
Meadowvale Village Heritage Conservation District Subcommittee

Date: November 30, 2021
Time: 3:00 PM
Location: Online Video Conference

Members

Jim Holmes	Citizen Member (Chair)
Greg Laughton	Citizen Member
Gord MacKinnon	Citizen Member
John McAskin	Citizen Member
Dave Moir	Citizen Member
Carmela Pierro	Citizen Member
Terry Wilson	Citizen Member
Greg Young	Citizen Member

Advance registration is required to attend, participate and/or make a comment in the virtual meeting. Any materials you wish to show the Committee during your presentation must be provided as an attachment to the email. Links to cloud services will not be accepted. Comments submitted will be considered as public information and entered into public record. Please note the Meadowvale Village Heritage Conservation District Subcommittee will not be streamed or video posted afterwards.

To register, please email martha.cameron@mississauga.ca and for Residents without access to the internet via computer, smartphone or tablet, can register by calling Martha Cameron at 905-615-3200 ext.5438 no later than Friday, November 26, 2021 at 12:00 PM. You will be provided with directions on how to participate from Clerks' staff.

Contact

Martha Cameron, Legislative Coordinator, Legislative Services
905-615-3200 ext. 5438
Email martha.cameron@mississauga.ca

NOTE: To support corporate waste reduction efforts the large appendices in this agenda can be viewed online.

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. **CALL TO ORDER**

2. **INDIGENOUS LAND STATEMENT**

“We acknowledge the lands which constitute the present-day City of Mississauga as being part of the Treaty and Traditional Territory of the Mississaugas of the Credit First Nation, The Haudenosaunee Confederacy the Huron-Wendat and Wyandotte Nations. We recognize these peoples and their ancestors as peoples who inhabited these lands since time immemorial. The City of Mississauga is home to many global Indigenous Peoples.

As a municipality, the City of Mississauga is actively working towards reconciliation by confronting our past and our present, providing space for Indigenous peoples within their territory, to recognize and uphold their Treaty Rights and to support Indigenous Peoples. We formally recognize the Anishinaabe origins of our name and continue to make Mississauga a safe space for all Indigenous peoples.”

3. **APPROVAL OF AGENDA**

4. **DECLARATION OF CONFLICT OF INTEREST**

5. **MINUTES OF PREVIOUS MEETING**

5.1. 2021 08 10 Meadowvale Village Heritage Conservation District Draft Minutes

6. **DEPUTATIONS**

6.1. Willow Lane Guard Rail

- Laura Archila, Transportation Infrastructure Coordinator to present on the guard rail design

7. **MATTERS TO BE CONSIDERED**

7.1. Second Line Pedestrian Alternatives

8. **OTHER BUSINESS**

8.1. 6985 and 6989 Second Line West

8.2. Resignation of Brian Carmody, Citizen Member

9. **DATE OF NEXT MEETING**

January 4, 2022

Online Virtual Conference

10. **ADJOURNMENT**

Meadowvale Village Heritage Conservation District Subcommittee

Date: August 10, 2021
Time: 3:05 PM
Location: Online Video Conference

Members Present	Jim Holmes	Citizen Member (Chair)
	Brian Carmody	Citizen Member
	Greg Laughton	Citizen Member
	Carmela Pierro	Citizen Member
	Terry Wilson	Citizen Member
	Greg Young	Citizen Member
Members Absent	John McAskin	Citizen Member
	Gord MacKinnon	Citizen Member
	Dave Moir	Citizen Member

Staff Present

John Dunlop, Manager, Heritage Planning and Indigenous Relations
Paula Wubbenhorst, Heritage Planner
Andrew Douglas, Heritage Analyst
Rebecca Huang, Capital Project Manager
Martha Cameron, Legislative Coordinator
Michelle Sanstra, Legislative Coordinator

1. CALL TO ORDER – 3:05 P.M

2. APPROVAL OF AGENDA

Approved (G. Laughton)

3. DECLARATION OF CONFLICT OF INTEREST - Nil

4. MINUTES OF PREVIOUS MEETING

4.1 Meadowvale Village Heritage Conservation District Minutes - June 8, 2021

Approved (C. Pierro)

5. DEPUTATIONS - Nil

6. MATTERS TO BE CONSIDERED

6.1 Credit River Bridge Rehabilitation Work

John Dunlop, Manager, Heritage Planning and Indigenous Relations advised the Subcommittee as follows:

- a permit would be required for the guard rail replacement;
- the guard rail along the interior of the bridge would be replaced with a four tube steel option as outlined in the Heritage Impact Assessment report.
- concrete repairs would match the concrete colour; or be a slightly lighter shade of grey, and would be sealed to keep salt and water out.
- this would be the last maintenance on the bridge before a full-scale replacement;
- the maintenance would extend the life of the bridge for another 10 to 20 years; and
- that the river would be visible to pedestrians on the sidewalk.

Rebecca Huang, Capital Project Manager advised the subcommittee that the road closure would be from September to November, potentially going into December dependent on weather.

Jim Holmes, Chair, inquired whether the Credit Valley Conservation Authority had any concerns with the rehabilitation work. Ms. Huang advised the Subcommittee that Credit Valley Conservation Authority had many conditions and approval was obtained. Ms. Huang further advised the Subcommittee that the bridge would be wrapped to prevent dust from going into the river.

The Subcommittee members expressed concern with traffic congestion and recommended signage to alleviate congestion during the bridge rehabilitation project. Ms. Huang advised the Subcommittee that mobile signage would be used to inform incoming traffic to use Derry Road.

Carmela Pierro, Citizen Member inquired about the timing of both the Regional work on the sewer trunk and the bridge rehabilitation. Ms. Huang advised the Subcommittee that the Region sewer trunk work would commence next year, and that the Region would

need to relocate some of the utilities. This relocation would run concurrent with the bridge rehabilitation and the only road closure would be the bridge work.

RECOMMENDATION MVHCD-0009-2021

Moved by (T. Wilson)

That the guard rail replacement as set forth in the memo from John Dunlop, Manager of Heritage Planning and Indigenous Relations, dated July 27, 2021, entitled "Credit River Bridge Rehabilitation Work", be approved with the condition that the guard rail be painted to match the green of the bridge.

Approved

6.2 Sidewalk Replacement, Old Derry Road

Subcommittee members discussed the proposal to widen the sidewalk to a standard five foot width and expressed concern with the damage caused by snow removal equipment. John Dunlop, Manager, Heritage Planning and Indigenous Relations would provide a sketch to the Subcommittee of the appearance of the proposed sidewalk.

Greg Young, Citizen Member inquired if the gas line marker would be removed and was advised that it would remain in place until sewer work is completed.

RECOMMENDATION MVHCD-0010-2021

Moved by G. Young

That the memorandum from John Dunlop, Manager, Heritage Planning and Indigenous Relations, dated July 27th, 2021, entitled "Sidewalk Replacement, Old Derry Road", be approved as the proposed work plan does not significantly alter the character of the Village.

Approved

7. OTHER BUSINESS

Terry Wilson, Citizen Member inquired about the siding on the front of the general store, the cutting of the trees, and asked staff to investigate why there is a portable washroom on the corner. John Dunlop, Manager, Heritage Planning and Indigenous Relations advised that the owner requires a permit to replace the siding, and he would inquire with the forestry department regarding the cutting of the trees and investigate the purpose of the portable washroom.

Greg Young, Citizen Member inquired about the design of the property located on Second Line and whether there was a request for variances. Mr. Dunlop advised staff would follow up with the Committee of Adjustment.

Carmela Pierro, Citizen Member inquired about the permits for the construction of a home on Second Line and was advised the permits have two years remaining.

Terry Wilson, Citizen Member inquired about the plans for the property sold on Old Derry Road and was advised that no applications have been brought forward at this time.

8. DATE OF NEXT MEETING - September 7, 2021

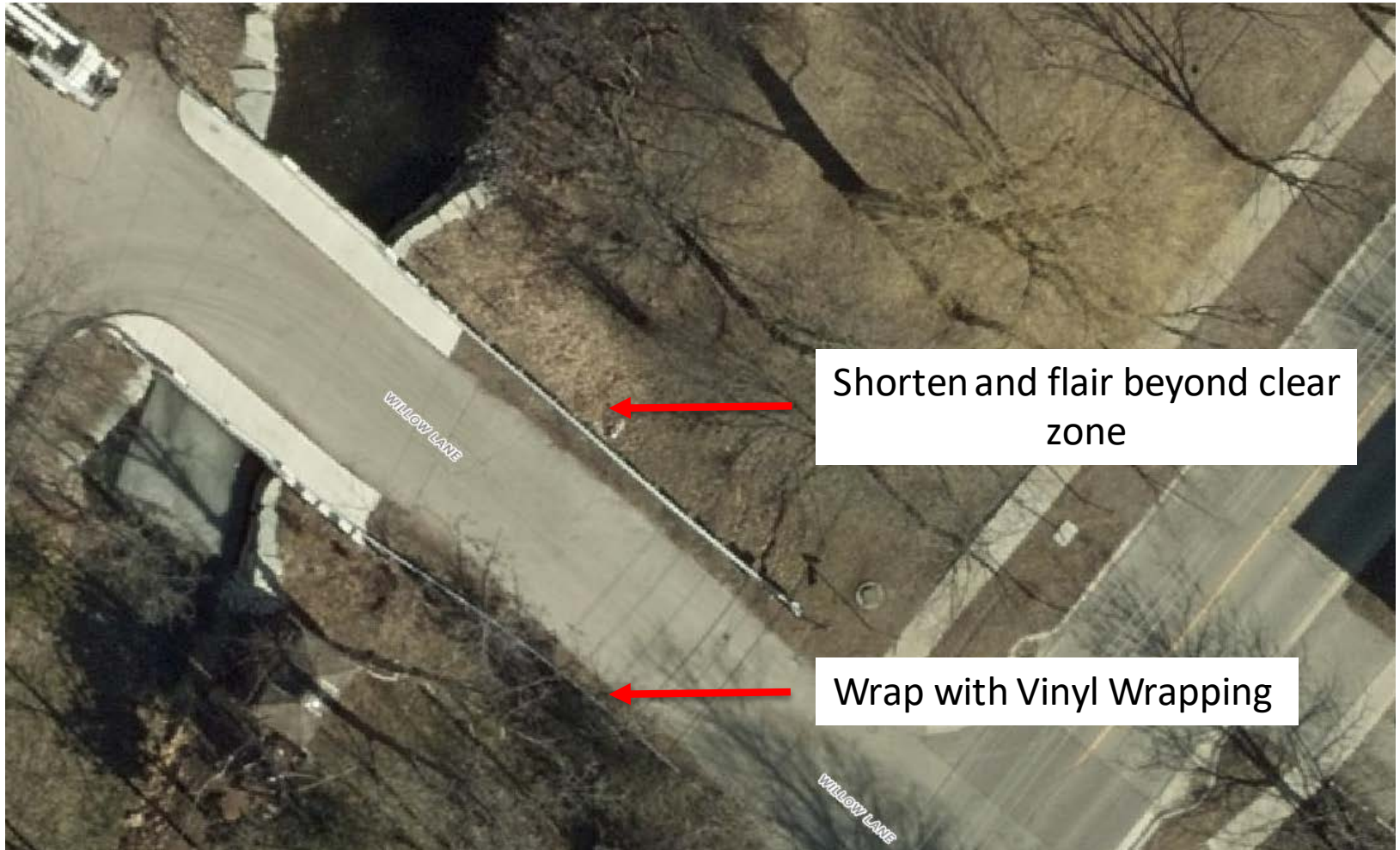
9. ADJOURNMENT – 3:32 p.m.

(G. Young)

DRAFT

Willow Lane Road – Guide Rail Vinyl Wrapping

Willow Lane Culvert guide rail treatments



- 3 different samples will be installed on this guide rail next week



Wrap with Vinyl Wrapping

Shorten and flair beyond clear zone

Vinyl Wrap Render – Option 1 - Pine



Note image shows incorrect guide rail. Guide rail to be wrapped is in the back of the image.

Vinyl Wrap Render- Option 2 - Branches



Note image shows incorrect guide rail. Guide rail to be wrapped is in the back of the image.

Vinyl Wrap Render- Option 3 - Leaves



Note image shows incorrect guide rail. Guide rail to be wrapped is in the back of the image.

City of Mississauga Memorandum



Date: November 15, 2021

To: Chair and Members of Meadowvale Village HCD Subcommittee

From: John Dunlop, Manager, Heritage Planning and Indigenous Relations

Meeting date: November 30, 2021

Subject: Second Line Pedestrian Alternatives

Recommendation:

That the memorandum from John Dunlop, Manager, Heritage Planning and Indigenous Relations, dated November 15, 2021, be approved as the proposed work plan does not significantly alter the character of the village.

Background:

The City of Mississauga's Active Transportation is proposing to create pedestrian access along Second Line West, north of Old Derry Road. This portion of Second Line West is within the Meadowvale Village Heritage Conservation District.

Public spaces within the Meadowvale Village Heritage Conservation District are designated under Part V of the Ontario Heritage Act. Repair and replacement work within public areas is considered a non-substantive alteration under the District Plan. However, given the sensitivity and high visibility of this section of the village, the alteration is considered substantive and a permit is required.

Active Transportation has submitted a memo (Appendix 1) which outlines the issue with providing access to pedestrians along Second Line West while maintaining the rural streetscape. Alternative 2, outlined in the memo, is the least impactful to the HCD and would still provide access for pedestrians along the roadway.

Heritage Planning staff have collaborated with the City's Active Transportation team on the proposal and concur Alternative 2 is the best option.

Conclusion:

City of Mississauga's Active Transportation team are proposing to widen Second Line West paved surface to allow for pedestrian access along the shoulder. This will allow for pedestrian access along the road and maintain the rural streetscape.

Meadowvale Village HCD Committee	2021/11/15	2
----------------------------------	------------	---

Attachments

Appendix 1: Memo- Second Line West Pedestrian Alternatives

Prepared by: John Dunlop, Manager, Heritage Planning and Indigenous Relations

City of Mississauga

Memorandum



Date: 2021/11/08

To: Meadowvale Village Heritage Conservation District Subcommittee

From: Matt  a Turco

Meeting Date: 2021/11/30

Subject: Second Line West Pedestrian Alternatives

Background

In November of 2020, Councillor Carlson's office received a request from a resident to construct a sidewalk on Second Line West north of Old Derry Road. Subsequently, the Active Transportation Office was tasked with investigating the feasibility of installing a concrete sidewalk on Second Line West from Old Derry Road to the Meadowvale Conservation Area access on the north end.

Supporting Policy, Plans, and Documents

The installation of a sidewalk, or other form of accessible pedestrian path, separate from vehicle traffic is consistent with Vision Zero, the City of Mississauga's Pedestrian Master Plan, and the Multi-Year Accessibility Plan.

Vision Zero

The City of Mississauga adopted the Vision Zero approach to road safety in 2018. Vision Zero is a city wide initiative based on the fundamental principle that no loss of life on Mississauga roadways is acceptable. Vision Zero prioritizes the safety of vulnerable road users, including pedestrians, over the level of service to automobiles. While human error will always occur on city roads, there are ways to build or reconfigure the road network to minimize the impacts of a collision should they occur.

Pedestrian Master Plan

The Pedestrian Master Plan is intended to build off the policy direction from the Strategic Plan, Mississauga's Official Plan (OP), the Transportation Master Plan and other municipal planning documents. The Pedestrian Master Plan guides the development of safe and convenient walking options for people of all ages and abilities over the next 20 years. The Plan establishes a vision and goals along with corresponding recommendations and actions for improving pedestrian policies, standards, infrastructure, and programs. Once such goal is to eliminate gaps in the pedestrian network.

Multi-Year Accessibility Plan (2018-2022)

The five-year accessibility plan includes both new and continuing initiatives that will help meet the City's commitment to an inclusive community where all residents and visitors have access to City services, programs and facilities in a manner that is integrated and promotes dignity and independence. Accessibility is everyone's responsibility and will be incorporated by design into the work of all City Departments. The City continues to support the development of transportation services for residents and visitors that are barrier-free.

Meadowvale Village Heritage Conservation District

Second Line West north of Old Derry Road falls within the Meadowvale Village Heritage Conservation District (HCD), see figure 1 below.

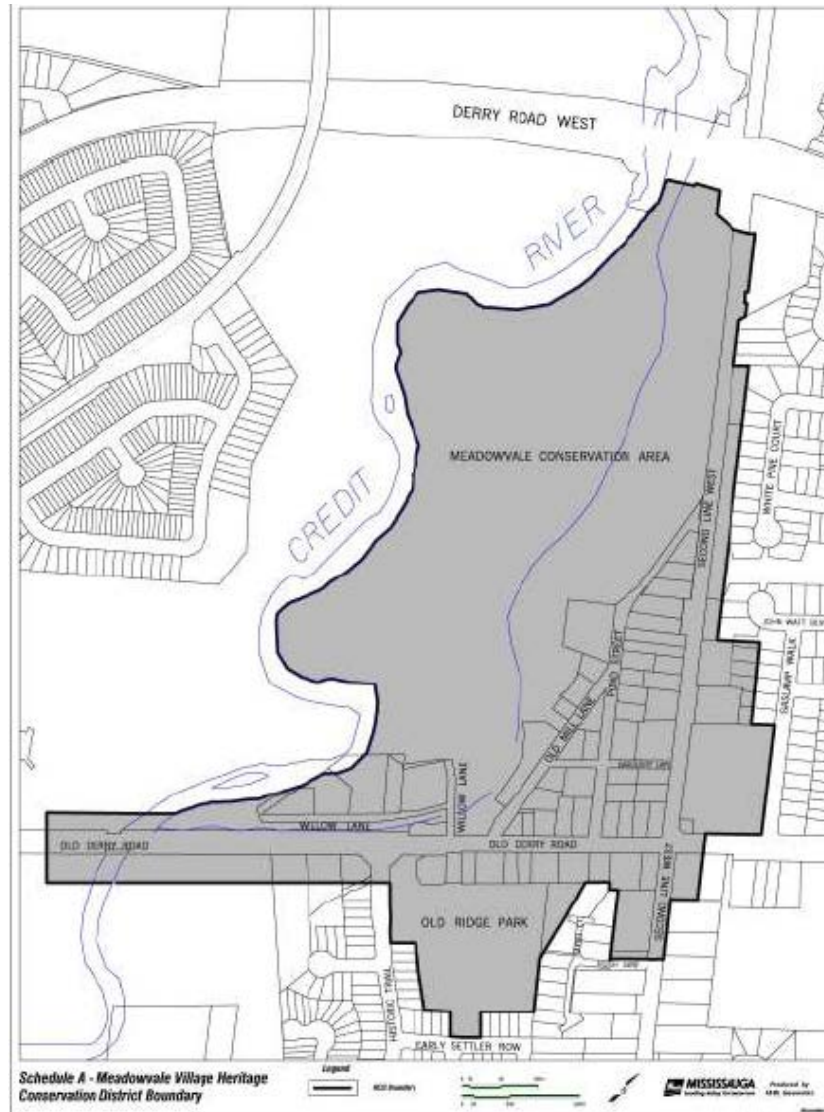


Figure 1: Meadowvale Village Heritage Conservation District Boundary

Relevant heritage attributes listed in the Meadowvale Village Heritage Conservation District Plan include:

- a) a land pattern that retains the layout and plan of generous lots and pedestrian oriented narrow roadways of the 1856 Bristow Survey, spatial organization of narrow streets with soft vegetation and no shoulders, large diameter trees and a visual relationship which blends from public to private space among front and side yards void of privacy fencing; and,
- b) long term tradition of rural village-like streetscapes without curbs, with no formalized parking, sidewalks (except on Old Derry Road), modest signage and limited modest lighting;

It is important to note that Policy 5 of the HCD Plan does allow for the implementation of new sidewalks where required to meet accessibility needs.

Existing Conditions

The existing conditions on Second Line West north of Old Derry Road consist of a 7.0 metre paved asphalt surface divided into two (2) 3.5 metre lanes with a yellow centre line and white edge markings.

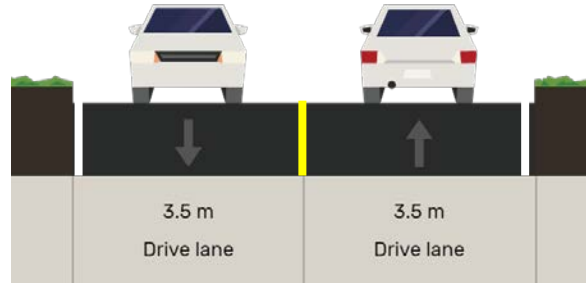


Figure 2: cross-section of Second Line West north of Old Derry Road

The norther portion of Second Line West from Derry Road to Pond Street has a small gravel shoulder on either side bordered by a drainage ditch and vegetation.



Figure 3: northern section of Second Line West (google street view)

The portion of Second Line West from Old Derry Road to Pond Street is more constrained with large embankments adjacent to the paved portion of the road as well as private property features such as driveways, garages and landscaping.



Figure 4: southern portion of Second Line West (google street view)

Design Alternatives

The Active Transportation Office investigated four alternatives to accommodate a separate pedestrian space on Second Line West.

Alternative 1

Urbanize the road and implement a concrete sidewalk on one or both sides of Second Line West.

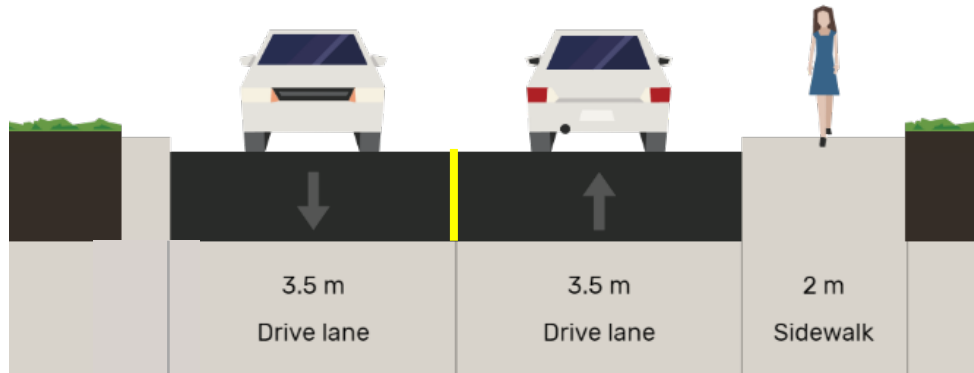


Figure 5: Cross-section Alternative 1

Alternative 2

Complete a full widening of Second Line West so that a separate pedestrian space can be accommodated on one side of the paved road. Separate the travel lanes from the pedestrian space with bollards and/or precast curbs.

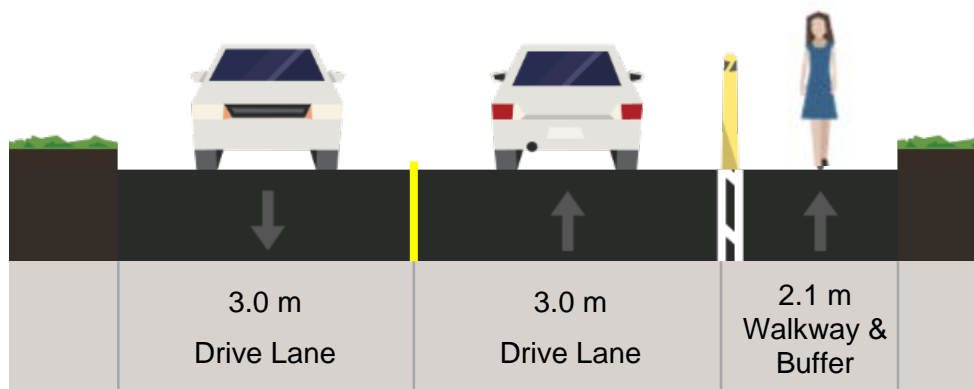


Figure 6: Cross-Section of Alternative 2

Alternative 3

Slightly widen the asphalt surface of Second Line West by 0.5 metres without requiring changes to the subgrade of the roadway in order to fit a minimum 1.5 metre painted walkway on the paved portion of the road.

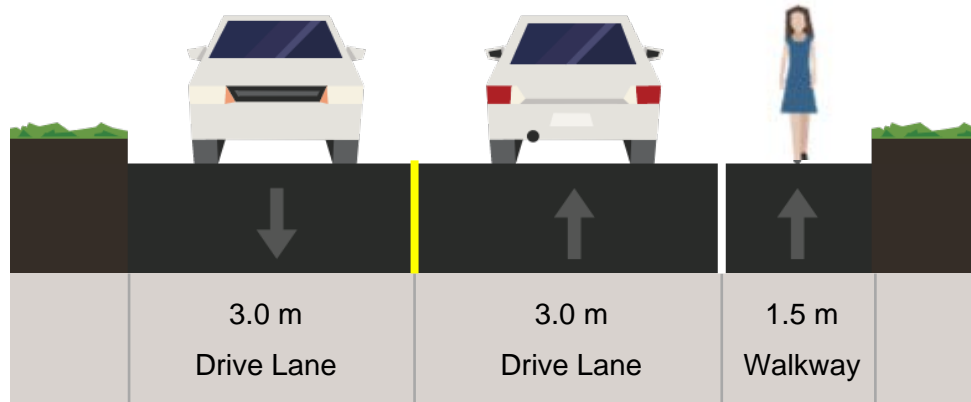


Figure 7: Cross-Section of Alternative 3

Alternative 4

Take the width of the walkway out of the existing asphalt surface. This alternative would keep the existing pavement width the same and only change the pavement markings on the road.

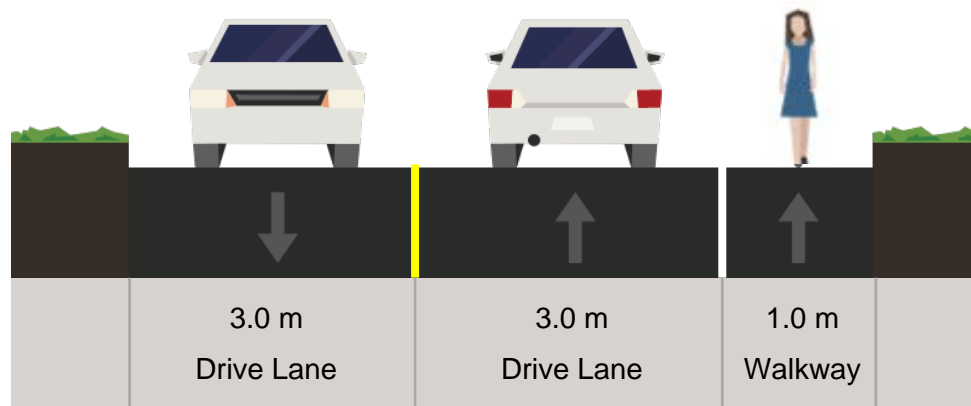


Figure 8: Cross-Section of Alternative 4

Feasibility Assessment of Alternatives

Second Line West is scheduled for road rehabilitation in 2022. This means that the existing asphalt surface will be repaved and repainted. Any of the above alternatives would be completed in conjunction with the road rehabilitation project.

Alternative 1

The existing rural cross-section of the road makes installing a sidewalk more difficult. While it is possible to place a concrete sidewalk within a rural cross-section without urbanizing the road, the drainage ditch and embankments along this section of Second Line West do not support the implementation of a concrete sidewalk without urbanizing the road. The existing drainage ditch, embankments, trees, vegetation, hydro poles, and retaining walls are all conflicts that would need to be addressed if a sidewalk were to be implemented.

Understanding that the lack of sidewalks and rural cross sections are considered to be a heritage characteristic, and that urbanizing Second Line West would constitute a major change not supported by HCD designation, Alternative 1 is not a preferred option for accommodating pedestrians within the corridor. If the concrete sidewalk alternative were to be pursued, the City would be required to go through a heritage application process, which would include the completion of a heritage impact assessment by an outside heritage consultant to provide justifications as to why a sidewalk was required and provide recommendations on how a sidewalk could be implemented with minimal impacts the look and feel of the HCD.

Alternative 2

A full widening of the road would maintain the rural cross-section and provide physical separation for pedestrians from vehicle traffic; however, it would require changes to the subgrade of the road which would impact surrounding drainage ditches, embankments, trees, and other vegetation. In order to accommodate the space needed to fully widen the road, the drainage ditch would need to be relocated; however, the existing embankments on either side of the road prevent relocation. The lack of drainage ditches could increase the amount of runoff from the road onto the lower properties to the west of Second Line West leading to flooding. For this reason, Alternative 2 is not deemed feasible.

Alternative 3

A survey of the existing road found that the asphalt portion of the road could be widened by half a metre without impacting the subgrade of the road or any surrounding drainage ditches, embankments, or vegetation. The additional asphalt space could be allocated to pedestrians along with a portion of the travel lanes to meet minimum accessibility widths without any major impacts to the right-of-way. This would allow a 1.5 metre walkway to be painted on the road and provide a space for pedestrians to walk separate from vehicle travel lanes; however, with no physical separation from the road, this alternative would not improve pedestrian safety to the extent that Alternative 2 would.

Alternative 4

The existing pavement width is 7.0 metres wide, separated into two travel lanes of 3.5 metres each. If both travel lanes were narrowed to the minimum 3.0 metres it would leave only 1.0 metre of asphalt space for pedestrians. Alternative 4 is not feasible as the minimum pedestrian clear space required by the Accessibility for Ontarians with Disabilities Act (AODA) is 1.5 metres.

Recommendations

Alternative 3 is the preferred option as it is the least impactful, it aligns with the heritage attributes listed in the Meadowvale Village Heritage Conservation District Plan, and it provides a separate space for pedestrians while maintaining minimum AODA requirements.

Next Steps and Timelines

1. Move forward with detailed design of the preferred alternative based on feedback from the Meadowvale Village Heritage Conservation District Subcommittee.
2. Present the preferred alternative to the Heritage Advisory Committee in early 2022.
3. Construct the walkway in coordination with the Road Rehabilitation scheduled for 2022.

Prepared by: Matt  a Turco, Active Transportation Coordinator

City of Mississauga

Memorandum



Date: November 15, 2021

To: Chair and Members of Meadowvale Village HCD Subcommittee

From: John Dunlop, Manager, Heritage Planning and Indigenous Relations

Meeting date: November 30, 2021

Subject: 6985 and 6989 Second Line West

Recommendation:

That the Meadowvale Village Heritage Conservation District Subcommittee receive this memo for information.

Background:

The subject properties are adjacent to the Meadowvale Village Heritage Conservation District. The properties are not included on the City of Mississauga's Heritage Register. Under the City of Mississauga Official Plan, properties adjacent to heritage properties may require a heritage impact assessment to determine if there are impacts to the adjacent heritage properties resulting from development. Mitigation strategies may be required.

6985 Second Line West was subject to a severance in 2018, creating two properties; 6985 and 6989 Second Line West. Both properties are subject to the City's Site Plan by-law. The site plan applications for both properties required variances to the existing zoning by-laws for the properties and were subject to Committee of Adjustment applications (Appendix 1 and 2).

6985 Second Line West variance were approved on August 28, 2021 and the City subsequently appealed the decision based on the concerns that the development was a potential impact to the Meadowvale Village Heritage Conservation District. The variances for 6989 Second Line West were conditionally approved on September 23, 2021 pending the submission of a complete Heritage Impact Assessment.

Comments:

A complete Heritage Impact Assessment for both properties was submitted on November 3rd, 2021 (Appendix 3). The HIA notes that the designs for both properties would create an impact to the adjacent HCD. Staff note that the final design elements of both houses are not sympathetic to the district.

In order to mitigate the impact of the unsympathetic design of the houses on the village, a series of mitigation measures are recommended:

- The driveway width is reduced to meet the current zoning;
- The existing mature tree line along the front of 6989 Second Line West is to be retained;
- Mature plantings will be added to 9685 Second Line West, along Second Line West.

Maintaining and enhancing the mature trees along Second Line West will enhance the rural streetscape of the road and obscure the unsympathetic houses from view within the district. The muted tones of the cladding of the houses will further disguise their presence from within the HCD.

Staff concur that the mitigation measures should provide a break along the edge of the HCD from the adjacent properties. Once a tree protection strategy has been agreed to, the City will halt its

Conclusion:

The properties at 6985 and 6989 Second Line West are adjacent to the Meadowvale Village Heritage Conservation District. Both properties are undergoing redevelopment and will be subject to houses of a distinctly modern design. In order to mitigate the impacts of these houses on the village, the existing mature tree line of 6989 Second Line West and a new tree line along 6985 Second Line West will be maintained to provide a buffer between the properties and the HCD.

Attachments

Appendix 1: CofA notice for 6985 Second Line West

Appendix 2: CofA notice for 6989 Second Line West

Appendix 3: Heritage Impact Assessment

John Dunlop, Manager, Heritage Planning and Indigenous Relations

AMENDED NOTICE AND REVISED HEARING DATE



COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

File: A157.21

Ward: 11

Why you received this letter:

You are receiving this letter because you are the owner of a neighbouring property within 60m (200ft) of the subject property, or are the agent/interested party/owner of the property for the application.

Details of the application and meeting information:

The property owner of 6985 Second Line West, zoned R1-32 - Residential, has applied for a minor variance under Section 45 of the Planning Act. The applicant requests the Committee to approve a minor variance to allow the construction of a new dwelling proposing:

1. A gross floor area of 334.76m² (approx. 3603.44ft²) whereas By-law 0225-2007, as amended, permits a maximum gross floor area 289.95m² (approx. 3121.00ft²) in this instance;
2. A lot coverage of 25.76% whereas By-law 0225-2007, as amended, permits a maximum lot coverage of 25.00% in this instance;
3. A height of 8.35m (approx. 27.40ft) for highest ridge of a sloped roof whereas By-law 0225-2007, as amended, permits a maximum height of 7.50m (approx. 24.61ft) for highest ridge of a sloped roof in this instance;
4. A driveway width of 6.68m (approx. 21.92ft) whereas By-law 0225-2007, as amended, permits a maximum driveway width of 3.00m (approx. 9.84ft) in this instance;
5. An at grade paver patio above the below grade accessory storage structure whereas By-law 0225-2007, as amended does not permit at grade paver patio above the below grade accessory storage structure in this instance.

The Committee has set **Thursday August 26, 2021 at 1:00 pm** for the public hearing on this matter. As a result of COVID-19 restrictions and under the authority of the *Municipal Act, Emergency Management and Civil Protection Act* and *Statutory Powers Procedure Act*, City Council approved Committee of Adjustment hearings to be held electronically during an Emergency. All items on the agenda are scheduled for 1:00 pm and will be heard in the order shown on the agenda.

You can get more information on this matter by emailing committee.adjustment@mississauga.ca or calling 905-615-3200 x5209. You can review city staff and agency comments one week before the hearing at the following link: <http://www.mississauga.ca/portal/cityhall/calendar>. Hearings will be streamed online for the public to view at the following link: <http://www.mississauga.ca/portal/cityhall/council-and-committee-videos>.

If you wish to be notified of the decision of the Committee you must submit a written request to the Secretary-Treasurer via email or mail. This will also entitle you to be advised of appeal to the Local Planning Appeal Tribunal.

How to submit a written comment:

Written comments to the Committee must be received no later than 4:30pm on the Friday prior to the hearing. Submissions are accepted by email at committee.adjustment@mississauga.ca or by mailing the Committee of

Adjustment, 300 City Centre Drive 2nd Floor, Mississauga, ON L5B 3C1. Please include your name, your address, and application number or address of the property you are providing comments on.

Advance registration is required to participate in the electronic hearing:

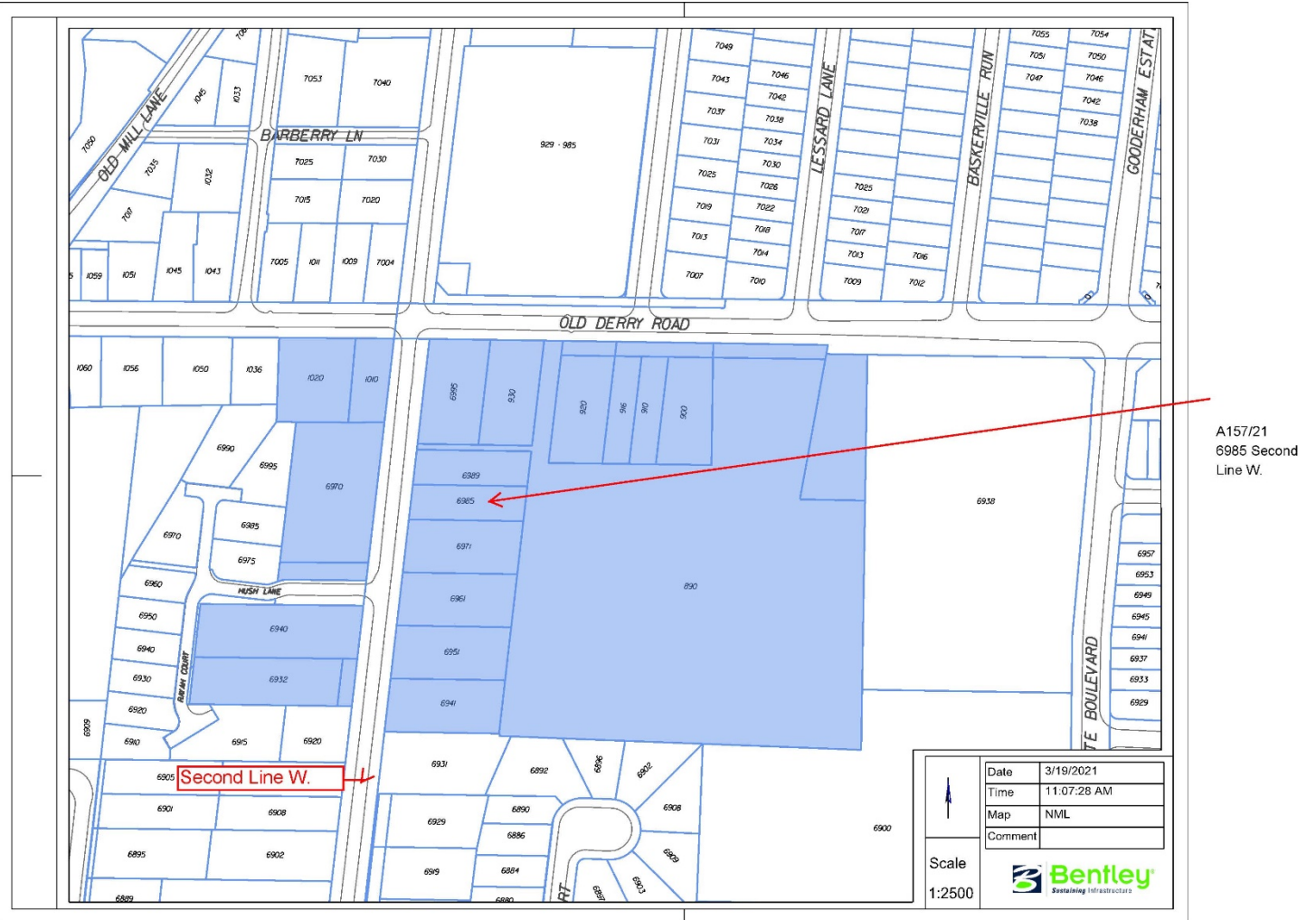
To participate electronically (computer, tablet or smartphone): Please email committee.adjustment@mississauga.ca no later than 4:30pm on the Friday prior to the hearing. Any materials you wish to show the Committee during your presentation must be provided as an attachment to the email. Links to cloud services will not be accepted.

To participate by telephone: To register, please call 905-615-3200 x5209 no later than 4:30pm on the Friday prior to the hearing. You must provide your name, phone number, and application you wish to speak to. Committee staff will provide you with further details prior to the start of the hearing.

Legal notice:

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30pm on the Friday prior to the hearing to committee.adjustment@mississauga.ca. If a party does not submit a request and does not participate in the hearing the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

Your comments are collected under the legal authority of the Planning Act R.S.O. 1990, Chapter c.P.13, as amended. Your comments regarding this application become the property of the City of Mississauga and will become part of the decision making process of the application. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual (including being posted on the internet) upon request in accordance with Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended. Questions about this collection should be directed to the Secretary-Treasurer, Committee of Adjustment, Office of the City Clerk, 300 City Centre Drive, Mississauga ON L5B 3C1 or (905) 615-3200 x2408.





COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING

File: A136.21
Ward: 11

Why you received this letter:

You are receiving this letter because you are the owner of a neighbouring property within 60m (200ft) of the subject property, or are the agent/interested party/owner of the property for the application.

Details of the application and meeting information:

The property owner of 6989 Second Line West, zoned R1-32 - Residential, has applied for a minor variance under Section 45 of the Planning Act. The applicant requests the Committee to approve a minor variance to allow the construction of a new house proposing:

1. A gross floor area of 327.07sq.m (approx. 3520.55sq.ft) whereas By-law 0225-2007, as amended, permits a maximum gross floor area of 289.95sq.m (approx. 3121.00sq.ft) in this instance;
2. A building height measured to the highest ridge of 8.26m (approx. 27.10ft) whereas By-law 0225-2007, as amended, permits a maximum building height measured to the highest ridge of 7.50m (approx. 24.61ft) in this instance;
3. A driveway width of 6.10m (approx. 20.01ft) whereas By-law 0225-2007, as amended, permits a maximum driveway width of 3.00m (approx. 9.84ft) in this instance; and
4. A front yard hammerhead measured at 8.35m x 3.00m (approx. 27.40ft x 9.84ft) whereas By-law 0225-2007, as amended, permits a maximum size of a front yard hammerhead measured at 2.60m x 3.0m (approx. 8.53ft x 9.84ft) in this instance.

The Committee has set **Thursday September 23, 2021 at 1:00 pm** for the public hearing on this matter. As a result of COVID-19 restrictions and under the authority of the *Municipal Act, Emergency Management and Civil Protection Act* and *Statutory Powers Procedure Act*, City Council approved Committee of Adjustment hearings to be held electronically during an Emergency. All items on the agenda are scheduled for 1:00 pm and will be heard in the order shown on the agenda.

You can get more information on this matter by emailing committee.adjustment@mississauga.ca or calling 905-615-3200 x5209. You can review city staff and agency comments one week before the hearing at the following link: <http://www.mississauga.ca/portal/cityhall/calendar>. Hearings will be streamed online for the public to view at the following link: <http://www.mississauga.ca/portal/cityhall/council-and-committee-videos>.

If you wish to be notified of the decision of the Committee you must submit a written request to the Secretary-Treasurer via email or mail. This will also entitle you to be advised of appeal to the Local Planning Appeal Tribunal.

How to submit a written comment:

Written comments to the Committee must be received no later than 4:30pm the Friday prior to the hearing. Submissions are accepted by email at committee.adjustment@mississauga.ca or by mailing the Committee of Adjustment, 300 City Centre Drive 2nd Floor, Mississauga, ON L5B 3C1. Please include your name, your address, and application number or address of the property you are providing comments on.

Advance registration is required to participate in the electronic hearing:

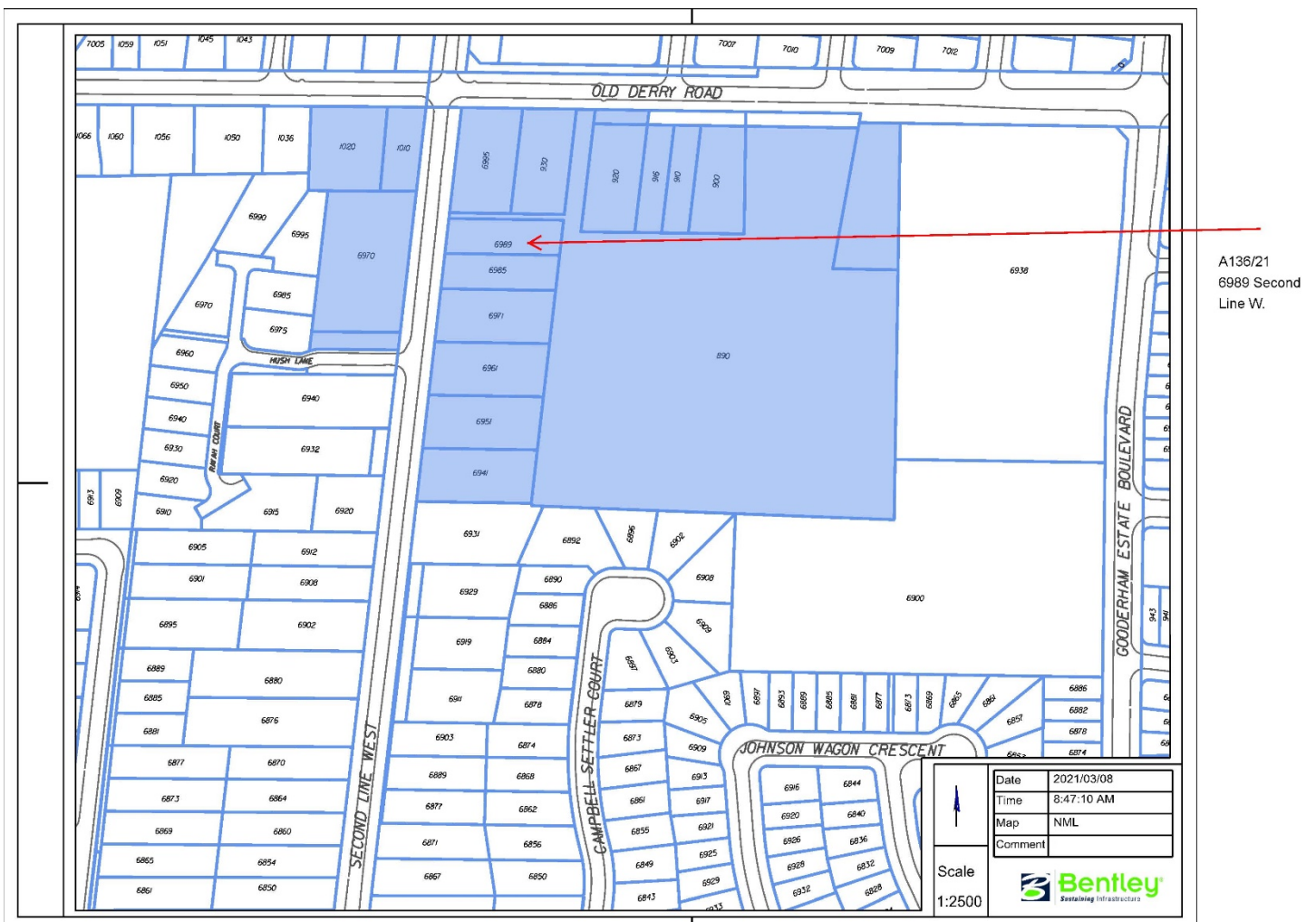
To participate electronically (computer, tablet or smartphone): Please email committee.adjustment@mississauga.ca no later than 4:30pm the Friday prior to the hearing. Any materials you wish to show the Committee during your presentation must be provided as an attachment to the email. Links to cloud services will not be accepted.

To participate by telephone: To register, please call 905-615-3200 x 2408 no later than 4:30pm the Friday prior to the hearing. You must provide your name, phone number, and application you wish to speak to. Committee staff will provide you with further details prior to the start of the hearing.

Legal notice:

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30pm the Friday prior to the hearing to committee.adjustment@mississauga.ca. If a party does not submit a request and does not participate in the hearing the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

Your comments are collected under the legal authority of the Planning Act R.S.O. 1990, Chapter c.P.13, as amended. Your comments regarding this application become the property of the City of Mississauga and will become part of the decision making process of the application. Pursuant to Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual (including being posted on the internet) upon request in accordance with Section 27 of the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56, as amended. Questions about this collection should be directed to the Secretary-Treasurer, Committee of Adjustment, Office of the City Clerk, 300 City Centre Drive, Mississauga ON L5B 3C1 or (905) 615-3200 x2408.



6985 and 6989 Second Line West

Scoped Heritage Impact Assessment - October 14, 2021, Revised October 28, 2021,
Revised November 3, 2021



Table of Contents

Table of Contents	2
Executive Summary	4
Introduction	4
Location & Site Description	5
Figure 1: Site Location	5
Figure 2: City of Mississauga Mapping	6
Figure 3: City of Mississauga Aerial Photo, 2004	6
Photo 1: Google Street view of subject sites, 2007	7
Photo 2: Street view of subject sites, 2021	7
Heritage Designation	8
Figure 4: Meadowvale Village Neighbourhood Character Area	8
Figure 5: Meadowvale Village Conservation District Boundary	9
Proposal - 6985 Second Line West	10
Figure 6: Proposed Site Plan 6985 Second Line West	10
Figure 7: Proposed Front & Rear Elevation: 6985 Second Line W	11
Figure 8: Architect rendering, 6985 Second Line W	11
Proposal - 6989 Second Line West	13
Figure 9: Proposed Site Plan, 6989 Second Line W	13
Figure 10: Proposed Front Elevation, 6989 Second Line West	14
Figure 11: Architect rendering, 6989 Second Line West	14
Excerpts from Heritage Conservation District Plan	15
Compliance with Heritage District Conservation Plan	17
Table 1: Compliance with HCD, Section 4.2.4 Guidelines for Substantive Alteration: New Structures	17
Table 2: Impact Analysis against Meadowvale Hall	19
Streetscapes	20

Figure 12: Existing Streetscape	20
Figure 13: Proposed Streetscape	20
Mitigation Measures	21
Table 3: Mitigation Measures	21
Table 4: Additional Mitigation Measures	22
Conclusions, Recommendations	22
About the Author	22
References	23

Executive Summary

This *Scoped Heritage Impact Assessment* has been undertaken to determine the impacts of the proposed development of 6985 and 6989 Second Line West. The subject properties abut the Meadowvale Village Heritage Conservation District Plan. The intention of this review is to determine if the alterations to the vacant properties will pose any negative impacts on the heritage resource of Meadowvale Village.

The assessment includes the following evaluations by W.E. Oughtred & Associates Inc.:

- field review of the subject property
- review of existing historical information
- review of existing heritage evaluations
- review of relevant heritage policies
- evaluation of the properties and proposed developments against the Meadowvale Village Heritage Conservation District Plan, 2014

Based on this assessment, it has been determined that, with proposed mitigation measures, no negative influences; be that setting, character and use of the lands, will be realized as a result of the proposed development.

Introduction

This Heritage Impact Assessment is scoped in accordance with direction provided by heritage planning staff at the City of Mississauga. The field review was conducted on October 6th, 2021.

Location & Site Description

The subject properties are located on the north side of Second Line West, east of Old Derry Road West. Both properties abut Meadowvale Village Public school at the rear and are adjacent to Meadowvale Village Community Centre. The subject properties are currently vacant.

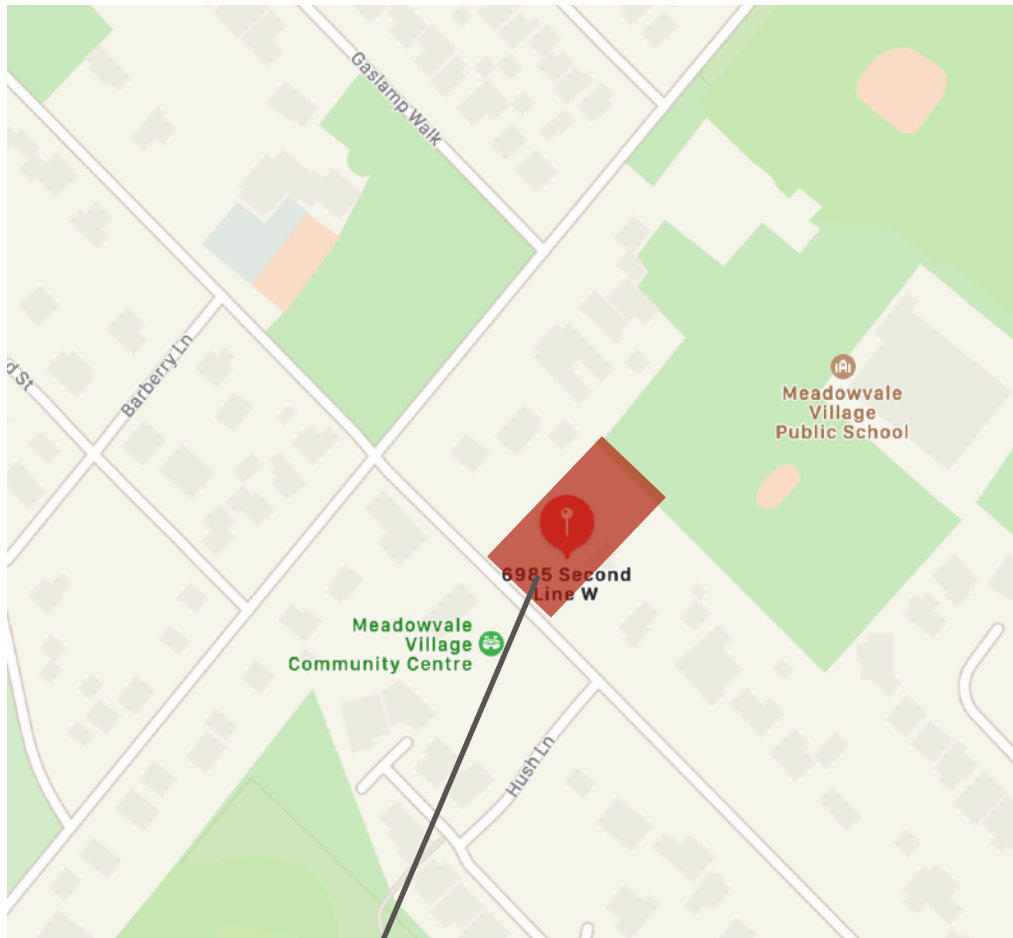


Figure 1: Site Location

Subject properties

In 2017, under Committee of Adjustment File B 17/50, 6985 Second Line West was severed into two lots. The resultant lot, 6989 is the vacant parcel. 6985 Second Line West, the retained lot had a home on the property. A demolition permit was issued under code 19-5764 by the City of Mississauga. The home has since been removed from the property.

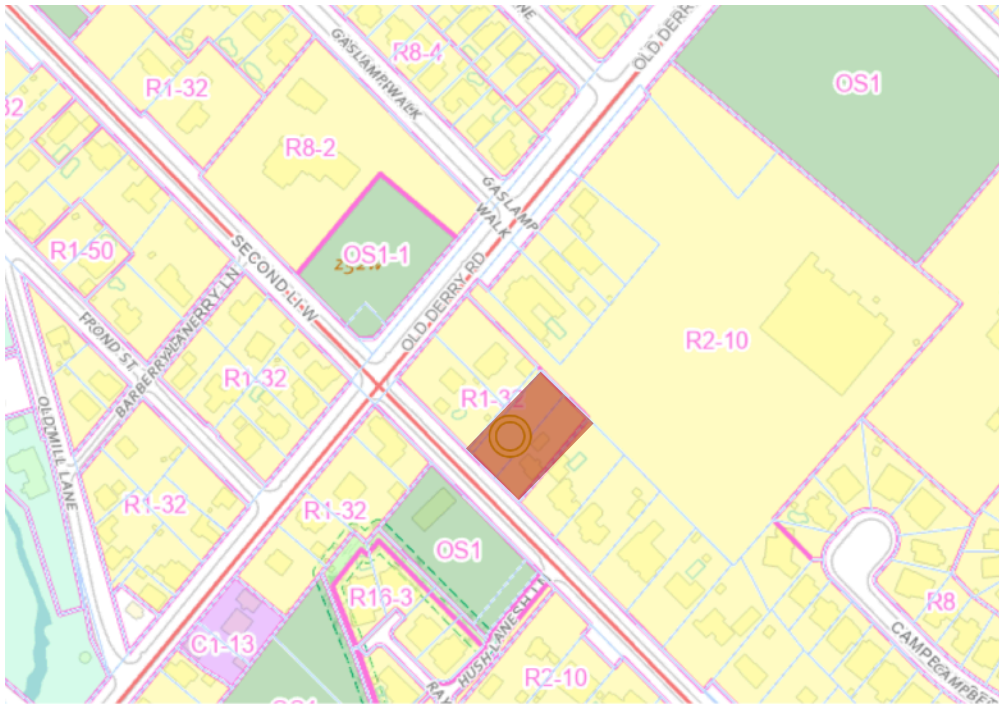


Figure 2: City of Mississauga Mapping



Subject properties are highlighted in red in both the figures 2 & 3.

Figure 3: City of Mississauga Aerial Photo, 2004



Photo 1: Google Street view of subject sites, 2007



Photo 2: Street view of subject sites, 2021

Heritage Designation

The subject properties are located within the Meadowvale Village Neighbourhood Character Area, identified within the Mississauga Official Plan (MOP). Both properties are designated as Residential Low Density I in Schedule 10. “This designation only permits detached dwellings. Section 9 of MOP promotes development with appropriate urban form and site design, regulating that such development is compatible with the existing site conditions, the surrounding context, and the landscape of the character area. The proposed detached dwelling(s) respects the designated and surrounding land use and maintain the general intent and purpose of the the Official Plan”.¹

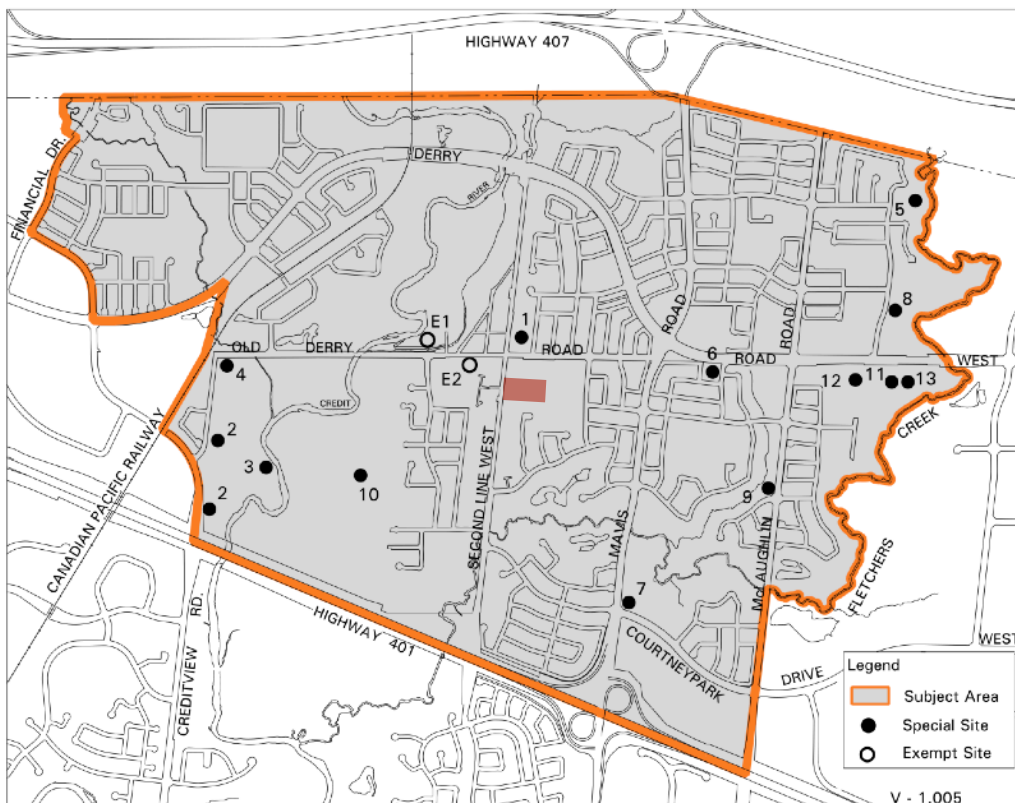


Figure 4: Meadowvale Village Neighbourhood Character Area

Subject properties are highlighted in red in figure 4.

¹ Planning Comments, Minor variance file A157.21 and A136.21

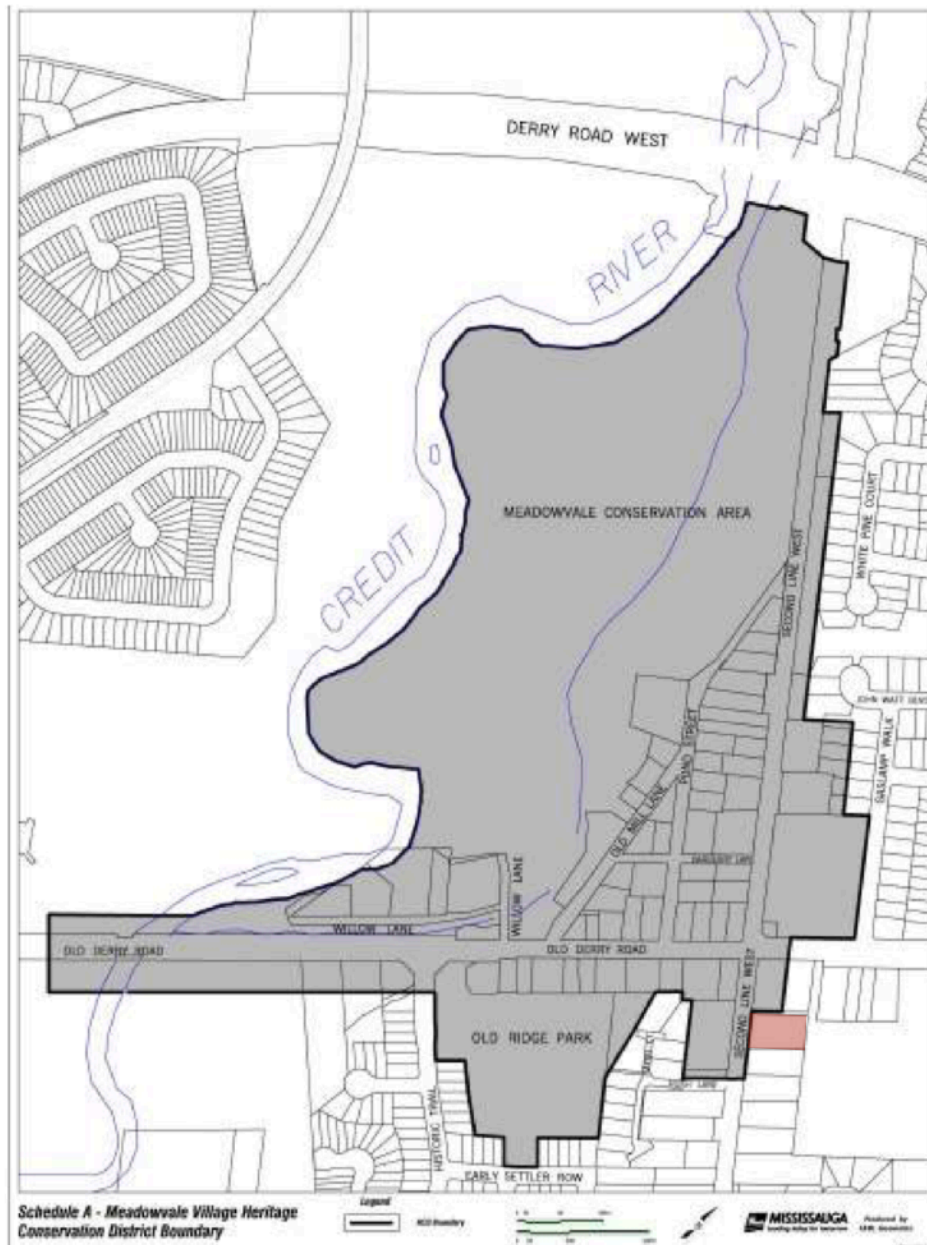


Figure 5: Meadowvale Village Conservation District Boundary²

The subject properties are highlighted in red in figure 5.

² Meadowvale Village Heritage Conservation District Plan, 2014

Figure 7:
Proposed
Front &
Rear
Elevation:
6985
Second
Line W

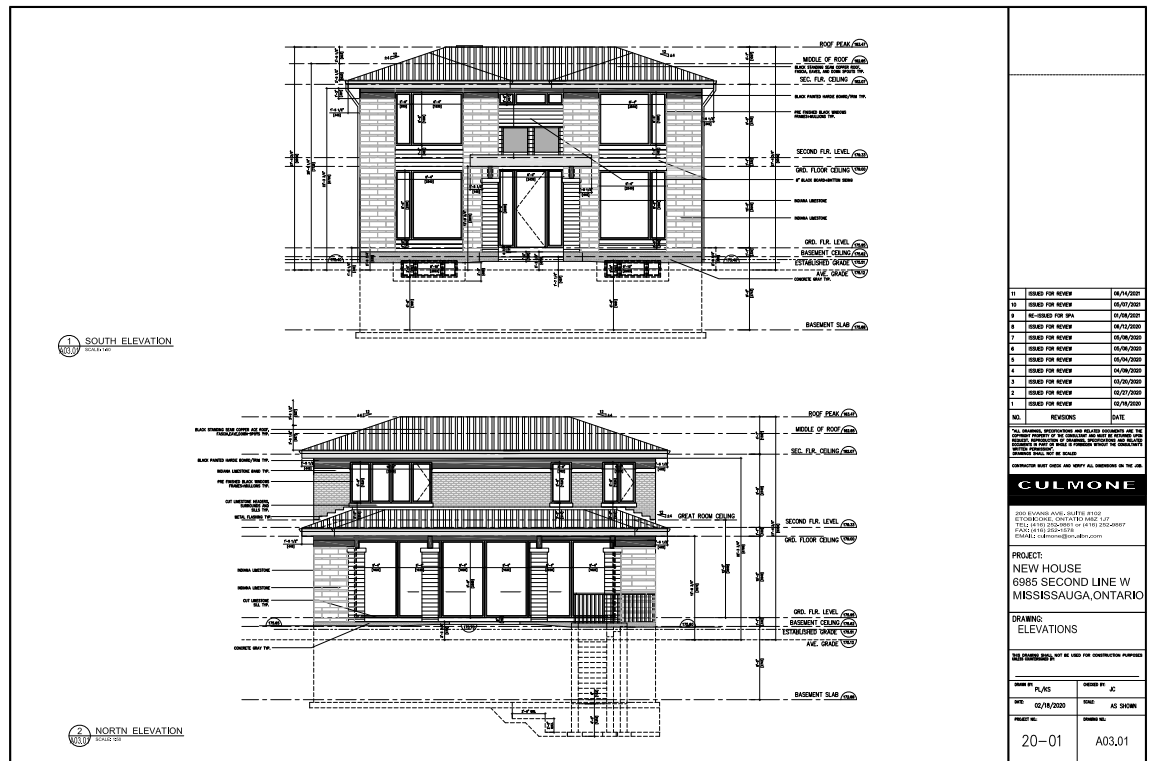


Figure 8: Architect rendering, 6985 Second Line W

The proposal for 6985 Second Line West is the construction of a new single family detached dwelling. 6985 Second Line West is designed in a “Contemporary Style”. Wedged between

the historical Meadowvale Village community to the north and the more current community character to the south, this house has been designed to transition to a more contemporary style yet compliment the traditional styles featured in Meadowvale village by incorporating traditional elements and utilizing natural materials. These cladding materials include stone, brick, standing seam metal roofing and wood trim accents.³

³ John Culmone, Architect

Proposal - 6989 Second Line West

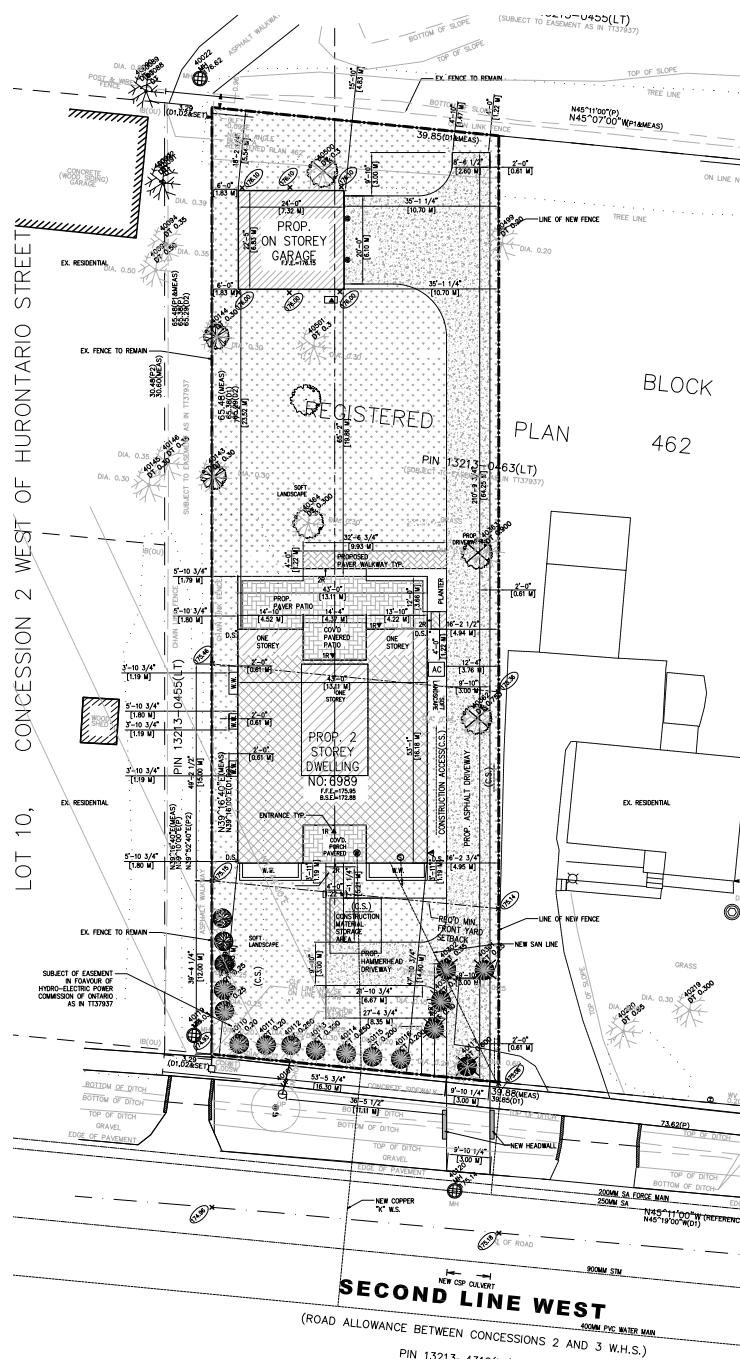


Figure 9: Proposed Site Plan, 6989 Second Line W



Figure 10: Proposed Front Elevation, 6989 Second Line West

Figure 11: Architect rendering, 6989 Second Line West



The proposal for 6989 Second Line West is the construction of a single family detached dwelling. 6989 Second Line West is designed in the “Modern Farmhouse Style”. It is designed to replicate the proportions and geometry of an old farmhouse style but with less ornamentation and detail. The exterior building cladding materials are composed of natural materials including natural stone, board and batten vertical siding, partial standing seam metal roof and wood trim accents.⁴

Excerpts from Heritage Conservation District Plan

The subject properties about the Meadowvale Conservation District, and are subject to the policies contained within it. Part 3, Policy 19 indicates that “Council will consider the impact of proposed changes to properties adjacent to the HCD boundary and will ensure appropriate mitigative measures are in place to minimize adverse impact to the HCD heritage character.”⁵ As such, in this instance, we can apply the criteria listed in Policy 5, objectives of the HCD plan to guide the conservation and change within the district.

a) Maintain and enhance the distinct heritage character of the HCD with emphasis on the following characteristics:

- a) Narrow rural-like roads;*
- b) Any additional new sidewalks may be installed where required to meet accessibility needs, as appropriate;*
- c) Minimal street signage;*
- d) Varied set-back of built form;*
- e) Varied lot size reflecting the retention of the established mid nineteenth century lotting pattern;*
- f) Small buildings of a modest scale and design on large lots;*
- g) Retention all heritage attributes within the HCD and those listed for each individual property;*
- h) Varied, open relationship from one property to another;*
- i) Transparent, or open views, while retaining large diameter trees, from the streetscape to buildings*

⁴ John Culmone, Architect

⁵ Meadowvale village Heritage Conservation District Plan, 2014

-
- j) *Retention the original topography;*
 - k) *Mill remnants (foundations, earthworks, former water-ways);*
 - l) *Modest residential landscaping of a rural character*
- B) preserve buildings of historic association and building features and ensure new designs contribute to the HCD's heritage character;*
- C) ensure changes enhance the HCD character;*
- D) encourage ongoing maintenance and protection of properties; and*
- E) involve area residents, property owners, and interested individuals in the ongoing evolution of the HCD.⁶*

⁶ Meadowvale Heritage Conservation District Plan, 2014

Compliance with Heritage District Conservation Plan

Table 1: Compliance with HCD, Section 4.2.4 Guidelines for Substantive Alteration: New Structures

HCD Plan Section	Compliance (yes/no)	Compliance (yes/no)	Comments
	6985	6889	
4.2.4.1 Scale and Location	Yes	Yes	Both homes have been redesigned to reduce the scale. Both homes are oriented so the front of the homes face to street. Front and side yard setbacks to the homes comply with the zoning bylaw. The garages for both homes are fully detached, located to the rear of the home and will not be visible from the street. The foundation of the homes visible at the front is very minimal.
4.2.4.2 Style	Yes	Yes	The proposed homes are appropriate in scale to the properties. Although the homes are more modern in style than other homes in the immediate area, the colours and materials used respect the surrounding historical district. The proposed two car garages are located in the rear yard, and are designed to compliment the proposed homes and act as utilitarian storage / parking garages.
4.2.4.3 Roofline	Yes	Yes	Both roofs are sloped and will exceed and angle of 15%
4.2.2.4 Windows and Shutters	No	No	Wooden framed windows will not be used on the front facades of the home, as metal framed windows lend themselves better to the overall style of the homes. However, the homes are setback significantly from the street and mature landscaping will be maintained as much as possible, as such, the material of the windows will be screened from the street and overall not pose an impact on the neighbourhood. No shutters will be incorporated in to the design.

4.2.4.5 Cladding	Yes & No	Yes & No	The exterior cladding for both homes will be primarily Indiana limestone, with accents of wooden board and batten siding used vertically on 6989 and horizontally on 6985. Again, the homes are setback significantly from the street and mature landscaping will be maintained as much as possible, as such, the material of the windows will be screened from the street and overall not pose an impact on the neighbourhood.
4.2.4.6 Topography	N/A		The topography of the properties will not be altered in any major way. The lots are both relatively flat and will be maintained. Efforts have been made to retain as much vegetation and as many trees as possible and replacement trees will be planed for any trees that are removed.

The subject properties are adjacent to Meadowvale Hall, situated at 6970 Second Line West. Meadowvale Hall is listed as inventory item #13 on the City's Heritage Registry.

The building marks the site of the original schoolhouse built in 1851. A medium pitched gable roof covers the single storey, rectangular structure with rear tail, with returns on the eaves. The stone foundation supports a frame structure, while the front section is sheathed in board & batten, the rear in clapboard. An arcade of ellipses constitutes the frieze on the front section. The front gable end has a simple door flanked by two four over four, double hung sash windows. On the south side of the front section, there are seven bays of six over six double hung sash and four bays on the north, with similar pane configuration. There are five bays of sash at the rear. The chimney was originally external, but was later covered by the addition. The moldings are simple and the exterior has been changed very little, if at all. The interior was upgraded with modern plumbing, a new subfloor structure and flooring circa 1995. Heritage Attributes: - The location, size, shape and form of the schoolhouse that reflects its public use. - The wood board and batten materials and wood windows - Its location within the lot with high visibility to Second Line West and the open green yards to the north and south Statement of Significance: The building that exists today at 6970 Second Line West, was built in 1871 as the second village school building, having

replaced the original 1851 schoolhouse. Known today as the Meadowvale Village Hall, the property has historical significance as it was the only local public school from 1851 to circa 1959. The historical significance continued as the schoolhouse was converted to the Village Hall, used by the community to the present. The structure has architectural significance as it is distinct within the Village HCD and is representative of a one room schoolhouse of the late nineteenth century. Its context is significant as the location has been host to community events for over 100 years with its open green space around the building and high visibility to the streetscape.⁷

Table 2: Impact Analysis against Meadowvale Hall

Potential Impact	Identified Impact	Mitigation
Destruction of any, or part of any, significant heritage attributes or features	None	Not required
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	None	Not required
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	None	Not required
A change in land use where the change in use negates the property's cultural heritage value	N/A	Not required
Removal of natural heritage features, including trees	None	Not required
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	None	Not required
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	None	Not required
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.	None	Not required

⁷ City of Mississauga

Streetscapes

Figure 12: Existing Streetscape



Figure 13: Proposed Streetscape



Mitigation Measures

The subject properties are located on the fringe of the boundary of the Meadowvale Village HCD. Situated across the street from the subject properties is Meadowvale Village Hall, a building of architectural significance.

Mitigation measures, outlined in the table below, have been considered to ensure the heritage resources of the adjacent property and the conservation district are not negatively impacted.

Table 3: Mitigation Measures

Potential Impact	Identified Impact	Mitigation
Destruction of any, or part of any, significant heritage attributes or features	N/A	Not required
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	None	Not required
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	None	Not required
A change in land use where the change in use negates the property's cultural heritage value	N/A	Not required
Removal of natural heritage features, including trees	None	Not required
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	None	Not required
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	None	Not required
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.	None	Not required

Mitigation methods recommended by The Guide to Cultural Heritage Resources in the Land Use Planning Process are identified in Table 2. As both properties are currently vacant, no negative impacts have been identified and as such are not applicable or not required. Further, we have reviewed the report and have compiled Table 3, outlined below, contains further considerations that have been incorporated to avoid or limit the impacts of the proposed development.

Table 4: Additional Mitigation Measures

Strategy	Mitigation Measure
Vegetation screening, fencing	<p>The existing mature trees at 6989 Second Line West between the subject properties and the street will be maintained.</p> <p>The proposal for 6985 Second Line West is the planting of 2, 1.8m tall coniferous trees at the front on east property boundary and 4, 6cm DBH deciduous trees on the street frontage to provide screening.</p>
Buffers	See above
Site Lines	The development of the properties meet the required front yard setbacks and will not impact any site lines.
Facade treatment	Subdued / muted colours have been chosen so as not to provide a 'stark' contrast to adjacent buildings

Conclusions, Recommendations

The single family dwellings proposed for the subject properties, with the recommended mitigation measures, will minimize the impact on the adjacent Heritage Conservation District. Mitigation measures, as noted above, have been considered and no further action is required.

ABOUT THE AUTHOR

William Oughtred of W.E. Oughtred & Associates Inc., is a development and land use consultant who has been practicing in the Mississauga and GTA area for over 30 years. Mr. Oughtred has a Bachelor of Arts from McMaster University. Mr. Oughtred is well versed in both Planning and building procedures and the City of Mississauga Zoning By-law and Official Plan.

Mr. Oughtred specializes in infill development projects. His extensive experience has afforded him the opportunity to see the City evolve and be at the forefront of growing trends

and patterns in land development in Mississauga. He consults regularly on both heritage and urban design for infill projects.

Heritage Impact Statements and Assessments have been completed for many properties in Mississauga, including, but not limited to the properties listed below.

- ❖ 167 Lakeshore Road West
- ❖ 965 Whittier Crescent
- ❖ 1503 Petrie Way
- ❖ 1470 Pinetree Way
- ❖ 2375 Mississauga Road
- ❖ 943 Whittier Crescent
- ❖ 2417 Mississauga Road
- ❖ 1641 Blythe Road

REFERENCES

www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

<https://www.mississauga.ca/portal/services/property>

Historic_properties.ca

google.com

Ministry of Tourism & Sport, Guide to Cultural Heritage Resources in the Land Use Planning Process

Meadowvale Village Heritage District Conservation Plan

From: brian carmody

Date: October 31, 2021 at 4:30:51 PM EDT

To: JIM HOLMES

Cc: David Moir, Greg Laughton , Greg Young , Carmela Pierro, John Mcaskin , Janet Clewes , Gord McKinnon , Terry Wilson

Subject: Re: Meadowvale Village Heritage Conservation District Sub-committee

For the kind attention of:

Jim Holmes Chairman,
Meadowvale Village Heritage Conservation District Sub-committee.

Jim, for personal reasons, and effective immediately, I am tendering my resignation as a member of the Meadowvale Village Heritage Conservation District Subcommittee.

To you, and the committee members, best of luck with your future efforts to enhance the heritage character of our Village.

Thank you,

Brian Carmody