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## Port Credit Heritage Conservation District Subcommittee

**Date:** May 3, 2021  
**Time:** 3:00 PM  
**Location:** Online Video Conference

### **Members**

|                          |                        |
|--------------------------|------------------------|
| Councillor Stephen Dasko | Ward 1                 |
| Antoine Musiol           | Citizen Member (Chair) |
| Donna Gray               | Citizen Member         |
| Ian Leonard              | Citizen Member         |
| Katyryna Stachiw         |                        |

Participate Virtually and/or via Telephone

Advance registration is required to attend, participate and/or make a comment in the virtual meeting. Any materials you wish to show the Committee during your presentation must be provided as an attachment to the email. Links to cloud services will not be accepted. Comments submitted will be considered as public information and entered into public record. Please note the Port Credit Heritage Conservation District Subcommittee will not be streamed or video posted afterwards.

To register, please email [martha.cameron@mississauga.ca](mailto:martha.cameron@mississauga.ca) and for Residents without access to the internet via computer, smartphone or tablet, can register by calling Martha Cameron at 905-615-3200 ext.5438 no later than Friday, April 30, 2021 at 12:00 PM. You will be provided with directions on how to participate from Clerks' staff.

### **Contact**

Martha Cameron, Legislative Coordinator, Legislative Services  
905-615-3200 ext. 5438  
Email [martha.cameron@mississauga.ca](mailto:martha.cameron@mississauga.ca)

1. CALL TO ORDER
2. APPROVAL OF AGENDA
3. DECLARATION OF CONFLICT OF INTEREST
4. MINUTES OF PREVIOUS MEETING
  - 4.1. Port Credit Heritage Conservation District Subcommittee Minutes - February 1, 2021
5. DEPUTATIONS - Nil
6. MATTERS TO BE CONSIDERED
  - 6.1. Request to Alter: 24 John Street South (Ward 1)
  - 6.2. Request to Alter: 11 Peter Street South (Ward 1)
  - 6.3. Request to Alter: 26 John Street South (Ward 1)
7. INFORMATION ITEM
  - 7.1. Resignation Email from Jack King, Citizen Member Port Credit Heritage Conservation District Subcommittee
8. OTHER BUSINESS
9. DATE OF NEXT MEETING - June 7, 2021
10. ADJOURNMENT

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## Port Credit Heritage Conservation District Subcommittee

**Date:** February 1, 2021  
**Time:** 3:00 PM  
**Location:** Online Video Conference

|                        |                          |                        |
|------------------------|--------------------------|------------------------|
| <b>Members Present</b> | Councillor Stephen Dasko | Ward 1                 |
|                        | Antoine Musiol           | Citizen Member (Chair) |
|                        | Donna Gray               | Citizen Member         |
|                        | Ian Leonard              | Citizen Member         |
|                        | Louie Manzo              | Citizen Member         |
|                        | Katyryna Stachiw         | Citizen Member         |

|                       |           |                |
|-----------------------|-----------|----------------|
| <b>Members Absent</b> | Jack King | Citizen Member |
|-----------------------|-----------|----------------|

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### Staff Present

John Dunlop, Manager, Heritage Planning and Indigenous Relations  
Paula Wubbenhorst, Heritage Planner  
Megan Piercey, Legislative Coordinator

1. CALL TO ORDER - 3:00 PM

2. APPROVAL OF AGENDA

Approved (K. Stachiw)

3. DECLARATION OF CONFLICT OF INTEREST- Nil

4. MINUTES OF PREVIOUS MEETING

4.1 Port Credit Heritage Conservation District Subcommittee Minutes - January 4, 2021

Approved (I. Leonard)

5. DEPUTATIONS - Nil

6. MATTERS CONSIDERED

6.1 Request to Alter 42 Peter Street South (Ward 1)

No discussion took place regarding this item.

RECOMMENDATION PCHCD-0003-2021

Moved By K. Stachiw

That the request to alter the property at 42 Peter Street South, as per the memorandum from John Dunlop, Manager of Heritage Planning & Indigenous Relations, dated January 12, 2021, be approved.

Approved

6.2 Request to Construct New Hydro Poles Along Mississauga Road (Ward 1)

Subcommittee Members engaged in discussed regarding the proposed hydro poles and noted concerns about the impact to the trees. Subcommittee Members noted that the request to construct hydro poles along Mississauga Road should be refused, as the Subcommittee Members would like to further collaborate with the applicant with respect to the proposed hydro poles. Subcommittee Members requested a written response with a new proposal that would decrease the impact to the trees from the applicant by Friday, February 5, 2021.

RECOMMENDATION PCHCD-0004-2021

Moved By I. Leonard

That the request to construct new hydro poles along Mississauga Road, as per the memorandum from John Dunlop, Manager of Heritage Planning & Indigenous Relations, dated January 25, 2021, be refused.

Approved

7. OTHER BUSINESS

John Dunlop, Manager, Heritage Planning and Indigenous Relations advised that applications for the 2021 Designated Heritage Property Grant Program would be accepted starting February 19, 2021 and the deadline to receive applications would be March 26, 2021.

8. DATE OF NEXT MEETING - March 8, 2021
9. ADJOURNMENT - 5:04 PM (I. Leonard)

DRAFT

# City of Mississauga

## Memorandum



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Date: April 16, 2021

To: Chair and Members of Port Credit Heritage Conservation District Subcommittee

From: John Dunlop, Manager of Heritage Planning & Indigenous Relations

Meeting date: May 3, 2021

Subject: **Request to Alter 24 John Street South (Ward 1)**

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**Recommendation:**

That the request to erect a two car garage at 24 John Street South, as per the memorandum from John Dunlop, Manager of Heritage Planning & Indigenous Relations, dated April 16, 2021, be approved.

**Background:**

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Old Port Credit Village Heritage Conservation District (HCD). Changes to the property are subject to the Old Port Credit Village HCD Plan, 2018.

**Comments:**

The City permitted a new dwelling and detached single car garage at the subject property earlier this year (See item 8.2 here). The owner now proposes a wider two-car two-door garage. The proposal is attached as Appendix 1. The revised proposal would require a variance as it would increase the gross floor area (GFA) to 35.75m<sup>2</sup> from the allowed 30m<sup>2</sup>. The increased area is at the rear of the property. No other variances have been required for this proposal. The garage is simple and complementary and is similar to other approved two car garages on new builds within the HCD. For these reasons, Heritage Planning recommends approval subject to Committee of Adjustment approval.

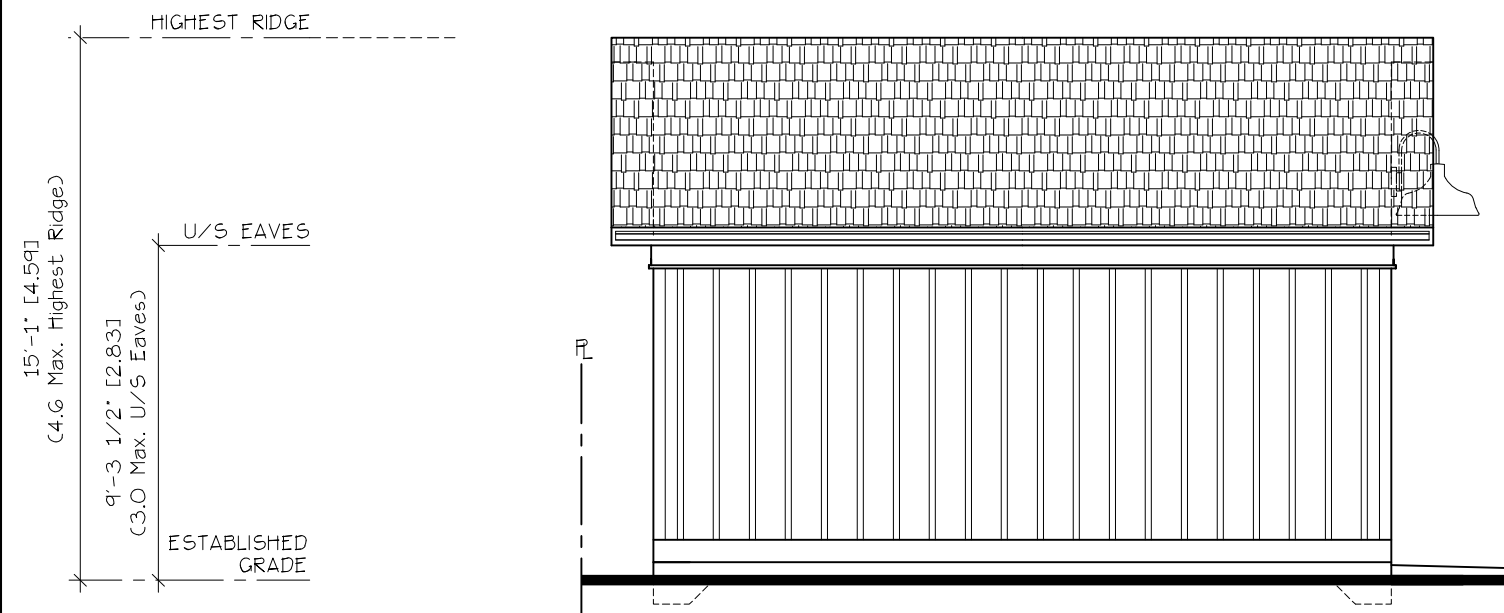
**Conclusion:**

The owner of the subject property has applied to erect a two car garage at the rear of the property, the proposal is simple and the additional built form is to the rear. As such, the proposal should be approved.

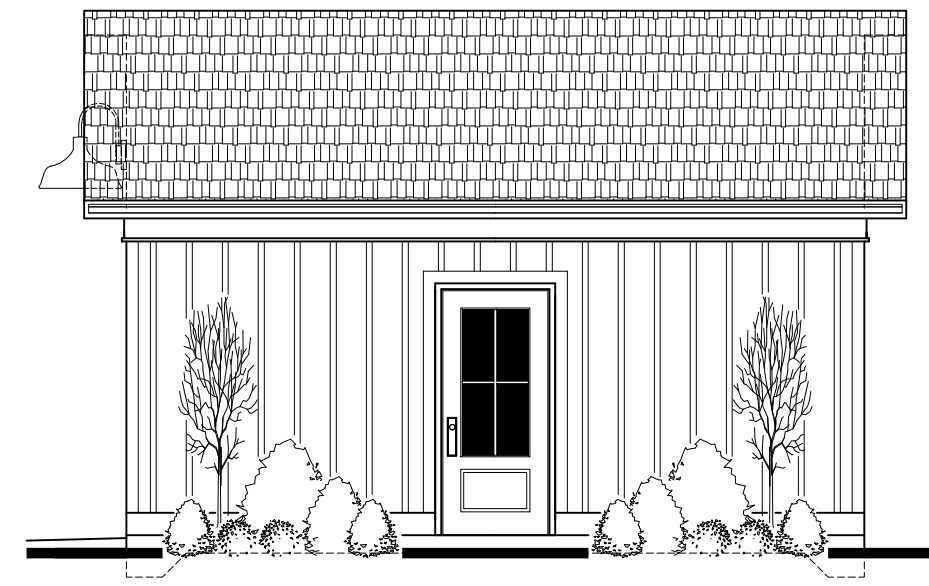
**Attachments**

Appendix 1: Proposed Garage Design

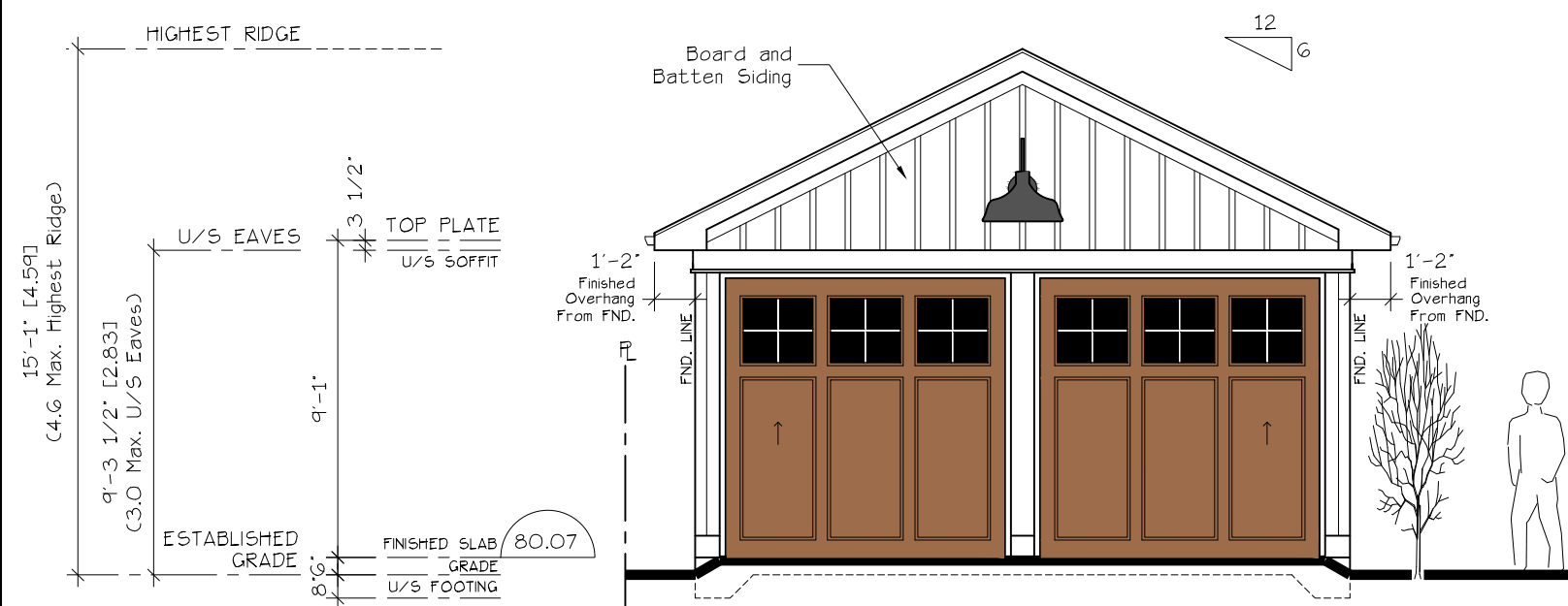
Prepared by: P. Wubbenhorst, Heritage Planner



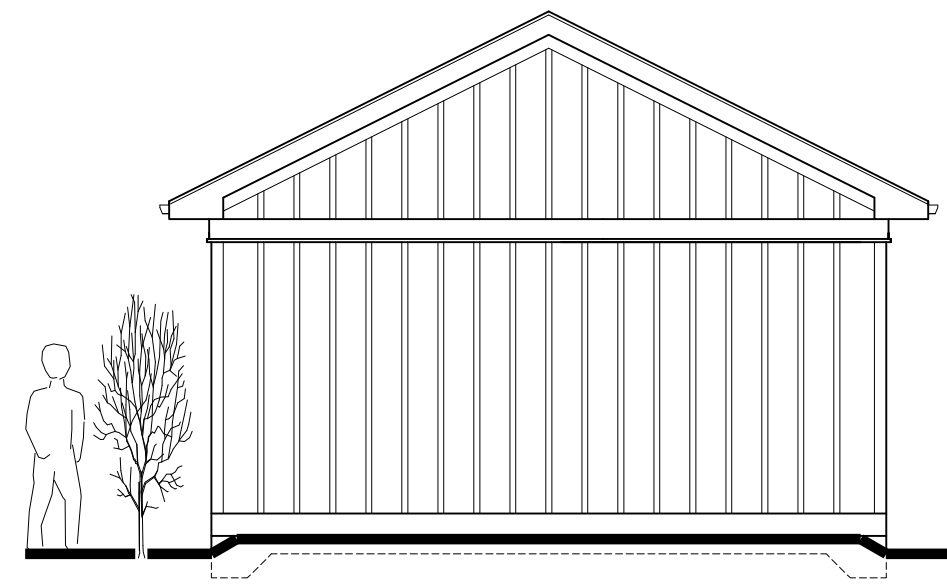
Detached Garage  
SOUTH ELEVATION  
3/16" = 1'-0"



Detached Garage  
NORTH ELEVATION  
3/16" = 1'-0"



Detached Garage  
EAST ELEVATION  
3/16" = 1'-0"



Detached Garage  
WEST ELEVATION  
3/16" = 1'-0"

**Detached Garage**  
24 JOHN STREET SOUTH, MISSISSAUGA  
**RESIDENCE**

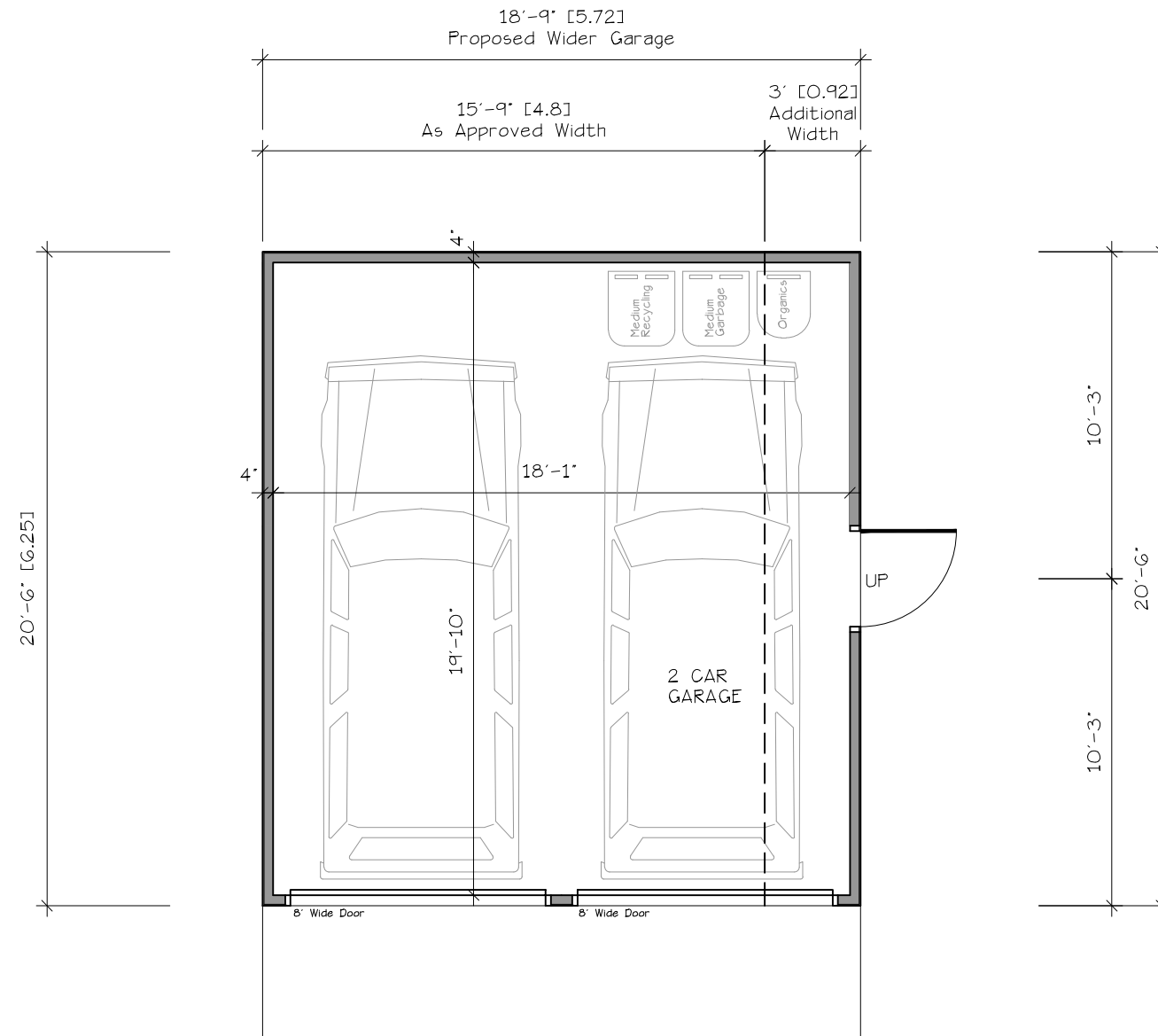
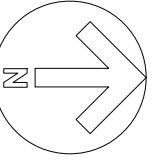
APRIL 15, 2021



**NEW AGE DESIGN**  
ARCHITECTURAL TECHNOLOGISTS

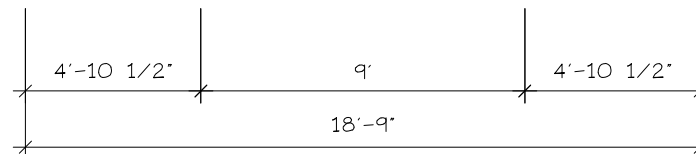
2601 MATHESON BLVD. E.  
UNIT FOUR  
MISSISSAUGA, ONTARIO, L4W 5A8

Tel: 905-602-0354  
info@newagedesign.ca  
www.newagedesign.ca



| GARAGE AS APPROVED: |                      |
|---------------------|----------------------|
| 1 1/2 CAR GARAGE    | 30.00 m <sup>2</sup> |

| PROPOSED GARAGE: |                      |
|------------------|----------------------|
| 2 CAR GARAGE     | 35.75 m <sup>2</sup> |



Detached Garage  
FLOOR PLAN  
3/16" = 1'-0"

## Detached Garage

24 JOHN STREET SOUTH, MISSISSAUGA

RESIDENCE

APRIL 15, 2021



2601 MATHESON BLVD. E.  
UNIT FOUR  
MISSISSAUGA, ONTARIO, L4W 5A8

Tel: 905-602-0354  
info@newagedesign.ca  
www.newagedesign.ca

## CONFORMITY TO SITE PLAN

I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER THE FILE NO. SPI 20-144 W1

DATE: NOVEMBER 5, 2020 SIGNED:

## BUILDING PERMIT REQUIREMENTS

THE CITY OF MISSISSAUGA DEMANDS THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA DEVELOPMENT AND DESIGN DIVISION.

## RETAINING WALLS

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

## EXISTING TREE PRESERVATION

THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITIONALS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (CONSTRUCTION MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED, OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL CAUSE THE TREE PRESERVATION LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF SITE WORKS.

DATE: NOVEMBER 5, 2020 OWNER'S SIGNATURE:

SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.

## UTILITIES CONNECTION

- SANITARY:  
(A) MUNICIPAL SANITARY SEWER IS AVAILABLE ON THE SITE.
- STORM:  
(A) MUNICIPAL STORM SEWER IS NOT AVAILABLE ON THE SITE.
- WATER:  
(A) SERVICE CONNECTION TO BE 25mm DIA. TYPE "K" SOFT COPPER TUBING UNLESS OTHERWISE NOTED AND AS PER R.P. STD. 1-7-1 AND C.M. STDs. 2115.01 TO 2115.04.

## WATERMAINS AND WATER SERVICE

ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 mm (4") DIA. AND LARGER MUST BE DR 18 P.V.C. PIPE MANUFACTURED TO A.W.W.A. SPEC. C900-16 SPEC COMPLETE WITH TRACER WIRE, SIZE 50 mm (2") AND SMALLER MUST BE TYPE "K" SOFT COPPER PIPE PER A.S.T.M. B88-49 SPECIFICATION.

WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7 m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2 m (4') FROM THEMSELVES AND ALL OTHER UTILITIES.

PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 mm (2") OUTLET ON A 100 mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET IS TO BE 100 mm (4") DIAMETER MINIMUM ON A HYDRANT.

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.

HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7 m (2') AND 0.9 m (3') AND TO HAVE PUMPER NOZZLE.

WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.

WATERMAINS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (12") OVER / 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.

ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.

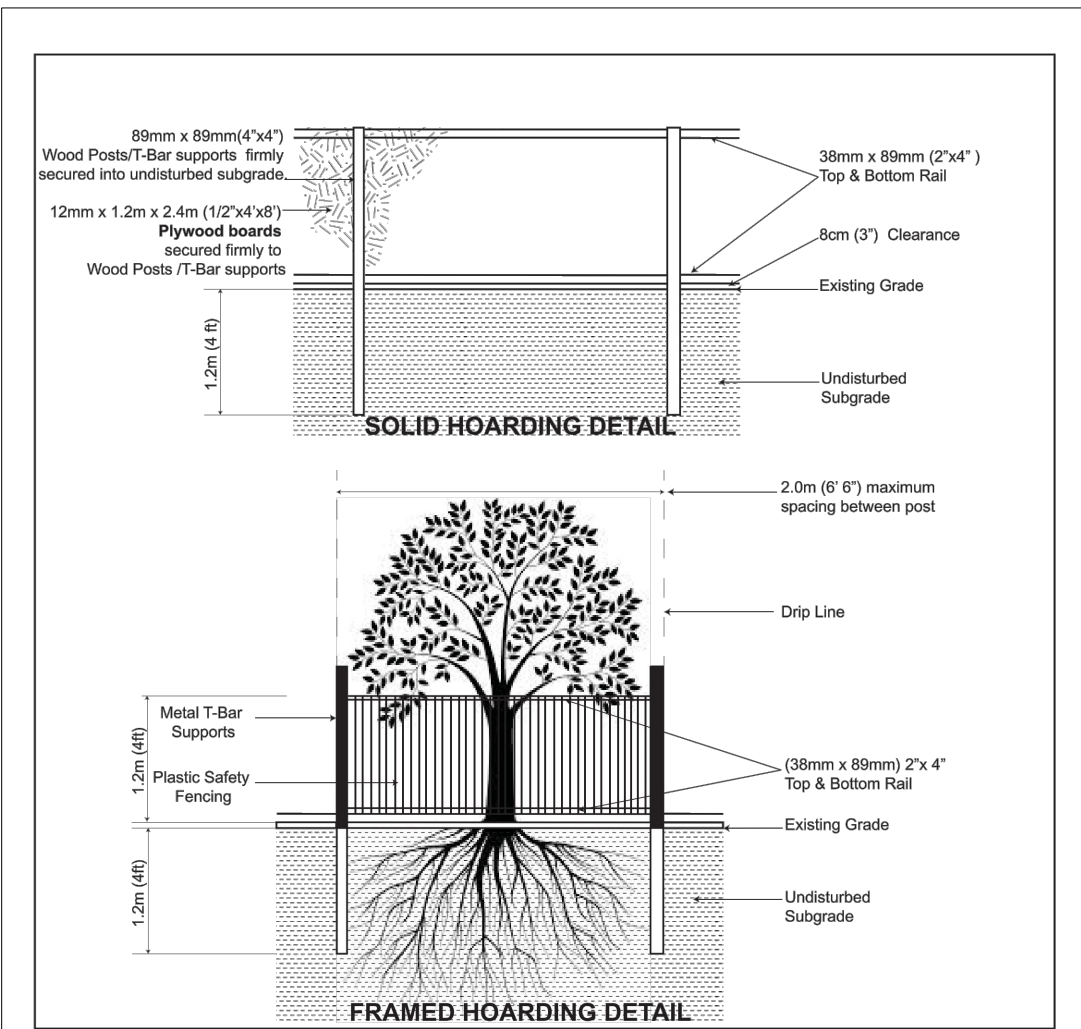
ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.

LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK. WHETHER SHOWN ON THE PLANS OR NOT FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.



- NOTES:**
- Hoarding details to be determined following initial site inspection.
  - Private tree hoarding to be approved by Development & Design.
  - City tree hoarding to be approved by Community Services Dept.
  - Hoarding must be supplied, installed and maintained by the applicant throughout all phases of construction.
  - Inspection must be conducted by the Development and Design Division prior to removing any private hoarding.
  - Do not allow water to collect and pond behind or within hoarding.
  - Fiber supports are acceptable alternative to 4x4 posts. U-shaped metal supports will not be accepted.
  - Plywood must be utilized for solid hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on "construction" side of frame.
  - Applicant is responsible to ensure utility locates are completed within city boulevard prior to installing framed hoarding.

SCALE: 1/8" = 1' DATE: AUG 2017



## PLAN OF SURVEY WITH TOPOGRAPHY OF PART OF LOTS 5 AND 6, SOUTH SIDE OF PORT STREET, WEST OF CREDIT RIVER, PLAN PC-1 (ALSO SHOWN ON PLAN 300) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL



## UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK MACILAM KUBICKI LIMITED OR NEW AGE DESIGN ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

## ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 731, HAVING A PUBLISHED ELEVATION OF 81.58 METRES.

## SURVEY INFORMATION

SURVEY INFORMATION IS TAKEN FROM PLAN PREPARED BY TARASICK MACILAM LIMITED, ONTARIO LAND SURVEYORS, DATED AUGUST 26, 2020 FILE #597-SRPR-1

## EXISTING WELLS/ SEPTIC SYSTEMS

IF A WELL IS DISCOVERED, IT WILL BE DECOMMISSIONED IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (FORMERLY 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.

ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS OR THE ONTARIO WATER RESOURCES ACT REGULATION 903 (FORMERLY 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.

ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED.

## DEMOLITION NOTE

ALL EXISTING STRUCTURES CURRENTLY LOCATED ON THE SUBJECT LANDS ARE TO BE DEMOLISHED PRIOR TO ISSUANCE OF BUILDING PERMIT.

## RAIN WATER

ALL DOWNSPOUTS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN.

PROPOSED SWALES TO HAVE MAXIMUM 1:3 SIDE SLOPES.

## SUMP PUMP

SUMP PUMP SHALL DISCHARGE ONTO SPLASH PAD AT GROUND LEVEL AT THE LOCATION INDICATED ON THIS PLAN - AS REQUIRED.

## REPORT SUMMARY

PROPERTY DESCRIPTION: 24 JOHN STREET SOUTH, BEING PART OF LOTS 5 AND 6, SOUTH SIDE OF PORT STREET, WEST OF CREDIT RIVER, REGISTERED PLAN PC-1 (SHOWN ON PLAN 300), CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY OF PEEL, PIN 13488-1219

SUBJECT TO EASEMENT: THERE ARE NO EASEMENTS REGISTERED ON TITLE COMMENTS: NOTE LOCATION OF FENCES.

## BEARING NOTE

BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE SOUTHWESTERLY LIMIT OF JOHN STREET SOUTH AS SHOWN ON PLAN PC-1, HAVING A BEARING OF NS2°16'50"W.

## CERTIFICATION FOR PROPOSED GRADING

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY HOUSE LOCATED AT 24 JOHN STREET SOUTH AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

NOVEMBER 23, 2020

DATE

FILE NO. 8597

TARASICK MACILAM KUBICKI LIMITED

ONTARIO LAND SURVEYORS  
4181 SLADVIEW PRESENT, UNIT 42  
MISSISSAUGA ON L5L 5R2  
TEL: (905) 569-8849  
FAX: (905) 569-3160

BORYS KUBICKI  
ONTARIO LAND SURVEYOR

## NOTES

ANY LANDSCAPING WITHIN THE MUNICIPAL BOULEVARD WILL BE SUBJECT TO PRIOR APPROVAL BY THE PUBLIC UTILITIES CO-ORDINATING COMMITTEE.

THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.

ON SITE WASTE COLLECTION WILL BE REQUIRED THROUGH A PRIVATE WASTE HAULER.

AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

ALL PROPOSED CURBING (IF ANY) AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.

ANY EXCESS EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE.

ALL DAMAGED AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.

ALL EXISTING TREES OVER 0.15 m TRUNK DIAMETER WILL NOT BE REMOVED UNLESS OTHERWISE SHOWN.

GRADING AT THE BASE OF EXISTING TREES MUST BE PRESERVED ADJACENT THE CONSTRUCTION ZONE.

ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

PROPOSED GRADES AND DRAINAGE PATTERNS SHALL NOT HAVE NEGATIVE IMPACT ON THE ADJACENT PROPERTIES.

— DIRECT DOWN SPOUTS TO THE FRONT OR REAR.  
— DRAINAGE SWALE INVERTS SHALL BE MIN. 0.15 m BELOW THE ADJACENT GRADE ELEVATION.

THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.

PRIOR TO CONSTRUCTION TAKING PLACE FOR ANY HOARDING WITHIN THE MUNICIPAL RIGHT-OF-WAY, P.U.C.C. APPROVAL AND A ROAD OCCUPANCY PERMIT SHALL HAVE BEEN ISSUED.

PRIOR TO ANY CONSTRUCTION TAKING PLACE, STRUCTURALLY CERTIFIED OVERHEAD HOARDING WAY PROTECTION IN ACCORDANCE WITH O.R.E.G. 213/91, SECTION 64 LOCATED WITHIN THE RIGHT-OF-WAY AND/OR PUBLIC LANDS, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE 4 TO 6 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.

## EASEMENTS

THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

## EXTERIOR LIGHTING

ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.

## EXISTING GRADES

ALL EXISTING GRADES AROUND THE PERIMETER AND THE EXISTING GRADING PATTERN OF THE SITE SHALL BE MAINTAINED.

THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.

## GRADING

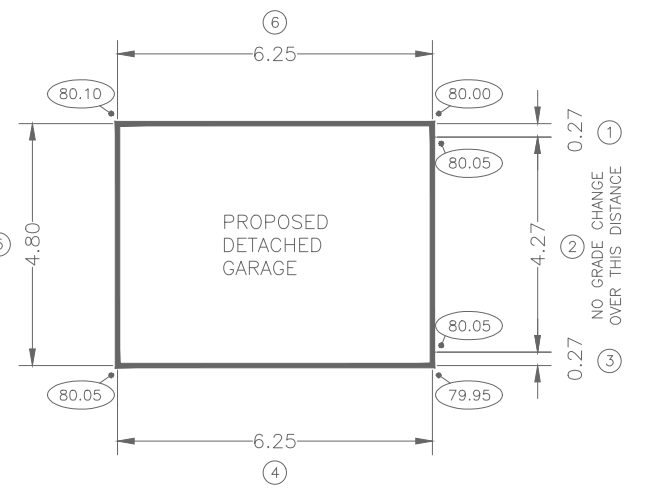
GRADES WILL BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

## DRIVEWAY

THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.

## ESTABLISHED GRADE CALCULATION

| LENGTH | BEGIN ELEV. | END ELEV. | LENGTH (m) | (BL+EL.2/2)XAL |
|--------|-------------|-----------|------------|----------------|
| 1      | 80.00       | 80.05     | 0.27       | 21.61          |
| 2      | 80.05       | 80.05     | 4.27       | 341.81         |
| 3      | 80.05       | 79.95     | 0.27       | 21.60          |
| 4      | 79.95       | 80.05     | 6.25       | 500.00         |
| 5      | 80.05       | 80.10     | 4.80       | 384.36         |
| 6      | 80.10       | 80.00     | 6.25       | 500.31         |
| TOTAL: |             |           | 22.11      | 1769.69        |
| Eg =   |             |           | 1769.69    | 722.11         |
|        |             |           |            | = 80.04        |



## LEGEND:

- IB DENOTES SURVEY MONUMENT FOUND
- RIB DENOTES IRON BAR
- CM DENOTES ROUND IRON BAR
- CM DENOTES CONCRETE MONUMENT
- TC DENOTES TOP OF CURB
- CH DENOTES BOTTOM OF CURB
- CCT DENOTES CURB CUT
- MH DENOTES MANHOLE
- WU DENOTES WATER VALVE
- WUP DENOTES WOOD UTILITY POLE
- WV DENOTES WATER VALVE
- P1 DENOTES REGISTERED PLAN 300
- P2 DENOTES J. ANDREW SMITH, O.L.S., JUNE 6, 1988
- D1 DENOTES INSTRUMENT R0970301
- D2 DENOTES
- ▽ DWELLING ENTRANCE
- ▽ GARAGE ENTRANCE
- ▽ O/H DOORS AND MAIN DOORS
- ▽ DOWNSPOUT - DISCHARGE ONTO SPLASH PADS
- ▽ RAIN BARREL - CONNECTED TO DOWNSPOUT
- ▽ SUMP PUMP
- ▽ AD AREA DRAIN
- ▽ WINDOW WELL
- ▽ CONSTRUCTION ACCESS AND PATCH OF TRAVEL
- ▽ SOLID HOARDING - 12.5mm PLYWOOD (4"x8") SUPPORTED BY METAL 1-BARS AT 2400mm O/C. WITH 50x100mm MIN. TOP AND BOTTOM WOODEN RALS.
- ▽ FRAMED HOARDING - TO BE SNOW FENCING OR PLASTIC SAFETY FENCE SUPPORTED BY METAL 1-BARS AT 2000mm O/C. WITH 25x75mm MIN. TOP AND BOTTOM WOODEN RALS.
- ▽ ATTACHED SILT FABRIC TO HOARDING. (SEDIMENT AND EROSION CONTROL FENCING)
- ▽ EXISTING GRADE ELEVATION.
- ▽ PROPOSED GRADE ELEVATION.
- ▽ DENOTES GRADE MARKING FOR AVERAGE GRADE BY-LAW 225-2007
- ▽ DIRECTION OF DRAINAGE
- ▽ DIRECTION OF SWALE
- ▽ 0.2040 EXISTING DEODUCOUS TREE WITH TRUNK DIAMETER. TREE CANOPIES ARE DRAWN TO SCALE.
- ▽ 0.2040 EXISTING CONIFEROUS TREE WITH TRUNK DIAMETER. TREE CANOPIES ARE DRAWN TO SCALE.
- ▽ EXISTING TREES TO BE REMOVED PERMIT OR PERMISSION REQUIRED TREES INDICATED ARE GREATER THAN 15cm Dia.
- ▽ EXISTING TREES TO BE REMOVED. NO PERMIT OR PERMISSION REQUIRED. TREES INDICATED ARE 15cm DIA. OR LESS. -OR- WITH-IN THE TWO TREES ALLOWED TO BE REMOVED, PER CALENDAR YEAR.
- ▽ TREE #00 TREE NUMBER INDICATOR Refer to Arbolist Report
- ▽ DENOTES KNOWN VARIANCES.

## ZONING

R15-1

## STATISTICS:

674.63 m2  
0.0674 ha.

## DWELLING

PERMITTED G.F.A.:  
169 m2 + 2 x Lot Area 303.92 m2

PERMITTED FLOOR AREA:  
40% of Lot Area 269.85 m2

LOT WIDTH 16.76 m

DETACHED GARAGE R15-1

PERMITTED FLOOR AREA (exterior) 30.00 m2

PERMITTED FLOOR AREA (exterior) 35.75 m2

PROPOSED COVERAGE:

1st FLOOR 148.64 m2

ONE CAR GARAGE 35.75 m2

COVERED FRONT PORCH 25.82 m2

COVERED SIDE ENTRY 2.97 m2

COVERED REAR PATIO 22.45 m2

TOTAL COVERAGE (34.93%) 235.63 m2

PROPOSED G.F.A.:

1st FLOOR 148.64 m2

2nd FLOOR 103.49 m2

2nd FLOOR DEDUCTIONS (-) 8.67 m2

FOYER OPEN TO BELOW (-) 5.62 m2

ONE CAR GARAGE 35.75 m2

EXTERIOR SIZE 273.59 m2

ONE CAR GARAGE 33.31 m2

INTERIOR SIZE 33.31 m2

PERMITTED SETBACKS:

EAST FRONT YARD 5.00 m

EAST (INCLUDES OF COVERED PORCH) 3.20 m

SOUTH 3.00 m

WEST REAR YARD 7.50 m

NORTH 1.20 m

PROPOSED SETBACKS:

EAST FRONT YARD 6.09 m

EAST (INCLUDES OF COVERED PORCH) 3.38 m

SOUTH 4.18 m

WEST REAR YARD 16.11 m

NORTH 1.20 m

PERMITTED HEIGHT:

HIGHEST RIDGE HEIGHT 9.00 m

U/S EAVE HEIGHT 6.80 m

PROPOSED HEIGHT:

HIGHEST RIDGE HEIGHT 8.94 m

U/S EAVE HEIGHT 6.53 m

PERMITTED DWELLING DEPTH: 20.00 m

PROPOSED DWELLING DEPTH: 14.64 m

AVERAGE GRADE: 79.60

LOT AREA: 674.63 m2

40% MIN. LANDSCAPE SOFT AREA: 269.85 m2

PROPOSED LANDSCAPE SOFT AREA (44.13%) 291.75 m2

VERIFIED 11.2017

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

• VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

• DO NOT SCALE DRAWINGS.

• REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECTURAL TECHNOLOGIST BEFORE PROCEEDING WITH ANY CONSTRUCTION.

• USE ONLY THE LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED - ISSUED FOR CONSTRUCTION -

• ANY CHANGES TO DRAWING AND RELATED SPECIFICATIONS OR ANY PART THEREOF, ARE RESERVED FOR THE ARCHITECTURAL TECHNOLOGIST.

AVERAGE GRADE CALCULATION

|                 |  |        |
|-----------------|--|--------|
| GR. 1           | CENTER LINE OF ROAD                      | 79.28  |
| GR. 2           | INTERSECTION OF FRONT AND SIDE LOT LINES | 79.33  |
| GR. 3           | FRONT YARD SETBACK                       | 79.47  |
| GR. 4           | 15m BACK FROM GR. 3                      | 79.83  |
| GR. 5           | CENTER LINE OF ROAD                      | 79.92  |
| GR. 6           | INTERSECTION OF FRONT AND SIDE LOT LINES | 79.86  |
| GR. 7           | FRONT YARD SETBACK                       | 79.62  |
| GR. 8           | 15m BACK FROM GR. 7                      | 79.92  |
| SUM OF GRADES   |  | 636.83 |
| AVERAGE GRADE = |  | 79.60  |

24 JOHN STREET SOUTH  
MISSISSAUGA, ONTARIO

SUSTAINABLE TECHNOLOGY:  
• RAIN BARRELS (SEE SITE PLAN FOR LOCATIONS).  
• PERMEABLE PAVING WALKWAY.

## AVERAGE GRADE CALCULATION

|                 |  |        |
|-----------------|--|--------|
| GR. 1           | CENTER LINE OF ROAD                      | 79.28  |
| GR. 2           | INTERSECTION OF FRONT AND SIDE LOT LINES | 79.33  |
| GR. 3           | FRONT YARD SETBACK                       | 79.47  |
| GR. 4           | 15m BACK FROM GR. 3                      | 79.83  |
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| GR. 6           | INTERSECTION OF FRONT AND SIDE LOT LINES | 79.86  |
| GR. 7           | FRONT YARD SETBACK                       | 79.62  |
| GR. 8           | 15m BACK FROM GR. 7                      | 79.92  |
| SUM OF GRADES   |  | 636.83 |
| AVERAGE GRADE = |  | 79.60  |

## 24 JOHN STREET SOUTH MISSISSAUGA, ONTARIO

## DETACHED GARAGE

# City of Mississauga

## Memorandum



Date: April 16, 2021

To: Chair and Members of Port Credit Heritage Conservation District Subcommittee

From: John Dunlop, Manager of Heritage Planning & Indigenous Relations

Meeting date: May 3, 2021

Subject: **Request to Alter 11 Peter Street South (Ward 1)**

---

### Recommendation:

That the request to install a ramp and replace doors and windows at 11 Peter Street South, as per the memorandum from John Dunlop, Manager of Heritage Planning & Indigenous Relations, dated April 16, 2021, be approved.

### Background:

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Old Port Credit Village Heritage Conservation District (HCD). Changes to the property are subject to the Old Port Credit Village HCD Plan, 2018.

### Comments:

The owner of St. Mary Star of the Sea proposes changes to the mid twentieth century rectory attached to the rear of the church. (See Appendix 1.) A ramp and new windows and doors are proposed, alterations, which are subject to a heritage permit. Photos of the existing condition are attached as Appendix 2. The proposal is attached as Appendix 3.

The proposed ramp is a simple “predominantly freestanding concrete structure” that would replace the existing landing. It includes a metal railing and glass guard. The stairs and path are also proposed to be replaced but would reuse the existing flagstone. The HCD Plan states that ramps: “should not be physically attached in order to avoid damage to the heritage building fabric. In some circumstances, attachments may be permitted where they cause the least amount of damage to heritage building fabric” (13.1.3). The ramp would be anchored into the building; however, the impact is minimal and necessary to provide barrier-free access.

The spirit of front entry, which, with its angled divided miniature curtain wall, is certainly of its time and an important characteristic of the building. These windows and door are proposed to be replaced with the door relocated further from the ramp to provide a wider turning radius. A

new vertically divided side window is proposed and transom windows matching the existing arrangement, based on the door width.

On the rest of the building, several doors are proposed to be replaced. (See drawings.) Door type "C" would replace the sliding glass doors at the mechanical courtyard to provide more security. A door would replace the ground floor window to the south of the main entrance (also on the west face) as this area forms a separate unit. This area is currently and would remain shielded from view by a fence. A new wood balcony is proposed on the south face with tempered glass panels. All of these doors either match what is existing or are similar and simple.

The proposed changes are compatible and, in the case of the ramp, would improve accessibility to this HCD landmark. As such, they should be approved.

**Conclusion:**

The owner of the subject property has applied to install a ramp and update windows and doors at 11 Peter Street South. The proposed changes are sympathetic to the character of the property and provide accessibility. They should therefore be approved.

**Attachments**

- Appendix 1: Location Photos
- Appendix 2: Photographs of Existing Condition
- Appendix 3: Proposed Changes

Prepared by: P. Wubbenhorst, Heritage Planner

## St. Mary Star of the Sea Rectory Proposed Exterior Ramp – Existing Photos



St. Mary Star of the Sea Church view from Lakeshore and Peter Street



St. Mary Star of the Sea Church and Rectory view from Lakeshore



St. Mary Star of the Sea Rectory view from Peter Street



St. Mary Star of the Sea Church existing entrance of Lakeshore



St. Mary Star of the Sea Rectory entry & proposed ramp location looking north



St. Mary Star of the Sea Rectory entry & proposed ramp location







South face



Mechanical courtyard door



East face



East face detail

NAME OF PROJECT:  
RENOVATION OF  
ST MARY STAR OF THE SEA RECTORY

PROJECT LOCATION:  
11 PETER STREET SOUTH  
MISSISSAUGA, ONTARIO  
L5H 2G1

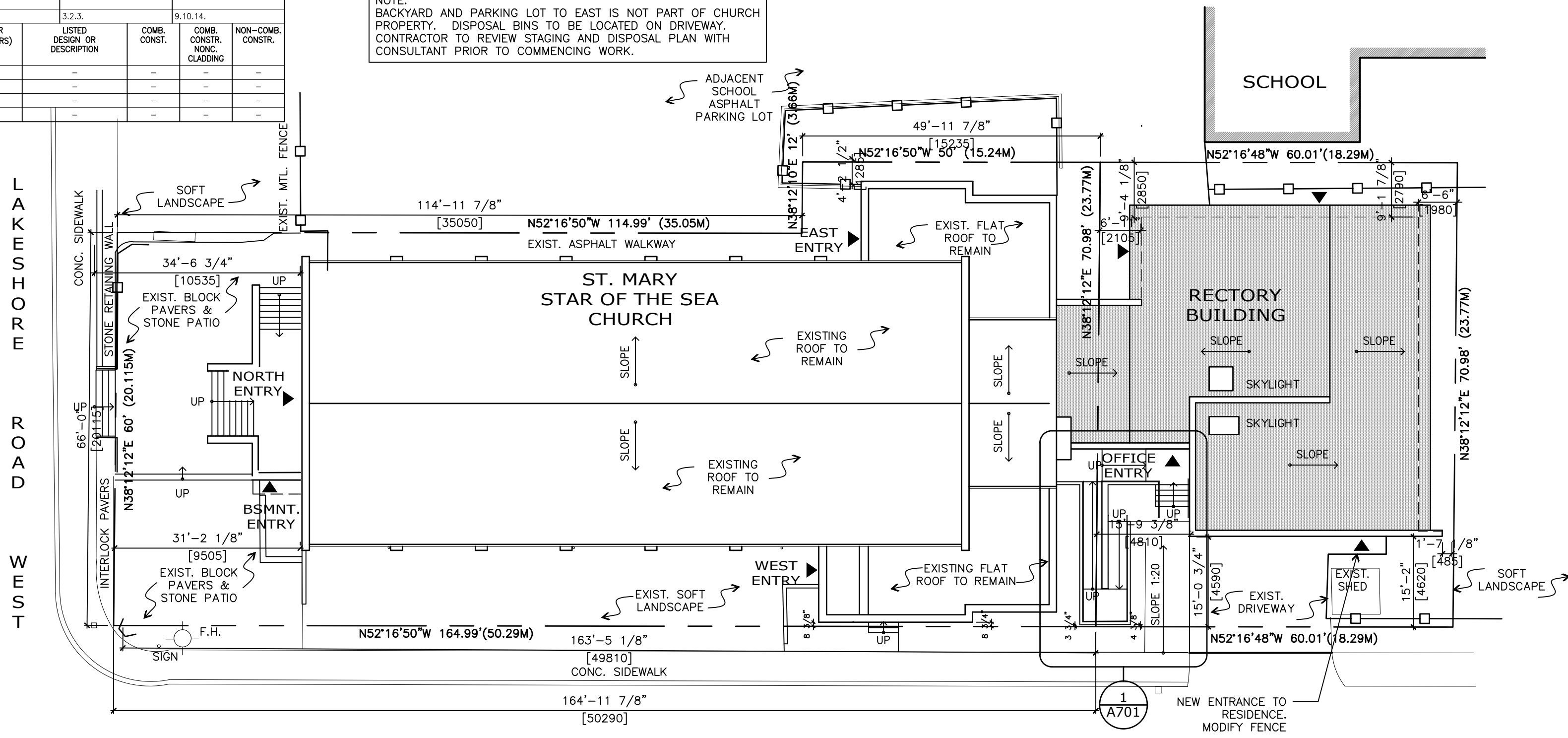


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M6S 2C2 Canada  
416 762 2778 tel  
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www.lynchcomisso.com

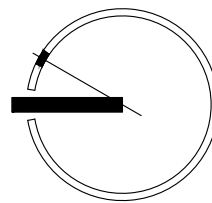
| ITEM | ONTARIO BUILDING CODE<br>DATA MATRIX PARTS 3 AND 9   | O.B.C. REFERENCE<br>References are to Division B unless noted<br>[A] for Division A or [C] for Division C                        |
|------|--|--|
| 1.   | PROJECT DESCRIPTION: --<br><div><input type="checkbox"/> New<br/><input type="checkbox"/> Addition<br/><input type="checkbox"/> Change of Use<br/><input checked="" type="checkbox"/> Alteration</div> <div><input checked="" type="checkbox"/> PART 11<br/>11.1 to 11.4</div>   | <input checked="" type="checkbox"/> PART 3<br>1.1.2. [A]<br><input checked="" type="checkbox"/> PART 9<br>1.1.2. [A] & 9.10.1.3. |
| 2.   | MAJOR OCCUPANCY(S)<br>GROUP A DIVISION 2 AND GROUP C RESIDENTIAL   | 3.1.2.1.(1)<br>9.10.2.   |
| 3.   | BUILDING AREA (m <sup>2</sup> ) Existing: 865.16 New: 1.6 Total: 866.76  | 1.4.1.2. [A]<br>1.4.1.2. [A]   |
| 4.   | GROSS AREA (m <sup>2</sup> ) Existing: 1120.79 New: -2.81 Total: 1117.98   | 1.4.1.2. [A]<br>1.4.1.2. [A]   |
| 5.   | NUMBER OF STOREYS Above grade: 2 Below grade: 1  | 1.4.1.2. [A] & 3.2.1.1.<br>1.4.1.2. [A] & 9.10.4   |
| 6.   | NUMBER OF STREETS/FIRE FIGHTER ACCESS 2  | 3.2.2.10. & 3.2.5.<br>9.10.20.   |
| 7.   | BUILDING CLASSIFICATION GROUP A DIVISION 2 UP TP 2 STOREYS   | 3.2.2.20.-83<br>9.10.2.  |
| 8.   | SPRINKLER SYSTEM PROPOSED<br><input type="checkbox"/> entire building<br><input type="checkbox"/> selected compartments<br><input type="checkbox"/> selected floor areas<br><input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating<br><input checked="" type="checkbox"/> not required  | 3.2.2.20.-83<br>9.10.8.2.<br>3.2.1.5.<br>3.2.2.17.<br>INDEX<br>INDEX   |
| 9.   | STANDPIPE REQUIRED <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   | 3.2.9.<br>N/A  |
| 10.  | FIRE ALARM REQUIRED <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  | 3.2.4.<br>9.10.18.   |
| 11.  | WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   | 3.2.5.7.<br>N/A  |
| 12.  | HIGH BUILDING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  | 3.2.6.<br>N/A  |
| 13.  | PERMITTED CONSTRUCTION <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both<br>ACTUAL CONSTRUCTION <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both  | 3.2.2.20.-83<br>9.10.6.  |
| 14.  | MEZZANINE(S) AREA (m <sup>2</sup> ) N/A  | 3.2.1.1.(3)-(8)<br>9.10.4.1.   |
| 15.  | OCCUPANT LOAD BASED ON <input checked="" type="checkbox"/> m <sup>2</sup> /person <input type="checkbox"/> design of building<br>BASEMENT: OCCUPANCY CHURCH HALL LOAD 444 PERSONS<br>1ST FLOOR OCCUPANCY CHURCH NAVE LOAD 586 PERSONS<br>2ND FLOOR OCCUPANCY RECTORY LOAD 6 PERSONS<br>3RD FLOOR OCCUPANCY -- LOAD -- PERSONS<br>(Additional floor areas continued on last page) | 3.1.17.<br>9.9.1.3.  |
| 16.  | BARRIER-FREE DESIGN <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (explain)  | 3.8.<br>9.5.2.   |
| 17.  | HAZARDOUS SUBSTANCES <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   | 3.3.1.2. & 3.3.1.19.<br>9.10.1.3.(4)   |
| 18.  | REQUIRED FIRE RESISTANCE RATING (FRR)<br>HORIZONTAL ASSEMBLIES<br>FRR (HOURS)<br>Floors: N/A Hours<br>Roof: 0 Hours<br>Mezzanine: N/A Hours<br>FRR OF SUPPORTING MEMBERS<br>Floors: N/A Hours<br>Roof: 0 Hours<br>Mezzanine: N/A Hours   | 3.2.2.20.-83 &<br>3.2.1.4.<br>9.10.8.<br>9.10.9.   |
| 19.  | SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS<br>WALL AREA OF EBF (m <sup>2</sup> ) L.D. (m) L/H OR H/L PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB. CONST. COMB. CONSTR. NONC. CLADDING NON-COMB. CONSTR.   | 3.2.3.<br>9.10.14.   |
|      | NORTH N/A -- -- NO CHANGE -- -- -- -- -- --<br>SOUTH N/A -- -- -- NO CHANGE -- -- -- -- -- --<br>EAST N/A -- -- -- NO CHANGE -- -- -- -- -- --<br>WEST N/A -- -- -- NO CHANGE -- -- -- -- -- --  |  |

| SITE ANALYSIS                    |                       |                |           |                |                   |          |                |       |
|----------------------------------|-----------------------|----------------|-----------|----------------|-------------------|----------|----------------|-------|
| Municipal Address:               | 11 Peter Street South |                |           |                |                   |          |                |       |
| Zoning Classification:           | CR 4                  |                |           |                |                   |          |                |       |
| Site Stats                       | s.f.                  | m <sup>2</sup> |           |                |                   |          |                |       |
| Lot Area                         | 16376.78              | 1521.45        |           |                |                   |          |                |       |
|                                  | ft                    | m              |           |                |                   |          |                |       |
| Lot Frontage                     | 66.00                 | 20.12          |           |                |                   |          |                |       |
| Lot Depth                        | 228.19                | 69.55          |           |                |                   |          |                |       |
| Gross Floor Area                 | Allowed               |                | Existing  |                |                   | Proposed |                |       |
|                                  | s.f.                  | m <sup>2</sup> | s.f.      | m <sup>2</sup> | %                 | s.f.     | m <sup>2</sup> | %     |
| T [Total]                        |                       |                | 12064.08  | 1120.79        | 73.67             | 12033.79 | 1117.98        | 73.48 |
|                                  |                       |                |           |                | Proposed Increase | -2.81    | m <sup>2</sup> |       |
| Building Area                    | Existing              |                | Proposed  |                |                   |          |                |       |
|                                  | s.f.                  | m <sup>2</sup> | s.f.      | m <sup>2</sup> |                   |          |                |       |
| Church Basement*                 | 7021.09               | 652.28         | no change |                |                   |          |                |       |
| Rectory Basement*                | 620.7                 | 57.66          | no change |                |                   |          |                |       |
| Church Ground Floor              | 6765.55               | 628.54         | no change |                |                   |          |                |       |
| Rectory Ground Floor             | 2546.96               | 236.62         | 2564.23   | 238.22         |                   |          |                |       |
| Church Choir Loft                | 578.76                | 53.77          | no change |                |                   |          |                |       |
| Rectory 2nd Floor                | 2172.81               | 201.86         | 2125.25   | 197.44         |                   |          |                |       |
| * basement not included in total |                       |                |           |                |                   |          |                |       |
| Total                            | 12064.08              | 1120.79        | 12033.79  | 1117.98        |                   |          |                |       |
| Setbacks                         | Required              |                | Required  |                | Proposed          |          |                |       |
|                                  | ft                    | m              | ft        | m              | ft                | m        |                |       |
| Front Yard (Max)                 | 9.84                  | 3.00           | 34.56     | 10.53          | no change         |          |                |       |
| Side Yard (East)                 | 0.00                  | 0.00           | 3.75      | 1.14           | no change         |          |                |       |
| Side Yard (West)                 | 0.00                  | 0.00           | 0.29      | 0.09           | no change         |          |                |       |
| Rear Yard                        | 14.76                 | 4.50           | 1.65      | 0.50           | no change         |          |                |       |
| Building Height                  | Required              |                | Required  |                | Proposed          |          |                |       |
|                                  | ft                    | m              | ft        | m              | ft                | m        |                |       |
| Rectory                          | 52.49                 | 16.00          | 22.8      | 6.95           | no change         |          |                |       |
| Church                           | 52.49                 | 16.00          | 47.45     | 14.46          | no change         |          |                |       |

NOTE:  
BACKYARD AND PARKING LOT TO EAST IS NOT PART OF CHURCH PROPERTY. DISPOSAL BINS TO BE LOCATED ON DRIVEWAY. CONTRACTOR TO REVIEW STAGING AND DISPOSAL PLAN WITH CONSULTANT PRIOR TO COMMENCING WORK.



1 SITE PLAN  
SCALE: 1/16"=1'-0"



CONTRACTORS MUST VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCY MUST BE REPORTED TO LYNCH + COMISSO INC. PRIOR TO CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY THE ARCHITECT.

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|                  |              |
|------------------|--------------|
| ISSUANCES:       |              |
|                  |              |
|                  |              |
|                  |              |
|                  |              |
|                  |              |
|                  |              |
|                  |              |
| 04/ HERITAGE     | 6 APR 2021   |
| 03/ PERMIT       | 16 MAR 2021  |
| 02/ CLERK REVIEW | 2 DEC 2020   |
| 01/ COORDINATION | 17 SEPT 2020 |

CLIENT:  
ST MARY STAR OF THE SEA PARISH

PROJECT NAME:  
RECTORY RENOVATION

LOCATION:  
11 PETER STREET SOUTH  
MISSISSAUGA, ON, L5H 2G1

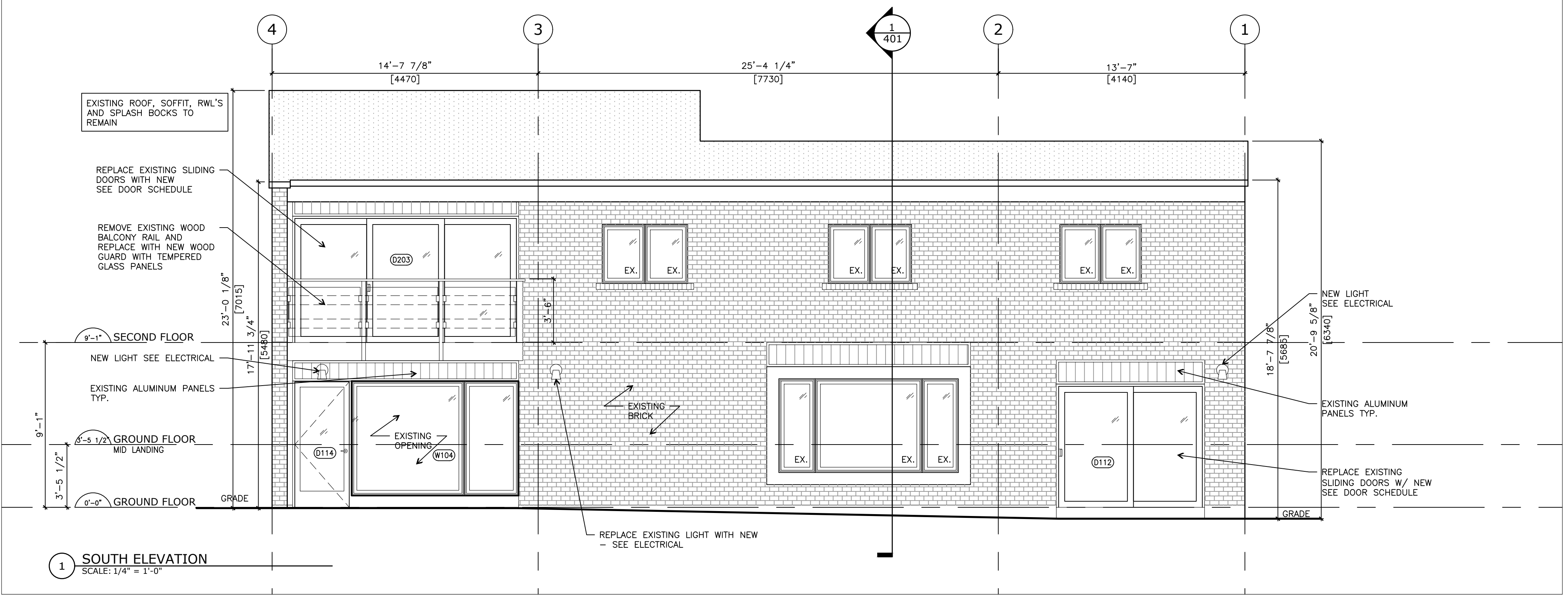
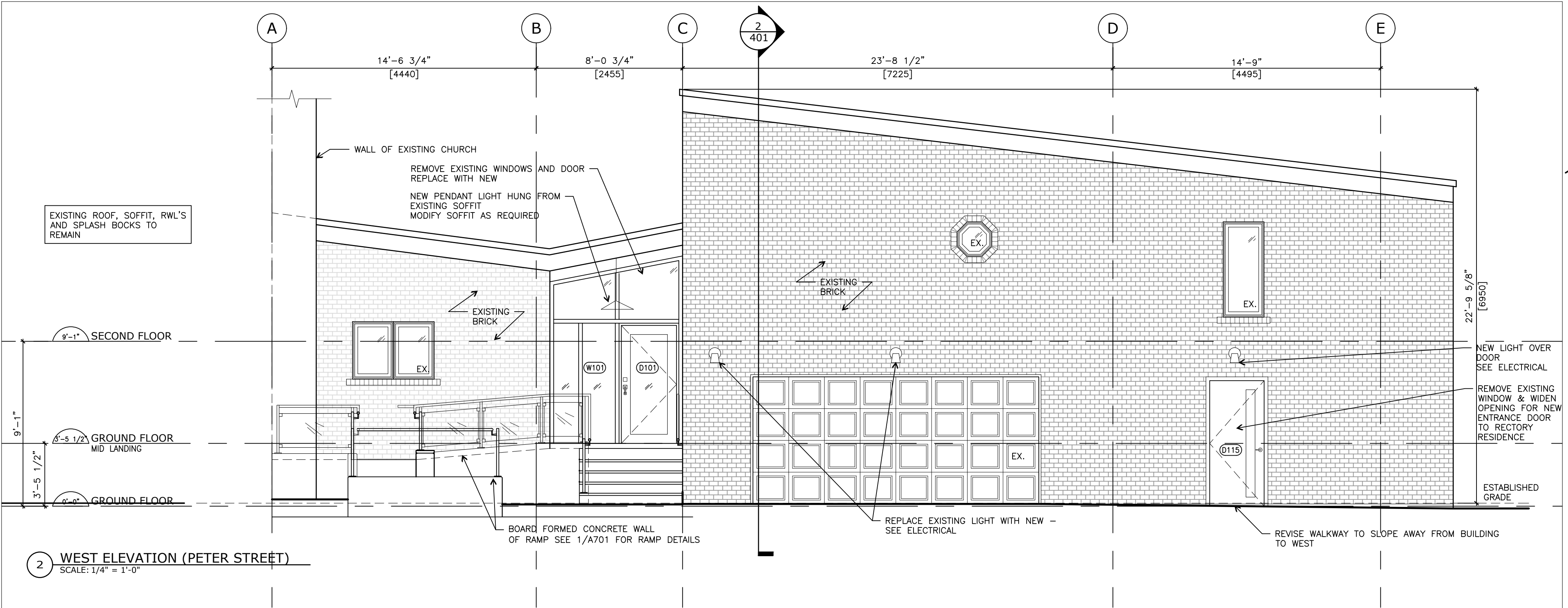
DATE:  
SEPTEMBER 2020

DRAWN BY: JA  
CHECKED BY: MEL

DRAWING NAME:  
OBC MAXTRIX SITE PLAN

SCALE:

DRAWING #:



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OF  
ARCHITECTS

MARY ELLEN LYNCH COMISSO  
LICENCE  
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ISSUANCES:

| NO. | DESCRIPTION  | DATE         |
|-----|--------------|--------------|
| 04  | HERITAGE     | 6 APR 2021   |
| 03  | PERMIT       | 16 MAR 2021  |
| 02  | CURRY REVIEW | 7 DEC 2020   |
| 01  | COORDINATION | 17 SEPT 2020 |

CLIENT:

ST MARY STAR OF THE SEA  
PARISH

PROJECT NAME:

RECTORY RENOVATION

LOCATION:

111 PETER STREET SOUTH  
MISSISSAUGA, ON, L5H 2G1

DATE:

SEPTEMBER 2020

DRAWN BY:

J.A.

CHECKED BY:

MEL

DRAWING NAME:

RECTORY  
EXTERIOR  
ELEVATIONS

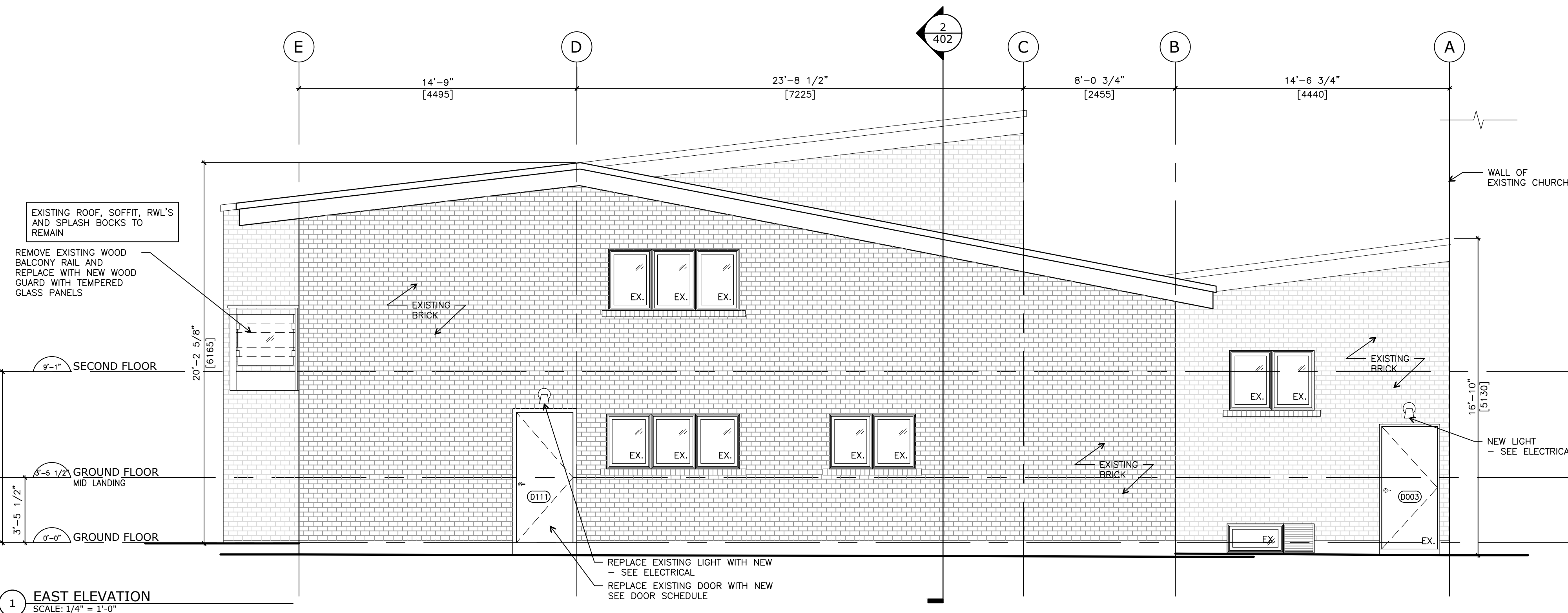
SCALE:

DRAWING #:

A301

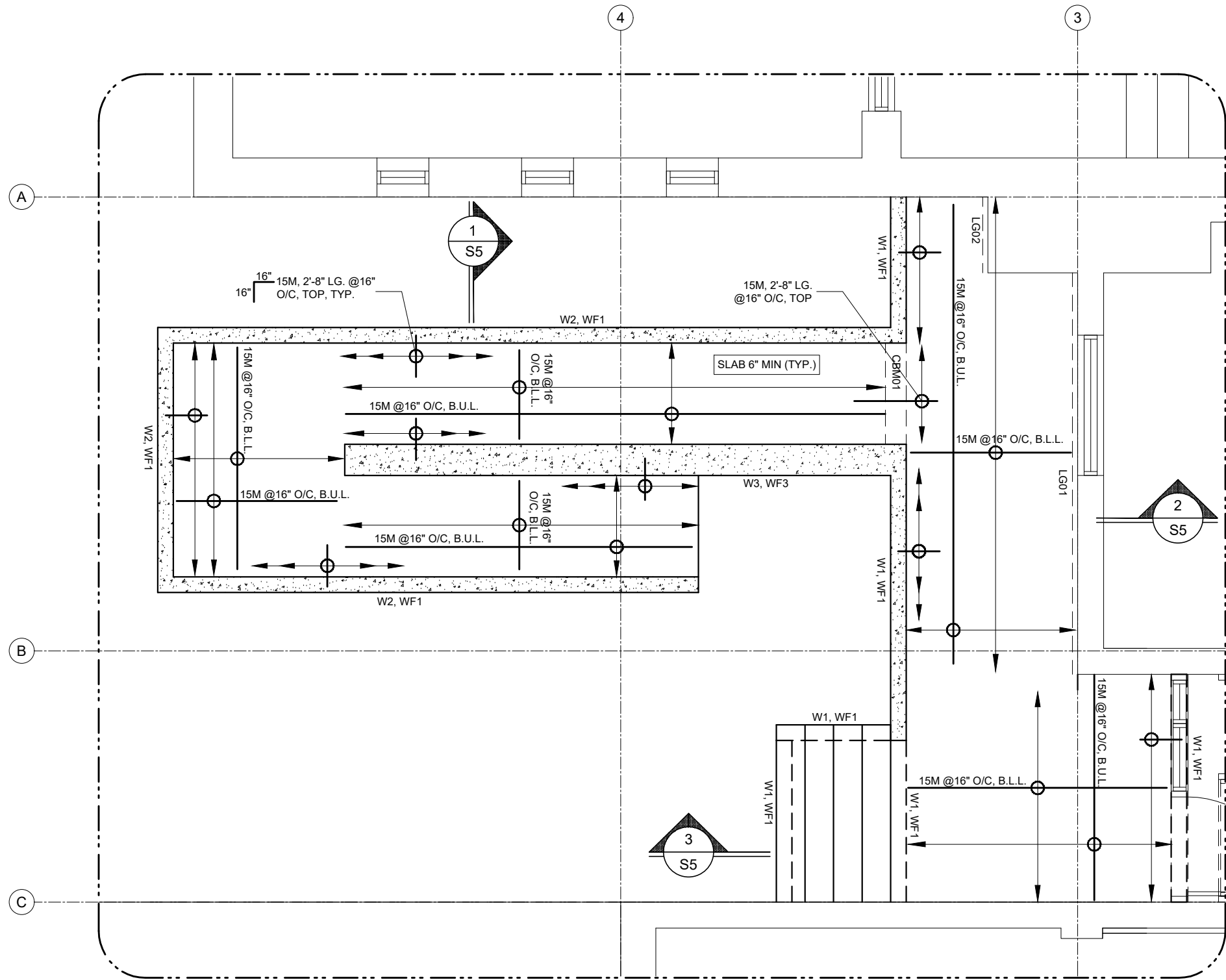
PROJECT No:

2011



2011





**EXTERIOR RAMP AND STAIR PLAN**  
SCALE: 1/4"=1'-0"

**FOUNDATION NOTES**

1. ALL NEW FOOTINGS SHALL BE TAKEN DOWN TO UNDISTURBED SOIL CAPABLE OF SUSTAINING 2500 PSF (120 KPA), SERVICE
2. ALL EXTERIOR FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 1200 BELOW FINISHED GRADE.
3. UNDER THE FOUNDATION, PROVIDE A MINIMUM OF 12" DEEP GRANULAR SUB-GRADE MATERIAL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
4. THE MAXIMUM SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10, AND MAXIMUM STEP OF APPROXIMATELY 600. REFER TO ARCHITECTURAL DRAWING FOR STEPPED FOOTING LOCATIONS.
5. FOOTING AND FOUNDATION WALL CONCRETE, AND ALL CONCRETE EXPOSED TO WEATHER, SHALL HAVE 7% AIR ENTRAINMENT.
6. THE SOIL CONSULTANT'S APPROVAL MUST BE OBTAINED BEFORE PLACING OF CONCRETE FOR THE FOOTINGS.
7. REFER TO THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF THE CONCRETE RAMP, STAIR AND PLATFORM.

**CONCRETE RAMP & STAIR LEGEND**

- W1 - DENOTES NEW 8" CONC. WALL, REINF. W/ 15M V&H @16" O/C. SEE SECTION FOR REBAR LOCATIONS.
- W2 - DENOTES NEW 8" CONC. WALL W/ 6" CURB ABOVE RAMP, REINF. W/ 15M V&H @16" O/C. SEE SECTION FOR REBAR LOCATIONS.
- W3 - DENOTES NEW 12" CONC. WALL, REINF. W/ 15M V&H @16" O/C, E.F. SEE SECTION FOR REBAR LOCATIONS.
- WF1 - DENOTES NEW 1'-6"x8" DP. WALL FTG., REINF. W/2-15M LONG DIRECTION
- WF3 - DENOTES NEW 1'-10"x8" DP. WALL FTG., REINF. W/3-15M LONG DIRECTION
- CBM01 - DENOTES CONC. BEAM 8"W X 6" D, REINF. W/ 3-15M BOT. BEAM FLUSH WITH SLAB.
- LG01 - DENOTES L4"x4"x1/4" ATTACHED TO EXIST. MASON. WALL W/ 5/8" DIA. A325M THRU BOLTS @ 16" O/C, MAX., C/W BACK PL. 4"x4"x3/8"
- LG02 - DENOTES L4"x4"x1/4" ATTACHED TO EXIST. MASON. WALL W/ 5/8" DIA. X5" EMBED. HILTI HY-270 ANCHORS @12" O/C, MAX.

**LEGEND**

- B.U.L. - DENOTES BOTTOM UPPER LAYER
- B.L.L. - DENOTES BOTTOM LOWER LAYER
- V & H - DENOTES VERTICAL & HORIZONTAL
- E.F. - DENOTES EACH FACE
- I.F. - DENOTES INSIDE FACE
- E.W. - DENOTES EACH WAY
- LLV - DENOTES LONG LEG VERTICAL

**ADDITIONAL NOTES**

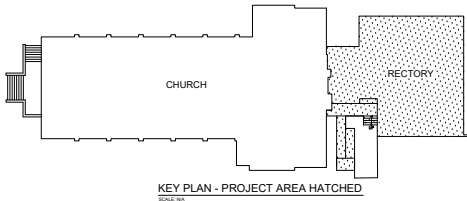
SEE SHEETS S1 & S2

**NOTE:**

**6.2**

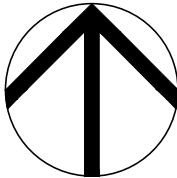
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|     |                            |                |
|-----|----------------------------|----------------|
| 0   | ISSUED FOR PERMIT & TENDER | MARCH 16, 2021 |
| No. | Revision                   | Date           |

North Arrow



Project Title  
**ST. MARY STAR OF THE SEA PARISH  
RECTORY RENOVATION**  
11 PETER ST. S., MISSISSAUGA, ON L5H 2G1

Drawing Title  
**EXTERIOR RAMP AND STAIR PLAN**

**NORTHERN ENGINEERING DESIGN & FORENSICS**  
1129-20 Carlton St. Toronto  
ON M5B 2H5  
TELEPHONE: (416)792-6613  
Email: reachus@northernengineeringdesignandforensics.com

|                           |                               |
|---------------------------|-------------------------------|
| DESIGNED:<br><b>N.M.</b>  | JOB NO:<br><b>010-FE-20</b>   |
| PAGE:<br><b>S4 OF 5</b>   | DATE:<br><b>OCT. 27, 2020</b> |
| SCALE:<br><b>AS NOTED</b> |                               |



| WINDOW SCHEDULE |          |                          |       |      |                    |            |          |      |   |
|-----------------|----------|--------------------------|-------|------|--------------------|------------|----------|------|---|
| WINDOW#         | LOCATION |                          | CAT.  | mat. | ROUGH OPENING SIZE |            |          | TYPE | NOTES   |
|                 | Rm #     | Room Name                |       |      | Width              | Height     | Sill Ht. |      |   |
| W101            | R101     | EX. PARISH OFFICE LOBBY  | NE/CG | WD   | VARIABLES          | VARIABLES* | 6"       | A    | NEW WINDOW SCREEN W/ DOOR AND TRANSOME WINDOW ABOVE IN EXISTING OPENING |
| W102            | R102     | EX. PARISH OFFICE 1      | NE/F  | VYL  | 45 1/4"            | 36 1/2"    | 43 1/2"  | B    | NEW FIXED WINDOW IN EXISTING OPENING- SEE ALTERNATE PRICE 1             |
| W103            | R107     | EX. PARISH OFFICE LOUNGE | NE    | WD   | 18 1/2"            | 72"        | 8"       | C    | NEW DOOR W/ SIDE LIGHT IN EXISTING OPENING                              |
| W104            | R114     | EXISTING LIVING ROOM     | NE    | WD   | 100 1/4"           | 74"        | 8"       | D    | NEW WINDOW W/ DOOR AND NEW POST IN EXISTING OPENING                     |
| W201            | R205     | EXISTING BEDROOM 1       | NE/C  | VYL  | 58"                | 63"        | 16"      | F    | NEW CASEMENT WINDOW IN EXISTING OPENING                                 |

\*WINDOW HEIGHT SLOPES SEE WINDOW TYPE DETAILS

WINDOW LEGEND:

AP= ALTERNATE PRICE  
N= NEW WINDOW IN NEW OPENING  
NE= NEW WINDOW IN EXISTING OPENING  
E = EXISTING STAINED GLASS TO BE RESTORED  
C= CASEMENT  
F= FIXED  
FILM= CUSTOM PATTERN ON FILM APPLIED TO NEW WINDOWS  
TG= TEMPERED GLASS

GENERAL NOTES:

- 1 VERIFY DIMENSIONS OF EXISTING WINDOWS ON SITE. VERIFY WALL AND MOUNTING CONDITIONS.
- 2 REPORT ANY DAMAGE TO WALLS TO CONSULTANT PRIOR TO ORDERING NEW WINDOWS.
- 3 SUPPLY AND INSTALL FILM PATTERN ON WINDOWS WHERE NOTED IN SCHEDULE.
- 4 REFER TO WINDOW TYPE DETAILS AND SPECIFICATIONS FOR MORE INFORMATION.
- 5 PROVIDE TEMPERED GLASS WHERE SHOWN ON ELEVATIONS.
- 6 SILL HEIGHTS ARE SHOWN FROM FINISHED FLOOR.
- 7 REFER TO INTERIOR ELEVATIONS FOR FINISH INFORMATION.
- 8 WOOD WINDOWS TO BE NORWOOD WINDOWS PREFINISHED W/FLEXACRON COATING STANDARD COLOUR
- 9 VINYL WINDOWS TO BE OSTACO
- 10 DISTRIBUTER CONTACT FOR NORWOOD & OSTACO WINDOWS JEFF CARINS OF RIDLEY, CELL 416-727-7673
- 11 REFER TO WINDOW AND DOOR COVERING SCHEDULE ON A1003

3 WINDOW SCHEUDLE

SCALE: N/A

| DOOR SCHEDULE |          |                          |      |       |       |      |             |        |        |                     |             |                        |                   |   |
|---------------|----------|--------------------------|------|-------|-------|------|-------------|--------|--------|---------------------|-------------|------------------------|-------------------|---|
| Door #        | Location |                          | Type | DR    | FR    | CAT. | Size (inch) |        |        | Finish <sup>3</sup> | Fire Rating | Under Cut <sup>1</sup> | Lock <sup>2</sup> | Notes   |
|               | Rm #     | Room Name                |      | Mat.  | Mat.  |      | Width       | Height | Thick. |                     |             |                        |                   |   |
| RECTORY       |          |                          |      |       |       |      |             |        |        |                     |             |                        |                   |   |
| D001          | R001     | EXISTING MECHANICAL      | F    | HM    | HM    | N    | 36"         | 80"    | 1 3/4" | PT                  | Y           |                        | Y                 | 45 MIN DOOR ASSEMBLY  |
| D002          | R003     | EXISTING STORAGE         | F    | HM    | HM    | N    | 36"         | 80"    | 1 3/4" | PT                  | Y           |                        | CA                | 45 MIN DOOR ASSEMBLY  |
| D003          | R001     | EXISTING MECHANICAL      | E    |       |       |      |             |        |        |                     |             |                        |                   | EX. EXTERIOR DOOR- REPLACE HANDLE, DEAD BOLT TO REMAIN <sup>2</sup> |
| D101          | R101     | EX. PARISH OFFICE LOBBY  | A    | WD2/G | WD    | N    | 38"         | 84"    | 1 3/4" | PT                  |             |                        | CA                | EXTERIOR DOOR W/ PUSH BUTTON IN NEW CURTAIN WALL                    |
| D102          | R102     | EX. PARISH OFFICE 1      | G    | SC    | WD    | N    | 38"         | 84"    | 1 3/4" | PT                  |             |                        | Y                 | NEW DOOR IN EXSITNG WALL. MAKE GOOD WALL AS REQUIRED                |
| D103          | R102     | EX. PARISH OFFICE 1      | G    | SC    | EX.WC | NE   | 28"         | 80"    | 1 1/2" | PT                  |             |                        |                   | EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR <sup>2</sup>     |
| D104          | R104     | EXISTING STAIR TO CHURCH | F    | HM    | HM    | NE   | 32"         | 80"    | 1 3/4" | PT                  | Y           |                        | Y                 | 45 MIN DOOR ASSEMBLY INEXISTNG OPENING                              |
| D105          | R103     | EX. PARISH OFFICE 2      | G    | WD    | WD    | N    | 38"         | 84"    | 1 3/4" | PT                  |             |                        | Y                 | NEW DOOR IN EXSITNG WALL. MAKE GOOD WALL AS REQUIRED                |
| D106          | R106     | BARRIER FREE W/C         | G    | WD    | WD    | N    | 38"         | 84"    | 1 3/4" | PT                  |             | Y                      | Y                 | DOOR W/ BARRIER FREE PUSH BUTTON AND PUSH TO LOCK BUTTON            |
| D107          | R107     | EX. PARISH OFFICE LOUNGE | C    | WD2/G | WD    | NE   | 38"         | 80"    | 1 3/4" | PT                  |             |                        | Y                 | EXTERIOR DOOR WITH SIDELIGHT IN EXISTING OPENING                    |
| D108          | R108     | EX. PARISH OFFICE 3      | G    | SC    | EX.WC | NE   | 32"         | 80"    | 1 1/2" | PT                  |             |                        |                   | EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR <sup>2</sup>     |
| D109          | R107     | EX. PARISH OFFICE LOUNGE | F    | HM    | HM    | N    | 36"         | 80"    | 1 3/4" | PT                  | Y           |                        | Y                 | 45 MIN DOOR ASSEMBLY  |
| D110          | R109     | WC                       | G    | WD    | WD    | N    | 34"         | 80"    | 1 1/2" | PT                  |             | Y                      | Y                 |   |
| D111          | R112     | EXISTING BREAKFAST RM    | H    | F     | WD    | NE   | 36"         | 83"    | 1 3/4" | PT                  |             |                        | Y                 | EXTERIOR DOOR IN EXISTING OPENING                                   |
| D112          | R112     | EXISTING BREAKFAST RM    | B    | WD2/G | WD    | NE   | 95"         | 80"    | 1 1/2" | PT                  |             |                        | Y                 | REPLACE EXISTING SLIDING DOOR WITH NEW                              |
| D113          | R113     | EXISTING DINING          | E    |       |       |      |             |        |        |                     |             |                        |                   | EXISTING DOUBLE DOORS - REPLACE CASING                              |
| D114          | R114     | EXISTING LIVING          | D    | WD1/G | WD    | NE   | 36"         | 80"    | 1 3/4" | PT                  |             |                        | Y                 | EXTERIOR DOOR WITH ADJACENT WINDOW IN EXISTING OPENING              |
| D115          | R114     | EXISTING LIVING          | J    | WD2/G | WD    | N    | 38"         | 80"    | 1 3/4" | PT                  |             |                        | CA                | NEW EXTERIOR DOOR IN NEW OPENING IN AN EXISTING WALL                |
| D116          | R116     | EXISTING STAIR           | G    | SC    | EX.WC | NE   | 32"         | 80"    | 1 1/2" | PT                  |             |                        |                   | EXISTING DOOR FRAME TO REMAIN, REPLACE DOOR <sup>2</sup>            |
| D117          | R117     | EXISTING GARAGE          | E    |       |       |      |             |        |        |                     |             |                        | Y                 | EX. DOOR TO GARAGE- REPLACE HANDLE & WEATHERSTRIPPING               |
| D201          | R202     | LINEN CLOSET             | G    | SC    | EX.WC | NE   | 32"         | 80"    | 1 1/2" | PT                  |             |                        |                   | EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR <sup>2</sup>     |
| D202          | R203     | CORRIDOR                 | G    | WD    | WD    | N    | 32"         | 80"    | 1 1/2" | PT                  |             |                        | Y                 | WIDEN EXISTING OPENING FOR NEW DOOR                                 |
| D203          | R204     | EXISTING STUDY 1         | L    | WD2/G | WD    | N    | 147"        | 80"    | 1 1/2" | PT                  |             |                        | Y                 | SLIDING EXTERIOR DOOR IN EXISTING OPENING                           |
| D204          | R205     | EXISTING BEDROOM 1       | G    | WD    | WD    | N    | 36"         | 80"    | 1 1/2" | PT                  |             |                        |                   |   |
| D205          | R205     | EXISTING BEDROOM 1       | K    | WD    | WD    | N    | 48"         | 80"    | 1 1/2" | PT                  |             |                        |                   | DOUBLE DOORS TO CLOSET  |
| D206          | R205     | EXISTING BEDROOM 1       | K    | WD    | WD    | N    | 48"         | 80"    | 1 1/2" | PT                  |             |                        |                   | DOUBLE DOORS TO CLOSET  |
| D207          | R206     | EXISTING BATHROOM 1      | G    | SC    | EX.WC | NE   | 32"         | 80"    | 1 1/2" | PT                  |             | Y                      | Y                 | EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR <sup>2</sup>     |
| D208          | R208     | BATHROOM 3               | G    | WD    | WD    | N    | 32"         | 80"    | 1 1/2" | PT                  |             | Y                      | Y                 |   |
| D209          | R209     | LAUNDRY                  | G    | WD    | WD    | N    | 36"         | 80"    | 1 1/2" | PT                  |             |                        |                   |   |
| D210          | R210     | EXISTING ATTIC           | E    |       |       |      |             |        |        |                     |             |                        |                   | EXISTING DOOR TO REMAIN, REPLACE HANDLE <sup>2</sup>                |
| D211          | R211     | EX. BEDROOM 3/ GUEST     | G    | SC    | EX.WC | NE   | 32"         | 80"    | 1 1/2" | PT                  |             |                        |                   | EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR <sup>2</sup>     |
| D212          | R211     | EX. BEDROOM 3/ GUEST     | E    |       |       |      |             |        |        |                     |             |                        |                   | EXISTING DOOR TO REMAIN, REPLACE HANDLE <sup>2</sup>                |
| D213          | R212     | EXISTING BEDROOM 2       | E    |       |       |      |             |        |        |                     |             |                        |                   | EXISTING DOOR TO REMAIN, REPLACE HANDLE <sup>2</sup>                |
| D214          | R213     | BATHROOM 2               | G    | WD    | WD    | NE   | 32"         | 80"    | 1 1/2" | PT                  |             | Y                      | Y                 | NEW DOOR IN EXISTING OPENING, RPLACE CASING                         |
| D215          | R114     | EXISTING STUDY           | G    | WD    | WD    | N    | 34"         | 80"    | 1 1/2" | PT                  |             |                        |                   | NEW DOOR IN EXISTING WALL   |
| D216          | R114     | EXISTING STUDY           | G    | SC    | EX.WC | NE   | 32"         | 80"    | 1 1/2" | PT                  |             |                        |                   | EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR <sup>2</sup>     |
| D217          | R115     | CHAPEL                   | G    | SC    | EX.WC | NE   | 32"         | 80"    | 1 1/2" | PT                  |             |                        |                   | EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR <sup>2</sup>     |
| CHURCH        |          |                          |      |       |       |      |             |        |        |                     |             |                        |                   |   |
| DC01          | C001     | EXISTING SE STAIR        |      |       |       |      |             |        |        |                     |             | Y                      |                   | EXISTING DOOR TO REMAIN. REPLACE WEATHERSTRIPPING **                |
| DC02          | C006     | EXISTING SW STAIR        |      |       |       |      |             |        |        |                     | MS          | Y                      |                   | EXISTING DOOR TO REMAIN. REPLACE WEATHERSTRIPPING **                |

<sup>1</sup>REFER TO MECHANICAL FOR UNDER CUT REQUIREMENTS

<sup>3</sup>PAINT BOTH SIDES OF DOOR TO MATCH TRIM COLOUR

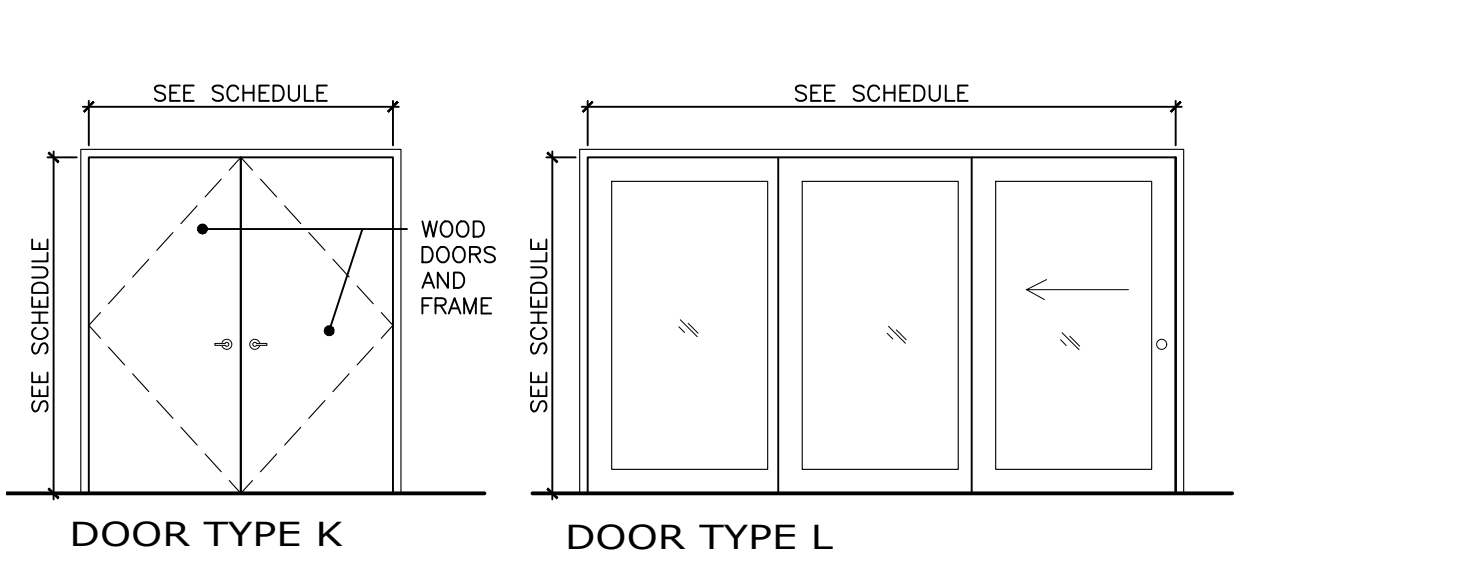
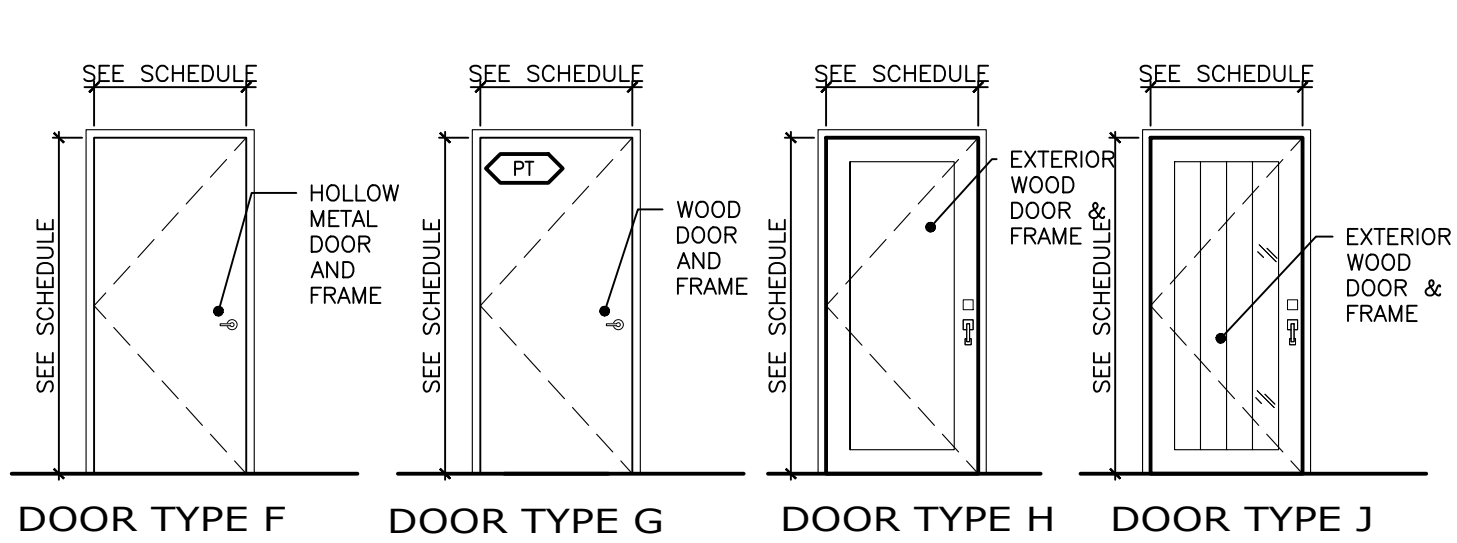
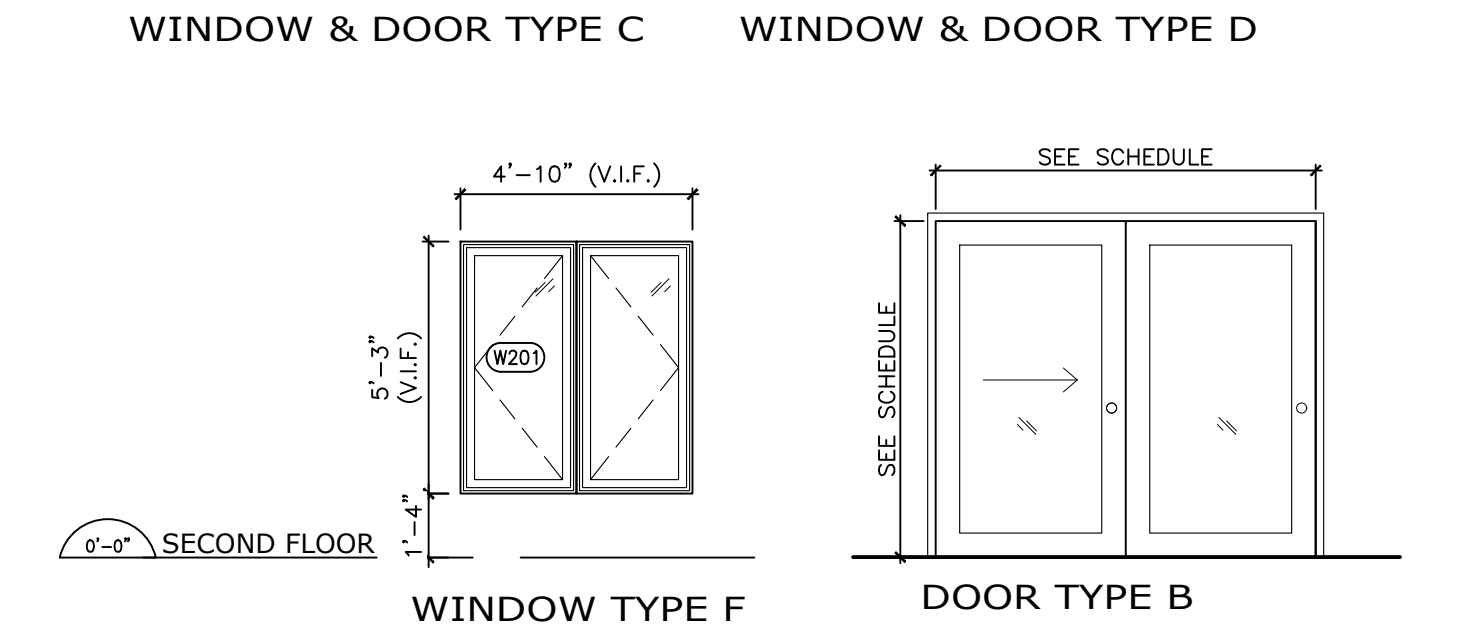
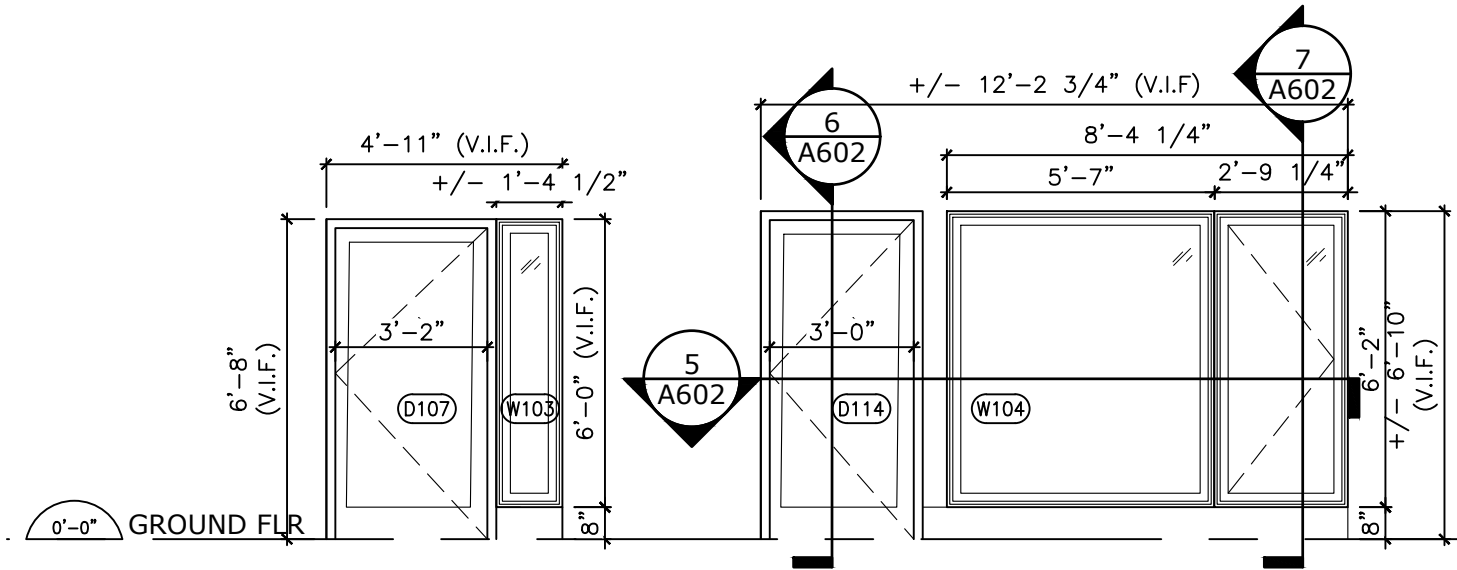
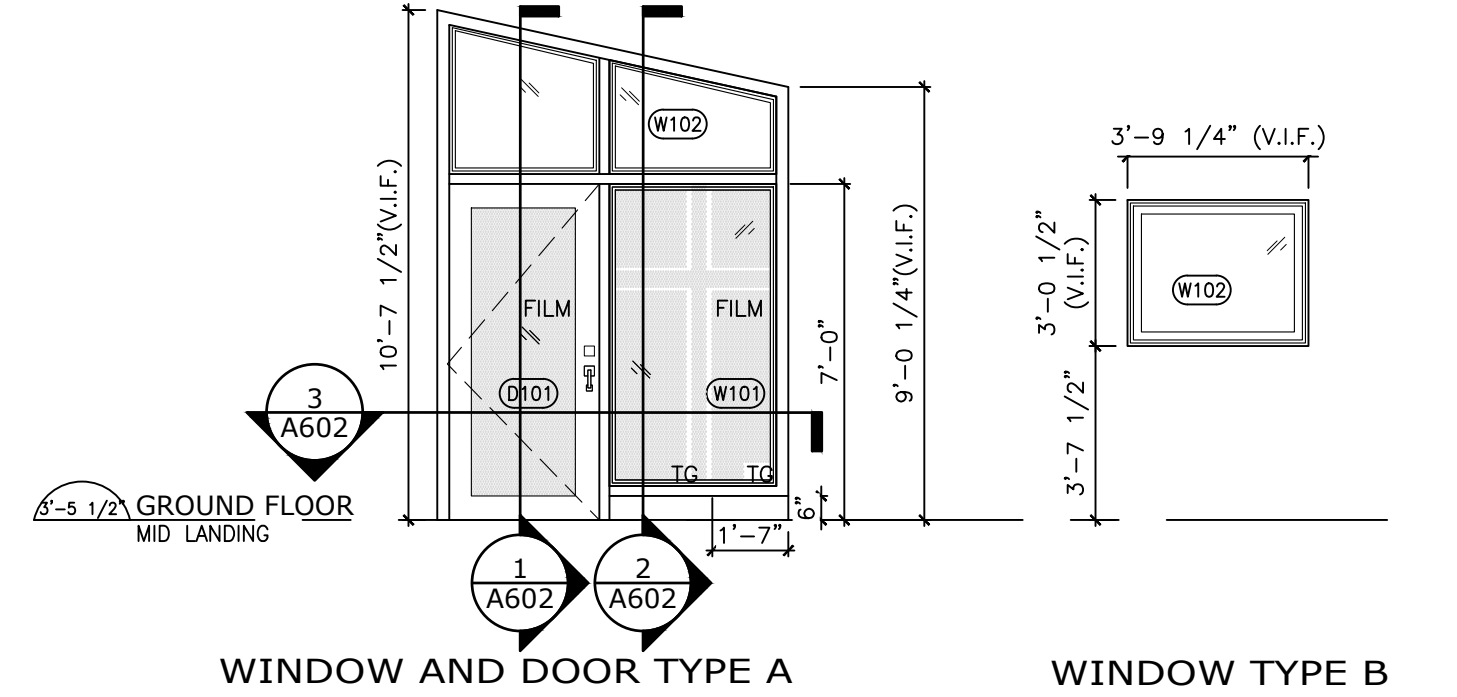
<sup>2</sup>REFER TO DOOR HARDWARE SCHEDULE

<sup>4</sup>EXISTING FRAME TO BE RESUED WERE INDICATED

| LEGEND: |   | GENERAL NOTES FOR DOOR SCHEDULE: |  |
|---------|---|----------------------------------|--|
| E=      | EXISTING DOOR AND FRAME TO REMAIN                   | 1.                               | VERIFY ALL DIMENSIONS ON SITE.   |
| N=      | NEW DOOR AND FRAME IN NEW OPENING                   | 2.                               | WHERE NEW DOORS AND FRAMES ARE PROPOSED IN EXISTING ROUGH OPENINGS, CONTRACTOR TO VERIFY ROUGH OPENING SIZE ON SITE AND PROPOSED DOOR AND FRAME SIZE. CONTRACTOR TO REPORT AND DISCREPENCIES TO THE CONSULTANT PRIOR TO ORDERING NEW |
| NE=     | NEW DOOR AND FRAME IN EXISTING OPENING <sup>4</sup> |                                  | DOOR OPENINGS ARE TO BE LOCATED MINIMUM OF 4" FROM ADJACENT WALLS UNLESS OTHERWISE NOTED   |
| AL=     | ALUMINUM  | 3.                               | REFER TO WINDOW SCHEDULE FOR DOORS IN WINDOW SCREENS.  |
| F=      | EXTERIOR FIBERGLASS DOOR                            | 4.                               | REFER TO HARDWARE SCHEDULE   |
| G=      | GLASS   | 5.                               | SUPPLY AND INSTALL FILM TO DOORS WHERE NOTED ON DOOR TYPE.   |
| HM=     | HOLLOW METAL  | 6.                               | UNDER CUT TO BE 3/4" ON DOORS WHERE UNDER CUT IS INDICATED IN DOOR SCHEDULE. REFER TO MECHANICAL   |
| SC=     | SOLID CORE WOOD PANELLED DOOR                       | 7.                               | CARD ACCESS TO BE PROVIDED WHERE INDICATED   |
| SCG=    | SOLID CORE WOOD PANELLED DOOR W/ GLAZED LITE        | 8.                               | WOOD DOOR D115 (WD1) TO BE ROYAL DOOR STYLE #86 IN SOLID OAK WITH ONE THERMAL FROSTED FLAT GLASS   |
| SCE=    | EXTERIOR SOLID CORE WOOD PANELLED DOOR              | 4.                               | WOOD DOOR D115 (WD1) TO BE ROYAL DOOR STYLE #86 IN SOLID OAK WITH ONE THERMAL FROSTED FLAT GLASS   |
| ST=     | STAIN FINISH  | 5.                               | WOOD DOORS (WD2) TO BE NORWOOD WINDOWS PREFINISHED W/FLEXACRON COATING STANDARD COLOUR   |
| PT=     | PAINT FINISH  | 6.                               | FIBERGLASS DOORS TO HAVE VINYL CLAD FRAME AND TO BE FROM OSTACO WINDOWS AND DOORS  |
| WD=     | WOOD  | 7.                               | DISTRIBUTER CONTACT FOR NORWOOD AND OSTACO DOORS JEFF CARINS OF RIDLEY, CELL 416-727-7673  |
| ANO=    | ANODIZED ALUMINUM                                   | 8.                               | REFER TO WINDOW AND DOOR COVERING SCHEDULE ON A1003  |
| CA=     | CARD ACCESS   |                                  |  |

2 DOOR SCHEDULE

SCALE: N/A



1 DOOR AND WINDOW TYPES

SCALE: 1/4" = 1'-0"

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Toronto, Ontario  
M6S 2C2 Canada

416 762 2778 tel  
416 762 9020 fax  
www.lynchcomisso.com

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OF ARCHITECTS  
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TO: YENDER 15 APR 2021  
BY: PERMIT 16 MAR 2021

CLIENT: ST MARY STAR OF THE SEA PARISH

PROJECT NAME: RECTORY RENOVATION

LOCATION: 11 PETER STREET SOUTH MISSISSAUGA, ON, L5H 2G1  
DATE: SEPTEMBER 2020  
DRAWN BY: JA CHECKED BY: MEL  
DRAWING NAME: DOOR AND WINDOW SCHEDULES  
SCALE: DRAWING #: A1001  
PROJECT No: 2011

# City of Mississauga Memorandum



---

Date: April 23, 2021

To: Chair and Members of Port Credit Heritage Conservation District Subcommittee

From: John Dunlop, Manager of Heritage Planning & Indigenous Relations

Meeting date: May 3, 2021

Subject: **Request to Alter: 26 John Street South**

---

## **Recommendation:**

That the request to replace the rear shed at 26 John Street South, as per the memorandum from John Dunlop, Manager of Heritage Planning & Indigenous Relations, dated April 23, 2021, be approved.

## **Background:**

The subject property is designated under Part V of the *Ontario Heritage Act* as it forms part of the Old Port Credit Village Heritage Conservation District (HCD). Changes to the property are subject to the Old Port Credit Village HCD Plan, 2018.

## **Comments:**

The owner of the subject property proposes a replacement shed at the subject property. The previous aluminum shed, shown in Appendix 1 would be replaced with the shed shown in Appendix 2. The proposed shed is simple and would be installed in the backyard as per the guidelines. As such, it should be approved.

## **Conclusion:**

The owner of the subject property has applied to install a replacement shed at the subject property. The proposal is sympathetic and should therefore be approved.

## **Attachments**

Appendix 1: Previous shed

Appendix 2: Proposed shed

Prepared by: Paula Wubbenhorst, Heritage Planner





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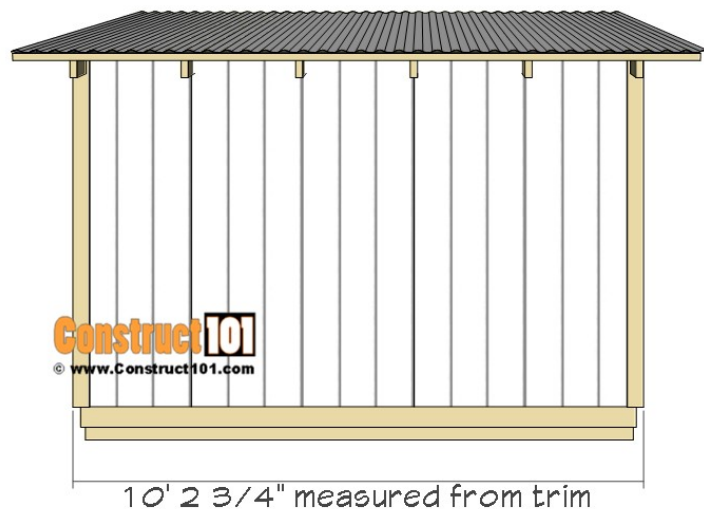
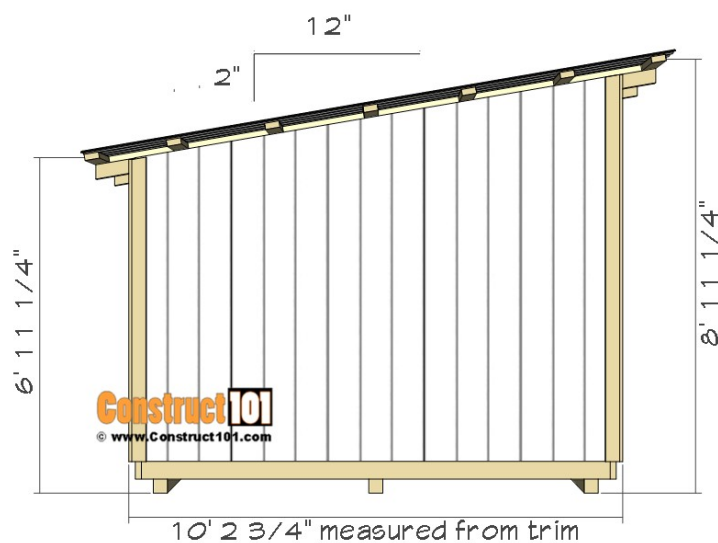
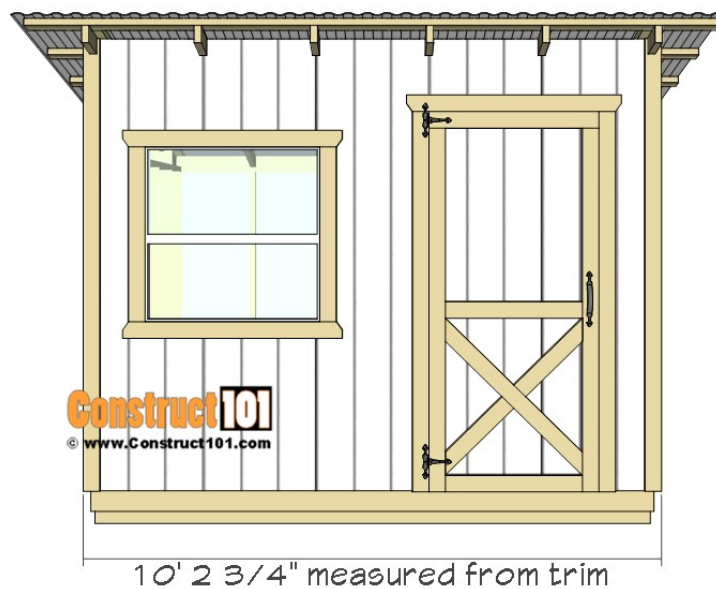
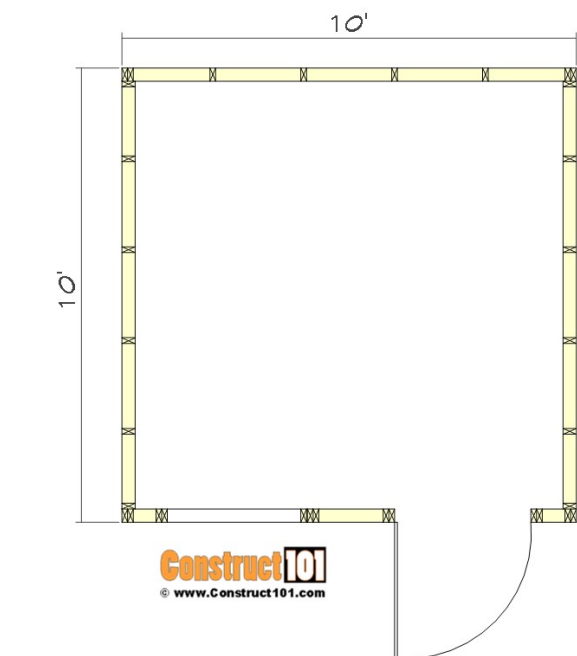
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ISBN-13:

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## Overview



## Material List

### Shopping List

A shopping list is included. Since lumber can be purchased in different sizes the shopping list will vary. Study the cut list to see what will work best for you.

(material for door/window not included)

### Floor

- 2 – 2×6 pressure treated – 10'
- 9 – 2×6 pressure treated – 10'
- 3 – 4×4 pressure treated – 10'
- 4 – 3/4" tongue and groove plywood – 4'x8' sheet

### Walls

- 8 – 2×4 – 10'
- 28 – 2×4 – 8'

### Rafters

- 6 – 2×4 – 12'
- 4 – 2×4 – 8'

### Siding

- 10 – t1-11 exterior siding – 4'x8' sheet

### Roof

- 7 – 2×4 – 12'
- 3 – 2×4 – 8'

### Trim

- 10 – 1×4 – 8'

### Hardware

- 3 1/2" galvanized nails
- 2" deck screws
- 2" galvanized finishing nails
- corrugated roofing panels
- roofing panel screws



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- 3 – door hinge
- 1 – door handle
- 1 – door latch

### **Cutting List**

(material for door/window not included)

#### **Floor**

- 2 – 2×6 – 10'
- 9 – 2×6 – 9' 9"
- 3 – 4×4 – 10'
- 4 – 3/4" tongue and groove plywood – 4'x8' sheet (cut to size)

#### **Walls**

- 4 – 2×4 – 10'
- 8 – 2×4 – 7' 4 1/2"
- 20 – 2×4 – 5' 8 1/2"
- 4 – 2×4 – 9' 5"

#### **Rafters**

- 6 – 2×4 – 11' 10 3/8"
- 4 – 2×4 – 8' (cut to size)

#### **Siding**

- 10 – t1-11 exterior siding – 4'x8' sheet (cut to size)

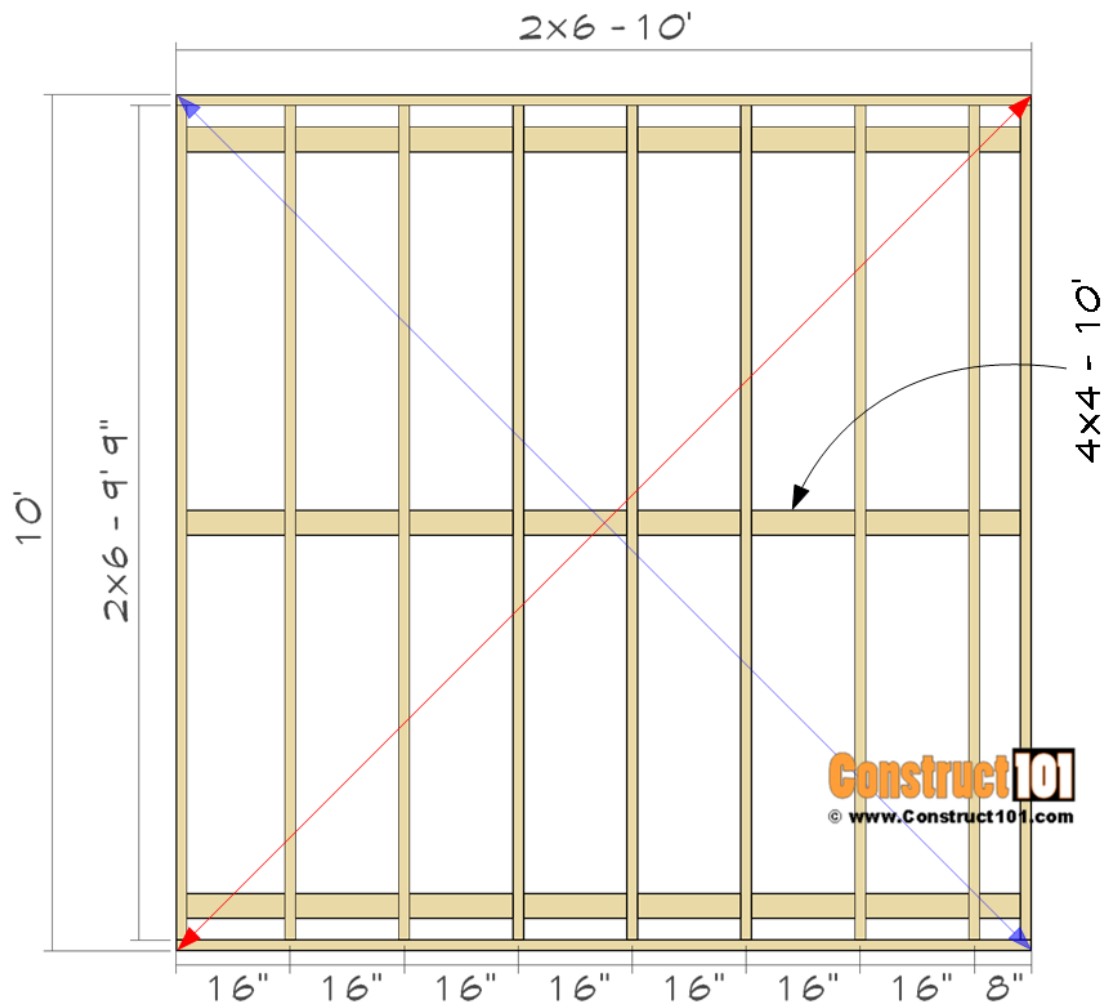
#### **Roof**

- 7 – 2×4 – 12'
- 3 – 2×4 – 8' (cut to size)

#### **Trim**

- 10 – 1×4 – 8' (cut to size)

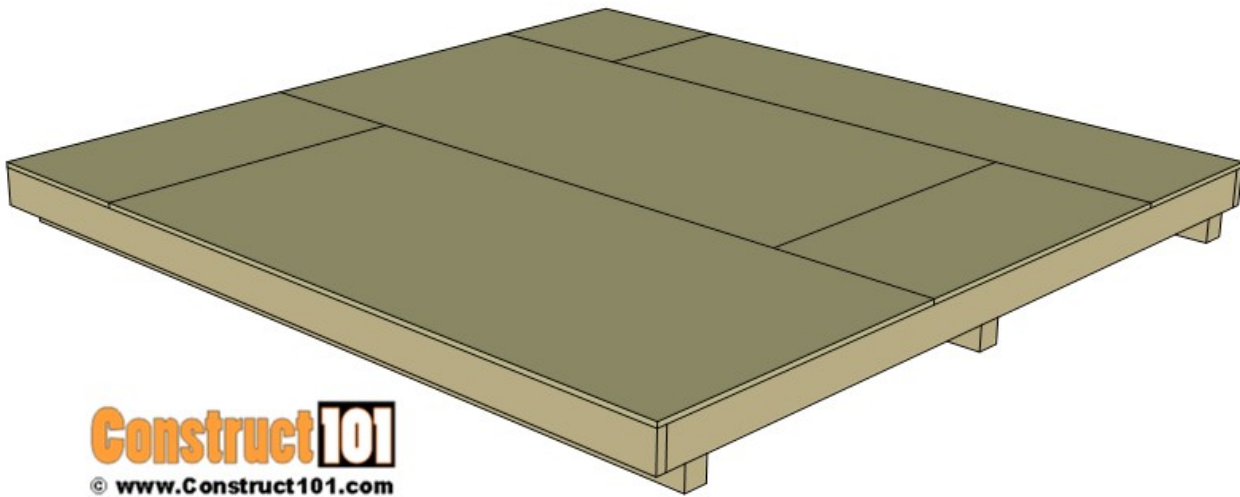
## Floor



Cut two 2×6's to 10' long for the floor band. Cut nine 2×6's to 9' 9" for the floor joist. Cut three 4×4's to 10' long for the skids.

Assemble as shown on illustration above, floor joist are spaced 16" O.C., use 3 1/2" nails, nail through the bands and into the joist.

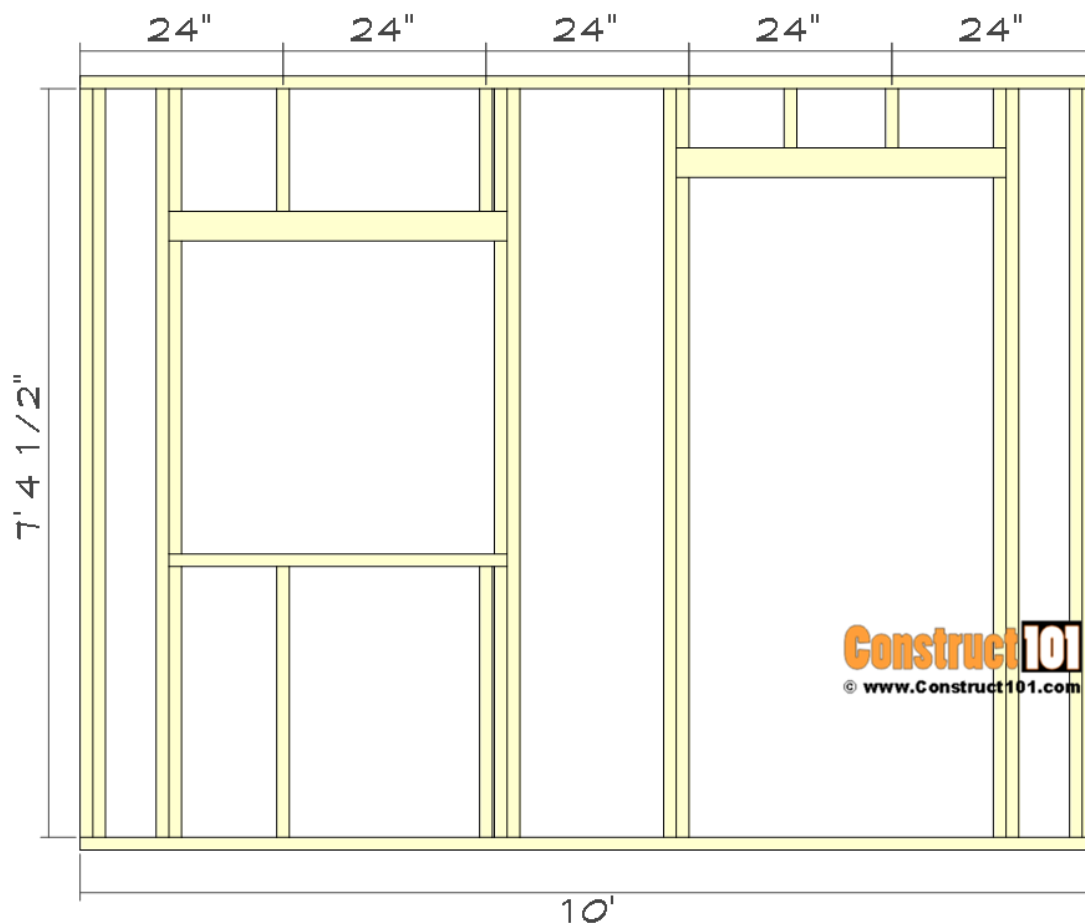
Square the floor frame by measuring diagonally until both sides measure the same.



Measure and cut to size the 3/4" tongue and groove floor deck.

Screw 2" deck screws through the plywood floor and into the floor frame.

## Walls



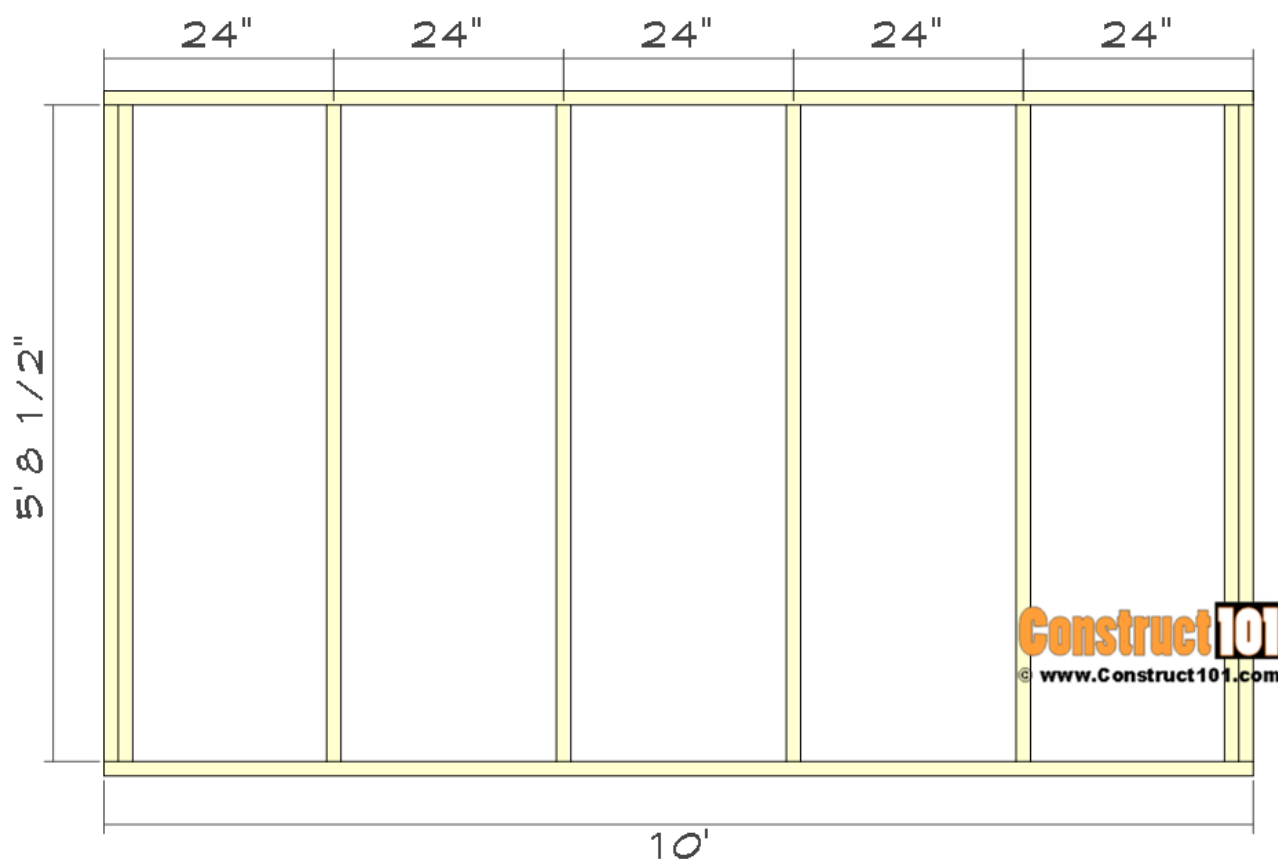
Front Wall Frame:

Wall studs are spaced 24" O.C.

Cut two 2×4's to 10" long for the top and bottom plate. Cut eight 2×4's to 7' 4 1/2" for the wall studs.

**See door and window PDF for framing details.**

Use 3 1/2" nails to assemble wall frame.

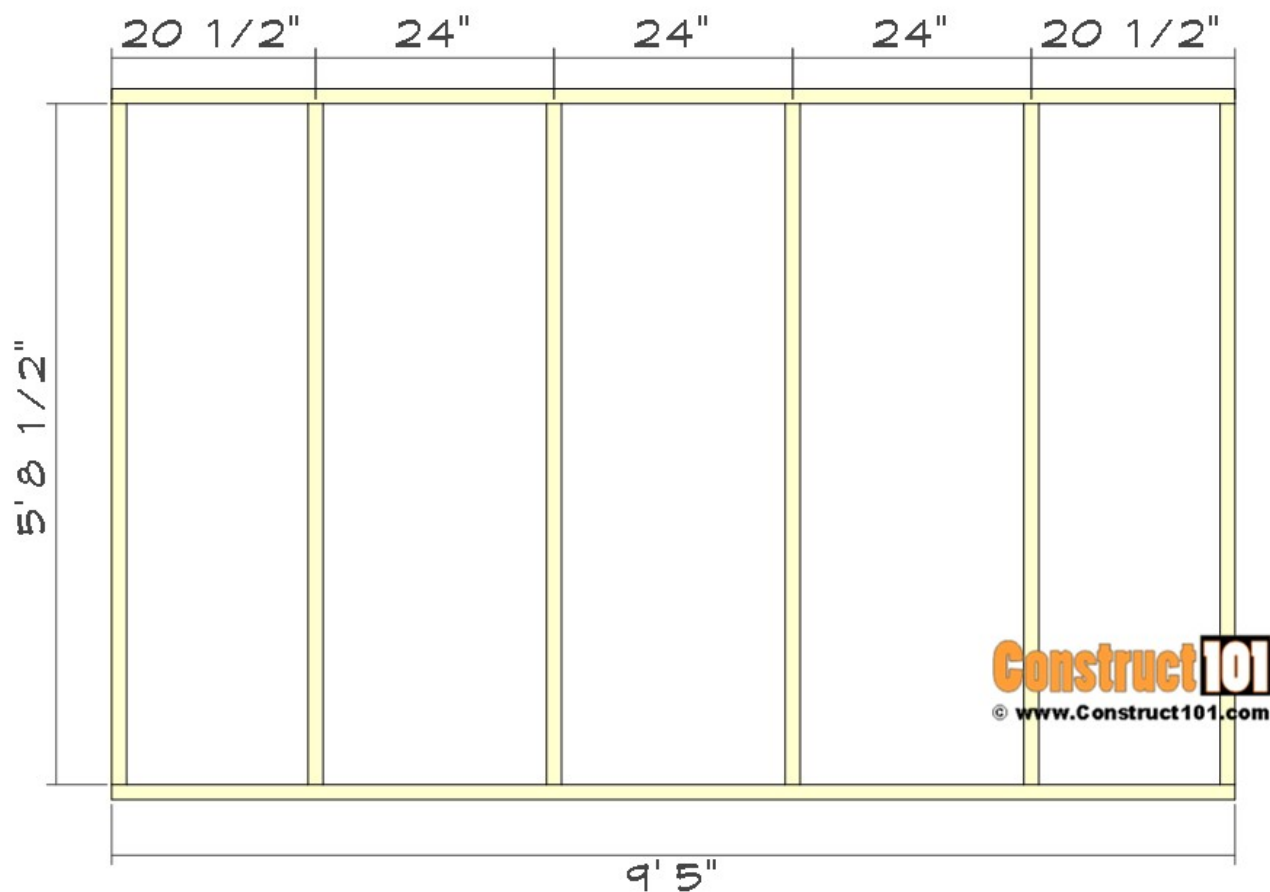


Back Wall Frame:

Wall studs are spaced 24" O.C.

Cut two 2×4's to 10' long for the top and bottom plate. Cut eight 2×4's to 5' 8 1/2" for the wall studs.

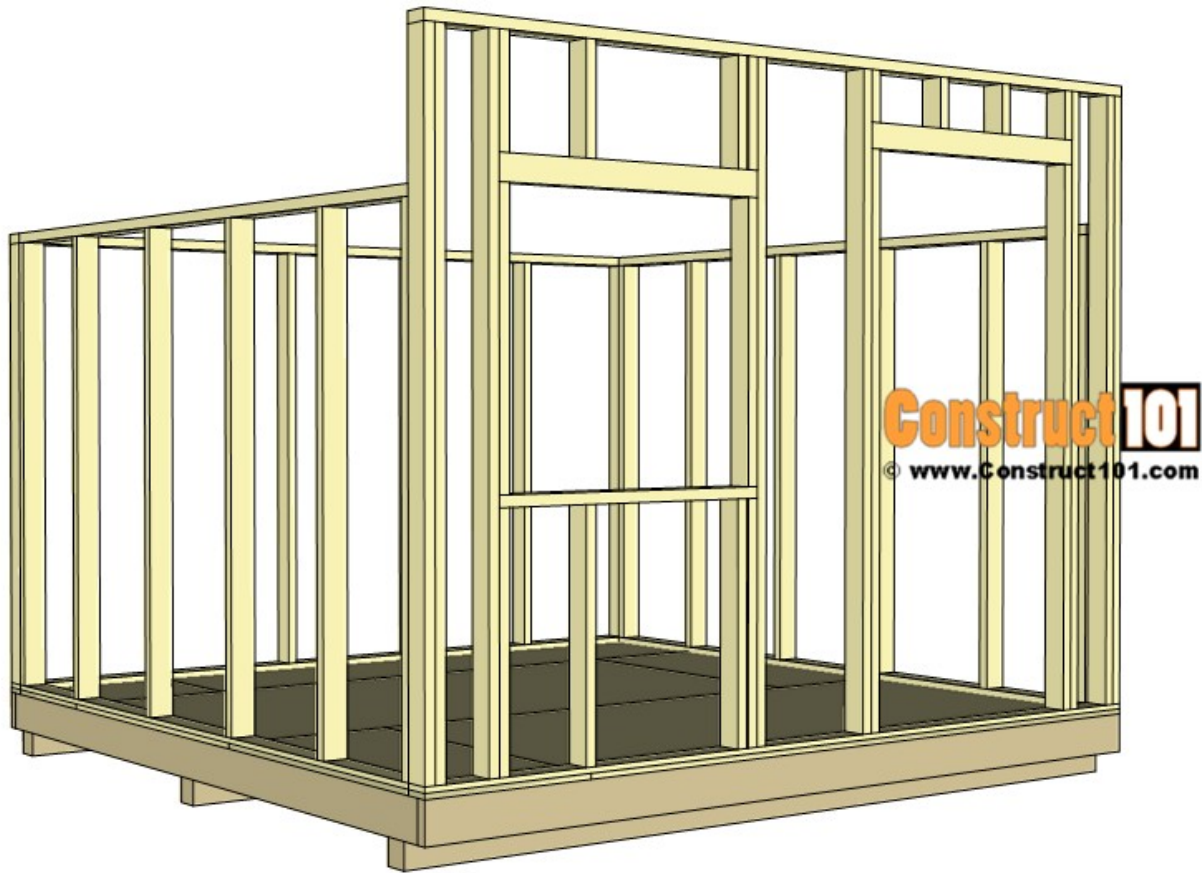
Use 3 1/2" nails to assemble wall frame.



#### Side Wall Frame:

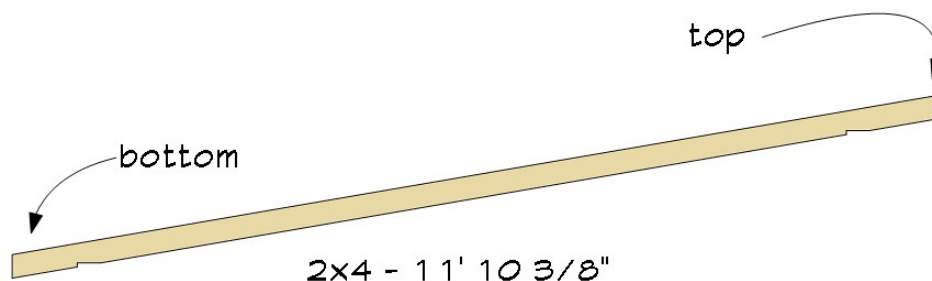
Cut four 2×4's to 9' 5" long for the top and bottom plate. Cut twelve 2×4's to 5' 8 1/2" for the wall studs.

Use 3 1/2" nails to assemble wall frame as shown on illustration above.



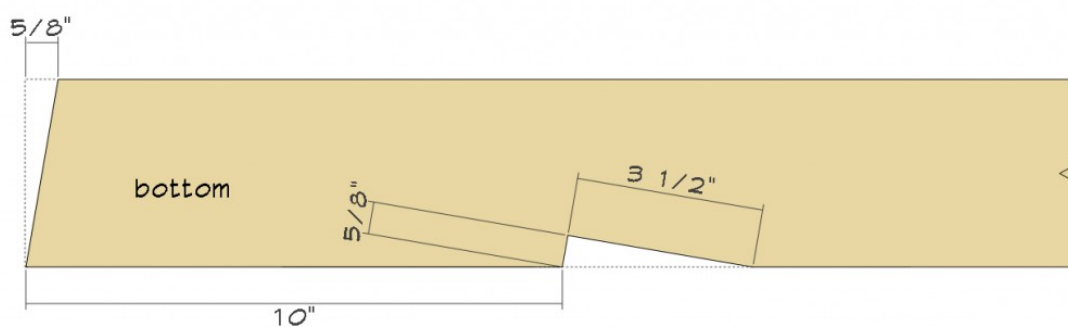
Secure the wall frames using 3 1/2" nails.

## Rafters

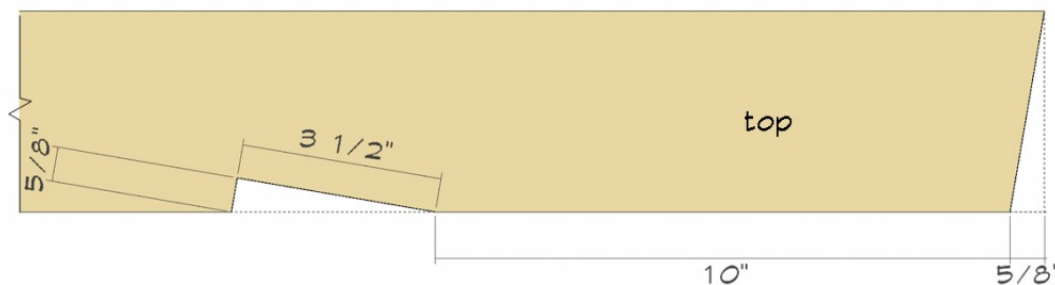


Cut six 2×4's to 11' 10 3/8" for the rafters. Cut the ends of the rafters as shown on illustration below.

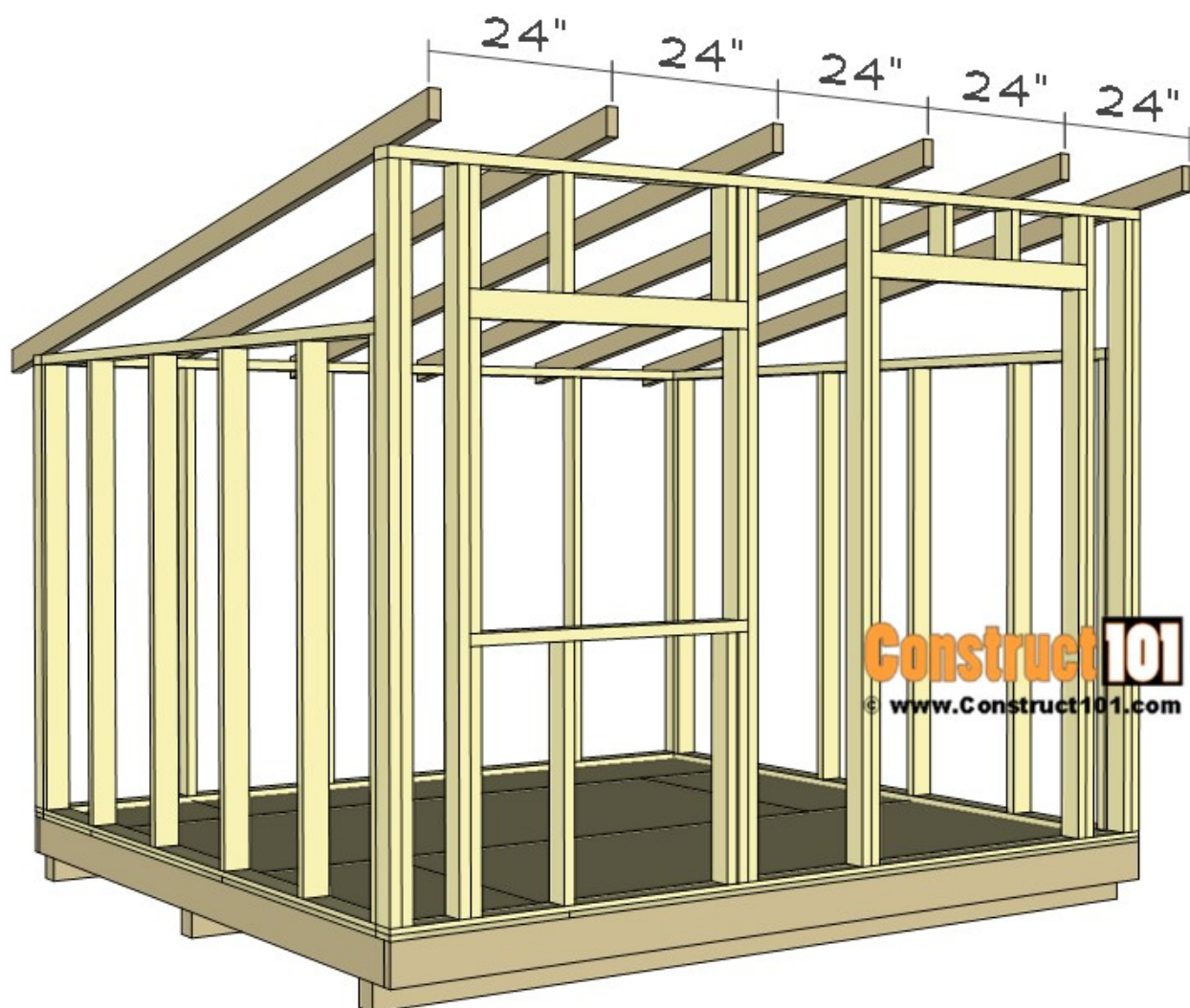
Before cutting all rafters make sure to test the first rafter for a good fit and use it as a template for cutting the remaining rafters.



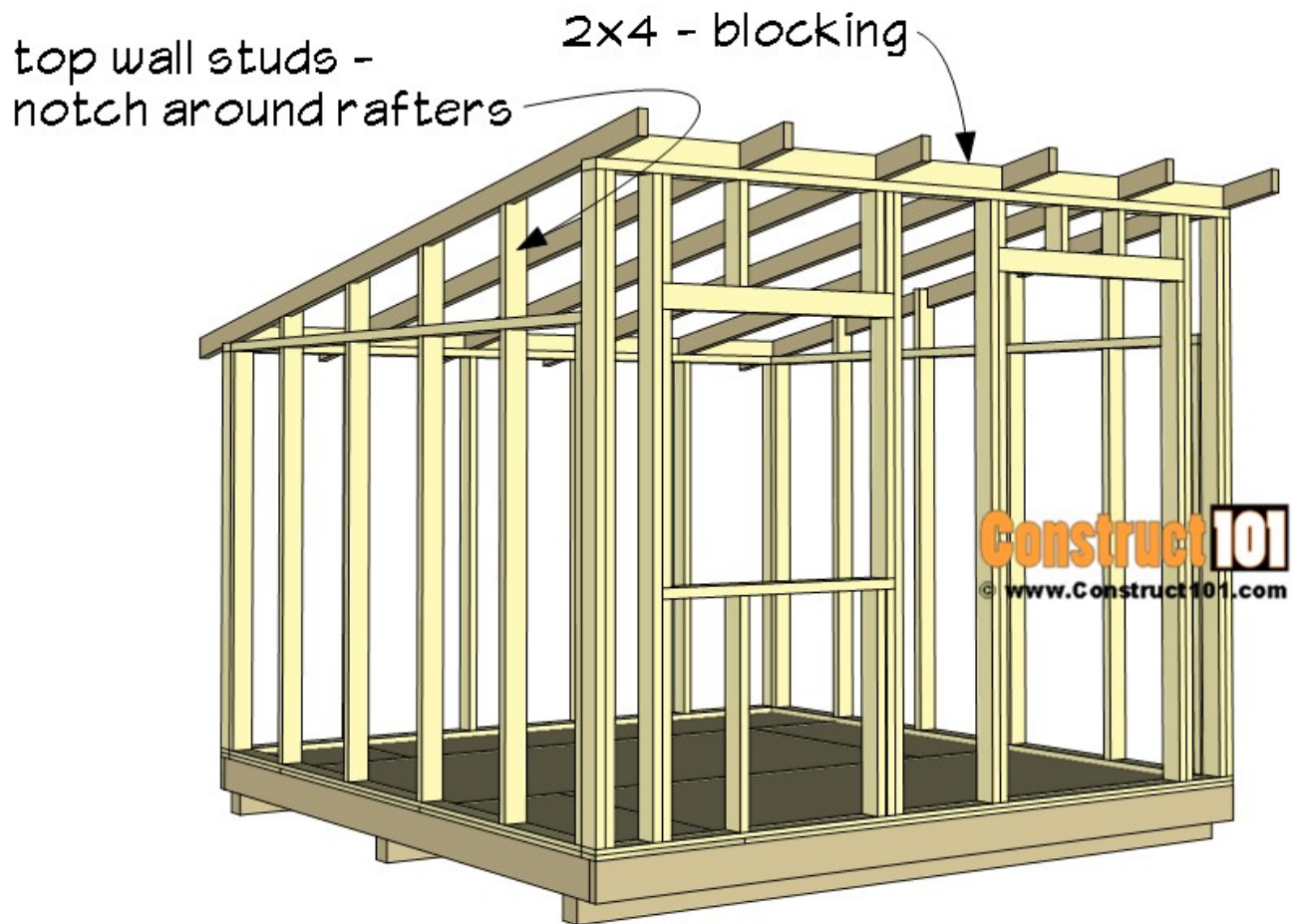
Cut the bottom rafter end as shown on illustration above.



Cut the top rafter end as shown on illustration above.



Rafters are spaced out 24" O.C., install using 3 1/2" nails.



Measure and cut the top wall studs for the side walls to size, notch around rafters and install using 3 1/2" nails.

Cut 2x4 blocking to size and install between rafters using 3 1/2" nails.

## Siding



Measure and cut the t1-11 exterior siding to size, notch front and back siding around rafters. Install siding using 2" finishing nails.

Cut door and window opening, see door and window PDF details.

## Roof



Cut seven 2×4's to 12' long for the purlins. Install purlins as shown on illustration above using 3 1/2" nails.



Measure and cut 2×4 blocking and install between the purlins using 3 1/2" nails



Install the metal corrugated roofing panels

## Door



Install door.

## Trim



Measure and cut 1×4's to size for the corner and window trim. Install the 1×4 trim using 2" finishing nails.

[REDACTED]

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[REDACTED]

[REDACTED]

-----Original Message-----

From: Jack King [REDACTED]

[REDACTED]

Hello. Sub-committee & all

With a lot of mind bending and deep regret I wish to withdraw from OPCHCD sub Committee. There are other concerns going on in the Neighbourhood then just dealing with limited Heritage Permit , i feel my Hands are tied as to maybe conflict issues would case for OPCHCD sub committee.

I wish you all in OPCHD sub Committee well in future in endeavours as to Heritage Permits which is a necessary element to this neighbourhood.

Best regards, be well you and yours, it has been a pleasure being in Sub Committee and all involved.

Jack King

[REDACTED]

[REDACTED]