrast, in engineered construction, performance of a particular system was determined scientifically. While traditional construction practices continued to be significant, engineered construction began to play a greater role in Canadian housing after World War II. (Canada Mortgage and Housing Corporation 1994: 29)

Part of the transition in building construction involved the greater use of prefabrication to speed up construction, reduce costs and reduce the need for skilled labour (Canada Mortgage and Housing Corporation 1994: 36, 39). The cost of wood, which by 1951 was four times its pre-war price, and the market's desire for low maintenance houses contributed to the trend of using alternative materials like prefinished aluminum or hardboard sidings (as used on 29 Queen Street South). The transition in building construction methods and materials had a significant impact on the ability to supply to growing housing market. In the mid 1940s, construction time for an average sized and equipped house was seven months and took 2,400 site person hours. By the mid 1960s, the same type of house took only eight weeks to build and required 950 site person hours (Canada Mortgage and Housing Corporation 1994: 47).

The plans for these types of homes were often issued within catalogues. The Central Mortgage and Housing Corporation produced a number of catalogues, starting with the *67 Homes* Catalogue in 1947 (Teodorescu 2012: 135). These catalogues provided drawings, floor plans and a description of the building, and buyers could purchase building plans based on these designs. The exact plans used to build 29 Queen Street South are unknown, though the property features a nearly identical floor plan and a similar external appearance as Design No.49-35 in the 1949 *Small House Designs: Bungalows* (Central Mortgage and Housing Corporation 1949:40, Figure 15 & Figure 16).



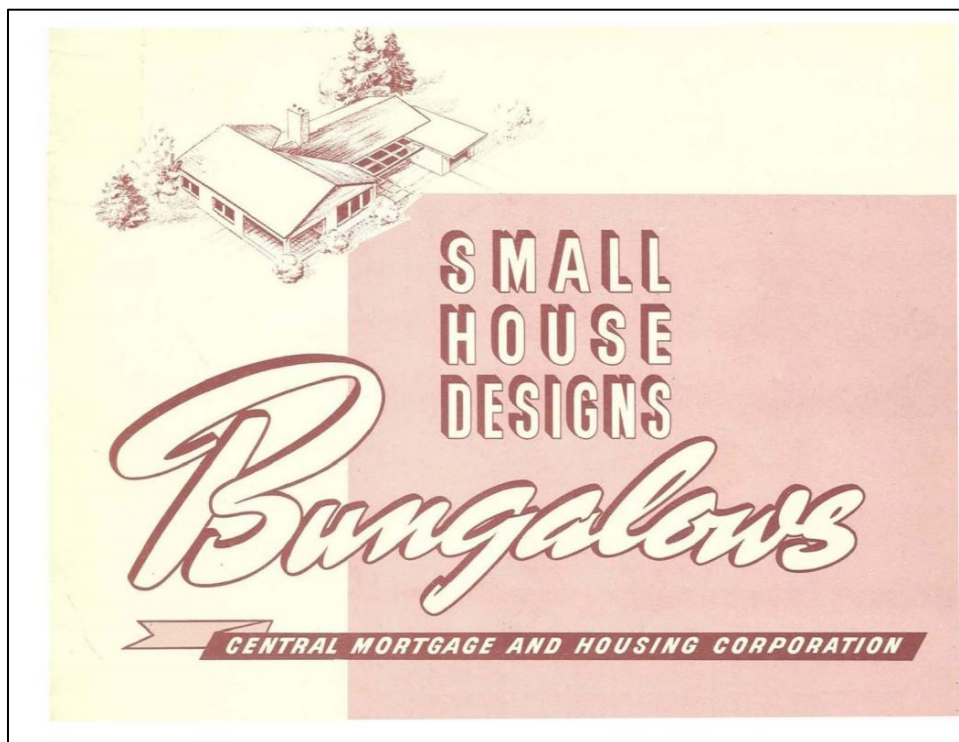


Figure 15: Small House Designs: Bungalows (Central Mortgage and Housing Corporation 1949)

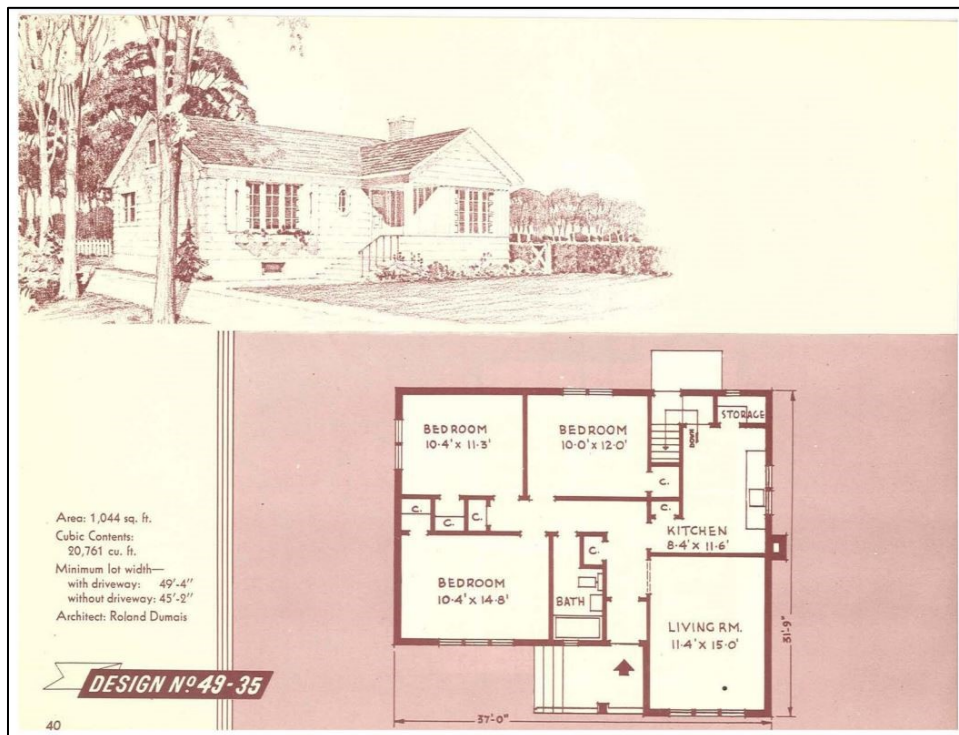


Figure 16: Design No.49-35 (Central Mortgage and Housing Corporation 1949)

3.0 EXISTING CONDITIONS

3.1 Introduction

A field review was conducted by James Neilson and John Sleath of ASI, on June 14, 2017 to survey and document the study area and environs.

3.2 29 Queen Street South

3.2.1 Exterior

The structure at 29 Queen Street South is a one-storey residential building built c.1950 that has been converted for commercial use (Figure 19). Built in the post-war bungalow style, the building sits on a cement block foundation and features a gable roof made of asphalt shingles. The building is clad in two types of white siding: aluminium on the front and side elevations and clapboard on the rear elevation (Figure 27). Clapboard siding was found beneath an exposed portion of the side elevation, which suggests that the building was likely clad in clapboard when it was built (Figure 28). A portion of cladding on southeast elevation has been poorly replaced and the staggered seams between the old and new siding are visible (Figure 26).

The front elevation consists of a trio of three-casement windows (Figure 20). Basement windows are located on either side of the entranceway. A fabric porch roof attached to metal poles was installed above the cement front porch. The southeast and northwest elevations each contain one set of two one-over-one windows and three and two basement windows respectively (Figure 21, Figure 22 & Figure 24). The rear elevation contains a one-over-one hung window and two one-over-one windows flanking a rear entrance to the basement (Figure 23).

Two-thirds of the building's front elevation extends toward the street and may have been altered at some point in the building's history (Figure 29). Based on the slope of the roof above the entranceway and the configuration of internal space, it is possible that the original porch was enclosed. The roof above this potential alteration was built at a different slope from the rest of the house and is inconsistent with the other houses in the area (Figure 30). The residential building at 17 Queen Street South appears to have a similar facade and architectural features as the subject property, and may provide an understanding of what the residence looked like before the porch was enclosed (Figure 17). Additionally, the facade at 17 Queen Street South features lined parging to give the facade a stone appearance, which also appears on the foundation of the front elevation of 29 Queen Street South (the remainder of the foundation features smoothed parging).



Figure 17: 17 Queen Street South (Google)

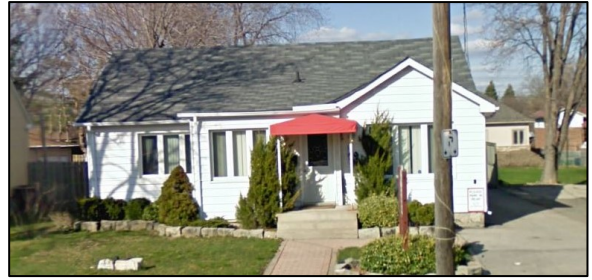


Figure 18: 29 Queen Street South c.2009 (Google)



Figure 19: Southwest elevation



Figure 20: Southwest elevation



Figure 21: Southwest and southeast elevations



Figure 22: Southeast elevation



Figure 23: Northeast elevation



Figure 24: Northwest elevation



Figure 25: Lined parging along the foundation



Figure 26: Repairs to the siding and the transition from lined to smooth parging on the foundation.



Figure 27: Clapboard on the northeast elevation and aluminum siding on the northwest elevation.



Figure 28: The original clapboard siding beneath aluminum siding.



Figure 29: Enclosed porch



Figure 30: Roof detail of the enclosed porch

3.2.2 Interior

The interior of 29 Queen Street South has been altered for commercial use. The interior features a large front foyer where the front porch was likely enclosed (Figure 31), a living room (Figure 32 & Figure 33), three bedrooms (Figure 37 to Figure 40), a bathroom (with a shower that has been converted into a closet) (Figure 36) and a small office space where the kitchen was originally located (Figure 34). The entire first floor is carpeted apart from one bedroom, which features hardwood floors. The doors to each room are office doors with five-by-three glass panels. The ceilings throughout the living room, office space and hallway are drywall, while the bedrooms have a drop ceiling with panelling.

The basement is accessed via a rear entry (Figure 41). The basement is finished with a drop ceiling with panelling, drywall walls and both hardwood and carpeted flooring. The basement has an unequipped kitchen containing sink and cupboards (Figure 43), a large living room (Figure 44 and Figure 45), bedroom, bathroom and furnace room. The cement block foundation is visible from within the furnace room (Figure 46)



Figure 31: Enclosed porch, interior.



Figure 32: Living room.



Figure 33: Living room.



Figure 34: Former kitchen, converted to an office space.



Figure 35: Hallway



Figure 36: Bathroom



Figure 37: Bedroom



Figure 38: Bedroom



Figure 39: Bedroom



Figure 40: Bedroom

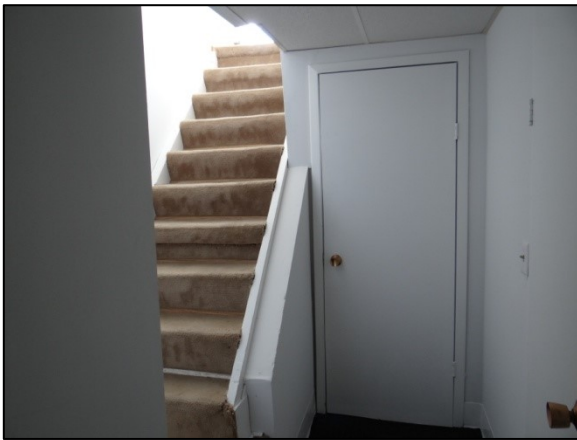


Figure 41: Basement staircase



Figure 42: Basement



Figure 43: Basement kitchen



Figure 44: Basement living space



Figure 45: Basement living space



Figure 46: Concrete block foundation

3.2.3 Landscape Features

The subject property at 29 Queen Street South features a paved entrance driveway leading from Queen Street South, along the southeast side of the building to a paved parking lot area behind the building (Figure 49). The front yard is landscaped with a group of bushes on either side of the front entranceway (Figure 47 & Figure 48). A brick path leads from the front sidewalk and the driveway to the front entrance. A wood fence and a row of vegetation are found behind the building along the southeast and northeast property lines respectively (Figure 50).



Figure 47: Front yard landscaping



Figure 48: Front yard landscaping



Figure 49: Parking lot behind 29 Queen Street South



Figure 50: Parking lot behind 29 Queen Street South

4.0 CULTURAL HERITAGE VALUE

4.1 Heritage Evaluation of 29 Queen Street South

The property located at 29 Queen Street South is located within the Streetsville Village Core Cultural Heritage Landscape and on the Mississauga Road Scenic Route and as such is Listed on the City of Mississauga's Heritage Register (see Appendix B).

The following provides an evaluation of the cultural heritage value of 29 Queen Street South against criteria set out in Ontario Regulation 9/06 of the *Ontario Heritage Act*.

Table 1: Evaluation of 29 Queen Street South using Ontario Regulation 9/06

1. The property has design value or physical value because it:

<i>Ontario Heritage Act</i> Criteria	Analysis
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The building at 29 Queen Street South is a typical early-1950s post-war bungalow. The building is not a rare, unique, representative or early example of this style.
ii. displays a high degree of craftsmanship or artistic merit, or;	The building does not display a high degree of craftsmanship or artistic merit.
iii. demonstrates a high degree of technical or scientific achievement.	The building does not display a high degree of technical or scientific achievement.

2. The property has historical value or associative value because it:

Table 1: Evaluation of 29 Queen Street South using Ontario Regulation 9/06

<i>Ontario Heritage Act Criteria</i>	<i>Analysis</i>
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community;	The building is not associated with any entity that is a significant part of the community.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or;	The property does not have the potential to yield information that would contribute to a greater understanding of the Streetsville community.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	The building does not reflect the work of a significant architect, artist, builder, designer or theorist within the community.

3. The property has contextual value because it:

<i>Ontario Heritage Act Criteria</i>	<i>Analysis</i>
i. is important in defining, maintaining or supporting the character of an area;	<p>The property does not meet this criterion.</p> <p>The building is part of an area that consists of post-war bungalow housing, which is a common housing style throughout Canada. However, the building itself is not integral to defining, maintaining or supporting this character. Additionally, given that the area consists of post-war bungalows, which is a common building-style throughout Mississauga, the cultural significance of this area is limited.</p> <p>As a post-war building, the building is not consistent with the nineteenth-century rural village character of the historic village of Streetsville. Furthermore, it does not define, maintain or support the character of the historic Mississauga Road, which is notable for containing a historic character that consists of large lots and house sizes within areas that are rich in vegetation and a variety of topography.</p>
ii. is physically, functionally, visually or historically linked to its surroundings, or;	The building is a typical post-war bungalow, which is a style that is found throughout Mississauga and communities across North America. As this building typology is common, the building at 29 Queen Street South is not linked to its specific surroundings.
iii. is a landmark.	The building is not a landmark.

The property at 29 Queen Street South does not meet the criteria contained within Ontario Regulation 9/06, and therefore does not merit designation as a heritage property with local significance under the *Ontario Heritage Act*.



5.0 PROPOSED DEVELOPMENT

5.1 Proposed Work

ASI has evaluated the plans and drawings by Arctek Architectural Design Consultants, dated February 19, 2021 (see Appendix C). The proposed development involves the demolition of the existing building at 29 Queen Street South and the construction of a replacement structure for residential/commercial purposes on site.

The replacement structure is a two-storey mixed-use building designed with Georgian influences to give the appearance of a residential building. The proposed building will retain approximately the same existing setback from the street and adjacent buildings. The proposed building is clad in a brick veneer with a stone veneer around the foundation. The building will have a combined gable/hipped roof with asphalt shingles. A flat roofed porch with support columns is accessed via stairs and an accessibility ramp.

The front elevation is a symmetrical design with a centre entrance with sidelights and transom and sets of two windows on either side. The second floor consists of five windows aligned with the first storey fenestration. All of the windows consist of 3x7 panes of glass. Similar windows are found throughout the side and rear elevations. The rear entrance incorporates an entrance and porch that are identical to the front elevation. The existing rear parking lot will be maintained.



Figure 51: Proposed front elevation

5.2 Impact Assessment

The proposed development involves the demolition of the existing building at 29 Queen Street South and the construction of a replacement structure for residential/commercial purposes on site.

An Ontario Regulation 9/06 evaluation of the property was conducted as part of this Heritage Impact Assessment (See Section 4.0) and it was determined that the property does not retain local significance and does not merit recognition under Part IV of the *Ontario Heritage Act*. As the building does not merit designation, the demolition of the building on the property should be measured against the building's contribution to the two cultural heritage landscapes¹ in which the property is located.

5.2.1 Streetsville Village Core Cultural Heritage Landscape (SVCCHL)

The Site Description of the Streetsville Village Core Cultural Heritage Landscape (SVCCHL) describes the essence of the cultural heritage landscape as retaining the distinct scale and character of a rural farming town, including the importance of extant churches, cemeteries and public buildings. As outlined in

¹ Disclosure: ASI is currently leading the City of Mississauga's Conserving Heritage Landscapes Project, which began in 2018, after the initial submission of this report. The analysis and impacts described within the update to this HIA are based on the 2005 Cultural Heritage Landscape Inventory and have been completed outside of the work completed on the Conserving Heritage Landscapes Project.

Section 2, the subject property was built as part of the post-war building boom and was not part of the wave of nineteenth-century development that created the rural farming town. As the rural character of the property was removed when it was developed as part of a row of post-war residential development northwest of Ellen Street, the property is not consistent with the historic rural farming town described within the SVCCHL Site Description. As such, the building at 29 Queen Street South should not be considered a contributing building within the SVCCHL and its removal will not negatively impact the cultural heritage value of the landscape.

Though the proposed building incorporates a Georgian-influenced façade, the brick and stone veneer will offer a modern aesthetic that will not be confused with the heritage character of Streetsville. Furthermore, the proposed two-storey building is consistent with the character of the immediate area, which consists of post-World War II housing with a range of styles and eras that collectively act as a transition area between the historic village to the southeast and the modern commercial area beyond Britannia Road West. These buildings do not contribute to the cultural heritage value of the SVCCHL and as such, the proposed new building will not have an impact on the SVCCHL.

5.2.2 Mississauga Road Scenic Route (MRSR)

The Site Description of the Mississauga Road Scenic Route (MRSR) highlights the importance of the scenic and visual quality of the route and in particular its topography, vegetation and variety of building typologies. The property at 29 Queen Street South does not contribute to the scenic and visual quality of Mississauga Road as it is devoid of significant vegetation and located on a flat and topographically banal section of the MRSR. Furthermore, with regards to the visual quality of the variety of building typologies, the building is part of a row of 1950s residential buildings, which contain limited cultural heritage value in comparison to the rich cultural heritage resources found along Mississauga Road.

While the MRSR site description mentions the road's role as a "pioneer road," this portion of Queen Street South is located beyond the core of the historic village of Streetsville on a lot that was not developed as part of the historic nineteenth-century village. As such, the demolition of the property will have no impact on the "pioneer" aesthetic of this portion of the route. Furthermore, the proposed commercial building and its uses are consistent with the varying land uses found along the MRSR.

The proposed two-storey development will not alter the scenic and visual quality of the MRSR and no significant vegetation will be affected as part of the new development. Though the building incorporates a Georgian-influenced façade, the brick and stone veneer will offer a modern aesthetic that will not be confused with the heritage character of Mississauga Road. Furthermore, the building will be consistent with the character of this portion of Queen Street South which consists of post-World War II housing with a range of styles and eras that collectively act as a transition area between the historic village to the southeast and the modern commercial area beyond Britannia Road West. It is anticipated that the proposed development will have no impact on the cultural heritage value of Mississauga Road.



5.2.3 Official Plan

The proposed development consists of the demolition of a one-storey building at 29 Queen Street South and the construction of a replacement structure for commercial purposes on site. The existing building is Listed on the City of Mississauga's Heritage Register, though an Ontario Regulation 9/06 evaluation of the property conducted as part of this report (see Section 4.0) determined that the property does not meet the criteria for designation. The property is located within two cultural heritage landscapes and Sections 5.2.1 and 5.2.2 have evaluated the property's contribution to these cultural heritage landscapes and determined that the property is not consistent with the site descriptions outlining the cultural heritage value of both cultural heritage landscapes.

As the property does not contain cultural heritage value on its own merit and does not contribute to the cultural heritage value of the two cultural heritage landscapes, the demolition of the building will have no impact on the City's cultural heritage resources. Furthermore, as described in Sections 5.2.1 and 5.2.2, the proposed replacement building will have no negative impacts on either cultural heritage landscape.

6.0 CONCLUSION

The proposed development, which involves the demolition of the building at 29 Queen Street South and the construction of a two-storey replacement structure will have no impact on the cultural heritage value of the Mississauga Road Scenic Route and the Streetsville Village Core Cultural Heritage Landscape.

As part of this report, an evaluation of the cultural heritage value of the property was conducted using the criteria outlined in Ontario Regulation 9/06. It was determined that the property at 29 Queen Street South is not worthy of designation under Part IV of the *Ontario Heritage Act*.

As the property does not merit designation, does not contribute to the Mississauga Road Scenic Route and the Streetsville Village Core Cultural Heritage Landscape and is being replaced by a suitable structure, there are no recommendations regarding mitigation or alternatives.



7.0 REFERENCES

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APPENDIX A: Land Use History

The following is a list of owners of the property at 29 Queen Street South as determined by research conducted at the Peel Region Land Registry Office.

Year	Owner
1806	The Crown
1831	Henry Rutledge
1869	Arabella Rutledge
1888	John Rutledge
1930	Nellie Rutledge
1938	Elizabeth and Logan Hoey
1948	William C. Arch

APPENDIX B: 29 Queen Street South – Listing Information

PROPERTY HERITAGE DETAIL

[View Another Property](#)

Property Heritage Detail

Address: 29 QUEEN ST
Type: STREETSVILLE CORE
Style:

Area: STREETSVILLE
Reason: CULTURAL LANDSCAPE

 [Print Friendly Page](#)

Images



History

STREETSVILLE CORE CULTURAL LANDSCAPE: The main core of the community retains the distinct scale and character of a rural farming town. New developments continue to respect the scale of shop fronts along the main portion of Queen Street South, and the residential character of large lots with mature trees is typified in the south end transitional approach to the Village. The north end of the Village is also characterized with a residential and commercial mix found in many small towns throughout Ontario. Care should be taken to ensure that the appearance of Streetsville, including extant churches, cemeteries, public buildings and open spaces, is retained in the face of future development pressures to ensure that the character of this part of Mississauga remains intact. There are over ninety heritage properties listed, many which are designated. Streetsville is recognized as a significant cultural landscape because it retains a portfolio of heritage buildings of a consistent scale and portrays a period landscape of a small village.

PROPERTY HERITAGE DETAIL

[View Another Property](#)

Property Heritage Detail

Address: 29 QUEEN ST
Type:
Style:

Area:
Reason: CULTURAL LANDSCAPE

 [Print Friendly Page](#)

Images

History

Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage.

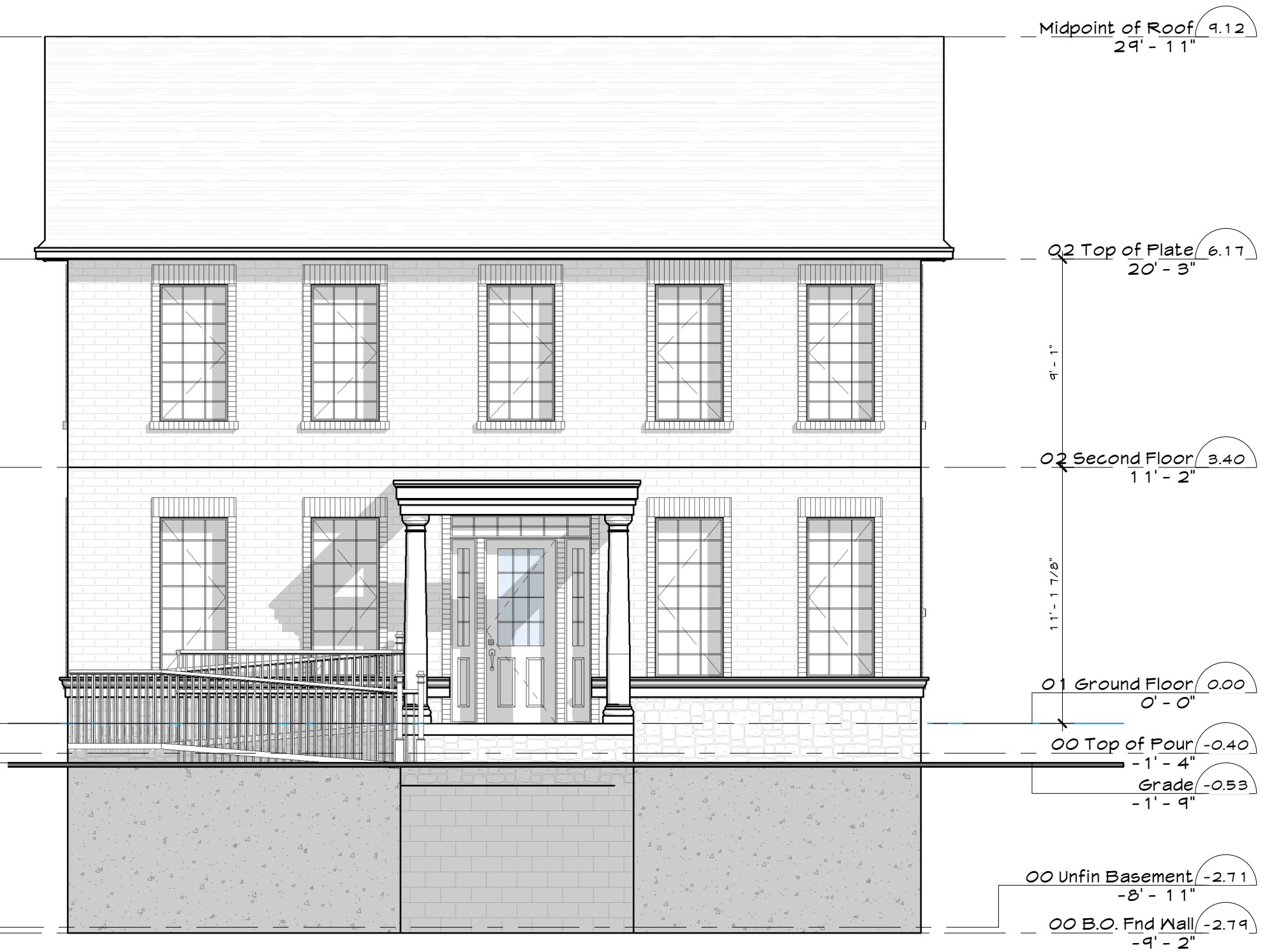
APPENDIX C: Proposed Development






1 Front Elevation Presentation
3/16" = 1'-0"

Drawing No. <div>A3</div>		Project Info: Avondale Homes 29 Queen Street		<div>ARCTEK</div> <div>ARCHITECTURAL DESIGN CONSULTANTS</div> <div>67 MARBELLA ROAD WOODBIDGE, ONTARIO TEL. (905) 893-8233</div>	<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</div> <div>QUALIFICATION INFORMATION Required unless is exempt under 3.2.5. of Division C of the Building Code</div> <div>Tony Tersigni28456 NAMESIGNATUREBCIN</div> <div>REGISTRATION INFORMATION Required unless is exempt under 3.2.4. of Division C of the Building Code</div> <div>Arctek Design Consultants32558 FIRM NAMEBCIN</div>	No.	Description	Date
Job No. 1800	Location Mississauga, Ont	Scale 3/16" = 1'-0"	Date 07/09/02					
Drawn by Author								



1 Front Elevation
3/16" = 1'-0"

Drawing No. A4		Project Info: Avondale Homes 29 Queen Street		<div>ARCTEK</div> <div></div> <div>ARCHITECTURAL DESIGN CONSULTANTS 67 MARBELLA ROAD WOODBRIIDGE, ONTARIO TEL. (905) 893-8233</div>		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</div> <div>QUALIFICATION INFORMATION Required unless is exempt under 3.2.5. of Division C of the Building Code</div> <div>Tony Tersigni28456 NAMESIGNATUREBCIN</div> <div>REGISTRATION INFORMATION Required unless is exempt under 3.2.4. of Division C of the Building Code</div> <div>Arctek Design Consultants32558 FIRM NAMEBCIN</div>		No.	Description	Date
Job No. 1800		Location Mississauga, Ont	Scale 3/16" = 1'-0"	Date 12/05/18	Drawn by Author					




1 Rear Elevation
3/16" = 1'-0"

Drawing No. A5	Project Info: Avondale Homes 29 Queen Street		<div>ARCTEK</div> <div>ARCHITECTURAL DESIGN CONSULTANTS</div> <div>67 MARBELLA ROAD WOODBIDGE, ONTARIO TEL. (905) 893-8233</div>		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless is exempt under 3.2.5. of Division C of the Building Code</div> <div>Tony Tersigni28456 NAMESIGNATUREBCIN</div> <div>REGISTRATION INFORMATION</div> <div>Required unless is exempt under 3.2.4. of Division C of the Building Code</div> <div>Arctek Design Consultants32558 FIRM NAMEBCIN</div>		No.	Description	Date
Job No. 1800	Location Mississauga, Ont	Scale 3/16" = 1'-0"	Date 02/19/21	Drawn by Author					



1 Left Elevation
3/16" = 1'-0"

Drawing No. A6	Project Info: Avondale Homes 29 Queen Street		<div>ARCTEK</div> <div></div> <div>ARCHITECTURAL DESIGN CONSULTANTS</div> <div>67 MARBELLA ROAD WOODBIDGE, ONTARIO TEL. (905) 893-8233</div>	<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</div> <div>QUALIFICATION INFORMATION Required unless is exempt under 3.2.5. of Division C of the Building Code</div> <div>Tony Tersigni28456 NAMESIGNATUREBCIN</div> <div>REGISTRATION INFORMATION Required unless is exempt under 3.2.4. of Division C of the Building Code</div> <div>Arctek Design Consultants32558 FIRM NAMEBCIN</div>	No.	Description	Date
Job No. 1800	Location Mississauga, Ont	Scale 3/16" = 1'-0"			Date 02/19/21	Drawn by Author	

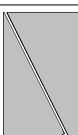


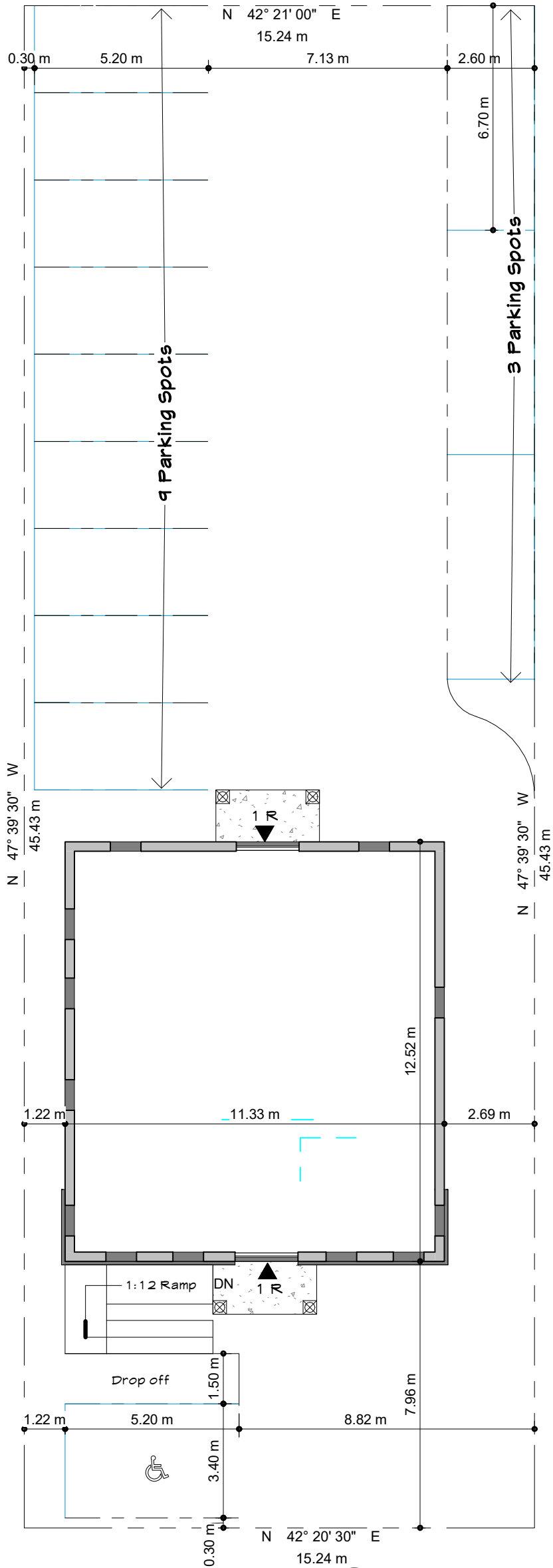
1 Right Elevation
3/16" = 1'-0"

Drawing No. A7		Project Info: Avondale Homes 29 Queen Street		<div>ARCTEK</div> <div>ARCHITECTURAL DESIGN CONSULTANTS</div> <div>67 MARBELLA ROAD WOODBIDGE, ONTARIO TEL. (905) 893-8233</div>		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</div> <div>QUALIFICATION INFORMATION Required unless is exempt under 3.2.5. of Division C of the Building Code</div> <div>Tony Tersigni28456 NAMESIGNATUREBCIN</div> <div>REGISTRATION INFORMATION Required unless is exempt under 3.2.4. of Division C of the Building Code</div> <div>Arctek Design Consultants32558 FIRM NAMEBCIN</div>		No.	Description	Date
Job No. 1800		Location Mississauga, Ont	Scale 3/16" = 1'-0"	Date 02/19/21	Drawn by Author					



1 Left Elevation Presentation
3/16" = 1'-0"

Drawing No. A8		Project Info: Avondale Homes 29 Queen Street		<div>ARCTEK</div> <div></div> <div>ARCHITECTURAL DESIGN CONSULTANTS 67 MARBELLA ROAD WOODBIDGE, ONTARIO TEL. (905) 893-8233</div>		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</div> <div>QUALIFICATION INFORMATION Required unless is exempt under 3.2.5. of Division C of the Building Code</div> <div>Tony Tersigni28456 NAMESIGNATUREBCIN</div> <div>REGISTRATION INFORMATION Required unless is exempt under 3.2.4. of Division C of the Building Code</div> <div>Arctek Design Consultants32558 FIRM NAMEBCIN</div>		<table><tr><th>No.</th><th>Description</th><th>Date</th></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>		No.	Description	Date															
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Job No. 1800		Location Mississauga, Ont		Scale 3/16" = 1'-0"		Date 07/09/02		Drawn by Author																			



This information is Taken From:

TOPOGRAPHIC SURVEY OF
PARTS OF LOTS X#X
REGISTERED PLAN XXXX
CITY OF MISSISSAUGA

SCALE = 1 : 150
Surveyor INC., O.L.S.



1 Site Plan
1 : 150

Area Schedule (Site Stats)			
Name	Area	Area (m)	Percentage

Lot Area			
Lot Area	7452.50 SF	692.36 m ²	100.00

Landscape Area			
Landscape Area	2569.38 SF	238.70 m ²	34.48

Building Coverage			
Building Coverage	1631.99 SF	151.62 m ²	21.90

Asphalt Area			
Asphalt Area	4882.92 SF	453.64 m ²	65.52

Parking Schedule		
Count	Type	Type Mark

9	2.60m x 5.20m	Typical
3	2.60m x 6.70m	Parallel
1	Handicap	Handicap

13

Drawing No. S1	Project Info: Avondale Homes 29 Queen Street	ARCHITECTURAL DESIGN CONSULTANTS 67 MARBELLA ROAD WOODBRIIDGE, ONTARIO TEL. (905) 893-8233	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION Required unless is exempt under 3.2.5. of Division C of the Building Code Tony Tersigni 28456 NAME SIGNATURE BCIN	No.	Description	Date
Job No. 1800	Location Mississauga, Ont	Scale 1 : 150	Date 07/09/02	Drawn by Author		

APPENDIX D: Qualifications





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Annie Veilleux

Curriculum Vitae

EDUCATION

MA, Interdisciplinary Studies, York University, 2012
Diploma, Collections Conservation and Management, Sir Sanford Fleming College, 2006
BA, Honours Archaeology, University of Toronto, 2002

POSITION

Senior Cultural Heritage Specialist
Manager, Cultural Heritage Division, Archaeological Services Inc., 2014-present

PROFESSIONAL AFFILIATION

Canadian Association of Heritage Professionals
National Trust for Canada
Association of Critical Heritage Studies
Ontario Association for Impact Assessment
Ontario Archaeological Society

PROFESSIONAL EXPERIENCE

2014 - present	Senior Cultural Heritage Specialist & Manager, Cultural Heritage Division, ASI
2010 – 2013	Cultural Heritage Specialist and Project Manager, Built Heritage and Cultural Heritage Landscape Planning Division, ASI
2005 – 2009	Staff Archaeologist and Field Director, Stage 3-4 Division, ASI
2001 – 2004	Project Archaeologist, Field Archaeologist, and Laboratory Assistant, ASI

PROFILE

My education and experience in cultural landscape theory, historical research, archaeology, and collections management provide me with an excellent grounding in the area of cultural heritage planning and management. With over fifteen years of experience in this field, my work has focused on the identification and evaluation of cultural heritage resources, both above and below ground. I have served as Project Manager and Cultural Heritage Specialist on numerous built heritage and cultural heritage landscape assessments, heritage recordings and evaluations, and heritage impact assessments as required for Environmental Assessments and Planning projects throughout the Province of Ontario. I have extensive experience leading and conducting research for large-scale heritage planning studies, heritage interpretation programs, and projects requiring comprehensive public and Indigenous engagement programs. I am fully bilingual in English and French and have served as a French language liaison on behalf of ASI.

AREAS OF EXPERTISE

- Cultural Heritage Landscapes identification, evaluation, and management
- Heritage survey techniques
- Cultural heritage evaluation and impact assessment
- Consultation with the MTCS and heritage stakeholders
- Management of large scale heritage planning projects
- Thematic, archival, and oral historical research
- Public and Indigenous consultation and engagement programs

SELECT CULTURAL HERITAGE PROJECTS

- Centre Wellington Cultural Heritage Landscape Study, Township of Centre Wellington, 2019-present
- East Gwillimbury Heritage Register Review, Town of East Gwillimbury, 2019-present
- Beeton Heritage Conservation District Plan, Town of New Tecumseth, 2019-present
- City of Mississauga Cultural Heritage Landscape Project, City of Mississauga, 2018-present
- Brantford Heritage Register Project, City of Brantford, 2017-present
- Cultural Heritage Landscape Assessment, Mohawk Lake District Plan, City of Brantford, 2017-present
- Queen Elizabeth Way Lion Monument Strategic Conservation Plan, Sir Casimir Gzowski Park, City of Toronto, 2016-present
- Pickering Nuclear Generating Station CHER, Pickering, Ontario Power Generation, 2019
- Don Mills Crossing CHRA, City of Toronto, 2017-2019
- Bayfront Industrial Area Renewal Strategy Phase 2, City of Hamilton, 2017-2019
- Beeton Heritage Conservation District Study, Town of New Tecumseth, 2017-2018
- Edwards Gardens Cultural Heritage Landscape Impact Assessment, City of Toronto, 2017-2018
- Correctional Workers' Monument Heritage Impact Assessment, Whitney South Plaza, Queen's Park Complex Provincial Heritage Property, City of Toronto, 2016-2018
- Cultural Heritage Landscape Evaluation and Impact Assessment: East Humber River Tributary, City of Vaughan, 2016
- Official Plan Review (Heritage Policies), City of Brampton, 2016
- Metrolinx Barrie Rail Corridor Expansion Heritage Studies, 2015-2017
- Metrolinx GO Network Electrification Heritage Studies, 2015-2017
- City of Kawartha Lakes Heritage Conservation District Studies, City of Kawartha Lakes, 2015-2016
- Woodbridge Heritage Conservation District Urban Design Streetscape Plan Study, 2015-2016
- Cave Springs Conservation Area Management Plan Cultural Heritage Inventory and Planning Study, Regional Municipality of Niagara, 2015
- Trent River Bridge Crossing, Campbellford, Northumberland County, 2015
- Port Lands and South of Eastern Transportation and Servicing Master Plan Class Environmental Assessment, 2013-2016.
- Cultural Heritage Landscape Inventory and Policy Study, City of Vaughan, 2010
- Cultural Heritage Landscape Policy and Research Study, City of Toronto, 2010
- Southeast Collector Recreational Enhancements, East Branch of the Toronto Carrying Place, An Historical Overview, Region of York, 2008-2010





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James Neilson

Curriculum Vitae

EDUCATION

MES (Planning), Environmental Studies, York University, 2010
BA, Politics, Trent University, 2007

POSITION

Cultural Heritage Specialist, Archaeological Services Inc., 2017-present

PROFESSIONAL AFFILIATION

Canadian Association of Heritage Professionals

PROFESSIONAL EXPERIENCE

2017 - present	Cultural Heritage Specialist –Cultural Heritage Division, ASI
2015 – 2017	Heritage Planner, ERA
2013 – 2015	Assistant Planner, Heritage Preservation Services, City of Toronto
2013	Secretary-Treasurer, Committee of Adjustment, Town of Aurora
2010	Heritage Planning Intern, Town of Oakville

PROFILE

My experience in the public and private sector has provided me with an excellent understanding of issues facing the cultural heritage industry and best practices in the field. Having prepared and reviewed cultural heritage evaluations and heritage impact assessments for projects ranging from small residential renovations to large-scale, high profile mixed-use developments, I am comfortable measuring impacts and providing a high-calibre of research and analysis that addresses municipal and provincial legislation and policy. As an urban planner, I have a particular interest in how cultural heritage resources can be conserved to create better communities.

AREAS OF EXPERTISE

- Heritage Planning Policy and Implementation
- Heritage Impact Assessments
- Cultural Heritage Evaluations
- Historical Research and Analysis
- Interpretation Strategies
- Management of large scale heritage planning projects
- Stakeholder Engagement and Public Consultation

SELECT CULTURAL HERITAGE RESEARCH AND REPORTS

Cultural Heritage Evaluation Reports (CHER)/Heritage Impact Assessments (HIA)/Cultural Heritage Resource Assessments (CHRA)/Heritage Interpretation Strategies (HIS)

- Heritage Impact Assessment: Port Credit Harbour Parks (2020)
- Heritage Impact Assessment: Lakeview Golf Club, Mississauga On. (2019)
- Heritage Impact Assessment: Centennial Park, Toronto On. (2019)
- Heritage Interpretation Strategy: Huttonville Cemetery, Brampton On. (2019)
- Cultural Heritage Resource Assessment: Regional Road 87, Port Dalhousie, St Catharines On. (2019)
- Heritage Interpretation Strategy: 13165 Keele St., King City On. (2019)
- Heritage Impact Assessment: Forbes Estate, Hespeler On. (2018-2019)
- Heritage Impact Assessment/Cultural Heritage Resource Assessments: Hamilton Sanatorium, Hamilton On. (2018-2020)
- Heritage Impact Assessment: Riverdale & Queen Street East Heritage Conservation Districts, Toronto On., Lakeshore East Rail Corridor (2018)
- Cultural Heritage Resource Assessment: Don Mills Crossing, Toronto On. (2017-2018)
- Heritage Impact Assessment: Woodbine Racetrack, Toronto On. (2017)
- Heritage Impact and Cultural Landscape Assessment: Edwards Gardens, Toronto On. (2017)
- Heritage Impact Assessment: Bonnie Boats Marina, Jackson's Point On. (2017)
- Heritage Impact Assessment: Millcroft Inn, Caledon On. (2017)
- Cultural Heritage Evaluation Report/Heritage Impact Assessment: Union Station Rail Corridor - Yonge Street Bridge and Bay Street Bridge, Metrolinx (2016)
- Heritage Impact Assessment: Union Station Train Shed Electrification, Metrolinx (2016)
- Heritage Impact Assessment: CIBC Square, 45/141 Bay Street, Toronto (2016)
- Cultural Heritage Evaluation Report/Heritage Impact Assessment: Glen Abbey Golf Course, Oakville On. (2016)
- Heritage Impact Assessment: Havergal College, Toronto On. (2016)
- Heritage Impact Assessment: 34-50 King Street East & 2 Toronto Street, Toronto On. (2016)
- Heritage Impact Assessment: 874 Yonge Street, Toronto On. (2016)
- Heritage Impact Assessment: 475 Yonge Street, Toronto On. (2016)
- Heritage Impact Assessment: 601 Sherbourne Street, Toronto On. (2016)
- Heritage Impact Assessment: 89-105 Church Street, Toronto On. (2016)
- Heritage Impact Assessment: Elora Mill South Bank, Elora On. (2015)
- Heritage Impact Assessment: 170 Spadina Avenue, Toronto On. (2015)
- Heritage Impact Assessment: 642 King Street West, Toronto On. (2015)
- Heritage Interpretation Strategy: North St Lawrence Market Redevelopment (2015)
- Heritage Impact Assessment and Cultural Heritage Landscape Assessment: Homewood Health Centre, Guelph On. (2015)



Proposed Streetscape

The proposed mixed dwelling including dental office on the main floor and 2 residential self contained units on the second floor, as per the included site plan. Setback on the both adjacent dwelling will be maintained as per city guidelines. Right hand side will be 2.69m where existing offset is 2.66m. Left hand will be 1.22m. As per site plan offset from the street will be 7.96m where existing dwelling offset is 7.98m



Additional details are provided in [Heritage Impact Assessment](#).

City of Mississauga

Corporate Report



<p>Date: March 30, 2021</p> <p>To: Chair and Members of Heritage Advisory Committee</p> <p>From: Shari Lichterman, CPA, CMA, Commissioner of Community Services</p>	<p>Originator's files:</p> <hr/> <p>Meeting date: April 13, 2021</p>
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Subject

Request to Alter a Heritage Designated Property: 875 Enola Avenue (Ward 1)

Recommendation

That the request to alter the heritage designated property at 875 Enola Avenue as per the Corporate Report from the Commissioner of Community Services dated March 30, 2021, be approved.

Executive Summary

- The property is designated under Part IV of the *Ontario Heritage Act*. Alterations to designated properties requires a heritage permit.
- The proposed alteration is a required renewal the external building envelope in order to maintain the building in good order.
- All external work is proposed to be “like for like” with an emphasis on restoration over replication.
- The proposal is sympathetic to the heritage character of the building so it should be approved.

Background

Council designated the subject property under Part IV of the Ontario Heritage Act in 1993. Section 33 of the Act requires permission from Council in order to make alterations to property designated under Part IV of Act.

Comments

Facilities and Property Management (FPM) proposes a much needed building envelope renewal for the subject property. The proposal is to “replace deteriorated, failing components of the roof,

wall and window assembly, as well as transition details at foundation walls.” The Conservation Management Plan is attached as Appendix 1. All external changes would be “like for like,” i.e. same material, same design, with restoration the priority before replication.

Work includes restoring storm windows, restoring and replicating trim profiles, wood siding, soffit and fascia boards, if necessary. The wood front door would be repaired and floor tiles in the entryway replaced to match. Eavestroughs would match existing with custom built galvanized steel rainwater leaders. Some parts of the foundation brick walls would be rebuilt to match existing.

This vital work is proposed to be done sensitively to the heritage character of the building. As such, it should be approved.

Financial Impact

There is no new financial impact resulting from the recommendation in this report. The proposed work is managed by the Facilities and Property Management Division through an existing capital project (PN B21750) with a budget of \$560,000.

Conclusion

FPM proposes a sensitive building renewal of the Derry House. The project would serve to restore this heritage designated structure and should therefore be approved.

Attachments

Appendix 1: Conservation Management Plan




Shari Lichterman, CPA, CMA, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner



Heritage Conservation Management Plan
Derry House, 875 Enola Avenue, Mississauga

 Advantis Studio Consulting Inc.
997 Kipling Avenue Etobicoke Ontario M9B 3L3

March 4th, 2021

Heritage Conservation Management Plan – Roof assembly / Soffit / Fascia / Eaves troughs / Rain Water Leaders / Wall Siding / Storm Window and Foundation Wall at Derry House, 875 Enola Avenue, Mississauga Ontario

1. Introduction

Executive Summary

To prevent further deterioration of this heritage building we propose following scope of work; replace deteriorated, failing components of the roof, wall, window assembly and the transition details at the foundation walls.

The roof assembly has deteriorated beyond repairs causing roof leaks and damages in the interior of the building. Proposed scope of roof assembly repairs and replacement would create a watertight assembly and create the required conditions for proper ceiling and wall repairs in the interior of the building.

The work at the eaves troughs, rain water leaders, soffits, fascia and frieze will consist of replacement of existing deteriorated eaves troughs, replacement of the surface mounted water leaders and replacement of the broken and deteriorated elements of the soffit and fascia that were modified during installation of the existing downspouts.

All other decorative elements, especially triglyph frieze details, pediment gable end details, decorative elements at the main entrance door, concealed gutter design, fascia, and frieze details at both east and west wing will be conserved and restored.

Wall siding has deteriorated beyond repairs at the base and upper sections of the wall. When replacing existing siding unique mitered siding details at the inside and outside corner details as well as termination details at the window openings will be reinstated.

The storm windows were not maintained properly so bottom rails were found in poor condition at several window units. Those segments of the storm windows that could not be repaired would be replaced to match existing profiles. Other storm windows would be restored and conserved.

Deteriorated brick foundation wall will also be repaired and damaged bricks replaced in order to match appearance of the foundation walls previously repaired.

The structural review of the building, performed by a professional engineer, did not revile any structural deficiencies that would require repairs or replacement at this time.

2. Property Description

The property located at 875 Enola Avenue is owned by City of Mississauga and is being used as an office and is presently occupied.



The description of the building from the Canadian Register of Historic Places:

Description of the building

The Derry House is located at 875 Enola Avenue, on the east side of Enola Street, adjacent to the Adamson Estate in Adamson Estate Park, Mississauga. The property backs onto and accesses Lake Ontario. The one storey “U” shaped concrete, brick and wood residence was built in 1932. The City of Mississauga designated the property, in 1993, under Part IV of the Ontario Heritage Act (By-law 569-93).

Heritage value

The Derry House is associated with Anthony Adamson who was awarded the Order of Canada for his contribution to Canadian Architecture in 1974. He was invested as an officer the following year. He designed the house for his family but only lived there for a short period of time. Anthony Adamson was a Professor at the University of Toronto and known as one of the leaders in architectural conservation and architectural studies. He is the author of several books and was known nationally and internationally for his work.

The Derry House is a good representation of the Regency and Greek Revival styles, illustrating Ontario's architectural and historical past. The brick base of the house projects out beyond the wood siding in the form of a plinth for the main structure, a rare detail which adds to the Greek Revival character. The white colour of the house, in conjunction with pediments at the gable ends and triglyph details below the soffit, further reflect a Greek flavour. The “U” shape of the house wraps to the north, creating a small flagstone courtyard, off-set by the main door. Sources: City of Mississauga By-law 569-93; City of Mississauga Corporate Report March 24, 1992; History of the Derry House.

Character-defining elements

Character defining elements that contribute to the heritage value of the Derry House include its:

- one storey brick, tar and wood siding exterior
- gable roof
- "U" shape structure plan
- exposed basement walls clad in brick and painted with black tar
- wood frame
- flagstone courtyard, flagstone trimmed window wells
- original trim, moulding detail and disguised gutter and downspout
- multi-paned windows with detailed wood mullions, trim, and shutters
- centre brick chimney



Image from Anthony Adamson's book "Wasps in the attic"

3. Project objectives

- Outline what is to be achieved by this project.

The intention of this project is to conserve the building by replacing deteriorated roof, wall assembly and foundation assembly and restoring and conserving existing storm windows in order to prevent further deterioration of the building due to water intrusion into the building envelope and structure of the building.

- Provide short term and long term goals and objectives

The project most important objective is to restore proper function of the building envelope and create the conditions inside the building that would allow for proper interior repairs, prevent further deterioration of the finishes and the building structure so that building could continue to be used by the community.

- Proposed solutions for conservation of the property's heritage attributes

Recommendations:

The structural review of the building, performed by a professional engineer, did not reveal any structural deficiencies that would require repairs or replacement at this time.

Prior to any work being done the paint samples as well as the samples of the deteriorated insulation from the wall cavity shall be tested. If any harmful materials are discovered a strategy for a safe removal, containment and disposal will be developed prior to commencement of any demolition work.

A contractor shall temporarily block the access to the building and prevent damaging the decorative elements of the building that are to remain and be restored and conserved.

Prior to work commencement and during the construction existing assemblies and hidden components of the roof, wall and window assemblies shall be photographed and documented.

Work will be reviewed during demolition process as well as during installation of new insulation, air/vapour barrier, air barrier, siding, new roof assemblies, paint scraping, sanding, priming prepared surfaces and painting.

Contractor will be required to submit to the City of Mississauga the following:

- samples of all building materials proposed to be used
- data sheets for all materials, roof materials, self-adhesive membranes, primers, paint, etc.
- samples of the replicated trim profiles and siding
- samples of the eaves trough and rain water leader
- metal flashing materials

General – paint preparation work

All loose and peeling paint must be removed to solid material. All joints shall be feathered. Prior to use of vibrating sanders the condition of the assembly must be reviewed. Use of the belt sanders may be allowed at the soffit, frieze and windowsill areas. Paint removal techniques using water and sand blasting are not permitted.

Roof assemblies

Existing roof assemblies must be removed so that the condition of the roof deck could be reviewed. All elements of the roof deck or the structure that show deterioration will be inspected and determine if replacement is required.

New roof assembly and metal flashing are designed to match the appearance of the existing assembly. Self-adhesive membrane that would not be visible will be installed at the wall flashing, roof perimeter and roof penetration details below the exposed metal flashing. Metal flashing will match the colour and profiles of the existing metal flashing at the wall flashing as well as eaves troughs and other details. Refer to the attached drawings in Appendix C.

Wall siding

Existing wood siding was found in poor condition at the upper portion of the wall, below the eaves troughs and lower sections of the wall at the transitions to the brick foundation wall. Since insulation inside wall cavity was found in poor condition and would require replacement existing siding would have to be removed. Once siding is removed the condition of the sheathing will be inspected and removed as required in order to replace insulation in the wall

cavity. Sheathing will be reinstalled or replaced with new to match existing if sheathing boards are found in poor condition.

New siding boards will be fabricated to match the profile of the existing boards and be primed and painted on all sides including those not visible. All reused boards will be filled with appropriate wood filler and sanded to achieve a seamless appearance and transition between new and reused boards. Reused boards will be primed and painted the same as new boards. Inside and outside mitered siding corner details as well as siding details at the window openings will be maintained. Self-adhesive air and vapour barrier as well as air barrier membranes will be adhered to the surface of the wall sheathing to create a rain screen assembly and proper wall performance. These membranes will not be visible so details will not be changed. Please refer to the attached drawings and photographs in Appendix C.

Windows, window frames and storm windows

Loose or peeling paint at the window frame, window, storm window and window sill surfaces will be removed to solid material by scraping and sanding. Surfaces will be inspected and determine if the material requires replacement or could be primed or painted.

All replacement material will match the profiles of the existing and be primed and painted using the same material as reused elements. The surfaces of the existing storm windows and window frames will be filled with a wood filler, sanded, primed and painted to match the colour of the existing window frames and storm windows.

Eaves troughs, soffit, fascia, frieze boards and pediment details

Existing eaves troughs were originally connected to the water leaders installed in the exterior wall cavity. Due to poor condition of the tie-in to the eaves troughs the water leaders were disconnected and new downspouts installed onto the surface of the wall. In order to connect the downspouts to the eaves troughs the soffit and fascia boards were cut and modified to accommodate new downspouts.

We recommend replacing deteriorated eaves troughs and connecting them to the new rainwater leaders that would be custom built painted galvanized steel profiles. Considering that collecting water in the existing water tank located in the basement is not required we recommend discharging water into the flowerbeds around the building.

Original eaves troughs were fabricated using painted galvanized steel. We recommend using the same material and matching existing profiles. Exposed, visible components will be primed and painted to match the existing. New self-adhesive membrane would be installed under the gutters to create a separation between existing soffit and fascia and new gutters and extend a life span of the existing assembly.

Even though existing assembly appears to be in fair condition the condition of the all soffit and fascia boards will be inspected after gutters are removed and all deteriorated elements or parts will be replaced with new to match the profiles of the existing boards.

Existing paint will be removed from existing boards and decorative elements, repaired using wood filler and sanded prior to application of a primer.

Areas where soffit or fascia board are replaced will be primed and painted at the same time when existing soffit, fascia, pediment details at the gable ends and frieze triglyph details at the central part of the building are being painted.

Brick foundation walls

Considering that the large sections of the foundation wall, along the north and east elevation, were previously replaced with new brick, we recommend the same approach and replacing deteriorated brick with new brick matching the brick in the previously repaired areas.

Ceramic tiles in the vestibule

Deteriorated existing floor tiles will be replaced with new to match existing.

Plaster ceiling

Area where the plaster ceiling is damaged will be removed. New plaster ceiling will match existing. The surface of the existing and new ceiling will be primed and painted.

Exterior doors

Existing main entrance wood door will be repaired. All loose and peeling paint will be removed, wood filler applied and sanded prior to application of a primer and paint. Paint colour will match existing.

The hollow metal frames and doors located at the north elevation of the building were found in poor condition and require replacement. Existing hardware will be removed and reused and H.M. doors and frames will be replaced with new to match existing. Those two doors and frames as well as H.M frame and door located at the south elevation of the building will be painted to match existing.

- Provide the conservation policies to be used in this project (i.e. what conservation principles will be used to ensure long term conservation, maintenance, monitoring, and sustainable use of the property)

Generally the building envelope of the existing house is in poor condition and it appears that there was no regular maintenance performed. To prevent further deterioration of this heritage building we propose following scope of work; replace deteriorated, failing components of the roof, wall, window assembly and the transition details at the foundation walls. The roof assembly has deteriorated beyond repairs causing roof leaks and damages in the interior of the building. Proposed scope of roof assembly repairs and replacement would create a watertight assembly and create the required conditions for proper ceiling and wall repairs in the interior of the building.

4. Statement of Heritage Intent

- An explanation is required that proposes the reasoning and considerations behind the choice of conservation treatments.

This scope of work is proposed in order to repair existing building envelope and create a watertight assembly that would prevent water intrusion into the building envelope and interior of the building, stop further deterioration of the building and create the required conditions for proper ceiling and wall repairs in the interior of the building.

- Statement as to why one period of restoration over another was selected, rationale for new interventions, background resources used such as principles and conventions of heritage conservation.

There is no choice of period proposed as part of this project. The intention here is to restore and conserve decorative elements, storm windows and stop roof leaks and water infiltration into the wall and foundation assembly.

- Statement as to the recording, inventory and disposition/retention of moveable cultural heritage resources (e.g. artifacts, archival material, salvaged material) and its incorporation into the conservation project.

It is recommended that only deteriorated materials that no longer could be restored and conserved should be replaced with new materials. All new materials must be fabricated to match the profiles of the existing.

5. Condition Assessment of the Cultural Heritage Resource(s)

- Condition report of the cultural heritage resource(s) and specific attributes, identifying any deficiencies or concerns.

Previously discussed above.

- Detailed recommendations to mediate and prevent further deterioration. Direction as to use or change in use and how that relates to conserving the heritage attributes.

Summary of Work

The proposed general scope of work of this project is the replacement of the roof assembly, wall assembly, repairs of the existing window assembly, conservation and restoration of the storm windows, replacement of the steel doors and frames, replacement of the floor tiles in the main entrance vestibule and plaster ceiling repairs in the main entrance vestibule and two offices as indicated in the attached drawings.

Roof assembly replacement to be undertaken includes following work:

Remove and dispose off site in provincially approved landfill existing roof assembly and all related metal flashing.

Prepare all perimeter, remove existing gutters, downspouts, metal flashing and secure existing wood blocking to the substrate as required. Provide additional wood blocking and plywood as per details. Prepare deck surfaces and install the following roof assemblies:

Sloped roof assemblies composed of:

Asphalt shingles.

Synthetic underlayment and self-adhesive membrane

Existing roof deck to remain.

Low slope roof assemblies composed of:

Self-adhesive 1-ply modified bitumen cap sheet roof membrane.

1-ply modified bitumen base sheet – 3/16" 2-1 Soprasmart

Sanded Board adhered.

Adhere second layer of polyisocyanurate insulation

Adhere base and tapered polyisocyanurate insulation

Adhere self-adhesive vapour barrier

Existing roof deck to remain.

Supply and install new gutters and downspouts as per attached drawings and specifications.

Wall assembly replacement work to be undertaken includes:

Wall Type 1

Remove and dispose off site in provincially approved landfill existing deteriorated siding and insulation found in the wall cavity.

Wall Type 2

Remove and dispose off site in provincially approved landfill existing deteriorated siding, aluminum foil membrane, sheathing as required in order to remove insulation from the wall cavity.

Prepare surfaces for the foam insulation installation, reinstall existing sheathing, prime the sheathing surfaces and adhere new air barrier.

At Type 1 wall areas supply and install 1.5" extruded polystyrene insulation between wood furring prior to installation of new siding.

At Type 2 wall assembly areas install new siding onto the surface of the air barrier.

Repairs of the existing decorative elements, window assembly, conservation and restoration of the storm windows:

All loose or peeling paint from the decorative elements and exposed surfaces of the window frames, windows, storm windows and shutters shall be removed prior to application of the primer and paint.

Decorative elements that shall remain:

- Existing fascia consisting of a wood trim in a cyma recta profile, soffit, and trim profile located at the junction of the soffit and frieze.
- Frieze board at the east and west wing.
- Frieze board with the Triglyph detail below the soffit at the central part of the building, north and south elevation.
- Pediment detail at the gable ends

All deteriorated wood at the fascia, cyma recta profile wood trim, shall be replaced with new to match existing profile.

All deteriorated parts of the storm windows must be replaced with new to match existing profiles.

Replacement of the existing steel doors and frames:

Remove existing steel frames and doors. Existing hardware shall be removed and reused.

Install new self-adhesive AVB membrane at the perimeter of the door frame and adhere to the surface of the wall sheathing. Adhere air barrier onto the surface of the AVB membrane as per manufacturer's requirements.

Fabricate new steel frames and doors to match existing. Fill the steel frame cavity with spray foam insulation and install existing hardware and make door operator fully functional.

Replacement of the floor tiles in the main entrance vestibule

Remove existing floor tiles and prepare surface of the existing substrate for the installation of new tiles. Install new floor tiles to match existing tiles and existing floor pattern.

Main entrance vestibule and offices plaster ceiling repairs

Remove all deteriorated and delaminated plaster ceiling. Supply all required materials and install new plaster ceiling to match existing. Paint ceilings in the vestibule and offices.

Replace deteriorated brick at the foundation wall

Remove all deteriorated brick located at the northwest section of the building. Supply all required materials and rebuild foundation wall to match existing.

There are neither changes proposed to any decorative element of the building nor changes to appearance of any visible component of the building.

- Outline opportunities and constraints with relation to all aspects of the project (i.e. budget, planning issues, public access, long term needs)

There are no planning issues or other similar considerations.

- Recommendations for conservation treatments that reference the framework provided in Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada.

See the attached Appendix A.

6. Building System and Legal Considerations

- Statement to explain the building and site use from a practical, logistical and legal perspective.

There is public access to the offices located in the building that serve the local community.

- Input from structural, mechanical, electrical, planning, geotechnical, trades, and all other required fields of expertise to ensure the project is viable and sustainable. Building and site system review may include:

- Site Work (e.g. landscaping, drainage, servicing)

The condition of the existing structure was reviewed by a structural engineer during the development of the design for the proposed repairs. The structural review of the building, performed by a professional engineer, did not revile any structural deficiencies that would require repairs or replacement at this time. See the attached Appendix B.

- Trees, shrubs, other plantings

There is no impact on trees and planting material in the vicinity of the building.

- Archaeological concerns and mitigation

Proposed scope of work does not include any excavation or disturbance of archaeological resources.

- Structural elements (e.g. foundation, load bearing)

The condition of the existing structure was reviewed by a structural engineer during the development of the design for the proposed repairs. The structural review of the building, performed by a professional engineer, did not revile any structural deficiencies that would require repairs or replacement at this time. See the attached Appendix B.

- Building Envelope (roof, wall cladding, window type), Ontario Building Code, Accessibility

Previously discussed above.

- Mechanical, Plumbing, Electrical

No mechanical, plumbing or electrical work is proposed

- Finishes and Hardware

New paint finish, metal flashing, eaves troughs shall match the existing.

- Fire Safety and Suppression

No fire safety or suppression work is proposed.

- Environmental Considerations, Lighting, Signage and Wayfinding, Security

The lighting, signage, wayfinding or security is not a part of this proposal.

- Legal Considerations (e.g. easements, encroachments, leasing, etc.)

There are no changes to existing arrangements proposed.

7. Work Plan

- Timeline to describe, in chronological order, to meet the objectives and goals Statement as to specialized trades or skills that will be required to complete the work

The work will consist of:

The proposed work is summarized above. This project will be tendered to the prequalified general contractors who have worked on the similar projects for the City of Mississauga.

- Proposed budget to meet and sustain the goals and timeline; long term and short term maintenance schedule

The funding for this project was allocated but budget has not been finalized. The City of Mississauga owns a number of heritage buildings and maintenance department is aware of the cost of maintenance.

- Monitoring schedule, process and identify those responsible for monitoring

Previously discussed above.

8. Qualifications

- Heritage Conservation Management Plans will only be prepared by accredited, qualified professionals with demonstrated experience in the field of heritage conservation

- Conservation Plans are usually a multidiscipline exercise whereby all consultants on the project must demonstrate accredited professionalism, experience and knowledge in their chosen field of expertise

9. Additional Information - Bibliography of all documentation resources - List of consultants and other professionals related to the project

A CV for Zoran Vondrus of Advantis Studio Consulting is included.

10. Additional Reports that may be required: - Archaeological report, Arborist's report, Structural engineering report

Previously noted above.

11. Approval Authority

The City of Mississauga will be the approval authority for a Heritage Conservation Management Plan

Appendix A

Commentary based on Parks Canada Standards and Guidelines
for the Conservation of Historic Places in Canada

APPENDIX A:

Commentary based on Parks Canada Standards and Guidelines for the Conservation of Historic Places In Canada

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

All character-defining elements will remain. Only deteriorated siding, insulation in the wall cavity, two H.M. doors and frames and a section of the brick foundation wall is proposed for replacement. Wall siding, brick and H.M. doors and frames will be replaced with new that will match existing.

2. Conserve changes to a historic place that, over time, have become character-defining elements in their own right.

No changes to character-defining elements are proposed.

3. Conserve heritage value by adopting an approach calling for minimal intervention.

The proposed intervention to the building is as minimal as possible.

4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

There is no attempt to create a false sense of development.

5. Find a use for a historic place that requires minimal or no change to its character-defining elements.

The ongoing use of the building appears to be an excellent and appropriate use.

6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

As a result of the proposed work the watertight properties of the building envelope will be reinstated so this building will be protected.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

Proposed scope of work at the character-defining elements calls for removal of deteriorated paint and application of new primer and paint to match existing only. The proposed intervention will be as gentle as possible.

8. Maintain character-defining elements on an ongoing basis. Repair character- defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

The purpose of the proposed intervention is to restore and conserve the character-defining elements.

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

There will be no identifiable changes to the building.

Appendix B

Building structural review



February 19, 2021

Advantis Studio Consulting Inc.,
997 Kipling Avenue,
Toronto, Ontario,
M9B 3L3

Attention: Zoran Vondrus

Re: Structural Review of parts of building
875 Enola Avenue, Mississauga
Our File No. 21-512

To Whom It May Concern:

At the request of Zoran Vondrus of Advantis Studio Consulting Inc., we visited the above noted site on Wednesday, January 27th, 2021 in order to review the structural condition of several parts of the building. Zoran Vondrus accompanied us during the visit.

The following report is based on visual observations only.

The building represents a one-storey wood framed structure with partial basement and crawl-space areas.

We started our review with west part of the basement, at storage room.

The ground floor framing 2x10 @ 16" c/c joists were spanning in east west direction between the foundation wall at east and the 2 plies of 2x10 beam at west. Then shorter joists span from this beam to the foundation wall at west.

The existing 2 plies of 2x10 beam spans approximately 6.2 meters and has intermediate bearing on brick pier, approximately at 4.0m from north bearing wall.

The floor joists, in our opinion, are in acceptable condition. However, we checked the existing beam with office occupancy load of 50psf (2.4 KPa), and in our opinion, the beam requires reinforcement or replacement.

Then we reviewed the most west portion of the crawl space.

The ground floor framing 2x10 @ 16" c/c joists were spanning in north-south direction between the foundation walls, approximately 6.2 meters. We checked the existing joists with office occupancy load of 50psf (2.4 KPa), and in our opinion, the joists require reinforcement or placement of intermediate support.

Finally, we reviewed the north-east portion of the crawl space under the kitchen.

The ground floor framing 2x10 @ 16" c/c joists were spanning in north-south direction between the foundation walls, approximately 3.4 meters. The joists have intermediate support with 89x89 wood beam on 89x89 wood posts.

We checked the existing joists with office occupancy load of 50psf (2.4 KPa), and in our opinion, the joists are adequate and do not require an intermediate support. Therefore, in our opinion, the existing wood posts do not require installation of footings.

We proceeded then with the review of the roof structure through access hatches.

The south slope of the higher gable roof has been framed with rafters, collar-ties at every second joists, and the ceiling joists spanning in north-south direction. Also there were intermediate dwarf supports installed at a later date.

The roof was dry, without any signs of distress or excessive deflection.

The south-west lower roof has been framed with rafters, hip and valley rafters, and the ceiling joists spanning in different direction. Also there were intermediate dwarf supports installed at a later date.

The roof was dry, without any signs of distress or excessive deflection.

This concludes our report.

Use of this report by any third party or any decisions or reliance based on this report by such parties shall be solely their responsibility.

Respectfully yours,

RG ENGINEERING LTD.



Ron Robtseer, P.Eng.



West Part of Basement (2-2x10 beam)



West Part of Basement (window to most west crawl space)



North- East Portion (posts and beam)



South Higher Roof



South-West Roof

APPENDIX C**Photographs and Drawings**

South elevation



South elevation



West wing - South elevation



Central part of the building - South elevation



East wing - South elevation



Frieze board with the Triglyph detail – Central part of the building south elevation



Triglyph detail at the frieze board – Central part of the building south elevation



East wing - South elevation



East wing - Soffit



Typical fascia, soffit and frieze detail - West elevation



East elevation



East elevation



North elevation



North elevation



Main entrance - North elevation



Main entrance - North elevation



Frieze board with the triglyph detail – Central part of the building north elevation



West elevation



West elevation



Typical pediment gable end details - West elevation



Typical pediment gable end details - West elevation



Typical siding detail - south elevation



Typical window / siding details - south elevation



Typical window / siding details



Storm window - Deteriorated bottom rail - south elevation



Storm window - Deteriorated bottom rail



Deteriorated soffit, siding & foundation wall - West wing north elevation



Deteriorated soffit, frieze and siding - West wing north elevation



Deteriorated soffit, frieze and siding - West wing north elevation



Deteriorated soffit, frieze and siding - West wing north elevation



Deteriorated brick at the foundation wall - West wing north elevation



Ceiling damaged due to roof leaks - West wing office



Ceiling damaged due to roof leaks - West wing office



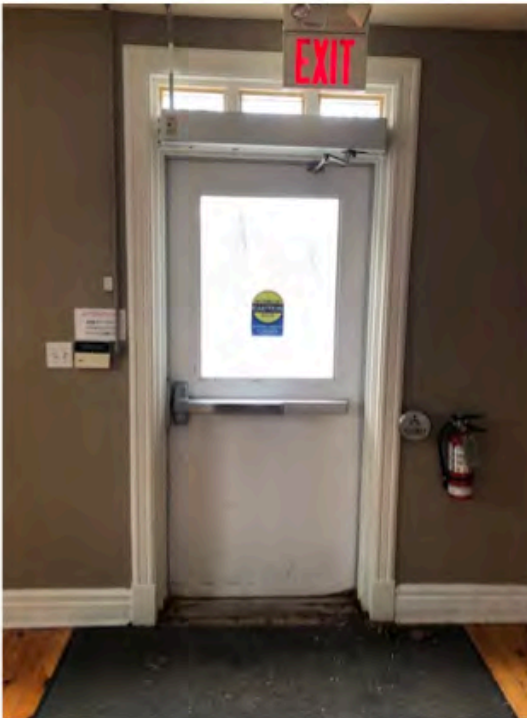
Ceiling damaged due to roof leaks - Main entrance vestibule



Ceiling damaged due to roof leaks - Main entrance vestibule



Deteriorated floor tiles - Main entrance vestibule



Deteriorated steel frame and door - West entrance



PARKING

BARRIER FREE ACCESS DOOR
MAIN ENTRANCE DOOR
EAST ACCESS DOOR

SOUTH ACCESS DOOR



KEY PLAN

SCALE: N.T.S



No	Date	Remarks

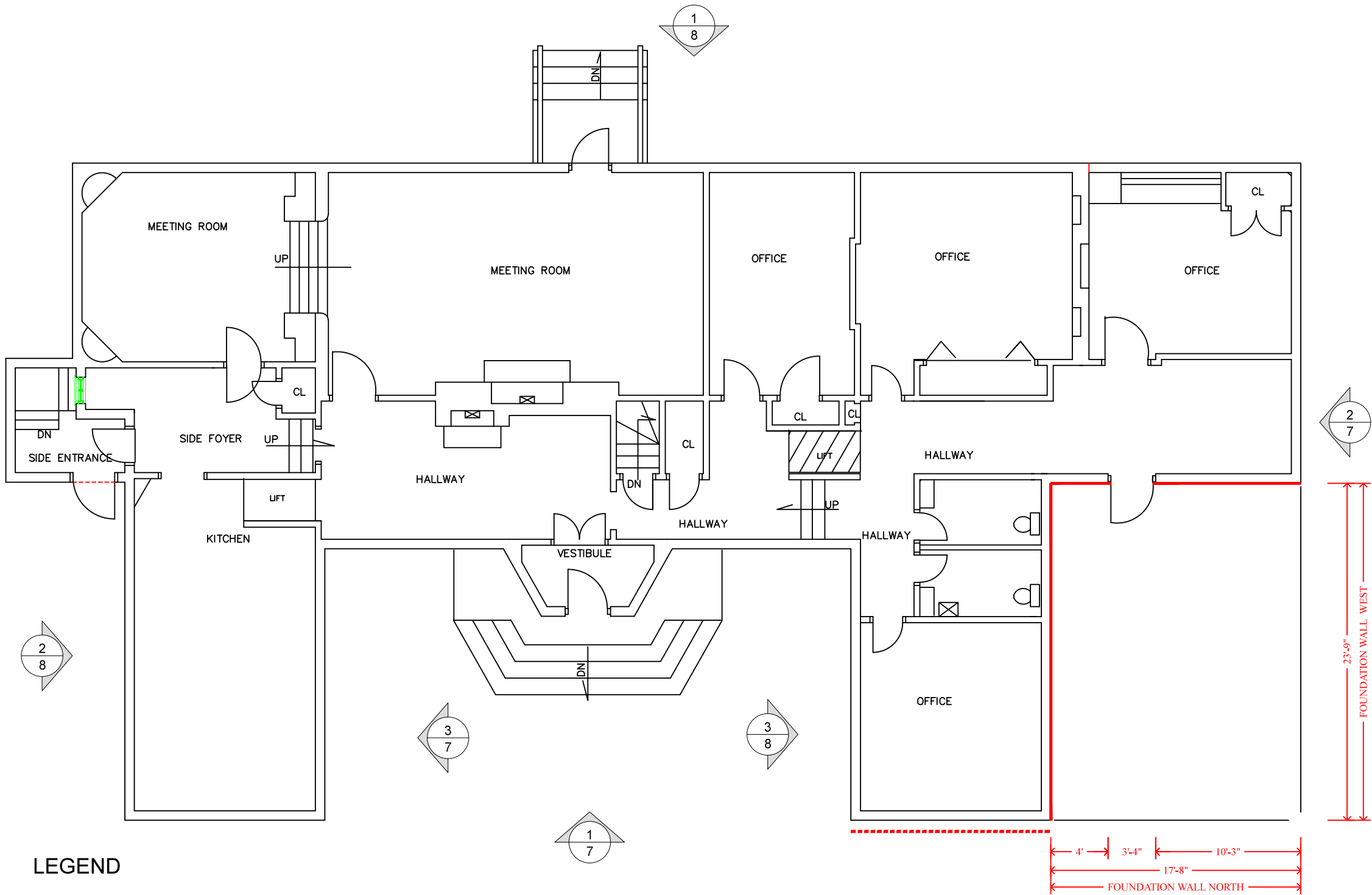
ADVANTIS STUDIO
Consulting Inc.
997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271-4864
E-mail: advantis.studio@gmail.com

LOCATION
Derry House
875 Enola Avenue, Mississauga

DRAWING

AREA OF WORK
KEY PLAN

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	1
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



LEGEND

- AREA OF BRICK REPLACEMENT AT THE FOUNDATION WALL
- - - AREA OF FOUNDATION WALL WHERE BRICK WAS PREVIOUSLY REPLACED

REMOVE EXISTING DETERIORATED BRICK AND REPLACE WITH NEW TO MATCH EXISTING AT THE ADJACENT FOUNDATION WALL AREA WHERE BRICK WAS PREVIOUSLY REPLACED.

1
2

FIRST FLOOR PLAN - FOUNDATION WALL REPAIR AREA

SCALE: 1/8"=1'-0"



No	Date	Remarks

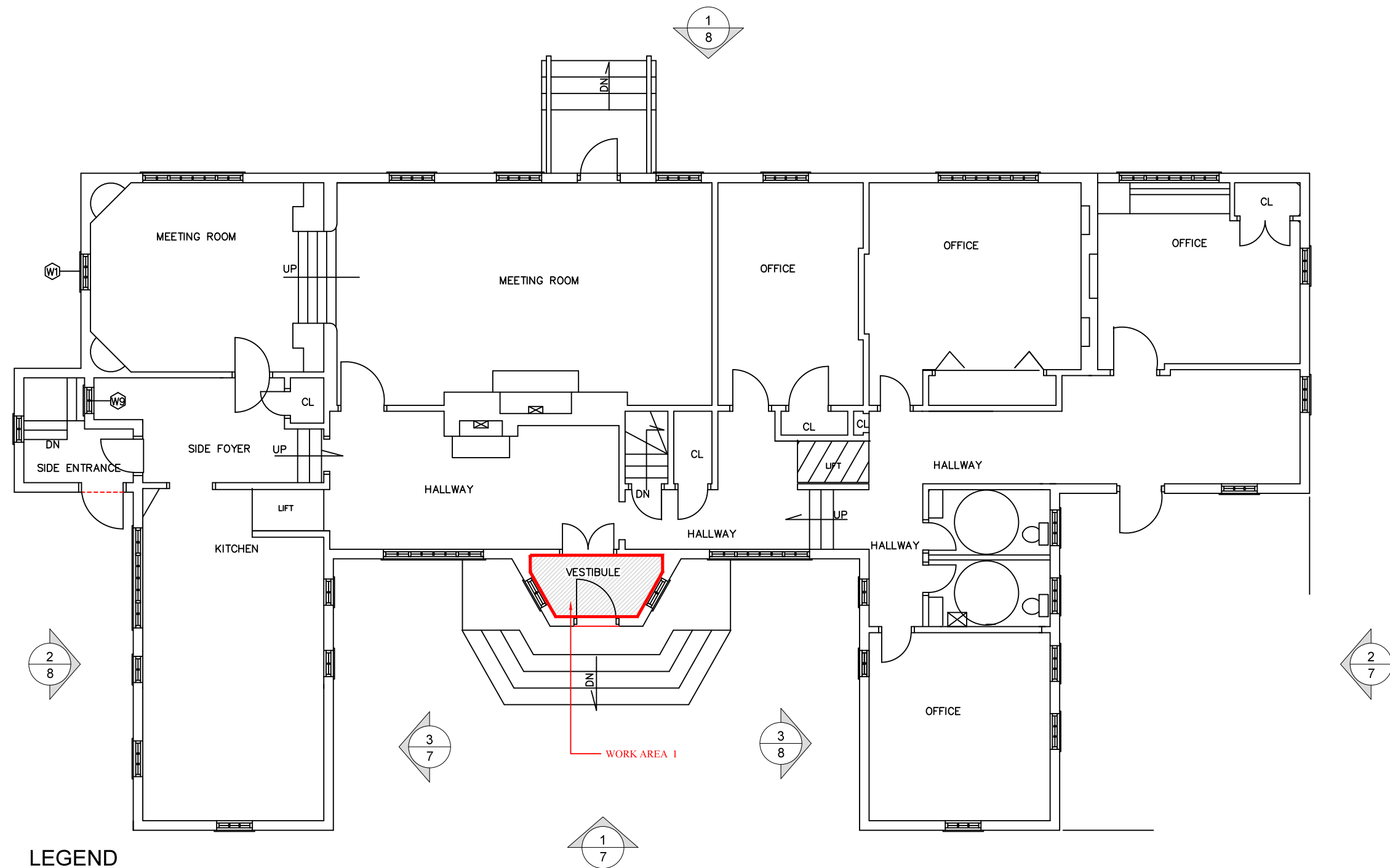
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Consulting Inc.
997 Kipling Avenue, Toronto, Ontario, M9B 3L3
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E-mail: advantis.studio@gmail.com

LOCATION
Derry House
875 Enola Avenue, Mississauga

DRAWING

AREA OF WORK
KEY PLAN

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	2
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



LEGEND

-  CERAMIC TILE REPLACEMENT AREA
- SUPPLY AND INSTALL NEW FLOOR TILES TO MATCH EXISTING TILES

FIRST FLOOR PLAN - FLOOR REPAIR AREA
SCALE: 1/8"=1'-0"



No	Date	Remarks

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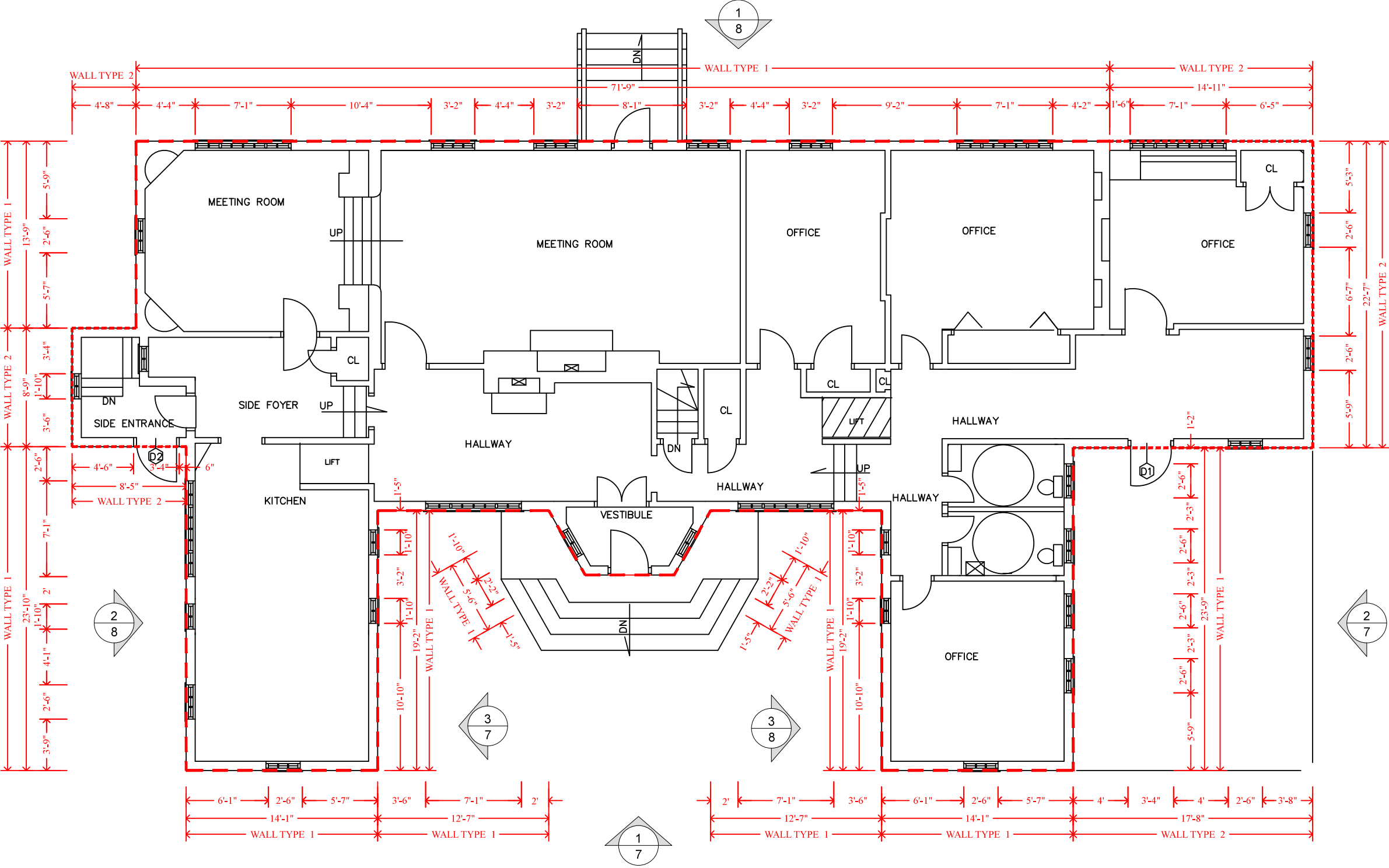
LOCATION

Derry House
875 Enola Avenue, Mississauga

DRAWING

AREA OF WORK
KEY PLAN

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	3
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



LEGEND

- WALL TYPE 1 - REMOVE EXISTING SIDING, INSULATION AND EXISTING WALL SHEATHING AS REQUIRED TO INSTALL NEW FOAM INSULATION INTO THE WALL CAVITY
- WALL TYPE 2 - REMOVE EXISTING SIDING, ALUMINUM FOIL MEMBRANE AND WALL SHEATHING AS REQUIRED TO INSTALL NEW FOAM INSULATION INTO THE WALL CAVITY
- REMOVE EXISTING H.M. DOOR AND FRAME. EXISTING HARDWARE AND DOOR OPERATOR TO BE REUSED.

FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"



No	Date	Remarks

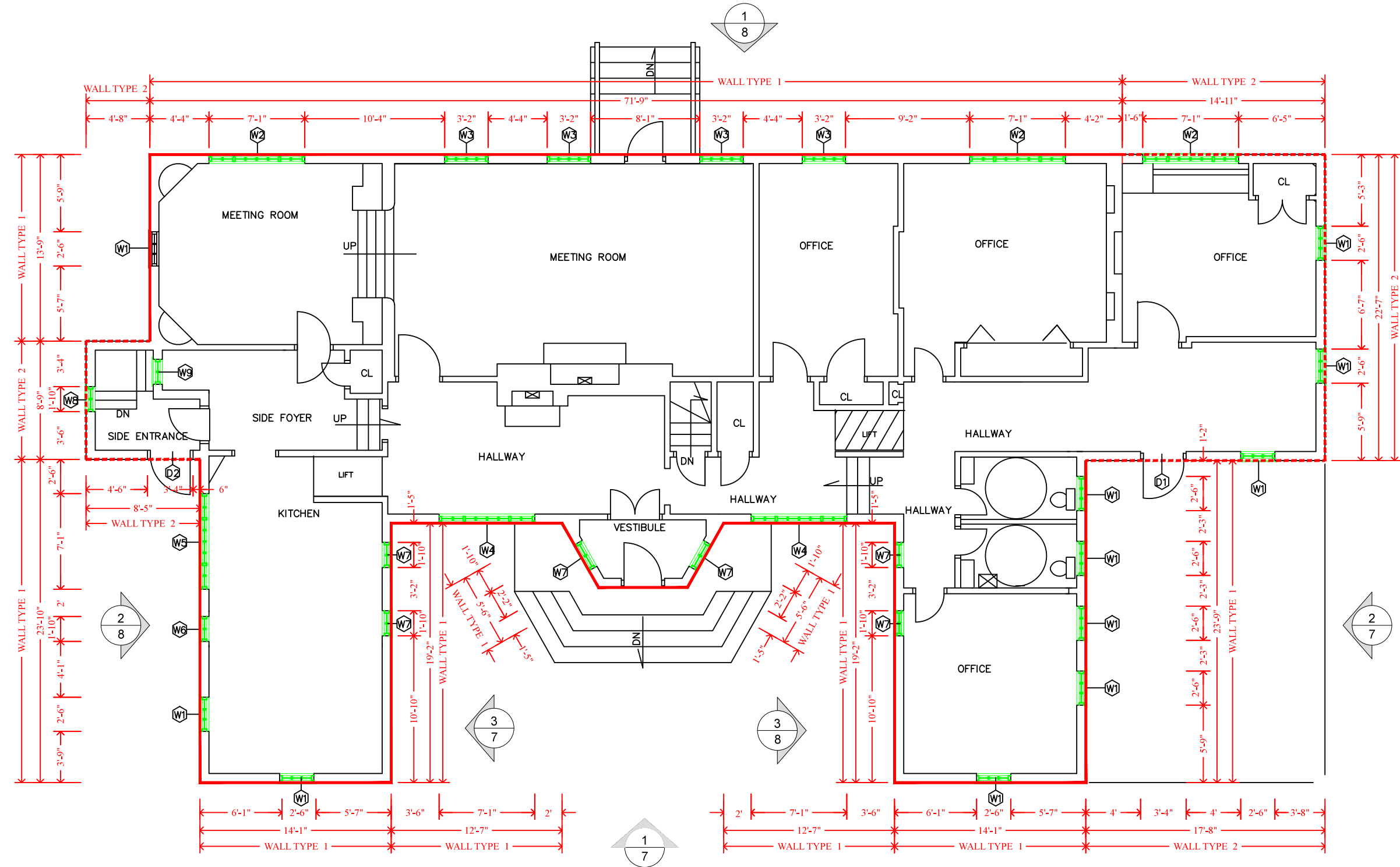
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Consulting Inc.
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Tel. (416) 271-4864
E-mail: advantis.studio@gmail.com

LOCATION
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875 Enola Avenue, Mississauga

DRAWING

**AREA OF WORK
DEMOLITION PLAN**

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	4.1
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



LEGEND

- EXISTING WINDOW AND FRAME TO BE STRIPPED, PRIMED AND PAINTED AND STORM WINDOW TO BE RESTORED AND CONSERVED
- WALL TYPE 1 - SUPPLY & INSTALL FOAM INSULATION, AIR BARRIER AND SIDING AS SPECIFIED
- WALL TYPE 2 - SUPPLY & INSTALL NEW INSULATION, AIR BARRIER AND SIDING AS SPECIFIED
- SUPPLY & INSTALL NEW H.M. DOOR AS SPECIFIED
ALL EXISTING HARDWARE AND DOOR OPERATOR TO BE REUSED

FIRST FLOOR PLAN - EXTERIOR WALL ASSEMBLY REPLACEMENT & WINDOW ASSEMBLY REPAIR AREA

SCALE: 1/8"=1'-0"



No	Date	Remarks

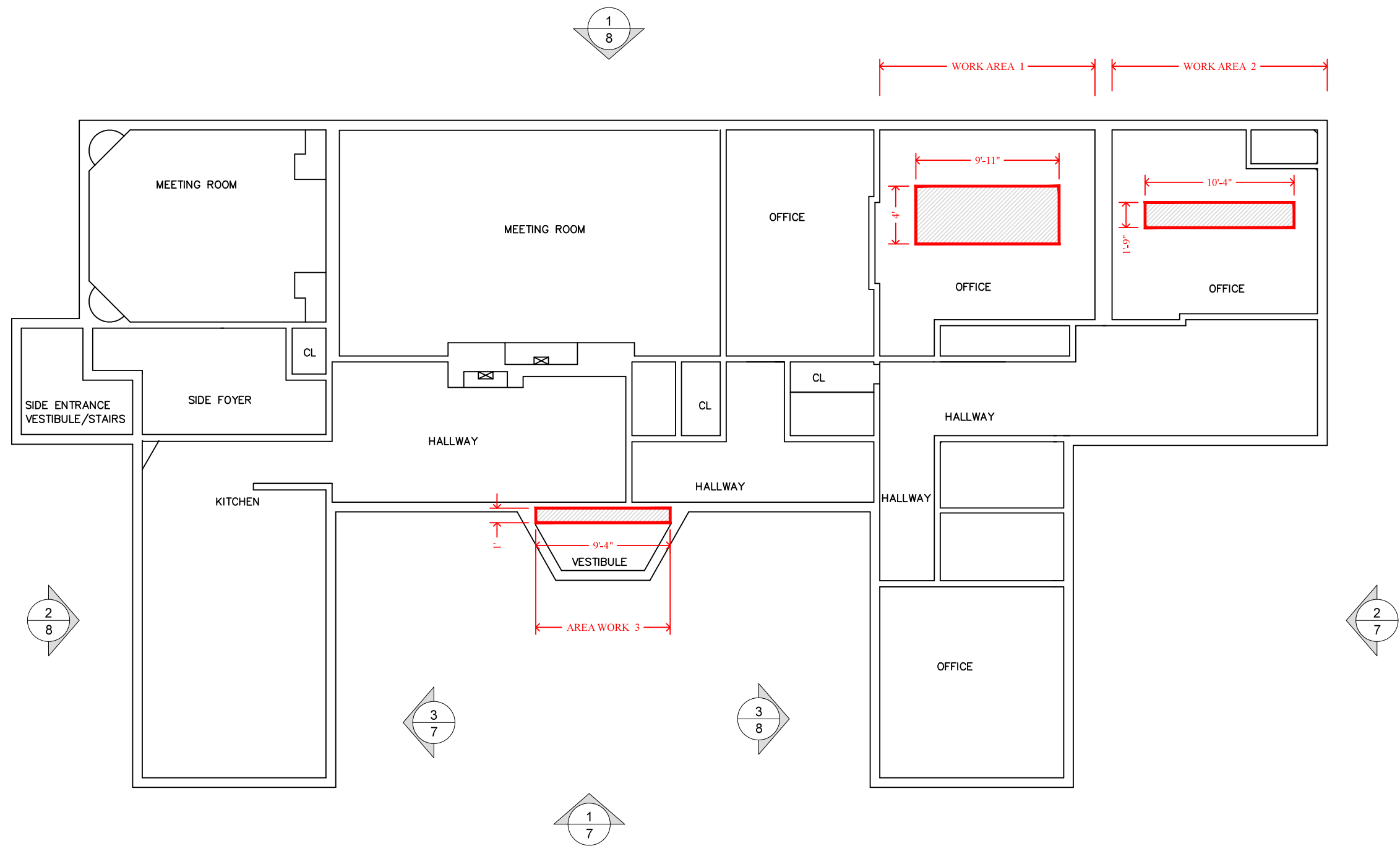
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LOCATION
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875 Enola Avenue, Mississauga


DRAWING


AREA OF WORK
KEY PLAN

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	4.2
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



LEGEND

-  AREA OF EXISTING PLASTER CEILING REPAIR
- REMOVE DETERIORATED PLASTER CEILING, REPAIR STRAPPING AS REQUIRED
- INSTALL NEW TO MATCH EXISTING. PRIME AND PAINT THE CEILING TO MATCH THE FINISH AND COLOUR OF THE EXISTING CEILING.

 **KEY PLAN - CEILING REPAIR AREA**
SCALE: 1/8"=1'-0"



No	Date	Remarks

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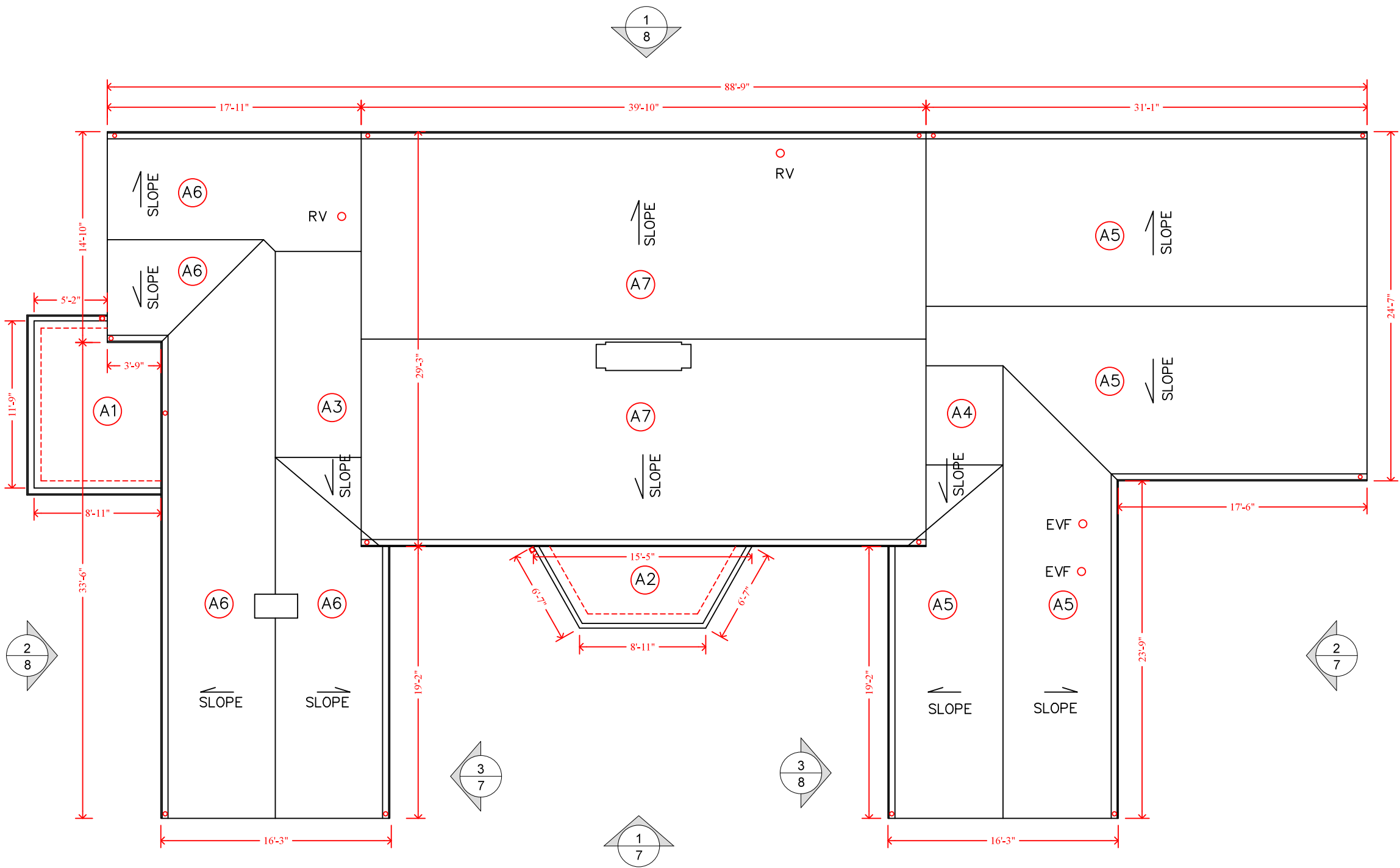
LOCATION

Derry House
875 Enola Avenue, Mississauga

DRAWING

AREA OF WORK
KEY PLAN

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	5
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



LEGEND

- A1 A2 A3 A4 2-PLY MODIFIED BITUMEN ROOF ASSEMBLY
- A5 A6 A7 ASPHALT SHINGLE ASSEMBLY

REMOVE ALL COMPONENTS OF THE ASSEMBLY AND METAL FLASHING AND
SUPPLY AND INSTALL NEW ROOF ASSEMBLIES AND METAL FLASHING AS SPECIFIED

1
6.1

ROOF PLAN - AREA OF ROOF ASSEMBLY REPLACEMENT

SCALE: 1/8"=1'-0"



No	Date	Remarks

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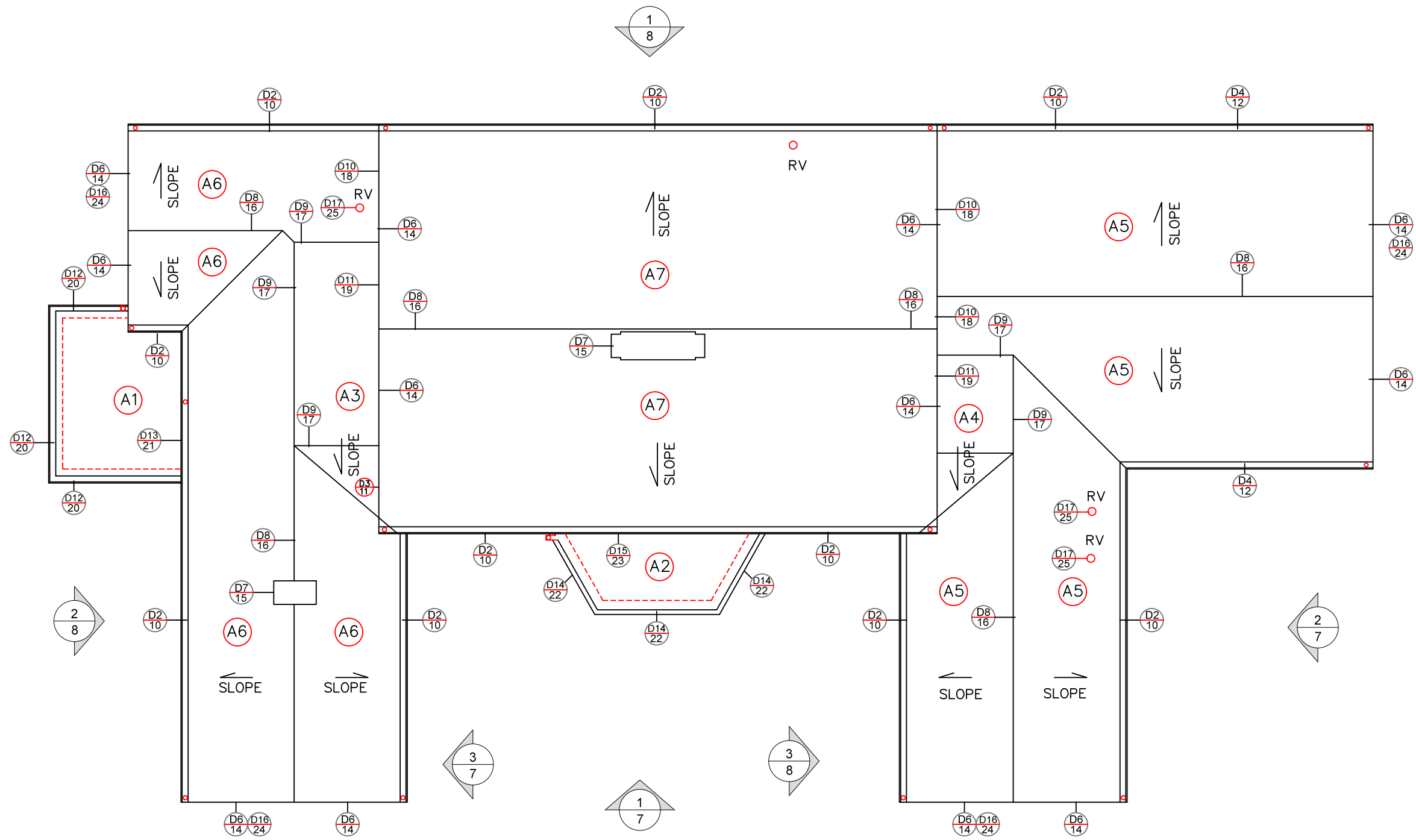
LOCATION

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875 Enola Avenue, Mississauga

DRAWING

AREA OF WORK
KEY PLAN

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	6.1
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



LEGEND

- A1 A2 A3 A4 2-PLY MODIFIED BITUMEN ROOF ASSEMBLY
- A5 A6 A7 ASPHALT SHINGLE ASSEMBLY

REMOVE ALL COMPONENTS OF THE ASSEMBLY AND METAL FLASHING AND
SUPPLY AND INSTALL NEW ROOF ASSEMBLIES AND METAL FLASHING AS SPECIFIED

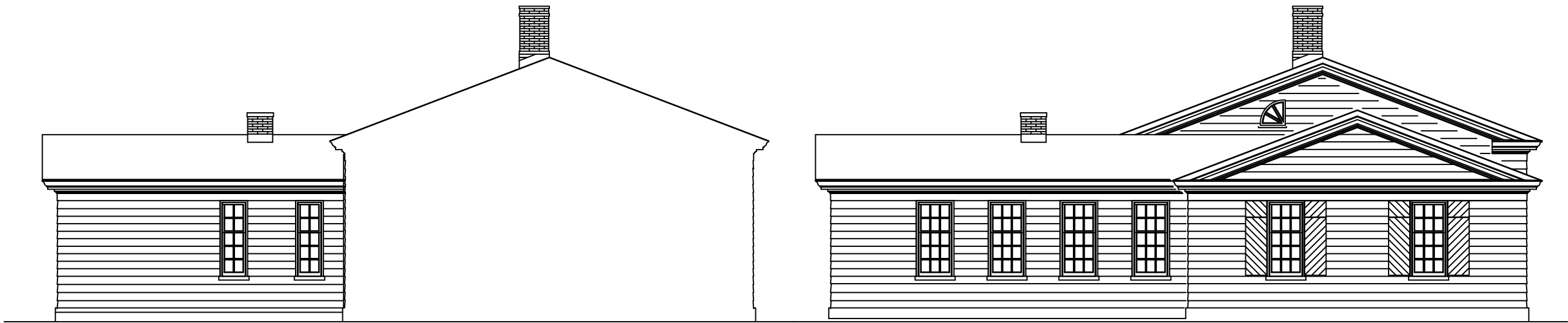
1
6.2 ROOF PLAN - DETAILS SCHEDULE LAYOUT
SCALE: 1/8"=1'-0"



No	Date	Remarks
<div>ADVANTIS STUDIO</div> <div>Consulting Inc.</div> <div></div> <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3</div> <div>Tel. (416) 271 4864</div> <div>E-mail: advantis.studio@gmail.com</div>		
<div>LOCATION</div> <div>Derry House</div> <div>875 Enola Avenue, Mississauga</div>		
<div>DRAWING</div>		
<div>AREA OF WORK</div> <div>KEY PLAN</div>		
<div>PROJECT No:</div> <div>2-21R993</div>		<div>DRAWING No</div>
<div>DATE:</div> <div>February, 2021</div>		<div>6.2</div>
<div>SCALE:</div> <div>As noted</div>		
<div>DRAWING BY:</div> <div>Z. V.</div>		
<div>APPROVED BY:</div>		



1 NORTH ELEVATION
7.1 SCALE: 1/8"=1'-0"



3 PARTIAL WEST ELEVATION
7.1 SCALE: 1/8"=1'-0"

2 WEST ELEVATION
7.1 SCALE: 1/8"=1'-0"

No	Date	Remarks

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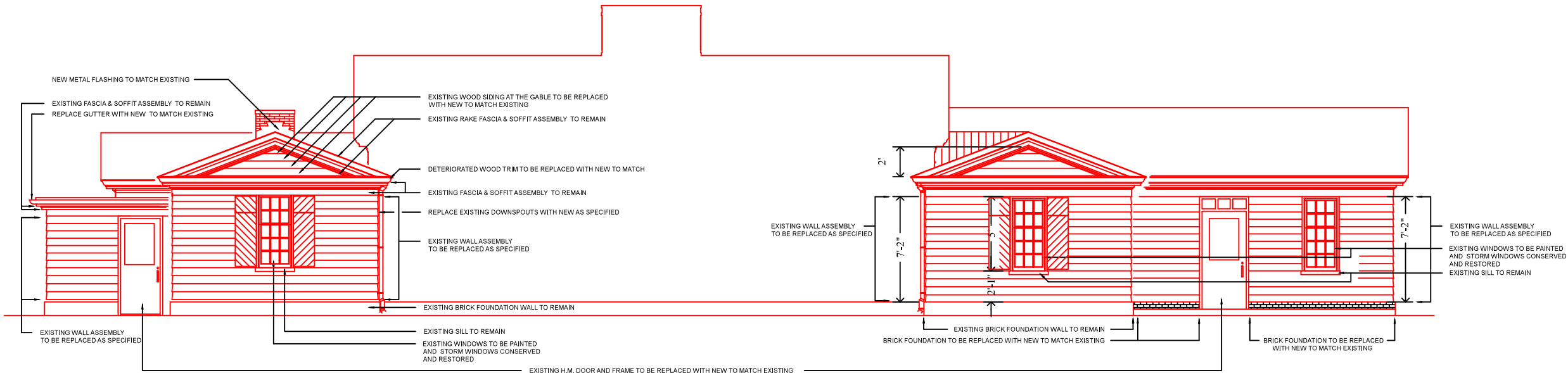
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875 Enola Avenue, Mississauga

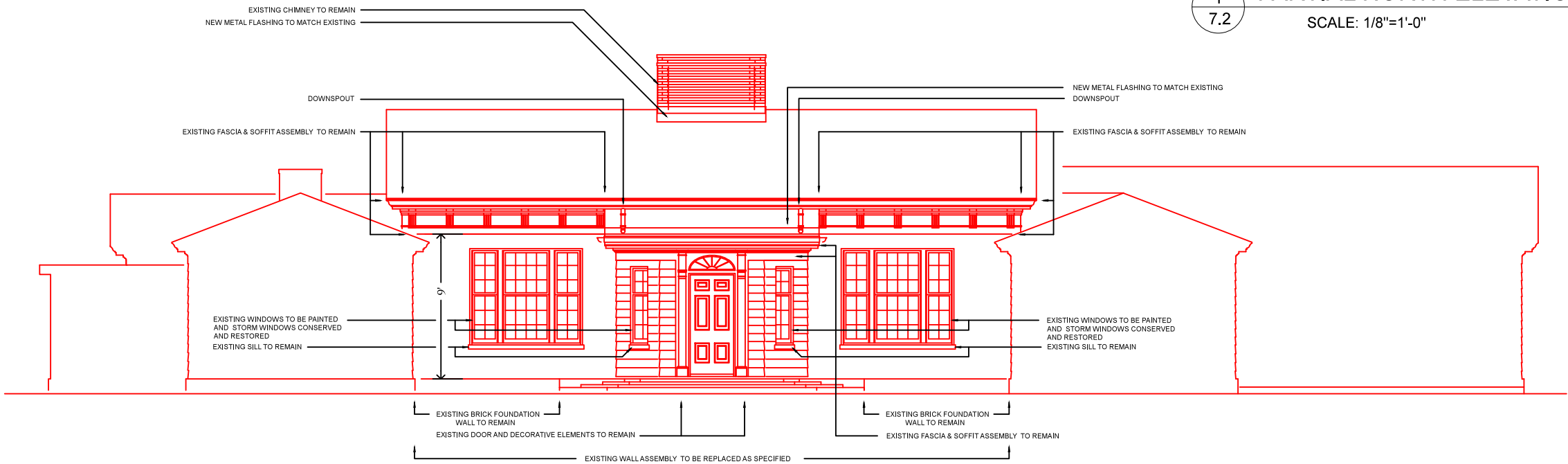
DRAWING

ELEVATIONS

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	7.1
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



1
7.2
PARTIAL NORTH ELEVATION
SCALE: 1/8"=1'-0"

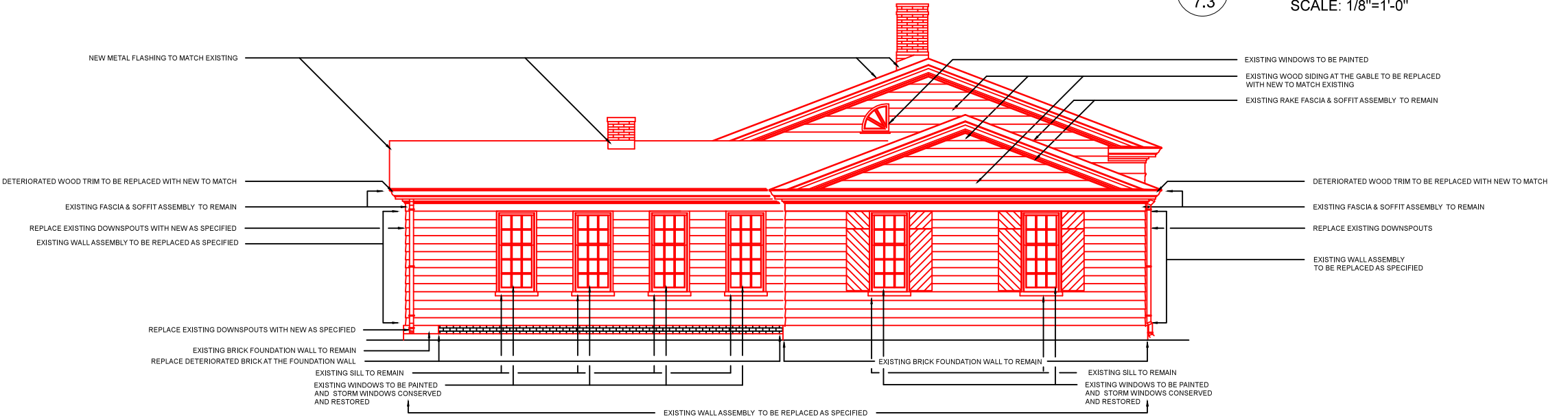
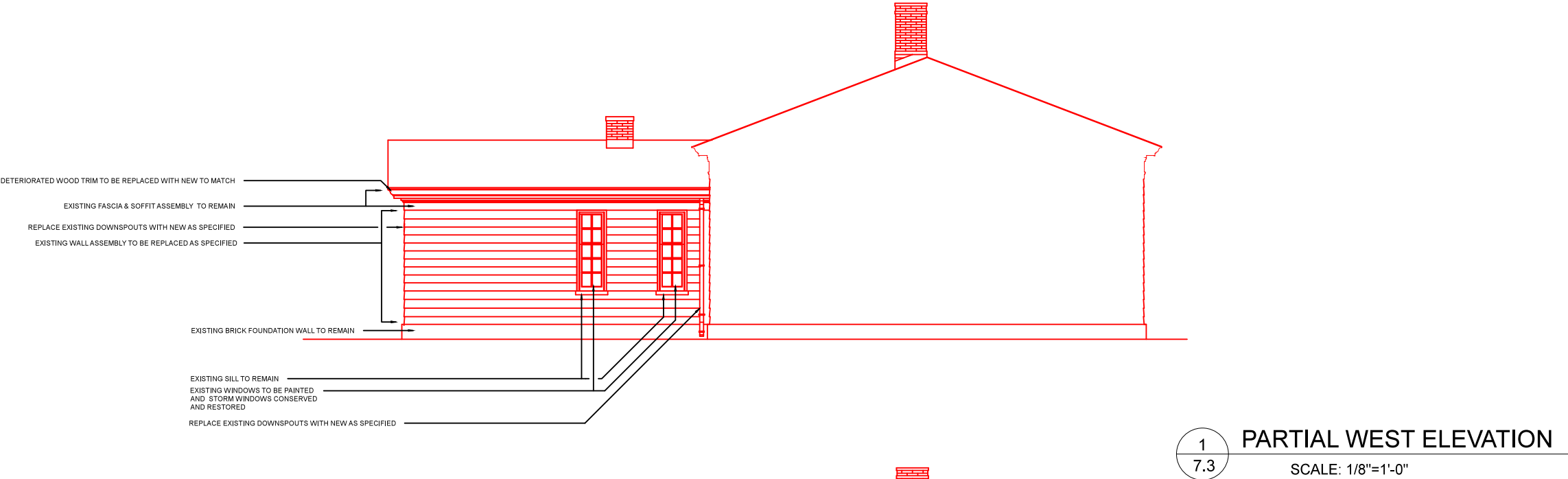


GENERAL NOTES:

- ALL DECORATIVE ELEMENTS , FASCIA, SOFFIT, WINDOW SILL AND SHUTTERS THAT ARE TO REMAIN SHALL BE STRIPPED, PRIMED AND PAINTED.
- EXISTING WINDOW AND FRAME TO BE STRIPPED, PRIMED AND PAINTED
- EXISTING STORM WINDOW TO BE RESTORED AND CONSERVED
- WALL TYPE 1 - SUPPLY & INSTALL FOAM INSULATION, AIR BARRIER AND SIDING AS SPECIFIED
- WALL TYPE 2 - SUPPLY & INSTALL NEW EXTRUDED POLYSTYRENE AND FOAM INSULATION, AIR BARRIER AND SIDING AS SPECIFIED
- SUPPLY & INSTALL NEW H.M. DOOR AS SPECIFIED
- ALL EXISTING HARDWARE AND DOOR OPERATOR TO BE REUSED

2
7.2
PARTIAL NORTH ELEVATION
SCALE: 1/8"=1'-0"

No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario. M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
ELEVATIONS		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	7.2	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



- GENERAL NOTES:
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 - SUPPLY & INSTALL NEW H.M. DOOR AS SPECIFIED
 - ALL EXISTING HARDWARE AND DOOR OPERATOR TO BE REUSED

No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario. M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
ELEVATIONS		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	7.3	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



1

8.1

SOUTH ELEVATION

SCALE: 1/8"=1'-0"



2

8.1

EAST ELEVATION

SCALE: 1/8"=1'-0"

3

8.1

PARTIAL EAST ELEVATION

SCALE: 1/8"=1'-0"

No	Date	Remarks

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Consulting Inc.

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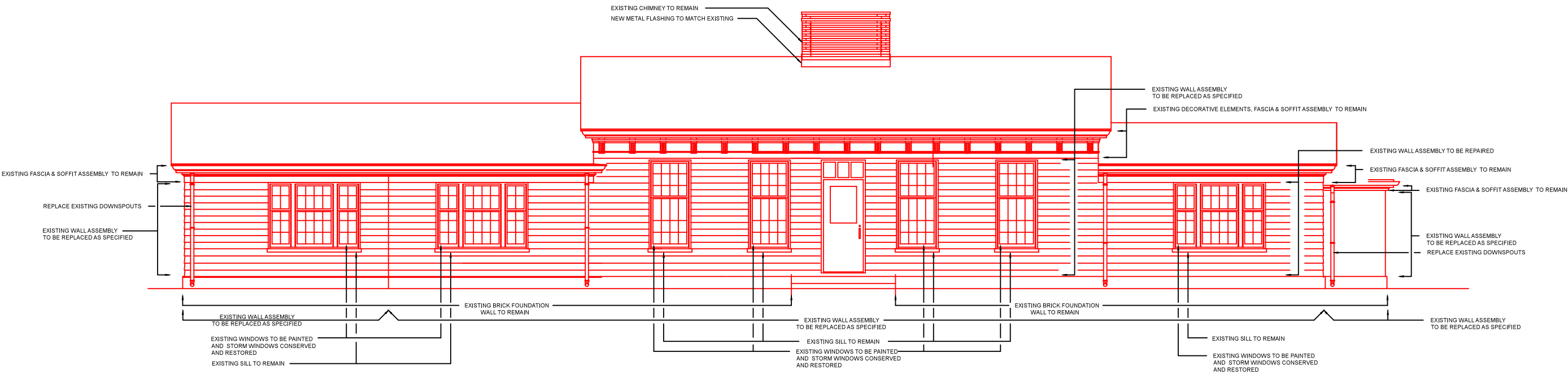
LOCATION

Derry House
875 Enola Avenue, Mississauga

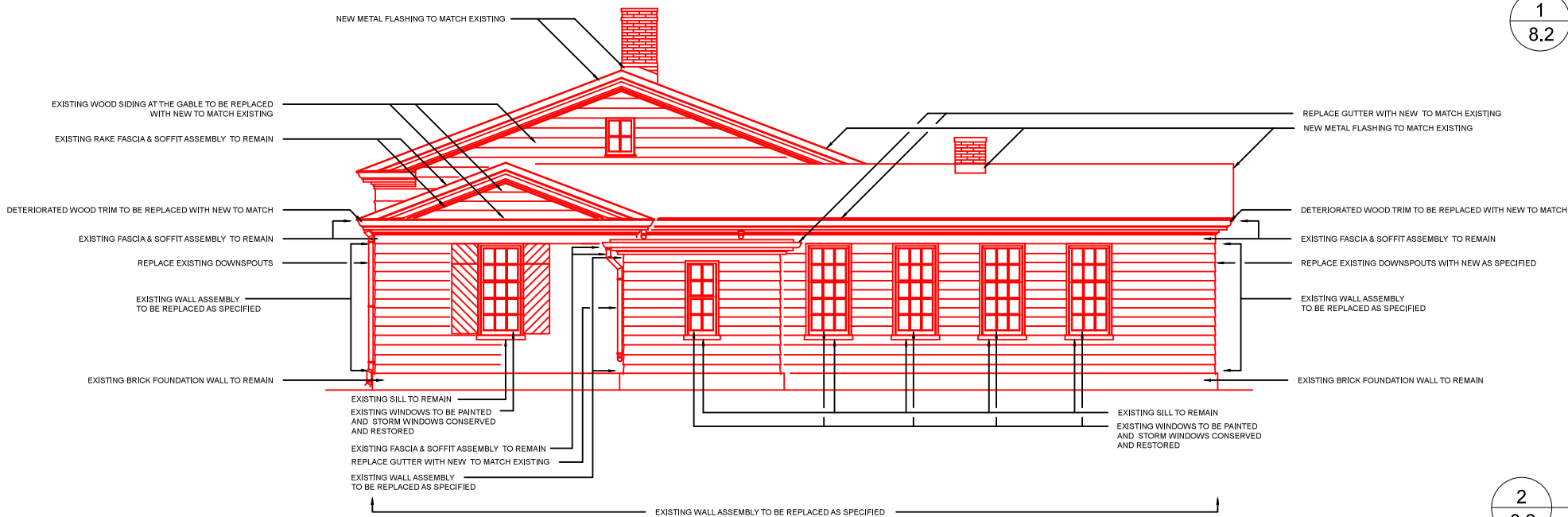
DRAWING

ELEVATIONS

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	8.1
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



1 SOUTH ELEVATION
8.2 SCALE: 1/8"=1'-0"



2 EAST ELEVATION
8.2 SCALE: 1/8"=1'-0"

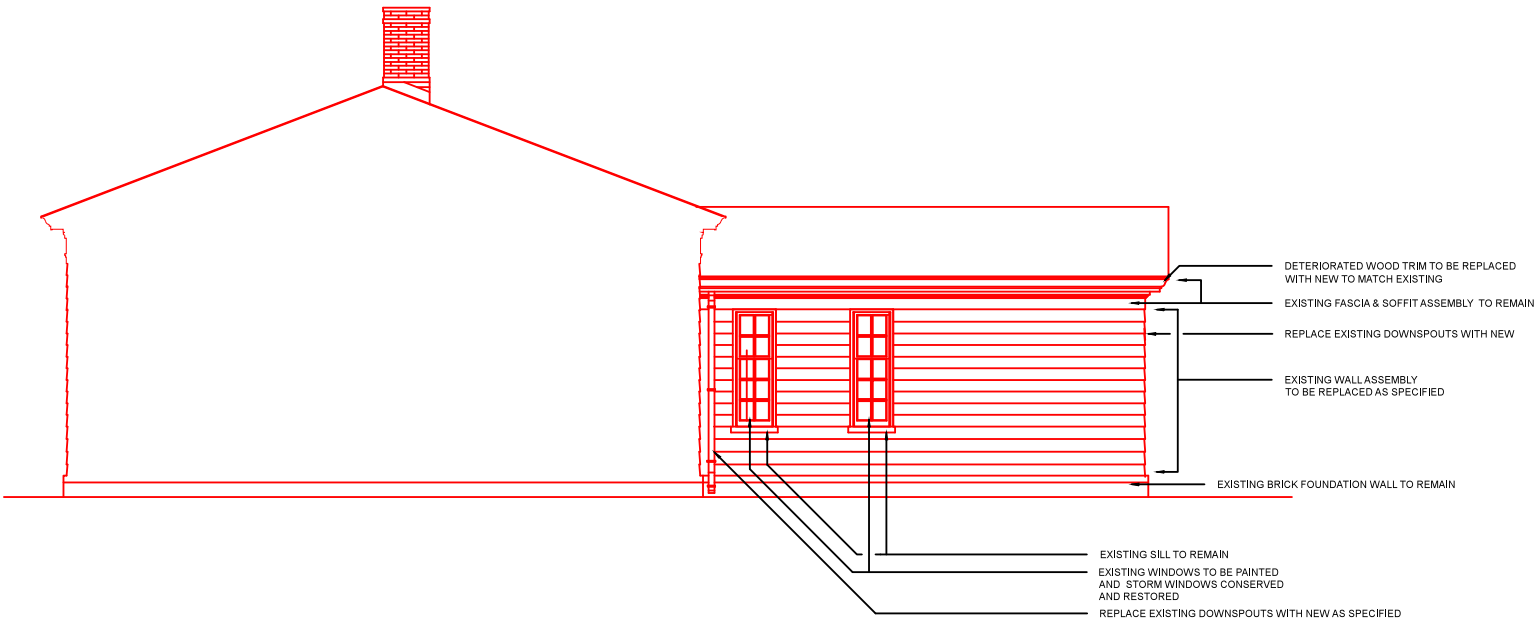
GENERAL NOTES:

- ALL DECORATIVE ELEMENTS , FASCIA, SOFFIT, WINDOW SILL AND SHUTTERS THAT ARE TO REMAIN SHALL BE STRIPPED, PRIMED AND PAINTED.
- EXISTING WINDOW AND FRAME TO BE STRIPPED, PRIMED AND PAINTED
- EXISTING STORM WINDOW TO BE RESTORED AND CONSERVED
- WALL TYPE 1 - SUPPLY & INSTALL FOAM INSULATION, AIR BARRIER AND SIDING AS SPECIFIED
- WALL TYPE 2 - SUPPLY & INSTALL NEW EXTRUDED POLYSTYRENE AND FOAM INSULATION, AIR BARRIER AND SIDING AS SPECIFIED
- SUPPLY & INSTALL NEW H.M. DOOR AS SPECIFIED
- ALL EXISTING HARDWARE AND DOOR OPERATOR TO BE REUSED

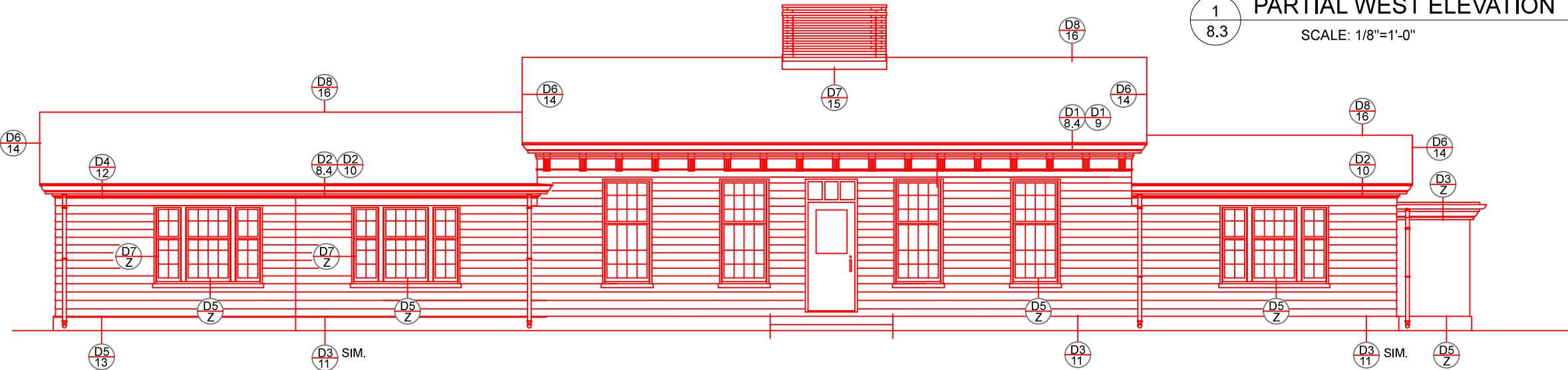
No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario. M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
ELEVATIONS		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	8.2	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		

GENERAL NOTES:

- ALL DECORATIVE ELEMENTS , FASCIA, SOFFIT, WINDOW SILL AND SHUTTERS THAT ARE TO REMAIN SHALL BE STRIPPED, PRIMED AND PAINTED.
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- SUPPLY & INSTALL NEW H.M. DOOR AS SPECIFIED
- ALL EXISTING HARDWARE AND DOOR OPERATOR TO BE REUSED



1 PARTIAL WEST ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - TYPICAL DETAILS LAYOUT
SCALE: 1/8"=1'-0"



3 EAST ELEVATION - TYPICAL DETAILS LAYOUT
SCALE: 1/8"=1'-0"

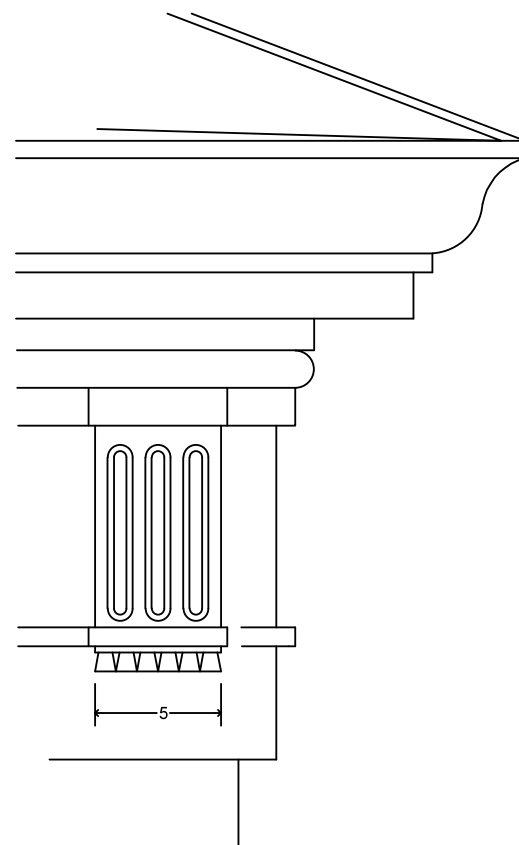
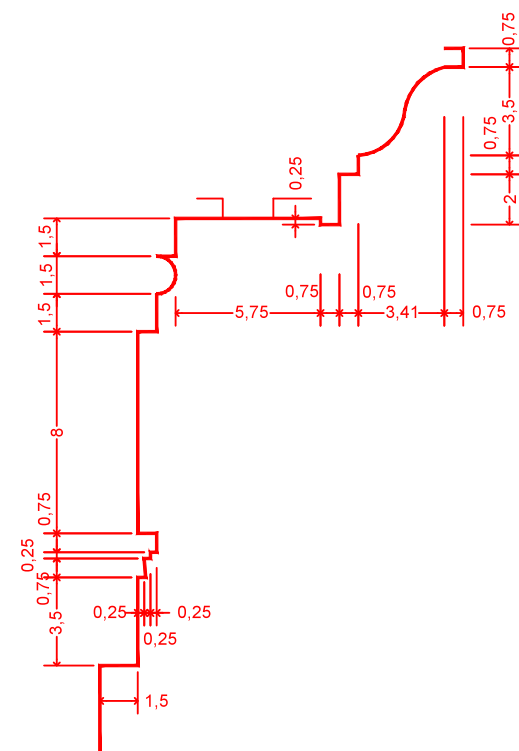
No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
ELEVATIONS		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	8.3	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



1
8.4

NORTH ELEVATION - TYPICAL DETAILS LAYOUT

SCALE: 1/8"=1'-0"



GENERAL NOTES:

- ALL DECORATIVE ELEMENTS , FASICIA, SOFFIT, WINDOW SILL AND SHUTTERS THAT ARE TO REMAIN SHALL BE STRIPPED, PRIMED AND PAINTED.
- EXISTING WINDOW AND FRAME TO BE STRIPPED, PRIMED AND PAINTED
- EXISTING STORM WINDOW TO BE RESTORED AND CONSERVED
- WALL TYPE 1 - SUPPLY & INSTALL FOAM INSULATION, AIR BARRIER AND SIDING AS SPECIFIED
- WALL TYPE 2 - SUPPLY & INSTALL NEW EXTRUDED POLYSTYRENE AND FOAM INSULATION, AIR BARRIER AND SIDING AS SPECIFIED
- SUPPLY & INSTALL NEW H.M. DOOR AS SPECIFIED
- ALL EXISTING HARDWARE AND DOOR OPERATOR TO BE REUSED

TYPICAL EXISTING SECTION & ELEVATION DETAIL

SCALE: 1/8"=1'-0"

No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.

997 Kipling Avenue, Toronto, Ontario. M9B 3L3
Tel. (416) 271 4864
E-mail: advantis.studio@gmail.com

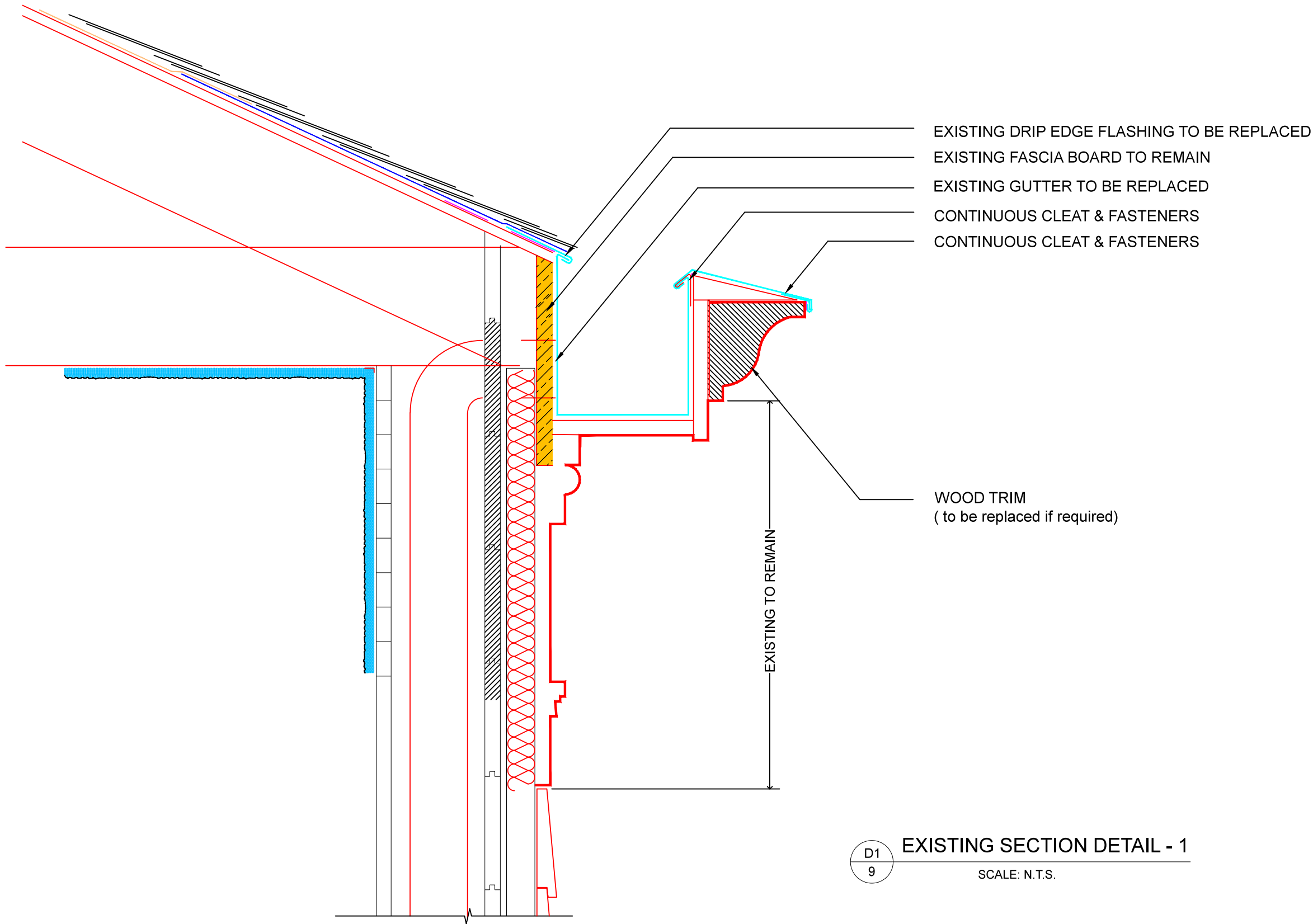
LOCATION

Derry House
875 Enola Avenue, Mississauga

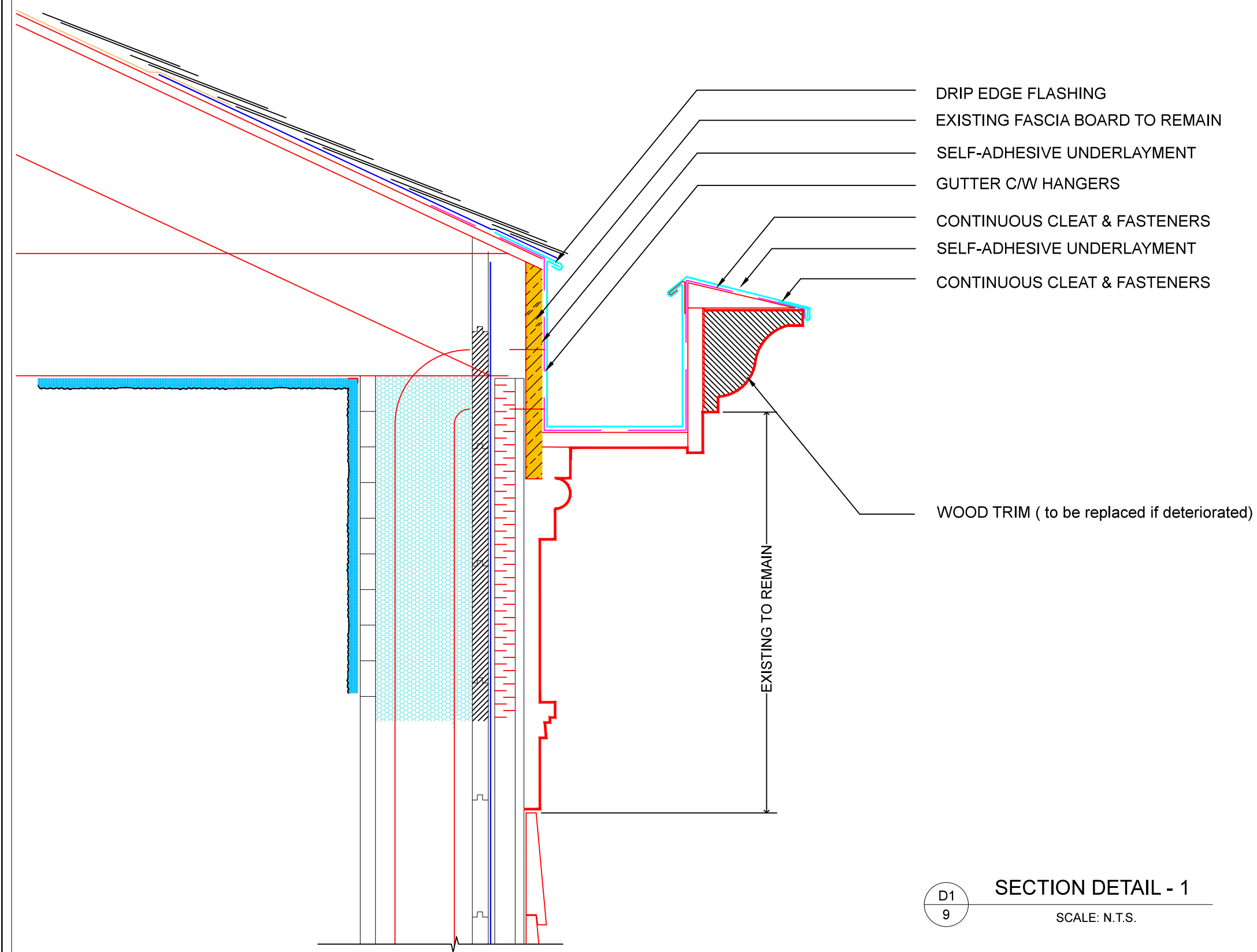
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ELEVATION & SECTION

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	8.4
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	9.1	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		

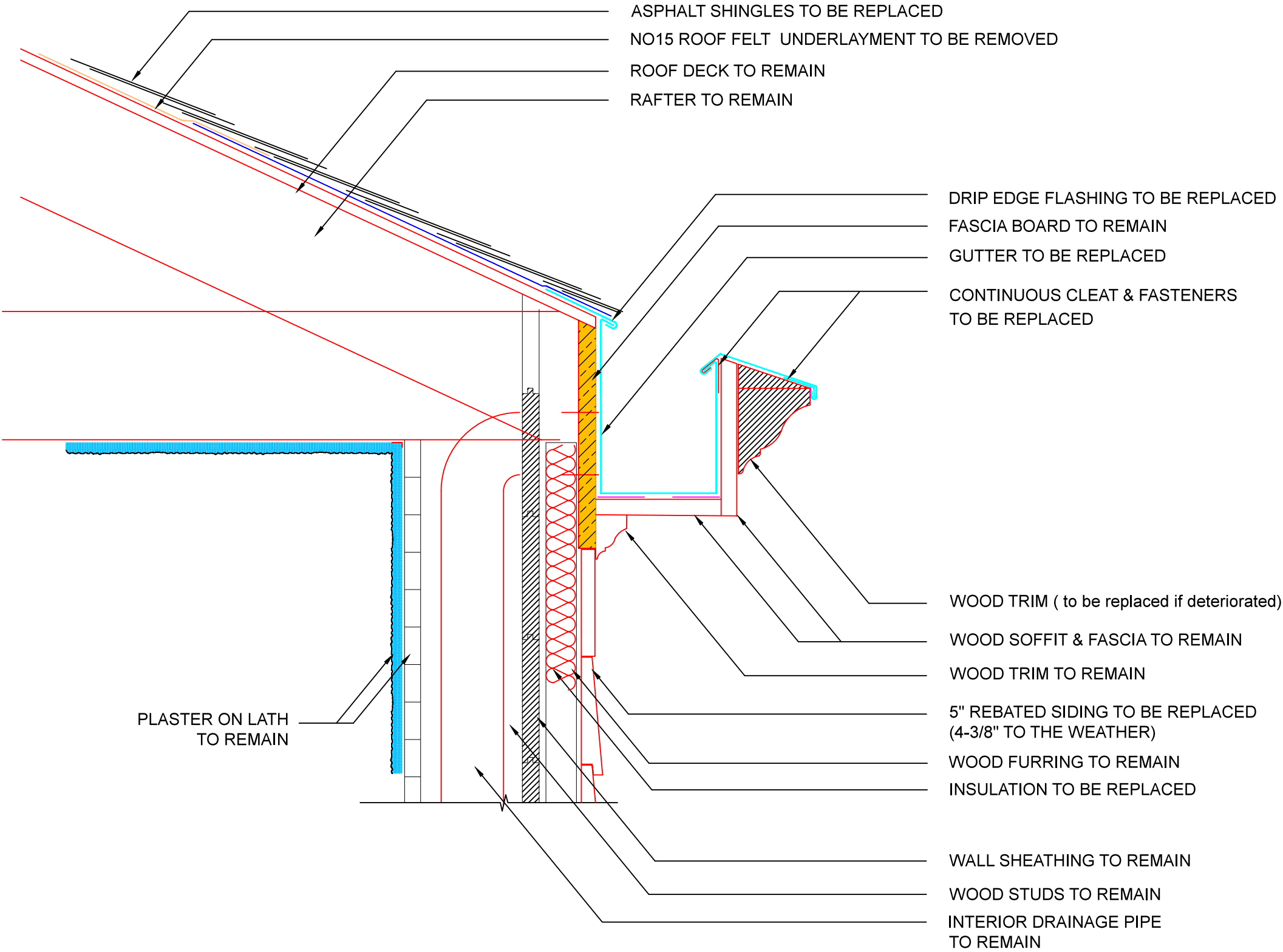


D1
9

SECTION DETAIL - 1

SCALE: N.T.S.

No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	9.2	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



D2
10

EXISTING SECTION DETAIL - 2

SCALE: N.T.S.

No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.

997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271 4864
E-mail: advantis.studio@gmail.com

LOCATION

Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

PROJECT No:
2-21R993

DRAWING No

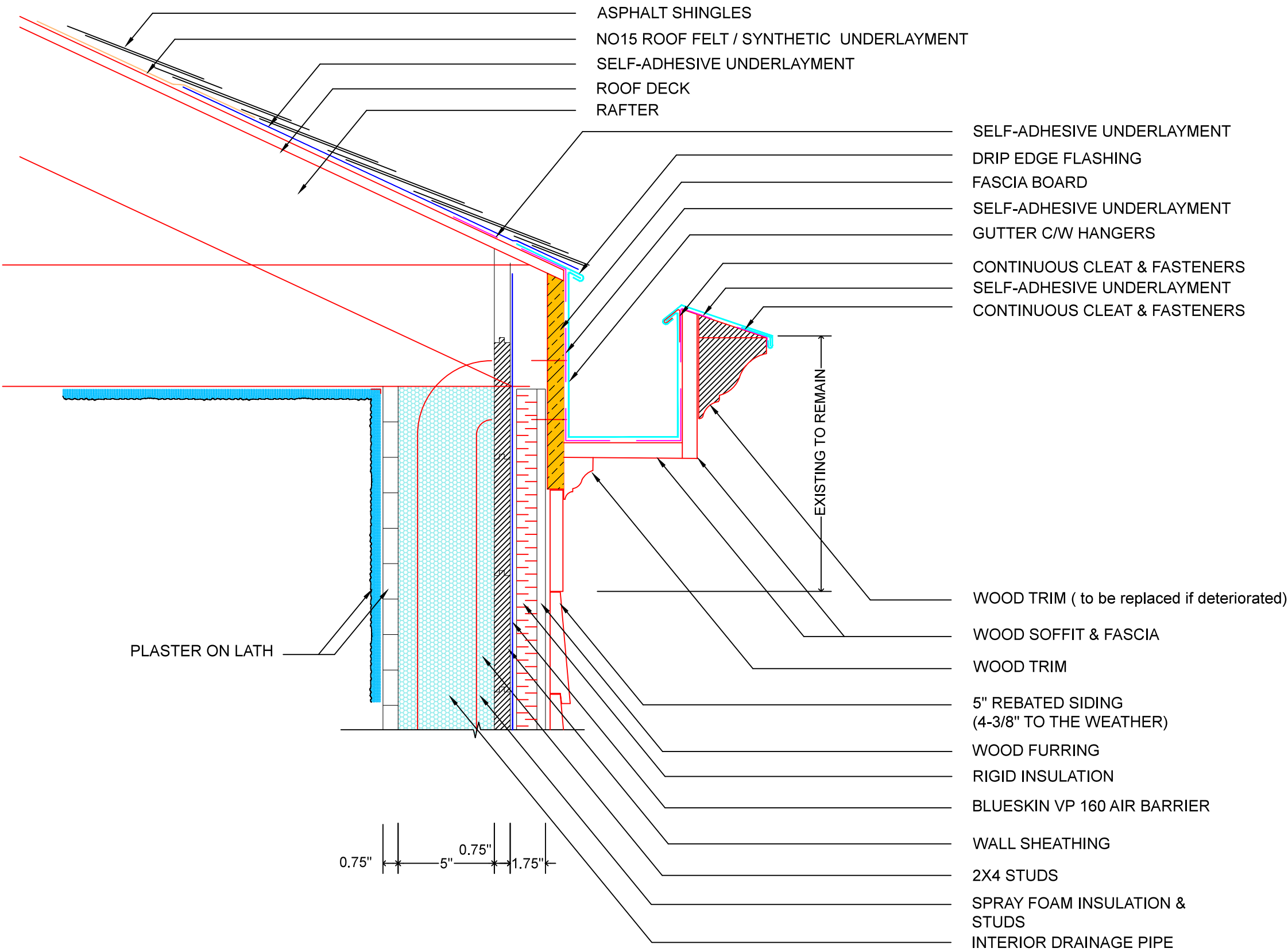
DATE:
February, 2021

SCALE:
As noted

DRAWING BY:
Z. V.

APPROVED BY:

10.1

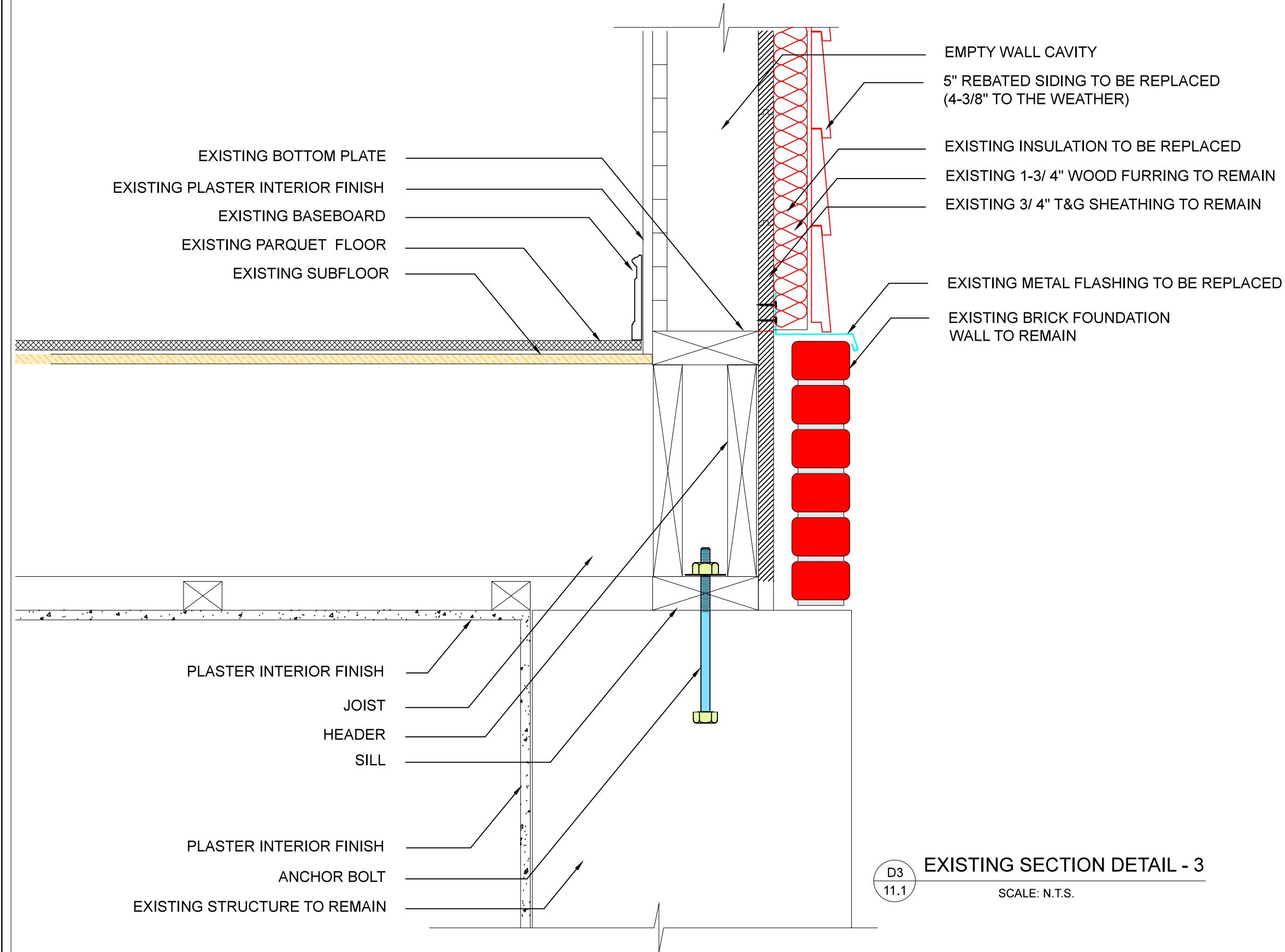


D2
10

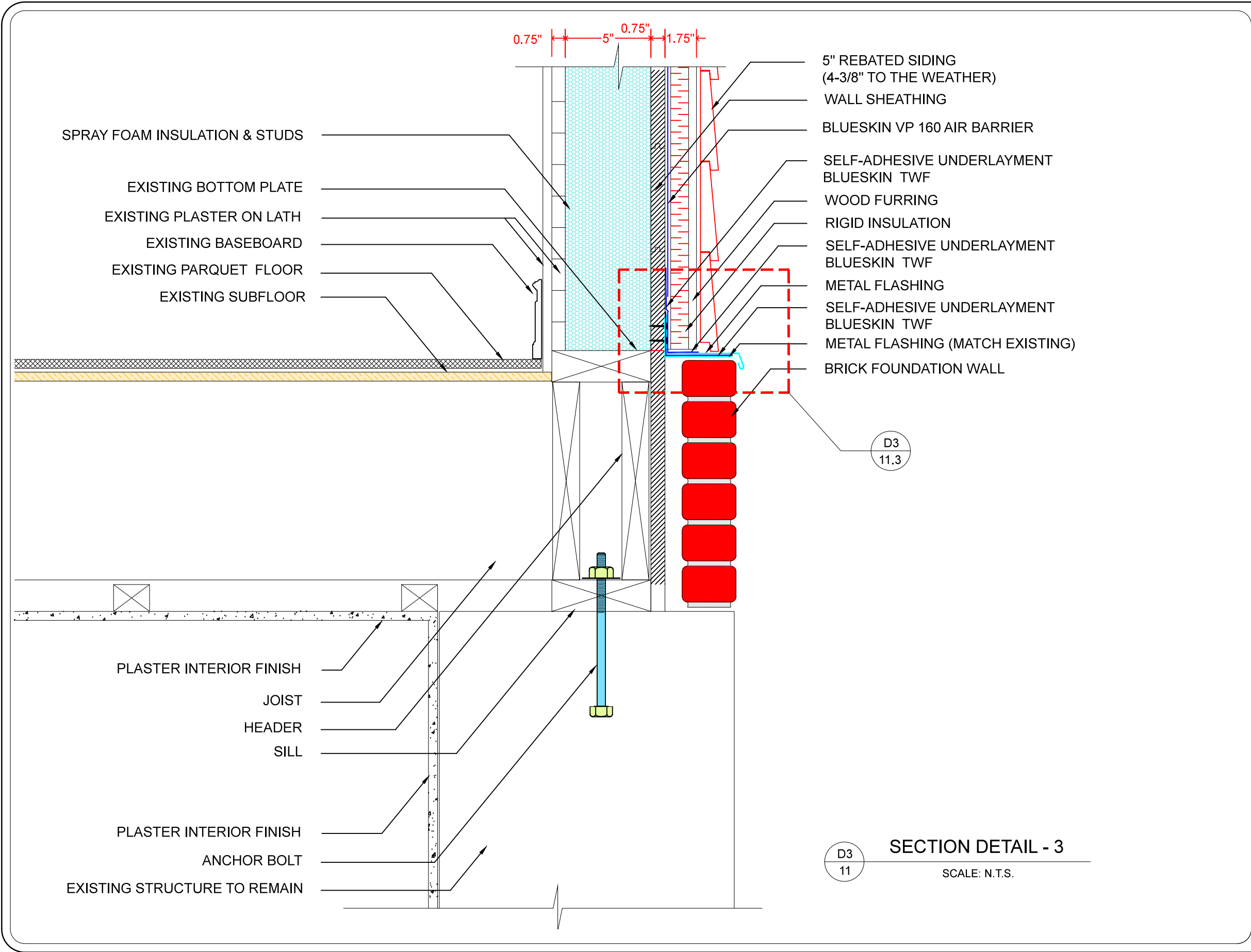
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SCALE: N.T.S.

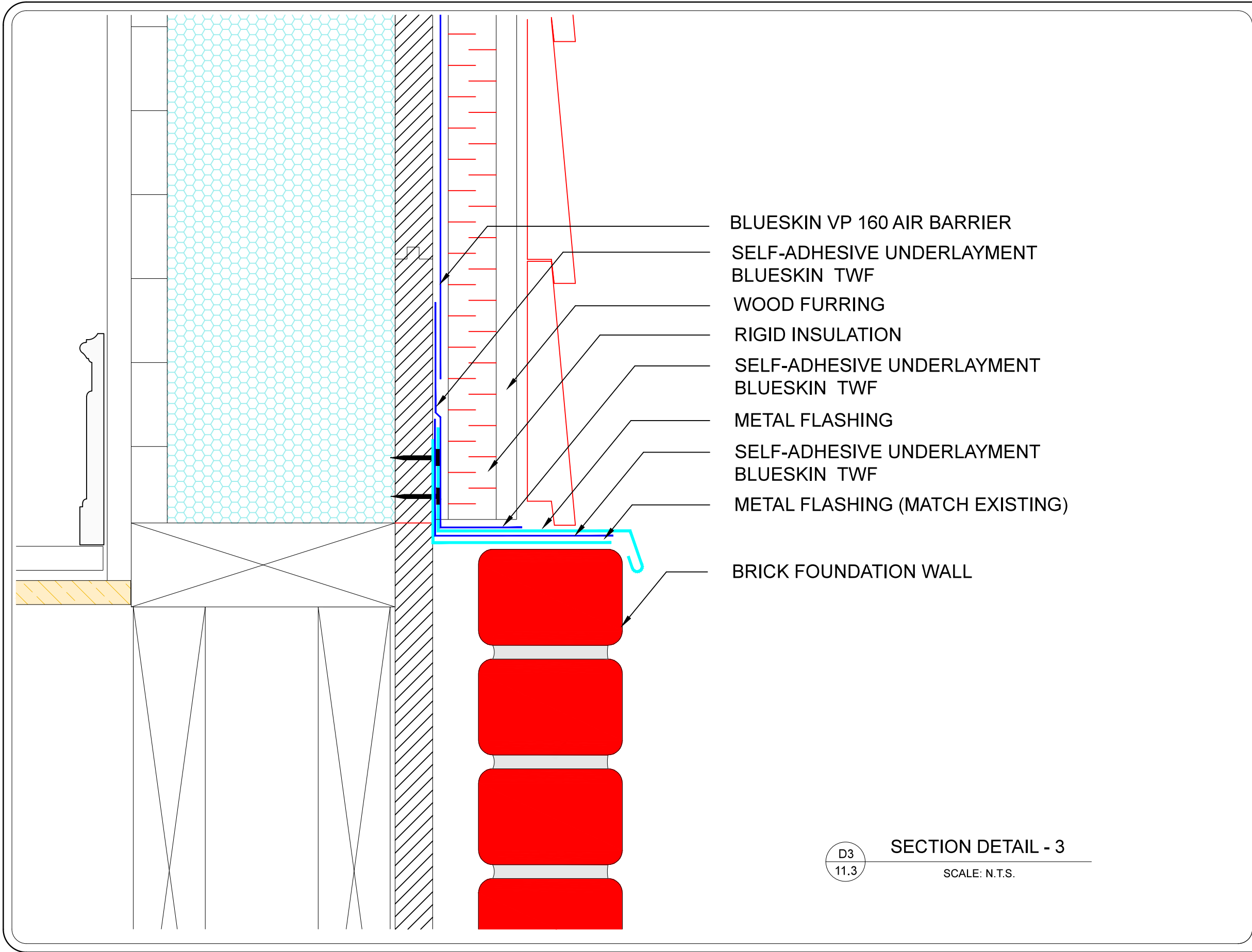
No	Date	Remarks
<div>ADVANTIS STUDIO</div> <div>Consulting Inc.</div> <div></div> <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3</div> <div>Tel. (416) 271 4864</div> <div>E-mail: advantis.studio@gmail.com</div>		
<div>LOCATION</div> <div>Derry House</div> <div>875 Enola Avenue, Mississauga</div>		
<div>DRAWING</div>		
<div>DETAIL</div>		
<div>PROJECT No:</div> <div>2-21R993</div>		<div>DRAWING No</div>
<div>DATE:</div> <div>February, 2021</div>		<div>10.2</div>
<div>SCALE:</div> <div>As noted</div>		
<div>DRAWING BY:</div> <div>Z. V.</div>		
<div>APPROVED BY:</div>		



No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271-4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	11.1	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271-4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	11.2	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



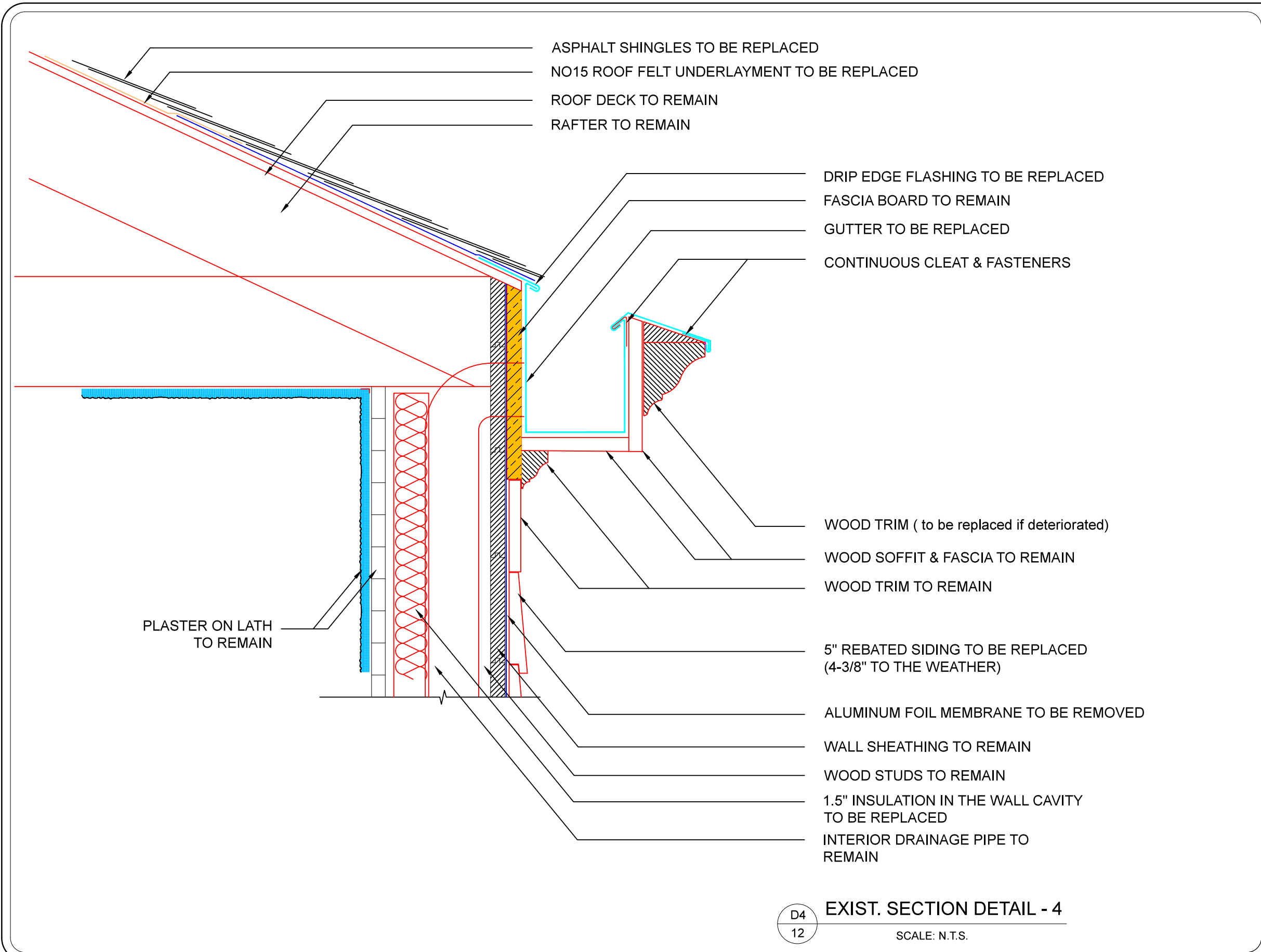
- BLUESKIN VP 160 AIR BARRIER
- SELF-ADHESIVE UNDERLAYMENT
- BLUESKIN TWF
- WOOD FURRING
- RIGID INSULATION
- SELF-ADHESIVE UNDERLAYMENT
- BLUESKIN TWF
- METAL FLASHING
- SELF-ADHESIVE UNDERLAYMENT
- BLUESKIN TWF
- METAL FLASHING (MATCH EXISTING)
- BRICK FOUNDATION WALL

D3
11.3

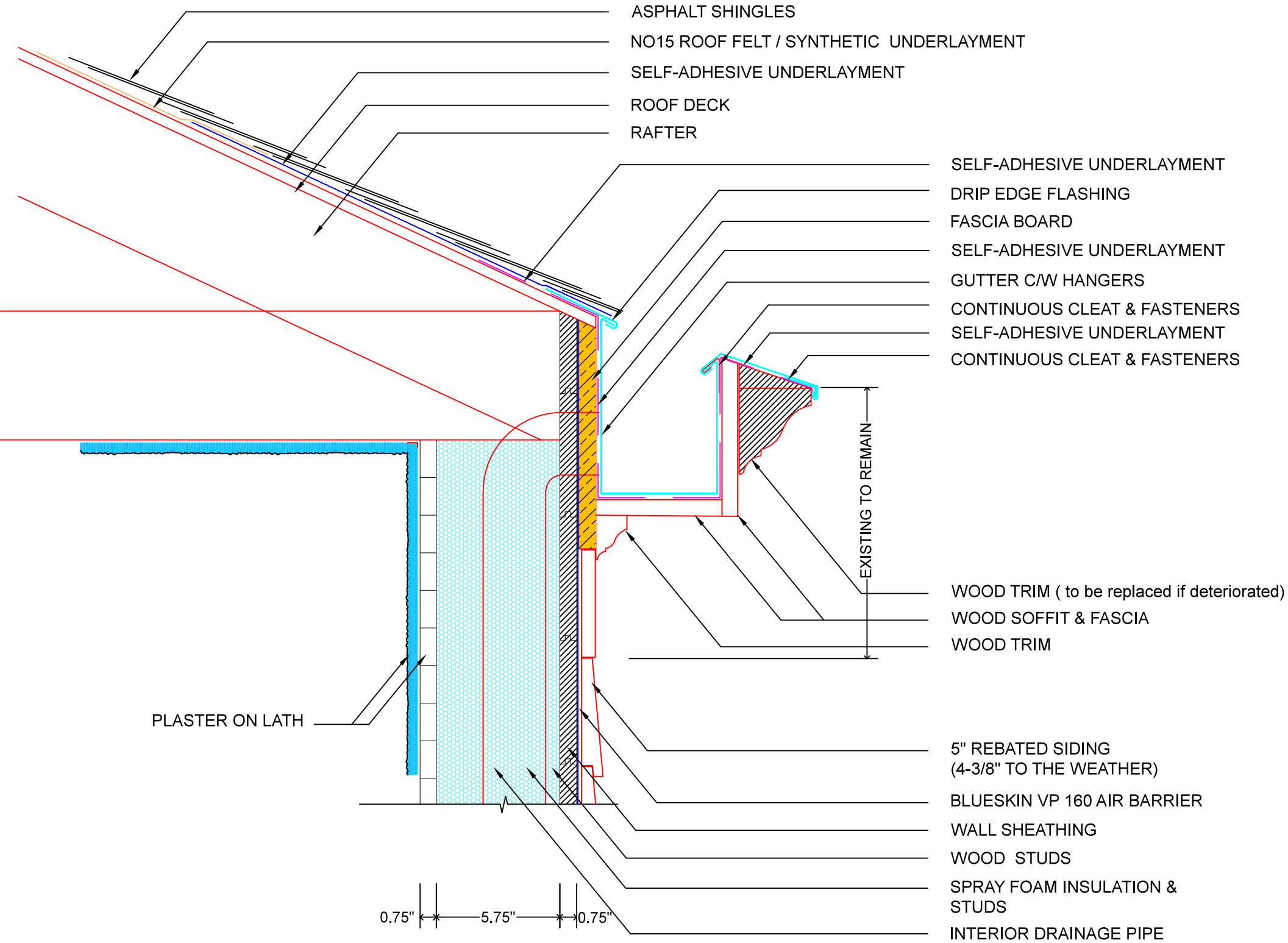
SECTION DETAIL - 3

SCALE: N.T.S.

No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271-4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	11.3	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



No	Date	Remarks
<div>ADVANTIS STUDIO Consulting Inc. <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com</div></div>		
LOCATION <div>Derry House 875 Enola Avenue, Mississauga</div>		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	12.1	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		

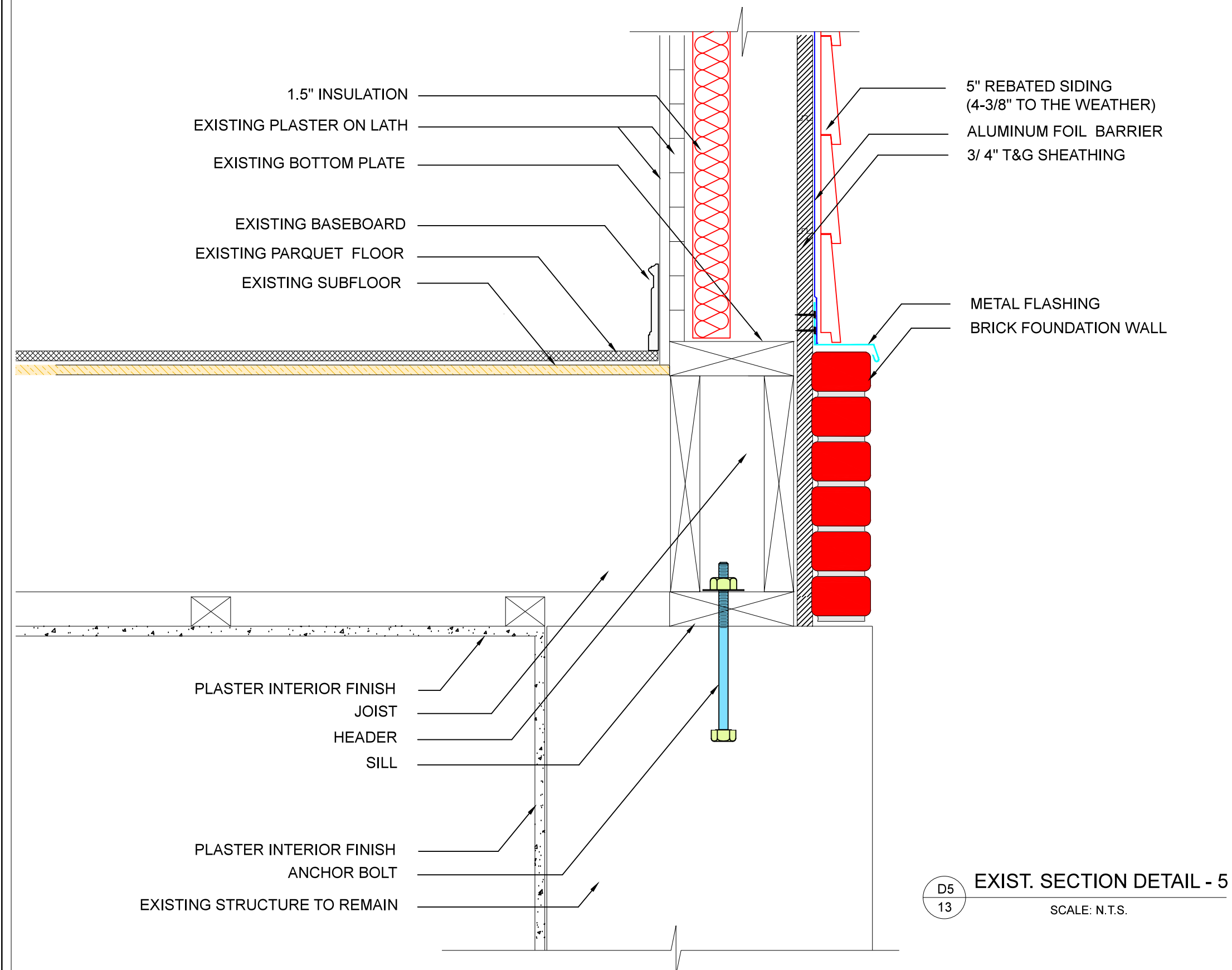


D4
12.2

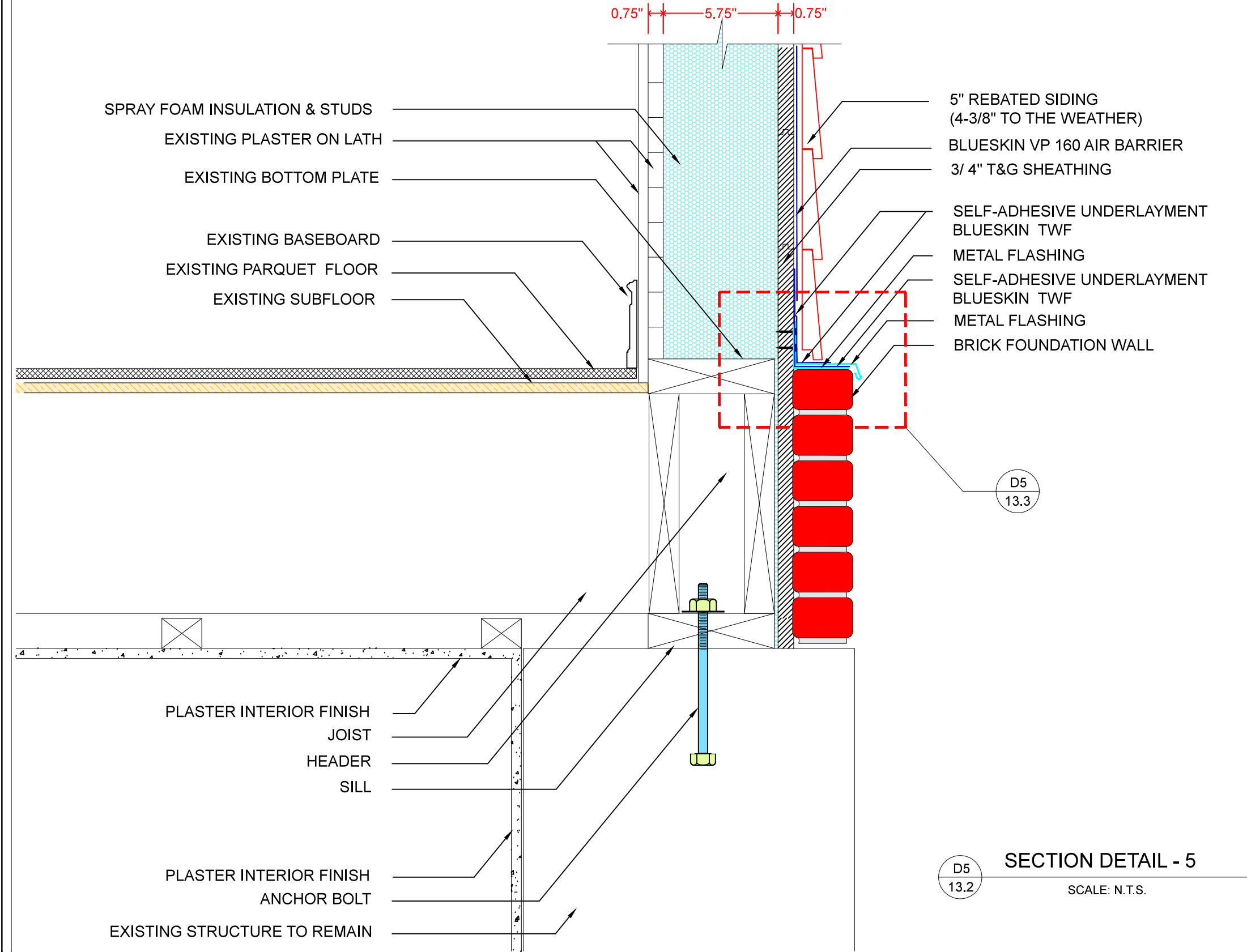
SECTION DETAIL - 4

SCALE: N.T.S.

No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	12.2	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271-4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	13.1	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.

997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271 4864
E-mail: advantis.studio@gmail.com

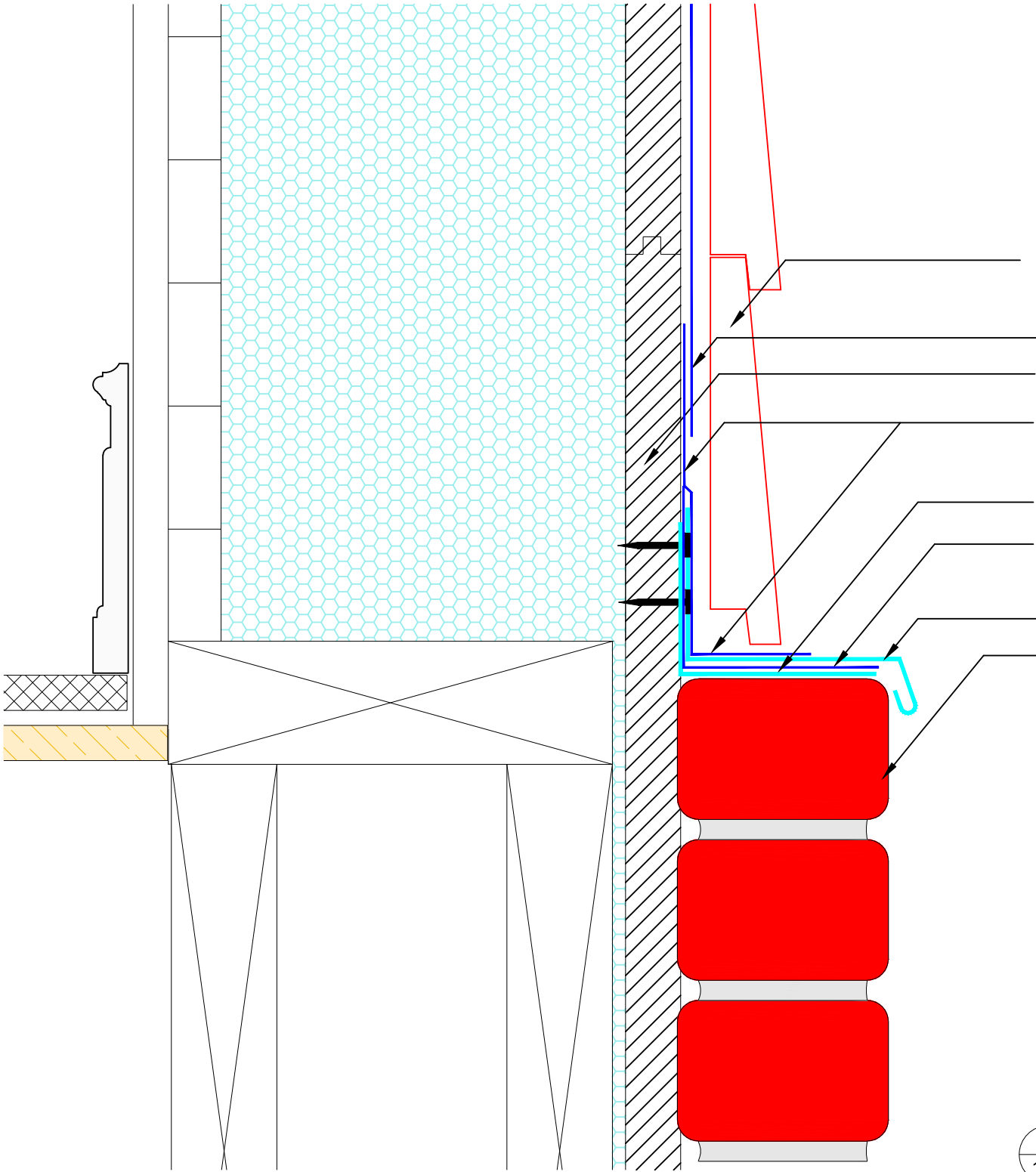
LOCATION

Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	13.2
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



5" REBATED SIDING
(4-3/8" TO THE WEATHER)
BLUESKIN VP 160 AIR BARRIER
3/ 4" T&G SHEATHING
SELF-ADHESIVE UNDERLAYMENT
BLUESKIN TWF
METAL FLASHING
SELF-ADHESIVE UNDERLAYMENT
BLUESKIN TWF
METAL FLASHING
BRICK FOUNDATION WALL

D5
13.3

SECTION DETAIL - 5

SCALE: N.T.S.

No	Date	Remarks

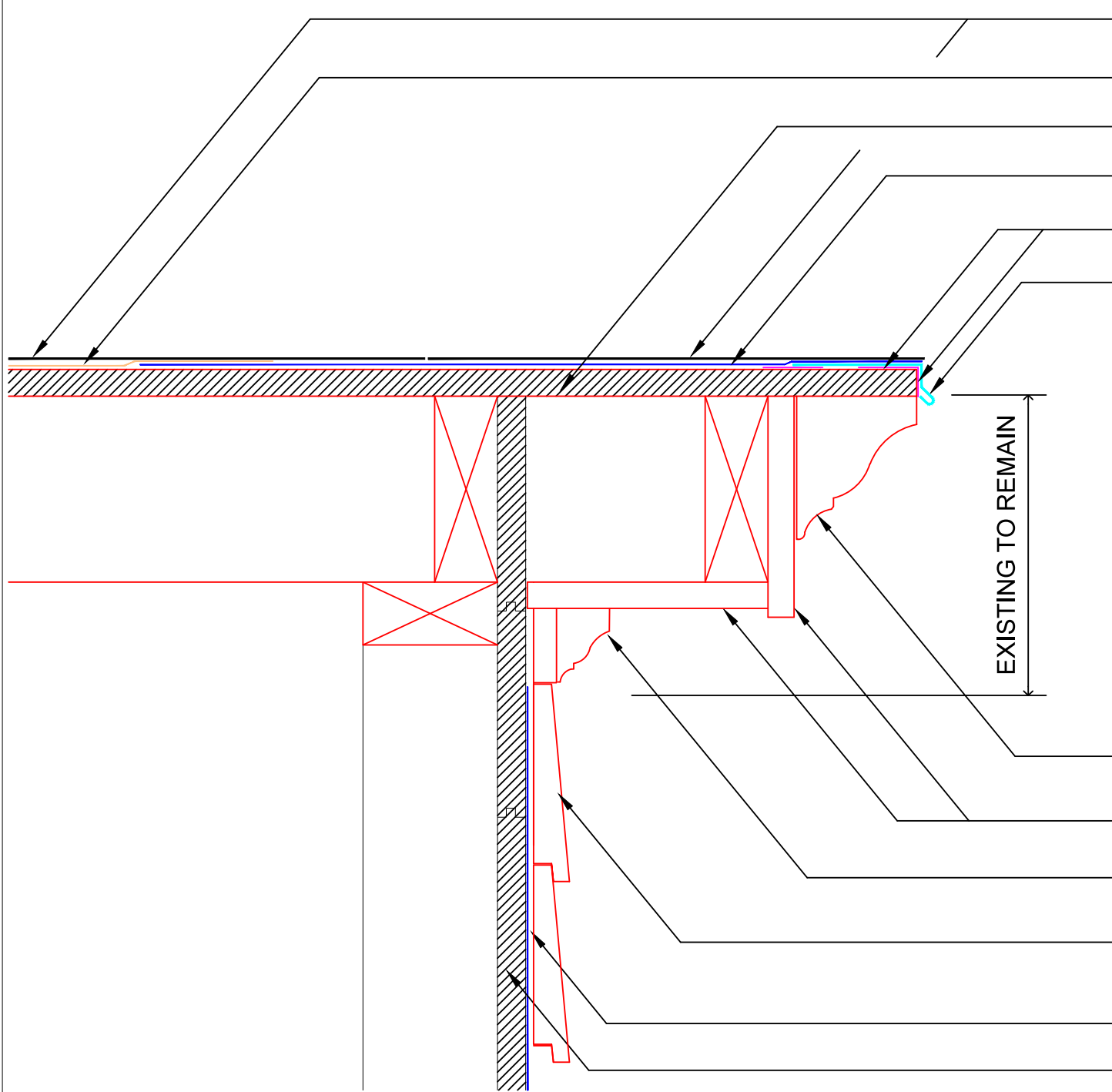
ADVANTIS STUDIO
Consulting Inc.
997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271-4864
E-mail: advantis.studio@gmail.com

LOCATION
Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	13.3
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



- ASPHALT SHINGLES TO MATCH EXISTING
- NO15 ROOF FELT / SYNTHETIC UNDERLAYMENT
- EXISTING ROOF DECK TO REMAIN
- SELF-ADHESIVE UNDERLAYMENT
- SELF-ADHESIVE UNDERLAYMENT
- METAL DRIP EDGE FLASHING

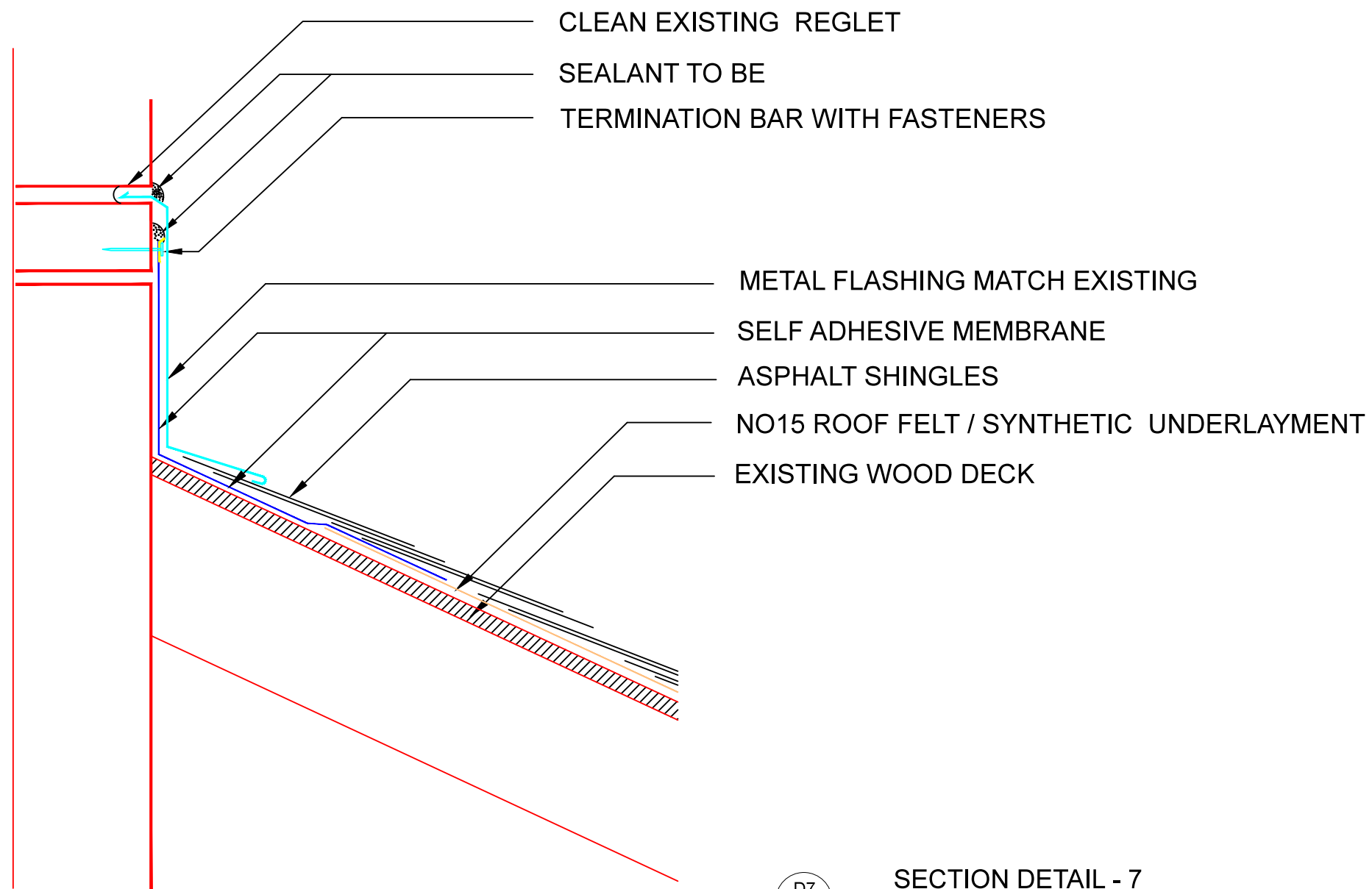
- EXISTING WOOD TRIM TO REMAIN
- EXISTING WOOD SOFFIT & FASCIA TO REMAIN
- EXISTING WOOD TRIM TO REMAIN
- 5" REBATED SIDING
(4-3/8" TO THE WEATHER)
- BLUESKIN VP 160 AIR BARRIER
- EXIST. WALL SHEATHING TO REMAIN

D6
14

SECTION DETAIL - 6

SCALE: N.T.S.

No	Date	Remarks
<div>ADVANTIS STUDIO</div> <div>Consulting Inc.</div> <div></div> <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3</div> <div>Tel. (416) 271 4864</div> <div>E-mail: advantis.studio@gmail.com</div>		
<div>LOCATION</div> <div></div> <div>Derry House</div> <div>875 Enola Avenue, Mississauga</div>		
<div>DRAWING</div>		
<div>DETAIL</div>		
<div>PROJECT No:</div> <div>2-21R993</div>		<div>DRAWING No</div>
<div>DATE:</div> <div>February, 2021</div>		<div>14</div>
<div>SCALE:</div> <div>As noted</div>		
<div>DRAWING BY:</div> <div>Z. V.</div>		
<div>APPROVED BY:</div>		



D7
15

SECTION DETAIL - 7

SCALE: N.T.S.

No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.

997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271 4864
E-mail: advantis.studio@gmail.com

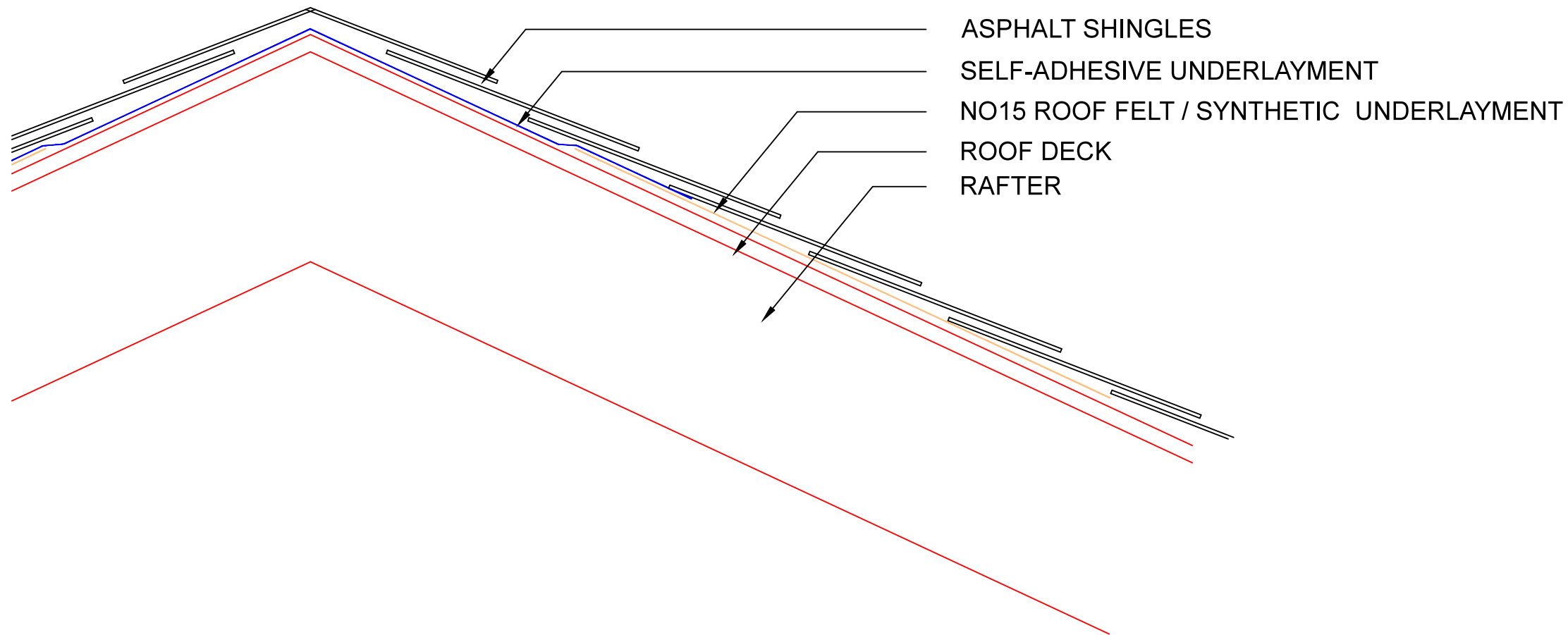
LOCATION

Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

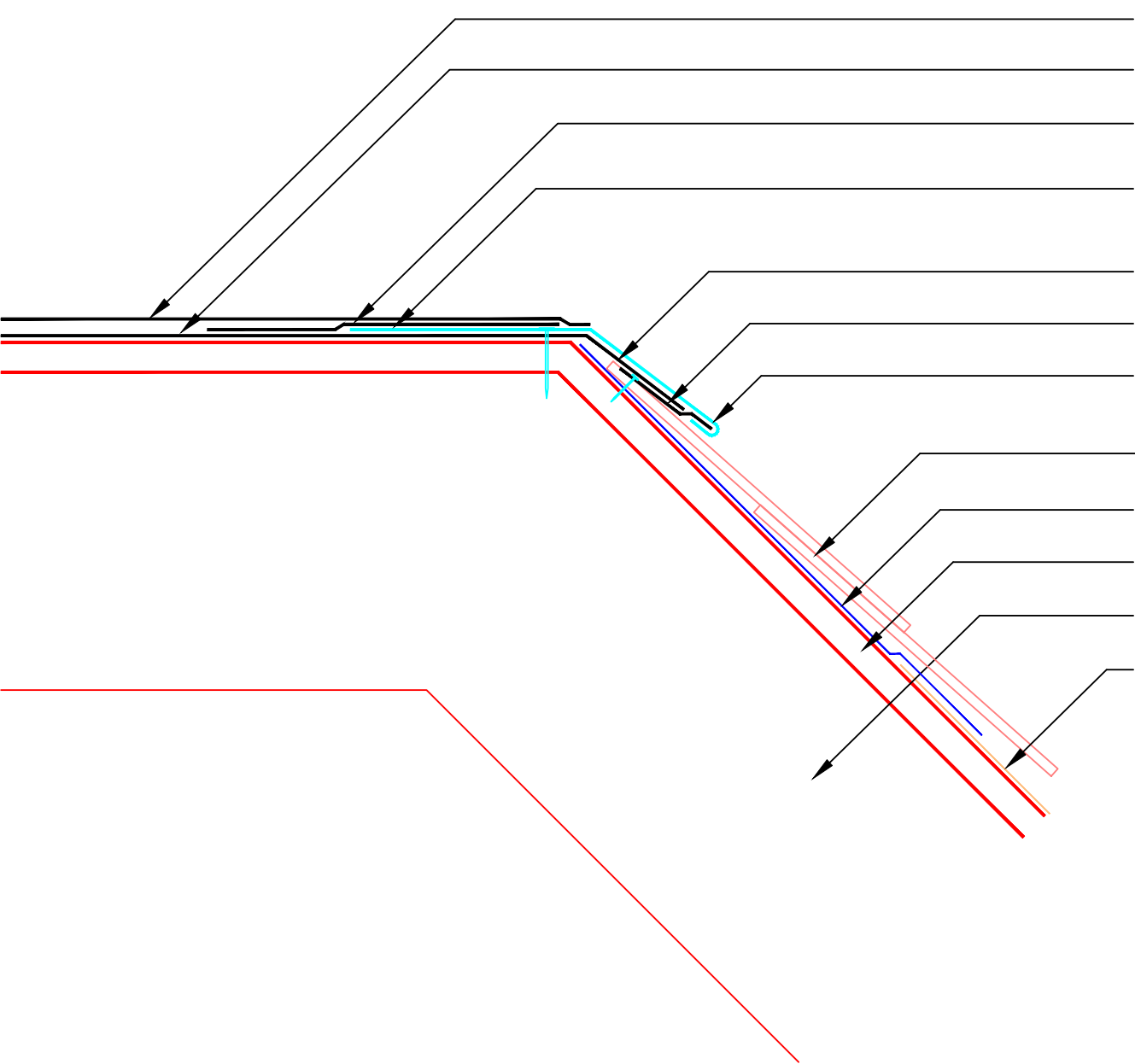
PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	15
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



SECTION DETAIL - 8
SCALE: N.T.S.

D8
16

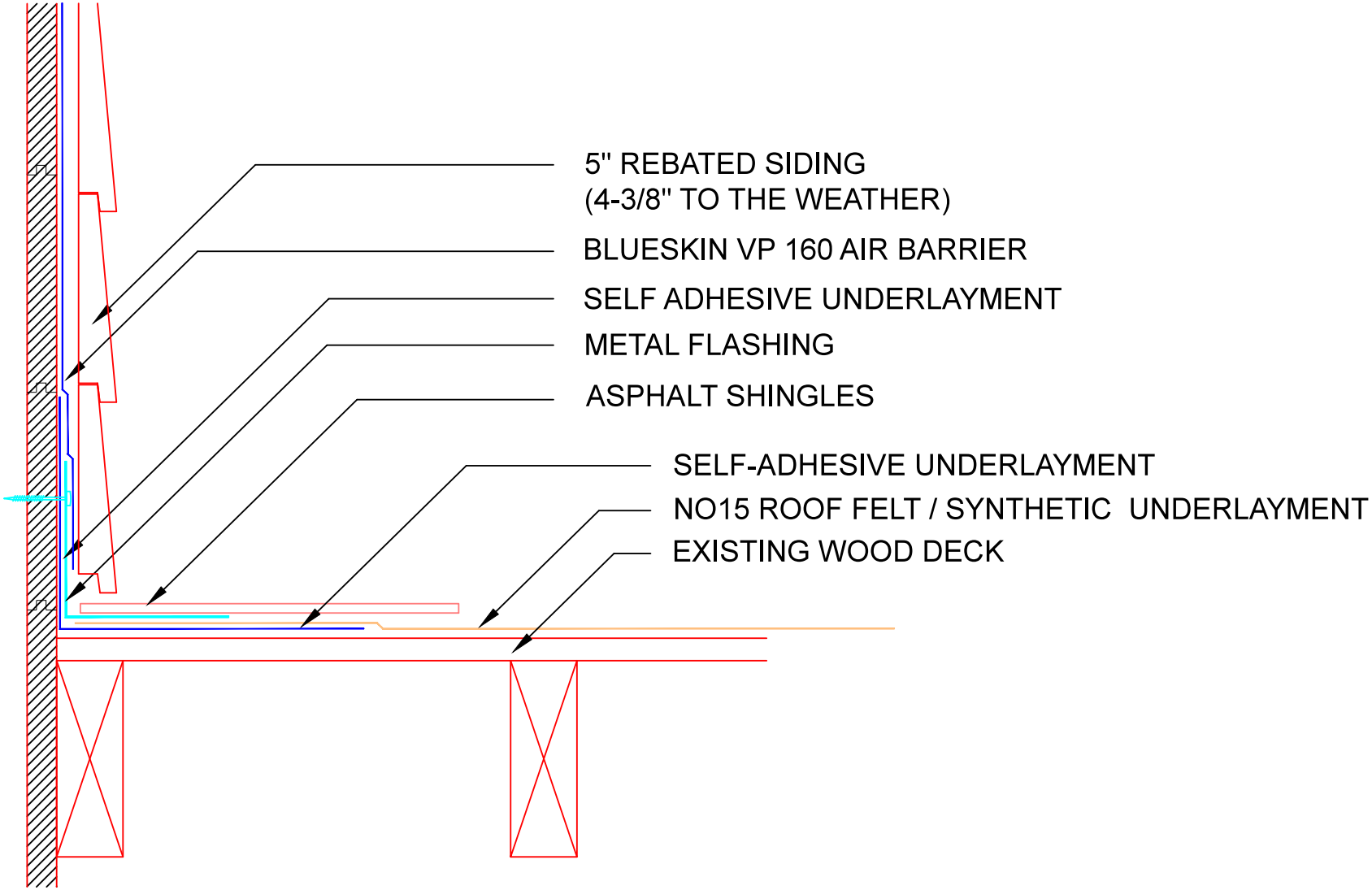
No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271 4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	16	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



- MODIFIED BITUMEN CAP SHEET ROOF MEMBRANE
- MOD. BIT. SELF-ADHESIVE BASE SHEET
- MOD. BIT. BASE SHEET MEMBRANE FLASHING
- FLANGE SET IN ROOF CEMENT
- PRIME FLANGE BEFORE STRIPPING
- MOD. BIT. SELF-ADHESIVE BASE SHEET
- CONTINUOUS CLEAT & FASTENERS
- METAL FLASHING
- ASPHALT SHINGLES
- SELF-ADHESIVE UNDERLAYMENT
- ROOF DECK
- RAFTER
- NO15 ROOF FELT / SYNTHETIC UNDERLAYMENT

SECTION DETAIL - 9
SCALE: N.T.S.

No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271-4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	17	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



D10
18

SECTION DETAIL - 10

SCALE: N.T.S.

No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.

997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271-4864
E-mail: advantis.studio@gmail.com

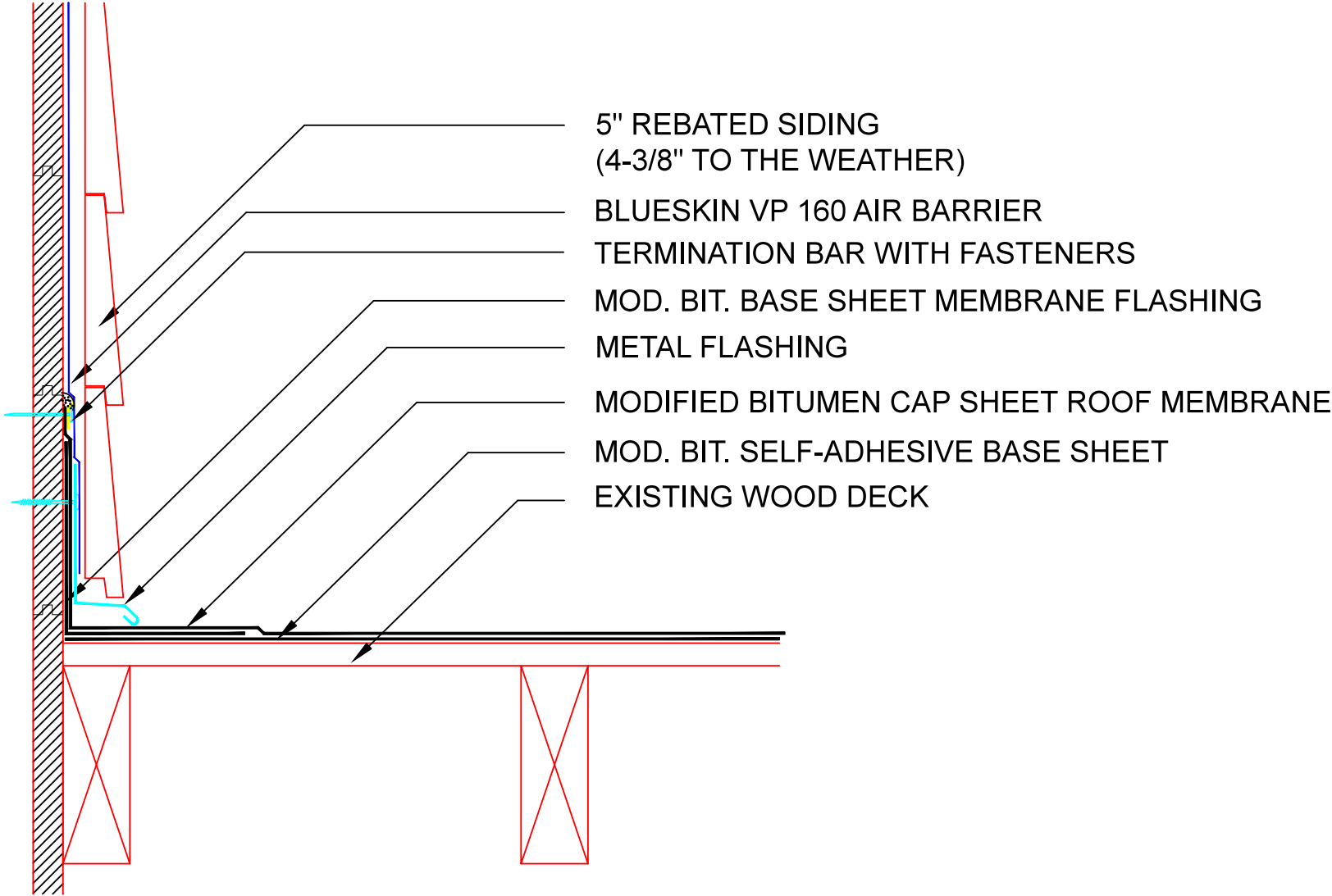
LOCATION

Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	18
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



SECTION DETAIL -11
SCALE: N.T.S.

No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.
997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271-4864
E-mail: advantis.studio@gmail.com

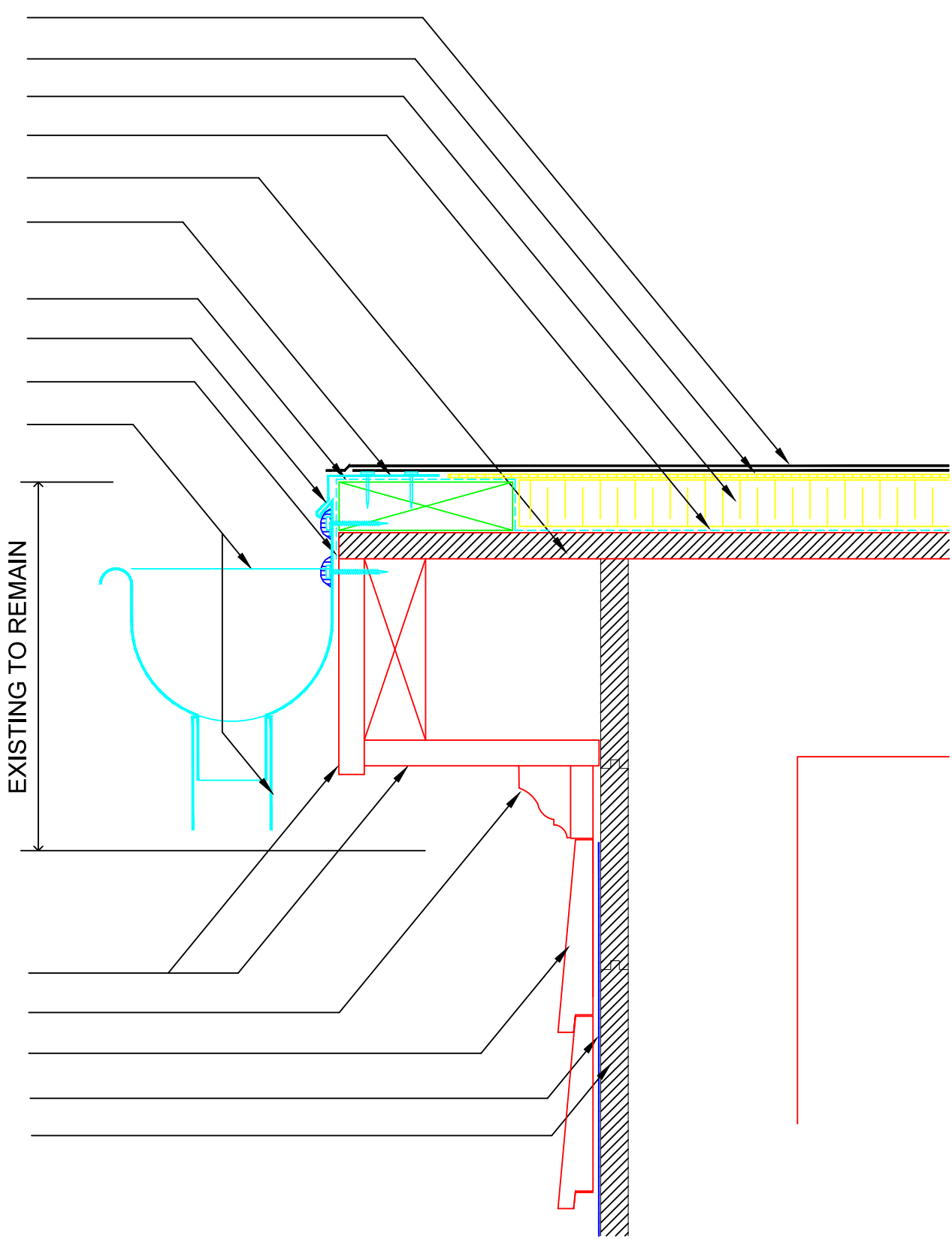
LOCATION
Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	19
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	

MOD. BIT. CAP SHEET ROOF MEMBARNE
OVERLAY BOARD & MOD.BIT. BASE SHEET MEMBRANE
RIGID INSULATION
MOD. BIT. SELF-ADHESIVE VAPOUR BARRIER
EXISTING ROOF DECK TO REMAIN
SET FLANGE IN ROOF CEMENT
PRIME FLANGE BEFORE STRIPPING
MOD. BIT. SELF-ADHESIVE MEMBRANE
METAL DRIP EDGE FLASHING
MOD. BIT. SELF-ADHESIVE MEMBRANE
GUTTER AND DOWNSPOUT

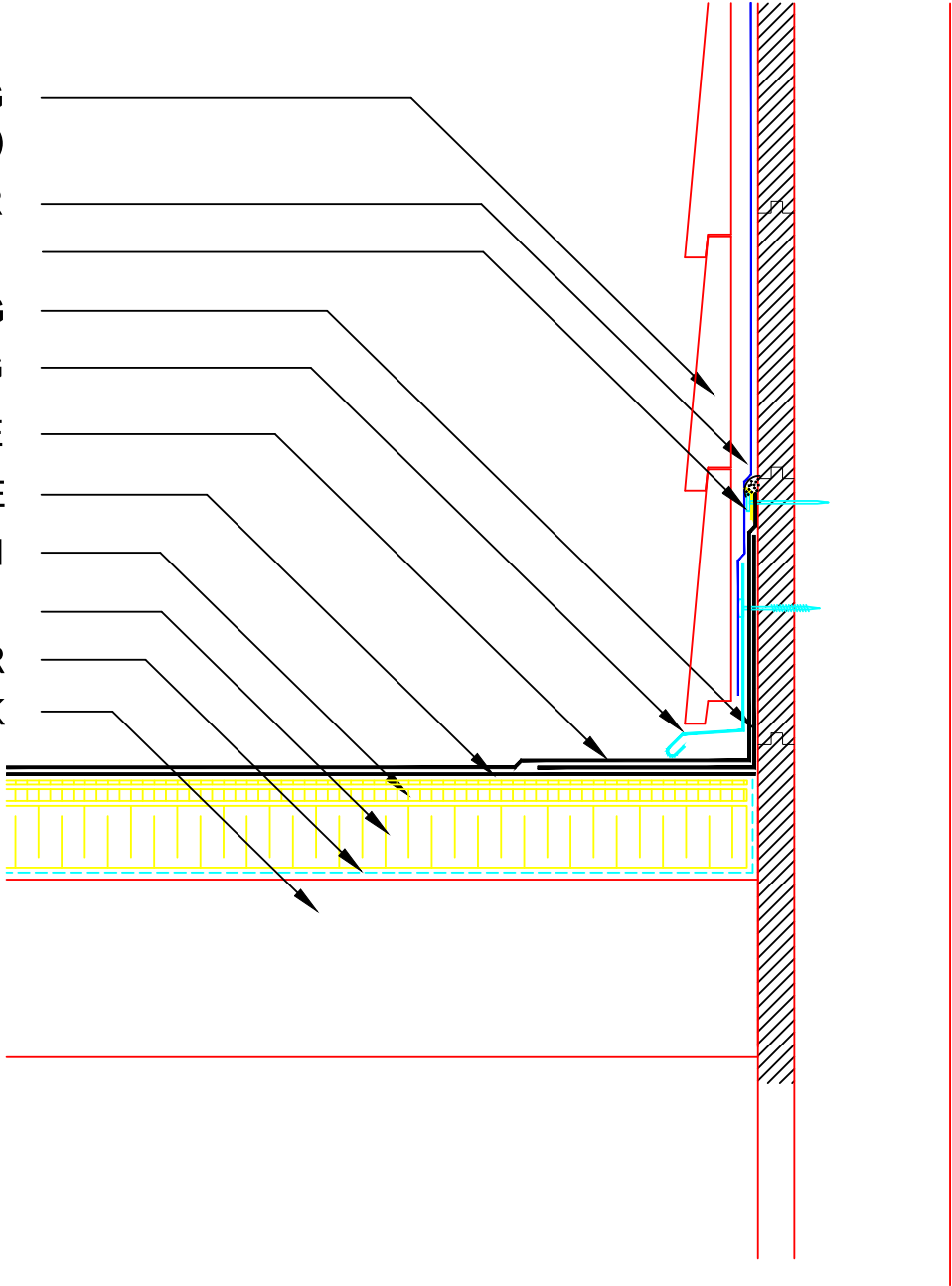


EXISTING WOOD SOFFIT & FASCIA TO REMAIN
EXISTING WOOD TRIM TO REMAIN
5" REBATED SIDING (4-3/8" TO THE WEATHER)
BLUESKIN VP 160 AIR BARRIER
EXIST. WALL SHEATHING TO REMAIN

SECTION DETAIL - 12
D12
20
SCALE: N.T.S.

No	Date	Remarks
<div>ADVANTIS STUDIO</div> <div>Consulting Inc.</div> <div></div> <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3</div> <div>Tel. (416) 271 4864</div> <div>E-mail: advantis.studio@gmail.com</div>		
<div>LOCATION</div> <div>Derry House</div> <div>875 Enola Avenue, Mississauga</div>		
<div>DRAWING</div>		
<div>DETAIL</div>		
<div>PROJECT No:</div> <div>2-21R993</div>		<div>DRAWING No</div>
<div>DATE:</div> <div>February, 2021</div>		<div>20</div>
<div>SCALE:</div> <div>As noted</div>		
<div>DRAWING BY:</div> <div>Z. V.</div>		
<div>APPROVED BY:</div>		

- 5" REBATED SIDING
(4-3/8" TO THE WEATHER)
- BLUESKIN VP 160 AIR BARRIER
- TERMINATION BAR WITH FASTENERS
- MOD. BIT. BASE SHEET MEMBRANE FLASHING
- METAL FLASHING
- MODIFIED BITUMEN CAP SHEET ROOF MEMBRANE
- OVERLAY BOARD & MOD.BIT. BASE SHEET MEMBRANE
- TAPERED INSULATION
- RIGID INSULATION
- MOD. BIT. SELF-ADHESIVE VAPOUR BARRIER
- ROOF DECK



D13
21

SECTION DETAIL - 13

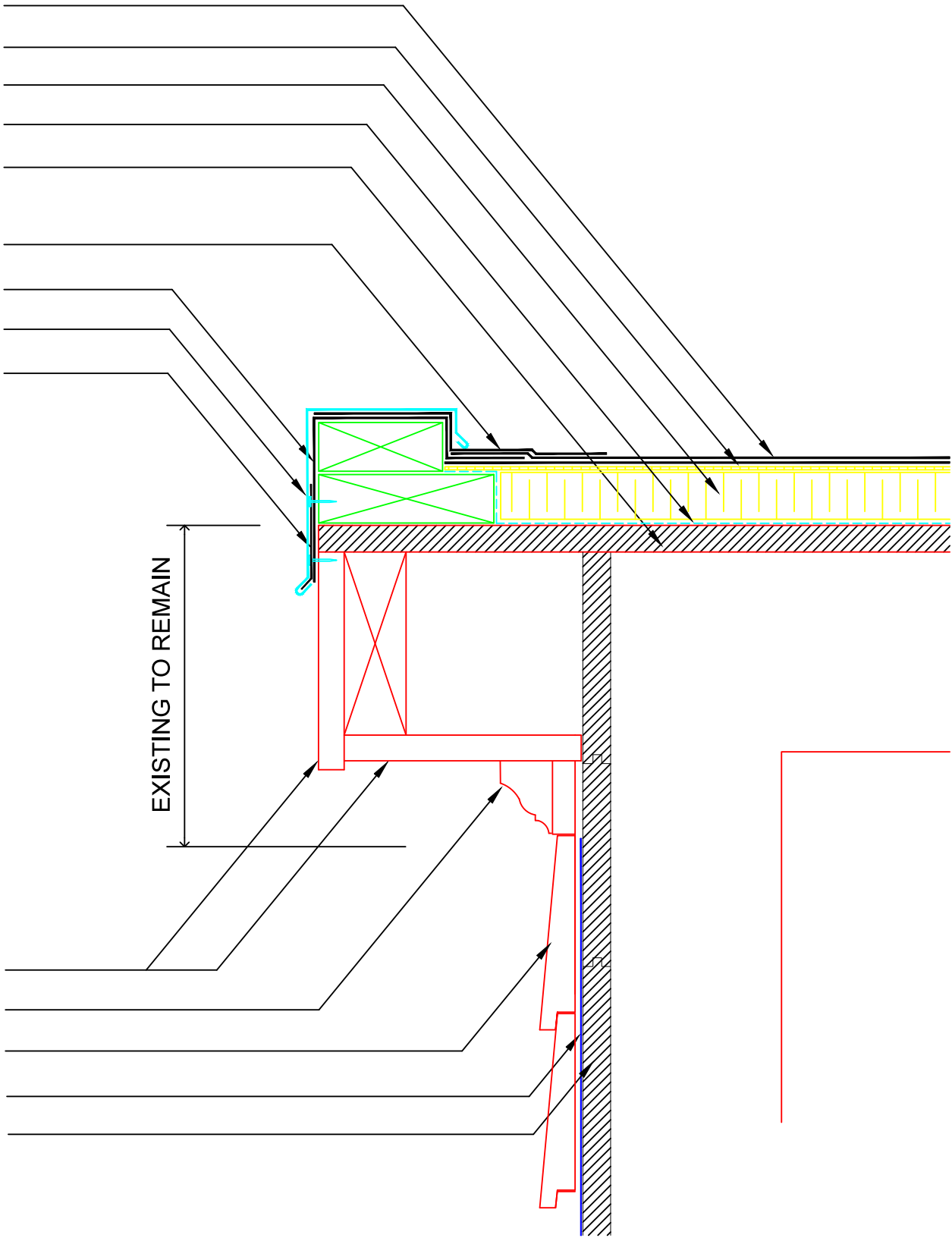
SCALE: N.T.S.

No	Date	Remarks
<div>ADVANTIS STUDIO</div> <div>Consulting Inc.</div> <div></div> <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3</div> <div>Tel. (416) 271 4864</div> <div>E-mail: advantis.studio@gmail.com</div>		
<div>LOCATION</div> <div></div> <div>Derry House</div> <div>875 Enola Avenue, Mississauga</div>		
<div>DRAWING</div>		
<div>DETAIL</div>		
<div>PROJECT No:</div> <div>2-21R993</div>		<div>DRAWING No</div>
<div>DATE:</div> <div>February, 2021</div>		<div>21</div>
<div>SCALE:</div> <div>As noted</div>		
<div>DRAWING BY:</div> <div>Z. V.</div>		
<div>APPROVED BY:</div>		

MOD. BIT. CAP SHEET ROOF MEMBARNE
OVERLAY BOARD & MOD.BIT. BASE SHEET MEMBRANE
RIGID INSULATION
MOD. BIT. SELF-ADHESIVE VAPOUR BARRIER
EXISTING ROOF DECK TO REMAIN

2-PLY MOD. BIT. MEMBRANE FLASHING
MOD. BIT. SELF-ADHESIVE MEMBRANE
METAL FLASHING
CONTINUOUS CLEAT & FASTENERS

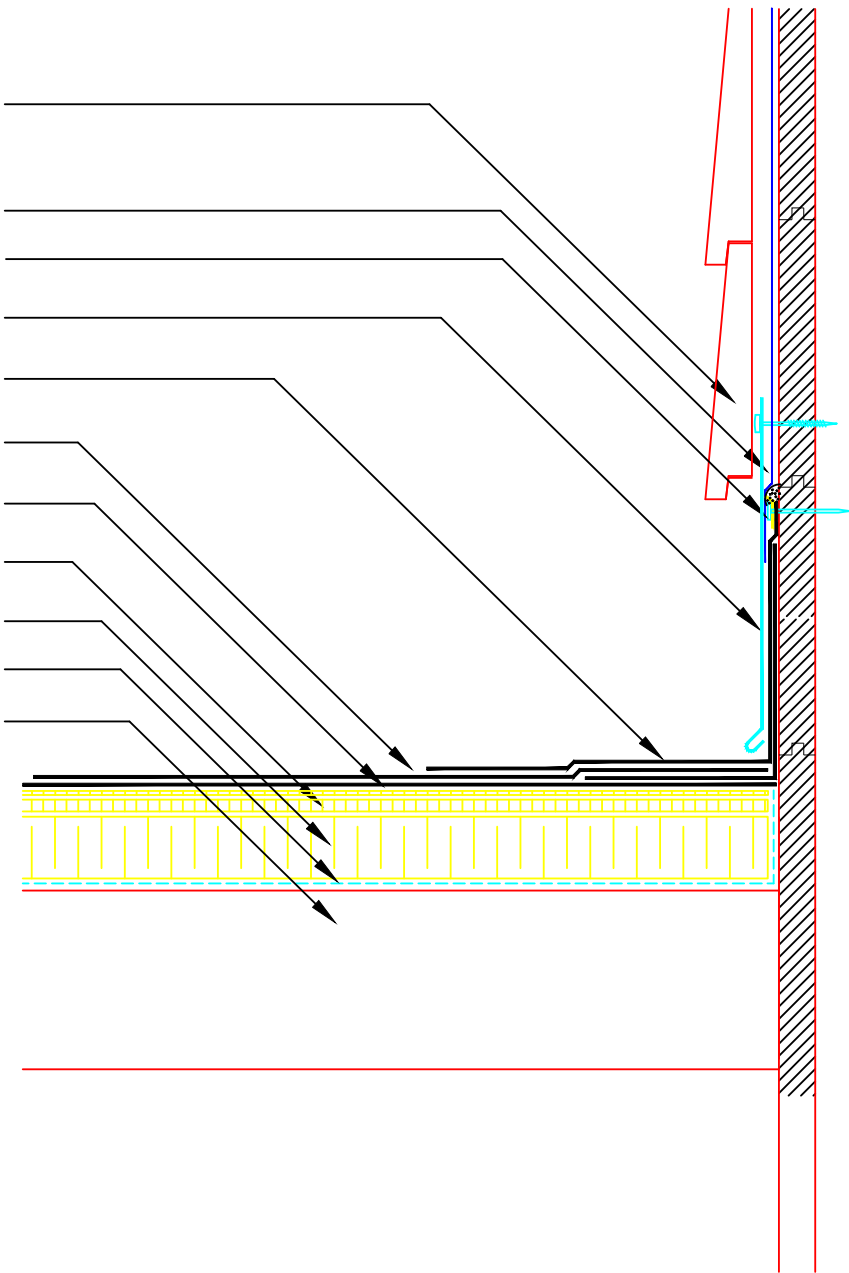
EXISTING WOOD SOFFIT & FASCIA TO REMAIN
EXISTING WOOD TRIM TO REMAIN
5" REBATED SIDING (4-3/8" TO THE WEATHER)
BLUESKIN VP 160 AIR BARRIER
EXIST. WALL SHEATHING TO REMAIN



D14 SECTION DETAIL - 14
22 SCALE: N.T.S.

No	Date	Remarks
<div>ADVANTIS STUDIO</div> <div>Consulting Inc.</div> <div></div> <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3</div> <div>Tel. (416) 271 4864</div> <div>E-mail: advantis.studio@gmail.com</div>		
<div>LOCATION</div> <div>Derry House</div> <div>875 Enola Avenue, Mississauga</div>		
<div>DRAWING</div>		
<div>DETAIL</div>		
<div>PROJECT No:</div> <div>2-21R993</div>		<div>DRAWING No</div>
<div>DATE:</div> <div>February, 2021</div>		<div>22</div>
<div>SCALE:</div> <div>As noted</div>		
<div>DRAWING BY:</div> <div>Z. V.</div>		
<div>APPROVED BY:</div>		

- 5" REBATED SIDING
(4-3/8" TO THE WEATHER)
- BLUESKIN VP 160 AIR BARRIER
- TERMINATION BAR WITH FASTENERS
- METAL FLASHING
- 2-PLY MOD. BIT. MEMBRANE FLASHING
- MODIFIED BITUMEN CAP SHEET ROOF MEMBRANE
- OVERLAY BOARD & MOD.BIT. BASE SHEET MEMBRANE
- TAPERED INSULATION
- RIGID INSULATION
- MOD. BIT. SELF-ADHESIVE VAPOUR BARRIER
- ROOF DECK



D15 SECTION DETAIL - 15
23 SCALE: N.T.S.

No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.

997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271-4864
E-mail: advantis.studio@gmail.com

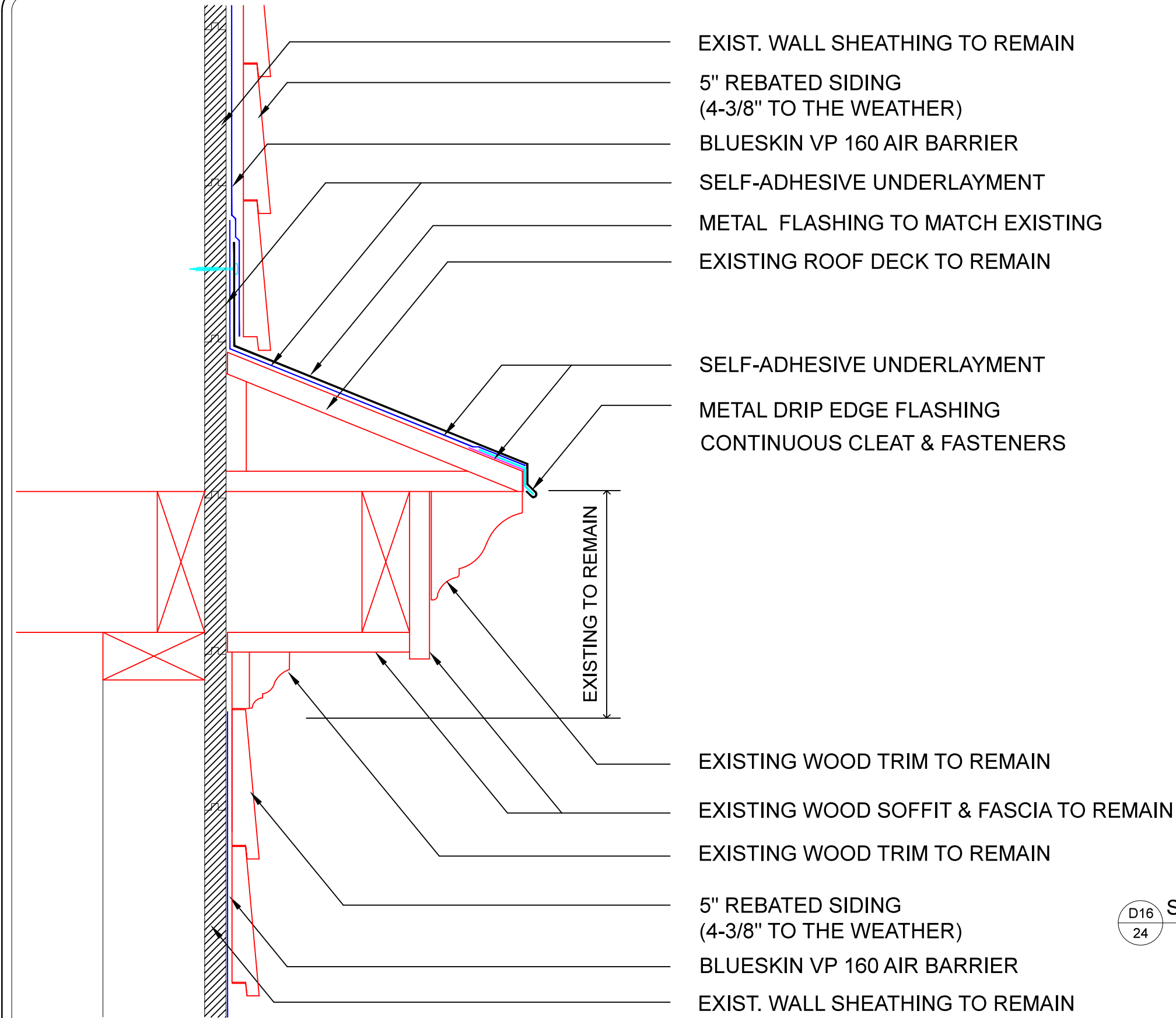
LOCATION

Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	23
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	

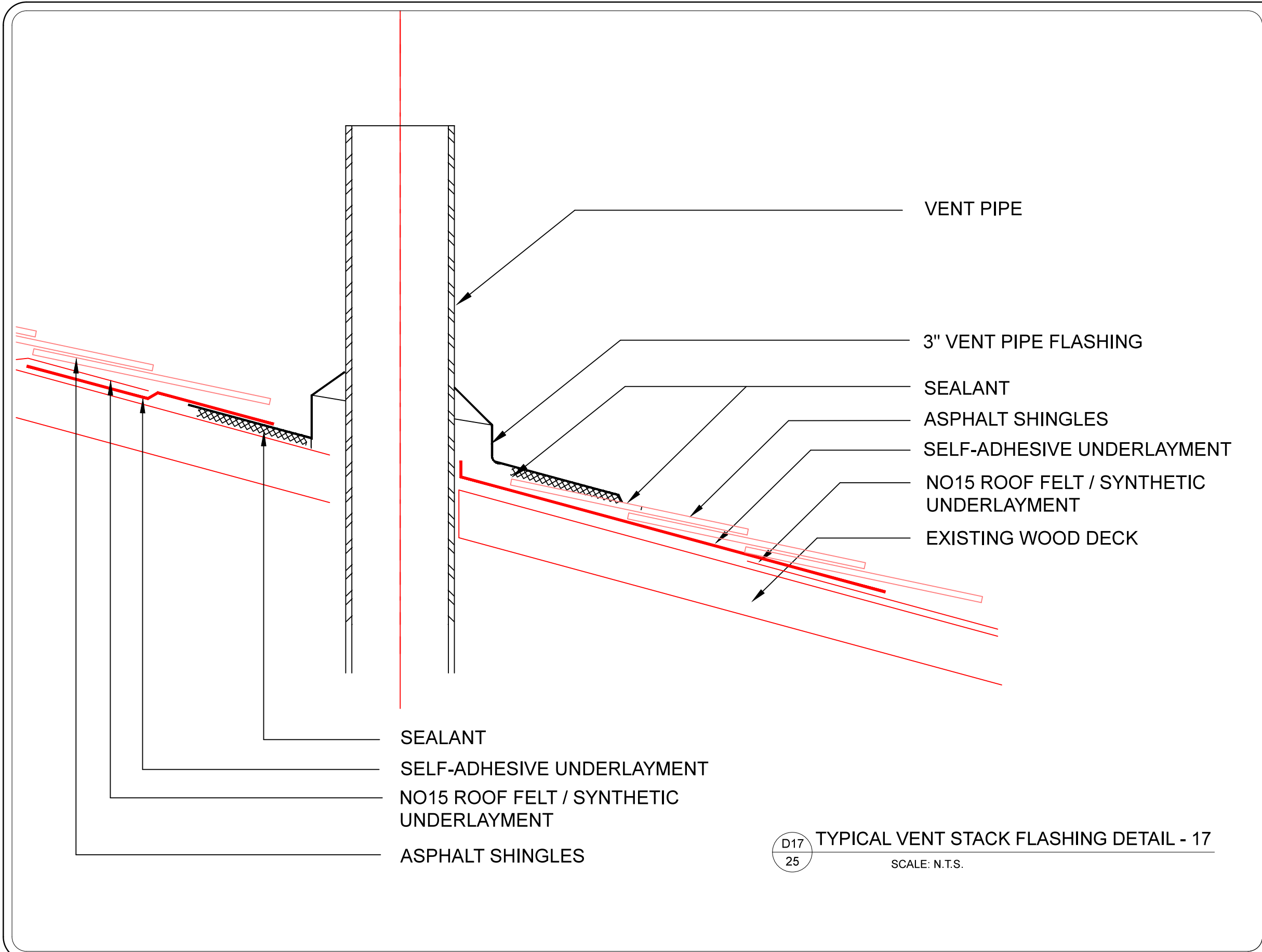


D16
24

SECTION DETAIL - 16

SCALE: N.T.S.

No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271-4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	24	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		



No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.

997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271 4864
E-mail: advantis.studio@gmail.com

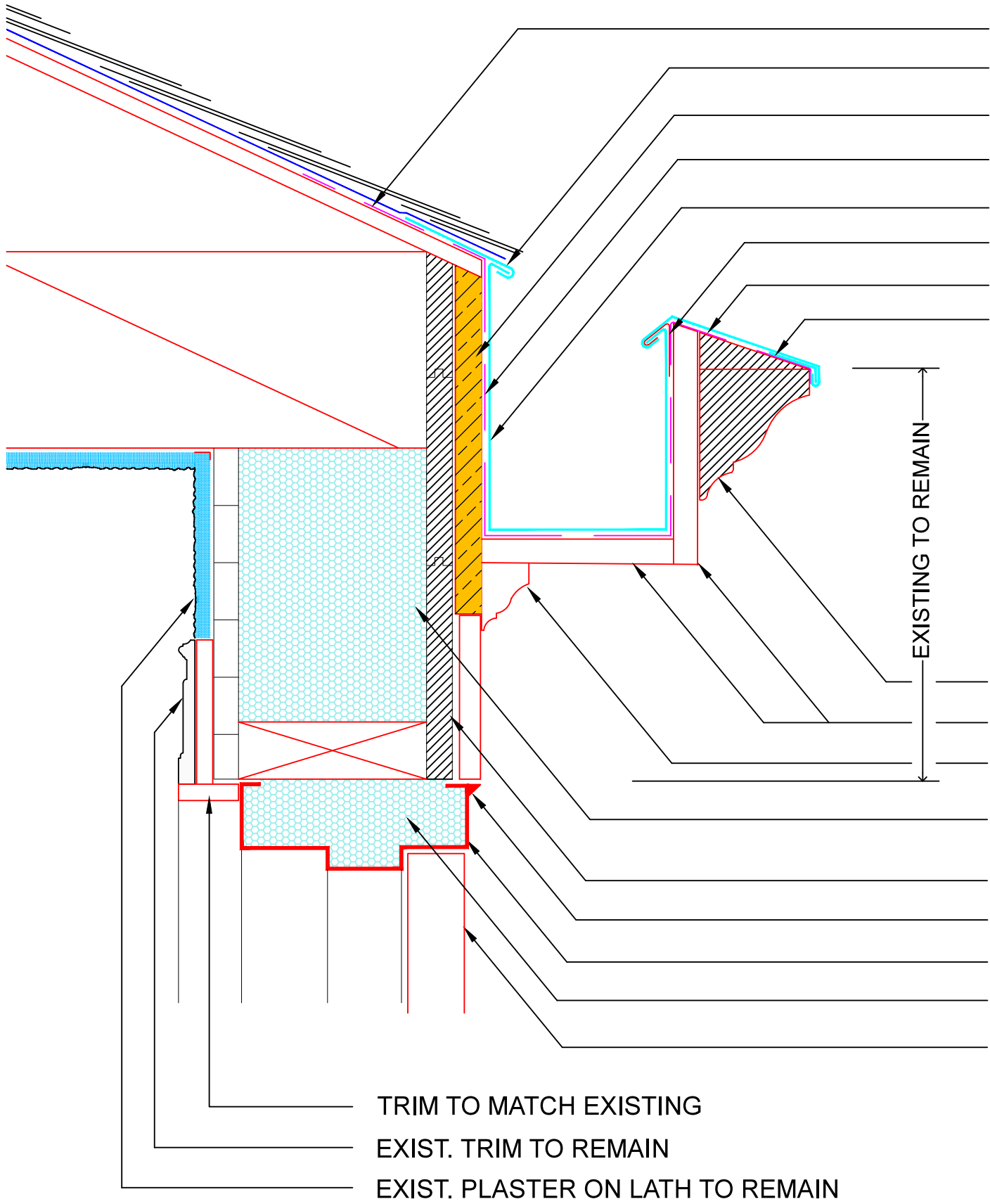
LOCATION

Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	25
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	



SELF-ADHESIVE UNDERLAYMENT
DRIP EDGE FLASHING
FASCIA BOARD
SELF-ADHESIVE UNDERLAYMENT
GUTTER C/W HANGERS
CONTINUOUS CLEAT & FASTENERS
SELF-ADHESIVE UNDERLAYMENT
CONTINUOUS CLEAT & FASTENERS

WOOD TRIM (to be replaced if deteriorated)
WOOD SOFFIT & FASCIA
WOOD TRIM
SPRAY FOAM INSULATION & STUDS
WALL SHEATHING
SEALANT
NEW H.M. FRAME
FOAM INSULATION
H.M. DOOR

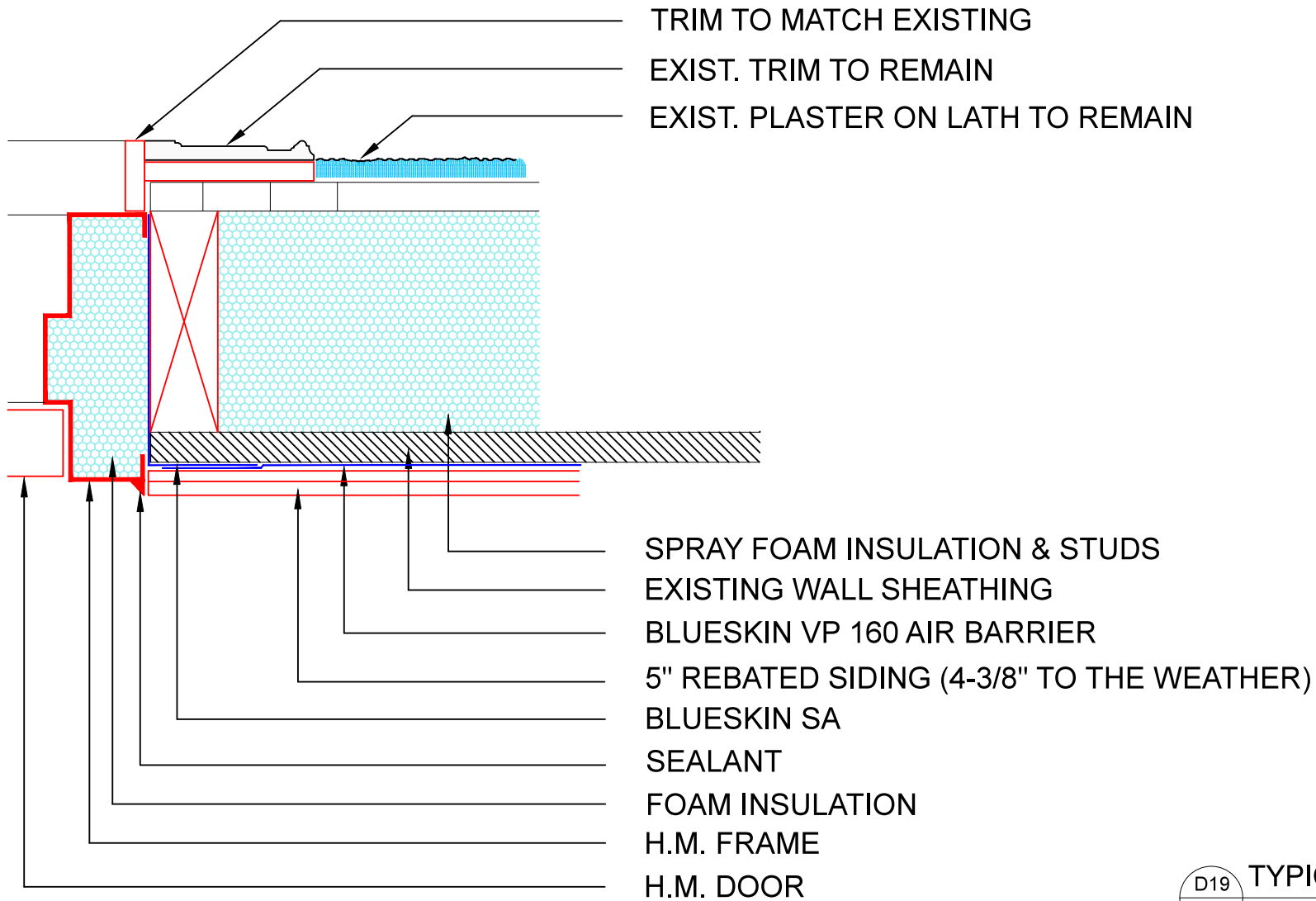
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EXIST. TRIM TO REMAIN
EXIST. PLASTER ON LATH TO REMAIN

D18
26

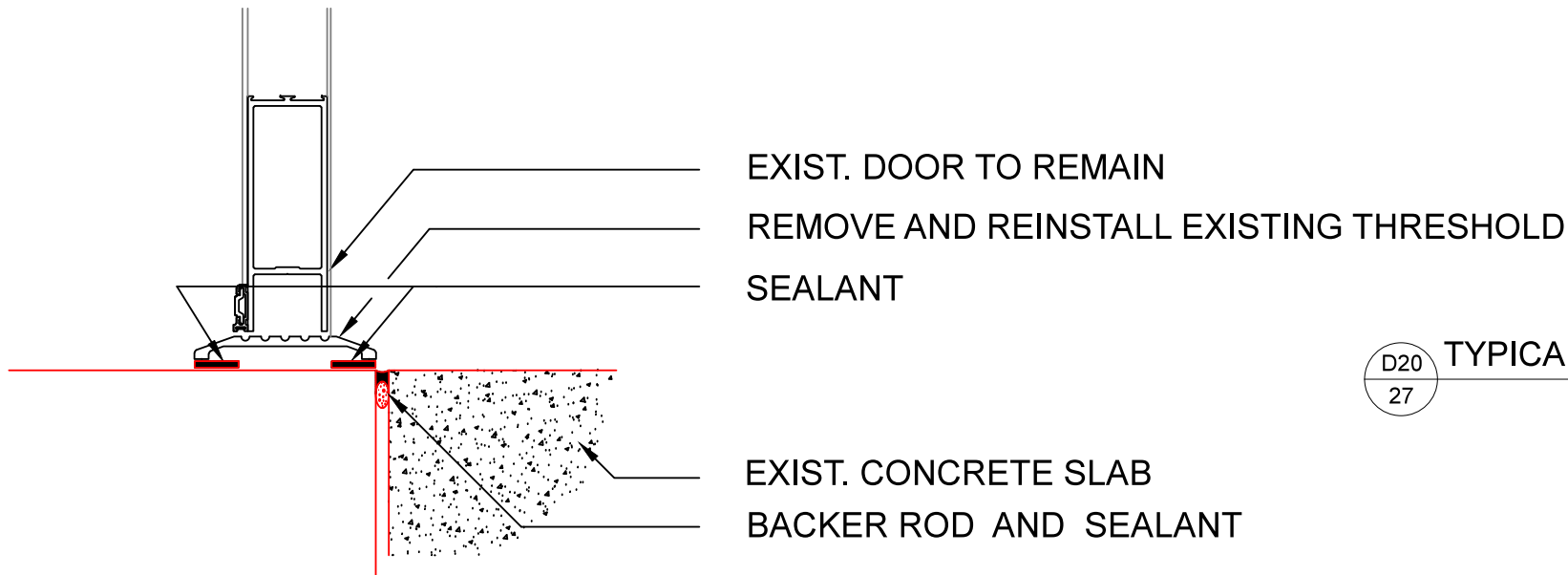
SECTION DETAIL - 18

SCALE: N.T.S.

No	Date	Remarks
<div>ADVANTIS STUDIO</div> <div>Consulting Inc.</div> <div></div> <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3</div> <div>Tel. (416) 271 4864</div> <div>E-mail: advantis.studio@gmail.com</div>		
LOCATION		
<div>Derry House</div> <div>875 Enola Avenue, Mississauga</div>		
DRAWING		
DETAIL		
PROJECT No: 2-21R993		DRAWING No
DATE: February, 2021		26
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		

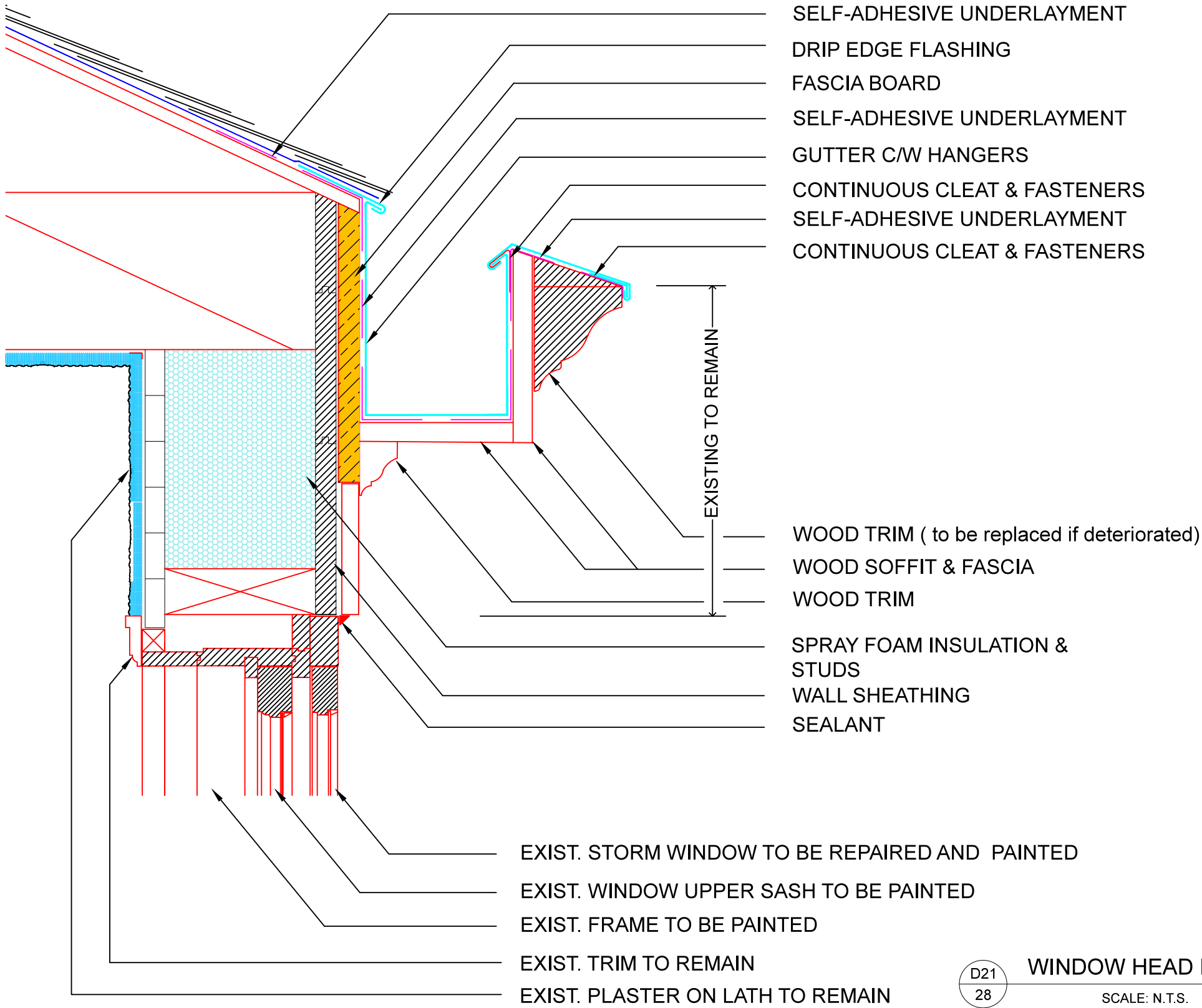


D19
27
TYPICAL H.M. DOOR JAMB DETAIL - 19
SCALE: N.T.S.



D20
27
TYPICAL H.M. DOOR DETAIL - 20
SCALE: N.T.S.

No	Date	Remarks
ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271-4864 E-mail: advantis.studio@gmail.com		
LOCATION Derry House 875 Enola Avenue, Mississauga		
DRAWING		
DETAIL		
PROJECT No: 2-21R993	DRAWING No	
DATE: February, 2021	27	
SCALE: As noted		
DRAWING BY: Z. V.		
APPROVED BY:		

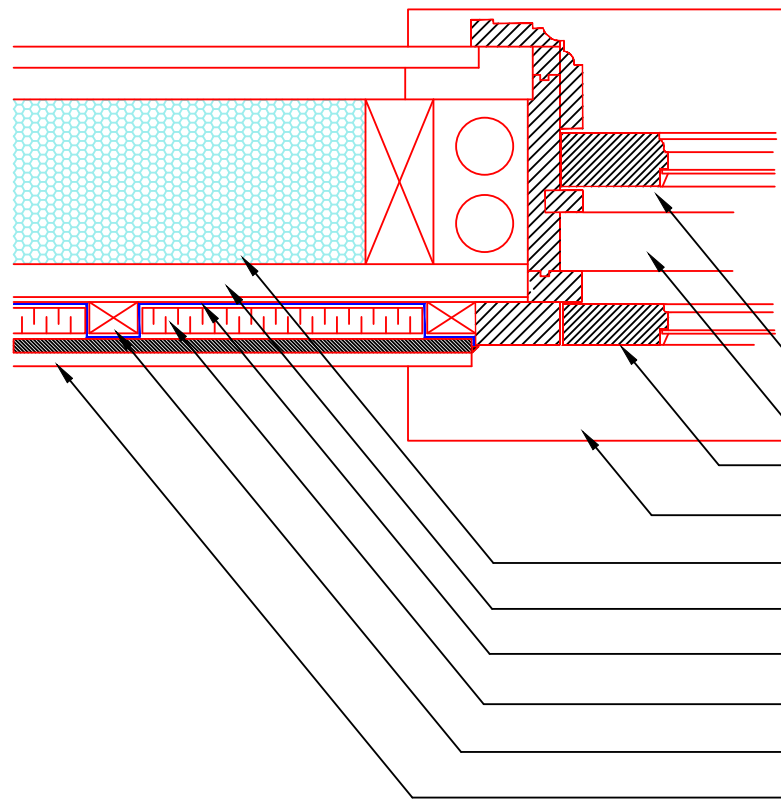


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28

WINDOW HEAD DETAIL - 21

SCALE: N.T.S.

No	Date	Remarks
<div>ADVANTIS STUDIO</div> <div>Consulting Inc.</div> <div></div> <div>997 Kipling Avenue, Toronto, Ontario, M9B 3L3</div> <div>Tel. (416) 271 4864</div> <div>E-mail: advantis.studio@gmail.com</div>		
<div>LOCATION</div> <div></div> <div>Derry House</div> <div>875 Enola Avenue, Mississauga</div>		
<div>DRAWING</div>		
<div>DETAIL</div>		
<div>PROJECT No:</div> <div>2-21R993</div>		<div>DRAWING No</div>
<div>DATE:</div> <div>February, 2021</div>		<div>28</div>
<div>SCALE:</div> <div>As noted</div>		
<div>DRAWING BY:</div> <div>Z. V.</div>		
<div>APPROVED BY:</div>		

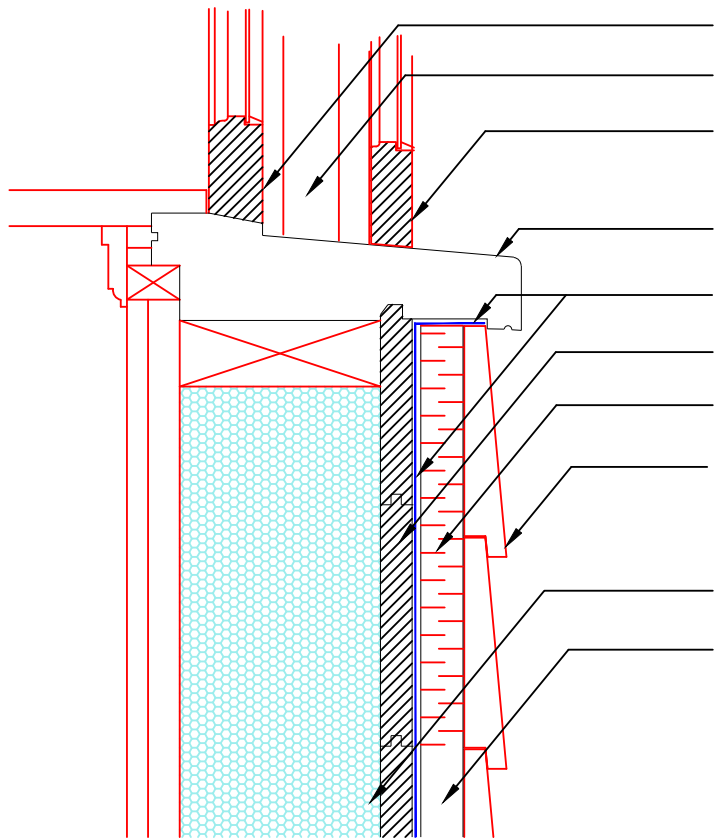


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WINDOW JAMB DETAIL - 22

SCALE: N.T.S.

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- EXIST. FRAME TO BE PAINTED
- EXIST. STORM WINDOW TO BE REPAIRED AND PAINTED
- EXIST. SILL TO BE PAINTED
- SPRAY FOAM INSULATION & STUDS
- WALL SHEATHING
- BLUESKIN VP 160 AIR BARRIER
- RIGID INSULATION
- WOOD FURRING
- 5" REBATED SIDING (4-3/8" TO THE WEATHER)



D23
29

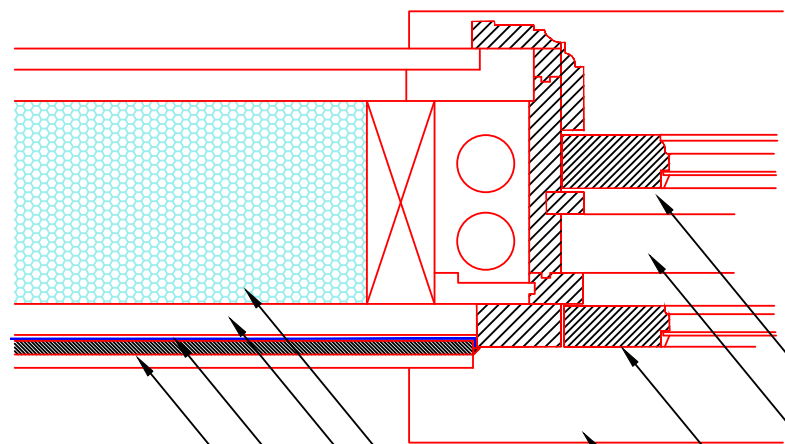
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- IF DETERIORATED BOTTOM RAIL SHALL BE REPLACED
- EXIST. SILL TO BE PAINTED
- BLUESKIN VP 160 AIR BARRIER
- WALL SHEATHING
- RIGID INSULATION
- 5" REBATED SIDING (4-3/8" TO THE WEATHER)
- SPRAY FOAM INSULATION & STUDS
- WOOD FURRING

No	Date	Remarks

ADVANTIS STUDIO Consulting Inc. 997 Kipling Avenue, Toronto, Ontario, M9B 3L3 Tel. (416) 271-4864 E-mail: advantis.studio@gmail.com	
LOCATION Derry House 875 Enola Avenue, Mississauga	
DRAWING	
DETAIL	
PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	29
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	

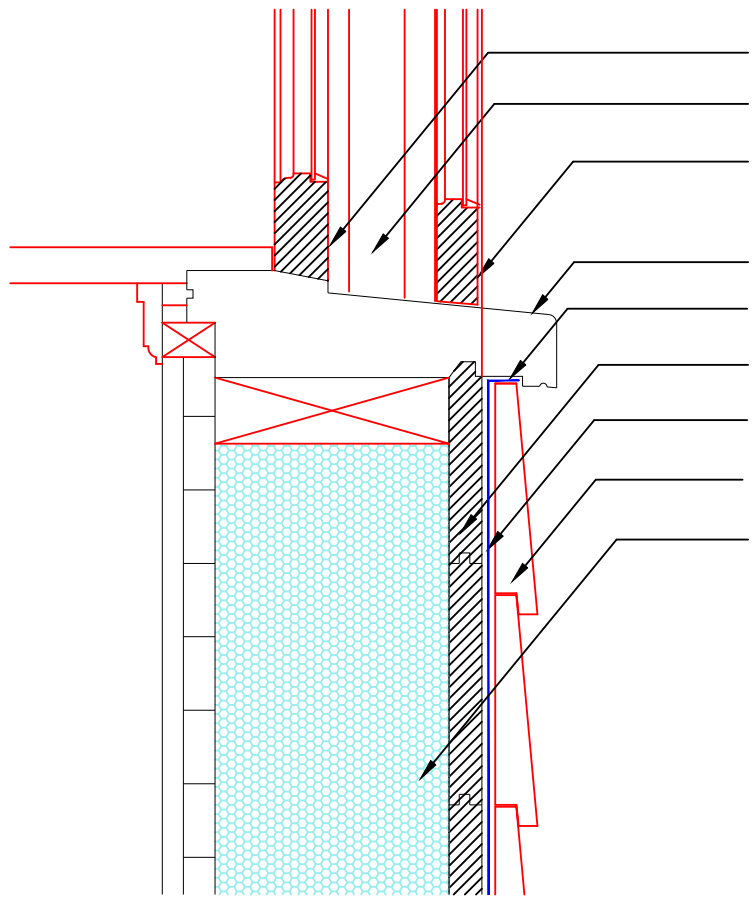


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WINDOW JAMB DETAIL - 24

SCALE: N.T.S.

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- EXIST. SILL TO BE PAINTED
- SPRAY FOAM INSULATION & STUDS
- WALL SHEATHING
- BLUESKIN VP 160 AIR BARRIER
- 5" REBATED SIDING (4-3/8" TO THE WEATHER)



D25
30

WINDOW SILL DETAIL - 25

SCALE: N.T.S.

- EXIST. WINDOW TO BE PAINTED
- EXIST. FRAME TO BE PAINTED
- EXIST. STORM WINDOW TO BE REPAIRED AND PAINTED
- IF DETERIORATED BOTTOM RAIL SHALL BE REPLACED
- EXIST. SILL TO BE PAINTED
- BLUESKIN VP 160 AIR BARRIER
- WALL SHEATHING
- BLUESKIN VP 160 AIR BARRIER
- 5" REBATED SIDING (4-3/8" TO THE WEATHER)
- SPRAY FOAM INSULATION & STUDS

No	Date	Remarks

ADVANTIS STUDIO
Consulting Inc.
997 Kipling Avenue, Toronto, Ontario, M9B 3L3
Tel. (416) 271-4864
E-mail: advantis.studio@gmail.com

LOCATION
Derry House
875 Enola Avenue, Mississauga

DRAWING

DETAIL

PROJECT No: 2-21R993	DRAWING No
DATE: February, 2021	30
SCALE: As noted	
DRAWING BY: Z. V.	
APPROVED BY:	

Appendix D

Corporate Profile

Project Leader Curriculum Vitae

CORPORATE INFORMATION – CORPORATE PROFILE

About us...

Advantis Studio Consulting Inc. is a firm dedicated to advancement of building science technology through the design and maintenance of building envelope systems.

Founded in 1994, the company has been serving institutional, commercial, industrial and government organizations. The company offers a full range of building envelope services that provide innovative, affordable solutions to the resolution of building envelope deficiencies. The team was formed to develop required design for the large and complex projects as well as deliver a rapid response service for the design of an urgently needed repair or replacement project, when required by our clients.

The members of the team have diversified backgrounds in building science, condition assessment, design, construction, testing and computer technology and draw on over 100 years of experience in building envelope projects for the optimal resolution of building envelope deficiencies.

Since 1994 the company has been engaged in the building envelope projects providing services that include following:

- Development of building envelope design and site review during the construction.
- Building envelope deficiencies and failures investigation
- Destructive test sampling
- Thermo-graphic scan
- Building envelope analysis, life cycle costing and life expectancy analysis
- Maintenance surveys and maintenance program developments
- Forensic engineering and expert testimony
- Feasibility studies
- Review and coordination of architectural design and building envelope details

With over 25 years of providing services in building science, Advantis Studio Consulting Inc. offers a wealth of expertise in condition evaluation, design and quality assurance during construction.

In 2009 our team assisted in quality assurance on \$148,000,000.00 Sunnybrook Hospital addition project providing site review during installation of roof assembly, wall cladding assembly, window assembly, vapour barrier and fireproofing insulation.

Last year our team worked on several projects for City of Mississauga and completed successfully on time and budget. This year we have completed design for six projects that included wall assemblies repairs, window, skylights and roof assemblies repairs and replacements.

Advantis Studio has a record of successfully completing projects of historical and cultural importance, both in Canada and abroad. Most recently, we have designed a family home in Croatia. The project site is located inside a fourteenth-century fortification currently under consideration for the UNESCO World Heritage List. The approved design was created with great sensitivity to the building's surroundings, as well as respect for the remnants of the original structure, which was constructed in the seventeenth century. Advantis Studio has been working on a further two projects in this area, originally dating between the sixteenth and seventeenth centuries with the same level of care and consideration.

Closer to home, we have been involved in the replacement of a slate roof at McMaster University in 2015. The graduated grey and green slates were originally installed in the early twentieth century, presenting us with a project that involved extensive communication and collaboration with the owner to ensure the careful preservation of such a culturally valuable site. Advantis Studio undertakes such heritage projects with the aim to protect and celebrate their architectural significance.

Providing services to Toronto and Peel District School Board, York University and other clients in over 25 years we completed more than 2000 projects and had only a few change orders (due to unknown condition of the existing building envelope systems). In 2014 Advantis Studio designed and project managed 126 roof replacement and repair projects, 8 window replacement projects, 2 door replacement projects and 5 wall other building envelope projects on time and budget. There were no change orders and extras.

We are confident our team has the long-standing experience needed to successfully deliver building sciences services for this project.

Zoran Vondrus B.Arch.

Total Number of Years Experience: 35 (26 years at Advantis Studio)

Senior Consultant, Project Manager

Responsible for the day to day operations of Advantis Studio and the provision of select building science products to clients: cost estimating, budgeting, condition reporting and preparation of tender documents.

York University

- Roof replacement projects at Atkinson College Building, Behavioral Sciences Building, Academic Building, Health, Nursing & Environmental Studies Building, York Hall Glendon Campus Building, Graduate Residences Building, 2 Assiniboine Residences Building and 6 Assiniboine Residences Building. Evaluated condition of existing roof assemblies in the process of preparing budget estimates.
- Developed the construction documentation.
- Provided design and drafting assistance to York University team in developing construction documentation for Winters College basement, first and second floor interior renovation.

McMaster University

- Roof replacement and wall assembly repair projects at Hamilton Hall, Chester New Hall, Gilmour Hall, Keneth Taylor Centre, University Hall, A.N. Burns Science Building, H.G. Thode Library Building.
- Designed the technical documentation for construction and maintenance of the building envelope components.
- Worked with the administrators and university staff, project supervisors, and contractors to ensure that the design and construction meet all university needs.

Peel District School Board

- Assisted in establishing a program that resulted in detailed building condition assessments, provided assistance to the Maintenance Department in development of proposed project lists for over 280 projects.
- Designed the technical documentation for construction and maintenance of the building envelope components.
- Worked with the administrators and school staff, project supervisors at the maintenance and the construction department, and contractors to ensure that the design and construction meet all school needs.

Toronto District School Board

- Visited numerous schools and evaluated the condition of the building envelope components in the process of preparing budget. Prepared the 1998-2019 Conservation Maintenance Project List for the building envelope components.
- Designed the technical documentation for construction and maintenance of the building envelope components. Undertook the completion of all construction documentation.
- Advised in-house trades and operations providing technical support for the resolution of repair difficulties. Provided assistance to the Maintenance Department work group in establishing a procedure for reporting roof leaks and scheduling repairs. During the implementation of this project successfully prepared tender documentation for emergency roof repairs tender, and assisted in the tender evaluation process.
- Helped in establishing the fast track process for emergency projects. As a part of this process, performed field reviews of the school building envelopes, on site material sampling and investigations.

City of Mississauga

- Following destructive and non-destructive roof condition assessment established a scope of work and budget for skylight and roof replacement at Central Library, City Hall and fifteen other sites. Designed the technical documentation and reviewed on site the roof replacement.
- Designed the technical documentation for several building envelope projects in last several years.

Moffet & Duncan Architects Inc., Moffat Kinoshita Architects, Taylor Smyth Architects, Robbie/Young+Wright IBI Group Architects, CS&P Architects, Bruce Straton Architects, HOK, G&G, SedArc Incorporated Architects, Snyder Architects, Stafford Haensli Architects Inc., Hossack & Associates Architects, and many others.

- Worked on a wide variety of projects collaborating with great teams designing building envelope components including those of McBride Public School, Thornwood Public School, James S Bolton PS, Macville PS, Ridgeview PS, Vista PS and Clark Boulevard Public School, Sunnybrook Hospital, Glenforest SS, Progress House Shelter Retrofit etc .
- Provided building science expertise in designing building envelope components.

MCD Design Group Ltd.

Prepared and coordinated with other major disciplines, working drawings, including those for the Ministry of Health building in Kingston, Ontario, Marathon Realty Ltd. corporate offices in Toronto, and Collingwood General and Marine Hospital.

Trow Consulting Engineers Ltd., Coffey Geotechnics Inc., Technology Support Services Inc. & SPL Consultants Ltd.

Working for Building Science & Rehabilitation Group providing design, site review and project coordination for roof replacement projects and other building envelope components.

Education

Roof Consultants Institute Inc.

Wind, Drainage & Advanced Thermal and Moisture, Humber College, Toronto

Roof Consultants Institute Inc.

Advanced thermal calculation methods, including: annual energy estimates, cooling loads calculations, and calculations of temperatures within cross-sections
Cool and reflective roofing technology
Principles of moist air and the effects of moisture on building insulation and other materials
Fundamentals of using vapor retarders and air barriers
Mold concerns associated with roofing and building envelope designs

Roof Consultants Institute Inc.

Rooftop Quality Assurance, Humber College, Toronto

Ryerson University

Building Science for Architectural Preservation and Conservation

University of Sarajevo

Bachelor of Architecture

Associations and Memberships

Professional Member: RCI, Incorporated. The Institute of Roofing, Waterproofing & Building Envelope Professionals (RCI).
Professional Member: Ontario Building Envelope Council (OBEC).

City of Mississauga
Memorandum



Date: March 31, 2021
To: Chair and Members of Heritage Advisory Committee
From: Martha Cameron, Legislative Coordinator
Meeting date: April 13, 2021
Subject: **Lisa Small – Request for Temporary Leave from the Heritage Advisory Committee**

Due to professional obligations, Lisa Small, Citizen Member of the Heritage Advisory Committee is requesting a temporary six-month leave from the Heritage Advisory Committee until September 2021.

Martha Cameron

Prepared by: Martha Cameron, Legislative Coordinator

City of Mississauga
Memorandum



Date: March 31, 2021
To: Chair and Members of Heritage Advisory Committee
From: Martha Cameron, Legislative Co-ordinator
Meeting date: April 13, 2021
Subject: **Terry Ward – Request for Temporary Leave from the Heritage Advisory Committee**

Terry Ward, Citizen Member of the Heritage Advisory Committee is requesting a temporary six-month leave from the Heritage Advisory Committee until September 2021.

Martha Cameron

Prepared by: Martha Cameron, Legislative Coordinator

City of Mississauga
Memorandum



Date: March 19, 2021
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting date: April 13, 2021
Subject: **Alteration to a Listed Heritage property: 1130 to 1140 Clarkson Road
North (Ward 2)**

This memorandum and its attachment are presented for the Heritage Advisory Committee's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction."

Alectra will be converting overhead lines to underground cabling at this site in order to improve the adjacent GO train service with electrified rail lines. The Heritage Impact Assessment is attached as Appendix 1.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: P. Wubbenhorst, Heritage Planner



1130 – 1140 Clarkson Road North, Mississauga, Ontario

Clarkson House & General Store

Issued: March 2021

HERITAGE IMPACT ASSESSMENT

Prepared for: CIMA+

Prepared by: David Eckler, BES, B.Arch., OAA, MRAIC



AREA, Architects Rasch Eckler Associates Ltd.
15 Lola Road, Toronto ON M5P 1E5



Architects Rasch Eckler Associates Ltd.
Project No. 20-682

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1.0 INTRODUCTION TO THE REPORT

1.1 EXECUTIVE SUMMARY

AREA, Architects Rasch Eckler Associates Ltd. (AREA) was retained by CIMA+ to prepare this Heritage Impact Assessment report (HIA) of the property with current municipal address 1130-1140 Clarkson Road North, City of Mississauga, Ontario and legal description Part of Lot 67, Registered Plan G-13, designated as Parts 1 and 2, Plan 43R-37471, formerly part of Lot 28, Concession 2. SDS, Toronto Township.

This HIA is required as the subject property is included in the City's Heritage Register as a designated heritage property and will form a part of an already submitted PUCG development application (no. AUC-017-19 R4) to the City of Mississauga PUCG Department.

The property located at 1130-1140 Clarkson Road North ("subject site" or "Clarkson House & General Store") is designated under the terms of the Ontario Heritage Act ('OHA'), Heritage By-Law 0057-2017, as being of cultural heritage value or interest. This HIA has been prepared to review the impact of the proposed development on the heritage resource.



Figure 1: Aerial photograph showing the location of the subject property in red in the City of Mississauga (Google 2020)

The proposed development involves converting existing Alectra distribution overhead lines on the subject site to underground cabling to accommodate Metrolinx's expansion of GO Transit and meet its clearance requirements to provide faster and frequent service on the rail corridor with electrified rail lines.

Based on the results of archival research, site investigation and existing conditions, this HIA will describe the cultural heritage resource, a detailed land-use history of the site and photographic documentation, a description of the proposed development and an assessment of impacts of the proposed undertaking. No alterations are proposed for the heritage building. This HIA concludes that the proposed adjacent development will have no impact on the cultural heritage value of the heritage property.

To ensure the long-term sustainability and use of the Clarkson House & General Store as a valued built heritage resource, *AREA* recommends to:

- preserve and protect the Clarkson House & General Store at its original location within the property in the proposed development. This operation will require the following short-term actions:

Short-term Conservation Actions:

- Ensure that the vacant heritage resource is protected in accordance with the City of Mississauga *Property Standards By-Law 654-98 Section 14.2 BOARDED BUILDINGS ON HERITAGE PROPERTIES (368-06)* and to the satisfaction of the City of Mississauga.

1.2 METHODOLOGY OF HIA REPORT

This HIA was prepared based on the City of Mississauga's Terms of Reference for HIAs and best practices in Ontario municipalities. This HIA report's scope involves the evaluation of the existing heritage resources and the impact on them from the proposed development on and around the subject property.

Archival research, site and building investigations were also incorporated as part of *AREA*'s comprehensive heritage consulting services. Representatives of *AREA* undertook site visit in February, 2021 to view and photograph the Clarkson House & General Store and their surroundings.

Historical research for this report was based on property background information included in existing Geotechnical Studies. Additional background research for this report was based on information gathered from available Land Registry records, historical maps, aerial photographs, personal and agricultural census records, and other published materials. Primary and secondary research was conducted on-line due to the closure of the Peel Art Gallery, Museum and Archives (PAMA). Samantha Thompson, archivist at the Peel Art Gallery, Museum & Archives provided files on the Clarkson family (Appendix E) that were assembled by a Peel historical research team in the 1930s on settler families.

This HIA is being submitted in compliance with the requirements of the Ontario Heritage Act (OHA), and by Council through the Municipal Register. It also references technical drawings and documents associated with the subject property, other provincial and municipal heritage standards and guidelines, as well as archive documents from various sources. These references include but are not limited to:

- City of Mississauga's Cultural Heritage Impact Assessment, Terms of Reference ("HIA-ToR"), 2017 (Appendix C)
- City of Mississauga Official Plan ('OP'), September 2020 Office consolidation
- Heritage Register for Mississauga, 2018
- Geotechnical Investigation, Area 5 – Lakeshore West Corridor, Metrolinx Electrical Utility Crossing, Alectra Utilities Corporation, October 2020
- Metrolinx Go Electrical Lwl. – Conflict #LW26, Clarkson Rd. N - Lakeshore Rd. W to Truscott Drive, Primary Schematic, Alectra Utilities Corporation, November 2018 (Appendix D)
- Mississauga Library – Historical Image Gallery, Online Archives
- Ontario Heritage Act ('OHA');
- Ontario Heritage Tool Kit (OHTK), Ontario Ministry of Culture (now Tourism, Culture, and Sport), 2006;
- Provincial Policy Statement ('PPS') of the Planning Act, with revisions up to 2020

This report's assessment process will reference the above-listed reports, drawings, and heritage conservation standards for managing the built heritage resource. Among the report figures, all current photographs were taken by the author of this HIA from his site visit unless indicated otherwise. This HIA will form part of the subsequent SPA application, subject to the Mississauga Heritage Advisory Committee review, and ultimately, Council.

David Eckler, B.E.S., B.Arch., OAA, MRAIC of AREA, whose curriculum vitae and firm profile are attached (Appendix H) is the primary author responsible for the overall preparation and recommendations of this HIA.

Following the guidelines provided by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI), the City of *Mississauga Official Plan and Heritage Impact Assessment Terms of Reference*, and Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, this HIA identifies the heritage policies applicable to new development, summarizes the property's geography and history, and provides an inventory and evaluation of the property's built features. Based on this understanding of the property, the potential impacts resulting from the proposed development are assessed, and future conservation actions are recommended.

2.0 POLICY FRAMEWORK

The subject property at 1130-1140 Clarkson Road N, Mississauga is subject to several provincial and municipal heritage planning policies. The subject property is designated 'Mixed-Use' on Schedule 10 - Land Use designations in the Mississauga Official Plan, which permits developments that provide a variety of retail, service and other mixed uses to support the surrounding residents and businesses. Furthermore, the subject property is located north of the Clarkson Village Community Node, as defined by the City of Mississauga Official Plan, and adjacent to the Canadian National Railway Line (C.N.R). The existing land-use 'Mixed Residential Commercial' designation does not allow for single-detached, semi-detached and duplex dwellings¹. The Clarkson House and General store building located on the subject property have been designated as a 'Heritage Resource' and will be not be altered.

Several provincial and municipal heritage planning policies should be considered during the decision-making process in the cultural heritage environment. The following policies are relevant to the proposed development:

2.1 PROVINCIAL POLICY STATEMENT (PPS, 2020)

The PPS 2020 identifies conservation of resources of significant architectural, cultural, historical, archaeological, or scientific interest as a provincial interest and it further recognizes that protecting cultural heritage and archaeological resources has economic, environmental, and social benefits, and contributes to the long-term prosperity, environmental health, and social well-being of Ontarians. The following sections of the PPS 2020 recognize the importance of identifying and evaluating built heritage and cultural heritage landscapes:

2.6 Cultural Heritage and Archaeology

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.3 Planning authorities shall not permit *development and site alteration on adjacent lands to protected heritage property* except where the proposed *development and site alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the protected *heritage property* will be *conserved*.

PPS 2020 defines *significant resources* in regard to cultural heritage and archaeology resources that have been 'determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*' and *conserved* means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted

¹ General Land Use, Section 11.2.6 Mixed-Use, City of Mississauga Official Plan (Office Consolidation September 2020). Retrieved from:

by the relevant planning authority and/or decisionmaker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Built heritage resources, cultural heritage landscapes, heritage attributes, and protected heritage property are also defined in the PPS 2020:

Built heritage resources: means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

Heritage attributes: means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a *protected heritage property*).

Protected heritage property: means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

For municipalities, PPS 2020 is implemented through an 'Official Plan' which may outline further heritage policies (see Section 2.5.1).

2.2 A Place to Grow - Growth Plan for The Greater Golden Horseshoe (Office Consolidation 2020)

The Greater Golden Horseshoe (GGH) is one of the North America's fastest growing regions. The GGH City Region includes the City of Toronto and 15 surrounding counties. The subject property is located within the identified 'Urban System' in the Region of Peel (Region of Peel Official Plan Schedule D). Like other provincial plans, this Plan builds upon the policy foundation provided by the PPS and provides additional and more specific land use planning policies to address issues facing specific geographic areas in Ontario. This Plan is to be read in conjunction with the PPS.

The policies of this Plan take precedence over the policies of the PPS to the extent of any conflict, except where the relevant legislation provides otherwise.²

The following guidelines and policies stated under Section 4.2.7 *Cultural Heritage Resources* of the Growth Plan for GGH³ (August 2020 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

1. *Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.*

2.3 Region of Peel Official Plan (ROP OP, Office Consolidation 2018)

The Regional Official Plan (ROP) is a long-term plan used to manage Peel's growth and development. It is a public document which provides *Regional Council* a policy framework for decision making and sets the regional context for more detailed planning by protecting the environment, managing resources and directing growth.

The subject property is located within the Region of Peel's "Urban System" (Region of Peel Official Plan Schedule D – Regional Structure). The subject property is also located within a "Designated Greenfield Area". Moreover, the subject property is situated proximally to an "Other Rapid Transit Corridor" as show on Schedule G – Rapid Transit Corridors of the Region of Peel Official Plan. The following guidelines and policies stated under Section 3.6 *Cultural Heritage* of the ROP OP⁴ (Office 2018 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

- 3.6.2.4 *Require and support cultural heritage resource impact assessments, where appropriate, for infrastructure projects, including Region of Peel projects.*

- 3.6.2.8 *Direct the area municipalities to only permit developments and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

² Relationship with PPS 2020, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from: <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

³ Cultural Heritage Resources, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

⁴ Cultural Heritage, Region of Peel Official Plan (Office Consolidation 2018). Retrieved from: https://www.peelregion.ca/planning/officialplan/pdfs/ropdec18/ROPConsolidationDec2018_TextSchedules_Final_TE_XT.pdf

2.4 The Ontario Heritage Act and Ontario Regulation 9/06

The Province and municipalities are enabled to conserve significant individual properties and areas through the *Ontario Heritage Act (OHA)*. Under Part III of the OHA, compliance with the Standards and Guidelines for the Conservation of Provincial Heritage Properties is mandatory for Provincially-owned and administered heritage properties.

For municipalities, Part IV and Part V of the *OHA* enables councils to 'designate' individual properties (Part IV), or properties within a heritage conservation district (HCD) (Part V), as being of 'cultural heritage value or interest' (CHVI). Evaluation for CHVI under the *OHA* is guided by *Ontario Regulation 9/06*, which prescribes the *criteria for determining cultural heritage value or interest*. The criteria are as follows:

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.
 - (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
 1. The property has **design value or physical value** because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
 2. The property has **historical value or associative value** because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
 3. The property has **contextual value** because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

If a property meets one or more of these criteria, it may be eligible for designation under Part IV, Section 29 of the *OHA*. Once a property is placed on the Register, it gains public recognition, and a level of heritage due diligence is exercised for planning, building and/or demolition permit applications. The City of Mississauga maintains one register⁵, a register of properties that are listed or designated cultural heritage resources under the *Ontario Heritage Act*. This register is known as the "**Heritage Register of Mississauga**".

⁵ Heritage Register for Mississauga. Accessed from: https://www.mississauga.ca/wp-content/uploads/2020/06/10135918/2018-07-01_Mississauga_Heritage_Register_Web.pdf

2.4.1 MINISTRY OF HERITAGE, SPORT, TOURISM AND CULTURE INDUSTRIES

As mentioned above, heritage conservation on provincial properties must comply with the MHSTCI *Standards and Guidelines for the Conservation of Provincial Heritage Properties*. To advise municipalities, organizations, and individuals on heritage protection and conservation, the MHSTCI developed the following:

- **Standards and Guidelines for Conservation of Provincial Heritage Properties**
These standards and guidelines set out the criteria and process for identifying provincial heritage properties and to set standards for their protection, maintenance, use and disposal.
- **Ontario Heritage Tool kit:**
The Ontario Heritage Tool Kit is a series of guides for municipal councils, municipal staff, Municipal Heritage Committees, land use planners, heritage professionals, heritage organizations, property owners and others. It was designed to help them understand the heritage conservation process in Ontario.⁶

The *Heritage Resources in the Land Use Planning Process* (MHSTCI) defines an HIA as follows: 'A heritage impact assessment (or equivalent study) is a study to determine if any cultural heritage resources (including those previously identified and those found as part of the site assessment) or in any areas of archaeological potential, are impacted by a specific proposed development or site alteration. It can also demonstrate how the cultural heritage resource will be conserved in the context of redevelopment or site alteration. Mitigative or avoidance measures or alternative development or site alteration approaches may be recommended.'

Determining the optimal conservation or mitigation strategy is further guided by the MHSTCI 'Eight guiding principles in the conservation of historical properties.'

The following guiding principles for the conservation of historical properties are based on international charters that have been established over the past century:⁷

1. Respect for documentary evidence

Do not base restoration on conjecture. Conservation work should be based on historical documentation, such as historical photographs, drawings and physical evidence.

2. Respect for the original location

Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Any change in site diminishes heritage value considerably.

⁶ Ontario Heritage Tool kit, Culture, Heritage, Ministry of Heritage, Sport, Tourism and Culture Industries. Accessed from: http://www.mtc.gov.on.ca/en/heritage/heritage_toolkit.shtml

⁷ Eight guiding principles in the conservation of historical properties, Ontario Heritage Trust. Accessed from: <https://www.heritagetrust.on.ca/en/pages/tools/tools-for-conservation/eight-guiding-principles>

3. Respect for historical material

Repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historical content of the resource.

4. Respect for original fabric

Repair with like materials, to return the resource to its prior condition without altering its integrity.

5. Respect for the building's history

Do not restore to one period at the expense of another. Do not destroy later additions to a house solely to restore it to a single time period.

6. Reversibility

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. For instance, when a new door opening is put in a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

7. Legibility

New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.

8. Maintenance

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

2.5 CITY OF MISSISSAUGA PLANS AND POLICIES**2.5.1 City of Mississauga Official Plan Policies**

City Council adopted Mississauga's current Official Plan in September 2010. The updated September 2020 Office Consolidation includes LPAT decisions that have resolved several of the appeals to the 2010 Official Plan and amendments made to reflect Council decisions.⁸ The following guidelines and policies stated under Section 7.4 Heritage Planning of the Mississauga Official Plan⁹ (September 2020 Consolidation) provide direction for development on or adjacent to the heritage resource:

7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.

7.4.1.3 Mississauga will require development to maintain location and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.

⁸ Mississauga Official Plan, Consolidated Versions. Accessed from:

http://www6.mississauga.ca/onlinemaps/planbldg/MOP/OfficeConsolidation_and_Information/2-Subtab-I-Consolidation-Versions-September3,2020.pdf

⁹ Heritage Planning, Cultural Heritage Resources, Mississauga Official Plan (Office Consolidation September 2020). Retrieved from: <http://www6.mississauga.ca/onlinemaps/planbldg/MOP/Chapter7-CompleteCommunities-July13-2016.pdf>

7.4.1.11 Cultural heritage resources designated under the Ontario Heritage Act, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the Ontario Heritage Tool Kit, the Ontario Ministry of Culture, and the Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada.

7.4.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

9.3.1.10 Consideration will be given to the location of utilities on private property and the public right-of-way. Utilities will be grouped or located underground where possible to minimize visual impact. The City encourages utility providers to consider innovative methods of containing utility services.

9.5.2.12 Heating, venting and air conditioning equipment and mechanical/utility functions will be located away from the public realm and not be visible from public view.

The following policy outlined in the City of Mississauga's Official Plan, direct the undertaking of Heritage Impact Assessment within the City:

7.4.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Statement, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

2.5.2 Zoning By-Law

The Mississauga Zoning and Property Information online portal displays the existing zoning 'D - Development' on the subject property at 1130-1140 Clarkson Road N with land use designation as 'Mixed Residential Commercial < five storeys under the City of Mississauga Zoning By-law 0225-2007'¹⁰, see property report (Appendix G).

¹⁰ 1130-1140 Clarkson Road North, Mississauga Property Report. Retrieved from:
<https://ext.maps.mississauga.ca/Html5Viewer/index.html?viewer=izbl.HTML5#>



Figure 2: Zoning Map for 1130-1140 Clarkson Road N, Annotated by AREA (Mississauga Zoning and Property Information).

ColumnA		B
Line	ZONE	D
1.0		
PERMITTED USE		
2.0	DEVELOPMENT	
2.1	A building or structure legally existing on the date of passing of this By-law and the existing legal use of such building or structure	✓
ZONE REGULATION		
3.0	The erection of new buildings or structures and the enlargement or replacement of existing buildings and structures shall not be permitted	✓

Figure 3: D Zone permitted uses and Zone Regulations
(Retrieved from: <https://web.mississauga.ca/apps/zoningbylaw/#/show/12,3248,3250>)

3.0 INTRODUCTION TO SUBJECT PROPERTY

3.1 LOCATION OF THE SUBJECT PROPERTY

Municipal Address	1130-1140 Clarkson Road N, Mississauga, Ontario (Figure 1)
Legal Description	Part of Lot 67, Registered Plan G-13, designated as Parts 1 and 2, Plan 43R-37471, formerly part of Lot 28, Concession 2. SDS, Toronto Township (Figure 4).
Square Area	The subject property has an estimated area of 19045 square ft. (1769 sq.m.)
Location & Boundaries	This property is located at 1130-1140 Clarkson Street North, north of Lakeshore Road West on the northwest corner of the Canadian National / Go Transit rail corridor (Figures 1,2,4)
Official Plan Designation	The subject property is located within the Clarkson-Lorne Park Neighbourhood Character Area, as defined by the City of Mississauga Official Plan, and is designated 'Mixed-Use' (Schedule 10 Land Use) and 'Neighbourhood' (Schedule 9 City Structure).
Zoning By-Law	The existing zoning on the subject property is 'Development' under the City of Mississauga Zoning By-law 0225-2007 (Figure 3)

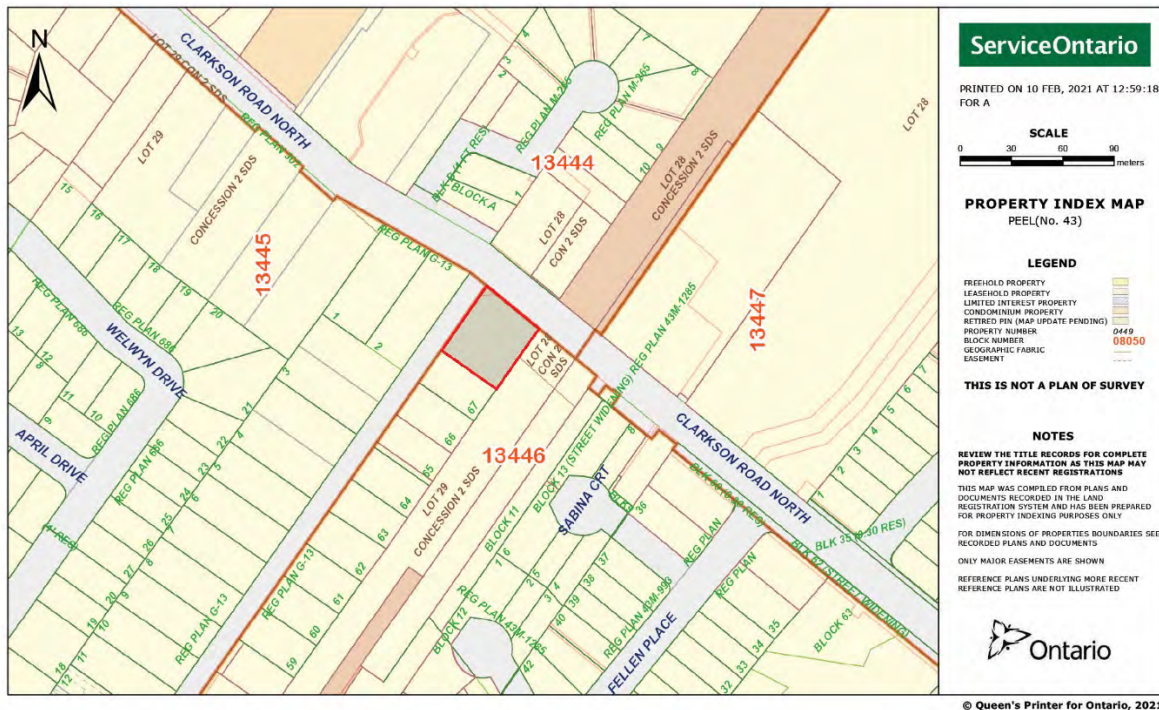


Figure 4: Property Index Map showing the approximate extents, lot number, block number of the subject property¹¹. (Source: Ontario Land Registry 2020)

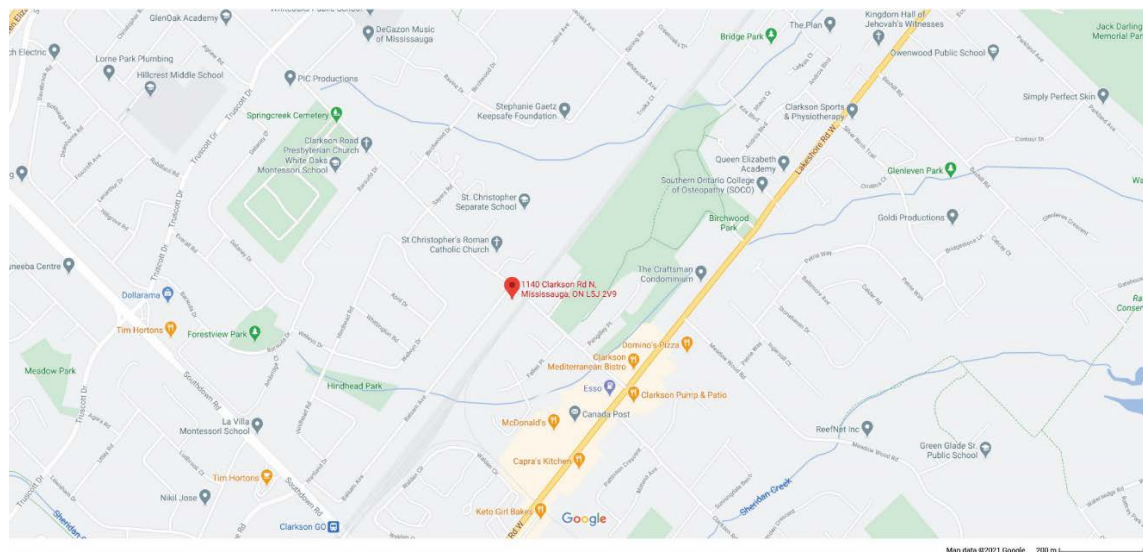


Figure 5: Aerial map showing the location of the subject property in red in the City of Mississauga (Google Maps 2021).

¹¹ Property Index Map, Ontario Land Registry. Retrieved from:
https://www.onland.ca/api/cmv/export/_ags_WebMap_afaa6370-6bc9-11eb-9809-005056975444.pdf

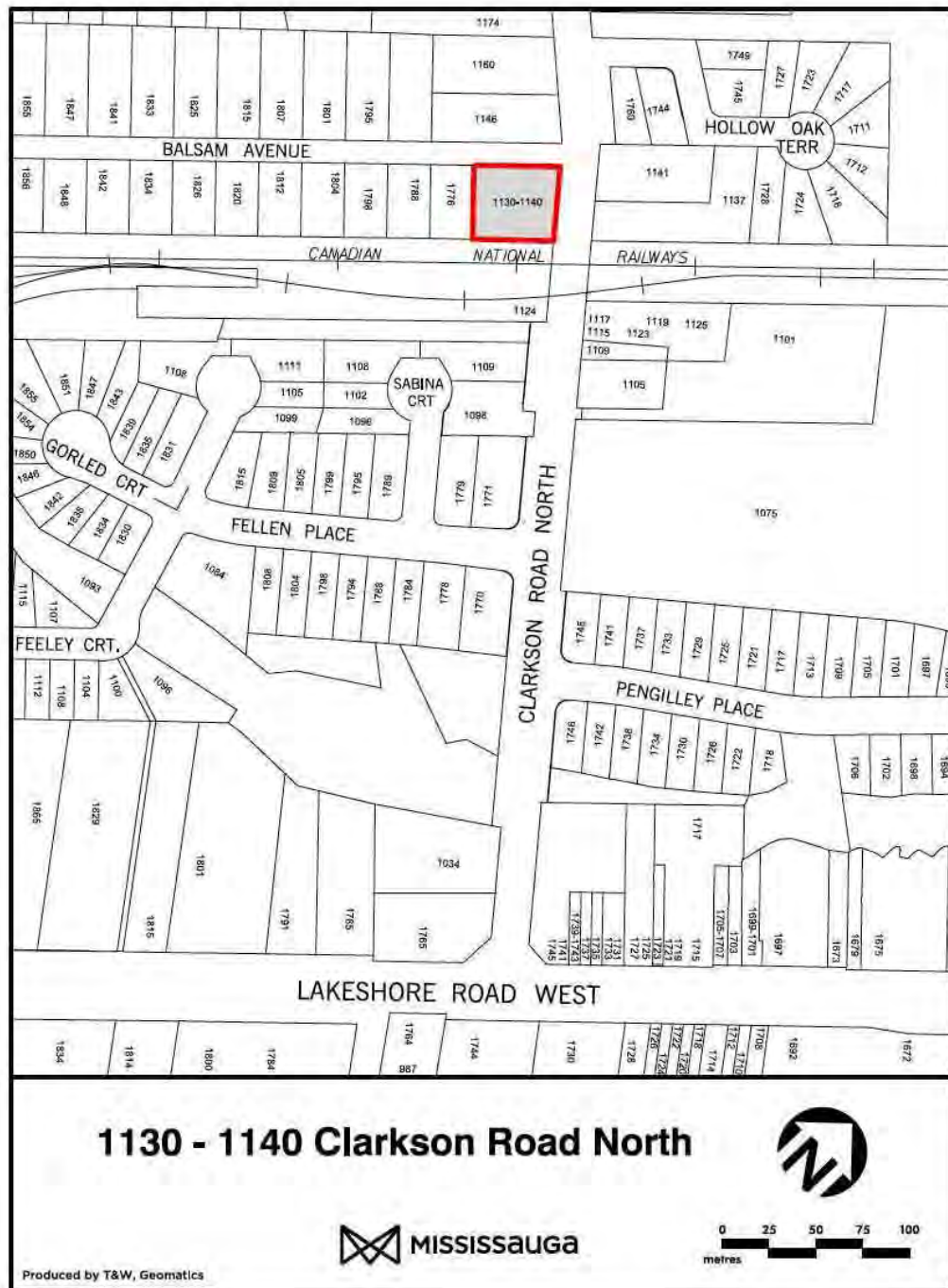
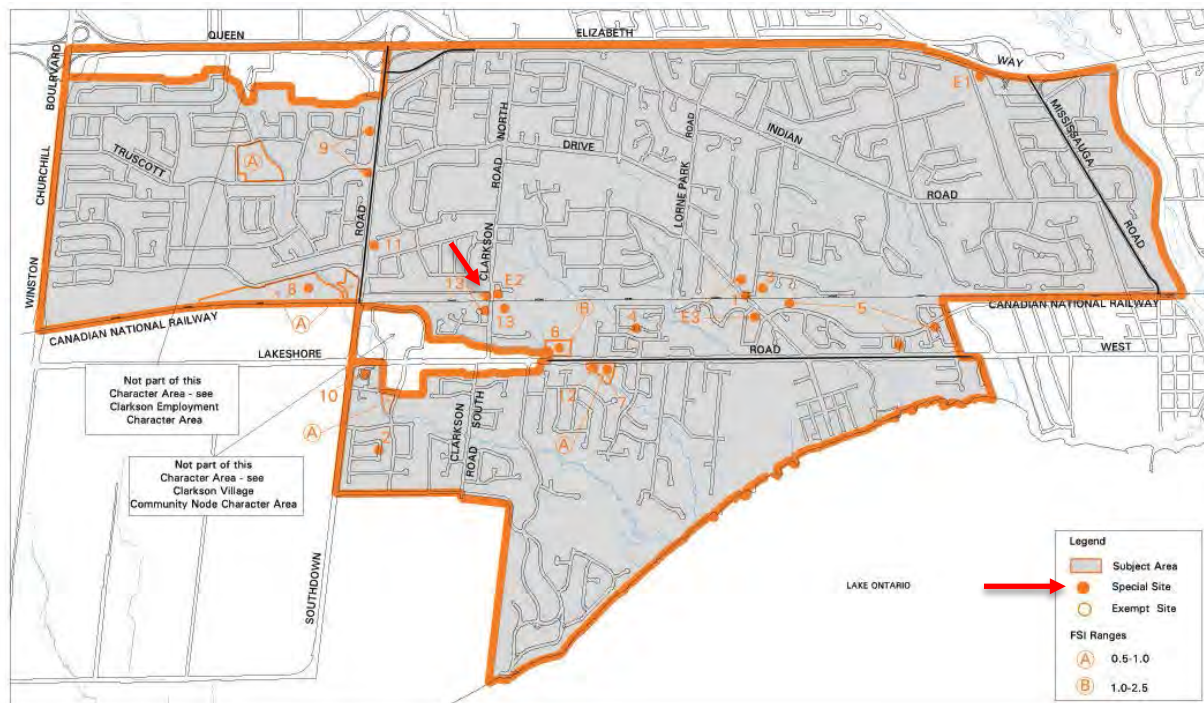


Figure 6: Plan showing the subject property and surrounding lots and city roads.
(Source: Culture Division, City of Mississauga)

3.2 DESCRIPTION OF SUBJECT PROPERTY

The subject property's address is 1130-1140 Clarkson Road North, northwest corner of the Canadian National / Go Transit rail corridor in the City of Mississauga (Figure 5). The property is located within the Clarkson-Lorne Park Neighbourhood Character Area (Figure 7) which is an established neighbourhood containing large lots and mature vegetation. The land is identified as a 'Special Site 13', located on the west side of Clarkson Road, south of Balsam Avenue.



Map 16-5: Clarkson-Lorne Park Neighbourhood Character Area

Figure 7: Map 16-5: Clarkson-Lorne Park Neighbourhood Character Area¹², annotated by AREA
(Source: Mississauga Official Plan – Part 3)

3.2.1 Site

This site is in close proximity to Lakeshore Road West and Clarkson Village Community Node, a predominantly mixed-use area. The immediate area contains mostly detached homes as well as some commercial uses north and south of the CN Railway on the east side of Clarkson Road North. 1141 Clarkson Road North, is listed on the City's Heritage Register and contains the 'Clarkson Paisley House' that was initially commissioned by Henry Clarkson in 1936. The local area is historically known as 'Clarkson Corners', and was a service stop on the railway in the 1800s. The rail station was the hub of the community from 1850 to 1950.

¹² Map 16-5: Clarkson-Lorne Park Neighbourhood Character Area, Mississauga Official Plan – Part 3. Retrieved from: <http://www6.mississauga.ca/onlineplans/planbldg/MOP/Chapter16-Neighbourhoods-March13-2019.pdf>



Figure 8: GO Transit tracks adjacent to the subject property



Figure 9: Rear of the lot (West elevation), proposed location for the underground ductbank.



Figure 10: East Elevation (Front)



Figure 11: West Elevation (Rear)



Figure 12: South Elevation (facing the tracks)



Figure 13: North Elevation showing the side elevation of William Clarkson House and Store.

3.2.2 Buildings

1130-1140 Clarkson Road North is a rectangular shaped property and is comprised of the following three buildings that are listed on the City's Municipal Heritage Register as cultural heritage resources (Figure 8):

- A. The Clarkson General Store;
- B. The former Post Office building &
- C. The William Clarkson House.



Figure 14: Aerial view of the subject property
(Source: Google maps 2020).

The buildings front onto Clarkson Road North and the southwest portion of the lot has soft landscaping with no driveway. The above properties at 1130-1140 Clarkson Road North were designated as being of cultural heritage value or interest under the Ontario Heritage Act. The By-Law 0057-2017 was enacted and passed on 26th April 2017 (Appendix G). The properties are described separately.

William Clarkson House

The William Clarkson House is a one-and-a-half storey Gothic Revival home dating back from the latter half of the 19th century. William was the son of Warren Clarkson.



Figure 15: The main elevation of the William Clarkson House.
(Source: Mississauga, Historical Images Gallery)



Figure 16: William Clarkson Store built in 1835 and Post Office, Clarkson, built in 1837
(Source: Mississauga, Historical Images Gallery)

The William Clarkson House is a vernacular wood frame residence with a front/cross gable roof, rectangular floor plan, symmetrical arrangement of openings on the principal facades and a wrap-around verandah. The exterior cladding material is clapboard siding with corner boards and door and window openings with triangular shaped heads on the front elevation. Despite later alterations to the exterior including the installation of new siding, the addition of two roof dormers, removal of the original chimneys and some modifications to the door and window openings, the building retains its dominant form and exterior elements of its original design character.



Figure 17: William Clarkson House, 2021

General Store and Post Office building

William took over operation of the family store and post office in 1865. (Figure 16). The General Store and Post Office provided one of the cornerstones of the community. On this site Warren Clarkson built the first store around 1835. The current building dates from the later half of the 19th century. The Clarkson Store was substantially altered from its 19th century form c. 1906-1910. These early 20th century alterations are considered to be of sufficient age as to form an integral part of the history of the building. Although more recent exterior alterations have been completed (Figure 18), the store building still retains its 1906-1910 height, scale, shape, form and massing and a commercial storefront of an early 20th century rural store¹³.



Figure 18: General Store and Post Office building, February 2021

3.2.3 Context

The subject property is located at the intersection of Balsam Rd. and Clarkson Road North.

The site's present surroundings are representative of suburban development in Ontario. Immediate north & west of the subject site are large residential lots with detached dwellings. Lands south comprise of the Go Transit rail corridor (Figure 24) & east of the subject site is designated mixed-use. Further southeast, a large community park is located.

Historically the vicinity was dominated by agricultural uses.

¹³ Schedule B to By-Law No. 0057-2017, Designation Statement.

3.3 EXISTING CONDITION

A high-level condition assessment of the original Clarkson House and General Store building was undertaken during a February, 2021 site review. Conditions were assessed with a visual review from grade with no destructive testing used. Interiors of the property were not accessed as no alterations both interior and exterior are proposed for the cultural heritage resources.



Figure 19: North Elevation of the William Clarkson House and store



Figure 20: View of the William Clarkson House and store from Balsam Avenue looking southeast



Figure 21: View of the subject lot from Clarkson Road North looking southwest.



Figure 22: View of the subject lot from Clarkson Road North looking northwest.

The windows and doors were all boarded at the time of review (Figures 19-22). The William Clarkson House had undergone substantial renovations to the exterior and interior of the building in 2014. No further modifications were observed till date. The rear addition to the house dates back to 1913. A wrap-around verandah possibly existed on the south side along with a rear building which was demolished later (See Appendix F, Figure 59). The Clarkson Store was a brick structure which was later reclad. After the addition of the second floor and a north addition

around 1910, further storefront renovations were carried out in 1934 followed by alterations in 2014-2015. The following photos provide views of the current development adjacent to the subject lot.



Figure 23: View of adjacent residential property west of the subject lot from Balsam Avenue looking southwest.



Figure 24: View of adjacent listed heritage property from Clarkson Road North looking northwest.



Figure 25: Intersection at Clarkson Road North and Balsam Avenue looking north.



Figure 26: View of GO Train tracks and property beyond from the subject lot looking south.



Figure 27: Looking north on Clarkson Road North



Figure 28: Clarkson Go Station south west of the subject lot.

3.4 HERITAGE STATUS OF CHR AND ADJACENT HERITAGE PROPERTIES

1130-1140 Clarkson Road North is included on Mississauga's Municipal Register of Cultural Heritage Resources as a 'Designated' heritage property.¹⁴

The following adjacent heritage properties are included in the Mississauga's Municipal Register of Cultural Heritage Resources (2020) as 'Listed' heritage properties¹⁵.

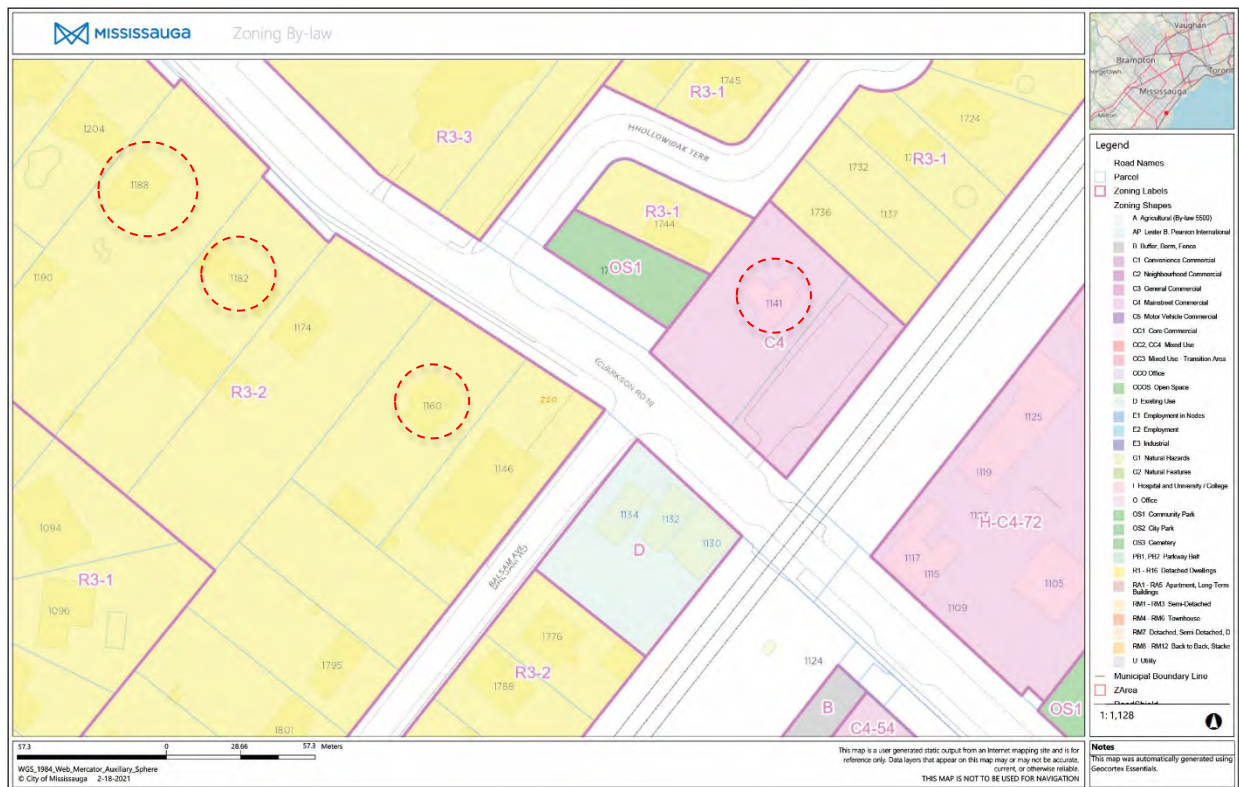


Figure 29: Adjacent Heritage properties, Mississauga's Municipal Register of Cultural Heritage Resources (2020)

1. 1141 Clarkson Road North (Listed on The Heritage Register but Not Designated)
2. 1160 Clarkson Road North (Listed on The Heritage Register but Not Designated)
3. 1182 Clarkson Road North (Listed on The Heritage Register but Not Designated)
4. 1188 Clarkson Road North (Listed on The Heritage Register but Not Designated)

¹⁴ Mississauga Heritage Board, "Municipal Register of Cultural Heritage Resources 'Listed' Heritage Properties Last Updated: 2020,"

https://www.Mississauga.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents1/Listed_Register.pdf

¹⁵ Ibid, 30.

4.0 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The Designation Statement in By-Law 0057-2017 includes the following Statement of Cultural Heritage Value or Interest for the subject property:

'The subject property, located at 1130-1140 Clarkson Road North in the City of Mississauga is an important and significant cultural heritage property that has design, associative and contextual values.

Design Value

The design/physical value of the subject property relates specifically to the Clarkson Store and the William Clarkson House.

The Clarkson Store was substantially altered from its 19th century form c. 1906-1910. These early 20th century alterations are considered to be of sufficient age as to form an integral part of the history of the building. Although more recent exterior alterations have been completed, the store building still retains its 1906-1910 height, scale, shape, form and massing and a commercial storefront of an early 20th century rural store. Examples of rural commercial stores of this age are considered to be a diminished resource in the City.

The William Clarkson House is a vernacular, mid-19th century, wood frame residence with characteristics of the Gothic Revival style. When built, it was one and one-half storeys high with a front/cross gable roof, rectangular floor plan, symmetrical arrangement of openings on the principal facades and a wrap-around verandah. Exterior details included clapboard siding with corner boards and door and window openings with triangular shaped heads on the front elevation. Despite later alterations to the exterior including the installation of new siding, the addition of two roof dormers, removal of the original chimneys and some modifications to the door and window openings, the building retains its dominant form and exterior elements of its original design character.

Historical/Associative Value

The property has historical value for its associations with an important settlement family that contributed significantly to the settlement of Clarkson and Toronto Township in the 19th century.

In recognition of the significance of the Clarkson store to the community, the road passing in front of the general store, and later post office, the train station, and the village were all named Clarkson. The local GO Transit train station still bears the family name. The Clarkson family was fundamental to the development of the local community. Warren Clarkson was one of the first settlers in this area of Toronto Township. His decision to locate the first general store in the area, the construction of the railway beside the store, which ensured the community's economic viability, and the location of the first postal service in the store represent and illustrate important social and development periods of the community's history. The property was the site of the first post office in Clarkson, an event that meant local residents no longer had to travel to Erindale to retrieve their mail. The post office was located in the Clarkson Store, the focal point of the

community. It was located on the subject property for 80 years from 1875 to 1955. A new, separate post office building was constructed in the late 1940s beside the store and house.

Contextual Value

The subject property, in its entirety, has been identified as having contextual value relating to the historical, visual, physical and functional links between the property, its buildings and the surrounding neighbourhood that once formed the nucleus of Clarkson's Corners, later Clarkson, people and activities that were significant to the community and its ability to yield information that contributes to an understanding of the community.

The property was the site of Warren Clarkson's store in 1835. The store became the nucleus of the historic settlement community and in 1875, the location of the first post office to serve Clarkson. The three buildings on the subject property are positioned on the north side of the railway tracks facing onto and set close to Clarkson Road North, an important transportation north to south route both historically and currently. This setting of the subject property is valued for maintaining the 19th and early 20th century character of the historic village core of Clarkson village. The original Clarkson land holdings were subdivided as Plan G-13 in 1913, and the buildings were placed on Lot 67. The configuration of Lot 67 has not been subdivided since 1913 and is clearly delineated in the environment between the railway tracks to the south and Balsam Avenue to the north.

The property with its buildings is the pivot point for historically, visually and contextually linking the adjacent properties associated with the Clarkson family and the village. The Clarkson Store on the south end beside the railway track and the William Clarkson House on the north end of the property at Balsam Avenue are clearly visible in the streetscape. The subject property at 1130-1140 Clarkson Road North is considered to be a physical landmark in the community.

Heritage Attributes

The heritage attributes of the subject property located at 1130-1140 Clarkson Road North include, but are not limited to the following listed.

- The placement and orientation of the buildings, the Clarkson Store, the former Post Office Building and the William Clarkson House, in their original positions on the west side of Clarkson Road North to the north at the railway tracks with the principal elevations facing onto the said road.
- The integrity of Lot 67, Plan G-13 on which the three buildings are located.
- Its pivotal position in the historic core of Clarkson as an historical, visual and contextual link adjacent to the neighbourhood properties associated with the Clarkson family, former commercial, industrial and residential buildings that were clustered around the store and the location of the former Clarkson's railway station.
- The wood frame construction, the scale, height, form, massing, gable roofline, original window and door openings and the commercial storefront of the Clarkson Store.
- The wood frame construction, the scale, height, form, massing, gable roofline, original window and door openings, and verandah of the William Clarkson House.
- The north and south views to the subject property and its three buildings from Clarkson Road North.

4.1 HISTORICAL / ASSOCIATIVE SUMMARY

4.1.1 TORONTO TOWNSHIP

The property is located within the Traditional Lands of the Mississaugas of Credit First Nation. The Mississaugas were hunter-gatherers whose way of life involved seasonal migration. During the summer season they would camp along creeks, cultivating corn along flats and fishing for salmon. After the harvest they returned to the interior hunting grounds for the colder months. Until the latter 18th century, contact with Europeans was limited mostly to French traders through travel or at forts and outposts.

In 1763, the Seven Years' War between Great Britain and France ended with France ceding its north American territories to Great Britain. King George III issued the Royal Proclamation which established the basis of government administration in north American territories. The Proclamation forbade the settlement of territories by non-First Nations and established that First Nations lands could only be transferred through negotiation and sale to the Crown. By this process, large portions of southern Ontario were acquired via treaty and subsequently divided into counties and townships. The surveys created a grid of concessions and lots (typically 200 acres) that formed the basis for private ownership and settlement.

Settlement in this portion of southern Ontario began after the American Revolution (1775-1783) when Loyalists and discharged British soldiers migrated north. In 1806 the Mississaugas of the Credit and the British signed the Head of the Lake Treaty (No. 14) covering the lands along Lake Ontario between Etobicoke Creek and Burlington Bay and north for six miles. The Mississaugas maintained two reserves, a mile on each side of the Credit River as well as the sole right of fisheries on 12- and 16-Mile Creeks. In addition, the Mississaugas of the Credit held another 648,000 acres of land north of the Head of the Lake lands. Following the War of 1812, the influx of settlers into the Mississaugas' lands and fisheries weakened their traditional economy, putting their rapidly declining population into a state of impoverishment. In 1818, Chief Ajetance, on behalf of the assembled people, agreed to the sale of the 648,000 acres for £522.10 of goods paid annually.

Immediately following the Ajetance Treaty, the land was surveyed and divided into the townships of Chinguacousy, Toronto Gore, Albion and Caledon and the enlarged Toronto Township.¹⁶ Toronto Township came into being, comprising 29,569 acres, with a mile (1.4 kilometers) on either side of the Credit River designated as the Mississauga Indian Reserve¹⁷. This brought the establishment of small communities in the Toronto Township. Sydenham (Dixie) & Harrisville (Cooksville) along Dundas, Lakeview to the east and Clarkson to the west along the shores of Lake Ontario were formed throughout the Toronto Township.

¹⁶ When these townships came into existence, they were administered by the Home District Court of Quarter Sessions out of York. In 1850, Districts were dissolved and replaced with Counties which were smaller administrative units.

¹⁷ Kathleen A. Hicks, *Clarkson and Its Many Corners* (Mississauga, Ontario: Mississauga Library System, 2003), XVI

4.1.4 HISTORY OF OWNERSHIP

The Gables (1807), the Greeniauses (1808), the Marigolds and the Mongers (1808) were the first residents of the Clarkson area (Figure 30). It was not until 1833 that the initial patent of the 150 acres at Concession 2, WHS, Lot 28 (the property) was made to Frederick Jarvis (Figure 31). The same year, Jarvis sold the land to Edgar Neave who sold 50 acres to Warren Clarkson in 1835 (Figure 30). Neave owned a number of lots in the area and is best known for being the original builder of "Benares", the house and present-day museum at 1503 Clarkson Road. The General Directory for the City of Toronto and Gazetteer of the Counties of York and Peel, for 1866 also lists Warren Clarkson, Henry Warren Clarkson and William Clarkson as settlers in the Township of Toronto Ward No.1. (Appendix E)

Township of Toronto LOT 28 CONCESSION 2000 PAGE NO. 1

THIS IS A COMPILED
ABSTRACT FOR LOT 28
SHOWING DEEDS 1-13

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
	Patent	31 Dec 1833		The Crown	Frederick Jarvis		150 acres
10439	Bt. J.	20 Dec 1833	17 Jan 1834	Frederick Jarvis et ux	Edgar Neave	£300	150 acres
12120	Bt. J.	14 Aug 1835	15 Sept 1835	Edgar Neave et ux	Warren C. Clarkson	\$162.107	50 acres & 1/2
12141	Bt. J.	21 Aug 1835	22 Sept 1835	Edgar Neave et ux	George Simcott	£57	100 acres
14525	Bt. J.	31 Aug 1837	19 Sept 1837	George Simcott	James B. Harris	£850	148.5 ac + 0.1
27	J.	15 Feb 1853	19 Feb 1853	Warren Clarkson	Hamilton & Toronto Ry. Co.	£4111	2 1/2"
2395	Bt. J.	17 Feb 1855	25 Jan 1856	Warren Clarkson	Henry J. Clarkson	£200	42 1/2 sq ft
8407	Deed	17 Feb 1855	4 Sept 1860	Henry J. Clarkson	Warren Clarkson		42 1/2 sq ft
	Patent	16 Oct 1834		The Crown	Edgar Neave		47 acres
12141	Bt. J.	21 Aug 1835	22 Sept 1835	Edgar Neave et ux	George Simcott	£57	47 acres
14525	Bt. J.	31 Aug 1837	19 Sept 1837	George Simcott	James B. Harris	£850	48 1/2
	Book 8						
3712	Will	15 May 1877	25 Sept 1882	Warren Clarkson	Mary Ann Clarkson et al		Part and O.L.
5204	Will	24 Aug 1875	22 Feb 1884	James B. Harris	Elizabeth Harris et al		Part and O.L.
6167	B. D.	1 Jul 1887	14 Jul 1887	Arthur B. Harris et ux	Harry G. White	\$122700	8.18 ac.
7439		28 Jan 1891	31 Jan 1891	Wm. W. Clarkson et ux	Bank of England Co.	2500.00	Part and O.L. NW of Railway
7449	Release	9 Feb 1891	13 Feb 1891	Matthew Deby Ltd	Wm. W. Clarkson	31.00	Part and O.L.
7652	Bt. J.	26 Jan 1891	17 Aug 1891	Harry G. White et ux	Robert Sloan	2649.50	8.18 ac
7927	Release	7 Feb 1891	5 Jul 1892	Matthew Deby Ltd	Henry D. Clarkson	100.00	Part and O.L.
8276	B. D.	11 Oct 1893	13 Oct 1893	Arthur B. Harris et ux	David A. Noble	541.12	14.43 ac
8277	B. D.	11 Oct 1893	13 Oct 1893	David A. Noble	Arthur B. Harris	1623.38	14.43 ac
9546	Release	13 Jul 1897	22 Oct 1897	David A. Noble (unmarried)	Arthur B. Harris	1.00	14.43 ac. Rel of Equit. of Red
10358		31 Oct 1900	12 Dec 1900	Bank of England Co.	George Wooderham	2000.00	Assigning No. 7139
10366	B. D.	10 Dec 1900	22 Dec 1900	Warren C. Clarkson et ux	George Wooderham	1000.00	Part and O.L. NW of Railway
10540	Deed	1 Jun 1901	17 Jun 1901	Henry D. Clarkson	Samuel Wm. Marchmont	150.00	payable 5 years for the term of 5 years. 1.58 ac NW of Railway
10590	B. D.	11 Dec 1901	12 Dec 1901	George Wooderham CP	Emma Clarkson et al		25 ac. and O.L. Deft. debared & foreclosed
11629	B. D.	1 May 1904	13 Sep 1904	Arthur B. Harris et ux	The Toronto & Niagara Power Co.	2000.00	Part and O.L.
11994	B. D.	17 Jul 1905	25 Jul 1905	Arthur B. Harris et ux	The Toronto & Niagara Power Co.	2000.00	154/1000 ac.

Figure 31: Land Registry Records, Township of Toronto
Retrieved from: Ontario Land Registry Access – Historical Books
<https://www.onland.ca/ui/43/books/42302/viewer/706285865?page=787>

Historical Mapping



Figure 32: Warren Clarkson's property in the village of Clarkson in late 1850s
(Source: Tremaine's Map of the County of Peel, Canada West. Toronto: George c. Tremaine, 1859)



Figure 33: The William Clarkson property on Lots 28,29 & 30, Concession 2 SDS and the village of Clarkson in the late 1870s. The building annotated by AREA shows the current subject site and is marked as the property of W.W.C 'William Warren Clarkson.



Figure 34: 1936 Clarkson Fire insurance Map (Underwriters' Insurance Bureau 1936)
Study area annotated by AREA in red, Adjacent listed Heritage property 1141 Clarkson Road N in grey.

The property is located in the village of Clarkson. The history of the property reflects the agricultural character of the area. The 1861 Census identified Warren Clarkson as a 69-year-old farmer, residing with his wife at the property. The personal census lists the family as living in a 1 ½ storey frame house (Figure 35).²⁰



In 1835, Warren Clarkson bought 50 acres of the southern portion of Lot 28, from Edgar Neave for £162 (Peel Region Land Registry Office, Conc. 2SDS, Lot 28). In addition to the land in Lot

35

28, Clarkson owned the southern portions of Lots 29 and 30, which he bought in 1819.²¹ In 1856, Clarkson put the 50 acres in Lot 28 in his son Henry's name (Figure 29). Henry went to the United States for a short time in the late-1850s to work as a railway surveyor-foreman, and according to the 1861 Census (District 1, Toronto Township), his brother George lived on the property and farmed potatoes. When Henry returned to Canada, he built a house and assisted his father with the farm's operations.²² The house does not appear on the 1860 Tremaine Map (Figure 30) or the 1877 County Atlas Map (Figure 31). The following excerpt from 'Clarkson and its Many Corners' by Kathleen A. Hicks narrates the land use development under the ownership of Warren Clarkson:

'By 1835, Warren Clarkson owned land on Lots 28, 29 Concession 2SDS, on either side of the wagon trail running north from Lakeshore Road. The same year Warren built and opened the first grocery store in the area on the dirt trail that would become Clarkson Road. With the stagecoaches travelling along Dundas Street and south from Erindale, it became a waiting room for travelers. In 1837, he built what he called a trading post in the Port Credit area where the harbour was a port of call for the vessels that plied Lake Ontario. In 1852, he sold the Port Credit store to Robert Cotton, who sold it to James Hamilton in 1860. This is where the first telephone in Toronto Township would be installed in 1881.'

Later in 1853, the Great Western Railroad purchased nearly six acres of Warren's property for the right-of-way, a station and siding space. The station was called "Clarkson's". William Clarkson took over the management of the Clarkson Store from his father, and built a house for his family, beside the store, this how is now the William Clarkson house. Historical research suggests a mid-1860s construction date however it may have been constructed later in 1870s or early 1880s. William's brother Henry Clarkson also built a house on Clarkson Road North near the family grocery store and house in the 19th century. By the end of the 19th century, the village of Clarkson included, but was not limited to, the Clarkson Store and post office, the William Clarkson House, the house built by Warren and Susan Clarkson and a house owned by Henry Clarkson and Clarkson's railway station²³.



Figure 36: Henry Shook Clarkson' house. (Source: Mississauga Library – Historic Image Gallery)

²¹ Kathleen A. Hicks, *Clarkson and Its Many Corners* (Mississauga, Ontario: Mississauga Library System, 2003), XVI

²² Ibid

²³ ASI, Heritage Impact Assessment 1141 Clarkson Road North City of Mississauga, Ontario, (2017)



Figure 37: The front elevation of the Carload Groceteria ('Clarkson Store') on Clarkson Road North (Mississauga Library – Historic Image Gallery, n.d)



Figure 38: View of the former railway station (Mississauga Library – Historic Image Gallery, 1900)



Figure 39: View of the Clarkson Store and Post office prior to the 1906-1910 renovations (Mississauga Library – Historic Image Gallery, n.d)



Figure 40: Interior View of the Clarkson Store and Post Office (Mississauga Library – Historic Image Gallery, 1910)



Figure 41: View of the former railway station on the north side of the tracks (Mississauga Library – Historic Image Gallery, n.d)



Figure 42: View of Alex Durie's store (right) and the Edith (Warren Clarkson's granddaughter) Clarkson Store (left). (Mississauga Library – Historic Image Gallery, 1900)



Figure 43: Orthoimagery Aerial, 1967, Region of Peel Archives
(Annotated by AREA to show the location of the subject property and adjacent streets)

— — — Clarkson Road North

— — — Balsam Avenue

↓
NORTH

4.2 DESIGN / PHYSICAL SUMMARY

4.2.1 Builders

Clarkson Store was built by Warren Clarkson in 1835. William built his house next door to his father Warren's store on Clarkson Road, when he took over the management in the mid-1860s. In the 1950s, it was Bill Elliot's fruit market²⁴. The buildings are currently vacant.

4.2.2 Clarkson Store

The original Clarkson store built in 1835 was replaced with a simple, one-and-a-half storey, wood frame building with a front gable roof circa 1865. The exterior cladding was horizontal clapboard siding. This building was significantly altered between 1906 and 1910 when a second floor was added along with an addition to the north side transforming it into a two-and-a-half storey 'L-shaped structure' with a front gable roof and storefront. In 2015, the building was again renovated (Figure 44).



Figure 44: East (front) elevation of the Clarkson Store, left - July 2015 (Source: CHER: 1130-1140 Clarkson Road North, City of Mississauga, Ontario, October 2015, 26), right – February 2021

In 2005, a Heritage Mississauga report described the Clarkson Store as follows,

The store is 'L' shaped in plan and is 2 ½ storeys with a low pitch gable roof, Classic Revival in style. There are pediments on the east-front, west-rear and north facades. The store has been boarded up but according to an architectural assessment done on the property in 1989, the: first floor is divided into two stores, each having a central door flanked by display windows. The doors on the left stands in a recess decorated by two thin Corinthian pillars. The second storey is defined by a moulded wooden entablature over the store windows. There are three over the store windows. There are three rectangular sash windows on the second floor, and a small rectangular window in a round-headed

²⁴ Kathleen A. Hicks, *Clarkson and Its Many Corners* (Mississauga, Ontario: Mississauga Library System, 2003), 65

opening in the gable. The south façade has a door on the first floor and three sash windows on the second. At the rear are, a door on the first floor, two sash windows on the second and a small round-headed window in the gable. There is also a rectangular sash window on the north side inside the 'L'. The building is covered with a brick pattern pressed metal, exposed on the northern façade and otherwise covered with asphalt siding. The cornice is decorated throughout with patterned moulding. The wide soffits are panelled.

The pressed metal brick pattern siding was popular in the early 20th century, it is believed that the siding was applied between 1900-1920, after the building was constructed, covering 1x10-inch horizontal boards.²⁵

The Clarkson Store is located on its original site however has undergone some exterior renovations since it was built. The massing, height, scale and form of the building remains as original.

The windows and doors are presently boarded and the building is vacant.

4.2.3 William Clarkson House

The William Clarkson House is a representative example of a 19th century vernacular style dwelling of wood frame construction with Gothic Revival characteristics (Figure 45).

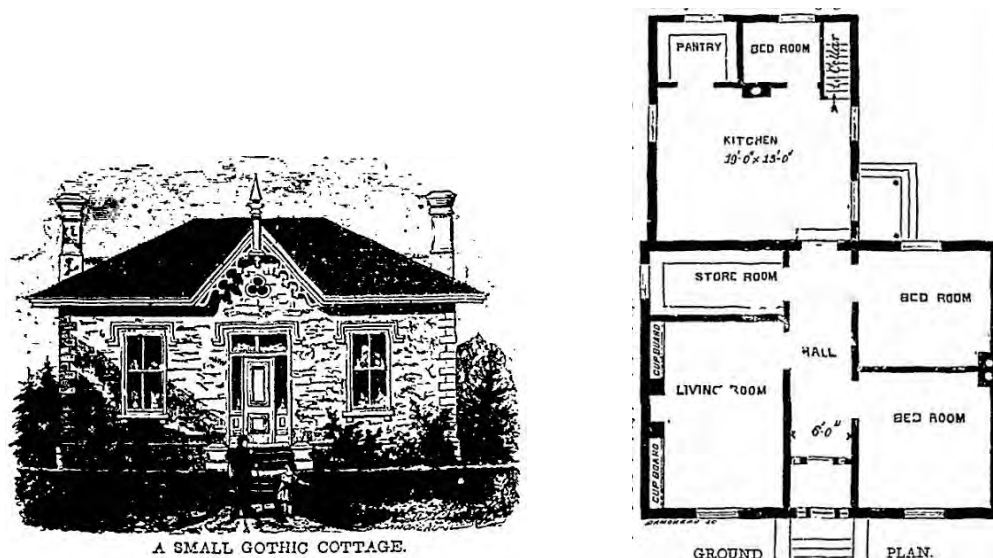


Figure 45: Selection of drawings from the 1864 The Canada Farmer column showing the suggested plan and principal elevation of the rural Ontario gothic cottage being advertised (The Canada Farmer, Volume 1, No.2, February 1, 1864).

²⁵ Heritage Mississauga. "Recommendations for Designation on the Heritage Registry, 1130-1132 and 1140 Clarkson Road North (Clarkson Store and William Clarkson House)" built 1865-1894 (July 15, 2005), 3

The house is noted by key identifiers: steeply pitched roof, one-and-a-half storey, rectangular floor plan and gables with decorative bargeboard. The gable is present in the center of the façade. The windows are symmetrically placed in composition and a verandah wraps south side. The original exterior cladding included clapboard siding. The William Clarkson house is located on its original site however has undergone some exterior renovations since it was built. The massing, height, scale and form of the building remains as original.



Figure 46: The main elevation of the William Clarkson House, early 20th century (Source: Mississauga, Historical Images Gallery, BA0154)



Figure 47: The main elevation of the William Clarkson House, 1980 (Source: Mississauga, Historical Images Gallery)



Figure 48: The main elevation of the William Clarkson House, 2004 (Source: Heritage Mississauga 2005)



Figure 49: The main elevation of the William Clarkson House, 2020 (Source: Google Maps 2021)

In 2005, Heritage Mississauga Report described the exterior of the house as follows.

The Clarkson House is a one-and-a-half storey Victorian Gothic with an 'L-shaped' floor plan. A single storey later addition was built on the rear, with a hipped roof. The original house was a cross gable roof, the front gable of the house faces Clarkson Road North. The peak has a hammer beam fretwork decoration. This is new as it is not present in the older picture. The front verandah extends beyond the south wall indicating that it may have

been a wrap around verandah, however, the side portion is gone. This may also specify the sets of bay windows on the south façade are an addition. A wide reed moulding surrounds the front door. The original exterior covering is unknown as it was covered by pressed steel siding in brick pattern, which was also present on the store, this siding was available in the 19th century but became popular in the early 20th century. The new plywood covering conceals the majority of the pressed metal sheathing.

and,

Recent renovations to the house include dark yellow plywood siding with vertical laths, resembling board and batten, as well as blue window trim. The window trim is respectful of the heritage of the home. The trim details at the top of the windows comes to a slight point in the centre. This feature looks similar to a picture of the Clarkson house in the Barnett Scrapbook. Two chimneys visible in the older photograph are no longer present from the exterior.²⁶

The windows and doors are presently boarded and the building is vacant.

4.3 SUMMARY

The subject property, located at 1130-1140 Clarkson Road North in the City of Mississauga is an important and significant cultural heritage property that has design, associative and contextual values. Unterman McPhail Associates Heritage Resource Management Consultants provided the City with a Cultural Heritage Evaluation Report for the subject property in 2015²⁷ for consideration in municipally designating the subject property under Part IV of the Ontario Heritage Act (OHA).

The above properties at 1130-1140 Clarkson Road North were designated as being of cultural heritage value or interest under the Ontario Heritage Act. The By-Law 0057-2017 was enacted and passed on 26th April 2017 (Appendix G).

²⁶ Heritage Mississauga. "Recommendations for Designation on the Heritage Registry, 1130-1132 and 1140 Clarkson Road North (Clarkson Store and William Clarkson House" built 1865-1894 (July 15, 2005),3

²⁷ Cultural Heritage Evaluation Report 1130-1140 Clarkson Road North City of Mississauga, Ontario. Unterman McPhail Associates Heritage Resource Management Consultants, 2015. Accessed from:
<http://www7.mississauga.ca/documents/agendas/committees/heritage/2016/1 - 01 12 16 - HAC Agenda.pdf>

5.0 DESCRIPTION AND EXAMINATION OF PROPOSED DEVELOPMENT/SITE ALTERATIONS

5.1 PROPOSAL OVERVIEW

The proposed development by CIMA+ involves converting the existing Alectra distribution overhead lines to underground (UG) cabling for the rail crossing adjacent to the subject site to meet Metrolinx's clearance requirements. Metrolinx aims to expand the GO Transit to provide faster service on the Lakeshore West corridor with electrified lines in Mississauga.

The conversion of the overhead system to underground infrastructure is proposed within the subject site in proximity to the heritage resource, this HIA is thus required to identify and assess the impacts of the property's proposed undertaking at 1130-1140 Clarkson Road North that involves the above-described execution. The existing heritage resource, however, will not undergo any alterations. This part of the HIA provides an overview of the risks and issues posed by the existing overhead system and subject site's development proposal, and its investment benefits.

The development proposal's description is based on the permit drawings (July 2020) prepared by CIMA+ for Alectra Utilities Corporation of the electrical work to be carried out on the subject property.

5.2 PURPOSE

Appendix A007 of the Alectra Utilities 2020-24 Distribution System Plan defines and summarizes the primary and secondary drivers for Overhead Legacy Infrastructure:²⁸

TABLE 1: INVESTMENT DRIVERS

INVESTMENT DRIVER	REASONING AND INVESTMENT BENEFITS
Primary Driver: Functional Obsolescence	<p>The primary driver for these investments is functional obsolescence. Overhead legacy assets, including legacy rear-lot construction and legacy under-classed poles, conveying four feeder circuits, no longer align with Alectra Utilities' standards and practices. Rear lot infrastructure introduces accessibility and safety issues.</p> <p>These assets cannot be maintained using efficient maintenance and operational practices the leverage labour saving equipment and device such as bucket trucks.</p>
Secondary Driver: Safety	Rear Lot infrastructure poses an elevated safety risk to (i) field crews, due to the non-standard and manual procedures that must

²⁸ EB-2019-0018 Alectra Utilities Corporation 2020 EDR Application Exhibit 04 Tab 01 Schedule 01 Appendix A07 — Rear Lot Conversion, Pg. 8 of 21

	be utilized to maintain and operate this infrastructure on a regular basis, and (ii) the general public, due to the limited clearances between the electrical plant and customer properties.
Secondary Driver: Reliability	Given that like-for-like replacement would perpetuate some of the inherent shortcomings associated with rear lot supply, the proposed rear lot conversion investment will involve renewal to present-day standards which provides reliability benefits including an expected 11-fold improvement to rear-lot SAIFI and more than a 3-fold improvement to rear-lot SAIDI when compared the three-year historical system SAIFI and SAIDI.

Based on the criteria above, Alectra has determined that underground ductbank at the rear of the subject lot is their preference over the overhead electrical distribution system.

5.3 ISSUES AND RISKS POSED BY THE EXISTING OVERHEAD SYSTEM

5.3.1 OPERATIONAL ISSUES

According to the Alectra Utilities 2020-24 Distribution System Plan, Appendix A05 – Overhead Asset Renewal, operational issues on some feeders and direct buried cables were identified in the Clarkson Station area²⁹. Alectra Utilities' extensive maintenance program to manage the substation assets has allowed facilities to operate past their typical useful life. However, due to the operational issues identified, these facilities are now outdated and should be replaced with better infrastructure.



Figure 50: View of the subject property and existing overhead electric distribution system from Balsam Avenue looking southeast (February 2021)

²⁹ Alectra Utilities 2020-24 Distribution System Plan, EB-2019-0018 Alectra Utilities Corporation 2020 EDR Application Exhibit 04 Tab 01 Schedule 01 Appendix A05 — Overhead Asset Renewal, Pg. 46 of 53

5.3.2 ACCESSIBILITY ISSUES

As the infrastructure continues to age and deteriorate over time, it becomes increasingly difficult to monitor asset deterioration due to the following accessibility challenges³⁰:

- Wood poles are generally congested, due to multiple service attachments and communication drops. This makes it impossible to sufficiently climb poles. Crews must, therefore, use ladders to access these poles. Alectra Utilities is limited in utilizing ladders to access the overhead system due to Ministry of Labour restrictions for congested areas which complicates the situation further. Figures 51 & 52 show the existing wood poles.



Figure 51: View of the subject property and existing overhead electric system from Clarkson Rd. N looking northwest (February 2021)

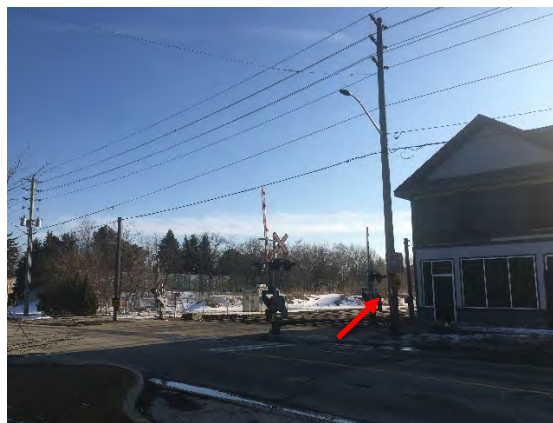


Figure 52: View of the subject property and existing overhead electric system from Clarkson Rd. N looking southwest. The hydro pole fronting the Clarkson general store is proposed to be removed, annotated by AREA in red. (February 2021)

- Configuration is generally unsafe to the public due to the large trees growing near energized power lines. In tandem with such an unsafe configuration, there are also line clearing hazards and related additional costs to do this work.

³⁰ Ibid, Pg. 2 of 21

5.4 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The proposal involves the conversion of the existing overhead system to current-standard front-lot underground infrastructure, including the installation of padmounted transformers, tree retardant cross-linked polyethylene ("TRXLPE") underground cables in conduit and solid dielectric padmounted underground switches (Figure 53). All primary voltage assets will be converted accordingly to underground infrastructure. Similarly, all secondary voltage assets will also be converted such that customer meter bases will be supplied via underground connections³¹.

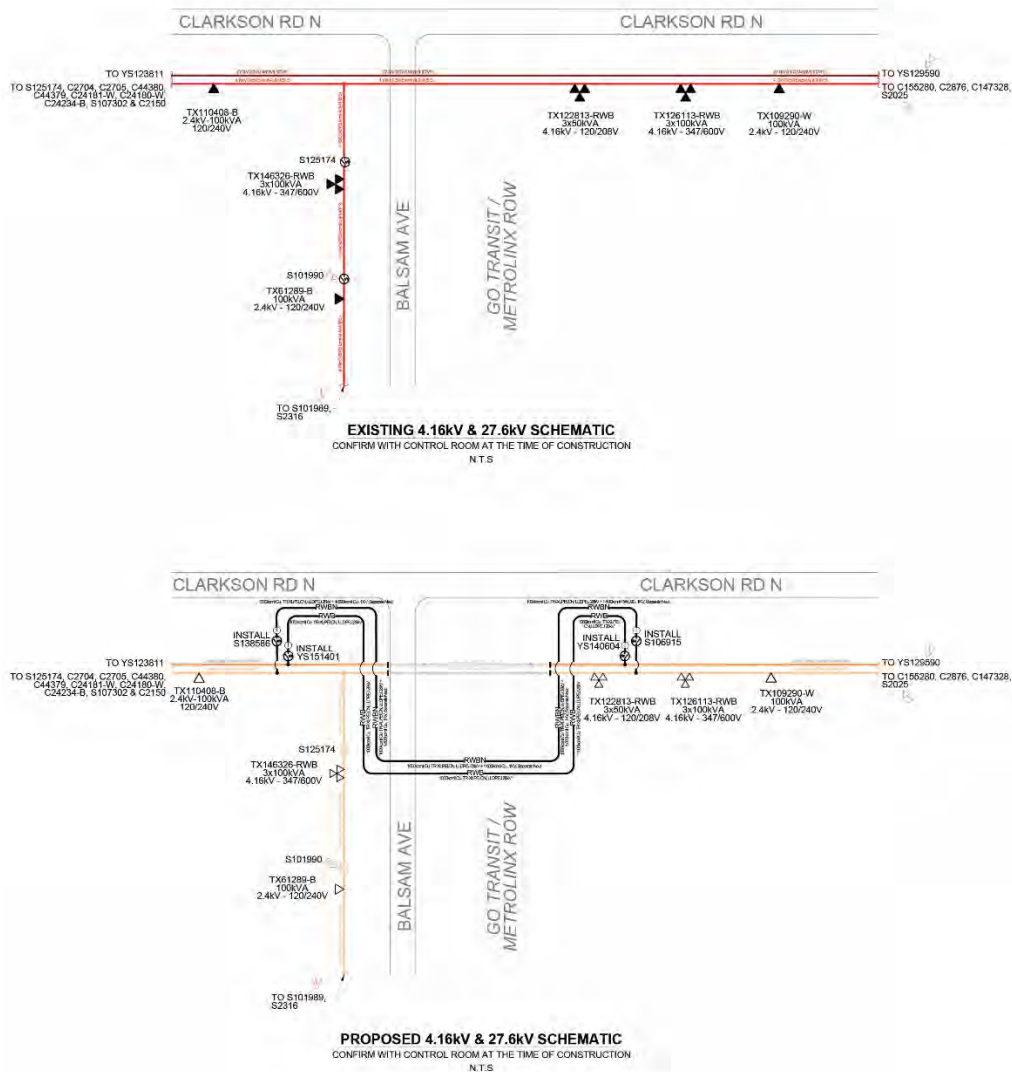


Figure 53: Schematic diagram showing the existing and proposed electrical lines within and adjacent to the subject site. (Source: Metrolinx GO Elec. LWL – CONFLICT #LW26 Clarkson Road North-Lakeshore Road West to Truscott Drive, Primary Schematic, Sheet No. D07-396295-001)

³¹ Alectra Utilities 2020-24 Distribution System Plan, EB-2019-0018 Alectra Utilities Corporation 2020 EDR Application Exhibit 04 Tab 01 Schedule 01 Appendix A07 — Rear Lot Conversion, Pg. 4 of 21

5.4.1 SCOPE OF WORK³² (Figure 54):**Poles:**

Install poles as indicated on electrical layout: 2- 55'cp and remove existing pole p11747, p11748 and pn/a.

Guying:

Install/remove guying as indicated on electrical layout. All guying to be as per ehmsd's 9-101 & 9-107. For anchors install 12" single helix pisa anchor (ehm item #10722), except where otherwise indicated.

Grounding:

Install grounding at p1, & p2 using ehmsd. 41-99, 41-103 as indicated on the drawing.

Existing overhead primary & secondary:

Ehm to transfer the existing primary & secondary to the new poles as indicated on the drawing, as per std. 13-101 on table 13-101.1 and 13-123 on table 13-123.1.

Overhead switches & primary risers:

Install underground to overhead three-phase risers to pole p1, & p2 As per alectra-ehmsd std 37-190. Alectra to supply and install new solid blade switches on poles p1, & p2 as per alectra-ehmsd std 37-98.

Underground primary cables:

Supply and install approximately 200m of 6-1000kcmil cu., tr-xlpei, cn, llcpej, 28kv primary cables (item# 16798) c/w 500kcmil rwu90. Neutral (item#16406) as shown on the drawings.

Ductbank:

Civil contractor to supply and install all 4" (100mm) pvc and hdpe ducts as required. All direct buried ducts to be constructed in accordance with ehmsd. 37-142d. Ductbank shall be subject to Alectra-ehmsd inspection prior to backfill and/or pouring concrete. Further inspections shall be completed after construction, prior to cables installation.

Supply and install all concrete encased Ductbank at road crossings, bends and at other locations as indicated on the drawings as per 10-106.1 to 10-106.7 and per individual cross-section sketches. Supply and install steel casing duct bank at railway crossing up to cn railway r.o.w. all high voltage ducts (100mm) shall have 60" radius bends, concrete encased to 1.0m past the duct bend as per 10-107c.

Street lighting:

Power services to transfer the existing street lights and relocate the luminaires to the proposed poles if applicable.

³² Metrolinx GO Elec. LWL – CONFLICT #LW26 Clarkson Road North-Lakeshore Road West to Truscott Drive, Standards and Notes, Sheet No. D07-396295-005



Figure 54: Electric Plan and the Trenching Plan of the proposed development showing the Heritage Resource fronting onto Clarkson Road North, annotated by AREA (Source: Metrolinx GO Elec. LWL – CONFLICT #LW26 Clarkson Road North-Lakeshore Road West to Truscott Drive, Electrical and Trenching, Sheet No. D07-396295-002)

The above electric and trenching plan show the location of both existing and proposed single phase transformers, power trenches, cables, hydro poles, circuits, switches etc. For further details, drawing legends and construction notes, please refer to Appendix D Electrical Drawings.



anchors proposed to be installed on the existing pole in front of the property to provide structural stability, this will be visible above ground (Figures 54 & 55).



Figure 55: Sketch of the 2 new anchors to be installed on the existing pole in front of the property to provide structural stability, overlayed on the current conditions at 1140 Clarkson Rd N.
(Source: CIMA+)

5.5 SITE ALTERATION

The existing heritage resource will be retained and protected at its original position within the lot. The subject property will be utilized as a mixed-use building, no changes to land use or building alterations are proposed. The building will be protected and monitored before and throughout the period of construction. A concrete encased ductbank (18x100mm PVC Ducts & 2x100mm HDPE Ducts) is proposed 9.2m west of the William Clarkson house and 1.4m below existing grade level (Figure 56). This ductbank is proposed to be connected to a 20x100mm Steel casing ductbank which will be placed 4.1m below the railway tracks. A minimum clearance of 4.1m from the base of rail to top of the steel casing will be maintained as shown in Figure 56. An easement will thus be required.

Existing hydro pole (south end of the property) fronting Clarkson Road North will be removed.

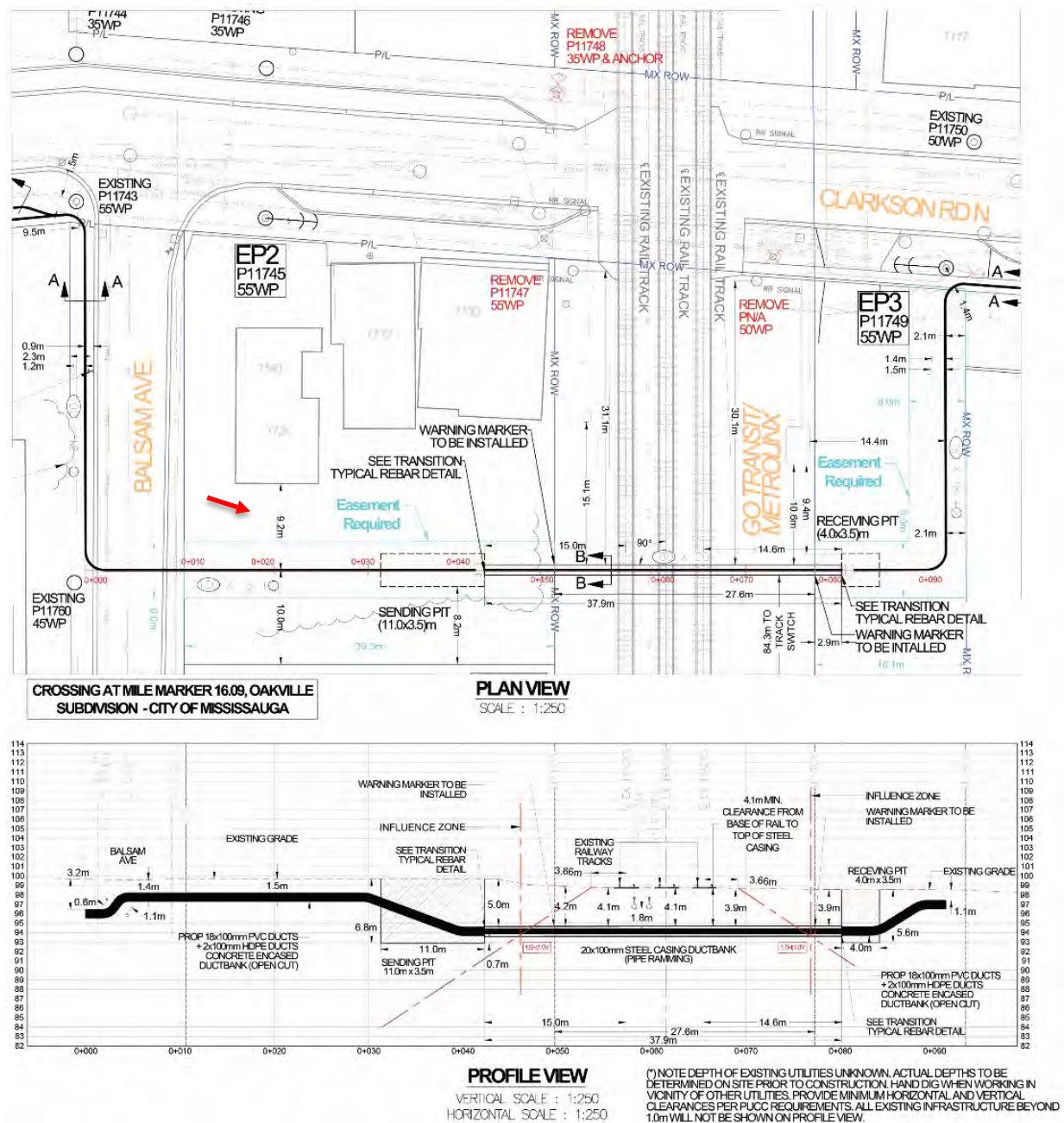


Figure 56: Profile view of the proposed ductbank within the subject site. Distance buffer of the William Clarkson house from the ductback annotated by AREA
(Source: Metrolinx GO Elec. LWL – CONFLICT #LW26 Clarkson Road North-Lakeshore Road West to Truscott Drive, Trenching 2, Sheet No. D07-396295-003)

5.6 IMPACT ASSESSMENT

Impacts can be described as ‘direct’ when cultural heritage landscapes and/or built heritage resources will be removed or significantly altered by a proposed development activity or ‘indirect’ when cultural heritage resources are disrupted by the introduction of physical, visual, audible or atmospheric elements that are not in keeping with their character and, or setting.

5.6.1 ASSESSMENT OF ADVERSE IMPACTS

When determining the effects, a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MTCS Heritage Resources in the Land Use Planning Process advises that the following direct and indirect adverse impacts be considered:

A. DIRECT IMPACTS

- *Destruction* of any, or part of any, significant heritage attributes, or features; and
- *Alteration* that is not sympathetic or is incompatible, with the historic fabric and appearance.

B. INDIRECT IMPACTS

- *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship; or
- *A change in land use* such as a rezoning an open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

Other potential impacts associated with the undertaking may also be considered. Historic structures, particularly those built in masonry, are susceptible to damage from vibration caused during the construction phase. Like any other structure, they are also threatened by collisions with heavy machinery or subsidence from utility line failures (Randl 2001:3-6).

The following is an assessment of the potential direct or indirect adverse impacts on the property’s heritage attributes resulting from the proposed development, based on those identified in Ontario Heritage Tool Kit, Info Sheet #5.

TABLE 2: ASSESSMENT OF DIRECT AND INDIRECT ADVERSE IMPACTS

Potential direct and indirect adverse impact	Assessment	Summary of Impact with Mitigation
1. <i>Destruction</i> of any, or part of any	The proposed development includes the retention and protection of the property’s-	Minor Impact. If controls are followed during construction,

significant heritage attributes of features.	built heritage resource in its entirety. No alterations are proposed for the CHR.	impact will be limited and monitored. No heritage attributes are at risk if the recommended mitigation measures are implemented (see section 6).
2. Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	<p>On the east (front) elevation, an existing hydro pole will be removed.</p> <p>A concrete encased ductbank (18x100mm PVC Ducts & 2x100mm HDPE Ducts) is proposed 9.2m west of the William Clarkson house and 1.4m below existing grade level (Figure 56)</p> <p>The proposed development has the potential to negatively impact heritage attributes during the construction phase through accident or faulty procedure. Construction activity and potential excavation adjacent to the property has potential to cause limited and temporary impacts to the CHR.</p> <p>These impacts can be mitigated through construction controls, protection plans and retention of a structural engineer to avoid any damage to the property's heritage attributes.</p>	<p>Minor Impact.</p> <p>If controls are followed during construction, impact will be limited and monitored. No heritage attributes are at risk if the recommended mitigation measures are implemented (see section 6).</p> <p>Positive impact will be the removal of the existing wood hydro pole which obscured view from and to the east facade of the original former Clarkson General Store.</p>
3. Shadows created that alter the appearance of the heritage attribute or change the viability of an associated natural feature or plantings, such as a garden.	The proposed development will not result in shadows on the CHR.	No impact.

<p>4. Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.</p>	<p>The Clarkson General Store and the William Clarkson House will be retained at their original location dating to c. 1835. The buildings will continue to front on Clarkson Road North and will remain within its original lot.</p> <p>The rear underground cabling will not block the existing structure from surrounding properties or views.</p>	<p>No impact.</p> <p>Retention is within the original site and will maintain visual relationship with Clarkson Road North & Balsam Avenue, and potentially draw new interest and appreciation for the former Clarkson Corners and the history of the Township of Clarkson.</p>
<p>5. Direct or indirect obstruction of significant views or vistas with, from, or of built and natural features.</p>	<p>N/A - No significant views or vistas have been identified within, to, or from the Subject Property.</p> <p>2 new anchors to be installed on the existing pole in front of the property to provide structural stability, overlayed on the current conditions at 1140 Clarkson Rd N (Figure 55).</p>	<p>No impact.</p> <p>The impact of the proposed development will be minimal, as the addition is located underground, to the rear of the property and the existing heritage structure will be retained.</p> <p>Visual impact by the 2 new anchors will be minimal and reversible. The cables will be thin and will have a yellow protector to protect pedestrians (Figure 55).</p> <p>Positive impact will be the removal of the existing wood hydro pole which obscured view from and to the east facade of the original former Clarkson General Store.</p>

<p>6. A change in land use (such as rezoning a church to a multi-unity residence) where the change in use affects the property's cultural heritage value.</p>	<p>A change in land use is not proposed for the Subject Property.</p> <p>The mixed-use character of the area will be preserved. The subject property will be preserved and will be utilized as a mixed-use building associated for the owners of the building which will provide stewardship of the CHR in the long-term.</p>	<p>No Impact.</p>
<p>7. Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archeological resources.</p>	<p>Construction of underground ductbanks.</p> <p>Land disturbances during construction phase can be monitored if mitigation measures such as standard drainage, site grading and vibration monitoring are implemented. There are no anticipated changes in grade that would negatively impact the building.</p>	<p>No impact.</p> <p>If mitigation measures are followed during construction, impact will be limited and monitored.</p>

5.6.2 Results of Impact Assessment

The preceding assessment has determined that with the proposed conservation strategy, the proposed development will not result in significant direct and indirect impacts to the heritage attributes of the CHR. Such impact will be limited and monitored through proper mitigation measures. The following section provides an analysis of potential alternative mitigation strategies.

5.7 CONSIDERED ALTERNATIVES AND MITIGATION STRATEGIES

Various mitigation options are evaluated in this section, to determine how the proposed development can lessen its impacts on the subject property. This proposed conservation strategy implements "mitigative measures and/or alternative development approaches" supported by the PPS. This PPS provision is incorporated municipally through the Official Plan, which states that, (Section 7.4.1.13) 'Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.'³³

The proposed development proposes the in-situ preservation and protection of the CHR. This HIA thus evaluates the following mitigation options while maintaining the CHR in-situ in the following order of priority:

³³ Heritage Planning, Cultural Heritage Resources, Mississauga Official Plan (Office Consolidation September 2020). Retrieved from: <http://www6.mississauga.ca/online/maps/planbldg/MOP/Chapter7-CompleteCommunities-July13-2016.pdf>

- (i) On-site retention of the CHR in the original use and maintaining the existing overhead system as is;
- (ii) On-site retention of the CHR in the original use and replacing the existing overhead system with Rear Lot overhead system; and,
- (iii) On-site retention of the CHR in the original use and replacing the existing overhead system with full underground infrastructure.

The following table provides analysis of each mitigation option:

TABLE 3: ANALYSIS OF OPTIONS FOR CONSIDERED ALTERNATIVES

OPTION	ADVANTAGES	DISADVANTAGES	FEASIBILITY
(i) On-site retention of the CHR in the original use and maintaining the existing overhead system as is	<ul style="list-style-type: none"> - Minimal intervention and no investment. - Potential for retaining all heritage attributes of the property. - Assets will only be replaced when they are obsolete. 	<ul style="list-style-type: none"> - Customers will be exposed to prolonged reliability impacts due to the operational and accessibility issues associated with the lot. - Wood poles will have to be replaced manually with field crews accessing private properties in order to execute the work. - Both crew and customers will be exposed to safety risks due to minimal proximity between the customer and overhead lines as well as the non-standard and non-ergonomic work procedures that field crews would have to continue to execute to sufficiently maintain, inspect and service the assets.³⁴ 	Alectra Utilities rejected this approach due to inherent issues with maintenance, reliability, safety concerns and resulting operational inefficiencies. ³⁵
(ii) On-site retention of the CHR in the original use and	- All heritage attributes retained.	- The rear lot overhead infrastructure would remain on private property.	This option is not feasible because it would perpetuate

³⁴ Ibid.

³⁵ Alectra Utilities 2020-24 Distribution System Plan, EB-2019-0018 Alectra Utilities Corporation 2020 EDR Application Exhibit 04 Tab 01 Schedule 01 Appendix A07 — Rear Lot Conversion, Pg. 18 of 21

replacing the existing overhead system with Rear Lot overhead system;		<ul style="list-style-type: none"> - The existing infrastructure would have to be reconfigured to make it accessible from the street in case the crew wants to access the plant during an outage event. - This approach would require easements, access private property. 	operating constraints and safety concerns. Alectra Utilities rejected this approach.
(iii) On-site retention of the CHR in the original use and replacing the existing overhead system with full underground infrastructure.	<ul style="list-style-type: none"> - All heritage attributes retained. - The Clarkson House will maintain a visual relationship to Clarkson Road North. - Through preservation, the heritage building can be conserved. - This scenario proposes the complete replacement of the existing overhead system with underground infrastructure that can be accessed from Clarkson Road North. - The new assets will be installed as per the current design practices. - This proposal also ensures efficiencies for the utilities as activities like tree cutting/trimming can be eliminated. 	<ul style="list-style-type: none"> - Stabilization and monitoring measures will be required. If controls are followed during construction, impact will be limited and monitored. No heritage attributes are at risk if the recommended mitigation measures are implemented (see section 6). 	<p>This option is feasible as this approach will completely mitigate the reliability and safety issues associated with overhead distribution as well as the operational constraints associated with the existing infrastructure.</p> <ul style="list-style-type: none"> -The subject property has sufficient lands to incorporate the proposed construction. -The CHR is in overall good condition with high integrity; and - It will assist in meeting the objectives for Protection of Cultural Heritage Resources as identified in the City of Mississauga's <i>Official Plan</i> under section 7.4 Heritage Planning.

Based on the above evaluation, the on-site retention of the CHR in the original use, on its original location and replacing the existing overhead system with full underground infrastructure is the most feasible and most appropriate form of conservation strategy.

6.0 CONSERVATION AND IMPLEMENTATION STRATEGIES

6.1 PRESERVATION APPROACH

Based on the evaluation from the previous section, preservation of the Clarkson House and General store is the most appropriate form of conservation strategy among those listed in the Official Plan. Preservation involves protecting, maintaining and stabilizing the existing form, material and integrity of a historic place, or of an individual component, while protecting its heritage value. There are nine Standards relating to Preservation, and they must all be applied to a Preservation project. Since protection, maintenance and stabilization are at the core of all conservation projects, all nine Preservation Standards must be applied to any conservation project.³⁶ In conclusion, the proposed preservation of the Clarkson House & General Store will accommodate a balance between conservation and development, and is therefore recommended by this HIA. This approach will allow the recovery of the building's historic Gothic Revival form, while also permitting viability for its integration within the proposed development. The process of preservation can be achieved through the processes described in the following sub-sections.

6.1.1 Planning for Stabilization and Monitoring

The CHR should be stabilized as part of a mothballing plan that involves correcting deficiencies to slow down the deterioration of the building while it is vacant. The building's windows and doors are currently boarded; however, it is essential to provide adequate air exchange throughout the building to prevent mould formulation, rot and insect infestation. A structural engineer should visit the site and determine if structural stabilization measures will also be required to ensure that the vibration caused by the underground digging to lay the ductbank will not harm the building or its finishes. Once the property is stabilized, a regular schedule for surveillance, maintenance and monitoring should be established. The local fire and police departments should be notified that the buildings are vacant. For details related to pre-construction, construction and post construction monitoring and contingency measures, please refer to Appendix D - drawing Metrolinx GO Elec. Sheet No. D07-396295-007.

6.1.2 Recommendations and Approvals

To undertake the proposed construction work, a Heritage Permit Application (HPA) is typically submitted to the City's Heritage Planning, Culture Division. Typically, a submission for HPA would be required, however in this case it is recommended and requested of Heritage Planning staff that this HIA be approved and represent the only required submittal to allow for the underground ductbank construction. It is commonplace for municipalities to delegate authority to Heritage Planning staff to approve such infrastructure related projects which do not impact the CHR. It is thus requested that the heritage approval be delegated to Heritage Planning staff in order to expedite the approval of this infrastructure project. This heritage staff approval therefore would entail communicating with the Building Division to provide clearance and sign off of the building permit for the ductbank work.

³⁶ Page1,2, Standards for conservation — Applying the Standards, Standards and Guidelines for the Conservation of Historic Places in Canada, 2010

7.0 SUMMARY STATEMENT & RECOMMENDATIONS

Based on the results of archival research, site investigation and existing conditions and an assessment of impacts of the proposed undertaking, this HIA concludes that the proposed adjacent development will have no impact on the cultural heritage value of the heritage property. The site is subject to the City's Property Standards By-law.

To ensure the long-term sustainability and use of the Clarkson House and General Store as a valued built heritage resource, *AREA* recommends to:

- preserve and protect the Clarkson House and General Store at its original location within the property in the proposed development. This operation will require the following short-term actions:

Short-term Conservation Actions:

- Ensure that the vacant heritage resource is protected in accordance with the City of Mississauga *Property Standards By-Law 654-98 Section 14.2 BOARDED BUILDINGS ON HERITAGE PROPERTIES (368-06)* and to the satisfaction of the City of Mississauga.

8.0 APPENDICES

Appendix A: Bibliography & References

Appendix B: Site Photos

Appendix C: City of Mississauga's Cultural Heritage Impact Assessment, Terms of Reference ("HIA-ToR") 2017

Appendix D: Metrolinx Go Electrical Lwl. – Conflict #LW26, Clarkson Rd. N - Lakeshore Rd. W to Truscott Drive, Alectra Utilities Corporation, ISSUED JULY 2020

Appendix E: Clarkson family file, William Perkins Bull fonds, Region of Peel Archives

Appendix F: Archival Photos and Historical Plan

Appendix G: The Corporation of the City of Mississauga By-Law 0057-2017

Appendix H: Resume

APPENDIX A: BIBLIOGRAPHY & REFERENCES

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APPENDIX B: SITE PHOTOS (FEBRUARY 2021)



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APPENDIX C: CITY OF MISSISSAUGA'S CULTURAL HERITAGE IMPACT ASSESSMENT, TERMS OF REFERENCE ("HIA-TOR")

Culture Division
Community Services Department
City of Mississauga
201 City Centre Dr, Suite 202
MISSISSAUGA, ON L5B 2T4
www.mississauga.ca



CITY OF MISSISSAUGA HERITAGE IMPACT ASSESSMENT

TERMS OF REFERENCE

1. Background: The Mississauga Official Plan

The City's Official Plan introduces cultural heritage resources in the following manner:

Mississauga's cultural heritage resources reflect the social, cultural and ethnic heritage of the city and, as such, are imperative to conserve and protect. Cultural heritage resources are structures, sites, environments, artifacts and traditions that are of cultural, historical, architectural, or archaeological value, significance or interest.

In compliance with the City's policy 7.4.1.12, as stated below, the City of Mississauga seeks to conserve, record, and protect its heritage resources:

*7.4.1.12: The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a **Heritage Impact Assessment**, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.*

A Heritage Impact Assessment is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The study would include an inventory of all heritage resources within the planning application area. The study results in a report which identifies all known heritage resources, an evaluation of the significance of the resources, and makes recommendations toward mitigation measures that would minimize negative impacts to those resources. A Heritage Impact Assessment may be required on a Designated or individually Listed property on the City's Heritage Register or where development is proposed adjacent to a known heritage resource. The requirement may also apply to unknown or recorded heritage resources which are discovered during the development application stage or construction.¹

¹ For the definition of "development," please refer to the Mississauga Official Plan.

Mississauga Heritage Impact Assessment Terms of Reference, June 2017

The City's Heritage Register includes properties that comprise cultural landscapes. Cultural landscapes include neighbourhoods, roadways and waterways. Individual properties within these landscapes may or may not have cultural heritage value independent of the landscape. Heritage Impact Assessments are required to ascertain the property's cultural heritage value and to ensure that any development maintains the cultural landscape criteria, available at http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

To determine the specific heritage status of a particular property visit <http://www.mississauga.ca/portal/services/property>. Submit the desired address and click on the "Heritage" tab. Further information is available by clicking the underlined "INV#." This last tab explains the reason why the property is listed or designated.

2. The following minimum requirements will be requested in a Heritage Impact Assessment:

- 2.1 A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.
- 2.2 A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

- 2.3 Documentation of the existing conditions related to the heritage resource will include:
 - Current legible internal photographs, external photographs from each elevation. Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.
 - Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated
 - Historical photos, drawings, or other archival material that may be available or relevant

2 of 6

Mississauga Heritage Impact Assessment Terms of Reference, June 2017

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

- 2.4 An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analysed in terms of its compliance with the Heritage Conservation District Plan.

Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

- 2.5 Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.
- 2.6 An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:
- Alternative development approaches
 - Isolating development and site alteration from the significant built and natural heritage features and vistas
 - Design guidelines that harmonize mass, setback, setting and materials
 - Limiting height and density
 - Allowing only compatible infill and additions
 - Reversible alterations

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

- 2.7 A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – *Standards*

3 of 6

Mississauga Heritage Impact Assessment Terms of Reference, June 2017

and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)

- 2.8 Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.
- 2.9 When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

3. Summary Statement and Conservation Recommendations

The summary should provide a full description of:

- The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable
- The identification of any impact that the proposed development will have on the cultural heritage resource
- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended
- Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate

4. Mandatory Recommendation

The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions **must** be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*?
- If the subject property does not meet the criteria for heritage designation then it

4 of 6

Mississauga Heritage Impact Assessment Terms of Reference, June 2017

- must be clearly stated as to why it does not
- Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

5. Qualifications

The qualifications and background of the person completing the Heritage Impact Assessment will be included in the report. The author must be a qualified heritage consultant by having Professional standing with the Canadian Association of Heritage Professionals (CAHP) and/or clearly demonstrate, through a Curriculum Vitae, his/her experience in writing such Assessments or experience in the conservation of heritage places. The Assessment will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

6. Approval Process

Two hard copies of the Heritage Impact Assessment, along with a PDF version, will be provided to the Heritage Planning unit. Hard copies must be no larger than 11 x 17 inches. Staff will ensure that copies are distributed to the Planning and Building Department and relevant staff and stakeholders within the Corporation. The Heritage Impact Assessment will be reviewed by City staff to determine whether all requirements have been met and, if relevant, to evaluate the recommendations presented by the Heritage Consultant on the alternative development options. The applicant will be notified of Staff's comments and acceptance, or rejection of the report. The Heritage Impact Assessment may be subject to a peer review by a qualified heritage consultant at the owner's expense.

All Heritage Impact Assessments will be sent to the City's Heritage Advisory Committee for information or review. Reports will be published online.

An accepted Heritage Impact Assessment will become part of the further processing of a development application under the direction of the Planning and Building Department. The recommendations within the final approved version of the Heritage Impact Assessment will be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.

7. References

5 of 6

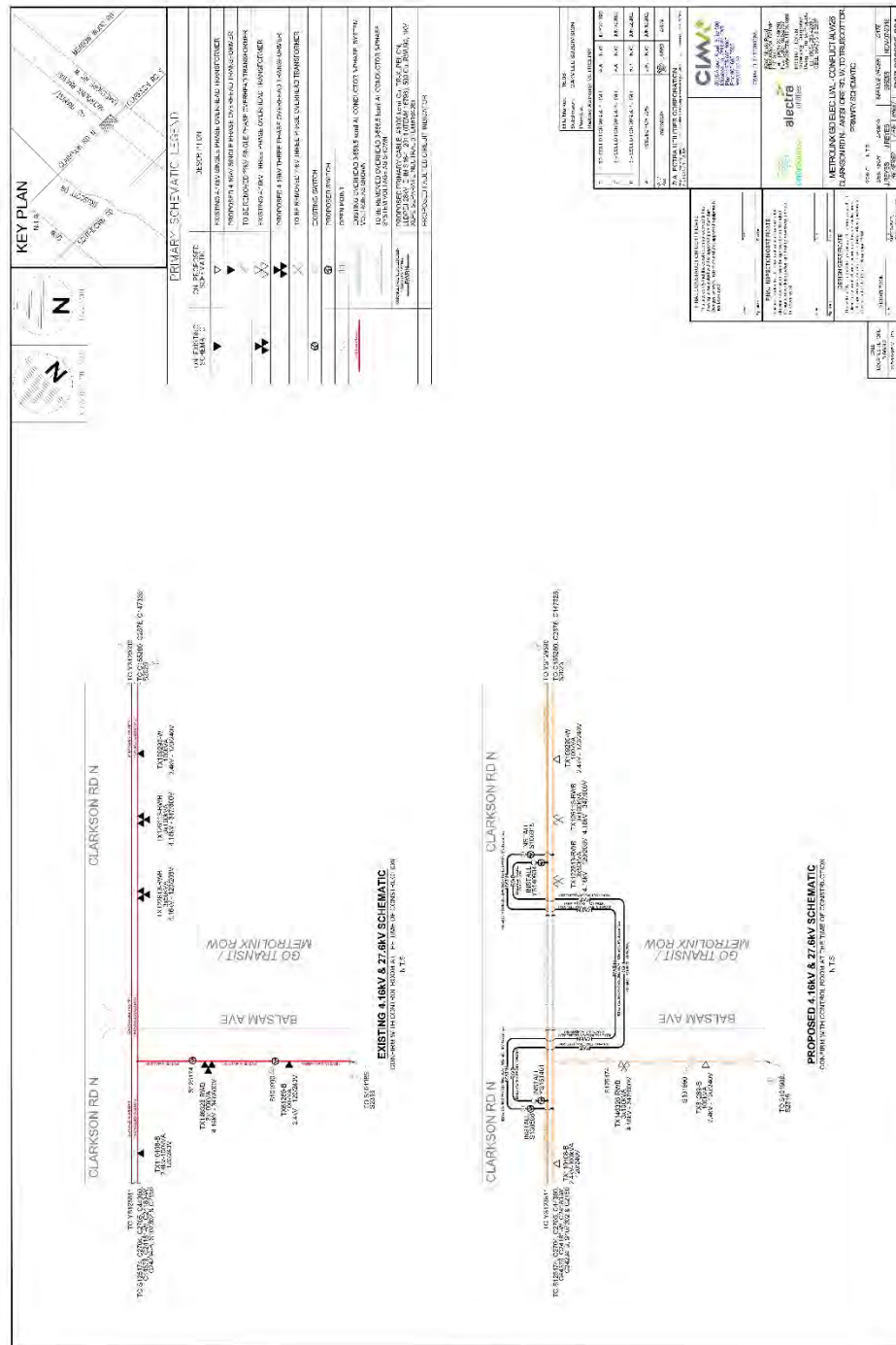
Mississauga Heritage Impact Assessment Terms of Reference, June 2017

Applicants looking for professional assistance may wish to refer to the Canadian Association of Heritage Professionals. website: <http://www.cahp-acecp.ca/>

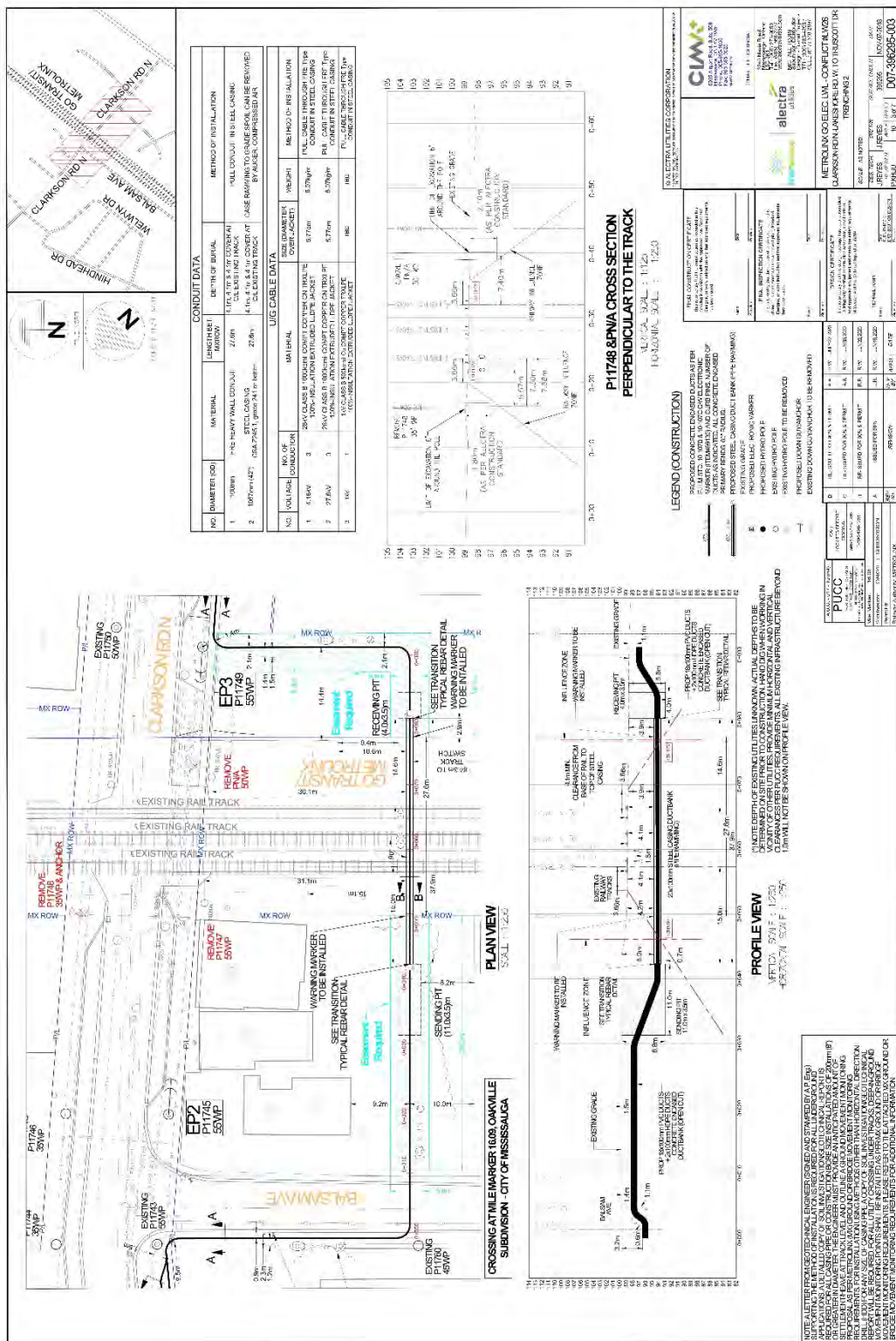
For more information on Heritage Planning at the City of Mississauga, visit us online at [http:// www.mississauga.ca/heritageplanning](http://www.mississauga.ca/heritageplanning)

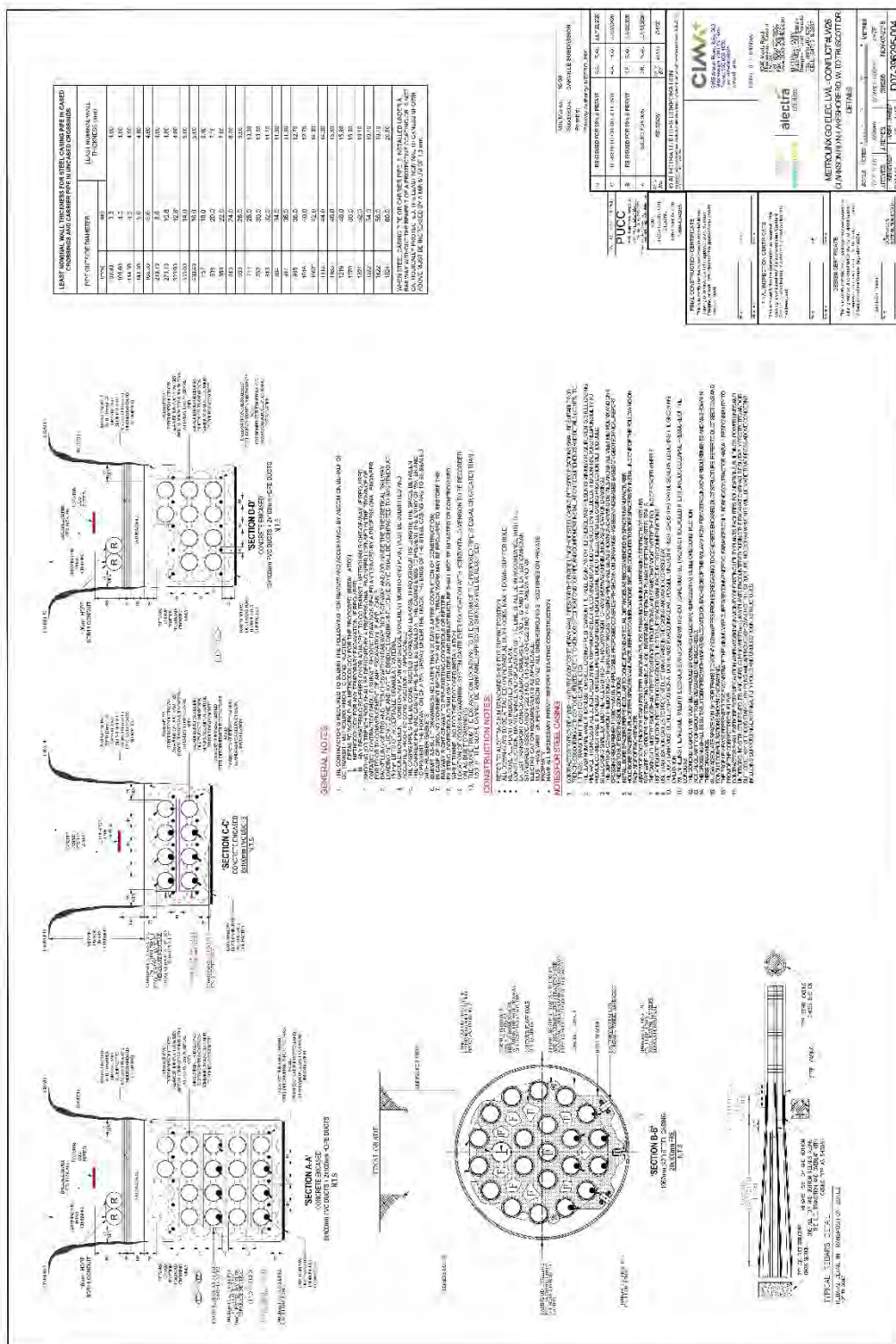
Interpretation Services: <http://www.mississauga.ca/portal/cityhall/languages>

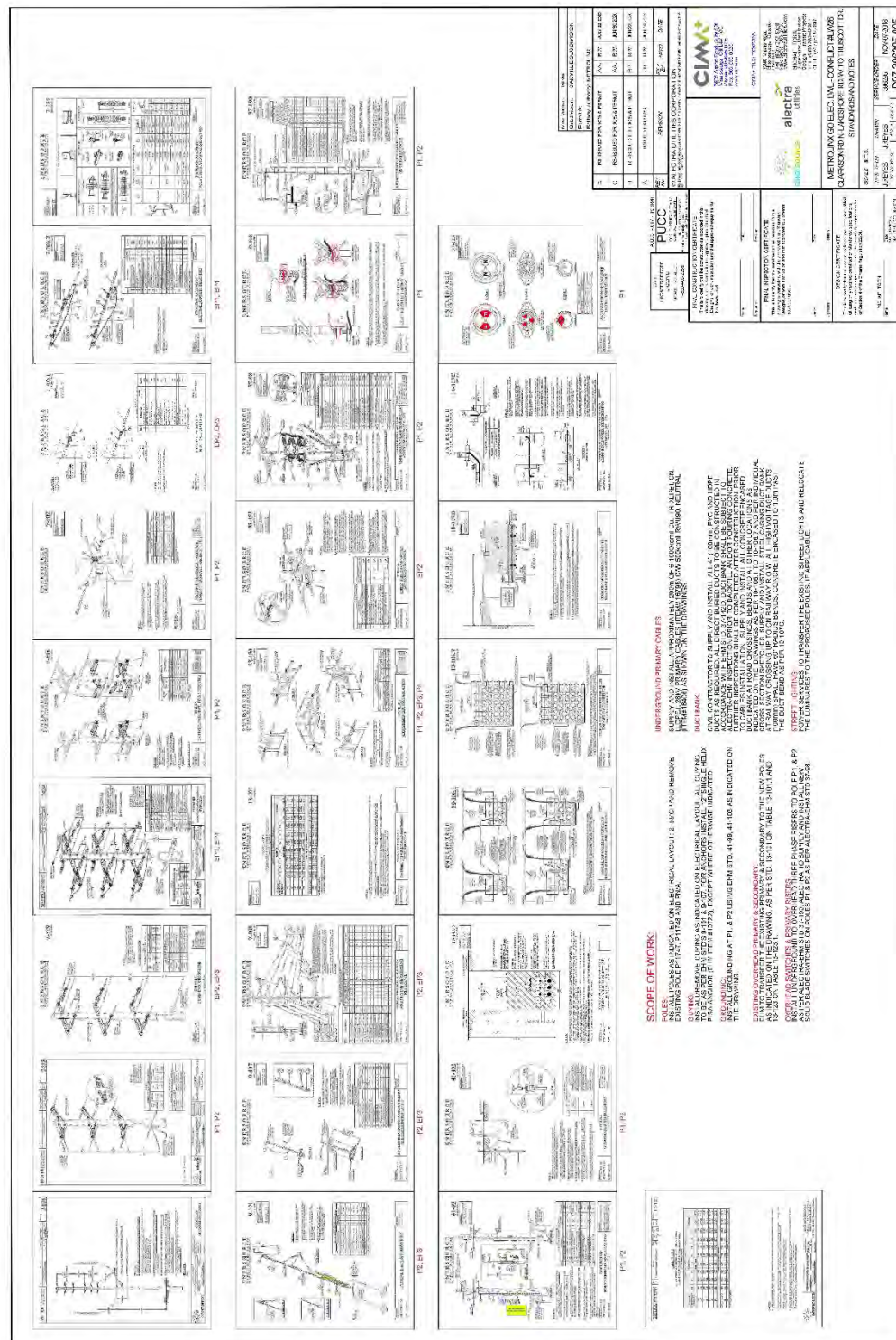
APPENDIX D: METROLINX GO ELECTRICAL LWL. – CONFLICT #LW26, CLARKSON RD. N - LAKESHORE RD. W TO TRUSCOTT DRIVE, ALECTRA UTILITIES CORPORATION, ISSUED JULY 2020

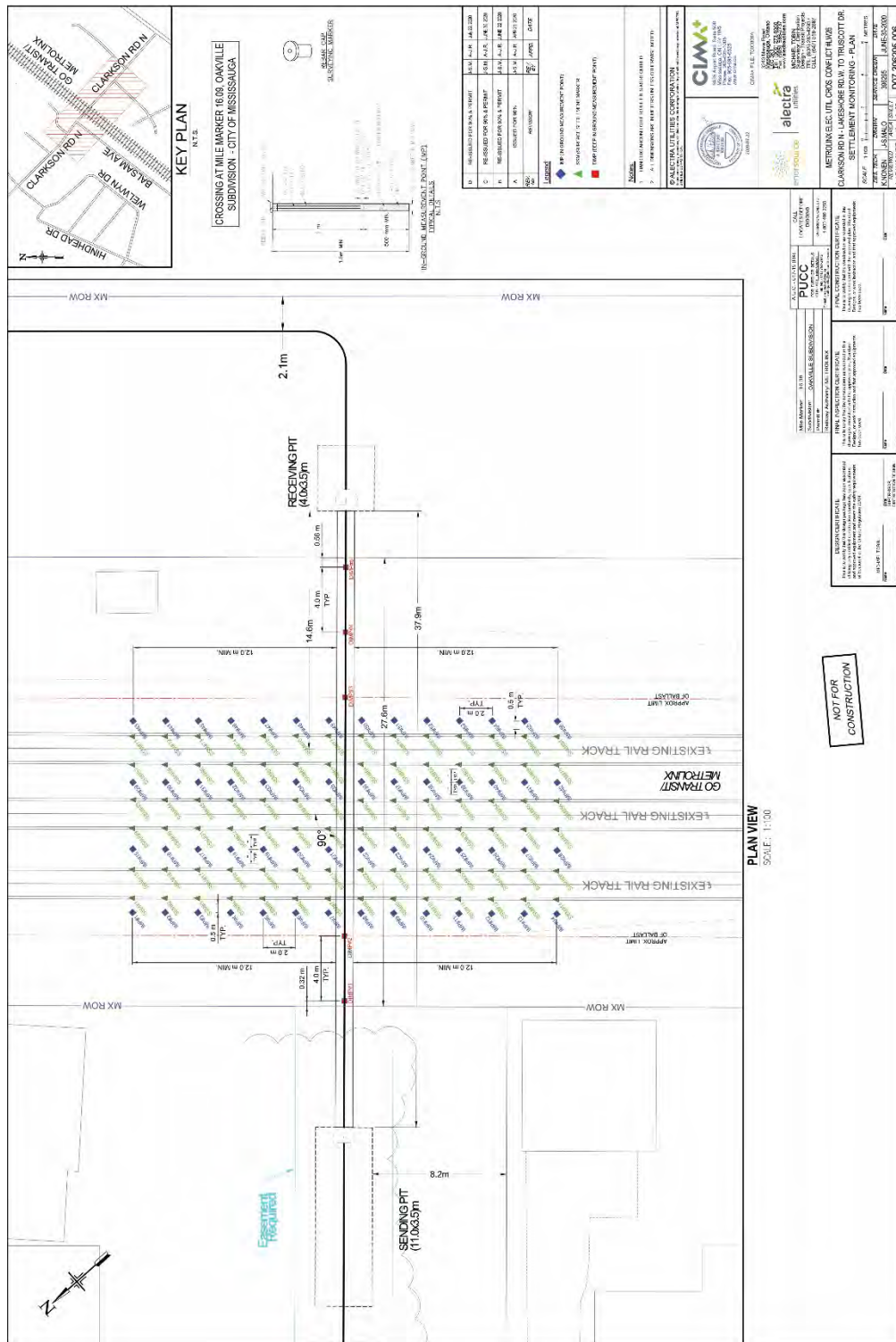


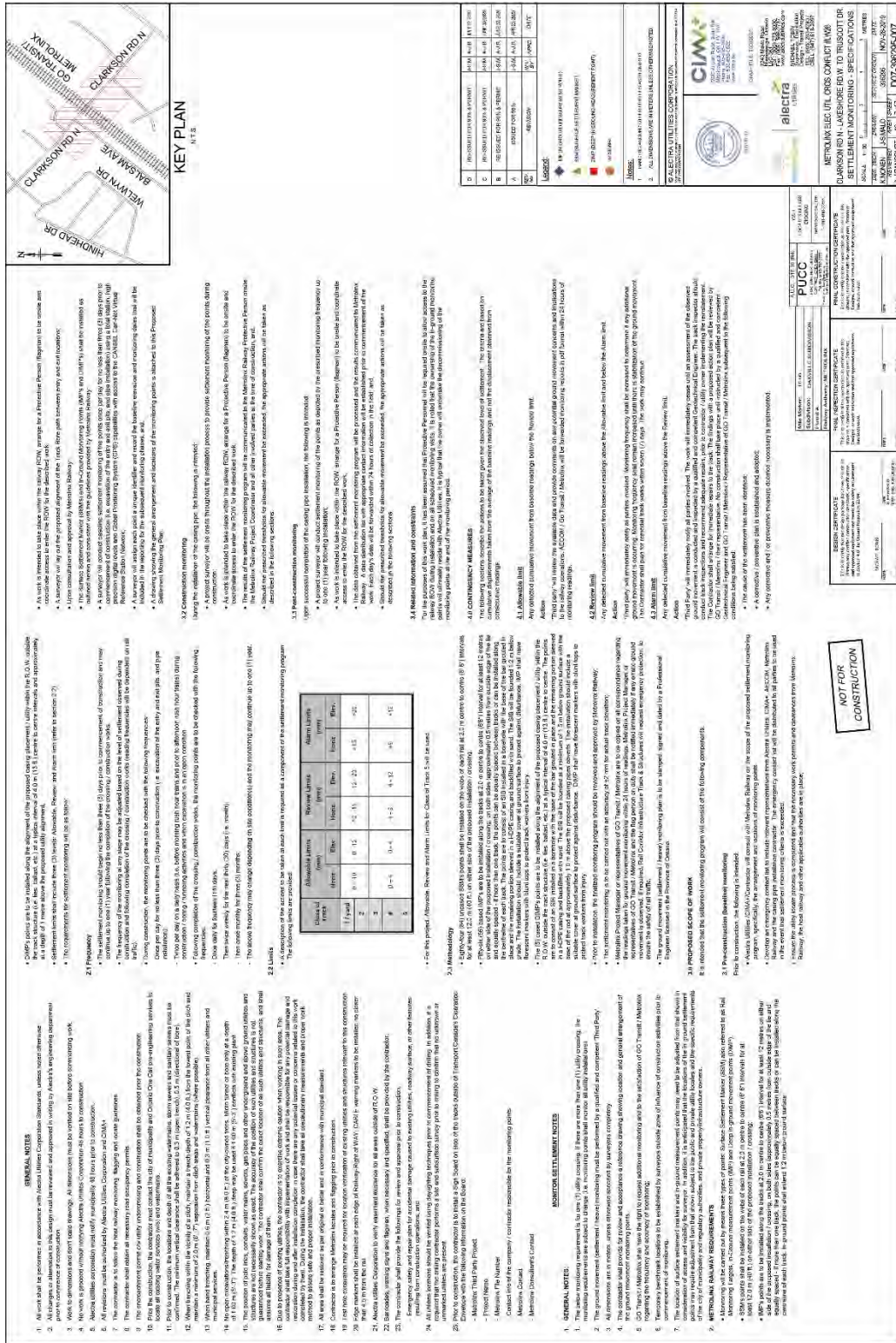












**APPENDIX E: CLARKSON FAMILY FILE, WILLIAM PERKINS BULL FONDS,
REGION OF PEEL ARCHIVES**

CLARKSON

CD

FAMILY HISTORY.

22 Jan. 1933

Name? Warren Clarkson 11800

Lot & Concession? Toronto S.D.S. Con. 2. lot 28 S pt. 50 ac. 1835

Date of birth? 1793 Date of death? 1882

Place of burial? Clarkson (Springcreek) Cemetery

Parents?

Where did they live?

From where did they come and when?

Wife's name? Susan

Wife's parent's names?

Wife's father's place of residence?

Date of wife's birth? 1797 Date of wife's death? 1853

Place of wife's burial? Clarkson (Springcreek) Cemetery

.....

What was Warren Clarkson's... Occupation? Farming

Religion? C. of E.

Politics?

What offices did he hold in the Community, Township, County, Province, School and Church?

Road Commissioner Toronto Twp. 1846

Lay Delegate from St. Peter's, Erindale to Synod.

To what Societies or Military Organizations did he belong?

Did he raise any pure-bred stock? If so, what breed?

-2-

11801 CD

Name? Warren Clarkson

Lot & Con. Tor. SDS Con. 2, lot 28

CHILDREN: Please give names, showing date of birth, where lived, to whom married, date of death, where buried.

William W. b. 1830 Lived Toronto SDS Con. 2, lot 29

Lourenda
m. ~~Loretta~~ Hemphill d. 1894 Buried Clarkson Cem.

Henry S. b. 1834 Lived Toronto SDS Con. 2, lot 28

m. Sarah Moseley d. 1918 Buried Clarkson Cem.

Lovina S. b. 1827 Lived Toronto SDS Con. 2, lot 28

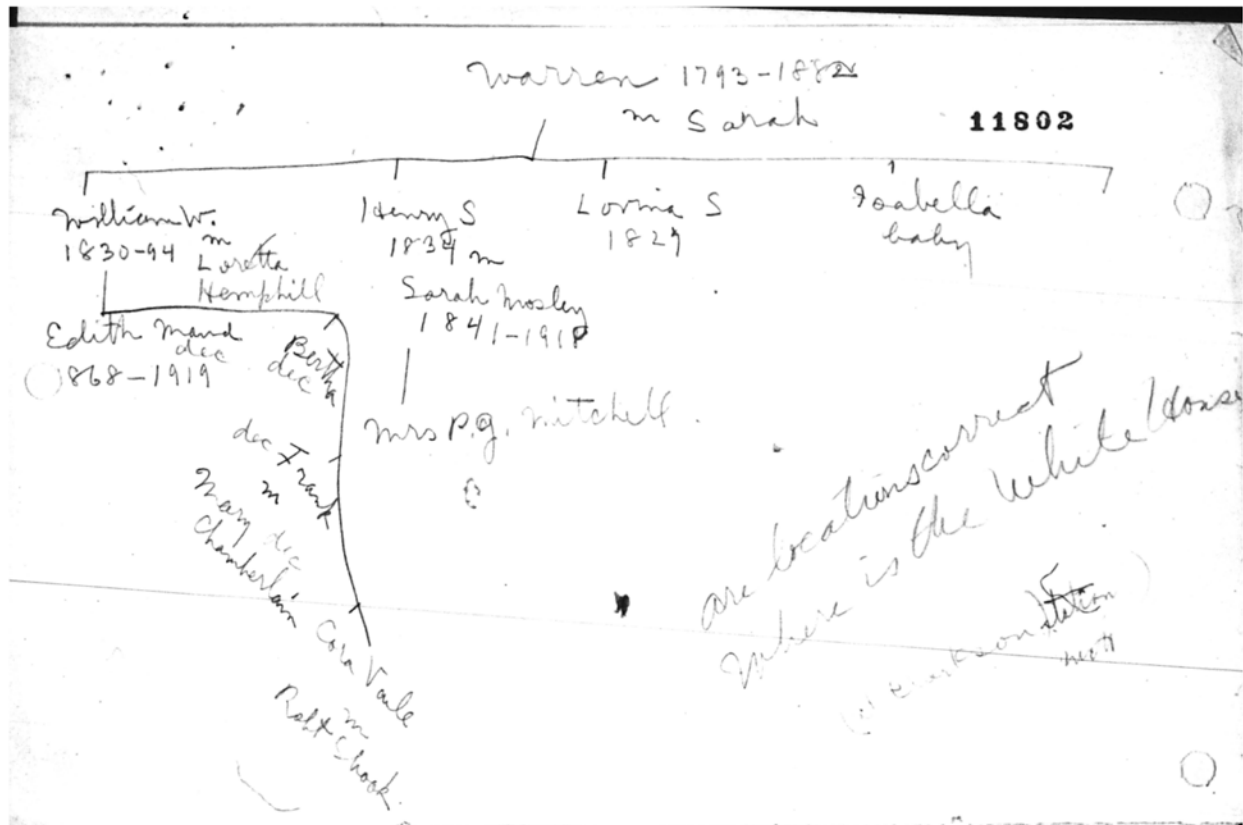
Unmarried	d. 1850	Buried Clarkson Cem.
-----------	---------	----------------------

ALSO OWNED: Chinguacousy West Con. 1, lot 11 100 ac. PATENT 1831
Toronto S.D.S. Con. 2, lot 30 pt. 1819

Any further information:

Warren Clarkson was one of the early settlers in this locality. The old cottage on the corner of the Lake Shore Highway and the Clarkson Road was the original Warren Clarkson home. Mrs. Warren Clarkson later built a larger house nearer the station, now known as the Clarkson homestead.

Warren Clarkson gave the land for a road running from the C.N. Ry. tracks to the Lake Shore Rd. in about 1845. When the Great Western railway went through his property in 1856, the point where it crossed the above mentioned road was known as Clarkson's Corner's. It was only a flag stop, but gave the name to the present village.



11803

Warren Clarkson

Minutes of the Home District Municipal Council.

TORONTO Township, 1846.

That \$45 be expended on the Credit Hills on the Lake Road, and on other roads south of Dundas Street in the old survey, and that Capt. J.B. Harris, Warren Clarkson, and Jacob Cook, be co missioners to expend the same.

11804

TT

THE TORONTO MIRROR, Vol. XIX. No. 13. "Delirant
Reges, Plectuntur Achivi."--Horace. Toronto, Canada,
Friday, November 23, 1855.

[one word]

MARRIED--At Richmondhill, C.W., on Tuesday, the 20th
November instant, at the residence of M. Teefy
Esquire, by the Rev. James Dick, Mr. Warren Clarkson,
of Springfield, Toronto Township, to Mrs. Mary Ann
Clarkson, of Richmondhill.

(Pioneer)

11805

WARREN CLARKSON

(M. Miceli)

Village of Clarkson named after this family.

born 1793

died 1882 - buried Clarkson (Springfield)
Cemetery.

Emigrated from Cheshire, England, to Pennsylvania
and from there to Peel in 1819.

Married Susan ----

born 1797

died 1853 - buried Clarkson (Springfield) Cem.

1819 - purchased part of Lot 30 Con.2 Toronto S.D.S. £100

1831 - Patent 100 acres Lot 11 Con.1 - Chinguacousy West
under Regulations of 1804

1835 - purchased Lot 28 Con.2 South part 50 acres,
Toronto S.D.S. - £162.10

1837 - Directory shows Warren Clarkson as Householder
of Lot 29, Con.2 Toronto S.D.S.

1850 - Directory shows him as Householder of Lot 29 also.

In 1846 shown as Commissioner of Roads for Toronto twp.

(According to Questionnaire from family)

Warren was a radical and when ~~the~~ Mackenzie was
being sought by soldiers he hid him in his farmhouse.
Six British soldiers through out hay, grain and thoroughly
searched the barns. For 3 days and nights they occupied
the kitchen and slept in front of the fire place of the

Warren Clarkson

11806 (2)

old Dutch oven (which still exists), while Mackenzie was hiding over their heads.

The old homestead or farmhouse was built by Warren and still has the retreat of Mackenzie. It is known as the White House. Henry Clarkson (son of Warren) added two rooms to the portion built by a Mr. Neath, a former owner.

CHILDREN

William W.

Henry Shook

Lovina S. - born 1827 - died 1850 - buried Clarkson Cem.

Isabella.

WILLIAM W. CLARKSON

(son of Warren)

born 1830

died 1894 - buried Clarkson Cemetery.

William W. lived on Lot 28, Con.2 S.D.S. Toronto twp.

William's father started him up in a store at Port Credit which was then a trading post but William failed here. (From family's own questionnaire).

Was a J.P. " " " "

~~CHURCHMAN - Mrs. P.O. Mitchell, of Clarkson.~~

Married Loretta Hemphill, dtr. of Nathaniel Hemphill and Hannah Vaile.

Clarkson

11807 (3)

Children of William W.

Bertha - unmarried

Frank - married Emma Chamberlain (she later married
Oliver Gable, son
of Sylvester Gable
and Mary Ann Kelley
of Lot 12 Range 2,
Toronto S.D.S.
SEE GABLE PIONEER.)

Edith Maud - born 1868 - died 1919 - buried Clarkson Cem.
Unmarried. In 1907 purchased 25 acres
Lot 28, Con.2 for \$2,800.

Cora Vaile - married Robert Shook, son of Henry Shook
and Alicia Starret, Toronto S.D.S. Con.2
Lot 30.

HENRY SHOOK (CLARKSON)

(son of Warren)

born 1834,

died 1901 - buried Clarkson Cemetery.

1855 - purchased 42½ acres South Pt. Lot 28, Con.2 for £200

(From Family Questionnaire)

Henry was on the United Church Board.

He was a civil engineer and worked with J.J. Hill on
American railroad construction. Henry started with Hill
when the latter had little money, and had to take his
pay in notes and doubtful railroad bonds. When he could
not get any cash from Hill and his creditors would not
accept payment of any more bonds, Henry returned to
Clarkson, bringing with him a nigger who was very loyal.

Clarkson

11808 (A)

Henry brought several hundred strawb/erry plants which he planted in the field directly opposite where the Clarkson Post Office now is. He and his faithful nigger ~~xxxxx~~ tended the plants very carefully and produced the first berries in Clarkson.

Married - Sarah ~~Mosley~~ Moseley

born 1841

died 1918

(Sarah's grandfather was an auctioneer who owned land just east of the Don. He kept 2 nigger servants. Later, Sarah with her family lived at Dixie and were neighbours of Colonel Kennedy's family).

1 child only --

Mildred Daymar -- married P. Geo. Michell.
now in Clarkson. (1936).

11810

(Pionner) *File*

WARREN CLARKSON (M. Miceli)

Village of Clarkson named after this family.

born 1793

died 1882 - buried Clarkson (Springfield) Cemetery.

Emigrated from Cheshire, England, to Pennsylvania and from there to Peel in 1819.

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(According to Questionnaire from family)

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11811

Warren Clarkson

(2)

old Dutch overn (which still exists), while Mackenzie was hiding over their heads.

The old homestead or farmhouse was built by Warren and still has the retreat of Mackenzie. It is known as the White House. Henry Clarkson (son of Warren) added two rooms to the portion built by a Mr. Heath, a former owner.

CHILDREN

William W.

Henry Shook

Lovina S. - born 1827 - died 1850 - buried Clarkson Cem.
Isabella.

WILLIAM W. CLARKSON

(son of Warren)

born 1830

died 1894 - buried Clarkson Cemetery.

William W. lived on Lot 28, Con.2 S.D.S. Toronto twp.

William's father started him up in a store at Port Credit which was then a trading post but William failed here. (From family's own questionnaire).

Was a J.P. " " " "

~~Married Loretta Hemphill, dtr. of Nathaniel Hemphill and Hannah Vaile.~~

Married Loretta Hemphill, dtr. of Nathaniel Hemphill and Hannah Vaile.

Clarkson

11812 (3)

Children of William W.

Bertha - unmarried

Frank - married Emma Chamberlain (she later married
Oliver Gable, son
of Sylvester Gable
and Mary Ann Kelley
of Lot 12 Range 2,
Toronto S.D.S.
SEE GABLE PIONEER.)

Edith Maud - born 1868 - died 1919 - buried Clarkson Cem.
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Lot 30.

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(son of Warren)

born 1834

died 1901 - buried Clarkson Cemetery.

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(From Family Questionnaire)

Henry was on the United Church Board.

He was a civil engineer and worked with J.J. Hill on
American railroad construction. Henry started with Hill
when the latter had little money, and had to take his
pay in notes and doubtful railroad bonds. When he could
not get any cash from Hill and his creditors would not
accept payment of any more bonds, Henry returned to
Clarkson, bringing with him a nigger who was very loyal.

11813

Clarkson

(4)

Henry brought several hundred strawberrry plants which he planted in the field directly opposite where the Clarkson Post Office now is. He and his faithful nigger ~~man~~ tended the plants very carefully and produced the first berries in Clarkson.

Married - Sarah ~~Mosley~~ Moseley

born 1841

died 1918

(Sarah's grandfather was an auctioneer who owned land just east of the Don. He kept 2 nigger servants. Later, Sarah with her family lived at Dixie and were neighbours of Colonel Kennedy's family).

1 child only --

Mildred Daymar -- married P. Geo. Michell.
now in Clarkson. (1936).

Mr Wm Perkins Bull K.C.
Meridiths Court.
Toronto.

- Clarkson Ont.
Feb. 3rd '36

11815

ack'd
Feb 9/36
MHW

Dear Sir, Your letter re Clarkson family came to me as my wife the last of the Clarksons is not well and the information I am submitting is what has been told me.

Warren Clarkson came from Cheshire to Pennsylvania. During the unsettled days there he became one of the U. E. Loyalists. Coming to Canada he joined the British army and for his services received a grant of land. This land included what Brampton now is built on. He bought Lot 29 and 30 Con 2 S. D. S. for \$100. I still have the deed dated 1819. The Clarksons are related to the Shooks. This is not very clear but one Pennsylvanian Dutch name that I believe is a great-grand mother of my wife (formerly Mildred Dapmar Clarkson). Her name was Rosana Boomis Schuckers. That name was altered to Shook.

When Warren Clarkson died he left 22 Acres to William and 115 to Henry. The 22 acres were north of the G. W. railway and west of the Clarkson Travelled Road. The reason for this division of land was due

to Warren ²Clarkson having started ¹¹⁸¹⁶William
in a store a Post Office which was then a
trading post. William failed here. Henry
who was a Civil Engineer and worked with
J. J. Hill on American railroad construction
had not received any help from his father.
Henry started with J. J. Hill when Hill
had little money and had to take his pay
in notes & doubtful railroad bonds.

Warren Clarkson was a radical
and when the 'little rebel' was being hounded
by soldiers his Mackenzie in the farmhouse.
Six British soldiers threw out hay, grain
& thoroughly searched the barns. For three
days & nights they occupied the kitchen &
slept in front of the fire place of the old
Dutch oven - (still there) while the Little
Rebel was hiding just over their heads.

Returning to Henry I took
Clarkson. When he could not get any
cash out of J. J. Hill and his creditors
would not accept payment of any more
bonds Henry returned to Clarkson
bringing with him a big black
nigger who was excessively loyal.
Henry also brought several hundred
strawberry plants. He planted them
in the field directly opposite where
the Clarkson Post Office now is.

He & the nisse³ tended these plants¹¹⁸¹⁷
very carefully & produced the first
berries in Clarkson.

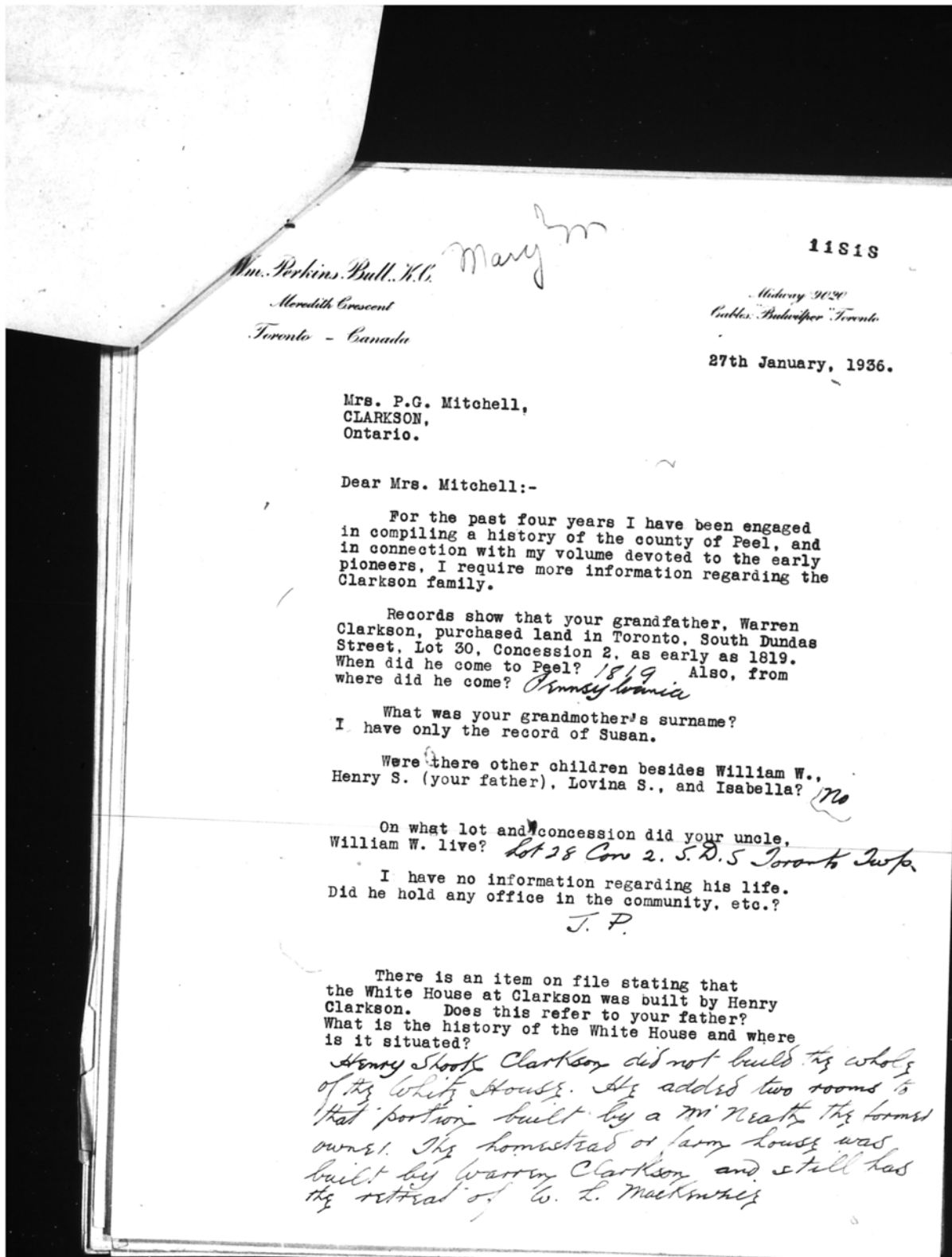
Henry Phook Clarkson
married Sarah Mosley. Her
grandfather Mosley was an auctioneer
and owned the farm just east of the
Don. The Don was the western
boundary. Oddly enough this Mosley
had two nisse³ servants. Sarah
Mosley with her family lived
at Dixie later neighbours of
Mrs Kennedy - mother of Jack &
Tom Kennedy - when she operated
a hotel at Dixie.

My wife Mildred Dajmar
Clarkson was their only child.

Any other information you
need I may be able to supply.

Yours truly

C. E. Mosley



11819

Mrs. P.G. Mitchell

(2)

Did your father hold any offices in the township, school or church?

on board of United Church

Did he raise any pure-bred stock? *No.*

brought Strawberry plants to Clarkson and produced the first berries grown in Clarkson.

Were there other children in your family besides yourself? *No.* Who are they?

There is a record of Joshua Clarkson, a native of the United States who, in 1819, purchased part of Lot 29, Concession 2, Toronto S.D.S. Is he a connection? *The same*

Any assistance you can render will be greatly appreciated, and as I am seriously held up for this data I shall be very glad to hear from you at your very earliest convenience.

Yours very faithfully,

Wm. Perkins Bull.

Per. *R*

MMH.

P.S.

Have you any old photographs or documents that you could loan me for reproduction? These of course would be returned in good order.

Was the village of Clarkson called after your family? *Yes.*

FAMILY HISTORY.

11820

Name? ^{Shook} Henry ~~Mc~~ Clarkson

Lot & Concession? Toronto S.D.S. Con. 2, lot 28 S. pt. 1855

Date of birth? 1834 Date of death? 1901

Place of burial? Clarkson (Springcreek) Cemetery

.....

Parents? Warren Clarkson and Susan

Where did they live? Toronto S.D.S. Con. 2, lot 28

From where did they come and when?

.....

Wife's name? Sarah Mosley

Wife's parent's names?

Wife's father's place of residence?

Date of wife's birth? 1841 Date of wife's death? 1918

Place of wife's burial? Clarkson (Springcreek) Cem.

.....

What was Henry S. Clarkson's Occupation?

Religion?

Politics?

What offices did he hold in the Community, Township, County, Province, School and Church?

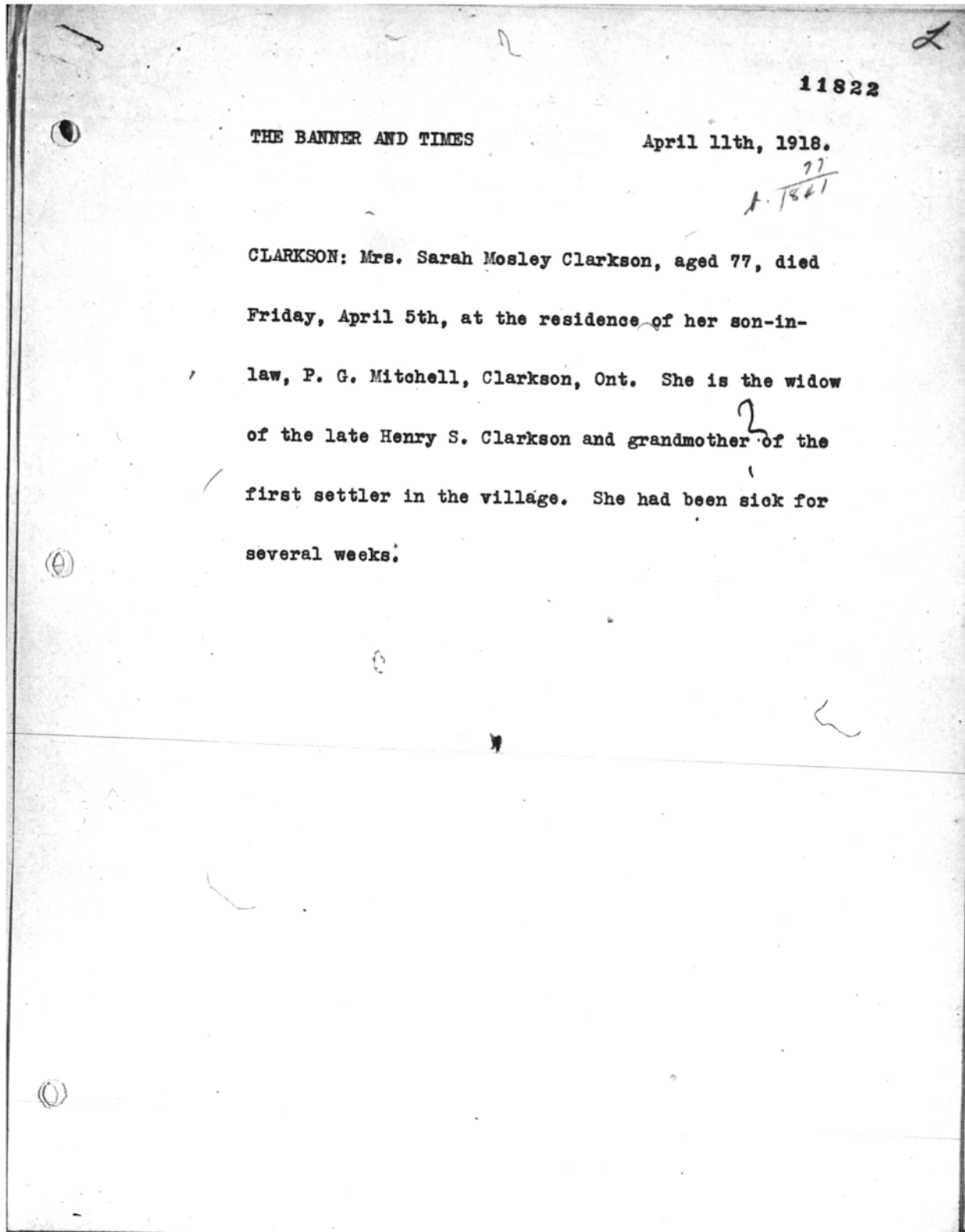
J.P. 1894

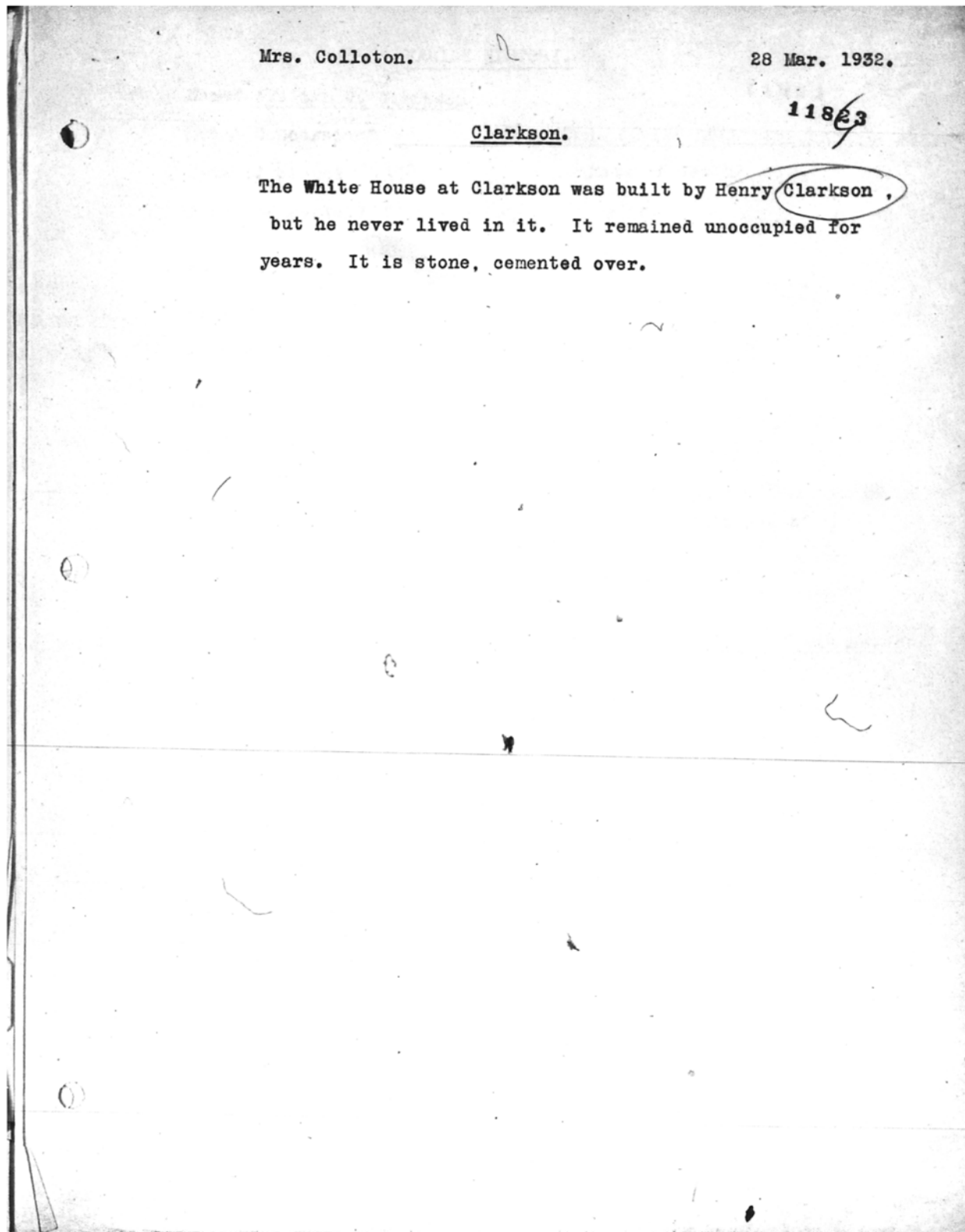
Auditor S.S. #5 - 1860

Trustee S.S. #5 - 1876, 77, 78.

To what Societies or Military Organizations did he belong?

Did he raise any pure-bred stock? If so, what breed?





FAMILY HISTORY.

CD
22 Jan. 1933

Name? William W. Clarkson 11824

Lot & Concession? Toronto S.D.S. Con. 2. lot 29 (Living here in 1877)

Date of birth? 1830 Date of death? 1894

Place of burial? Clarkson (Springcreek) Cemetery

Parents? Warren Clarkson and Susan

Where did they live? Toronto S.D.S. Con. 2, lot 28

From where did they come and when?

Wife's name? Lourenda
Loretta Hemphill

Wife's parent's names? Nathaniel Hemphill and Hannah Vaile

Wife's father's place of residence? Toronto S.D.S. Con. 2, lot 31

Date of wife's birth? 1836 Date of wife's death? 1897

Place of wife's burial? Clarkson (Springcreek) Cemetery

.....

What was William W. Clarkson's Occupation? Merchant & Post-master

Religion?

Politics?

What offices did he hold in the Community, Township, County, Province, School and Church?

To what Societies or Military Organizations did he belong?

Did he raise any pure-bred stock? If so, what breed?

NOTES TAKEN FROM MR. AND MRS. GEORGE VAILE.

Mar 17 1885
11825

CLARKSON.

Lourence Lemphill, daughter of Nathaniel Kemp-
hill, married William Clarkson. 4 children.

Lertha - dead, buried at Clarkson.

Frank - dead, M. Emma Chamberlain.

Edith -

Hand - Dead.

Dora -

Vaile - rs. Robert Chook - dead. Called
after her grandmother.

CD

-2- 11826

CHILDREN: Please give names, showing date of birth, where lived, to whom married, when died, and where buried.

<u>Bertha</u>	b.	Lived	d.	
	Unmarried		d.	Buried Clarkson Cem.
<u>Frank</u>	b.	Lived	d.	
	m. Emma Chamberlain		d.	Buried
<u>Edith Maud</u>	b. 1868	Lived Toronto	S.D.S. Con. 2, lot 28	
	Unmarried		d. 1919	Buried Clarkson Cem.
<u>Cora Vaile</u>	b.	Lived	d.	
	m. Robert Shook		d.	Buried

ALSO OWNED:

Any further information:

Wm. Clarkson started store and post-office at Clarkson, this being for years the only waiting room for travellers.

CD 5

22 Jan. 1933

FAMILY HISTORY

11827

Name? Edith Maud Clarkson

Lot & Concession? Toronto S.D.S. Con. 2. lot 28 25 ac. 1907

Date of birth? 1868 Date of death? 1919

Place of burial? Clarkson (Springcreek) Cemetery

Parents? William W. Clarkson and ~~Est~~ Loretta Hemphill

Where did they live? Toronto S.D.S. Con. 2. lot 29

From where did they come and when? Toronto S.D.S.

Any further information?

In 1906, Miss Edith M. Clarkson, who succeeded her father as post-mistress at Clarkson, enlarged the old building and built the new store.

Mrs. Maud Clarkson
11828

From Mrs. Charles Cordingley's Scrap Book.

CLARKSON On Sunday, Nov. 30th, at Clarkson, Edith
Maud Clarkson, daughter of the late William and Lorenda
Clarkson died (The year is not given). She was buried
in Clarkson Cemetery.

NS

11834

Clarkson (Springcreek)

CLARKSON, Warren F., d. 15 Feb. 1904, aged 42.
$$\begin{array}{r} 42 \\ 1862 \\ \hline 1904 \end{array}$$
Marie, w. of E. M. South, d. Sept. 1922,
aged 22.
$$\begin{array}{r} 22 \\ 1900 \\ \hline 1922 \end{array}$$
✓ William W., d. 15 Mar. 1894, aged 64.
$$\begin{array}{r} 64 \\ 1830 \\ \hline 1894 \end{array}$$
✓ Loretta Hemphill, his wife, d. 24 Mar. 1897, aged
61.
$$\begin{array}{r} 61 \\ 1836 \\ \hline 1897 \end{array}$$
Edith Maud, b. 29 Mar. 1868, d. 30 Nov. 1919.✓ Henry S., b. 1834. d. 1901.x H. Isabella, b. 1837, d. 1840.✓ Lovina S., b. 1827, d. 1850.✓ Warren, b. 1793, d. 1882.✓ Susan, b. 1797, d. 1853.

APPENDIX F: ARCHIVAL PHOTOS AND HISTORICAL PLAN



Figure 57: Edith and Cora Clarkson

(Source: Image BA0156, Historical Image Gallery, Mississauga Library System, undated)
Edith and Cora were the daughters of William Clarkson. Cora Clarkson married Robert Shook.



Figure 58: Edith Clarkson House 1160 Clarkson Road North, Plan G-13, Lot 1

(Source: Image BA0153, Historical Image Gallery, Mississauga Library System, undated)

PAGE TWO THE PORT CREDIT NEWS WEDNESDAY, AUGUST 29, 1934

Clarkson's Newest Shopping Centre **OPENS** **THURSDAY, AUGUST 30TH** **AT 2 P.M.**

The increasing popularity of the "grocery type" store and the economies effected by this system of merchandising have resulted in changing our store (W. T. McCord) from a service grocery to a CARLOAD GROCETERIA. We are confident that the residents of Clarkson and district will approve of this change and find both pleasure and profit in shopping at our new Groceteria.

Community Weiner Roast & Dance Sept. 5th

To celebrate the opening of this new CARLOAD GROCETERIA a community Weiner Roast and Dance is to be held on WEDNESDAY EVENING, SEPTEMBER 5th. Come and bring your friends.

TICKETS FREE TO OPENING DAY CUSTOMERS AUGUST 30th

Tickets for dancing and refreshments will be given to all opening day customers. Be on hand early, THURSDAY, August 30th, and secure your tickets. Store opens at 2 p.m.

DELIVERY SERVICE: Delivery is available on all orders for the sum of 5c per order.

SHOPPING BAGS — FREE SAMPLES and GIFTS

Some of Our Many GROCERY SPECIALS

Sugar, 10 lbs.....	53c
Lard, per lb.....	11c
White Sponge Flour, 7's.....	23c
24's.....	67c
Pure Light Honey, 2 1/2's.....	25c
Hillcrest Peas, No. 4's.....	2 for 19c
C. & B. Boned Chicken.....	23c
Chef Ready Meals.....	2 for 21c
Maxwell House Coffee, 1's.....	35c
1/2's.....	20c
Vinegar, Spirit or Cider, per gal.....	35c
Kipper Snacks.....	6 for 25c
Waxed Paper, 15 sheet roll.....	2 for 5c
Waxed Paper, 40 ft. roll.....	10c
Shortening, 2 lbs.....	17c
Black Fly Insecticide, 8 oz. tin.....	29c
Whole Mixed Pickling Spice, 1 lb.....	19c
Olives, 8 oz. Queen.....	15c
11 oz. Stuffed.....	25c
Olives, 11 oz. Queen.....	19c
8 oz. Stuffed.....	19c
Sugar Crisp Corn Flakes.....	3 for 19c
Scribblers (Carload) 180 pages.....	3c
Lead Pencils.....	3 for 5c
Kirk's Castile Soap.....	4 for 19c
St. William's Plum Jam, 32 oz.....	21c
Salada Tea, 1/2 lb.....	30c

MEAT PRICES MEATS AT CARLOAD PRICES PRICES CUT BUT QUALITY MAINTAINED

BEEF

Rump Roast of Beef.....lb.	11c
Round Steak Roast or Sliced.....lb.	14c
Prime Rib Roast of Beef.....lb.	12c
Shoulder Roast of Beef.....lb.	10c
Pot Roast.....lb.	8c
Brisket.....lb.	5c
Lean Hamburg Steak.....3 lbs.	19c
Stewing Beef.....3 lbs.	19c

LAMB

Choice Spring Lamb Legs.....lb.	18c
Short Loins.....lb.	19c
Fronts.....lb.	12c
Stewing Lamb.....lb.	10c

VEAL

Leg of Veal.....lb.	19c
Veal Chops.....lb.	17c
Roll Fillet of Veal.....lb.	13c
Home-made Sausage.....3 lbs.	25c

WATCH THURSDAY'S PAPER FOR BUTTER PRICES

Figure 59: An opening announcement of the Carload Groceteria in the local newspaper
(Source: Port Credit News, August 29, 1934)

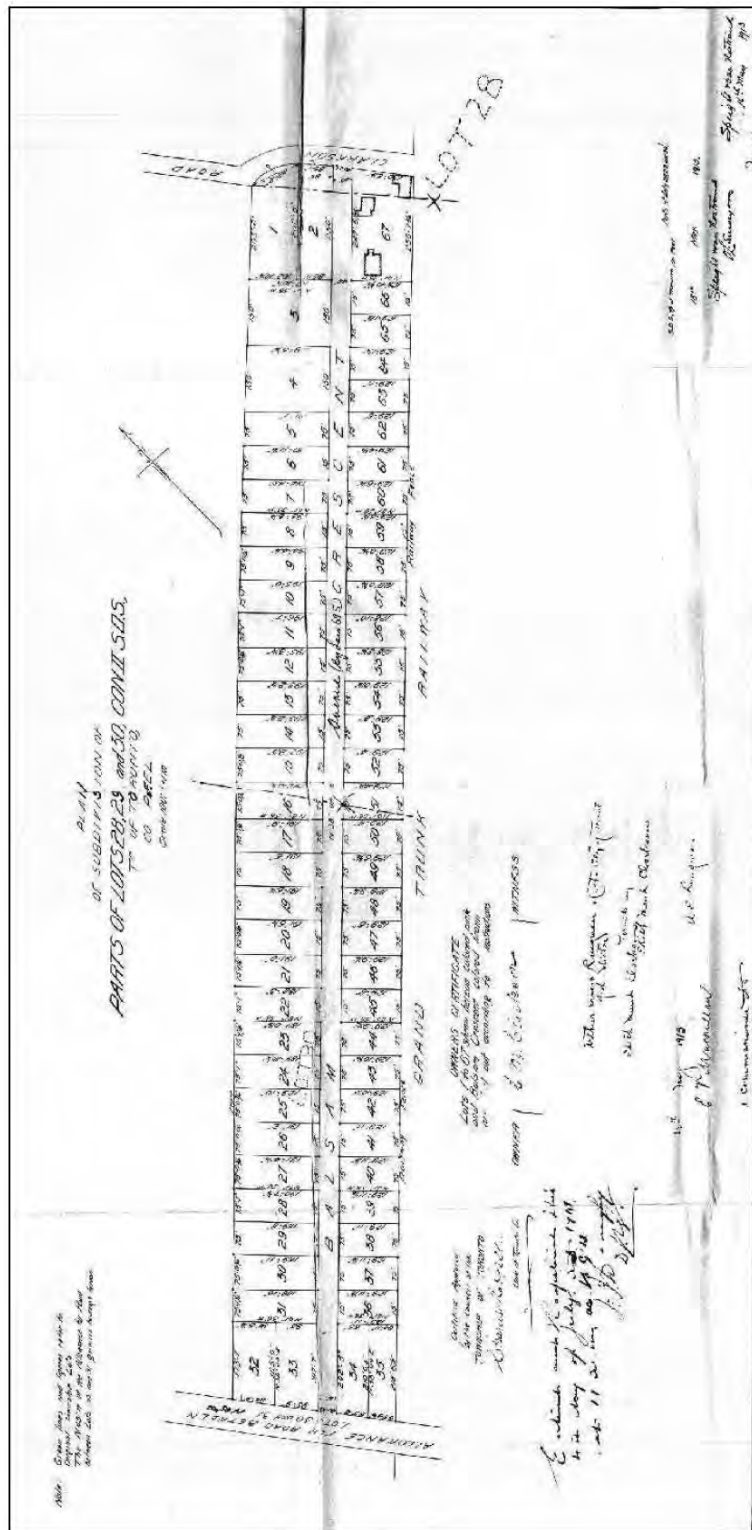


Figure 60: Plan G-13, Plan of Subdivision of Parts Lot 28, 29 and 30, Concession 2, SDS, Township of Toronto, Co. Peel, Speights and Van Nostrand, O.L. Surveyors Toronto, May 15, 1913.

**APPENDIX G: THE CORPORATION OF THE CITY OF MISSISSAUGA BY-LAW
0057-2017**

CERTIFIED A TRUE COPY

DIANA RUSNOV DEPUTY CLERK
CITY OF MISSISSAUGA

THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER .0057-2017

A By-law to designate the Clarkson Property located
at 1130 - 1140 Clarkson Road North as being of
cultural heritage value or interest

WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter O.18, as amended (the "*Heritage Act*"), authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

AND WHEREAS Council for The Corporation of the City of Mississauga approved the designation of the property known as the Clarkson Property, located at 1130-40 Clarkson Road North in the city of Mississauga (the "Property") as being of cultural heritage value or interest through Resolution 0078-2016;

AND WHEREAS in accordance with the requirements of the *Heritage Act*, a Notice of Intention to designate the Property was duly published and served, and no notice of objection to such designation was received by the Clerk of The Corporation of the City of Mississauga;

NOW THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. That the property, including all the buildings and structures thereon, known as the Clarkson Property located at 1130 - 1140 Clarkson Road North in the City of Mississauga and legally described in Schedule 'A' attached hereto, is hereby designated as being of cultural heritage value or interest under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O.18, as amended.
2. That the reasons for designating the Property are duly set out in Schedule 'B', attached hereto.
3. That the City Clerk is hereby authorized to cause a copy of this By-law to be served upon the owner of the Property and upon the Ontario Heritage Trust and to cause notice of this By-law to be published in a newspaper having general circulation in the city of Mississauga.
4. That Schedules 'A' and 'B' form an integral part of this By-law.
5. That the City Solicitor is hereby directed to register a copy of this By-law against the property located at 1130 - 1140 Clarkson Road North as described in Schedule 'A' in the proper land registry office.

ENACTED AND PASSED this 26 day of April, 2017.

APPROVED AS TO FORM City Solicitor MISSISSAUGA			
Date	2017	04	20

MAYOR

CLERK

SCHEDULE 'A' TO BY-LAW 0057-2017

Summary: Part of Lot 67, Registered Plan G-13
(To be designated under the Ontario Heritage Act)
(Ward 2, City Zone 10, in the vicinity of Clarkson Road North and Balsam Avenue)

Legal Description: In the City of Mississauga, Regional Municipality of Peel, Province of Ontario and being composed of part of Lot 67, Registered Plan G-13, designated as Parts 1 and 2, Plan 43R-37471.

Alnashir Jeraj
Ontario Land Surveyor

Page 1 of 1

SCHEDULE 'B' TO BY-LAW NO. 0057-2007**DESIGNATION STATEMENT**
Clarkson Property, 1130 - 1140 Clarkson Road North**Description of Property**

The subject property is located on Part of Lot 67, Registered Plan G-13, designated as Parts 1 and 2, Plan 43R-37471, formerly part of Lot 28, Concession 2 SDS, Toronto Township at the municipal address of at 1130 - 1140 Clarkson Road North, City of Mississauga.

The subject property, in its entirety, functions as a physical, historical and contextual reminder this was once the principal location of the Clarkson's village commercial core from the 19th century onwards.

Statement of Cultural Heritage Value or InterestDesign/Physical Value

The subject property, located at 1130-1140 Clarkson Road North in the City of Mississauga is an important and significant cultural heritage property that has design, associative and contextual values.

The design/physical value of the subject property relates specifically to the Clarkson Store and the William Clarkson House.

The Clarkson Store was substantially altered from its 19th century form c. 1906-1910. These early 20th century alterations are considered to be of sufficient age as to form an integral part of the history of the building. Although more recent exterior alterations have been completed, the store building still retains its 1906-1910 height, scale, shape, form and massing and a commercial storefront of an early 20th century rural store. Examples of rural commercial stores of this age are considered to be a diminished resource in the City.

The William Clarkson House is a vernacular, mid-19th century, wood frame residence with characteristics of the Gothic Revival style. When built, it was one and one-half storeys high with a front/cross gable roof, rectangular floor plan, symmetrical arrangement of openings on the principal facades and a wrap-around verandah. Exterior details included clapboard siding with corner boards and door and window openings with triangular shaped heads on the front elevation. Despite later alterations to the exterior including the installation of new siding, the addition of two roof dormers, removal of the original chimneys and some modifications to the door and window openings, the building retains its dominant form and exterior elements of its original design character.

Historical/Associative Value

The property has historical value for its associations with an important settlement family that contributed significantly to the settlement of Clarkson and Toronto Township in the 19th century. In recognition of the significance of the Clarkson store to the community, the road passing in front of the general store, and later post office, the train station, and the village were all named Clarkson. The local GO Transit train station still bears the family name.

The Clarkson family was fundamental to the development of the local community. Warren Clarkson was one of the first settlers in this area of Toronto Township. His decision to locate the first general store in the area, the construction of the railway beside the store, which ensured the community's economic viability, and the location of the first postal service in the store represent and illustrate important social and development periods of the community's history.

The property was the site of the first post office in Clarkson, an event that meant local residents no longer had to travel to Erindale to retrieve their mail. The post office was located in the Clarkson Store, the focal point of the community. It was located on the subject property for 80 years from 1875 to 1955. A new, separate post office building was constructed in the late 1940s beside the store and house.

Contextual Value

The subject property, in its entirety, has been identified as having contextual value relating to the historical, visual, physical and functional links between the property, its buildings and the surrounding neighbourhood that once formed the nucleus of Clarkson's Corners, later Clarkson,

Page 1 of 2

people and activities that were significant to the community and its ability to yield information that contributes to an understanding of the community. The property was the site of Warren Clarkson's store in 1835. The store became the nucleus of the historic settlement community and in 1875, the location of the first post office to serve Clarkson.

The three buildings on the subject property are positioned on the north side of the railway tracks facing onto and set close to Clarkson Road North, an important transportation north to south route both historically and currently. This setting of the subject property is valued for maintaining the 19th and early 20th century character of the historic village core of Clarkson village. The original Clarkson land holdings were subdivided as Plan G-13 in 1913 and the buildings were placed on Lot 67. The configuration of Lot 67 has not been subdivided since 1913 and is clearly delineated in the environment between the railway tracks to the south and Balsam Avenue to the north.

The property with its buildings is the pivot point for historically, visually and contextually linking the adjacent properties associated with the Clarkson family and the village. The Clarkson Store on the south end beside the railway track and the William Clarkson House on the north end of the property at Balsam Avenue are clearly visible in the streetscape. The subject property at 1130-1140 Clarkson Road North is considered to be a physical landmark in the community.

The heritage attributes of the subject property located at 1130-1140 Clarkson Road North include, but are not limited to the following listed.

Heritage Attributes

- The placement and orientation of the buildings, the Clarkson Store, the former Post Office Building and the William Clarkson House, in their original positions on the west side of Clarkson Road North to the north at the railway tracks with the principal elevations facing onto the said road.
- The integrity of Lot 67, Plan G-13 on which the three buildings are located.
- Its pivotal position in the historic core of Clarkson as an historical, visual and contextual link adjacent to the neighbourhood properties associated with the Clarkson family, former commercial, industrial and residential buildings that were clustered around the store and the location of the former Clarkson's railway station.
- The wood frame construction, the scale, height, form, massing, gable roofline, original window and door openings and the commercial storefront of the Clarkson Store.
- The wood frame construction, the scale, height, form, massing, gable roofline, original window and door openings, and verandah of the William Clarkson House.
- The north and south views to the subject property and its three buildings from Clarkson Road North.

APPENDIX H: RESUME

A. DAVID ECKLER, AREA



FIRM PROFILE | HERITAGE & MUSEUM WORK

AREA is a full service firm, based in Toronto and operating across Canada, which specializes in the restoration and adaptive re-use of historic buildings, urban design for heritage streetscapes and approvals under the Ontario Heritage Act. The firm has a history extending over 30 years of practice, and is managed by 2 principals and 8 technical staff – including intern architects, interior designers and architectural technologists – with experience in the documentation and restoration of historic buildings and sites. Although we are qualified for heritage and museum projects, the members of our firm have also undertaken a wide range of institutional and commercial projects often involving the integration of historic components into new developments.

AREA and its staff are members of various heritage associations and advisory boards across Canada. David Eckler, B.E.S., B.Arch., OAA, MRAIC is an active member in many heritage associations including the Architectural Conservancy of Ontario Advisory Board. He is a former Vice-Chair of Heritage Toronto, which advised Toronto City Council on heritage matters as a LACAC under the Heritage Act. Bernard Rasch, B.Arch., PPOAA, FRAIC, ARIBA has served on a number of heritage committees and boards including the Markham District Historical Society and City of York Historical Committee and the Metro Board of Management for The Guild from 1984 to 1998 where he served in many positions including Chair & Vice-Chair of the Board.

Historical Façade Improvement Guidelines & Heritage Districts

- Stouffville Main Street Revitalization, 1998, DEA was presenter at workshop
- Yonge Street Commercial Façade Improvement Program, 1996, received City approval of grant
- Woodstock Façade Improvement Program, 1995, DEA initiated program for City
- Hazelton-Yorkville Area Heritage Conservation District Study, City-sponsored study
- Fergus Downtown Community Masterplan & Design Guidelines

Historic Museums, Institutional & Cultural Buildings

- Officers' Quarters (1830), Military & Naval Establishment, Discovery Harbour, Penetanguishene
- Spence Half-Way House Restoration (c. 1850), Muskoka Pioneer Village, Huntsville
- Sharon Temple Compound (1821), Sharon, York Region
- Heliconian Hall (first Olivat Sunday Schoolhouse, circa 1876), (Yorkville)
- Cedar Ridge Studio Gallery (1918), 225 Confederation Drive, (Scarborough)
- Aurora Historical Society Museum (1886 school), 22 Church Street, Aurora
- The Niagara Institute (early 20th.c), 9 Weatherstone Crt., Niagara on the Lake
- St. Lawrence Hall (1840) - renovations of town hall to accommodate National Ballet School

Historic House Restorations

- Jacob Ross House Restoration (1852), 108 Stayner Ave.
- William Wonch House Restoration (1840), 2777 Woodbine Ave., Markham
- Robert Milroy House Restoration (c. 1833), 7111 Reesor Rd., Markham
- McDougall Farmhouse (1893) Heritage Assessment, James Snow Parkway, Milton, ON
- Devonian House Restoration & Addition (circa 1923), 144 John St. E., Niagara on the Lake
- Savage House & Blacksmith Shop (c.1840), 1480 Derry Rd. E., Mississauga

Converted Historic Residences

- Old Post Inn (c. 1830), 367 Kingston Road East, Ajax
- Valley Halla Villa (Jackson Residence, 1922), Toronto Zoo, Rouge Valley, Scarborough
- Armour Heights Officer's Mess (1913, 'Strathrobyn'), Canadian Forces College, 215 Yonge Blvd.
- Bellevue Daycare Centre (1887), 95 Bellevue Ave.
- Gerrard & Bay Historic Houses (1860-1890), 68-84 Gerrard St. W.
- Toronto French School Restoration (Silton Estate, 1923), 294 - 318 Lawrence Ave. E.

AREA

EDUCATION

University of Waterloo
B.Arch (1985)
B.E.S. (1982)

MEMBERSHIPS

Ontario Association of
Architects
(Former Councillor & Chair
Awards Committee)

Royal Architectural Institute of
Canada

Canadian Standards
Association (CSA)

Architectural Conservancy of
Ontario Advisory Board

Society for the Study of
Architecture in Canada

Heritage Canada Foundation

Ontario Historical Society

CAREER SUMMARY

AREA Architects Rasch Eckler
Associates Ltd.
President
2001 to Present

David Eckler Architect
1991 – 2001

Page & Steele Architects
1989 – 1991

Arthur Erickson Architects
1986 – 1989

DAVID ECKLER BES, B.Arch., OAA, MRAIC
AREA, Architects Rasch Eckler Associates Ltd.
President & Principal – Senior Heritage Architect

David Eckler is the firm's principal and is responsible for the design, construction drawings, specifications and construction administration of all heritage projects in the office. Mr. Eckler has over 25 years experience in the conservation, restoration and adaptive reuse of heritage structures for government, non-profit agencies and private sector owners and developers. Mr. Eckler directs the Concept Design, Design Development and Contract Documents phases of heritage projects and authors many of the firm's heritage assessment reports.

Mr. Eckler established a specialization in heritage conservation beginning in 1992 with his previous firm *David Eckler Architect (DEA)* and continuing in his current practice, *AREA Architects*. His architectural heritage services include feasibility studies, preservation planning, infill projects within historic districts, adaptive reuse and building restoration. David is an active member in many architectural and heritage associations including the *Architectural Conservancy of Ontario Advisory Board*. He is a past member of the *Canadian Association of Professional Heritage Consultants* and is a former Vice-Chair of *Heritage Toronto*, which advised Toronto City Council on heritage matters under the Heritage Act and as an advisory board for the city's museums.

Mr. Eckler has particular experience in the restoration of heritage properties within public parks and cultural landscapes. An example of a heritage attraction in a park setting is the restoration of the Officers' Quarters within the *Discovery Harbour* museum in Penetanguishene. He has most recently worked on the restoration of the historic site of the *1910 Allan Gardens Conservatory*.

RELEVANT EXPERIENCE: Toronto location unless indicated

Heritage Adaptive Re-use

- Goldring Student Centre (Wymilwood, 1954) – 150 Charles St. W., Toronto
- Warwick Office Building (1905) – 401-409 King St. W.
- Church of Christ, Scientist (1928), Condominium Redevelopment, 70 High Park
- Eglinton Hunt Club (1929) – Condominiums, 1355 Kingston Rd.
- Hutton House (1853) – Community Centre, Ardmore Park, St. Marys
- Bellevue Daycare Centre (1887) – 95 Bellevue Avenue

Restoration of Institutional Historic Buildings

- Allan Gardens Conservatory Complex (1910) – 160 Gerrard St. E.
- Aurora Historical Society Museum (Church Street School, 1886)
- Toronto French School (Sifton Estate, 1924) – 306 Lawrence Ave. E.
- Armour Heights Officers' Mess ('Strathrobyn' 1913) – 215 Yonge Blvd.
- Medical Arts Building Restoration (circa 1929)
- Officers' Barracks (1830) – Discovery Harbour, Penetanguishene
- Heliconian Hall (first Olivet Church, 1876) – 35 Hazelton Ave.

Heritage Planning, Parks & Streetscape Design

- Cookstown Heritage Conservation District – Innisfil, ON
- Old Pickering Village Planning & Heritage Study, Ajax
- Yorkville-Hazelton Avenue Heritage Conservation District
- Limehouse Kilns Heritage Masterplan, Halton Hills
- Confederation Commemorative Park, Charlottetown, PEI
- Gerrard & Bay Historic Houses (1860-1890)

City of Mississauga Memorandum



Date: March 11, 2021

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting date: April 13, 2021

Subject: **Alteration to a Listed Heritage Property: 1249 Mississauga Road (Ward 2)**

This memorandum and its attachment are presented for the Heritage Advisory Committee's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction."

An alteration is proposed on property that forms part of the Mississauga Road Scenic Route and Credit River Corridor Cultural Landscapes. The Heritage Impact Assessment is attached as Appendix 1.

Attachments

Appendix 1: Heritage Impact Assessment

Paul Damaso, Director, Culture Division

Prepared by: P. Wubbenhorst, Heritage Planner

W.E. OUGHTED & ASSOCIATES INC.

Heritage Impact Assessment



1249 Mississauga Road

January 2021

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Introduction

This Heritage Impact Assessment (HIA) has been prepared by W.E. Oughtred & Associates Inc., as a requirement for obtaining a heritage permit for the alterations and additions to the existing dwelling at 1249 Mississauga Road. 1249 Mississauga Road is a part of the Credit River Corridor Cultural Landscape and the Mississauga Road Scenic Route within the City of Mississauga Cultural Landscape Inventory.

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.¹

The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep. In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the

¹ Landplan Collaborative Ltd. Cultural Landscape Inventory, January 2005

sands and boulder till off the Iroquois Plain. The last mile of the river is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging. Despite its size, the River has had significant impact on the settlement of the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the river continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The river provides the residents of Mississauga with a variety of recreational and educational opportunities. The Credit River Valley is the most significant natural feature remaining in the City of Mississauga. (excerpts from The Physiography of Southern Ontario)²

This report was prepared in accordance with the City of Mississauga's Terms of Reference for Heritage Impact Assessments (June 2017). A site inspection was undertaken by W.E. Oughtred & Associates on December 22, 2020, to assess and document the property and its relationship to the neighbourhood.

² Landplan Collaborative Ltd. Cultural Landscape Inventory, January 2005

Location and Site Description

1249 Mississauga Road is located south of the QEW, on the east of Mississauga Road.

Municipal Address: 1249 Mississauga Road

Legal Description: Part of Lot 2, Registered Plan A-10

Lot Area: 4778.56 sm

General Location: South of the QEW, east side of Mississauga Road

Mississauga Ward: 2

Mississauga neighbourhood: Lorne Park

Zoning: R1-3, Residential and G1, Greenbelt

FIGURE 1: LOCATION MAP

Subject property

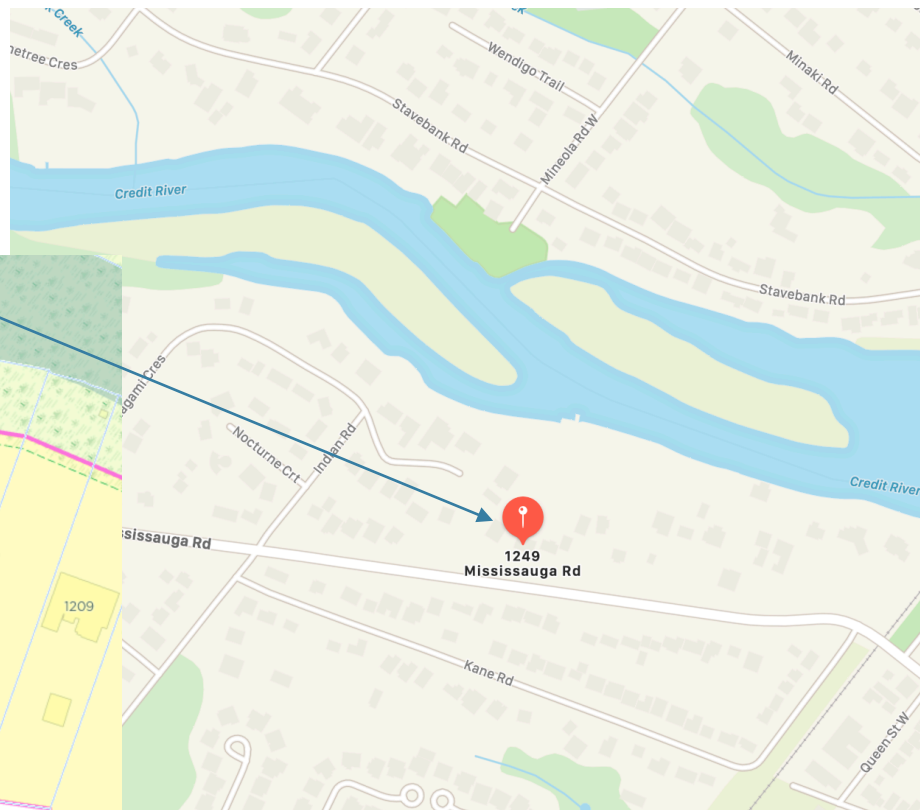
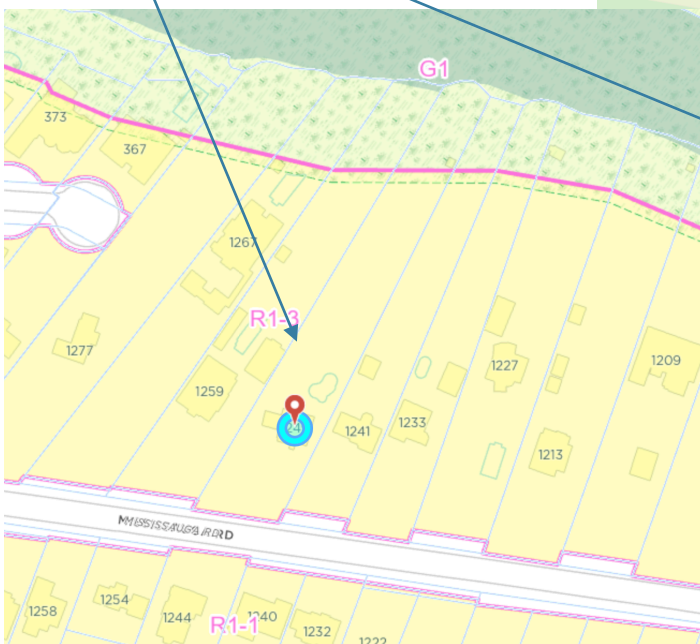
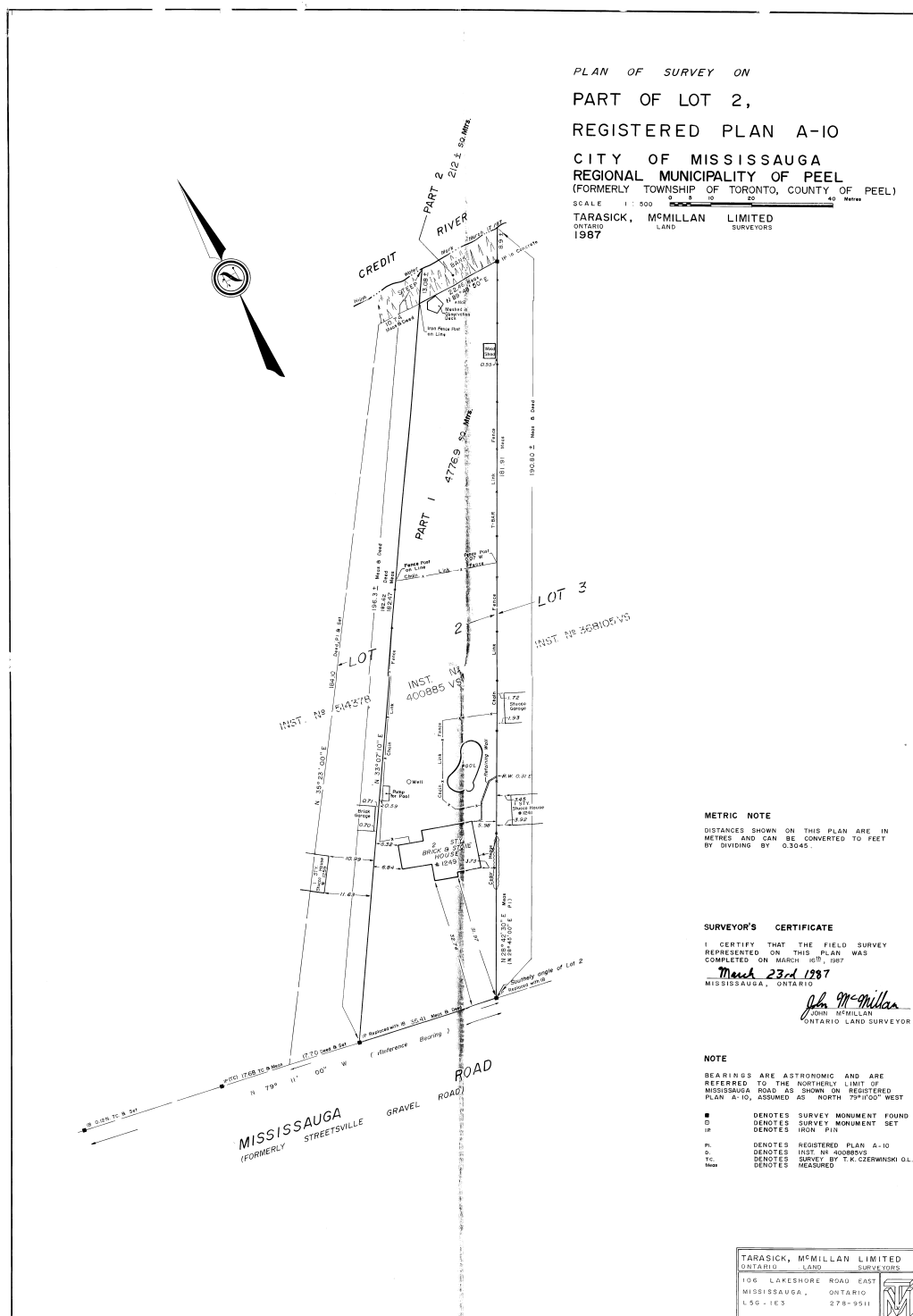


FIGURE 2: DETAILED LOCATION MAP (LEFT)

The property is an irregularly shaped lot, wider at the front, narrowing at the back at the Credit River. It has a frontage of 35.41m on Mississauga Road and reduces to a width of 22.46m at the river. The subject property contains a single family detached dwelling, two sheds, a treehouse, a gazebo, and stairs to a dock at the river. Landscaping features include an in-ground pool, stairs and a dock. The gazebo, dock and stairs are located within the greenbelt zone.

A copy of the topographic survey is included below.

FIGURE 3: TOPOGRAPHIC SURVEY



Property History

There is no reference to when the dwelling was built. However, it does appear on the 1954 aerial photograph, thus it was built prior to then.

FIGURE 4: PLAN A10, 1909

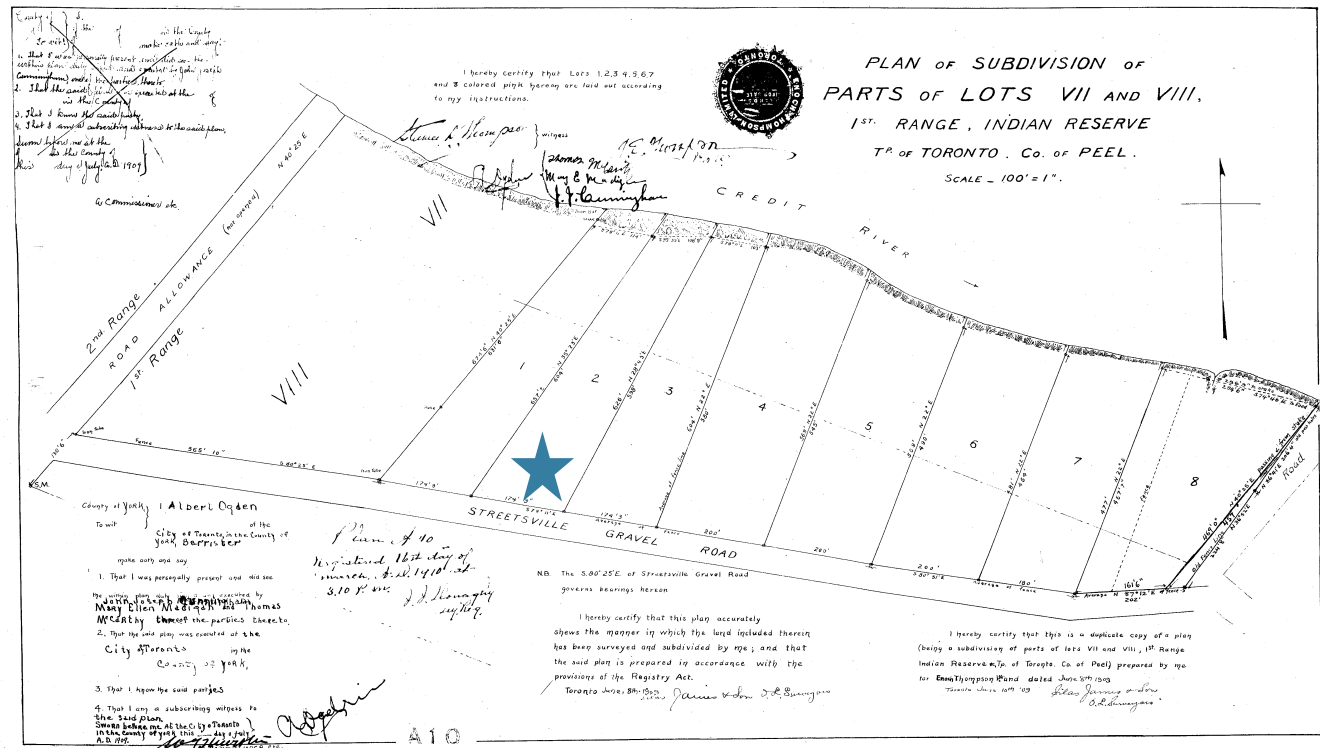


TABLE 1: TITLE CHAIN

A summary of the title chain from the Crown to the current owners was undertaken by Stephen Nott Conveyancing Services.

DATE	GRANTOR	GRANTEE
	Lot 7, Range 1, CIR	
July 11, 1854	The Crown	James Cotton
November 17, 1865	Frederick W. Jarvis	Bank of Upper Canada
September 6, 1869	Upper Bank of Canada	John Crickmore
September 20, 1869	John Crickmore	Wm. B. Hunter
September 20, 1869	Wm. B. Hunter	Peel General Mfg. Co.
February 2, 1887	Peel General Mfg. Co	James R. Shaw
February 12, 1887	James R. Shaw	John Madigan Jr.
July 31, 1909	John Madigan Estate	Enoch Thompson Ltd.
	Lot 8 Range 1, CIR	
July 11, 1854	The Crown	James Cotton
December 1, 1857	James Cotton	Rose E. Anderson
October 19, 1863	Frederick W. Jarvis	Timothy Madigan
October 19, 1863	Charles E. Anderson	Timothy Madigan
July 31, 1909	Timothy Madigan Estate	Enoch Thompson Ltd.
	Plan A10 (Part Lot 2)	
May 6, 1916	Enoch Thompson Ltd.	Hazel I. Eaton
May 3, 1938	Hazel I. Eaton	James Delworth
May 16, 1938	James Delworth	Clyde E. Shumaker
October 28, 1947	Clyde E. Shumaker	Clyde E. & Lucy T. Shumaker
March 31, 1953	Clyde E. & Lucy T. Shumaker	Douglas A. & Anne Watson
June 30, 1976	Douglas A. & Anne Watson	Bryce R. Taylor

DATE	GRANTOR	GRANTEE
July 27, 1987	Bryce R. Taylor	Timothy C. Tickner
August 18, 1988	Timothy C. Tickner	Timothy C. & Jean Tickner
July 31, 1989	Timothy C. & Jean Tickner	Achim Griesel
March 29, 1994	Achim Griesel	David Amato & Nancy Delle Donne
June 13, 1996	David Amato & Nancy Delle Donne	Nancy Amato
December 3, 2007	Nancy Amato	Davide Amato & Nancy Amato
November 30, 2010	Davide Amato & Nancy Amato	Miriam Gordon
November 18, 2020	Miriam Gordon	Current owners

The most notable property owner was from 1916 - 1938 when the property was owned by Hazel I. (Ireland) Eaton. Enoch Thompson Ltd. sold the property to Hazel I. Eaton for \$2,613.75 in 1916.



According to Wikipedia Hazel was married to Robert Young (R.Y.) Eaton and together they had five children. All of the Eaton children are deceased. The family is buried at Mount Pleasant Cemetery in Toronto.

Hazel Eaton (second from left) with her older daughter, Margaret (left) and younger son, Erksine (second from right) circa 1931. Photo courtesy of T.E. Martin on findagrave.com

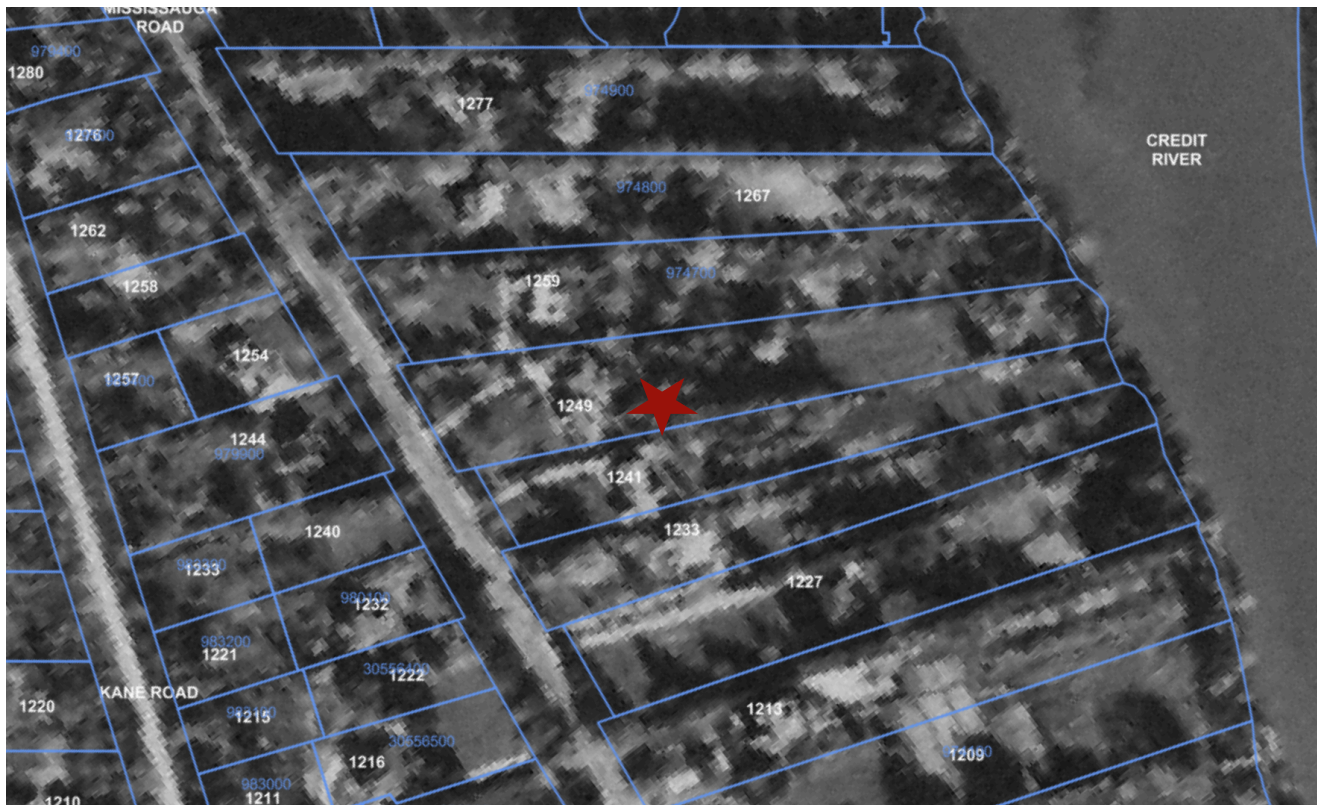
R.Y. Eaton was born in 1875 to John and Margaret (nee Herbison) Eaton. He was related to the Eaton's department store founder, as they shared the same grandfather, John Eaton Sr. He took over control of the department stores when his cousin Sir John Craig Eaton died of pneumonia in 1922. Sir John's children were too young to run the company, so he filled in until one of the children reached an appropriate age to take over. He proved to be an extremely capable president and he expanded the company tenfold.³

Sir John Craig Eaton, was the son of Timothy Eaton, founder of Eaton's.

Timothy Eaton's nephew, Robert Young (R.Y.) Eaton, took over the firm after John Craig's death, from influenza, in 1922. The expansion included purchasing the Montréal retail firm Goodwin's Limited. Through the decade, department stores were opened in Red Deer, Lethbridge, Medicine Hat, Edmonton and Calgary, Alberta; Saskatoon and Prince Albert, Saskatchewan; Hamilton and Port Arthur, Ontario; and Halifax, Nova Scotia. The company further grew after purchasing a small chain of retail stores, Canadian Department Stores, giving the company a presence throughout Ontario, including Chatham, Belleville, and Huntsville....Further, the detailed public examination of Eaton's books revealed that while the company was cutting jobs and wages, directors were collectively making millions in wages, bonuses and pensions. The public criticism had a long-term impact on company president R.Y. Eaton, who became critical of departments that reported profits above two per cent while he led the company through the 1930s and 1940s.⁴ The exact years that R.Y. Eaton ran Eaton's are unknown, however, the Canadian Encyclopedia notes that John Craig's son, John David Eaton, was running the company in 1948.

³ [Wikipedia](#)

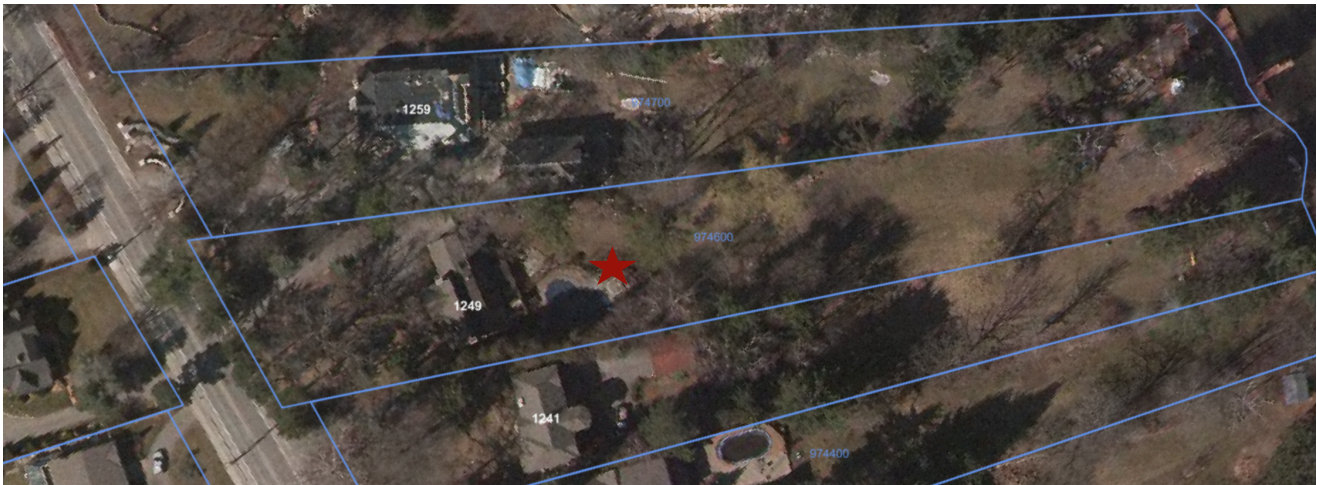
⁴ thecanadianencyclopedia.ca

FIGURE 5: 1954 AERIAL PHOTOGRAPHY

This image indicates that the dwelling was existing in 1954. The property is marked with a red star in all aerial photos.

FIGURE 6: 2012 AERIAL PHOTOGRAPHY

The 2012 aerial image is provided as a progressive reference only. The area is completely developed, with some older homes being replaced with newer ones. Both homes to the north, 1259 and 1267 are new builds within the last 10 years.



The City of Mississauga does not have any records of permits, aside from the pool permit, noted below. A Freedom of Information request was submitted to the City in hopes of obtaining records from the 1983 permit, however, it was confirmed that they had been destroyed as per City policy.

App Number	App Date	Address	Description	Scope	Type Description	Issue Date	Status
POOL 10-148	2010-08-25	1249 MISSISSAUGA RD		INGROUN D POOL	DETACHED DWELLING	2010-08-26	COMPLETE D -ALL INSP SIGNED OFF

Existing Site Conditions

The single family detached dwelling situated on the property is a two storey home with a walk-out basement. The dwelling has a stone and stucco exterior. The roof is asphalt shingles. The windows and doors are all relatively new, within the last 15 years.

Contained within the property boundaries are several out buildings including a pool equipment shed, a detached shed, a two-storey treehouse, dock and several decks at the water.

Extensive renovations were undertaken on the dwelling in 1983 by the then owner, Bryce Taylor. In speaking with Dr. Taylor, he indicated that the entire rear of the dwelling was removed to 'bring the outdoors in' and to take advantage of the rear views. Renovations included relocating the kitchen to the basement, where a walk-out condition was created. A major portion of the main floor was removed to create an 'open to below' affect. See photo 1.



PHOTO 1: LOOKING OVER THE LOWER LEVEL FROM THE MAIN FLOOR.

Dr. Taylor also indicated that he purchased the property from Doug Watson, who was the owner of the property from 1953 to 1976. He further stated, that he felt that the home he purchased from the Watsons remained unaltered from its original condition. Thus, we can conclude that the home was in its as-built condition when Dr. Taylor purchased the home.

Dr. Taylor had this to say about the property in an email dated March 3, 2021.

The garage was definitely integrated into the house when I bought it in 1976. The whole structure of the north part of the house with the large unfinished and uninsulated room over the garage would suggest that it was part of the original construction.

The original kitchen was on the main walk-in floor, so the kitchen that we built in 1983 was a totally new kitchen on the new ground floor one story down and on the other (south) of the house. As I indicated, the cabinetry was done by Neff Kitchens.

Our first renovation was a rather simple interior project, consisting of a single large room over the garage. This was accessible via a door from the second bedroom (the one with a walkout onto a tiny veranda on the east side of the house). That was done by Bill Fehr in 1982, and because the work seemed adequate, he was hired to manage the more ambitious construction in the following year.

The major renovation in 1983 consisted of taking out part of the initial first floor, and creating a two-story living space on the new ground floor at the east end of the building - this also involved extension of several feet to the East on that

lower story. As far as I could see on the May 2020 Internet pictures, the footplate was still the same as the one we created in 1983. Because of that extension, the slanted glass wall on the east side became the east wall of the master bedroom on the second floor, the east wall on the first floor (which consisted of a sitting room, fireplace and then a banister that looked out over the grand space to the north), and of course, the whole east wall of the lower floor.

Although there was extensive interior stucco work done as part of the renovation in the large space (carried out by Rocco Labriola), we made no changes to the outside of the house at all except on the east side, which of course was replaced by wood beams and glass.

I should mention that the swimming pool had been added along with appropriate fencing in approximately 1979 by Master Pools.

Dr. Taylor further indicated that there were numerous cosmetic changes completed that he could identify through the on-line photography. Those being; the updating of the kitchen cabinetry and the bathrooms. He noted that the configuration of the fixtures was the same. He indicated that the balusters changed to plexiglass, that the wood panelling from the existing office on the second floor had also been removed.

The conclusion that the home was built in the 1940's for Clyde Shumaker can be substantiated through review of the information available. That being that the home appears in aerial photography in 1954, the year after it was sold to the Watson's. Further, Clyde working at Goodyear would imply ownership of a vehicle and thus the need for a garage which the home had.

Shumaker owned the property from 1938 to 1947. Clyde was the personnel manager at the Toronto Goodyear Tire Plant. In 1910, Goodyear acquires its first subsidiary and plant outside of the US in Bowmanville ⁵. They expanded to Toronto in 1917.

An article, Little Story about a Goodyear Cameraman Lost in Canadian Wilds, in The Wingfoot Clan, Akron Edition, dated September 24, 1941 is quoted as “There he is said to have called the Goodyear factory in Toronto, advising Clyde Shumaker, personnel manager, of his predicament or plight or dilemma or what one might call it.” ⁶ The Wingfoot Clan is the employee newsletter of The Goodyear Tire & Rubber Company.

The Goodyear Tire and Rubber Company decided to locate its rapidly expanding Canadian Tire division in New Toronto and in 1917 built a factory on a 23-acre site on the north side of Lake Shore, between Ninth and Fourteenth streets. New Toronto’s council encouraged Goodyear to choose that site by promising an unlimited water supply. The new plant made tires for cars, trucks, logging and farm vehicles and industry. By 1927, they were manufacturing 50 per cent of all automobile tires in Canada.

Goodyear typically had three shifts and 1,300 employees, although this increased to 2,800 during the Second World War. The company was known as a supportive employer and good corporate citizen.

The plant had its own cafeteria, bowling alleys, police, internal newspaper and baseball team. Forty-seven Goodyear employees were killed in Second World War and Goodyear donated a camp to the Boy Scouts in their memory. Employees were encouraged to participate in community events and were recognized by Goodyear with “Spirit Awards”.⁷

Coming through the available editions of the Wingfoot Clan on-line, no additional references were found to Clyde or his family, although the paper regularly updated marriages, and births and deaths. Further, the headstone for Clyde simply states his name

⁵Corporate Goodyear

⁶ The WingFoot Clan, Volume 30, No. 26, September 24, 1941.

⁷ toronto.com

and date of birth and death, as opposed to including any family details, ie father, husband, brother, etc. Clyde had no children and was pre-deceased by his two brothers. There was no available information on his wife, or whether or not they remained married till his death. Lucy Shumaker passed away in 1974. A very brief timeline of Clyde Shumaker's life is outlined below with relevant dates.

YEAR	ACTIVITY
1886	Clyde Shumaker born in Ohio
1916	Clyde Shumaker marries Lucy Bercaw, incidentally they have no children
1917	Goodyear Toronto Factory built
1918	Clyde Shumaker starts working for Goodyear
1922	Clyde Shumaker moves to Canada
1927	Toronto Factory is making 50% of all tires in Canada
1938	Shumaker purchased property at 1249 Mississauga Road
1939-45	WWII - Goodyear employs 2800 people during this time, Clyde is Personnel Manager at the Toronto Plant
1947	Shumaker marries Lucy? And transfers property ownership to both names
1953	Shumaker sells property and returns to the US (?)
1972	Clyde Shumaker passes away, buried in Michigan

The home is a storey and a half cottage, with an attached garage, in a Tudor Style. A fireplace flanks each exterior end of the home. The main floor exterior is stone with areas above covered in stucco. The article below from House Beautiful typifies the house on Mississauga Road. Further, it represents the things we know about Clyde Shumaker; originally from the midwest, a prominent wealthy individual based on his job title at Goodyear, it makes sense that this is the type of house he would have had built.

You don't have to be a design expert to spot a Tudor house. Their distinct appearance that makes them easily recognizable and unique among their more symmetrical, lighter colonial neighbors. These homes come in all sizes, and while smaller versions might have a quaint storybook appearance to them, larger Tudors more often embody the romantic ideal of an English country manor. That charming, old-world feel has appealed to many Americans over the last century and a half. As an architectural trend, Tudor style homes originated in the United States in the mid-19th century and continued to grow in popularity until World War II. The Tudor style movement is technically a revival of "English domestic architecture, specifically Medieval and post-Medieval styles from 1600-1700," says Peter Pennoyer, FAIA, of Peter Pennoyer Architects. Because these homes mimicked a style designed to weather colder climates with lots of rain and snow, they were best suited for the northern half of the United States, though they're popular in other areas of the country as well. "These houses, with their myriad materials, solid masonry, elaborate forms, and decorations were expensive to build and mostly appeared in wealthy suburbs," Peter says. They were even nicknamed "Stockbroker's Tudors" in reference to owners who gained their wealth during the booming 1920s. Tudor homes are recognizable by several distinguishable features: They have a steeply pitched roof, often with multiple overlapping, front-facing gables (the triangular portion of the roof) of varying heights. The majority of their exteriors are brick, but they're accented (often in those triangular gables) with decorative half-timbering: essentially a mock frame of thin boards with stucco or stone filling in the spaces between the boards. The windows used in Tudor houses are also a unique nod to medieval architecture. Windows are tall and narrow with multiple panes—sometimes rectangular, sometimes diamond-shaped. Large groupings of windows are common, and occasionally there are picturesque floating bay windows called oriel windows on the first or second story. Though often not in the center of the

house, the front door is still a significant architectural feature on Tudor homes. They typically have a round arch at the top and tend to be bordered by a contrasting stone that stands out against the brick walls. Finally, Tudor chimneys are another notable element where the details stand out: They often have decorative chimney pots, a stone or metal extension at the top of the brick chimney. Tudor homes were typically designed with an interior that complemented the exterior in terms of design style. The asymmetry of the front facade of the house also enhanced the interior layout, Peter notes. It "offered great flexibility to the architect in terms of interior planning," he says. "The plan was not dictated by strict symmetry on the facades, allowing diversity in room heights, window placement, angled wings, etc." Interiors are often heavily accented in dark wood as well—from ceiling beams to intricate wall paneling, Tudor homes can feel as much like an English manor on the inside as they look on the outside. According to Peter, innovative masonry veneer techniques developed in the early 1900s made brick and stone homes more affordable to build, but the intricacies of Tudors still were quite expensive for the average home builder. This led to the style fizzling out after World War II, when the country turned to focusing on new, affordable housing developments that could be built quickly. During the height of the colonial revival period (1910-1940), "this style comprised 25 percent of the suburban houses built," Peter says, so that's where you'll primarily see Tudor style homes today. The unique style is still an appealing option for some buyers to own a historic home, though it isn't a common style among newly built homes.⁸

⁸ <https://www.housebeautiful.com/design-inspiration/a24516941/tudor-style-house/>

EXISTING EXTERIOR PHOTOS**PHOTO 2: FRONT
ELEVATION****PHOTO 3: FRONT DOOR DETAIL**

PHOTO 4: NORTH SIDE ELEVATION



PHOTO 5: STONE WORK DETAIL
ON FRONT OF DWELLING



PHOTO 6: REAR ELEVATION



PHOTO 9: LIVING ROOM & FIREPLACE

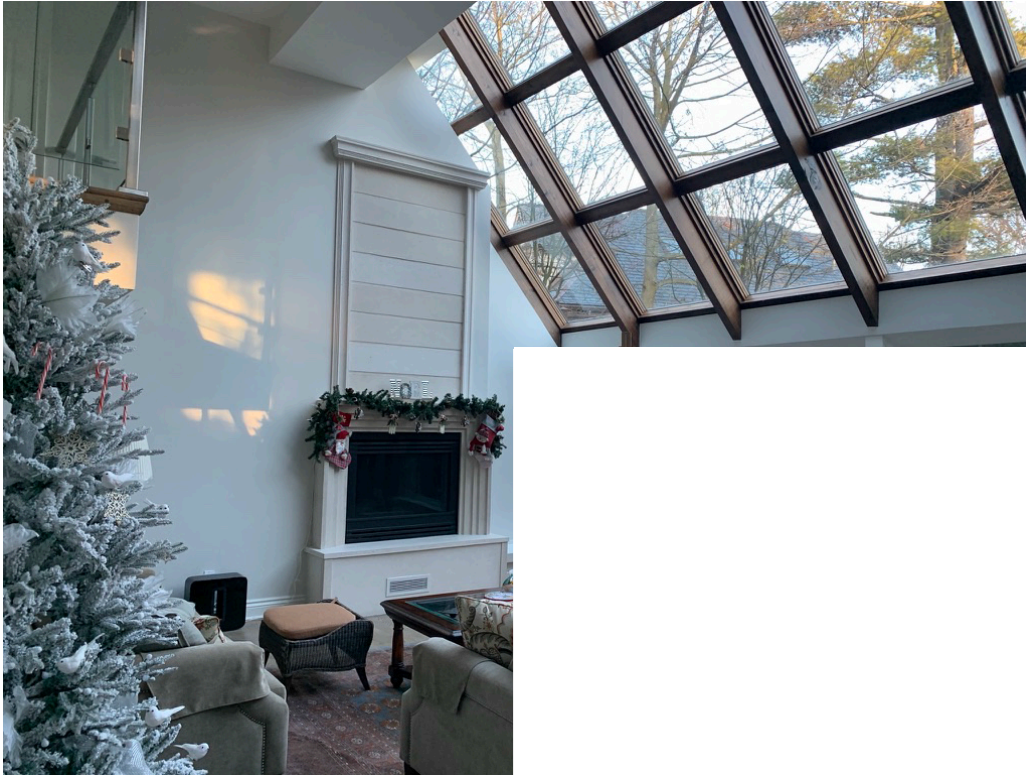


PHOTO 10: EXISTING OFFICE

This is situated on the main floor.





**PHOTOS 11 & 12:
EXISTING DEN**

This is located at entry level on the main floor. The photo above is the street facing view, the photo at right, faces the rear yard.



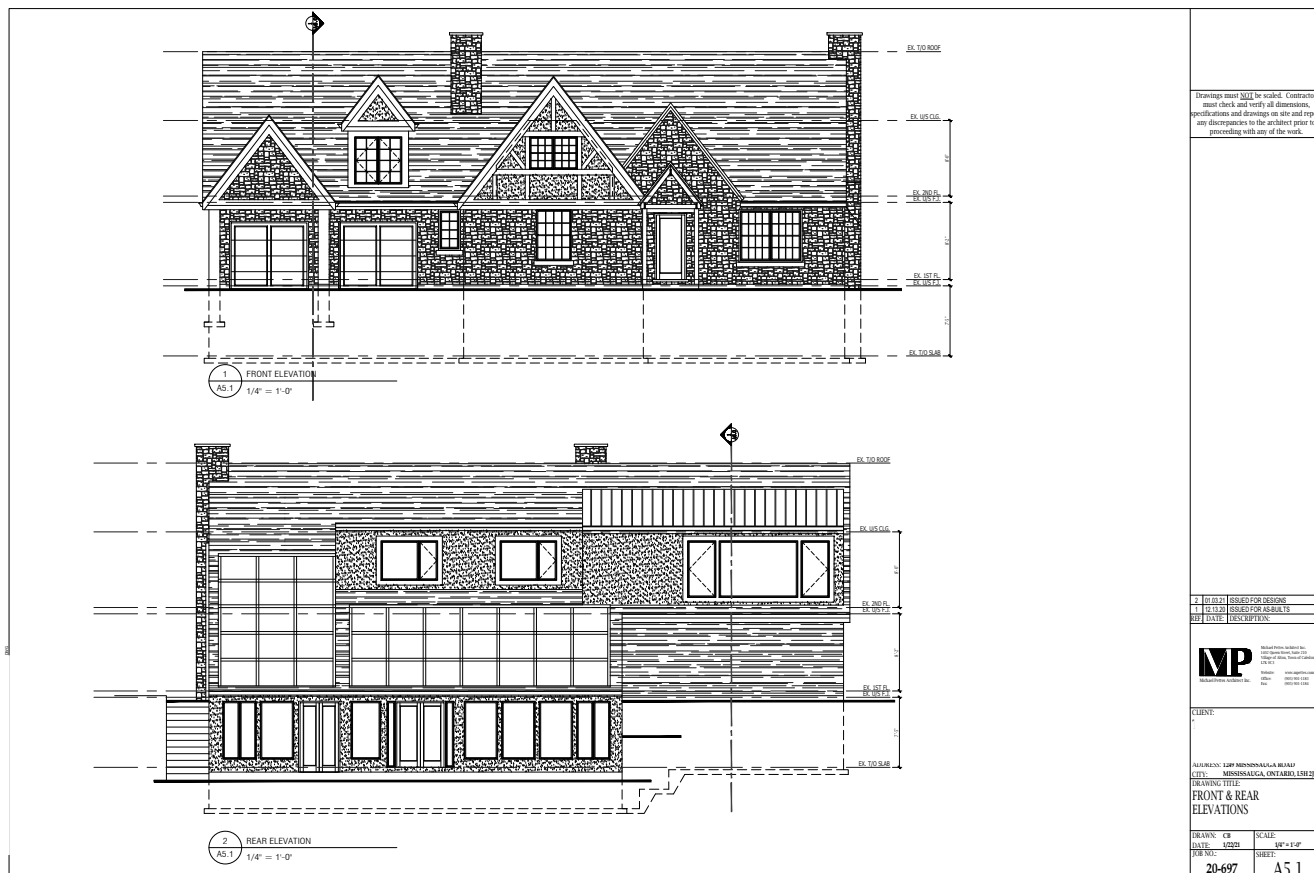


FIGURE 11: FRONT & REAR ELEVATION

The proposal is the expansion and re-orientation of the garage to face Mississauga Road, as opposed to its current side entrance. Further, the second floor master suite and bathrooms will be reconfigured to be more functional. There are currently several steps down to access the master bedroom, and those too will be removed so that there is flush threshold to the bedroom.

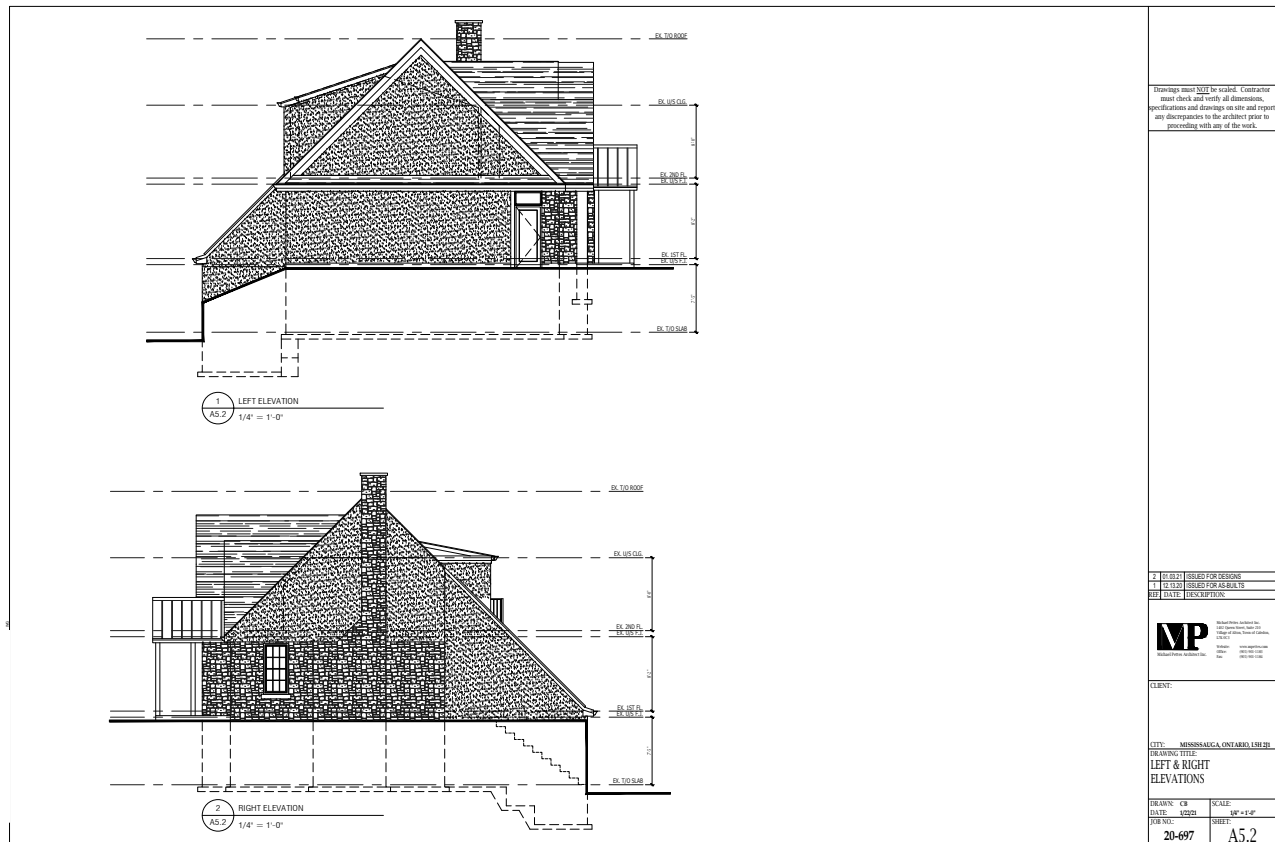
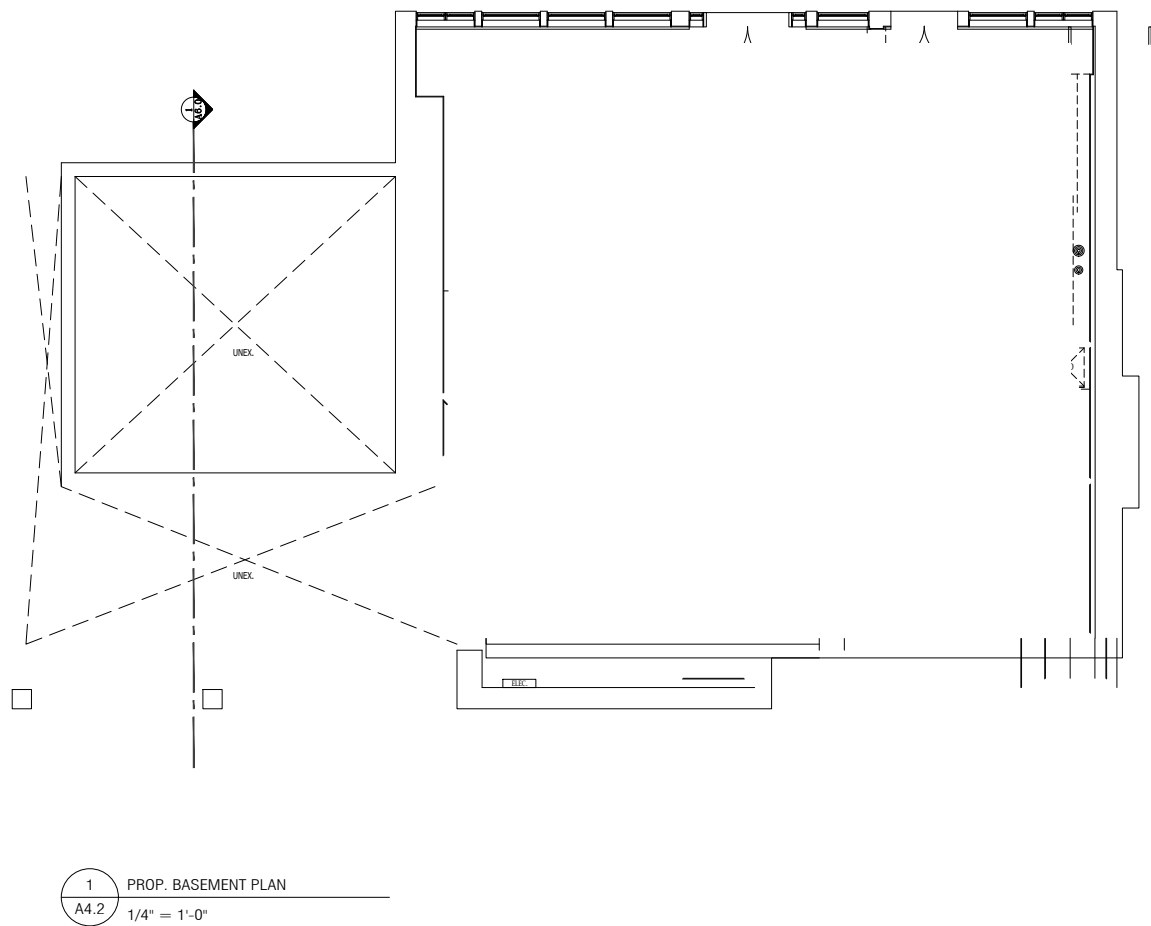


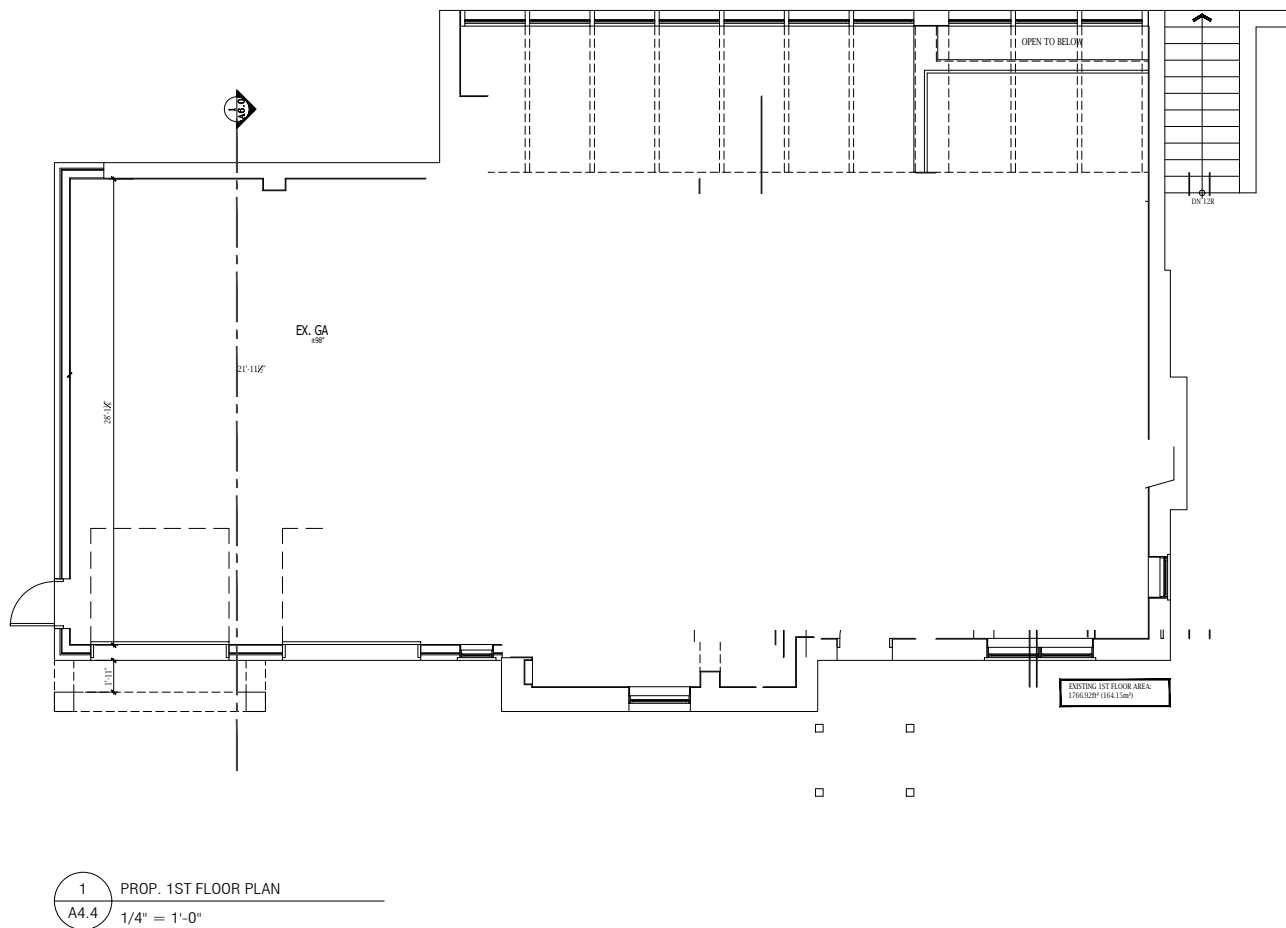
FIGURE 12: SIDE ELEVATIONS

FIGURE 13: PROPOSED BASEMENT PLAN



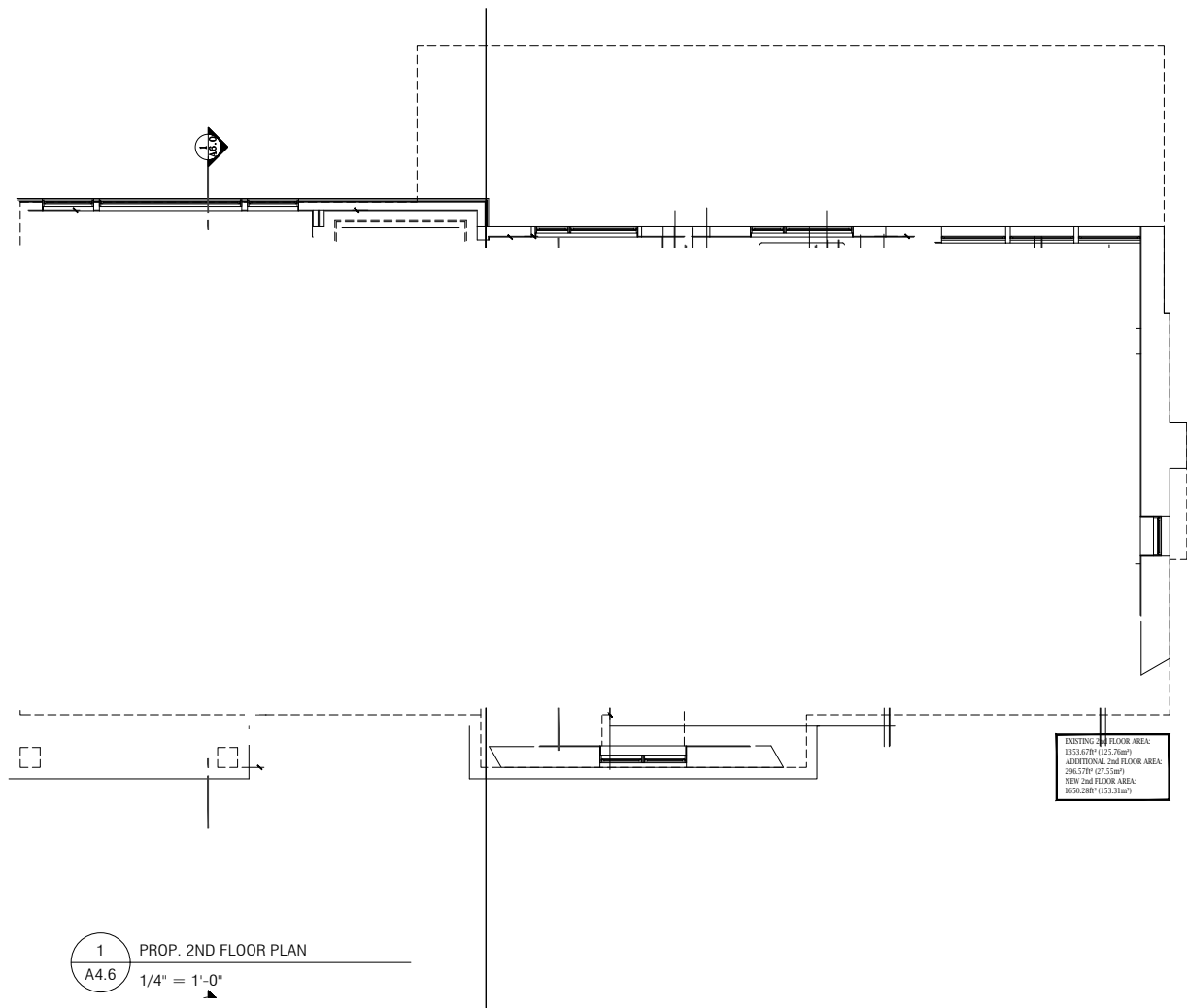
The proposal in the basement area is the increase of the foundation. It will be un-excavated and no additional living space.

FIGURE 14: PROPOSED MAIN FLOOR PLAN



The addition to the main floor area is the expansion of the garage and the orientation of the access from the side to the front of the dwelling. No alterations are proposed to the existing main floor.

FIGURE 15: PROPOSED SECOND FLOOR PLAN



The second floor changes the most with the proposed addition. The existing two bedrooms remain unaltered. However, the master suite is significantly enlarged and altered with a private lounge area, reconfigured ensuite and a new bedroom and walk in closet. The relocation of the bedroom over the expanded garage area allows the owners to embrace the rear yard and view of the river from the room.

FIGURE 16: EXISTING STREETScape

The subject property, and adjacent properties are set significantly back from Mississauga Road. The setback is approximately 30m +. These homes are difficult to view from the street as there are significant trees lining the street.

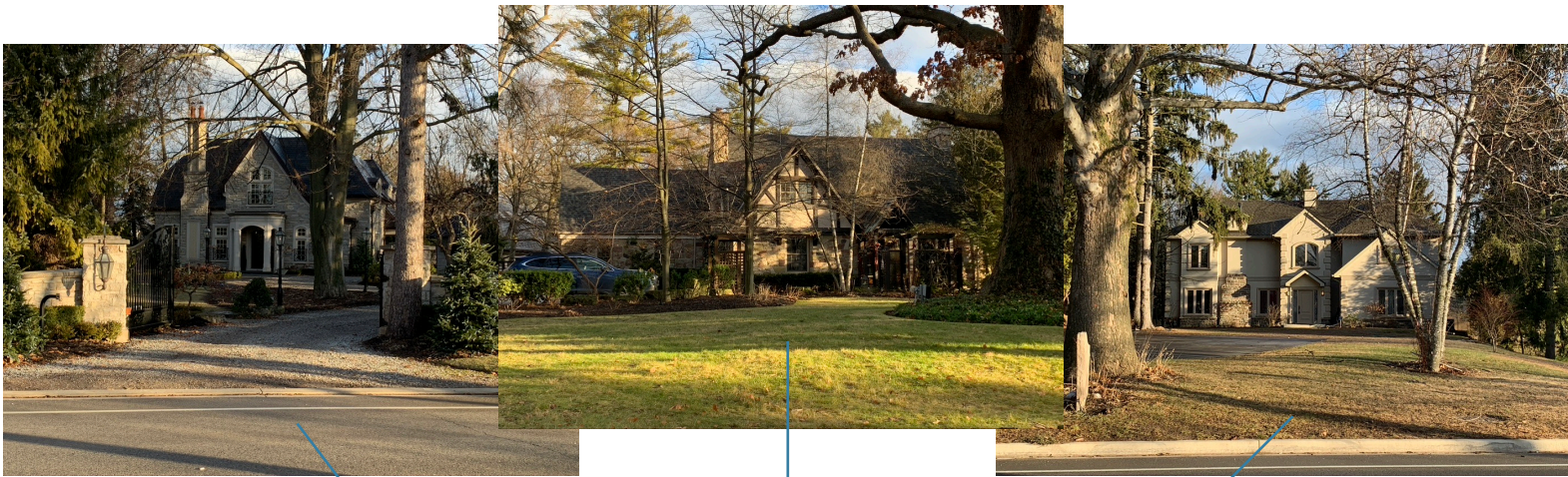
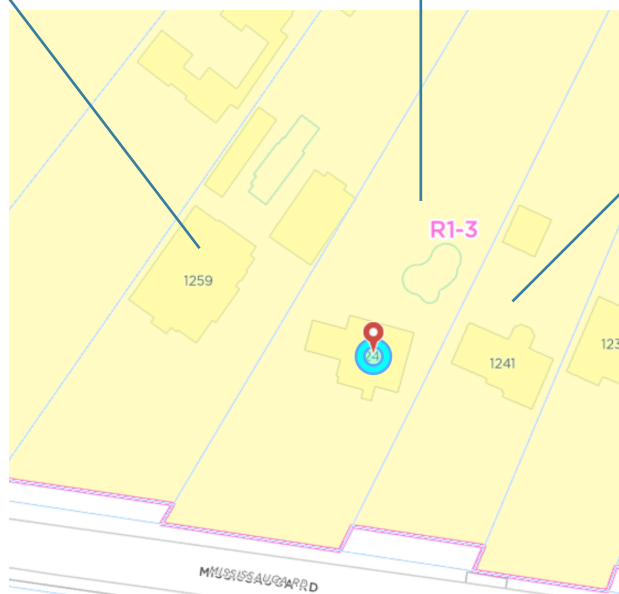
PHOTO 13: 1259 MISSISSAUGA RD**PHOTO 14: 1249 MISSISSAUGA RD****RD****PHOTO 15: 1241 MISSISSAUGA**

FIGURE 17: PROPOSED STREETScape

Utilizing google street view images, and imposing the proposed addition, the streetscape above was created.

The proposed addition will not be visible from the street in the summer months when trees are in full foliage.

Evaluation according to Ontario Regulation 09/06

TABLE 2: EVALUATION ACCORDING TO ONTARIO REGULATION 09/06

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	The home is built in the English Tudor style. The exterior, front and side elevations are a good example of the style of home. However, the interior and rear elevation have been extensively renovated, thus reducing the uniqueness of the home.
b) Displays a high degree of craftsmanship or artistic merit	NO	The home is well built, but the interior has been extensively renovated.
c) Demonstrates a high degree of technical or scientific achievement	NO	It does not demonstrate a high degree of technical merit.
2. Historical or associative value		
a) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	NO	The property is not known to have any direct associations significant to the community. Although the ownership of the property can be linked to the Eaton Family, there was likely no home on the property at the time. It can further be linked to Shumaker, who the home was likely built for. Clyde was an American working at Goodyear, who has no association or significance to Mississauga. He leaves no legacy by way of children or with Goodyear.
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture	NO	The home is part of the Credit River Corridor landscape and Mississauga Scenic Route. The home itself does not have any potential to yield information that contributes to an understanding of a community or culture.
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	NO	Nothing is known about the builder or designer.

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
3. Contextual Value		
a) Is important in defining, maintaining, or supporting the character of an area	YES	The property, not the house has contextual value. The property is situated on Mississauga Road (also known at some point as the Streetsville Gravel Road), an early main transportation route for the area.
b) Is physically, functionally, visually, or historically linked to its surroundings	YES	The property, not the house has contextual value. The lot in its existing configuration (ie property boundaries) will remain unchanged.
c) Is a landmark	NO	This is a home, typical of the era in which it was built.

Cultural Landscape Inventory Criteria

Each cultural heritage landscape and/or feature includes a checklist of criteria. Within the overall categories of landscape and feature, there are seven sub-types for landscapes: agricultural, historic settlement, industrial, institutional, natural, parks and other urban landscapes, and residential. Credit River Corridor falls within the cultural landscape inventory and is designated as L-NA-2. The Mississauga Road Scenic Route is classified as inventory item F-TC-4. Within overall landscape sub-type there are four categories, with sixteen sub-criteria. For the purposes of this report, there are eight sub-criteria identified as pertinent to the conservation of the cultural heritage landscape of The Credit River Corridor.⁹ Further, there are seven sub-criteria pertinent to Mississauga Road. The proposed development meets these criteria as follows:

LANDSCAPE ENVIRONMENT

Scenic and visual quality

This quality may be both positive (resulting from such factors as a healthy environment or having recognized scenic value) or negative (having been degraded through some former use, such as a quarry or an abandoned, polluted or ruinous manufacturing plant). The identification is based on the consistent character of positive or negative aesthetic and visual quality. Landscapes can be visually attractive because of a special spatial organization, spatial definition, scale or visual integrity.

The proposed redevelopment will maintain a positive aesthetic and visual quality by incorporating the scale of the new structure within the existing landscape features. The stone on the existing home will be used for the addition as well. Further, new gables will match the pitch of the existing gables. Mature trees will be maintained at the front of the property.

⁹City of Mississauga, Community Services, Cultural Landscape Inventory, Appendix 2: Cultural Landscapes: Matrix, Resource Map & Site Descriptions, THE LANDPLAN COLLABORATIVE LTD, January 2005.

Natural environment

Natural history interest can include such features as the remnants of glacial moraines, shoreline features of former water courses and lakes, and concentrations of distinct features such as specific forest or vegetation types or geological features. Remnants of original pre-settlement forests would fall into this category.

The proposed redevelopment will not substantially alter any existing remnants of the pre-settlement landscape.

Landscape design, type and technological interest

This includes complete landscapes that were designed for a specific use or single purpose. These landscapes are characterized by their design intent or urban function i.e. stormwater management. These landscapes are valued in the community by association of use and/or contribution to the visual quality of the community.

The properties together backing onto the Credit River are what contribute to the visual quality of the community, not the property individually. The redevelopment of the subject property will maintain the comprehensive landscape. The proposed development will maintain the landscape and continue to contribute to the overall visual quality of the community.

Horticultural interest

Landscapes with horticultural interest include all features of landscapes which may be unique or distinct to a specific location. It can include isolated specimen trees, hedge rows, wind rows or other compositions of trees, and specialized landscaped features. Tree plantations would also fall into this category.

The horticultural interest of the property will be maintained. Soft landscaping will be a dominant feature over hard landscaping. No trees or landscaping features are to be removed. Further, the addition is to the side of the dwelling, as such, no grading will be altered.

HISTORICAL ASSOCIATION

Illustrates a style, trend or pattern

Landscapes and buildings, as well as transportation and industrial features in any community, do not develop in isolation from the same forces elsewhere in the world. For each feature, whether a university campus, residential landscape, railway or highway bridge, building type or an industrial complex, each has a rich story. The degree to which a specific site is a representative example of a specific style, trend or pattern will require careful consideration in determining its relevance to the inventory.

We tried to determine when “Streetsville Gravel Road” as noted on Plan A-10 became Mississauga Road. However in correspondence from Kyle Neill, PAMA, he indicates that he too has not been able to determine when the change occurred. All research indicates that it was still known as Streetsville Gravel Road until at least 1934.

The attached map from the Peel Archives shows that locals still made the distinction between Mississauga Road and Streetsville Gravel Road.

Direct Association with Important Person or Event

Some sites are rather simple or prosaic in nature. However, great events can happen in a field or in a hut. Famous persons may inhabit or major events may happen in unexpected locations. Preservation of such sites is important to the public's understanding of history and of itself.

Name searches were conducted on all of the owners post 1916. It is likely that up until then it was a vacant parcel. Some of the searches provided glimpses of previous owners, but nothing concrete on many of them. Searches for James Delworth, found only one reference, aging him to 17 at the time of ownership so I don't think its that one. Clyde Shumaker was American working for Goodyear Tire. No results for the Watsons either. Bryce Taylor is a doctor practicing in Toronto. Nothing on the Tickners. Achim Griesel seems to be an American, as a search on his name brings up only one individual. There is a Davide Amato, a dentist that graduated from UWO with a doctor in dentistry in 1990, so it's possible it is the same individual, although he would have been fairly young to take on a sizeable mortgage for a property that sold for \$659,000. Miriam Gordon is a generic name and revealed many individuals, but nothing specific enough to determine which one would have been the owner.

As such, it seems the most notable Canadian owner would have been the Eaton's. However, there is nothing to tie them to an understanding of the history or any great events within Mississauga. Clyde Shumaker is notable as the owner who the house was likely constructed for, however, as an American (born and buried), there is no direct association with an important event or person.

Illustrates an important phase of social or physical development

A site may be evocative or representative of a phase or epoch in the development of the City. Such remnants provide context for an on-going understanding of the development of the community.

The site was developed prior to the 1950's, the exact date being unknown. The property is in a highly desirable location, backing onto the Credit River and fronting onto Mississauga Road, an address and location demonstrating prosperity. Thus, the property represents a phase in the development of Mississauga, as one of location on the early roads of the community. This will be maintained, as there are no changes proposed to Mississauga Road.

OTHER

These criteria establish special significance. Historical or archaeological interest - cultural heritage resources associated with pre-historical and historical events. Outstanding features/interest - a one-of-a-kind feature that is set apart from other similar landscapes or features because of its context or some other special quality i.e. the first of its kind or the acknowledged best of its kind. Significant ecological interest - having value for its natural purpose, diversity and educational interest.

The Credit River Corridor is the ecological asset, and the properties within contribute to the overall asset. The proposal maintains the generous rear yards setback to the river and will retain the existing mature trees on the lot. The existing ecological asset will be maintained.

Mitigation Measures

The proposal for 1249 Mississauga Road is an addition to the north side of the dwelling. This includes the re-orientation of the garage to the front facing Mississauga Road, and a master suite reconfiguration on the second floor.

The proposed addition will maintain the asymmetry exhibited within the style of the existing home. The architect, Michael Pettes, provided this rationale for the design of the addition. “The measured drawings show the building being asymmetrical with a single high ridge line, and a couple of front facing gables. Our addition continues this ridge line and adds a couple of roof lines with the same pitch as the other front facing gables. The massing remains asymmetrical.”¹⁰ The location and design of the addition maintain the attributes of the Tudor style.

The table below identifies potential impacts the proposed construction poses and includes the mitigation measures to be taken.

TABLE 3: MITIGATION MEASURES

Potential Impact	Identified Impact	Mitigation
Destruction of any, or part of any, significant heritage attributes or features	None	Not required
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	None	The proposed alteration is in keeping with the design of the existing home. However, the garage addition is setback and will be distinguishable as an addition.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	None	Not required
A change in land use where the change in use negates the property's cultural heritage value	N/A	Not required

¹⁰ Michael Pettes

Potential Impact	Identified Impact	Mitigation
Removal of natural heritage features, including trees	None	Not required
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	None	Not required
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	None	Not required
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.	None	Not required

The table below describes the “distinguishable features” of a Tudor revival home, whether or not they are present in the existing home, and how they will be maintained, if applicable, with the proposed addition.

TABLE 4: DISTINGUISHABLE FEATURES AND MITIGATION

Characteristic	Existing Dwelling	Proposed Addition	Mitigation
Decorative (or False) half-timbering	Yes	No	The dormer window in the addition is too small to incorporate those details. It will be stuccoed to match the existing.
Steeply Pitched Roof	No	No	The existing roof-line is being maintained.
Embellished Entry	Yes	N/A, there are no changes to the existing entry	Not required

Characteristic	Existing Dwelling	Proposed Addition	Mitigation
Mixed Siding Materials	Yes	Yes	As much of the stone from the existing garage will be preserved during demolition for re-use on the existing front elevation. Should additional material be required, it will be matched to the existing.
Casement Windows	No	No	Not required
Elaborate Chimneys	No	N/A, the existing chimney are to remain.	

Conclusions, Recommendations

The subject property contains a one and a half storey residential dwelling built prior to the 1950's. It does not meet any of the criteria for Designation under the Ontario Heritage Act. The proposed additions and alterations will have no impact on the cultural heritage resource, that being the Credit River Corridor or the Mississauga Road Scenic Route. Mitigation measures, as noted, have been considered and no further action is required.

ABOUT THE AUTHOR

William Oughtred of W.E. Oughtred & Associates Inc., is a development and land use consultant who has been practicing in the Mississauga and GTA area for over 35 years. Mr. Oughtred has a Bachelor of Arts from McMaster University. Mr. Oughtred is well versed in both Planning and building procedures and the City of Mississauga Zoning By-law and Official Plan.

Mr. Oughtred specializes in infill development projects. His extensive experience has afforded him the opportunity to see the City evolve and be at the forefront of growing trends and patterns in land development in Mississauga. He consults regularly on both heritage and urban design for infill projects.

Heritage Impact Statements and Assessments have been completed for many properties in Mississauga, including, but not limited to the properties listed below.

- ❖ 451 Temagami Road
- ❖ 965 Whittier Crescent
- ❖ 1503 Petrie Way
- ❖ 1470 Pinetree Way
- ❖ 2375 Mississauga Road
- ❖ 943 Whittier Crescent
- ❖ 2417 Mississauga Road
- ❖ 1641 Blythe Road

REFERENCES

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