
Heritage Advisory Committee

Date: October 13, 2020
Time: 9:30 AM
Location: Online Video Conference

Members

Councillor George Carlson	Ward 11 (Chair)
Councillor Carolyn Parrish	Ward 5
Councillor Stephen Dasko	Ward 1
David Cook	Citizen Member (Vice-Chair)
Alexander Hardy	Citizen Member
James Holmes	Citizen Member
Rick Meteljan	Citizen Member
Lisa Small	Citizen Member
Jamie Stevens	Citizen Member
Melissa Stolarz	Citizen Member
Terry Ward	Citizen Member
Matthew Wilkinson	Citizen Member

Participate Virtually

Any member of the public interested in speaking to an item listed on the agenda may register at megan.piercey@mississauga.ca or call 905-615-3200 ext. 4915 by Monday, October 12, 2020 before 12:00 P.M.

Please note the Heritage Advisory Committee will not be streamed or video posted afterwards. If you are interested in attending the meeting virtually, please contact megan.piercey@mississauga.ca or call 905-615-3200 ext. 4915 by Monday, October 12, 2020 before 12:00 P.M. in order to join the meeting.

Contact

Megan Piercey, Legislative Coordinator, Legislative Services 905-615-3200 ext. 4915
Email megan.piercey@mississauga.ca

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

1. **CALL TO ORDER**

2. **APPROVAL OF AGENDA**

3. **DECLARATION OF CONFLICT OF INTEREST**

4. **MINUTES OF PREVIOUS MEETING**

4.1. Heritage Advisory Committee Minutes - September 22, 2020

5. **DEPUTATIONS**

5.1. Shari Lichterman, Commissioner, Community Services regarding an introduction to the Heritage Advisory Committee

6. **PUBLIC QUESTION PERIOD - 15 Minute Limit (5 minutes per speaker)**

Advance registration is required to participate in person and/or to make comments in the virtual public meeting. Please see this agenda cover for registration details.

Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended:

Heritage Advisory Committee may grant permission to a member of the public to ask a question of Heritage Advisory Committee, with the following provisions:

1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related to.
2. A person asking a question shall limit any background explanation to two (2) statements, followed by the question.
3. The total speaking time shall be five (5) minutes maximum, per speaker.

7. **MATTERS TO BE CONSIDERED**

7.1. Request to alter a Heritage Designated Property: 5961 Hurontario Street (Ward 5)

7.2. Request to alter a Heritage Designated Property: 707 Dundas Street East (Ward 3)

7.3. Request to alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)

8. **INFORMATION ITEMS**

8.1. Alteration to a Listed Heritage Property: 1160 Clarkson Road North (Ward 2)

8.2. Alteration to a Heritage Listed Property: 1341 Stavebank Road (Ward 1)

8.3. Alteration to a property adjacent to a Listed Heritage Property: 5150 Ninth Line (Ward 10)

8.4. 2021 Heritage Advisory Committee Meeting Schedule

9. OTHER BUSINESS
10. DATE OF NEXT MEETING - November 10, 2020
11. ADJOURNMENT

Heritage Advisory Committee

Date: September 22, 2020
Time: 9:30 AM
Location: Online Video Conference

Members Present	Councillor George Carlson	Ward 11 (Chair)
	Councillor Carolyn Parrish	Ward 5
	Councillor Stephen Dasko	Ward 1
	David Cook	Citizen Member (Vice-Chair)
	Alexander Hardy	Citizen Member
	James Holmes	Citizen Member
	Rick Mateljan	Citizen Member
	Lisa Small	Citizen Member
	Jamie Stevens	Citizen Member
	Melissa Stolarz	Citizen Member
	Matthew Wilkinson	Citizen Member

Members Absent	Terry Ward	Citizen Member
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Staff Present

John Dunlop, Manager, Heritage Planning & Indigenous Relations
Paula Wubbenhorst, Heritage Planner
Brook Herczeg, Culture Analyst
Megan Piercey, Legislative Coordinator

1. CALL TO ORDER – 9:32 AM

2. APPROVAL OF AGENDA

Approved (Councillor C. Parrish)

3. DECLARATION OF CONFLICT OF INTEREST

Rick Mateljan, Citizen Member declared a conflict of interest with respect to item 7.6.

4. MINUTES OF PREVIOUS MEETING

4.1 Heritage Advisory Committee Minutes - March 10, 2020

Approved (R. Mateljan)

5. DEPUTATIONS - Nil

6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 minutes per speaker) - Nil

7. MATTERS TO BE CONSIDERED

7.1 Request to Alter a Heritage Designated Property: Mississauga Road South Right-of-Way (Ward 1)

Councillor Dasko advised the committee of concerns from area residents. Councillor Dasko requested that this item be referred to the Port Credit Heritage Conservation District Subcommittee once the citizen appointment process has been completed.

RECOMMENDATION HAC-0016-2020

That the request to alter the heritage designated property, in the Right-of-Way along Mississauga Road South, south of Lakeshore Road West, as per the Corporate Report from the Commissioner of Community Services, dated September 8, 2020, be received and referred to the Port Credit Heritage Conservation District Subcommittee.

Referred (Councillor S. Dasko)

7.2 Request to Amend Designation By-law 21-2016: 915 North Service Road (Ward 1)

No discussion took place regarding this item.

RECOMMENDATION HAC-0017-2020

That the property at 915 North Service Rd. which is Designated under Part IV of the Ontario Heritage Act, requires the reference plan of the designation bylaw to be amended; as per the Corporate Report from the Commissioner of Community Services dated August 27, 2020.

Approved (Councillor S. Dasko)

7.3 Request to Alter a Heritage Designated Property: 54 Bay Street (Ward 1)

No discussion took place regarding this item.

RECOMMENDATION HAC-0018-2020

That the request to alter the heritage designated property at 54 Bay St, as per the Corporate Report from the Commissioner of Community Services, dated August 19, 2020 be approved.

Approved (Councillor S. Dasko)

7.4 Request to Demolish a Heritage Listed Property: 2547 Jarvis Street (Ward 7)

No discussion took place regarding this item.

RECOMMENDATION HAC-0019-2020

That the property at 2547 Jarvis Street, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated August 27, 2020.

Approved (D. Cook)

7.5 Request to Demolish Outbuildings and Landscape Features on a Heritage Listed Property: 1503 Petrie Way (Ward 2)

No discussion took place regarding this item.

RECOMMENDATION HAC-0020-2020

That the outbuildings and built landscape features at the property at 1503 Petrie Way, which is listed on the City's Heritage Register, are not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated September 8, 2020.

Approved (M. Wilkinson)

7.6 Request to Demolish a Heritage Listed Property: 1000 Roper Avenue (Ward 2)

R. Mateljan departed at 9:45 am.

No discussion took place regarding this item.

RECOMMENDATION HAC-0021-2020

That the property at 1000 Roper Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the owner's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated September 8, 2020.

Approved (M. Stolarz)

7.7 Request to Demolish Two Properties: 2182 Corsair Road and 2465 Shepard Avenue (Ward 7)

R. Mateljan returned at 9:46 am.

No discussion took place regarding this item.

RECOMMENDATION HAC-0022-2020

1. That the property at 2465 Shepard Avenue, which is listed on the City's Heritage Register, is not worthy of heritage designation, and consequently, that the City's Park Planning Section's request to demolish proceed through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated September 2, 2020.
2. That the property at 2182 Corsair Road, which is not listed on the City's Heritage Register, meets the requirements of having Cultural Heritage Value and Interest under the *Ontario Heritage Act*.
3. That the Cultural Heritage Value and Interest for 2182 Corsair Road be satisfied through an interpretation and commemoration plan and that the City's Park Planning Section's request to demolish proceeds through the applicable process, as per the Corporate Report from the Commissioner of Community Services dated September 2, 2020.

Approved (Councillor C. Parrish)

8. INFORMATION ITEMS

8.1 Peel West Trunk Sewer Diversion (Streetsville) (Ward 11)

No discussion took place regarding this item.

RECOMMENDATION HAC-0023-2020

That the Memorandum dated August 20, 2020 from Paul Damaso, Director, Culture Division, entitled "Peel West Trunk Sewer Diversion (Streetsville) (Ward 11)" be received.

Received (Councillor S. Dasko)

8.2 Alteration to a Property adjacent a Listed Property at 801 Meadow Wood Road (Ward 2)

No discussion took place regarding this item.

RECOMMENDATION HAC-0024-2020

That the Memorandum dated August 21, 2020 from Paul Damaso, Director, Culture Division, entitled "Alteration to a property adjacent a listed property at 801 Meadow Wood Road (Ward 2)" be received.

Received (L. Small)

8.3 Alteration to a Listed Heritage Property adjacent to the Old Port Credit Village Heritage Conservation District: 70 Mississauga Road South (Ward 1)

No discussion took place regarding this item.

RECOMMENDATION HAC-0025-2020

That the Memorandum dated August 20, 2020 from Paul Damaso, Director, Culture Division, entitled "Alteration to a Listed Heritage Property adjacent to the Old Port Credit Village Heritage Conservation District: 70 Mississauga Road South (Ward 1)" be received.

Received (Councillor S. Dasko)

8.4 Alteration to a Listed Heritage Property: 53 Queen Street South (Ward 11)

No discussion took place regarding this item.

RECOMMENDATION HAC-0026-2020

That the Memorandum dated August 20, 2020 from Paul Damaso, Director, Culture Division, entitled "Alteration to a Listed Heritage Property: 53 Queen South (Ward 11)" be received.

Received (D. Cook)

8.5 Alteration to a Listed Heritage Property 2777 Mississauga Road (Ward 8)

No discussion took place regarding this item.

RECOMMENDATION HAC-0027-2020

That the Memorandum dated August 21, 2020 from Paul Damaso, Director, Culture Division, entitled "Alteration to a Listed Heritage Property 2777 Mississauga Rd (Ward 8)" be received.

Received (R. Mateljan)

8.6 New Construction to a Listed Property: 1641 Blythe Road (Ward 8)

No discussion took place regarding this item.

RECOMMENDATION HAC-0028-2020

That the Memorandum dated August 21, 2020 from Paul Damaso, Director, Culture Division, entitled "New Construction to a Listed Property: 1641 Blythe Road (Ward 8)" be received.

Received (J. Holmes)

9. OTHER BUSINESS

Matthew Wilkinson, Citizen Member provided an update on Heritage Mississauga events and noted cancellations due to the COVID-19 pandemic.

Councillor Parrish provided an update on the Avro Arrow Project with respect to funding and timelines.

Councillor Dasko advised the committee that a motion would be going to Council with respect to dedicating the Landing Lookout of the Port Credit Lighthouse to Beatrice Moreira-Laidlow. Committee members noted support.

RECOMMENDATION HAC-0029-2020

That the Heritage Advisory Committee supports the recommendation from Councillor Dasko to Council on September 30, 2020 regarding that the Landing Lookout (Podium) of the Port Credit Lighthouse located at 105 Lakeshore Road West, Mississauga (Marina Park, P-112, Ward 1) be dedicated in honour of Beatrice Moreira-Laidlow.

Approved (Councillor S. Dasko)

10. DATE OF NEXT MEETING - October 13, 2020
11. ADJOURNMENT - 10:00 AM (Councillor C. Parrish)

City of Mississauga Corporate Report



Date: August 20, 2020 To: Chair and Members of Heritage Advisory Committee	Originator's files:
From: Shari Lichterman, CPA, CMA, Commissioner of Community Services	Meeting date: October 13, 2020

Subject

Request to alter a Heritage Designated Property: 5961 Hurontario Street (Ward 5)

Recommendation

That the request to alter the heritage designated property at 5961 Hurontario St, as per the Corporate Report from the Commissioner of Community Services, dated August 20, 2020 be approved.

Background

The City designated the subject property, located at 5961 Hurontario St, under Part IV of the Ontario Heritage Act in 1981. Section 33 of the Act requires Council permission for alterations likely to affect the property's heritage attributes.

Comments

The City of Mississauga has undertaken a project to increase the security and safety of the heritage asset. The proposal includes the installation of wireless cameras, motion sensors and window sensors within the interior of the building, the replacement of an existing door at the rear of the building and other minor upgrades such as signage and landscape maintenance to the property.

The Heritage Impact Assessment indicates there will be minimal disruption and impact to the heritage attributes. Heritage Planning Staff concurs with the recommendations of the report.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The City of Mississauga is undergoing security upgrades to the heritage asset. The Heritage

Impact Assessment found the impacts to be minimal and Staff finds the work necessary to maintain and protect the asset.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Designation Bylaw



Shari Lichterman, CPA, CMA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Planning



Britannia Church and Cemetery-5961 Hurontario Street



Security Services - Review and Recommendations

Date: May 20, 2020

The City of Mississauga Security Services team attended Britannia Church and Cemetery on May 20, 2020 to conduct a security review of the church and cemetery and to recommend security measures and CPTED (Crime Prevention through Environmental Design) principles including; natural surveillance, natural access control, territorial reinforcement, and space management/maintenance, which can assist in mitigating vulnerability to crime.

As part of the analysis process for this property the following was established:

As of May 15, 2020 the property has been formally transitioned to the City of Mississauga.

1. The City of Mississauga maintains the cemetery property as required by the Funeral, Burial, Cremation Services Act. The Cemetery and Church are now part of the City's inventory.
2. Britannia Church and Cemetery are designated under By-law 1004-81.
3. There is existing fencing around the perimeter of the property.
4. There are two access points through gates into the property, all off of Hurontario Street.
5. A YouTube video recording is available, which shows a person who illegally entered the facility for the purpose of filming and highlighting many of the items inside the church. In the video there is a mention of the possibility of a homeless person living in this facility as many items shown on the video point to that. In the video the person also indicates that the church is open for access.
6. There currently is no hydro or communication services connections on this property.

CPTED Review

Natural Surveillance:

The main entry points to the property have good natural surveillance as it is located off Hurontario Street. This specific area experiences heavy vehicle traffic and some pedestrian traffic, which allows for the opportunity of having this access point observed by passersby. This also discourages illegal activity as it gives the perception to individuals with an illicit intent that the illegal activity they are planning to commit may be noticed. The area at the back of the property and the north and south perimeter are more secluded and there is very minimal natural surveillance into these areas. The south perimeter of the church structure has some overgrown foliage which furthermore reduces the natural surveillance prospect into the property.

Natural Surveillance: Lighting

Hydro Services have been disconnected from this property and as a result there are no working exterior lights. The street lights off of Hurontario Street and neighbouring businesses may provide a bit of illumination to the property. Despite this, the majority of the property is dark during nightfall.

Territorial Reinforcement and Space Management/Maintenance:

Maintenance is related to territorial reinforcement. A well-maintained area sends the message that people notice and care about what happens in an area. This, in turn, discourages vandalism and other crimes. Security practitioners refer to the "Broken Windows Theory," the idea that one broken window will entice vandals to break another. A vandalized area then becomes more inviting to higher levels of crime. A property should be well-maintained as a matter of safety as well as pride.

Britannia Church and Cemetery, appears to be in a state which requires maintenance. There are no existing signs or notices advising the public about operating hours or whether the property is opened or

closed. The main entry into the church is blocked off by plywood and the main entry stairs are in need of repair. Appropriate signage indicating the closure of this property may provide the required notice and discourage inappropriate usage off the space. The gates remain open and there are no locking mechanism installed. On the exterior of the property, there are areas that will require some attention in order to enhance the space management principal, including; overgrown foliage, repair work to a number of sections in the perimeter fence, clean up of debris and garbage.

Recommendations:

1. It is recommended that signage outlining operating hours, facility usage and undesirable behaviours be posted at all access points to the property. Reminding potential offenders at the point where they might be "about to commit a crime" and that "certain actions are unacceptable" is an approach to deter unwanted behaviours. Signs can increase the perception of risk thereby discouraging abnormal behavior and may deter potentially threatening and disruptive persons from targeting a property. Minimal wording, icons and bright colours should be used to draw attention to the signs. If the property is not intended for public use signage should be posted advising public of same and all entry points should also be blocked off or locked.
2. It is recommended that a wireless intrusion detection system consisting of door contacts, motion sensors and glass break sensors be installed in the church structure in areas with accessible access points such as doors and windows to provide a layered intrusion detection system at this facility. The recommended wireless intrusion detection system will consist of the following:
 - three 90 degree wireless motion sensors
 - one 360 degree wireless motion sensor
 - one wireless door contact
 - one wireless siren
 - one receiver
 - one keypad
 - one control panel

The recommended wireless intrusion detection field devices including door contacts, motion sensors and siren will be battery operated and will not require a hard wired connection to the control panel. These devices will be mounted to the plaster walls/ceiling with screws. The receiver and keypad will require a hard wired connection to the control panel. The hard wired cable connections between the control panel and the keypad and wireless receiver will require a cable run. For esthetic reasons and cable protection, the cable will be installed inside a surface mounted wire mold, which will be attached to the wall with supporting clips and metal screws. The wire mold can be painted to match the wall paint colour. There are no recommendation for security device installations in the basement level or the upper choir level as there are not entry points into these areas from the exterior of the facility. There will be no modifications to the exterior of the building as a result of the recommended intrusion detection system. (*Please refer to **Appendix 1** for the recommended layout of the security system with descriptions.) The installation of the security system will only be feasible if hydro and communication services are available at this location. According to Facilities Maintenance personnel the electrical panel at this facility was upgraded but it is unknown when the power was disconnected.

3. It is recommended that all overgrown foliage around the perimeter of the facility be trimmed or removed to accommodate better sight lines into the property from the neighbouring streets or

properties. Doing this will also improve the perception related to territorial reinforcement and property maintenance.

4. It is recommended that the debris/garbage scattered around the property be picked up and then properly maintained going forward.
5. It is recommended that the property fence line be inspected and repaired in areas where damage has occurred or possible entry points have been created.
6. It is recommended that the entry points to the property be secured with a lock during times when the facility is closed to the public.
7. It is recommended that exterior light fixtures be installed at the entrance to the property as well as exterior perimeter of the church.

Impact on Heritage Value

The City of Mississauga has recently acquired Britannia Church & Cemetery (May 2020). Since May, the City has secured the property and addressed avenues to mitigate vandalism. An inventory of the church is being conducted this summer with the help of the Museum Curator, Culture Division.

Maintaining the integrity of Britannia Church will be the joint responsibility of Community Services (Parks, Forestry & Environment) and Corporate Services (Facilities and Property Management). Future management/business plans for both properties will be developed with input from Heritage Planning to ensure heritage integrity is maintained.

Below are some pictures showing areas listed in recommendations that require attention.



Debris and overgrown foliage found on the exterior of the property.



Front entry point to the church in need of repair or maintenance.

Estimated Cost:

The Estimated cost for the installation of the wireless intrusion detection system is **\$4000**. Depending on which communication service is installed (network, GSM, phone line) the on-going operating charges to keep the connection for the intrusion detection system operational will vary.

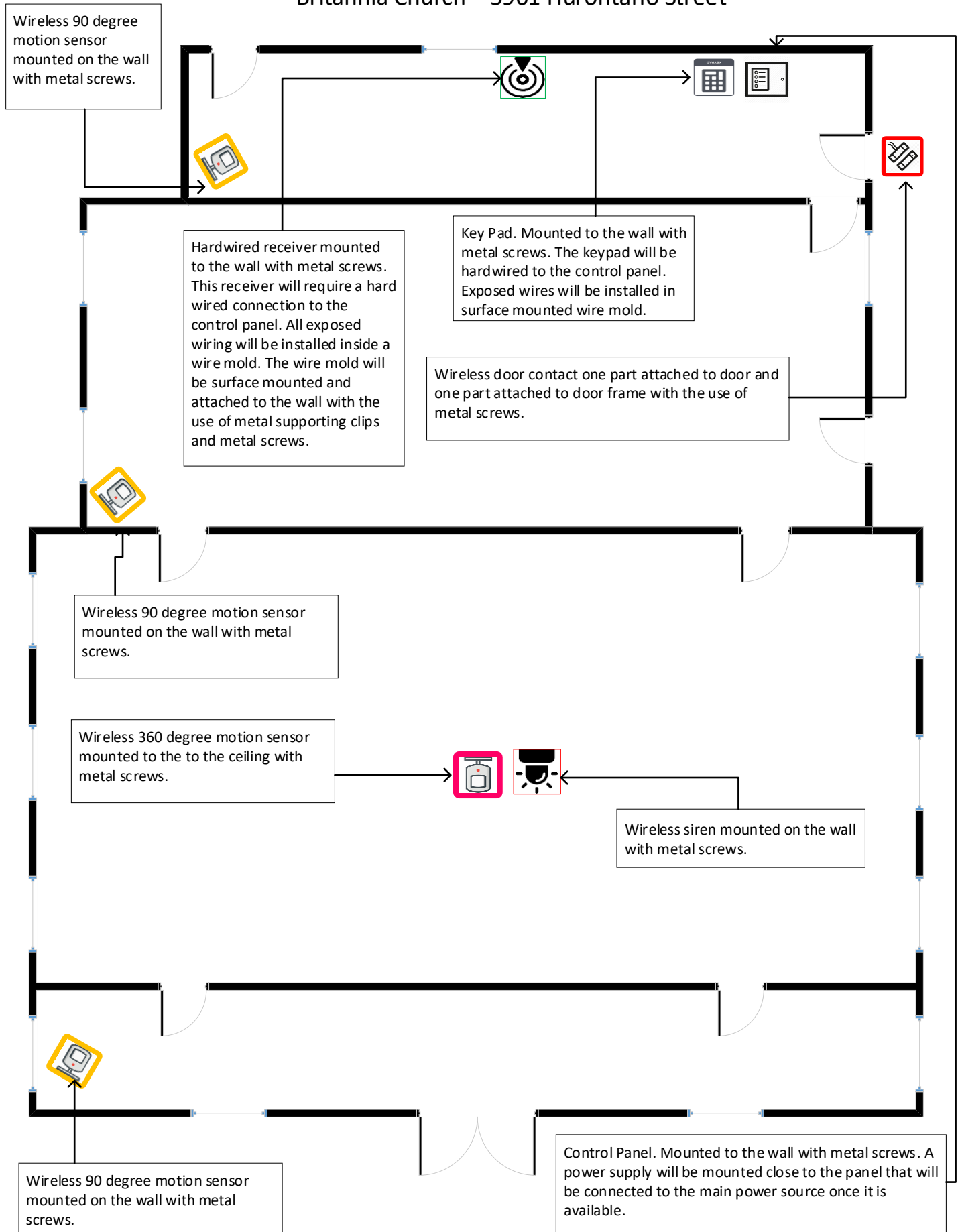
If implemented, the recommended security measures, including signage and lighting may assist in deterring illegal activity. However, should there be an incident of illegal entry into the church, the recommended intrusion detection system will allow for a fast alarm receipt, verification and response. The recommended intrusion alarm system will assist in detecting illicit activity inside the church without having someone physically attend to check on the property.

Conclusion:

The proposed installations will have no negative impacts on the heritage property located at 5961 Hurontario Street. Therefore, no mitigation is required. Hydro services reconnection may provide additional benefits to the heritage property providing the feasibility of a ventilation system installation, allowing for air circulation, a preventative measure to avoid further deterioration. A ventilation system is not included in the current scope of work and the provisions of such system would need to be coordinated with the Facilities and Maintenance team.

Appendix 1

Britannia Church – 5961 Hurontario Street





BY-LAW NUMBER 1004-81

To designate the "Britannia United Church"
Part of Lot 5, Concession 1, E.H.S., of
architectural value and historical interest.

WHEREAS the Ontario Heritage Act, R.S.O. 1980, Chapter 337,
Section 29(6), authorizes the Council of a municipality to enact
by-laws to designate real property including all the buildings
and structures thereon, to be of historic or architectural value
or interest; and

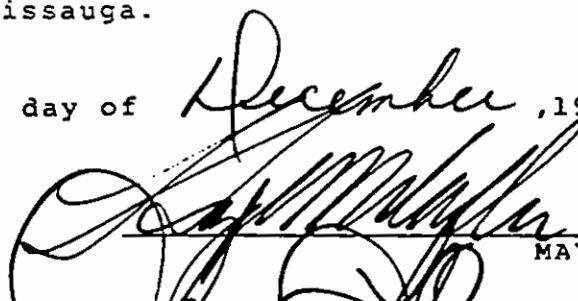

WHEREAS notice of intention to so designate the "Britannia
United Church" on Part of Lot 5, Conc. 1, E.H.S., having been
duly published and served and no notice of objection to such
designation having been received by the Council of The Corporation
of the City of Mississauga.

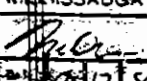
WHEREAS the reasons for the said designation are set out
in Schedule "A" hereto;

THEREFORE the Council of The Corporation of the City of
Mississauga ENACTS as follows:

1. That the real property, more particularly described in
Schedule "B" hereto known as the "Britannia United Church" on
Part of Lot 5, Conc. 1, E.H.S., be designated as being of
architectural and historic value or interest.
2. That the City Clerk is hereby authorized to cause a copy of
this by-law to be duly served upon the owner of the aforesaid
property and upon the Ontario Heritage Foundation and to cause
notice of this by-law to be published in a newspaper having general
circulation in the City of Mississauga.

ENACTED AND PASSED this 14 day of December, 1981.


MAYOR

CLERK

FILED
AND TO FORM
CITY OF MISSISSAUGA

1981/12/14

SCHEDULE 'A' TO BY-LAW 1004-81
OF THE CITY OF MISSISSAUGA

REASONS for designation of the "Britannia United Church"
on Part of Lot 5, Conc. 1, E.H.S.

The Britannia United Church and the adjoining cemetery are recommended for designation on architectural and historical grounds. The Church is a good example of the rural interpretation of the High Victorian Gothic Style for churches with its di-chromatic brickwork, non-structural buttresses, pointed-arch openings and distinct chancel oriented toward the East. The corbel table frieze in the form of polychromatic arcading gives the front facade distinction. Interior features recommended for designation include the gallery, ceiling medallion, and windows. Historically, the church and the cemetery date to 1843, but the church did not assume its present appearance until the extensive renovation programme in 1864.

Both the church and the cemetery stand as a reminder of the nineteenth century hamlet, first known as "Gardner's", and later as "Britannia".

DESCRIPTION: Part of Lot 5, Concession 1
East of Hurontario Street

ALL AND SINGULAR, that certain parcel or tract of land and premises situate, lying and being in the City of Mississauga, Regional Municipality of Peel, (formerly in the Township of Toronto, County of Peel), Province of Ontario and being composed of part of Lot 5 in the First Concession East of Hurontario Street in the said City and which said parcel may be described as follows:

PREMISING that the Northeasterly limit of The King's Highway No. 10 as widened by deposited plan 59804, (M.T.C. File P-1659-14), has a bearing of North 44 degrees 23 minutes West and relating all bearings herein thereto;

BEGINNING at a point in the Southwesterly limit of said Lot 5, being also the original Northeasterly limit of The King's Highway No. 10, distant 178.96 feet more or less measured Southeasterly thereon from the most Westerly angle thereof, said point of beginning being the most Westerly angle of the road widening by said Plan 59804;

THENCE North 39 degrees 53 minutes 50 seconds East along the Northwestern limit of the said widening, 8.94 feet to the most Northerly angle thereof and the point of commencement of the hereindescribed parcel;


THENCE North 39 degrees 53 minutes 50 seconds East to and along the Southwesterly limit of Part 1 according to a plan deposited in the Land Registry Office for the Land Titles Division of Peel (No. 43) as 43R-3521, in all a distance of 227.91 feet more or less to an angle in the said limit;

THENCE South 45 degrees 21 minutes 30 seconds East continuing along the Southwesterly limit of said Part 1, 171.96 feet more or less to an angle therein;

THENCE South 40 degrees 09 minutes 10 seconds West continuing along the last said limit and the production Southwesterly thereof, in all a distance of 229.46 feet more or less to the most Easterly angle of the said road widening by deposited plan 59804;

..2

THENCE North 44 degrees 23 minutes West along the Northeasterly limit of the King's Highway No. 10 as widened by said Plan 59804, 171.07 feet more or less to the point of commencement, the hereindescribed parcel being all of the lands described in Township of Toronto Instrument No. 32765 SAVING AND EXCEPTING the lands expropriated for road widening by said deposited plan 59804.


John Wintle,
Ontario Land Surveyor

City of Mississauga

Corporate Report



Date: August 27, 2020 To: Chair and Members of Heritage Advisory Committee	Originator's files:
From: Shari Lichterman, CPA, CMA, Commissioner of Community Services	Meeting date: October 13, 2020

Subject

Request to alter a Heritage Designated Property: 707 Dundas St East (Ward 3)

Recommendation

That the request to alter the heritage designated property at 707 Dundas St E, as per the Corporate Report from the Commissioner of Community Services, dated August 27, 2020 be approved.

Background

The City designated the subject property, located at 707 Dundas St E, under Part IV of the Ontario Heritage Act in 1986. Section 33 of the Act requires Council permission for alterations likely to affect the property's heritage attributes.

Comments

The City of Mississauga has undertaken a project to increase the security and safety of the heritage asset. The Heritage Impact Assessment indicates there will be minimal disruption and impact to the heritage attributes. Staff concurs with the recommendations of the report.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The City of Mississauga is undergoing security upgrades to the heritage asset. The Heritage Impact Assessment found the impacts to be minimal and Staff finds the work necessary to maintain and protect the asset.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Designation Bylaw



Shari Lichterman, CPA, CMA, Commissioner of Community Services

Prepared by: Brooke Herczeg, Heritage Analyst, Heritage Planning



Dixie Union Chapel and Cemetery

707 Dundas Street East, Mississauga Ontario



Security Services - Review and Recommendations

Date: May 20, 2020

The City of Mississauga Security Services team conducted a site assessment and security review of the Dixie Union Chapel and Cemetery on May 20, 2020 to evaluate the property and recommend security measures and CPTED (Crime Prevention through Environmental Design) principles including; natural surveillance, natural access control, territorial reinforcement, and space management/maintenance, to mitigate the properties vulnerability to crime and vandalism.

Information gathered during the site assessment established:

1. The City of Mississauga became responsible for the chapel and the cemetery as the property was abandoned by the association who previously took care of it.
2. The chapel is designated (Bylaw 83-79) under Part IV of the Ontario heritage Act for its architecture and historic value.
3. There is existing fencing around the perimeter of the property.
4. The main access gate and fence surrounding Dixie Union Chapel and Cemetery are not original to the property, according to Perkins-Bull documents, they were added shortly before 1930.
5. The asset is adjacent to St. John's Dixie Cemetery & Crematorium with no clear lines of territorial delineation in a number of areas of the property.
6. There are several access points into the property including; off of Dundas Street East through an insecure gate, through and open space in the fence line from the Dixie Presbyterian Church parking laneway, via a number of naturally open access points from the adjacent St. John's Dixie Cemetery and through a secured gate on the west side of the property.. A permanent easement was granted for access between Dixie Presbyterian Church and Dixie Union Cemetery (north gate). This entrance is used for both foot traffic and maintenance equipment.
7. There currently is no hydro or communication services connections on this property. (Refer to the Recommendations section for the impacts to the heritage structure the hydro reconnection may have).

Below are a number of photographs taken during the site visit showing various areas of the property



NW area of the cemetery



Main Entry gate to property off Dixie Rd.



NE area of the cemetery



West access gate of off Cawthra



West side of Dixie Chapel

CPTED Review

Natural Surveillance:

The main entry point to the property has good natural surveillance as it is located off of Dundas Street East. This specific area experiences heavy vehicle traffic and some pedestrian traffic, which allows for the opportunity of having this access point observed by passersby. This also discourages illegal activity as it gives the perception to individuals with an illicit intent that the illegal activity they are planning to commit may be noticed.

The area at the back of the chapel and the west perimeter is more secluded and there is very minimal natural surveillance into these areas. The west perimeter has some overgrown foliage which further reduces the natural surveillance prospect into the property.

Natural Surveillance: Lighting

Hydro Services have been disconnected from this property and as a result there are no working exterior lights. The street lights off of Dundas St. E and Cawthra Rd. provides minimal illumination to the perimeter. The illumination existent at St. John Cemetery also provides minimal illumination. Despite this the majority of the property is dark during nightfall.

Territorial Reinforcement and Space Management/Maintenance:

Maintenance is related to territorial reinforcement. A well-maintained area sends the message that people notice and care about what happens in an area. This, in turn, discourages vandalism and other crimes. Security practitioners refer to the "Broken Windows Theory," the idea that one broken window will entice vandals to break another. A vandalized area then becomes more inviting to higher levels of crime. A property should be well-maintained as a matter of safety as well as pride.

The Dixie Chapel and Cemetery is maintained on a regular basis by the Parks, Forestry and Environment Division. Access to the chapel is secured via a key and lock. On the exterior of the property, there are few areas that will require some attention in order to enhance the space management principal, including; overgrown foliage, repair work to a number of sections in the perimeter fence, and a broken plexi glass window pane at the front of the chapel. There are a number of plaques displayed throughout the front area of the property, which reveal the history of the cemetery and the chapel. This demonstrates a good space management technique. However, there are no existing signs or notices, advising the public about operating hours or whether the property is opened or closed. The main access gate currently remains open and there is no locking mechanism installed. There is no clear territorial separation between Dixie Chapel and Cemetery property and the adjacent St. John's Dixie Cemetery and Crematorium.

Recommendations:

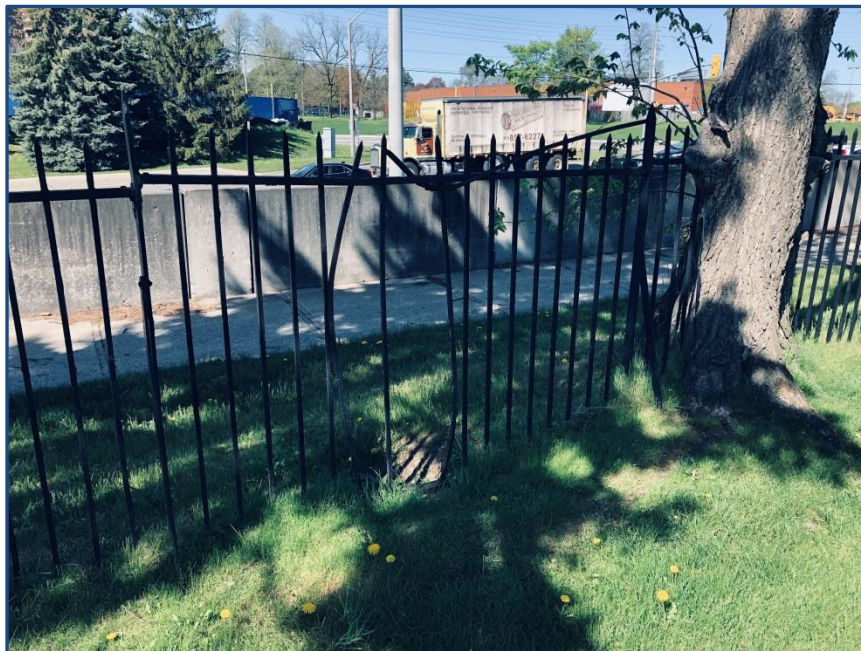
1. It is recommended that signage outlining operating hours, facility usage and undesirable behaviours be posted at all access points to the property. Reminding potential offenders at the point where they might be "about to commit a crime" and that "certain actions are unacceptable" is an approach to deter unwanted behaviours. Signs can increase the perception of risk thereby discouraging abnormal behavior and may deter potentially threatening and disruptive persons from targeting a property. Minimal wording, icons and bright colours should be used to draw attention to the signs. Appropriate signage reflecting property usage consistent with signage used in other cemetery properties managed by the City of Mississauga should be utilized.
2. It is recommended that the main access gate off of Dundas Street be secured with a lock during times when the facility is closed to the public.
3. It is recommended that a wireless intrusion detection system consisting of door contacts, motion sensors and glass break sensors be installed in the chapel structure in areas with accessible entry points such as doors and windows to provide a layered intrusion detection system at this facility. The recommended wireless intrusion detection system will consist of the following;
 - three door contacts
 - two motion sensors
 - three glass break sensors
 - one siren

- one key pad
- one control panel
- one receiver

The recommended wireless intrusion detection field devices including door contacts, glass break sensors, motion sensors and siren will be battery operated and will not require a hard wired connection to the control panel. These devices will be mounted to the plaster walls/ceiling with screws. The receiver and keypad will require a hard wired connection to the control panel. The hard wired cable connections between the control panel and the keypad and wireless receiver will require a cable run. For esthetic reasons and cable protection, the cable will be installed inside a surface mounted wire mold, which will be attached to the wall with supporting clips and metal screws. The wire mold can be painted to match the wall paint colour. There will be no modifications to the exterior of the building as a result of the recommended intrusion detection system. (*Please refer to **Appendix 1** for the recommended layout of the security system with descriptions.)

The installation of the security system will only be feasible if hydro and communication services are available at this location. Hydro was disconnected by St. John's Dixie Cemetery & Crematorium as they were designated by the Cemeteries Regulation Branch as property warden in early 2000's. Do to the age of the existing electrical structure there will be a requirement to install new power services and a new power panel. An ESA permit will need to be obtained in order achieve this. Matt Petri would be the contact to coordinate the power provisions to this property.

4. It is recommended that all overgrown foliage around the perimeter of the facility be trimmed or removed to accommodate better sight lines into the property from the neighbouring streets and properties.
5. It is recommended that the property fence line be inspected and repaired in areas with damage or possible entry points.



Damage in the perimeter fence line providing a vulnerable access point onto the property

6. It is recommended that exterior light fixtures be reinstated at the entrance to the property as well as exterior perimeter of the chapel.
7. It is recommended that the exterior Plexi window pane that was found broken during the site visit be replaced or repaired.



Damaged Plexi window pane recommended for replacement

Impact on Heritage Values

Maintaining the integrity of Dixie Union Chapel will be the joint responsibility of Community Services (Parks, Forestry & Environment) and Corporate Services (Facilities and Property Management). Future management/business plans for both properties will be developed with input from Heritage Planning to ensure heritage integrity is maintained.

A structural assessment of the Dixie Union Chapel has been completed. A number of items from that report have been addressed:

- cleaning of chapel;
- installation of swale for water runoff;
- roof shingles replaced;
- Eaves/downspouts replaced.

Estimated Cost:

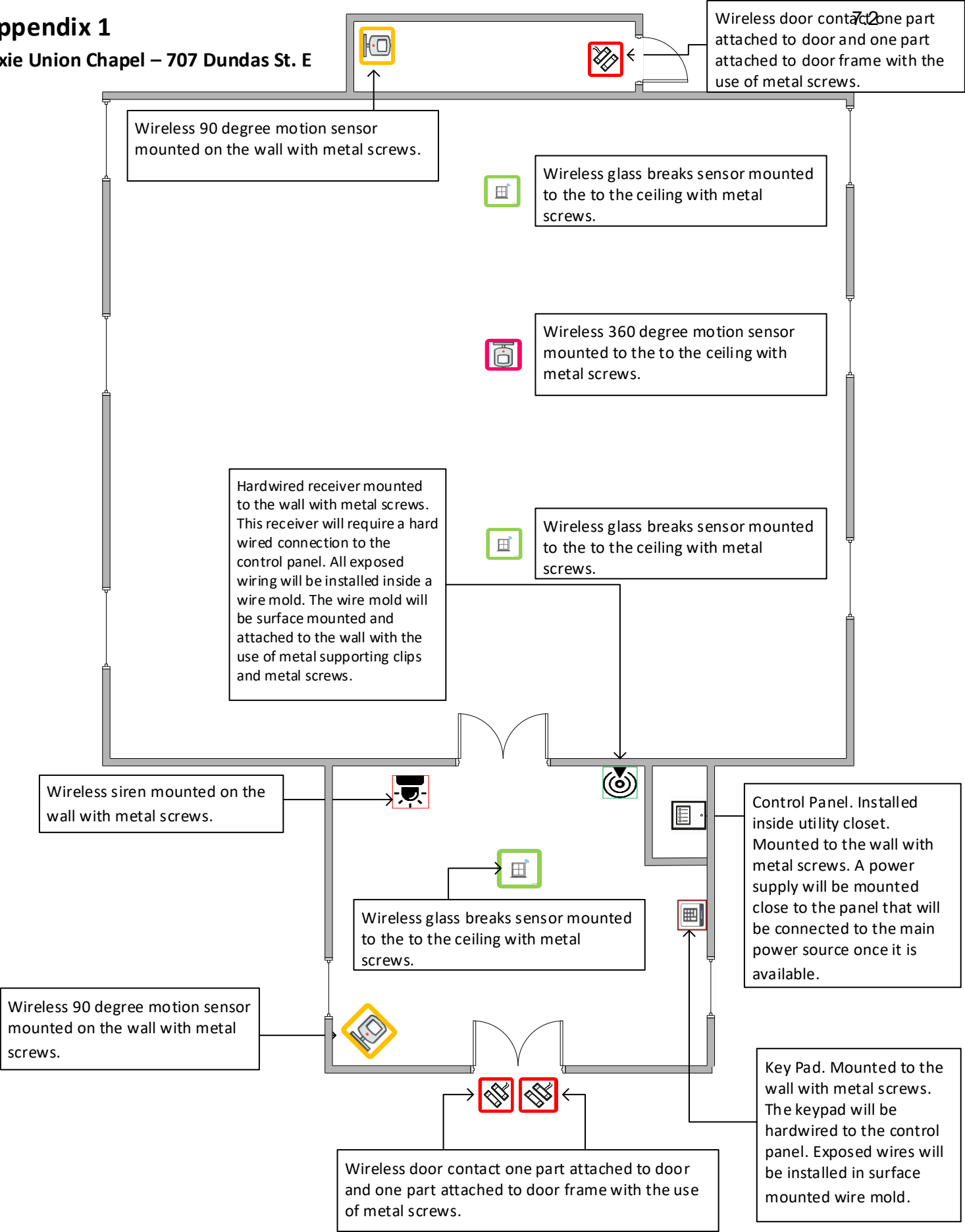
The Estimated cost for the installation of the wireless intrusion detection system is **\$4000**. Depending on which communication service is installed (network, GSM, phone line) the on-going operating charges to keep the connection for the intrusion detection system operational will vary.

If implemented, the recommended security measures, including signage and lighting may assist in deterring illegal activity. However, should there be an incident of illegal entry into the chapel, the recommended intrusion detection system will allow for a fast alarm receipt, verification and response. The recommended intrusion alarm system will assist in detecting illicit activity inside the chapel.

7.0 CONCLUSIONS & RECOMMENDATIONS

The proposed installations will have no negative impacts on the heritage property located at 707 Dundas Street East. Therefore, no mitigation is required. Hydro services reconnection may provide additional benefits to the heritage property providing the feasibility of a ventilation system installation, allowing for air circulation, a preventative measure to avoid further deterioration. A ventilation system is not included in the current scope of work and the provisions of such system would need to be coordinated with the Facilities and Maintenance team. Exterior light fixtures could also be reconnected which would improve the overall territoriality for the property.

Appendix 1
Dixie Union Chapel – 707 Dundas St. E



THE CORPORATION OF THE CITY OF MISSISSAUGA**RECORD OF DESIGNATION**

Name of Property:	DIXIE UNION CHAPEL
Municipal Address of Property:	North/east corner of Cawthra Road and Dundas Street East Mississauga, Ontario
Roll Number:	21-05-040-068-215-00-0000
Owner of Property:	M.A. Pinkney 2410 Doultou Dr Mississauga, Ontario L5H 3M3
Date of Service of Notice of Intention to Designate:	November 30, 1977
Dates of Publication of Notice of intention:	November 30, 1977 December 7, 1977 December 14, 1977
Date of Designating By-law:	February 27, 1978
Instrument Number:	466651
Date of Registration:	March 7, 1978
Reasons for Designation:	Historic and Architectural value or interest
Property Description:	By-law 83-78

THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER..83-78...

A By-law to designate the "Dixie Union Chapel" located on the north/east corner of Cawthra Road and Dundas Street East, to be of architectural value and of historic interest.

WHEREAS The Ontario Heritage Act, S.O. 1974, Chapter 122, Section 29(6), authorizes the Council of a Municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of historic or architectural value or interest;

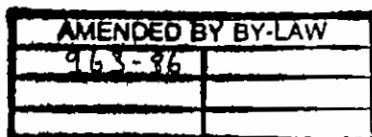
AND WHEREAS notice of intention to so designate the "Dixie Union Chapel" located on the north/east corner of Cawthra Road and Dundas Street East, having been duly published and served and no notice of objection to such designation having been received by the Council of the Corporation of the City of Mississauga.

WHEREAS the reasons for the said designation are set out as Schedule 'A' hereto;

THEREFORE the Council of The Corporation of the City of Mississauga enacts as follows:

1. That the real property, more particularly described in Schedule 'B' hereto, known as the "Dixie Union Chapel" on the north/east corner of Cawthra Road and Dundas Street East, be designated as being of architectural and historic value or interest.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.

ENACTED AND PASSED this 27th day of February, 1978.



[Signature]
ACTING MAYOR
[Signature]
CLERK

SCHEDULE 'A' TO BY-LAW NUMBFR. 83-78

Reasons for the designation of the "Dixie Union Chapel"
on the north/east corner of Cawthra Road and Dundas Street
East.

The Dixie Union Chapel is recommended for
designation on historical grounds that it is a rare surviving
example of a "union" chapel, that is, a church that was
built in pioneer times to serve many denominations. Formally
opened in 1838, in which Anglicans, Presbyterians and Methodists
worshipped. Although no longer in use, it is still jointly
administered by Trustees representing local Protestant
denominations. Architecturally, this simple gabled structure
is enhanced by the beauty of its building material, Credit
Valley stone, laid in random course.

SCHEDULE "B" TO BY-LAW NUMBER...⁸³⁻⁷⁸.....

DESCRIPTION: PART OF LOT 10, CONCESSION 1 N.D.S.

ALL AND SINGULAR, that certain parcel or tract of land and premises situate, lying and being in the City of Mississauga, Regional Municipality of Peel (formerly in the Township of Toronto, County of Peel), Province of Ontario, and being composed of part of Lot 10 in the First Concession North of Dundas Street in the said City which said parcel may be described as follows:

PREMISING that the Southwesterly limit of said Lot 10 has a bearing of North 45 degrees West and relating all bearings herein thereto;

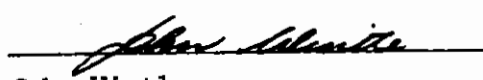
COMMENCING at the most Southerly angle of said Lot 10;

THENCE North 45 degrees West along the Southwesterly limit of said Lot 10, 555.72 feet to a point therein;

THENCE North 38 degrees East, 132.0 feet to a point;

h. THENCE South 45 degrees ^{East} ~~West~~, 552.4 feet more or less to a point in the Southeasterly limit of said Lot 10 distant 132.0 feet measured Northeasterly thereon from the point of commencement;

THENCE South 38 degrees West, 132.0 feet to the point of commencement, the above described lands being all of the lands described in Toronto Township Instrument No. 21750, Parcels 1 and 2, registered on April 3rd, 1922.


John Wintle
Ontario Land Surveyor

No. 466651

Registry Division of Peel (No. 43).

I CERTIFY that this instrument is registered as of ,

1978 MAR 7 PM 4 08

In The Land
Registry Office
at Brampton,
Ontario.

Vera Porter
LAND REGISTRAR

DATED AT MISSISSAUGA THIS

27th day of February, 1978

CITY OF MISSISSAUGA BY-LAW

83-78

RE: Designation of the
"Dixie Union Chapel"

*Legal Dept
City of Mississauga.*

City of Mississauga

Corporate Report



Date: September 27, 2020 To: Chair and Members of Heritage Advisory Committee	Originator's files:
From: Shari Lichterman, CPA, CMA, Commissioner of Community Services	Meeting date: October 13, 2020

Subject

Request to Alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)

Recommendation

That the request to alter the heritage designated property at 1352 Lakeshore Road East, as per the Corporate Report from the Commissioner of Community Services, dated September 27, 2020 be approved.

Background

The City designated the subject property, known as SAIB (Small Arms Inspection Building), which is now City owned and operated, under Part IV of the Ontario Heritage Act in 2009. Section 33 of the Act requires Council permission for alterations likely to affect the property's heritage attributes.

Comments

The City proposes to install six light fixtures along the façade of the building. These fixtures match the fixtures already installed within the courtyard of the building. The scope of work will include removal of an existing light fixture over the fire escape and the addition of five new light fixtures along the front of the structure. Photos of the light fixtures and well as their locations are noted in Appendix 1.

The list of heritage attributes within the designation by-law does include the materials used to construct the building and the light fixtures would require installation into the brick itself, which would be a minimal, but permanent, impact to this heritage attribute (Appendix 2).

The light fixtures are being installed as the front façade of the building currently has inadequate lighting which creates a risk regarding the security of the structure, as well as generally lacking in adequate visibility from the roadway. Staff are encouraging further exploration of installing the light fixtures into the mortar and not directly the brick wherever feasible, in order to minimize the impacts. Other methods of lighting, including flood lamps from the ground, were determined to be unfeasible given the complications of running power lines from the building and the general

risk of further tampering of the lights at ground level, once installed. Given the need for further security for the building, the proposal should be approved.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The City proposes to install six new light fixtures on the façade of the Small Arms Inspection Building which will match existing light fixtures installed within the courtyard. The proposal would minimally impact the property's heritage character but provide further security to the building. As such, it should be approved.

Attachments

Appendix 1: Location and Photographs

Appendix 2: Designation By-law



Shari Lichterman, CPA, CMA, Commissioner of Community Services

Prepared by: John Dunlop, Manager, Heritage Planning and Indigenous Relations

Appendix 1- Photos and Location



Photo 1- existing, matching light fixture in courtyard, close up



Photo 2- existing, matching light fixture in courtyard, distance



Photo 3: Existing light fixture to be replaced by new light fixture.

Photo 3- Location of
proposed light fixtures





THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER ..0258-2009

A By-law to designate the Small Arms Building and
Water Tower located at 1352 Lakeshore Road East
as being of cultural heritage value or interest

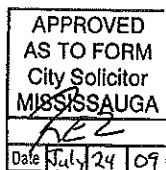
WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended,
authorizes the Council of a municipality to enact by-laws to designate real property
including all the buildings and structures thereon, to be of cultural heritage value or interest;

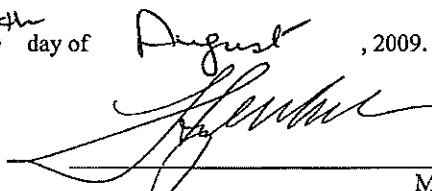
AND WHEREAS Notice of Intention to designate the Small Arms Building and
Water Tower located at 1352 Lakeshore Road East, in the City of Mississauga, has been
duly published and served, and no notice of objection to such designation has been received
by the Clerk of The Corporation of the City of Mississauga;

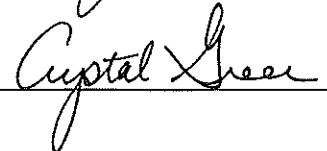
NOW THEREFORE the Council of The Corporation of the City of Mississauga
hereby ENACTS as follows:

1. That the property, including all the buildings and structures thereon, known as the
Small Arms Building and Water Tower located at 1352 Lakeshore Road East, in the
City of Mississauga, and legally described in Schedule 'A' attached hereto, is hereby
designated as being of cultural heritage value or interest under Part IV of the *Ontario
Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended.
2. That the reasons for designating the property known as the Small Arms Building and
Water Tower located at 1352 Lakeshore Road East, in the City of Mississauga, under
section 1 of this By-law, are duly set out in Schedule 'B'.
3. That the City Clerk is hereby authorized to cause a copy of this by-law to be served
upon the owner of the aforesaid property, and upon the Ontario Heritage Trust and to
cause notice of this by-law to be published in a newspaper having general circulation
in the City of Mississauga.
4. That Schedules 'A' and 'B' form an integral part of this by-law.
5. That the City Solicitor is hereby directed to register a copy of this by-law against the
property located at 1352 Lakeshore Road East in the proper land registry office.

ENACTED AND PASSED this 5th day of August, 2009.




MAYOR

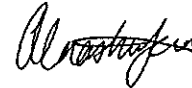

CLERK

SCHEDULE 'A' TO BY-LAW 0258-2009

Summary: Part of Lots 4 and 5, Concession 3, South of Dundas Street
(To be designated under the Ontario Heritage Act)

(Ward 1, City Zone 1, in the vicinity of Lakeshore Road East and the City Boundary)

Legal Description: In the City of Mississauga, Regional Municipality of Peel, (Geographic Township of Toronto, County of Peel), Province of Ontario and being composed part of Lots 4 and 5, Concession 3, South of Dundas Street, designated as Part 1, Plan 43R-4461 .



Alnashir Jeraj
Ontario Land Surveyor

SCHEDULE 'B' TO BY-LAW NO. D258-2009**DESIGNATION STATEMENT****Small Arms Limited Building & Water Tower, 1352 Lakeshore Road East**

The Small Arms Limited Building, a large low-lying H-shaped facility, & Water Tower are located at the foot of Dixie Road on the south side of Lakeshore Road East.

Statement of Cultural Heritage Value or Interest

The Small Arms Limited Building & Water Tower have direct associations with the federal government, World War II, the corresponding Canadian war industry and the World War II influx of working women. The water tower also has direct associations with World War I rifle training. The property yields information that contributes to an understanding of the World War home front and is associated with the development of Lakeview. The Small Arms Building has direct associations with Allward and Gouinlock Architects.

The Small Arms Limited Building & Water Tower define, maintain and support the character of the area, both the industrial character and the community of Lakeview itself. The water tower is a landmark.

The Small Arms Limited Building displays a high degree of craftsmanship and artistic merit. The water tower is rare in Mississauga.

Description of Heritage Attributes

Key attributes that reflect the Small Arms Limited Building and Water Tower's historical/associative value:

- the Modern and Modern Classical elements of the building, consistent with the World War II period
- the shape and form of the water tower, consistent with the World War I period
- the location of the structures in Lakeview, on former rifle training grounds and near rifle range remnants, including baffles, concrete backstop, indoor rifle range and parade square, at 1300 Lakeshore Road East
- the building's economic materials and construction methods
- the two skylights, within a flat roof, and expansive wraparound glazing, of the rear portion of the building, which allow for an abundance of natural light required for work therein

Key attributes that reflect the Small Arms Limited Building & Water Tower's contextual value:

- their location in Lakeview
- their location on the south side of Lakeshore Road, site of the former Long Branch Rifle Ranges, and alongside other industrial buildings
- the height and distinctive shape and form of the water tower
- the water tower's visibility from the surrounding area, including both Lakeview and Long Branch
- the row of deciduous trees along the west side of the building, which are suggested in historical aerial photography
- the generous setback and open space which allows for full visibility of the building from Lakeshore Road West
- the woodlot to the rear of the property, which is suggested in historical photography

Key attributes that reflect the Small Arms Limited Building's physical/design value:

- the overall shape and form of the entire structure
- the rectilinear shape and form of the component parts
- the projecting pavilions of the front component

- the flat roofs
- the two skylights of the rear component and their shape and form
- the chimney, its shape, form, with setback upper portion, concrete trim, and placement in the "bridge" section that connects the front and rear components
- the steel fascia and steel framed windows
- the rectilinear shape and form of the windows
- the sash windows on the front component
- the wraparound full glazing that comprises the upper three quarters of the rear component, and its continuous concrete sill
- the multiple window panes in each window – 12 panes on the front component and 25 panes on the rear component (except where there are doors) – and their consistent shape and form
- the light fixtures on the exterior of the rear component
- the common bond brick sheathing with sixth course headers
- the symmetrical arrangement of the façade
- the entryway with mortared stone pilasters and concrete slab canopy
- the single simple light fixture that hangs from the main door canopy
- the shape and form of the entryway with a tall transom window
- the concrete banding that connects the windows and extends slightly beyond them
- the concrete lintels and sills that extend slightly beyond the windows
- the concrete mortared jambs that flank the window over the main entrance
- the concrete slab foundation
- the Modern font of the building address

City of Mississauga
Memorandum



Date: September 8, 2020

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting date: October 13, 2020

Subject: Alteration to a Listed Heritage Property: 1160 Clarkson Rd N (Ward 2)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction."

The subject property is listed on the City's Heritage Register. The Heritage Impact Assessment is attached for your consideration.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division

HERITAGE IMPACT ASSESSMENT



EDITH CLARKSON HOUSE

1160 Clarkson Road North

CLARKSON - CITY OF MISSISSAUGA

04 SEP 2020

MEGAN HOBSON CAHP

M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT
905.975-7080
mhobson@bell.net

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APPENDIX B: EVALUATION ACCORDING TO ON REG 09/06

APPENDIX C: ARCHTIECTURAL DRAWINGS (AJM DESIGNS INC.)

EXECUTIVE SUMMARY

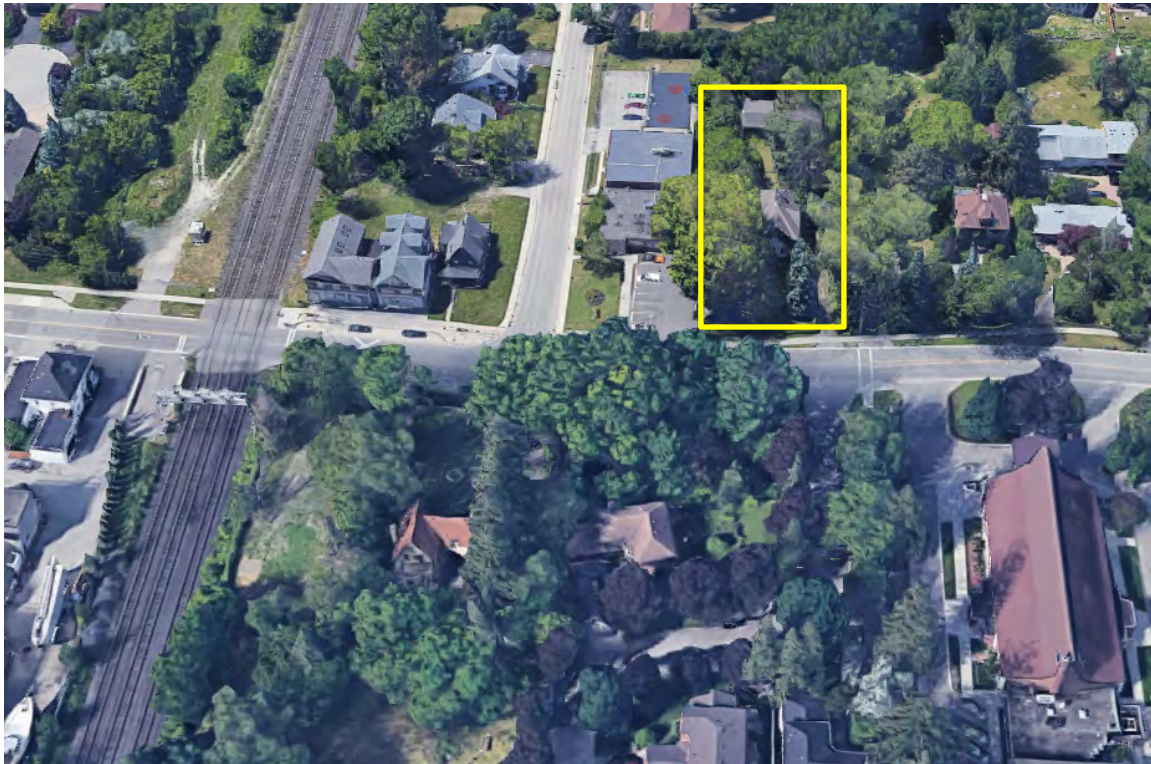
The dwelling located at 1160 Clarkson Road North was built for Edith Clarkson in 1913. Edith Clarkson was the daughter of William Clarkson and granddaughter of Warren Clarkson, one of the original settlers in the area after whom Clarkson Road is named. The house is constructed of concrete brick that is painted and is an example of Edwardian Classicism with Queen Anne elements. Later alterations include the removal of the front porch and replacement with a concrete stoop, re-shingling of the gables with asphalt shingles and re-facing of the front of the building with a cultured stone veneer, commonly referred to as 'Angel stone'. The applicant proposes to remove the non-historic stoop and construct a new front porch similar to the original porch, re-shingle the gable with cedar shingles and renovate the interior. There is an outbuilding located at the back of the property that was built c. 1913 that will also be renovated, including repairs and minor alterations. The proposed alterations have been thoughtfully designed to preserve heritage features and will support on-going use as a private residence.

1.0 INTRODUCTION

This *Heritage Impact Assessment* was prepared by heritage consultant Megan Hobson as a requirement for obtaining a heritage permit to make alterations to a property that is listed on the Municipal Heritage Register. This report meets requirements of the City of Mississauga for Heritage Impact Assessments. A site visit was undertaken in the 2019 to document the property and its physical context on Clarkson Street North. Historical research was undertaken to determine heritage values, and relevant heritage policies were reviewed in order to carry out the impact assessment. Recommendations in this report are consistent with applicable heritage policies and guidelines. All work was carried out by Megan Hobson who is a professional member of the Canadian Association of Heritage Professionals. Architectural drawings were prepared by AJM Designs based on the client's needs and information provided by Megan Hobson regarding heritage features that contributed to the heritage value of the place.

2.0 LOCATION

The subject property is located in a residential area on the west side of Clarkson Road North, north of Lakeshore Road West and just north of the railway crossing on Clarkson Road North. It is adjacent to a daycare centre on the corner of Clarkson Road North and Balsam Avenue. The driveway from Clarkson Road North is aligned with the road across the street called Hollow Oak Terrace.

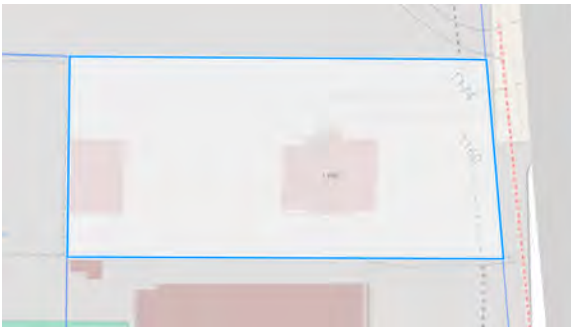


AERIAL: 1160 Clarkson Road North is located on the west side of Clarkson Road North, just north of the railway line. The driveway is aligned with Hollow Oak Terrace on the east side of Clarkson Road North.

3.0 SITE DESCRIPTION

See Appendix A: PHOTO DOCUMENTATION

The subject property contains a 2.5 storey dwelling constructed of concrete brick that is painted white. The house has two main entrances, one facing Clarkson Road North and the other oriented towards the driveway. The lot is rectangular with the house situated in the center of the lot with a large front and rear yard. The front yard is hedged along the perimeter and contains several large conifers and a very large deciduous tree. The rear yard contains a row of conifers that appears to be deliberately planted in a row. There is a frame outbuilding at the back of the property that appears to be a small hay barn that has been converted to a garage.



LOT MAP – dwelling, garage & side driveway

Edith Clarkson House



MAIN ELEVATION (left): re-clad with stone in the 1960s and the porch replaced with a concrete stoop
SIDE ELEVATION (right): bay window and side entrance oriented towards the driveway

The house is a good example of residential building influenced by Edwardian Classicism with Queen Anne features. The square plan, simple roofline, compact massing, lack of ornamentation and use of concrete block are stylistic features associated Edwardian Classicism. The shingled gables, Palladian inspired windows in the gables, the bay windows on the side elevations, and the leaded and stained glass windows on the principal elevations are ornamental details associated with the Queen Anne Revival style. The front elevation that now looks very austere, and oddly asymmetrical, originally had a porch across the ground floor that gave the elevation a more dignified appearance. There is a glazed entry porch on the driveway and a 2-storey screened sleeping porch at the back.

The interior features an Arts & Crafts' inspired staircase with organic tendrils carved on the newel post. There are wood paneled doors throughout including pocket doors between the living room and dining room. The doors and the wood trim have a simplicity associated with Arts & Crafts millwork that is typical of early 20th century residential interiors and contrasts with the ornamental design of the main staircase. The master bedroom has a small sitting room with a fireplace. The main fireplace in the living room is not original and the surround is angel stone that matches the stone veneer that was added to the main elevation, probably in the 1950s or 60s.



INTERIOR FEATURES – main staircase, leaded and coloured glass

Garage



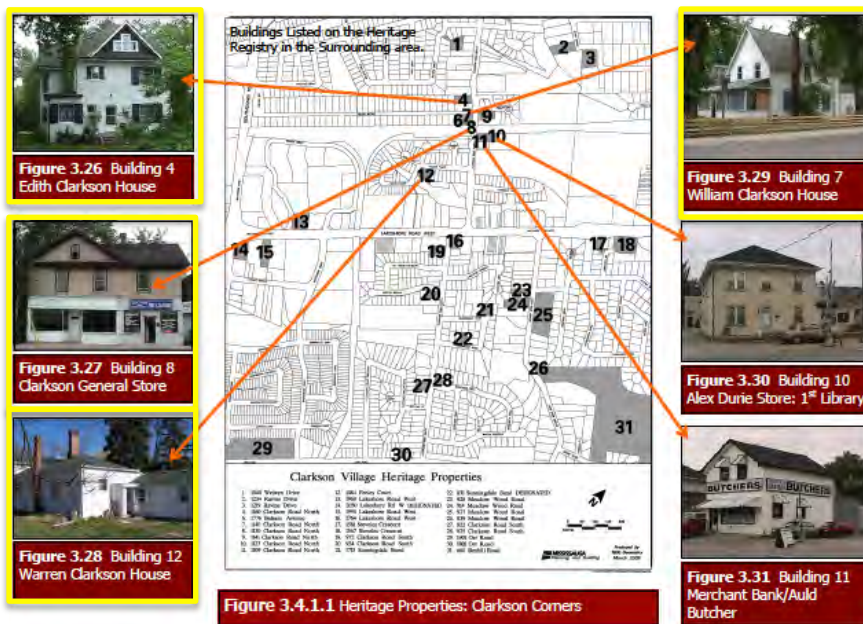
The garage located at the back of the property appears to be a small hay barn. It has a rectangular plan and a gambrel roof with hay doors at either end on the upper floor. On the exterior it has stucco on the lower level and horizontal wood siding on the upper level. The wood siding is a narrow shiplap with a very subtle flare detail at the corners. On the interior, the timber frame is exposed on the ground floor and the upstairs is lofty with exposed framing and roof boards.

There is a small bay window in the front that does not appear to be original. The windows and garage doors on the ground floor are not original and were likely installed when the building was converted to a garage, probably in the mid-20th century.

4.0 HERITAGE PLANNING CONTEXT

The Edith Clarkson House is Listed on the Municipal Heritage Register because it was the residence of Edith Clarkson who was a member of the prominent Clarkson family after whom Clarkson Road North is named. Edith Clarkson was the postmistress and operated the Telephone Office and General Store in Clarkson. She had the subject dwelling built for her in 1913 on land given to her by her father William Clarkson.

The Edith Clarkson is associated with a cluster of built heritage resources that have been identified as significant to preserving the heritage of 'Clarkson Corners'. This cluster includes the subject dwelling and other buildings associated with the Clarkson family including the Clarkson General Store (1130 Clarkson Road North), the William Clarkson house (1140 Clarkson Road North) and the Warren Clarkson House (1084 Feeley Court).



HERITAGE MAPPING – built heritage resources associated with the Clarkson family (yellow outline added to City's mapping)

5.0 HISTORICAL CONTEXT

Historically the subject property is located on Lot 29 in Concession 2. It is part of a larger parcel on the north side of the railway line on the west side of Clarkson Road that originally belonged to Warrant Clarkson, one of the 1st settlers in the area. Warren died in 1882 and the land was passed to his son William. At that time the parcel extended north of the Adams property and west of 5th Line. After William's death the land was divided between his widow and his daughter Edith Clarkson. In 1913 Edith Clarkson built the subject dwelling on her lands fronting on Clarkson Road, a short distance from the Clarkson store and post office that she managed since 1904.



CLARKSON STORE & POST OFFICE – at the railway crossing on Clarkson Road North

The design of the house combines a number of stylistic features that probably reflect the personal preferences of Edith Clarkson for whom it was built. It is most likely the work of a local builder who built the house according to his client's taste. The good design and craftsmanship is typical of middle-class residences designed and built by custom homebuilders in the early 20th century.



EDITH CLARKSON HOUSE – historic photo that shows the original front porch

Edith Clarkson only lived in the house briefly because she died in 1919. In 1920 the house was rented to Mary Oliphant, the widow of Thomas Oliphant who had died in 1911. Mary ran a women's boarding house and lived in the house until her death in 1938.

In the later 20th century, subsequent owners made changes to the house including re-facing of the front with a cultured stone that was popular in the 1960s and commonly called 'Angel stone'. A concrete stopp faced with the same stone replaced the original wood porch. A new fireplace was built in the living room using the same stone. The hay barn at the back of the property was converted to a garage and garage doors and windows were installed.

6.0 HERITAGE VALUE

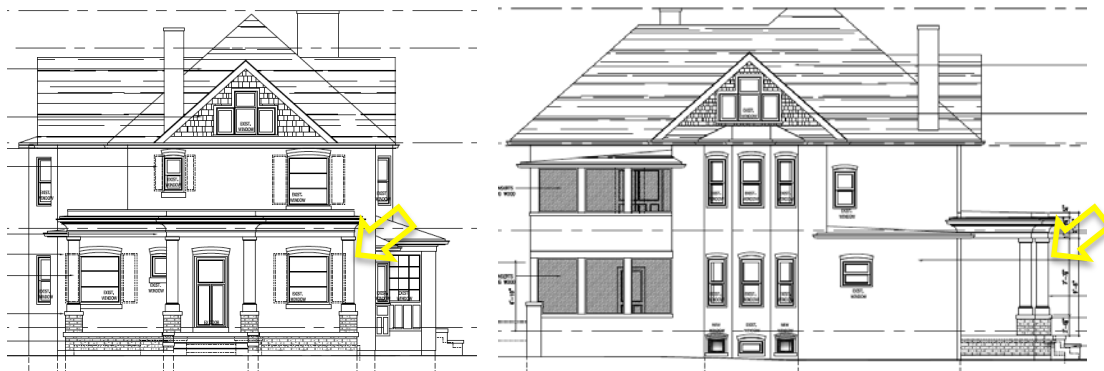
See Appendix B: EVALUATION ACCORDING TO ONT. REG. 09/06

The subject property has historical, contextual and architectural value that is significant to the Clarkson community. It has historical significance as the residence of Edith Clarkson and Mary Oliphant who were both from prominent local families who contributed to the settlement of this area. It has contextual significance due to its location on Clarkson Road North near the railway crossing where the general store and post office were located and operated by several generations of the Clarkson family. It has architectural interest as an early example concrete brick construction for a residential building in Clarkson, and as a representative example of a custom-built house that combines features associated with Edwardian Classicism and the Queen Anne style.

7.0 PROPOSED ALTERATIONS

See Appendix C: ARCHITECTURAL DRAWINGS

The proposal includes extension of the existing driveway to create a u-shaped driveway in front of the house. Alterations to the exterior of the house include the addition of a wooden porch across the main elevation, re-painting of the cement brick, and installation of new cedar shingle in the gables. Two new windows will be added in the bay on the north side elevation that will match an existing window in this location, and one window on the rear elevation will be enlarged. All of the existing windows will be retained.



HOUSE - PROPOSED FRONT PORCH – front and side elevations

Interior renovations to the house include updating the existing kitchen and bathrooms and some minor alterations. The existing staircases will remain and all of the original windows, including the leaded and stained glass windows will be retained.

Alterations to the garage include replacement of the exterior wood siding on the upper portion, replacement of the existing garage doors, and installation of new windows. A bathroom will be installed in the lower level.



GARAGE – PROPOSED DOORS & WINDOWS – front and side elevations

8.0 IMPACT ASSESSMENT

The proposed wood porch is similar to the porch that can be seen in historic photos and will enhance the main elevation and provide a covered entrance that will improve the functionality of the residence. There is no physical evidence of the original porch because the front of the building has been re-surfaced with stone that cannot be removed. There is limited documentation of the porch so building a replica of the original porch is not feasible. There is one historic photo that shows the original porch but the details are obscured by trees in the foreground of the photo.

The proposed porch has a similar scale and roofline and the use of wood columns and an architrave with classical proportions and detailing is compatible with the classical details associated with the Edwardian Classicism of the house. The proposed porch is therefore considered complimentary, it will improve the appearance of the façade, and it will restore functionality to the main entrance by providing protection from the elements. Re-painting of the exterior will have no negative impacts because the surface of the concrete brick is already painted. It appears that the concrete brick was originally painted because the surface is not textured or tinted.

The only other changes proposed to the exterior of the house include 3 new basement windows on the side elevation and enlarging of an existing window on the rear elevation. These changes are located on secondary facades and the new masonry openings and windows will match the existing. All of the existing wood windows, including leaded and stained glass windows will be retained.

Interior alterations will require very minor changes to the layout. The existing bathrooms and kitchen will be renovated but there are no heritage features in these areas. Heritage features such as the pocket doors on the ground floor, the wood staircases, and the fireplace in the master bedroom, will be retained.

Alterations proposed for the outbuilding include replacement of the wood siding with new wood siding to match the existing, installation of new windows and doors in a compatible style, and construction of a bathroom on the ground floor. The old hay doors will be removed and replaced with glazing. The doors and windows are not original so replacement is not a heritage concern. The stucco on the lower level will be retained. The proposed changes are minor and will contribute to the preservation and ongoing use of this structure.

9.0 CONSERVATION STRATEGY

The conservation strategy is to retain original features and improve the façade of the Edith Clarkson house by reinstating the front porch in a complimentary style and reinstating wood shingle in the gables. The proposed interior renovations will support ongoing residential use and are compatible with the existing layout so that original interior features can be retained. The approach is to renovate the existing dwelling without making any new additions so that minimal intervention is required.

The old hay barn that was converted to a garage will be repaired and minor alterations will be undertaken so that it can be used as a garage and as an amenity space. These changes will maintain its rustic character and contribute to the long-term use of this obsolete structure.

10.0 CONCLUSIONS & RECOMMENDATIONS

The proposed changes will enhance the subject property. Original features will be retained and repaired and new work will restore original features or add new features that are complimentary to the original design. It is recommended that the proposal alterations be approved and that consideration be given to the following:

- The original wood shingle in the gables may be preserved under the asphalt shingle. It is therefore recommended that they be inspected to determine if repair is feasible. The rear sun porch has original cedar shingle that can be used as a guide for selecting new shingle if it is required.
- If the fireplace in the master bedroom is not required and the new use of this space is not compatible with this feature, it could be boxed-in with drywall so that it's protected and could be reinstated in the future
- The wood siding on the barn may be suitable for repair rather than replacement. If it cannot be repaired it could be replaced with a similar wood siding. If feasible, the metal railings above the hay doors could be retained to preserve a record of the original use, since the doors will be replaced with glazing.

11.0 SOURCES

City of Mississauga, *Clarkson Book; Part One 1807-1950* (see page 21- Edith Clarkson's House_ http://www.mississauga.ca/file/COM/8147_ClarksonBook_PartOne.pdf

-----, *Lakeshore Road West, Clarkson Village Study Phase I* (April 2009)

Heritage Mississauga, 'Clarkson' <https://heritagemississauga.com/clarkson/>

-----, 'Clarkson Gallery' <http://www.mississauga.ca/portal/residents/clarksongallery>

-----, 'Clarkson Heritage Tour'.

Hicks, Kathleen. *Clarkson and Its many Corners* (2003).

Ministry of Culture, *Ontario Heritage Tool Kit*

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010).

12.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a Diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 8 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION



CONTEXT – View from Clarkson Road North



CONTEXT – view from the parking lot of the daycare next door



FRONT YARD – large trees in the front yard



DRIVEWAY – driveway on the south side of the property



FRONT ELEVATION – re-clad with stone in the 1960s



MASONRY DETAILS – the edge of the 1960s stone veneer at the corner of the façade (left) and the original 1913 cement brick (right)



MASONRY DETAIL – front façade was re-clad with stone in the 1960s



FRONT ENTRANCE – concrete stoop with stone veneer that replaced the original front porch



FRONT GABLE – wood shingle replaced (or covered?) with asphalt shingle



SIDE ELEVATION – covered and glazed entrance porch



DETAILS – bay windows with leaded glass and wood paneling (left) and side entrance (right)



BACK YARD – row of mature conifers aligned with the side driveway – garage visible in background



REAR ELEVATION – modern deck



LANDCAPE – large trees in the back yard



REAR & SIDE ELEVATION – the 2-storey screened sleeping porch – original wood shingles



DOORS & WINDOWS – front door with leaded glass – segmentally arched masonry openings with concrete brick sills and lintels – wood sash window with modern aluminum storm

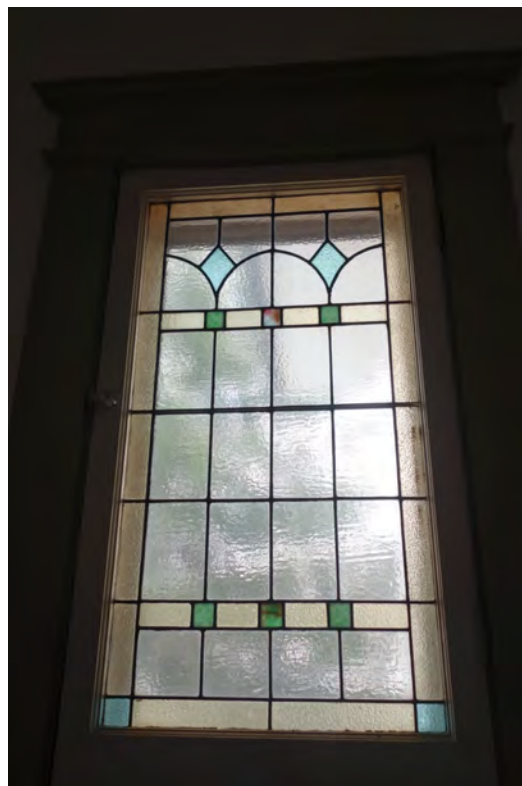
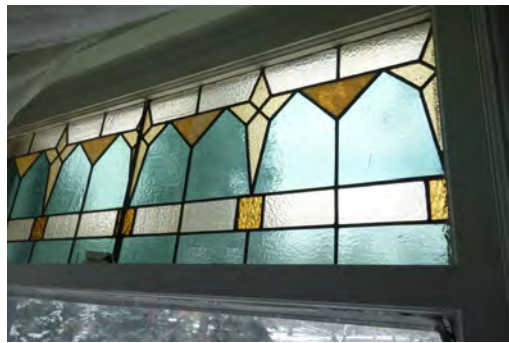
INTERIOR – 1ST FLOOR – text

FRONT HALL – leaded glass window – wood Arts & Crafts staircase



MAIN STAIRCASE





WINDOWS – leaded and coloured glass in the front window (left) and stairwell window (right)



1ST FLOOR – Living Room



1st FLOOR – bay window with leaded glass in the Living Room



1ST FLOOR – Living Room with 1960s stone fireplace



1ST FLOOR – pocket doors between the living room and dining room



1ST FLOOR – Dining Room – ceiling timbers are not original



2nd FLOOR - hall way (left) and wood doors (right)



2nd FLOOR – MASTER BEDROOM – adjoining sitting room with fireplace



2nd FLOOR – MASTER BEDROOM – fireplace in adjoining sitting room



2nd FLOOR – BEDROOM



2nd FLOOR – BEDROOM



2nd FLOOR – BEDROOM



2nd FLOOR – BEDROOM



2nd FLOOR – BEDROOM – door to screened porch



2nd FLOOR – SCREENED PORCH



GARAGE – front – doors and windows are not original



GARAGE – side – gambrel roof – hay door



GARAGE – narrow wood siding with a subtle flare at the lower corner



GARAGE – interior – door is not original



GARAGE – interior – wood framing and wood floors



GARAGE – interior – wood stairs to upper level



GARAGE – interior – hay loft



GARAGE – interior – hay loft

APPENDIX B: EVALUATION ACCORDING TO ONTARIO REGULATION 9/06

CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
1. Design of physical value:		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	YES	Early example in Clarkson of a house constructed of concrete brick. A representative example of Edwardian Classicism with Queen Anne features.
ii) Displays a high degree of craftsmanship or artistic merit	NO	It displays a moderate degree of craftsmanship and artistic merit that is associated with middle-class houses in the early 20 th century that were designed and built by local custom homebuilders.
iii) Demonstrates a high degree of technical or scientific achievement	NO	It is a modest 2.5 storey residential building.
2. Historical or associative value		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	YES	It was the residence of Edith Clarkson from 1913 to 1919. The Clarkson family is significant to the community. Edith Clarkson managed the general store and post office established by her grandfather Warren Clarkson.
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	NO	It contributes to an understanding of middle class homes in the early 20 th century.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	NO	It is not associated with an architect.
3. Contextual Value		
i) Is important in defining, maintaining, or supporting the character of an area	YES	It supports the residential character of the area.
ii) Is physically, functionally, visually, or historically linked to its surroundings	YES	It fronts on Clarkson Road that is named after the Clarkson family. It is in close proximity to the railway crossing, the Clarkson General Store and Post Office that historically linked to 'Clarkson Corners'.
iii) Is a landmark	NO	It is included on local heritage tours and is listed on the Municipal Heritage Register but is not Designated.

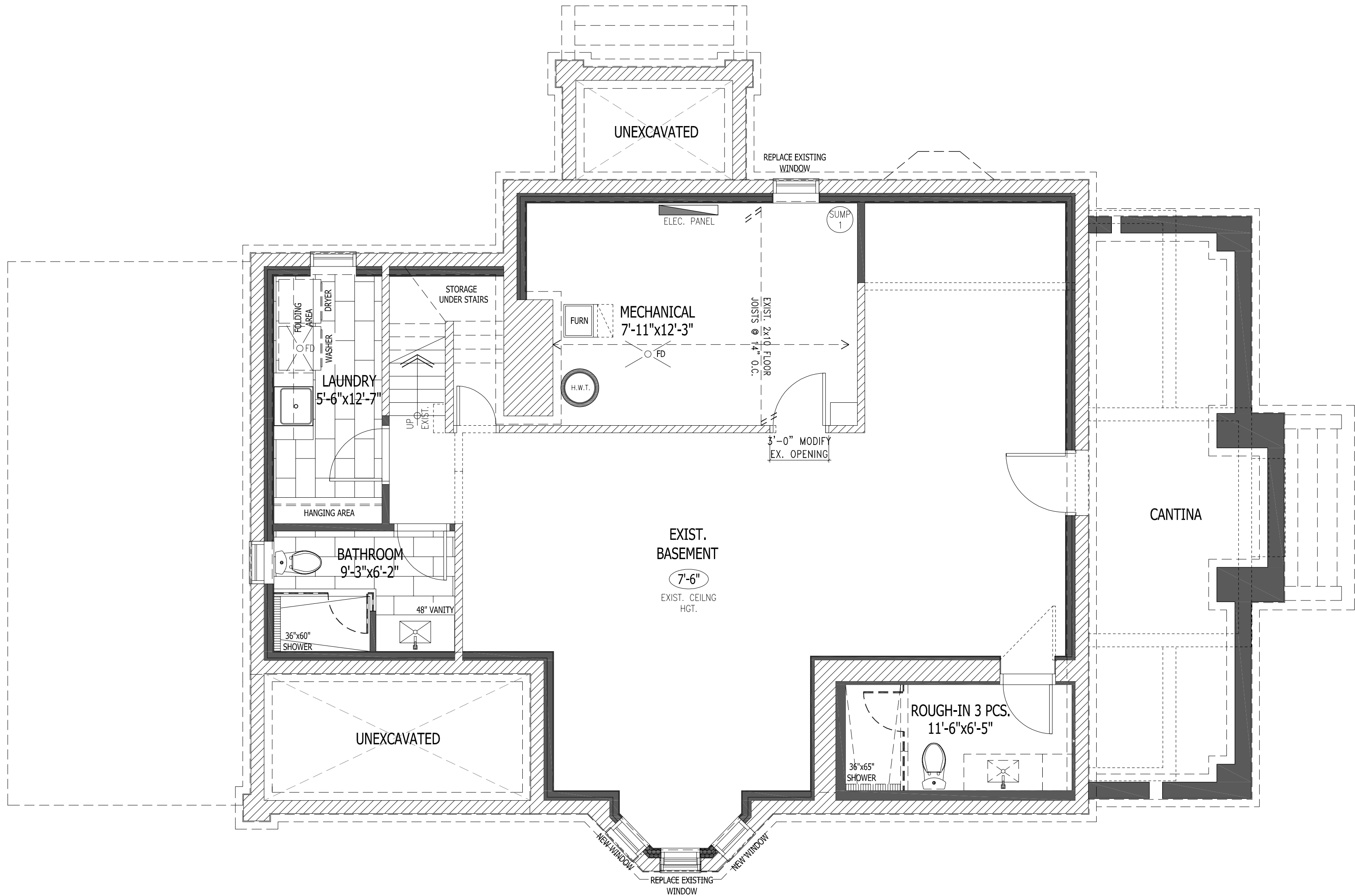


STREETSCAPE – VIEW FROM CLARKSON ROAD NORTH

- DEMOLITION NOTE:
- REMOVE ALL INTERIOR CEILING TREATMENT.
 - REMOVED ALL INTERIOR PARTITION AND EXTERIOR FOUNDATION WALL COVERINGS.
 - REMOVE EXISTING CONCRETE FLOOR THROUGHOUT BASEMENT.
 - EXCAVATE INSIDE PERIMETER BETWEEN EXISTING EXTERIOR FOOTING TO ALLOW FOR NEW RIGID INSULATION BELOW NEW SLAB AND BETWEEN EXISTING FOOTINGS.
 - PROVIDE NEW WEEPERS UNDER NEW SLAB.
 - PROVIDE NEW CLEAR GRAVEL TOPPING
 - MIN 2" RIGID INSULATION TO BE INSTALLED UNDER NEW 4" CONCRETE SLAB
 - CONTRACTOR TO ROUGH-IN FOR NEW RADIANT FLOOR WARMING SYSTEM IN NEW CONCRETE SLAB.
 - CONTRACTOR TO REVIEW AND REMOVE ALL INTERIOR ELECTRICAL FIXTURES/WIRING WITH CLIENT.
 - CONTRACTOR TO REVIEW AND REMOVE ALL EXISTING PLUMBING FIXTURES AND SUPPLY/DRAIN PIPES WITH CLIENT.
 - ALL EXISTING WINDOWS REMAINING TO BE INSPECTED, ANY DAMAGED OR ROTTEN WINDOWS TO BE REPLACED WITH THE DIRECTION OF THE HERITAGE CONSULTANT'S RECOMMENDATIONS.

- BASEMENT:
- STUD AND INSULATE PERIMETER WITH NEW DRYWALL FINISH
 - INSTALL NEW HVAC SYSTEM
 - BASEMENT SLAB TO BE REMOVED REWORK EXISTING DRAINS/PLUMBING
 - FRONT RIGHT CORNER UNDER MAIN FLOOR POWDER ROOM ADD A 3-PIECE BATH ROUGH-IN.
 - THE REST OF THE BASEMENT IS REC. ROOM.
 - HEATED FLOORS WITH POLISHED CONCRETE FINISH THOUGHT BASEMENT.

ALL EXISTING STRUCTURE TO BE SITE VERIFIED BY CONTRACTOR AND CONFIRMED TO ENGINEER ONCE DRYWALL DEMOLITION IS COMPLETE AND PRIOR TO REMOVAL OF EXISTING STRUCTURAL MEMBERS



GENERAL NOTES:

1. DO NOT SCALE DRAWINGS.
2. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE SAID DESIGNER.
3. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
4. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND TO CONFORM TO THE ONTARIO BUILDING CODE OR OTHER CODES HAVING JURISDICTION.
5. GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF (1)ONE YEAR FOLLOWING SUBSTANTIAL COMPLETION. ALL OTHER MANUFACTURER'S GUARANTEES TO APPLY.
6. GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS EXCEPT FOR THE BUILDING PERMIT, WHICH WILL BE OBTAINED BY THE OWNER.
7. PROVIDE ADEQUATE TEMPORARY SHORING AS REQUIRED DURING DEMOLITION OF STRUCTURAL WALLS AND COMPONENTS. ANY AND ALL RESULTING DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

CLARKSON HOUSE
1160 CLARKSON RD. MISSISSAUGA, ON.

ASSUMED SOIL BEARING CAPACITY: 2000 PSF

TYPICAL NOTES FOR INTERIOR WALLS:

- NOTE:
1. WASHROOM WALLS TO HAVE WATER RESISTANT GYPSUM BOARD.
 2. SHOWER ENCLOSURES TO BE CLAD WITH WONDER BOARD.
 3. PROVIDE POLY MOISTURE PROTECTION BELOW WALLS ATOP OF CONCRETE FLOOR SLABS.
 4. PROVIDE SOUND ABSORPTIVE INSULATION IN PARTITIONS AROUND WASHROOMS, ENSUITES, POWDER ROOMS & LAUNDRY ROOMS.

CONTRACTOR TO TAKE ADEQUATE MEASURES TO SHORE UP ALL EXISTING FRAMING AND WALL STRUCTURES WHILE NEW STRUCTURE IS PLACED AND SECURED.

ALL EXISTING STRUCTURE TO BE SITE VERIFIED BY CONTRACTOR AND CONFIRMED TO ENGINEER ONCE DRYWALL DEMOLITION IS COMPLETE AND PRIOR TO REMOVAL OF EXISTING STRUCTURAL MEMBERS

- DENOTES TO BE REMOVED
/// EXISTING PARTITION TO REMAIN
■ DENOTES PROPOSED PARTITION

REFER TO INTERIOR DESIGNER FOR ALL TILE TYPES AND PATTERNS REQUIRED ON FLOOR FINISHINGS

REFER TO KITCHEN MANUFACTURER FOR LAYOUT AND LOCATION OF FIXTURES, INSTALLATION AS PER MANUFACTURERS SPECIFICATIONS

WINDOWS R.S.O. SIZED TO PELLA ARCHITECT SERIES, WOOD TYPE ANY CHANGE TO BE CORRIDANTED AND MARKED UP BY WINDOW REP.

ALL INTERIOR DIMENSIONS AND WINDOW R.S.O./LOCATIONS ARE TO STUDLINE FRAMING.

ALL NEW DOORS AND ARCHWAYS TO MATCH EXISTING DOOR AND HEAD HEIGHTS ON FLOOR

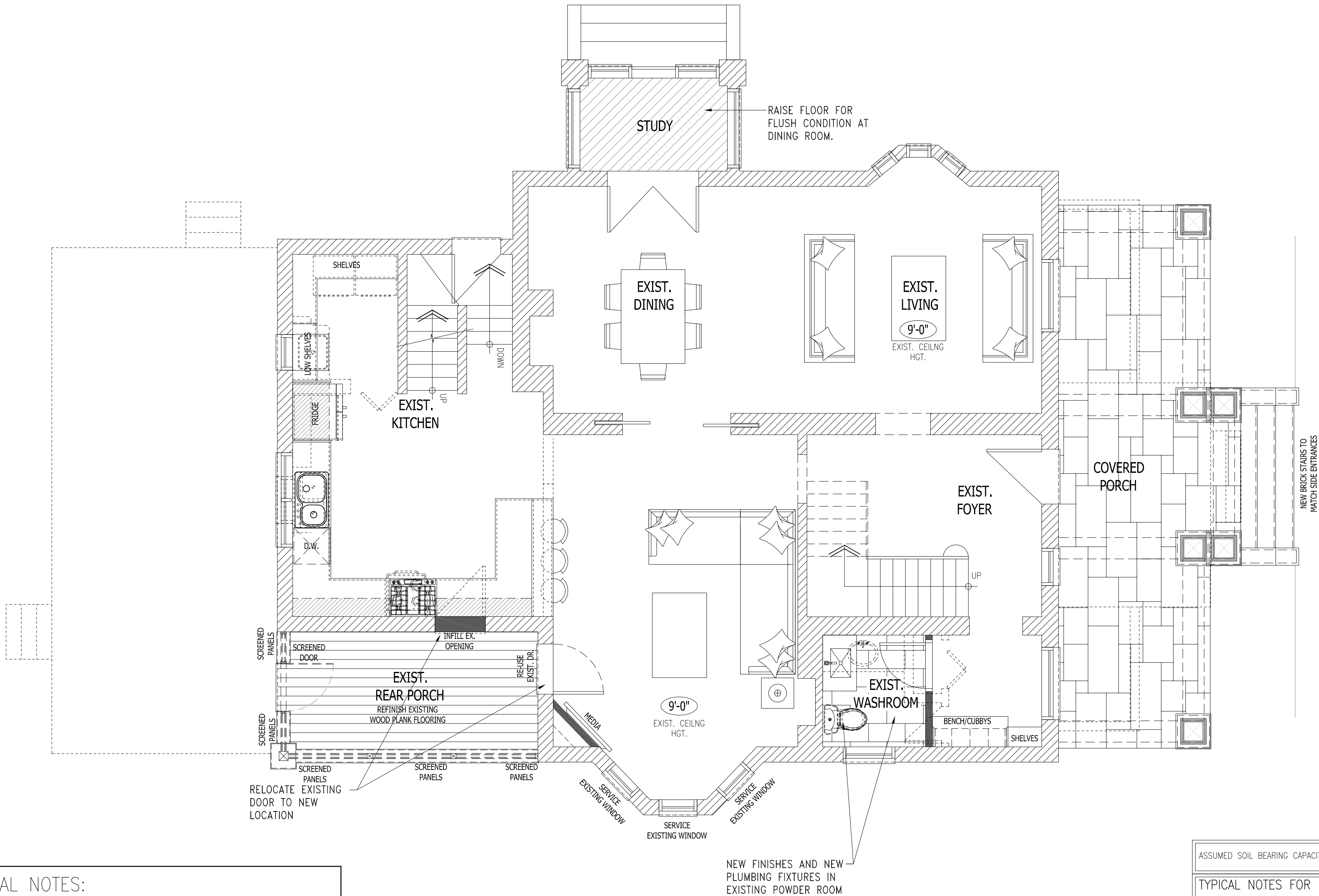
GENERAL NOTES:

- PRIOR TO DEMOLITION VERIFY ALL PROPOSED ROUGH OPENING DIMENSIONS, NEW HEADER AND BEAM LOCATIONS, AND NEW CABINET SYSTEMS THAT ARE CONTINGENT UPON AND WILL BE AFFECTED BY THE REMOVAL AND RECONSTRUCTION OF ALL INTERIOR PARTITIONS AND EXTERIOR WALLS
- VERIFY AND SECURELY STORE ALL EXISTING MATERIALS, FIXTURES AND APPLIANCES INTENDED FOR REUSE IN THE PROPOSED RENOVATION THAT CLIENT IS RESPONSIBLE FOR.
- REFERENCE ALL DIMENSIONS TO EXISTING REMAINING WALLS.
- AS BUILT DIMENSIONS ARE BASED UPON AN INTERPRETED LOCATION OF FRAMED WALLS AND DO NOT ALWAYS CONVEY THE ACCURACY OF MATERIAL FINISHES AND THICKNESS. THE LOCATION OF RECONSTRUCTED WALLS MAY REQUIRE MARGINAL ADJUSTMENTS DUE TO DISCREPANCY IN MATERIAL DIMENSIONS AND HIDDEN CONDITIONS WITHIN EXISTING WALLS.

GROUND FLOOR:

- CONTRACTOR TO REVIEW AND REMOVE ALL INTERIOR ELECTRICAL FIXTURES/WIRING WITH CLIENT.
- CONTRACTOR TO REVIEW AND REMOVE ALL EXISTING PLUMBING FIXTURES AND SUPPLY/DRAIN PIPES WITH CLIENT.
- CONTRACTOR TO MAKE PRECAUTIONS TO PROTECT ALL EXISTING HARD WOOD FLOORS THAT ARE TO REMAIN.
- EXISTING HARDWOOD FLOORS TO BE STRIPPED AND REFINISHED,
- CONTRACTOR TO TAKE MEASURES TO PROTECT ANY EXISTING FEATURES REMAINING WITHIN THE DWELLING FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO TAKE CARE IN ALL BRICK REMOVAL, KEEP AND CLEAN GOOD EXISTING BRICK FOR RE-USE FOR ALL MODIFIED OPENING AND/OR EXTERIOR INFILLS.
- ALL EXISTING WINDOWS REMAINING TO BE INSPECTED, ANY DAMAGED OR ROTTEN WINDOWS TO BE REPLACED WITH THE DIRECTION OF THE HERITAGE CONSULTANT'S RECOMMENDATIONS.

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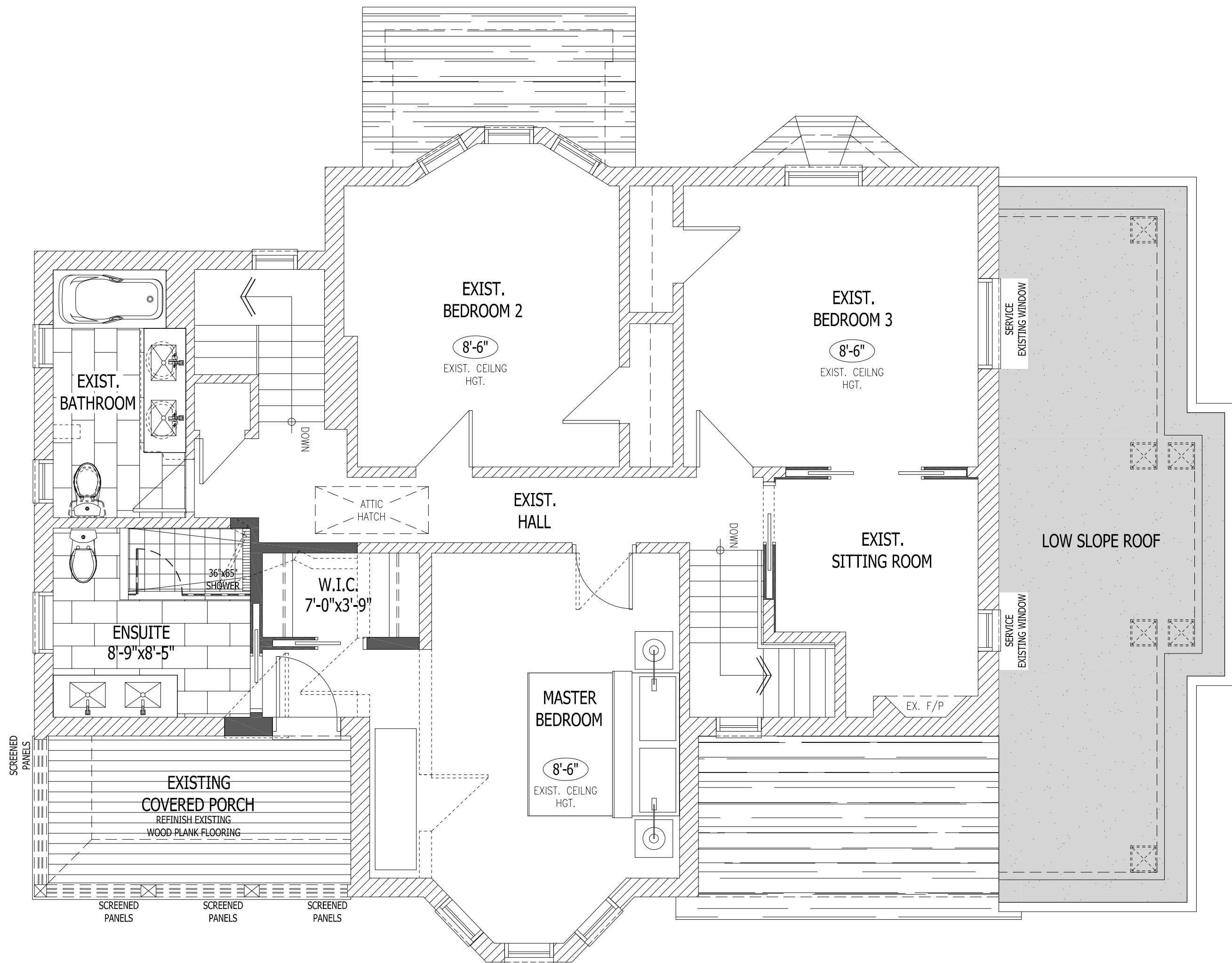
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 - REMOVE ALL EXISTING FLOOR FINISHES IN AREAS BEING RENOVATED BATHROOMS AND LAUNDRY ROOM.
 - CONTRACTOR TO REPAIR ANY ROTTEN OR DAMAGED SUB-FLOOR BOARDS PRIOR TO NEW FLOORING BEING INSTALLED.
 - MAKE READY FOR NEW FLOOR FINISHES AS PER CLIENT SELECTIONS.
 - CONTRACTOR TO TAKE MEASURES TO PROTECT AND EXISTING FEATURES REMAINING WITHIN THE DWELLING FOR THE DURATION OF THE PROJECT.
 - CONTRACTOR TO TAKE CARE IN ALL BRICK REMOVAL, KEEP AND CLEAN GOOD EXISTING BRICK FOR RE-USE FOR ALL MODIFIED OPENING AND/OR EXTERIOR INFILLS.
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- SECOND FLOOR:
- THE EXISTING SITTING ROOM TO BECOME NEW LAUNDRY
 - FIREPLACE TO REMAIN, CONSTRUCTOR TO COVER AND PROTECT FROM NEW.
 - BEDROOM #3 & #4 TO BE COMBINED FOR THE MASTER RETREAT, ADD WALK-IN CLOSET AND ENSUITE.
 - RELOCATE EXISTING ATTIC ACCESS TO THE HALLWAY, NEW ACCESS TO HAVE PULL DOWN LADDER.
 - NEW TILE FLOOR FINISHES IN BATHROOMS AND LAUNDRY ROOM.
 - CONTRACTOR TO COORDINATE EXTENT OF NEW FLOORING WITH CLIENT.

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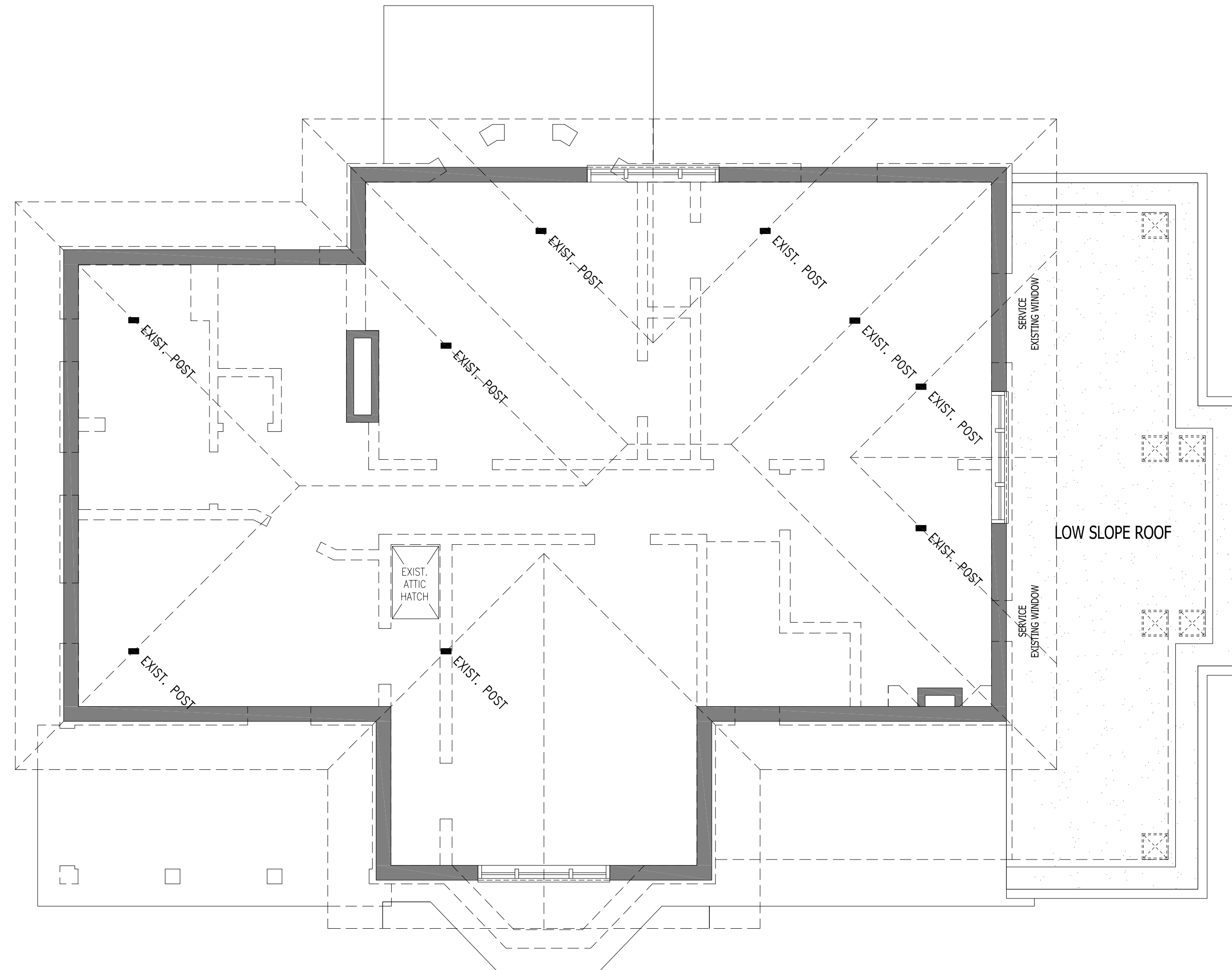
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/// EXISTING PARTITION TO REMAIN
■ DENOTES PROPOSED PARTITION

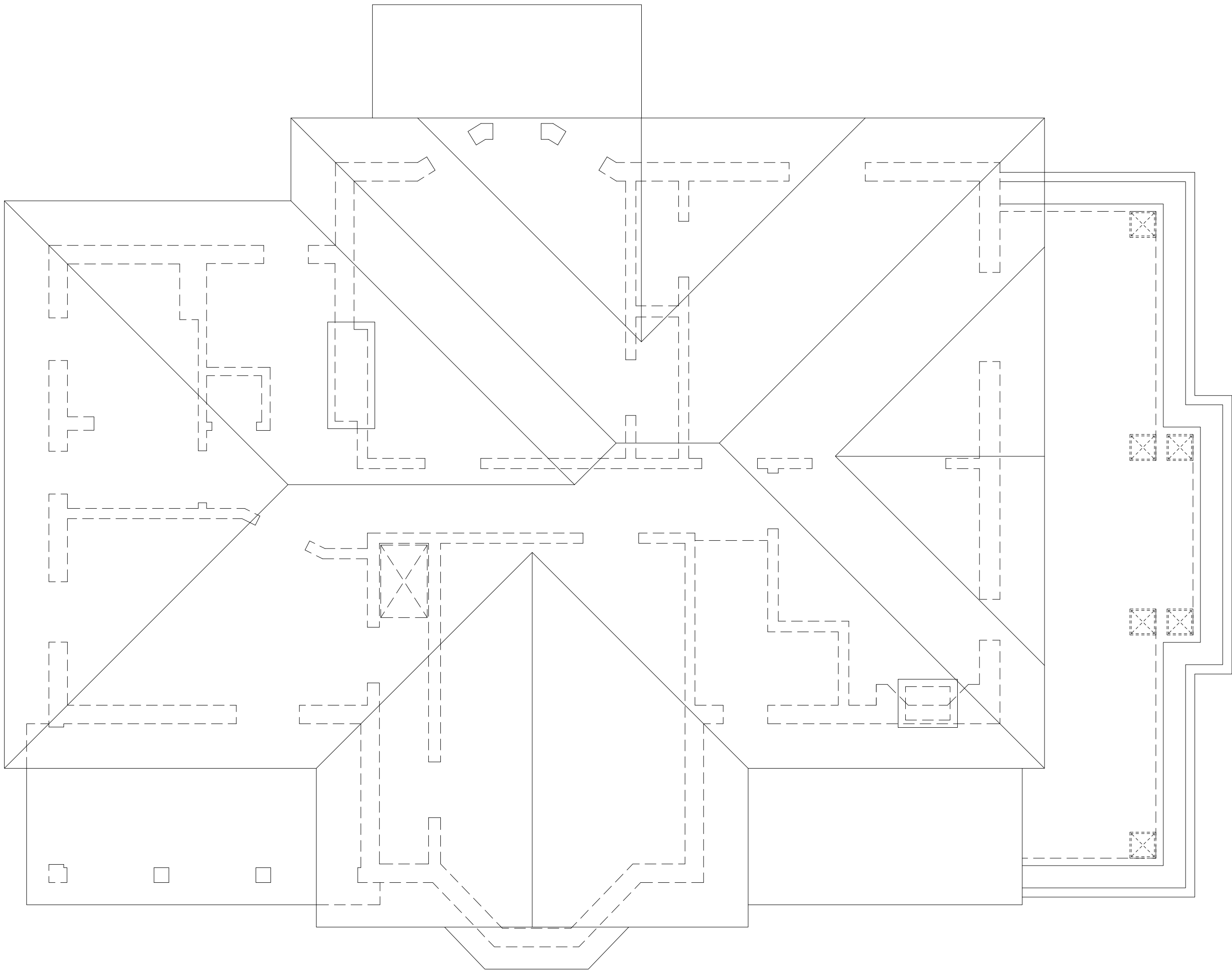
GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE SAID DESIGNER.
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
- ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND TO CONFORM TO THE ONTARIO BUILDING CODE OR OTHER CODES HAVING JURISDICTION.
- GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF (1)ONE YEAR FOLLOWING SUBSTANTIAL COMPLETION. ALL OTHER MANUFACTURER'S GUARANTEES TO APPLY.
- GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS EXCEPT FOR THE BUILDING PERMIT, WHICH WILL BE OBTAINED BY THE OWNER.
- PROVIDE ADEQUATE TEMPORARY SHORING AS REQUIRED DURING DEMOLITION OF STRUCTURAL WALLS AND COMPONENTS. ANY AND ALL RESULTING DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

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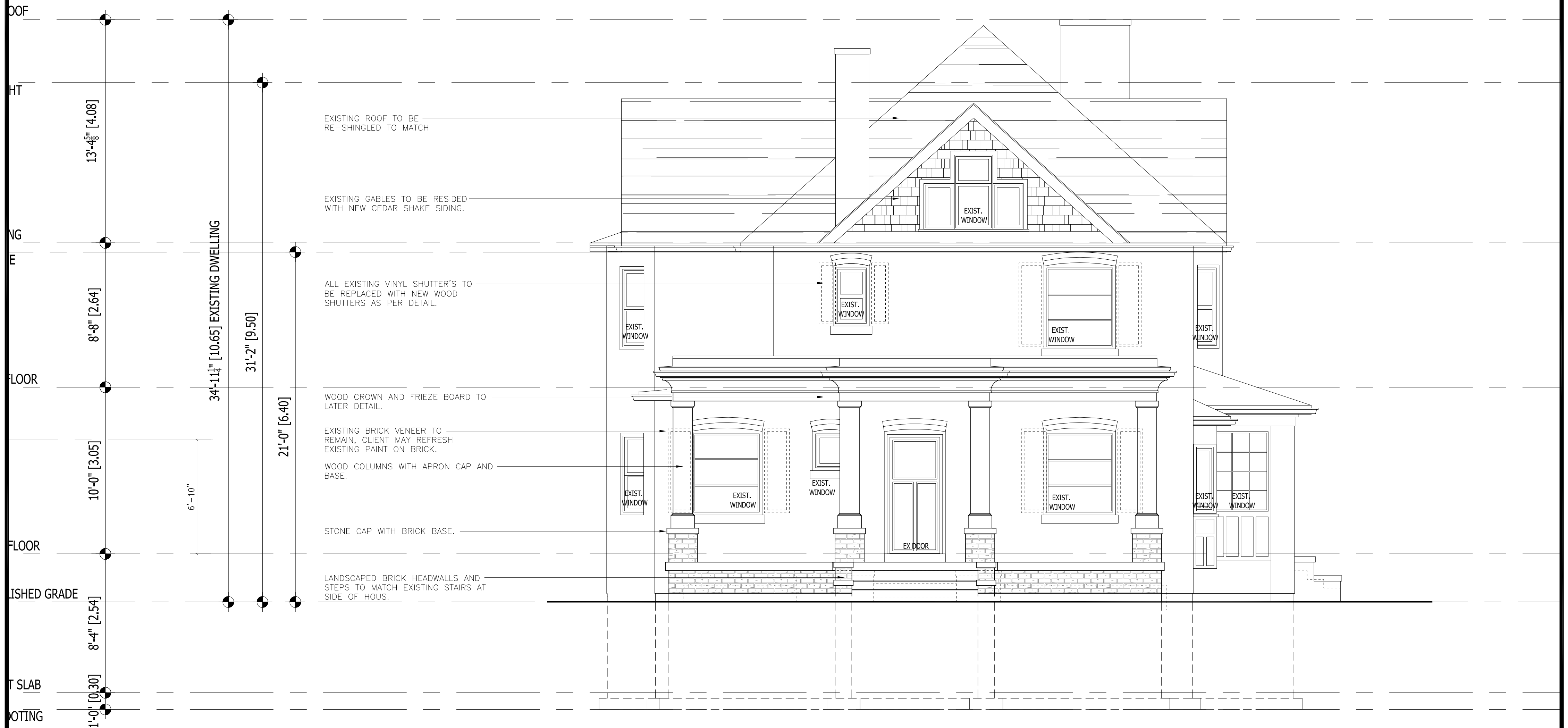


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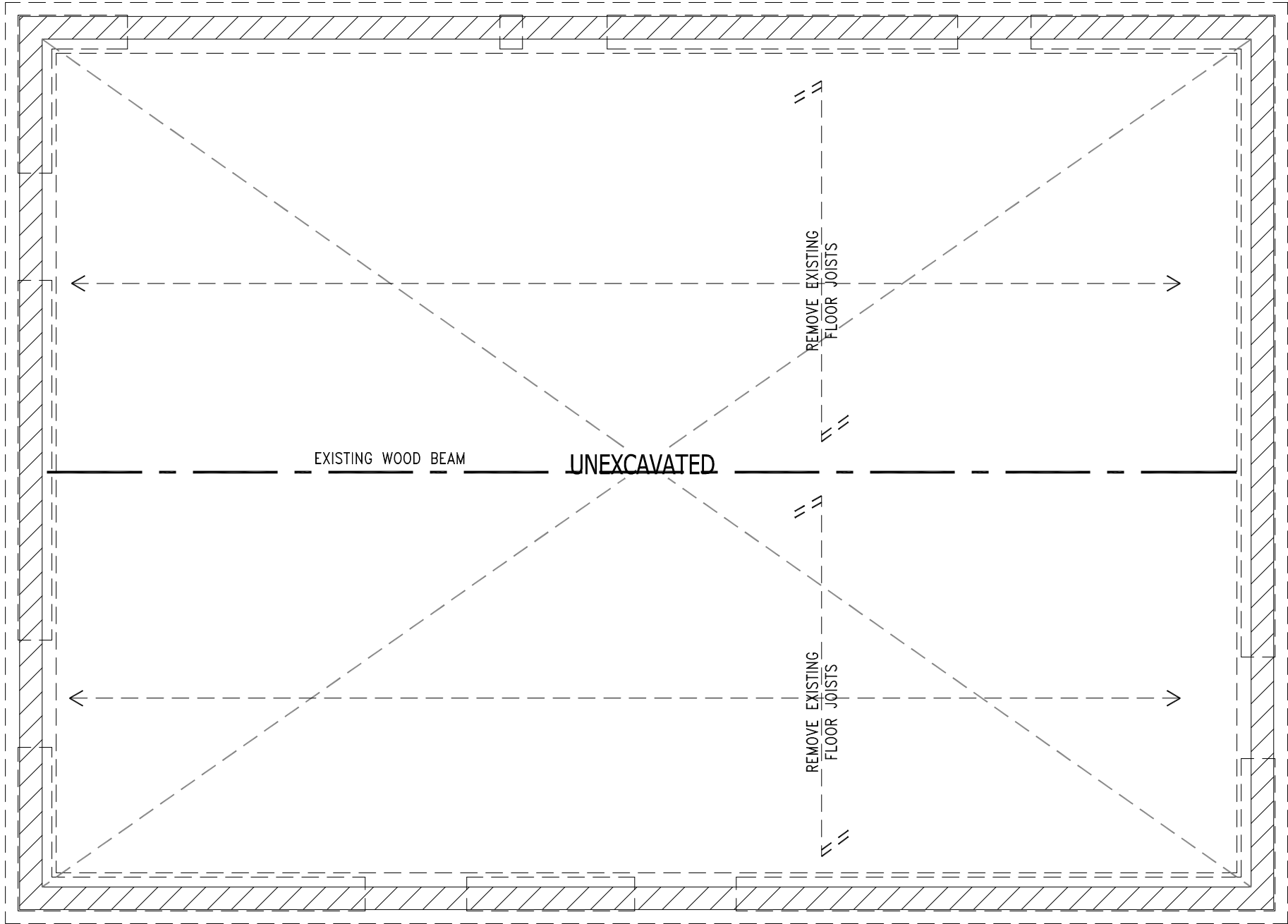


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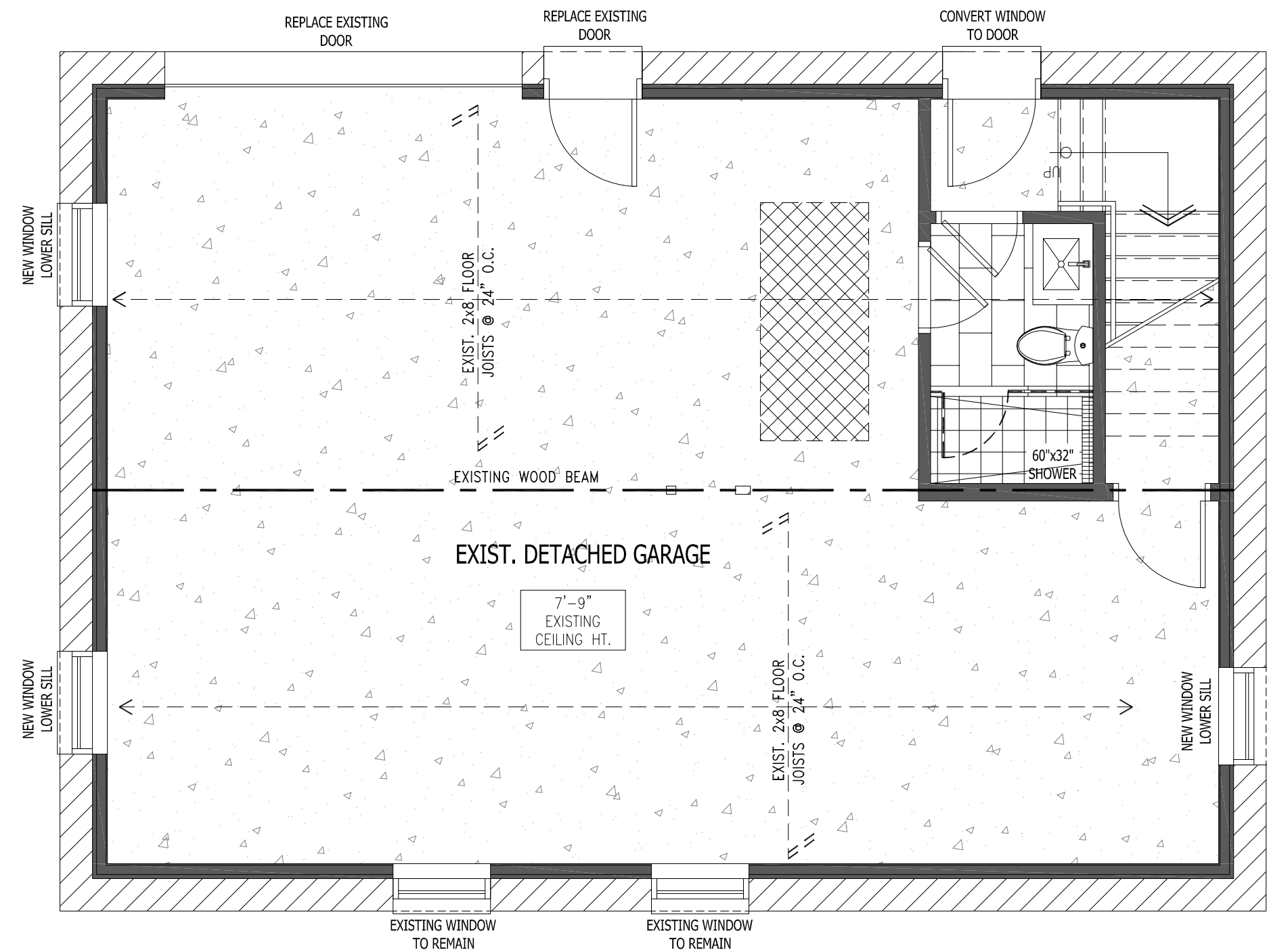


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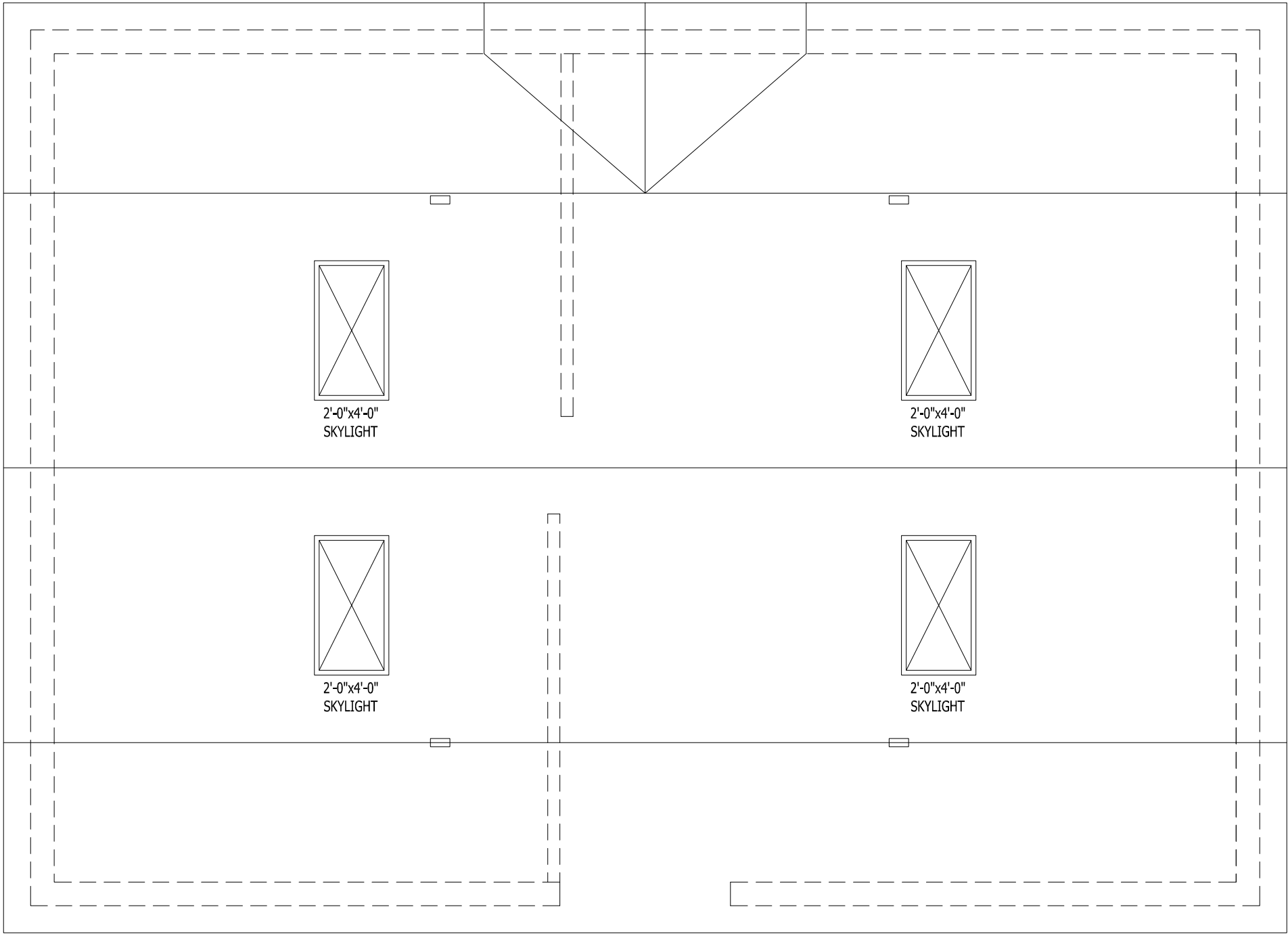
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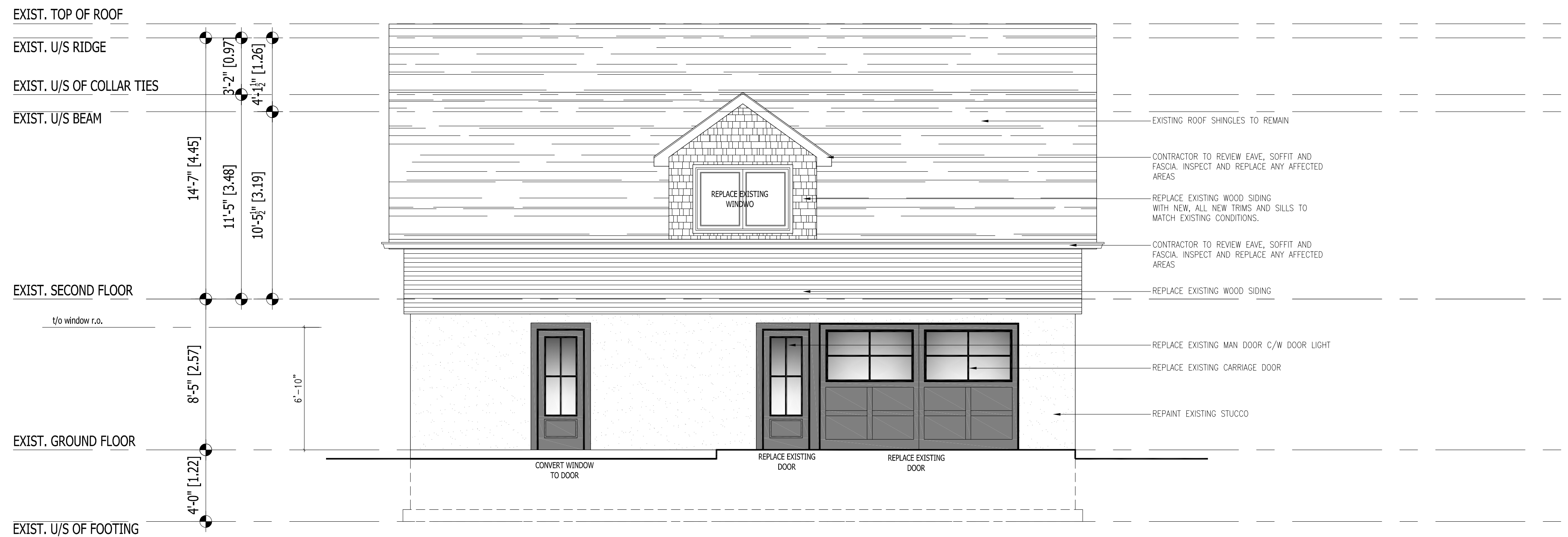
- GROUND FLOOR:
- CONTRACTOR TO REMOVE EXISTING STAIRS AND RELOCATE AS PER PLANS
 - CONTRACTOR TO CARRY ALLOWANCE FOR NEW HVAC SYSTEM.
 - CONTRACTOR TO PROVIDE NEW 100amp SERVICE
 - ALL EXISTING WINDOWS REMAINING TO BE INSPECTED, ANY DAMAGED OR ROTTEN WINDOWS TO BE REPLACED WITH THE DIRECTION OF THE HERITAGE CONSULTANT'S RECOMMENDATIONS.
 - CONTRACTOR TO PRESERVE EXPOSED TIMBER FLOOR JOIST AND PLANK FLOORING TO BE REUSED AT SECOND FLOOR.
 - CONTRACTOR TO PROVIDE NEW INSULATION AND DRYWALL AT ALL EXTERIOR PARTITIONS
 - CONTRACTOR PROVIDE NEW CONCRETE FLOORS WITH IN FLOOR HEATING SYSTEM.
 - NEW DRYWALL CEILING
 - ALL INTERIOR FINISHES AS PER CLIENT SELECTIONS.
- ALL EXISTING STRUCTURE TO BE SITE VERIFIED BY CONTRACTOR AND CONFIRMED TO ENGINEER ONCE DRYWALL DEMOLITION IS COMPLETE AND PRIOR TO REMOVAL OF EXISTING STRUCTURAL MEMBERS

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— DENOTES PROPOSED PARTITION

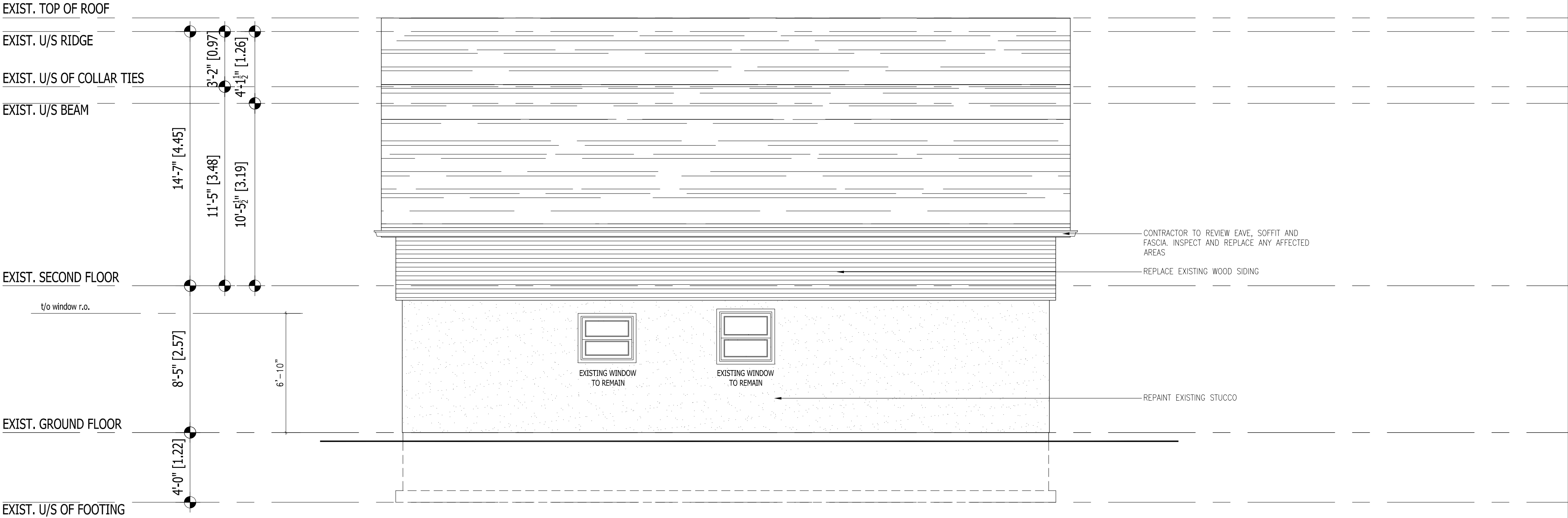
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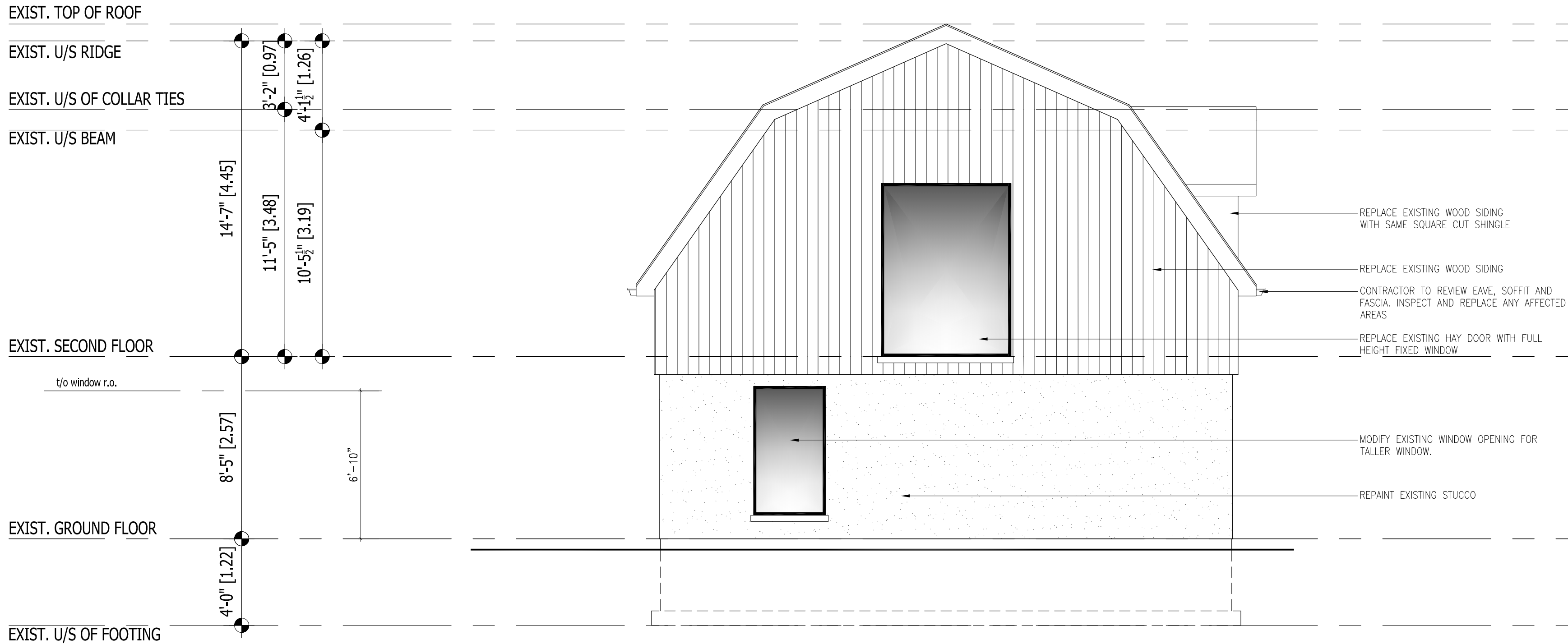
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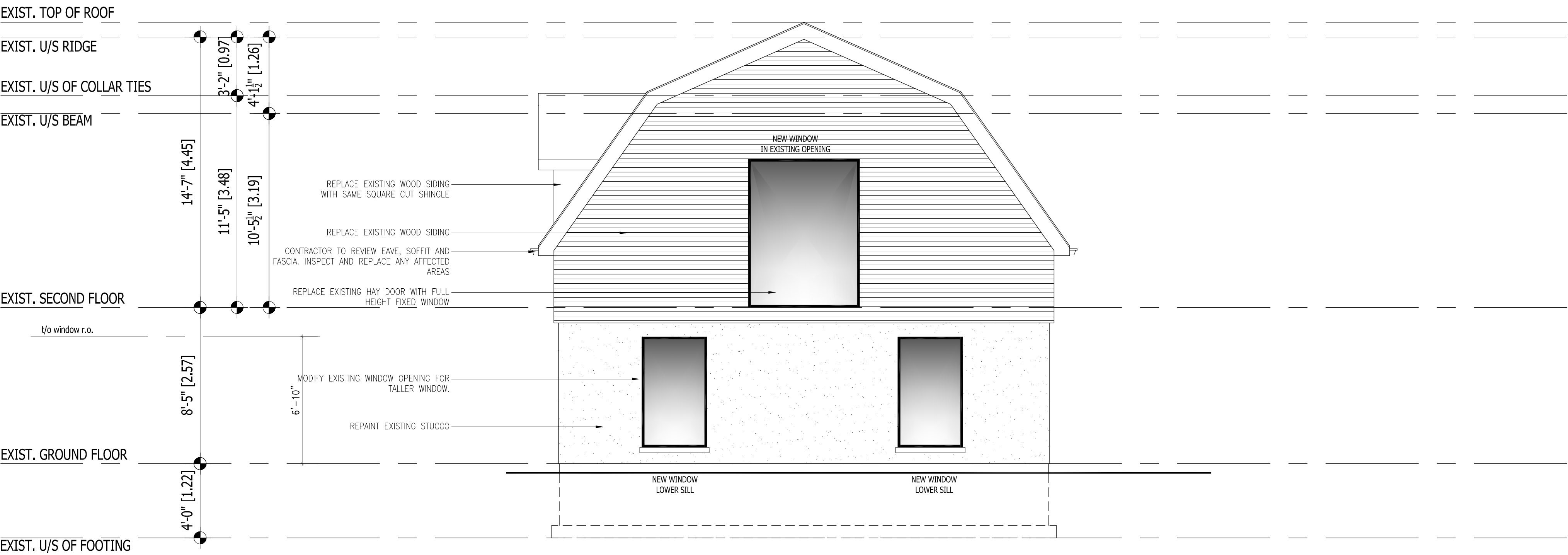
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#3 - 2526 Speers Road, Oakville ON, L6L 5M2
T: 905.825.0433 E: info@ajmdesigns.ca



CLARKSON HOUSE
1160 CLARKSON RD. MISSISSAUGA, ON.

City of Mississauga
Memorandum



Date: September 16, 2020
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting date: October 13, 2020
Subject: **Alteration to a Heritage Listed Property: 1341 Stavebank Road (Ward 1)**

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction."

The subject property is listed on the City's Heritage Register. A Heritage Impact Assessment is attached for your reference.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paula Wubbenhorst, Heritage Planner

Heritage Impact Assessment

1341 Stavebank Road, Mississauga, ON



EXISTING FRONT (EAST) ELEVATION



PROPOSED FRONT (EAST) ELEVATION



JAN. 29, 2020

Prepared by

Heritage Resources Consulting

March 2020

INTRODUCTION

The owners of 1341 Stavebank Road, Mississauga wish to extend the existing structure on its eastern side, bringing the current front façade forward to match the rest of the front elevation and extending it to two storeys from its existing single storey state. Because 1341 Stavebank Road is situated within the Mineola Cultural Landscape Neighbourhood and is listed on Mississauga's heritage inventory for its architectural features - it is not designated under Part IV of the Ontario Heritage Act - the city has requested that a heritage impact assessment be prepared. The property also has a low stone wall bordering its Stavebank frontage. Heritage Resources Consulting has been commissioned by the owners to prepare the study.

DESCRIPTION OF 1341 STAVEBANK ROAD TODAY

The property is situated on the northeast corner of Stavebank Road and Mineola Road West (Figures 1 and 2). It lies just east of the Credit River. The residence at 1341 Stavebank Road is

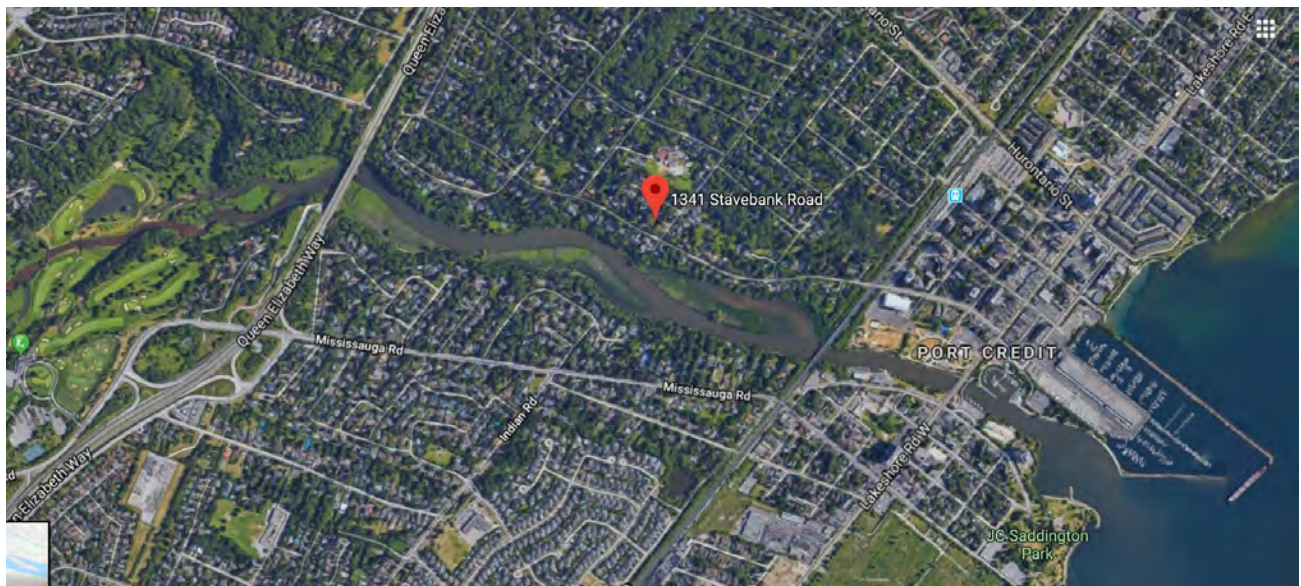
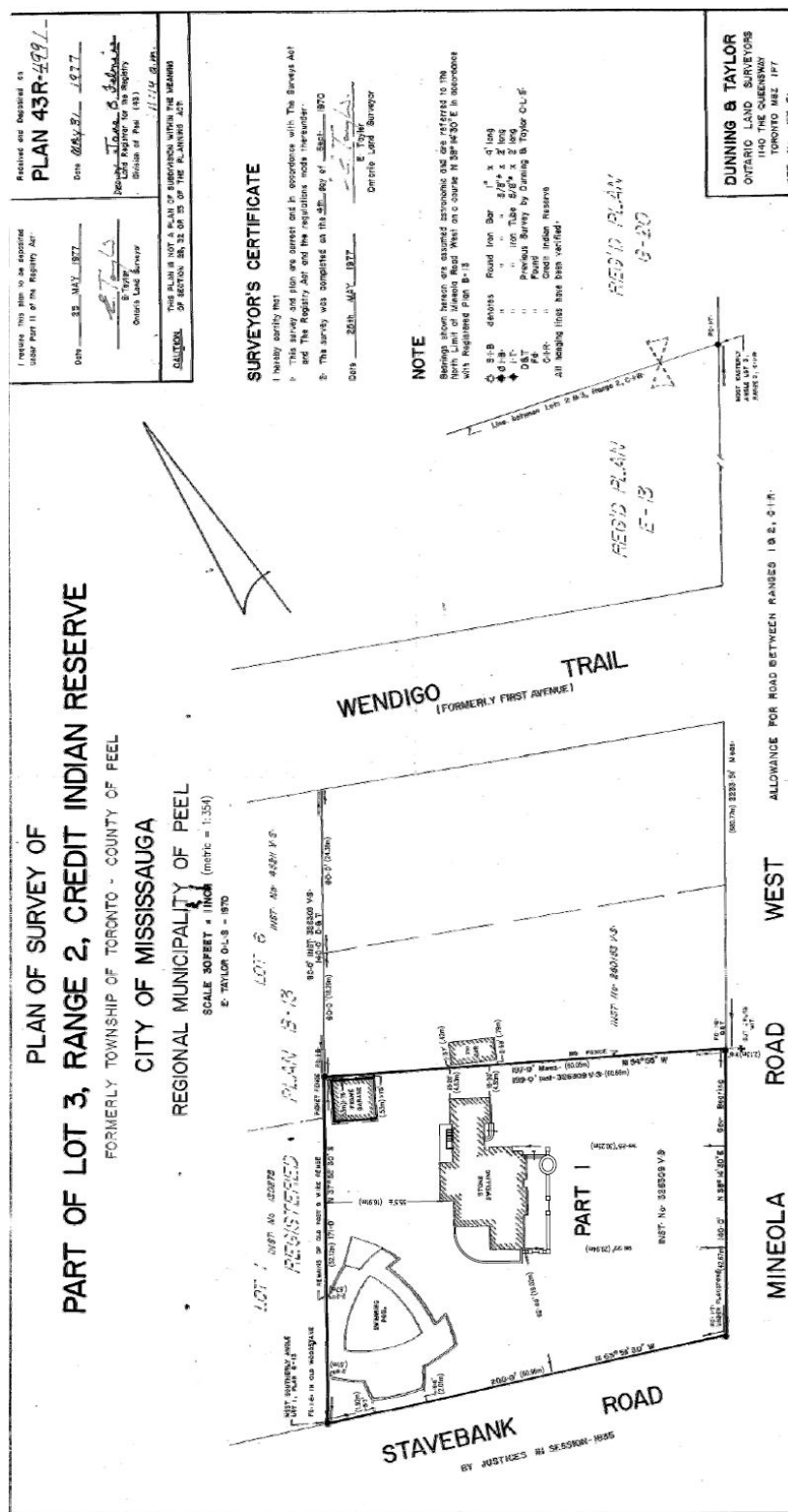


Figure 1 *Aerial View of 1341 Stavebank Road. (Google Maps: <https://www.google.ca/maps/place/1341+Stavebank+Rd,+Mississauga,+ON+L5G+2V4/@43.552716,-79.5984399,1960m/data=!3m1!1e3!4m5!3m4!1s0x882b4664b549560f:0xb0278f5e301665a2!8m2!3d43.5551778!4d-79.5983346?hl=en>.)*



a large two storey structure built of Credit Valley stone. It is a well-crafted building featuring a hip roof and gently sloping eaves (Figure 3). It is located on a large lot graced with a number of mature trees (Figures 4 and 5). Its main entrance is from Stavebank Road and its Stavebank boundary is delineated with a low stone wall which adds to the property's charm (Figure 6).



Figure 3 *1341 Stavebank Road, front or east façade. (Photo by author.)*



Figure 4 *1341 Stavebank Road, landscape. (Photo by author.)*



Figure 5 *The Stavebank Road entrance to 1341 Stavebank Road. (Photo by author.)*



Figure 6 *A portion of the low stone wall bordering Stavebank Road. (Photo by author.)*

SITE HISTORY

The following overview traces the evolution of the property which is now identified as part of Lot 3 in Range 2 of the Credit Indian Reserve at the Peel County Land Registry Office. Structures are also reviewed where sufficient information is available.

Pre-Settlement to 1854

By the end of the 17th century much of what is now southern and southwestern Ontario had become the territories of the Ojibwa who pushed the Iroquois Confederacy south of the Lower Great Lakes during these years. The Credit River valley, within which 1341 Stavebank Road is situated, and a large tract of territory around it became the traditional hunting lands of the Mississauga, part of the larger Ojibwa cultural group early in the 18th century.¹ Here, at the mouth of the Credit River, the Mississauga met French traders and began exchanging furs for European manufactured goods. It is said that the name of the river derives from the willingness of the French to extend credit to their native partners, a gesture of good will by and no doubt an economic benefit for the French.

By the 1780s settlers began to stream into what would become Upper Canada, and eventually Ontario. The first arrivals were refugees of the American Revolution, the United Empire Loyalists, and they settled mostly in the eastern portion of the territory and in the Niagara Peninsula. In 1791 Upper Canada was established as a separate colony and two years later its first Lieutenant Governor, John Graves Simcoe, had a road cut through the western lands. This was Dundas Street and it remains a major transportation artery to this day.

In the first years of the 19th century it was becoming clear that European settlement was only going to increase along lakes Ontario and Erie. In 1805 the Mississauga sold their lands around the Credit River, retaining a reserve on the Credit River and a one mile wide stretch of land on either side for fishing and hunting.² Further sales took place in 1818 and 1820, an indication of the unrelenting tide of newcomers seeking farmland and establishing communities. The following map shows the Mississauga lands, both the areas ceded and those for a time retained. The one mile wide strip of land on either side of the Credit River was also ceded in the 1820 treaties but would remain unsettled for another quarter century (Figures 7, 8 and 9).

¹ Mississauga Heritage Web Site, Aboriginal Culture; <http://www.heritagemississauga.com/page/Aboriginal-Culture>.

² Kathleen A. Hicks, *Port Credit: Past to Present* (Mississauga Library System: Mississauga, ON, 2007), p. xiii.

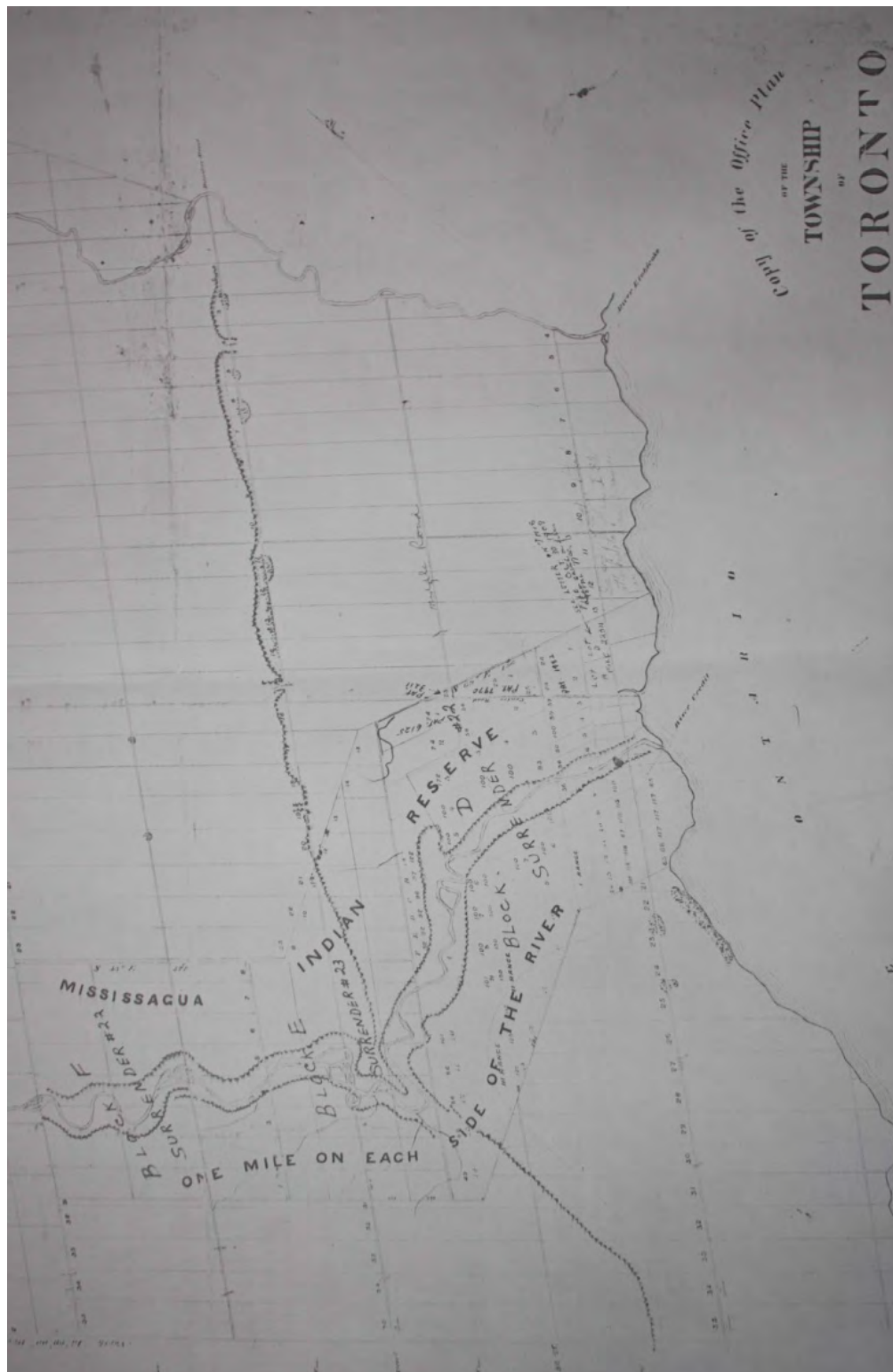


Figure 7 Lands along the Credit River surrendered by the Mississauga, 1818 and 1820, detail. (Library and Archives Canada [hereafter LAC], National Map Collection [hereafter NMC], 13121.)



Figure 8 1854 Map of the Credit Indian Reserve identifying the three ranges of the reserve. (Image from the University of Toronto Map Collection, item 10051351.)



Figure 9 Detail of the 1854 Credit Indian Reserve lands showing Range II and lot 3, the eastern portion of which is occupied by Elizabeth Blakely. (Image from the University of Toronto Map Collection, item 10051351.)

1854 TO 1912

In 1854 the Credit Indian Reserve lands were put up for sale by auction and, in March 1862 a patent for the east portion of lot 3 in the second range, consisting of $59\frac{3}{4}$ acres, was issued to Elizabeth Blakely.³ Her name appears in the 1854 map above (Figure 9). In 1887 Elizabeth, now Elizabeth Dixie and wife of medical doctor B. W. B. Dixie sold all of her land to Jonadab D. Hardy, a carpenter living in Toronto Township according to the 1871 census. Hardy immediately sold the property to James Payne, a farmer, and his heirs in 1908 again sold the whole $59\frac{3}{4}$ acres to Kenneth Skinner, a Toronto Township gardener and builder.⁴ The land contained in the 1862 patent to Elizabeth Blakely remained an undivided block until Skinner began sub-dividing it in 1912. The plan below (Figure 10) shows part of the original subdivision. In that year he sold the lot on the northeast corner of Stavebank and Mineola roads for \$2,500 to Sarah Alice Lee (née Hamilton), spouse of Frederick William Lee.

³ "Toronto Township Land Registry Excerpts," 9100M, Series 7, Perkins Bull Historical Series, and Peel County Land Registry Abstract Index Book A, Region of Peel Art Gallery, Museum and Archives; Brampton, ON.

⁴ Kathleen A. Hicks, *Port Credit: Past to Present* (Mississauga Library System: Mississauga, ON.), p. 106.

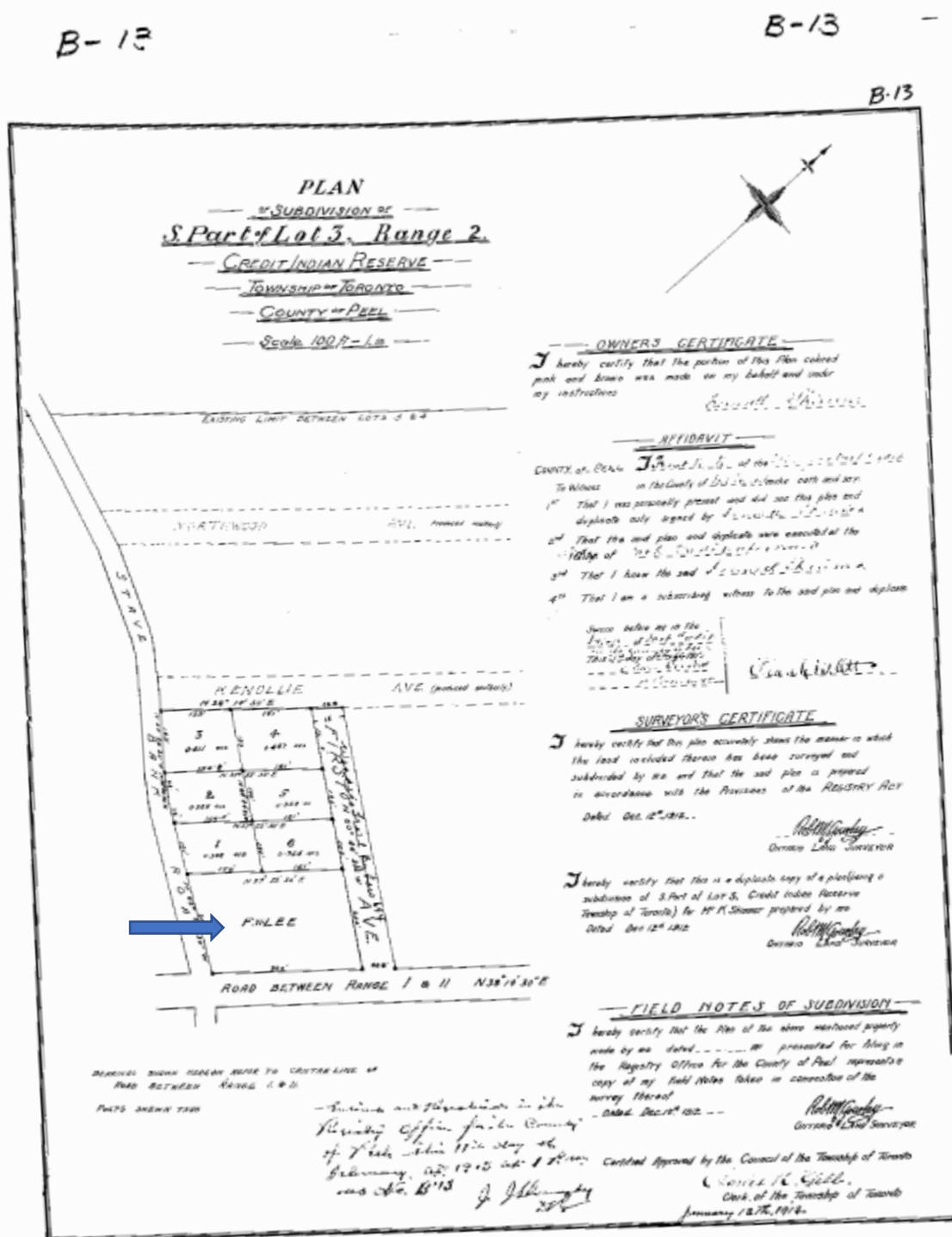


Figure 10 Plan B13, Toronto Township, 13 Jan. 1913. (Peel County Land Registry Office.)

1912 to 2019

Frederick William Lee was born in Dumfermline, Scotland in 1864 and immigrated to Canada in 1895.⁵ He settled initially in Port Credit and established the St. David's Winery in Toronto to which he commuted daily by boat.⁶ In 1902 Frederick Lee married Mary Elizabeth Barr and they built a home on Spadina Avenue in Toronto. Mary was an organist at the Bloor Street Presbyterian Church. Frederick, a fine baritone singer, was the soloist at the Bloor Street Church and also sang at the Shelburne Methodist Church and at the Church of the Redeemer. He was one of the founders of the Home Musical Club in Toronto.

Mary Elizabeth Lee died in 1904 and Frederick married Sarah Alice Hamilton in 1908. They settled in Port Credit and likely built their home, which they called 'Atholl Brae', at 1341 Stavebank Road shortly after purchasing the property in 1912. It was a finely crafted and well built mansion which has stood largely unchanged to this day (Figure 11). Lee closed his Toronto business in 1916 and opened the Dominion Wine Growers Company at nearby Oakville. This company was amalgamated with the Canadian Wine Growers Limited in 1928 and Lee became its first president, a position he occupied until shortly before his death in 1950 at his daughter's home in Leith, Ontario.

Lee's second wife, Sarah Alice Lee, died in 1936 and Frederick sold the property at 1341 Stavebank Road in 1947 to Irene P. Bruce for \$28,000. Irene Bruce sold the land to Edward W. and Vera M. Brydon William in 1950. Vera Brydon in turn sold it to Irene Barber in 1970 and she sold to William and Eleanor Scott in 1974. The current property was registered as a plan (Figure 2) by the Scott family in May 1977 and they sold it to Eleanor Scott, possibly a daughter in July 1983. By 1998 1341 Stavebank Road was in the hands of Joanne and Ruth Hill and Heather Breedon. They sold the property to the current owners in 2013.

⁵ Canada Census, 1921; https://www.ancestry.ca/interactive/8991/1921_080-e003026912?pid=1288682&treeid=&personid=&usePUB=true&_phsrc=tXh3&_phstart=successSource.

⁶ Biography of Nairn Dane and her father, William Frederick Lee, Grey; <https://greyroots.pastperfectonline.com/byperson?keyword=Dane%2C+Nairn>.



Figure 11 *1341 Stavebank Road ca. 1980. (Image courtesy of Dorothy Kew, Local History Librarian, Mississauga Central Library.)*

There are no records of major external or interior changes being made at 1341 Stavebank Road. A visual examination of the exterior suggests that change was limited to periodic roof shingle replacement. The original steam heating system was replaced with an oil furnace at some point in the past. The current owners have had the oil furnace removed and have updated and modernized the original steam heating. The original radiators were not removed and still serve today to heat the house.⁷

⁷ Interview with current owner, July 2019.

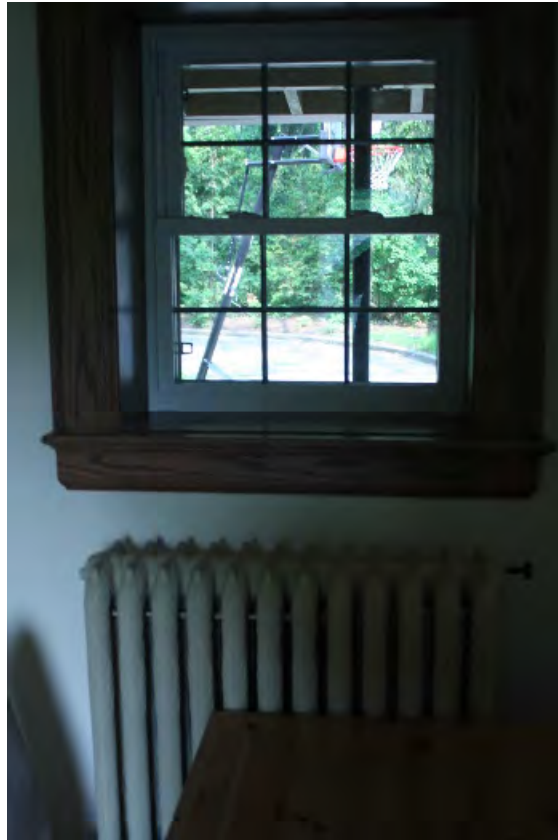


Figure 12 *A radiator at 1341 Stavebank Road. (Photo by author.)*

1341 STAVEBANK ROAD: ANALYSIS OF THE EXISTING PROPERTY

Structure

The residence at 1341 Stavebank Road is a well designed and carefully crafted estate house of English Tudor manor design built by Frederick and Sarah Alice Lee about 1912. The architect has not been identified. The front façade features three large asymmetrical arched and multi-paned window openings, two of which protrude from the front wall. The southern, smaller arched opening features a door with multi-paned windows on each side. The second level has two smaller symmetrical arched double windows with functioning exterior shutters. There is a small dormer window to the attic on the upper roof. The whole structure is built of Credit Valley stone and a low stone wall runs parallel to the front façade (Figure 13). A decorative wishing well, also made of Credit Valley stone, may be seen in figure 14. The rear or west façade shows the one storey portion of the residence which the owners hope to extend to two stories (Figure 15). The south façade reveals a one storey extension, also replete with arched, multi-paned windows (Figure 16). The main entrance is on this south façade (Figure 16) and the gated entrance is from Stavebank Road which runs in an approximately northeast to southwest direction at this point (Figure 18). The interior of the residence continues the style of the exterior windows.



Figure 13 *The front or east façade of 1341 Stavebank Road. (Photo by author.)*



Figure 14 *The eastern and northern portion of the front façade of 1341 Stavebank Road. (Photo by author.)*



Figure 15 *The rear or west façade of 1341 Stavebank Road. (Photo by author.)*



Figure 16 *The south façade of 1341 Stavebank Road. (Photo by author.)*



Figure 17 *The main entrance of 1341 Stavebank Road. (Photo by author.)*



Figure 18 *The gated entrance to 1341 Stavebank Road. (Photo by author.)*

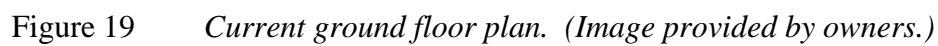




Figure 20 *The dining room looking east. (Photo by author.)*



Figure 21 *The living room looking east and south. (Photo by author.)*



Figure 22 *The staircase to the second floor. (Photo by author.)*



Figure 23 *The view looking east from the patio above the northern one storey portion of the residence. (Photo by author.)*

Landscape

An arched stone pedestrian entranceway to the grounds is located at the southeast corner of the property and a low stone wall runs the length of the southern boundary. Both are constructed of

Credit Valley stone. The grounds consist of open grass areas and mature trees. There is an inground swimming pool just west of the house, complete with a change building. A circular drive and a two-vehicle garage complete the landscape elements.



Figure 24 *The stone entrance to the grounds viewed from the interior. (Photo by author.)*



Figure 25 *The stone entrance from the corners of Stavebank and Mineola roads. (Photo by author.)*



Figure 26 *A portion of the low stone wall that borders the front or east side of the property along Stavebank Road. (Photo by author.)*



Figure 27 *The grounds looking west toward the main entranceway. (Photo by author.)*



Figure 28 *The grounds looking east from the corner of the residence. (Photo by author.)*



Figure 29 *The inground swimming pool. (Photo by author.)*



Figure 30 *The circular drive at the main entrance. (Photo by author.)*



Figure 31 *The two-vehicle detached garage, west of the residence. (Photo by author.)*

Streetscape

The streetscape on both Stavebank and Mineola roads consists of mature trees and residences similar in size to that at 1341 Stavebank Road. The natural setting is enhanced here by the absence of curbs.



Figure 32 *Looking west on Stavebank Road. Our property is to the immediate right. (Photo by author.)*



Figure 33 *Looking east on Stavebank Road at Mineola Road West. (Photo by author.)*



Figure 34 *The large house across the street from our property is virtually hidden by mature conifers. (Photo by author.)*



Figure 35 *Looking north along Mineola Road with the wooden fence of 1341 Stavebank Road to the left. (Photo by author.)*



Figure 36 *1350 Stavebank Road, another nearby property. (Photo by author.)*



Figure 37 *1385 and 1375 Stavebank Road. (Image from Google maps.)*



Figure 38 289 Mineola Road. (Image from Google Maps.)

PROPOSED DEVELOPMENT: STRUCTURE AND LANDSCAPE

The following drawings show the front or east elevation of the structure at 1341 Stavebank Road at present and with its proposed addition. They are followed by four drawings showing the elevations of the structure with its proposed addition. The next two images show the structure's footprint at present and after the addition is constructed.

The two storey addition will replace the existing one storey northern portion of the residence. While this plan will require the removal of a portion of the original fabric of the structure, the design features of the addition complement the architectural details of the existing structure. Where possible salvaged stone from the demolition of the one storey portion of the building will be used on the east and south façades. The proposed window design and roof elements reflect the existing features and the proposed addition is a visually pleasing extension of the current building. The addition will extend further to the west and will cover much of what is now the paved asphalt driveway. The existing garage will be retained but its doors will be changed to the south side of the building (Figure 45). The addition will have a minimal impact upon the existing landscape of the property. Figure 42 shows the proposed development set in the current landscape. Figures 47 to 50 show from various perspectives the one storey portion of the existing building that is to be replaced with a sympathetically designed two storey addition. A variance will be requested as part of the application for the new construction which will extend about one foot over the allowed building line along part of its northern wall.

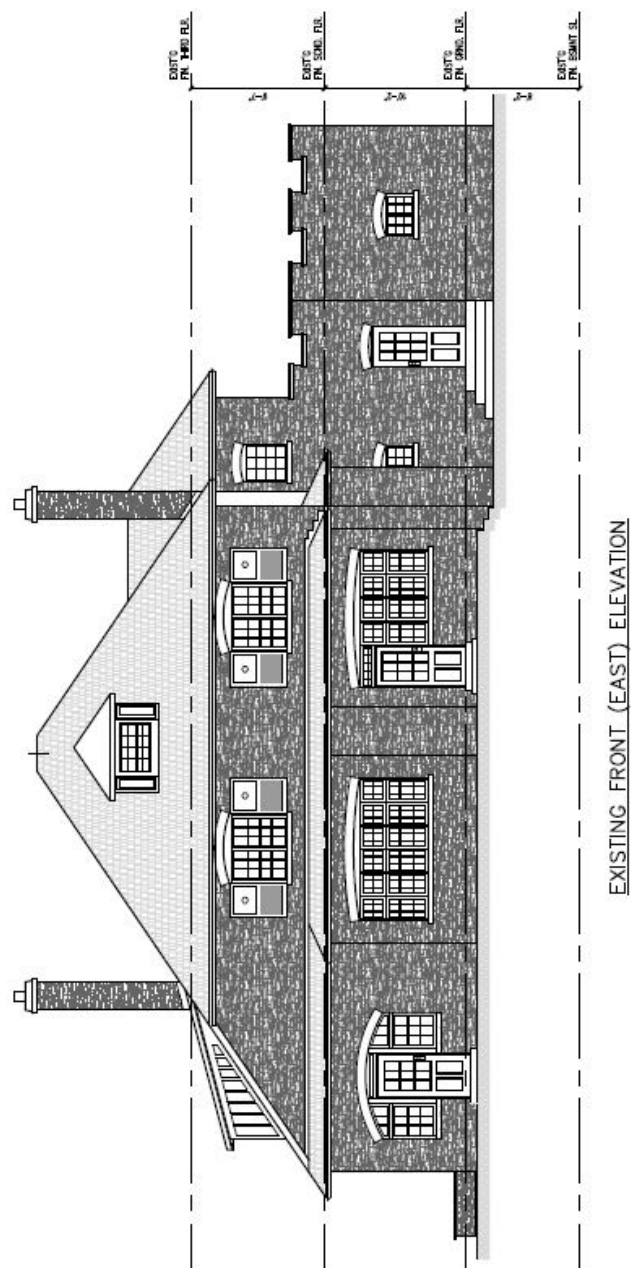


Figure 39 The front or east elevation of 1341 Stavebank Road as it exists in 2020. (Image from owners.)

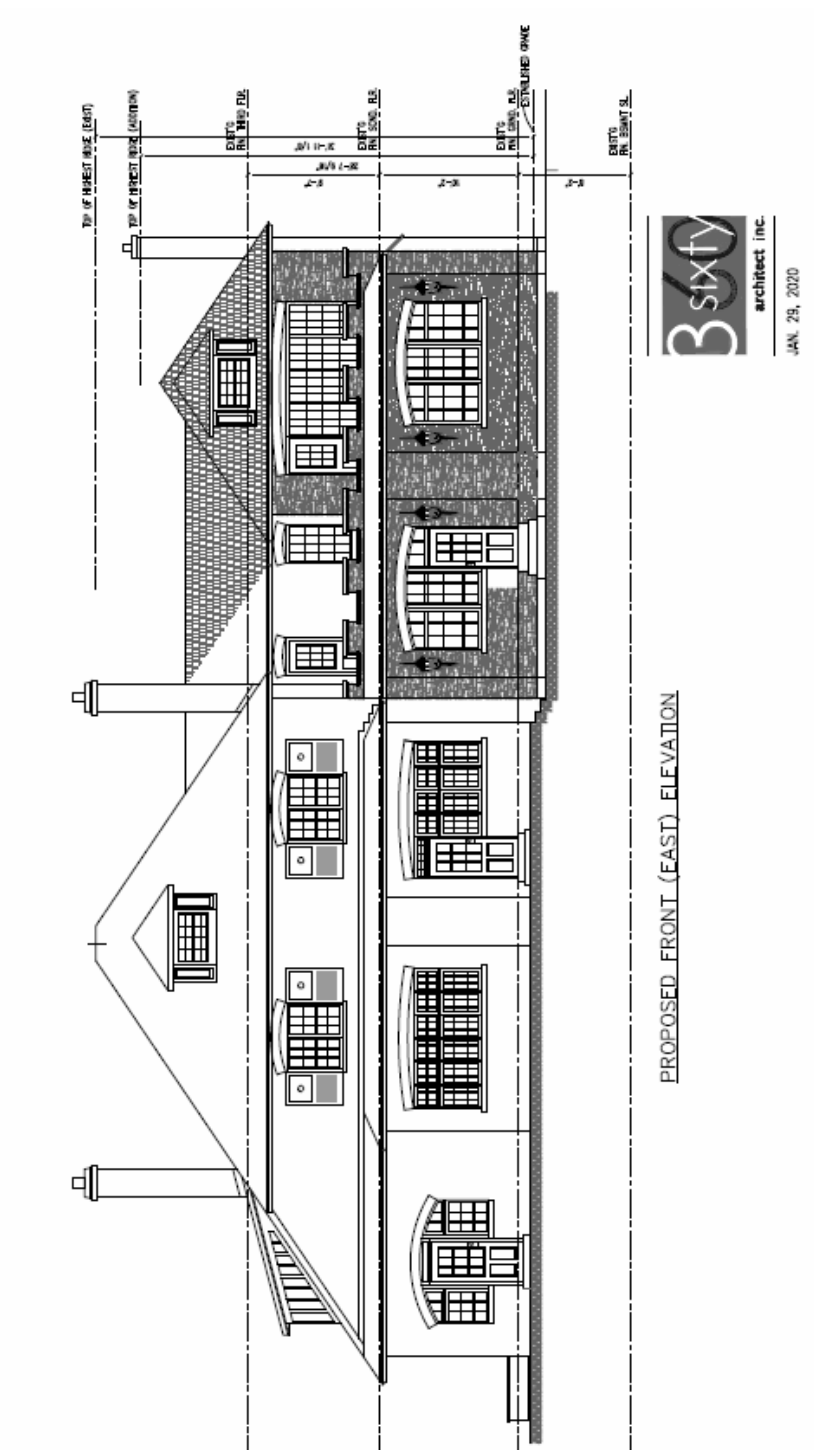


Figure 40 The front or east elevation of 1341 Stavebank Road with proposed addition.
(Image from owners.)

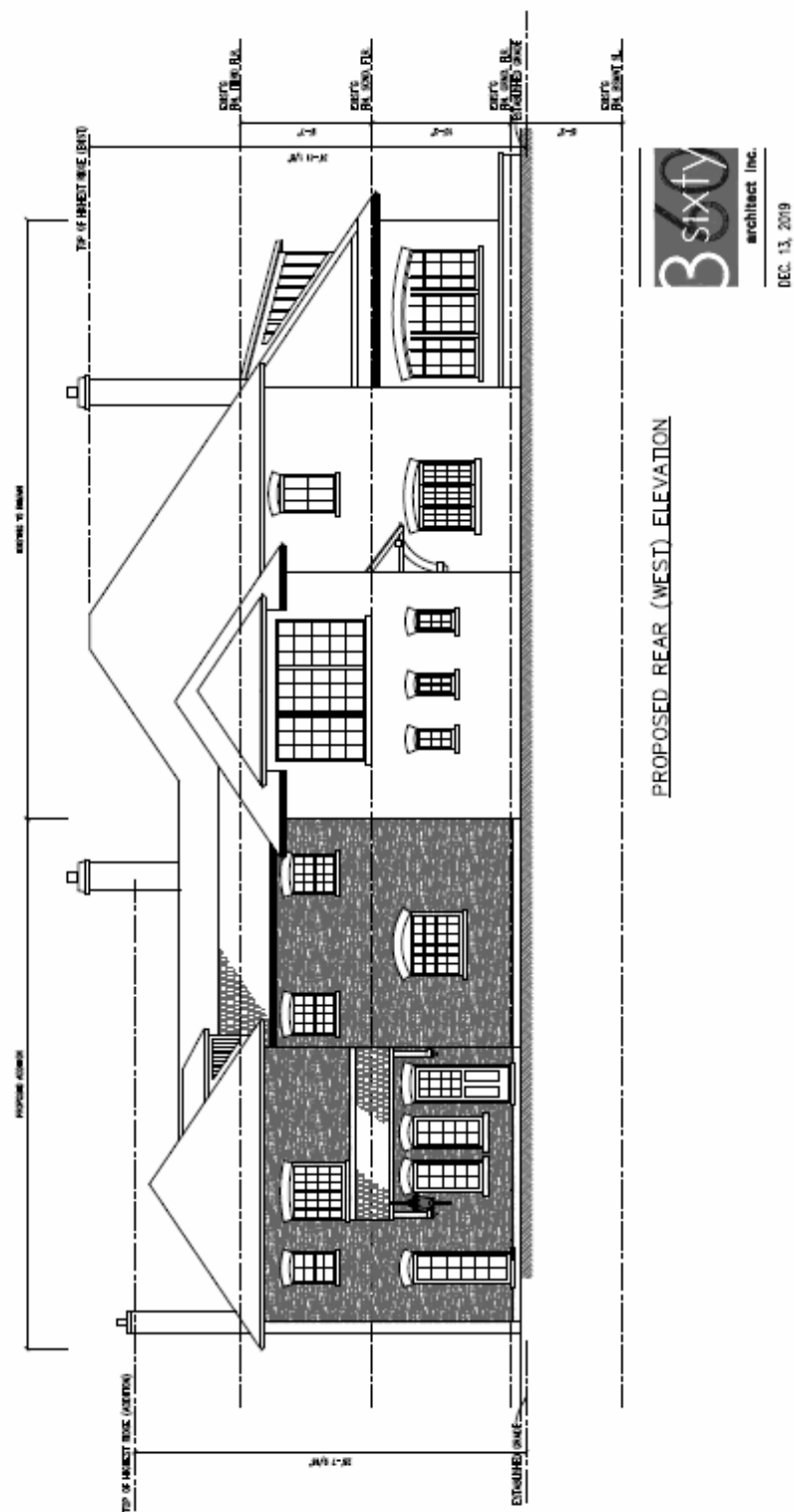


Figure 41 The rear or west elevation of 1341 Stavebank Road with proposed addition.
(Image from owners.)

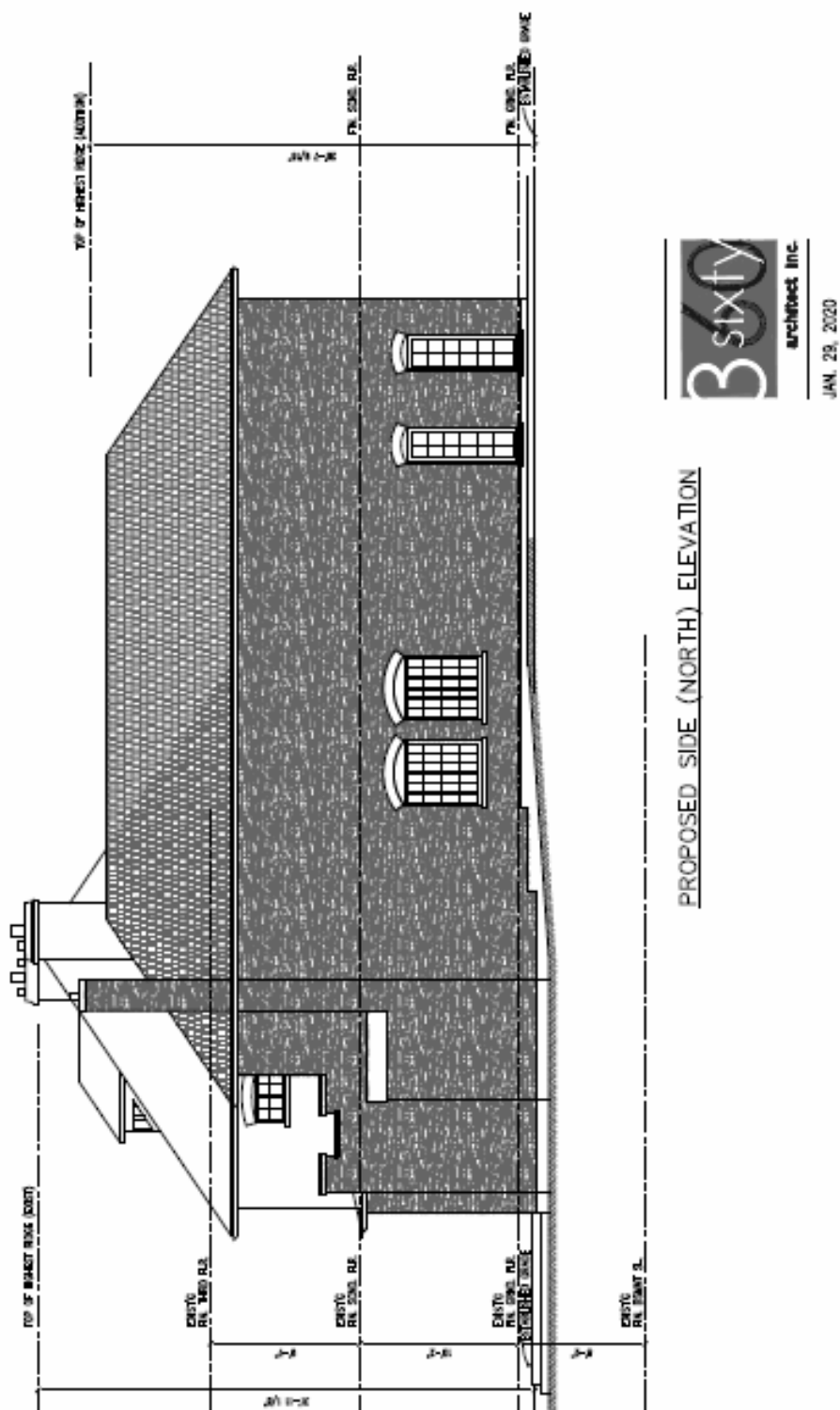


Figure 42 The north or side elevation of 1341 Stavebank Road with proposed addition.
(Image from owners.)



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Figure 44 *Proposed development set in current landscape. The property is too large to incorporate adjacent structures into a single image. (Image from owners.)*

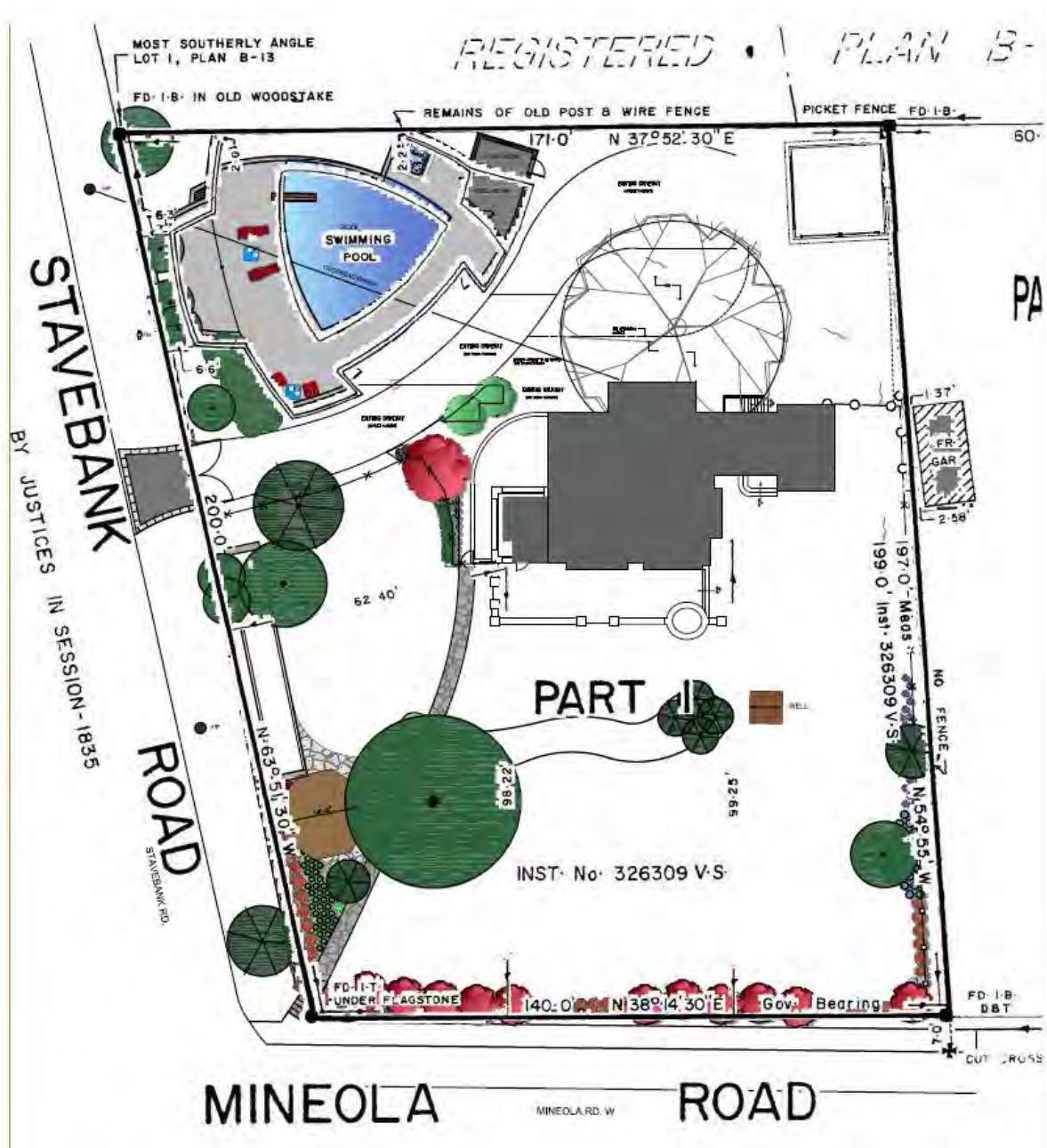


Figure 45
owners.)

The current footprint of the residence at 1341 Stavebank Road. (Image from

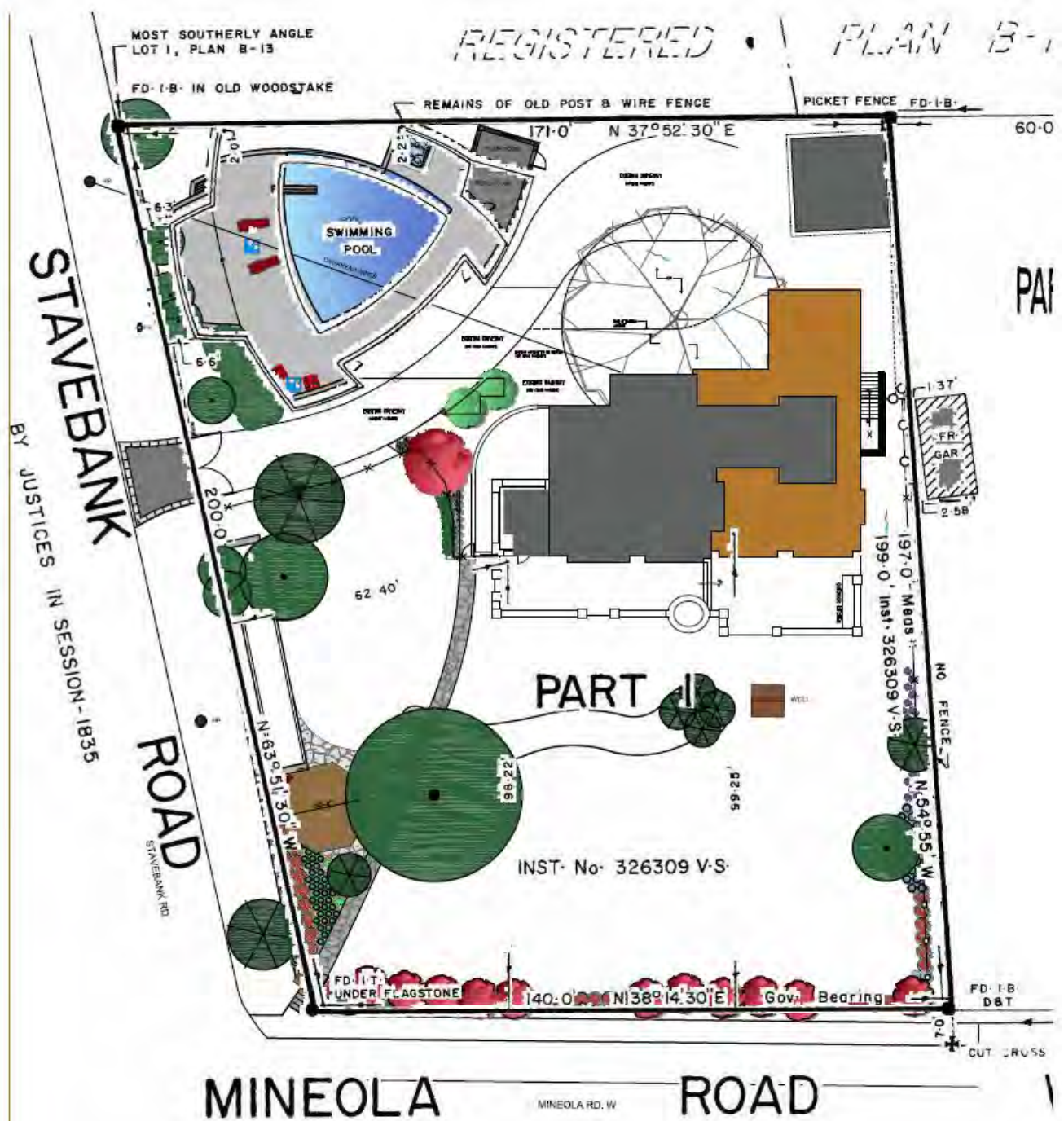


Figure 46 The footprint of the residence at 1341 Stavebank Road following proposed alterations. (Image from owners.)



Figure 47 *The current west or rear side of 1341 Stavebank Road showing the paved area leading to the garage. (Photo by author.)*



Figure 48 *Detail of the one storey portion of the structure that is to be replaced. (Photo by author.)*



Figure 49 *The one storey portion of the structure to be replaced with a two storey addition.
(Photo by author.)*



Figure 50 *A wider view of the one storey portion of the structure proposed to be removed.
(Photo by author.)*

The low stone wall on the Stavebank property line is recognized as a heritage landscape feature. Its foundation is giving way in places and the wall requires periodic renewal. It is the intention of the current owners to stabilize this structure. They may also extend it along Stavebank Road west of the existing driveway. The wooden fence along the Mineola boundary may be replaced at a future date.



Figure 51 *A section of the low stone wall at 1341 Stavebank Road. (Photo by author.)*



Figure 52 *The current wooden fence along the Mineola boundary. (Photo by author.)*

ASSESSMENT OF PROPOSED DEVELOPMENT IN TERMS OF CULTURAL LANDSCAPE VALUES

The property at 1341 Stavebank Road is bounded on its east side by Mineola Road and so is situated within the Mineola Neighbourhood Cultural Landscape. The neighbourhood's cultural landscape values have been described in the following terms:



Mineola Neighbourhood

Cultural Landscape Inventory

L-RES-6

SITE DESCRIPTION

Mineola was developed before it became standard practice to regrade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community.

Figure 53 *The description of the Mineola Neighbourhood. (City of Mississauga Community Services: Cultural Landscape Inventory, January 2005.)*

Its cultural landscape values are identified as:

LANDSCAPE ENVIRONMENT <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Scenic and Visual Quality <input checked="" type="checkbox"/> Natural Environment <input type="checkbox"/> Horticultural Interest <input checked="" type="checkbox"/> Landscape Design, Type and Technological Interest 	BUILT ENVIRONMENT <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Aesthetic/Visual Quality <input type="checkbox"/> Consistent Early Environs (pre-World War II) <input checked="" type="checkbox"/> Consistent Scale of Built Features <input type="checkbox"/> Unique Architectural Features/Buildings <input type="checkbox"/> Designated Structures
HISTORICAL ASSOCIATION <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Illustrates Style, Trend or Pattern <input type="checkbox"/> Direct Association with Important Person or Event <input checked="" type="checkbox"/> Illustrates Important Phase in Mississauga's Social or Physical Development <input type="checkbox"/> Illustrates Work of Important Designer 	OTHER <ul style="list-style-type: none"> <input type="checkbox"/> Historical or Archaeological Interest <input type="checkbox"/> Outstanding Features/Interest <input checked="" type="checkbox"/> Significant Ecological Interest <input type="checkbox"/> Landmark Value

Figure 54 *The cultural landscape values of the Mineola Neighbourhood. (City of Mississauga Community Services: Cultural Landscape Inventory, January 2005.)*

Landscape Environment

Scenic and Visual Quality

The residence and addition at 1341 Stavebank Road is set back from both Stavebank and Mineola roads and is best seen from the latter perspective. The addition fits well into the existing landscape and will not negatively impact the scenic or visual quality of the surrounding landscape environment.

Landscape Design, Type and Technological Interest

The landscape design at 1341 Stavebank Road is a typical residential mix of grassed areas interspersed with mature trees. It conforms well to the surrounding landscape but exhibits no features of special interest.

Historical Association

Illustrates Style, Trend or Pattern

1341 Stavebank Road is a fine example of an early twentieth century manor house set in an appropriate residential environment. The residence itself is an architecturally well designed home suitable for a prominent family. Its architectural qualities are reviewed in more detail below in the assessment of the property under Part IV of the Ontario Heritage Act.

Illustrates Important Phase in Mississauga's Social or Physical Development

The property at 1341 Stavebank Road with its well designed structure and careful landscaping is an excellent example of the growth in Port Credit of a successful and upwardly mobile portion of the larger population.

Built Environment

Aesthetic/Visual Quality

The imposing residence at 1341 Stavebank Road and its surrounding landscape present in scope and design a fine visual addition to the surrounding area.

Consistent Scale of Built Features

The large manor house at 1341 Stavebank Road has set the tone in size and visual appeal for residences in the immediate surroundings.



Figure 55 1388 Stavebank Road, a *nearby newer residence with architectural detailing of an earlier period.* (Photo from Google Maps.)

Other

Significant Ecological Interest

The property at 1341 Stavebank Road does not exhibit features of significant ecological interest.

ASSESSMENT OF EXISTING RESIDENCE BASED ON REGULATION 9/06 OF THE ONTARIO HERITAGE ACT

The following criteria were prepared as a guide in the designation of properties of cultural heritage value or interest under Part IV of the Ontario Heritage Act and are presented in the *Ontario Heritage Tool Kit* published in 2006 (Figure 56).

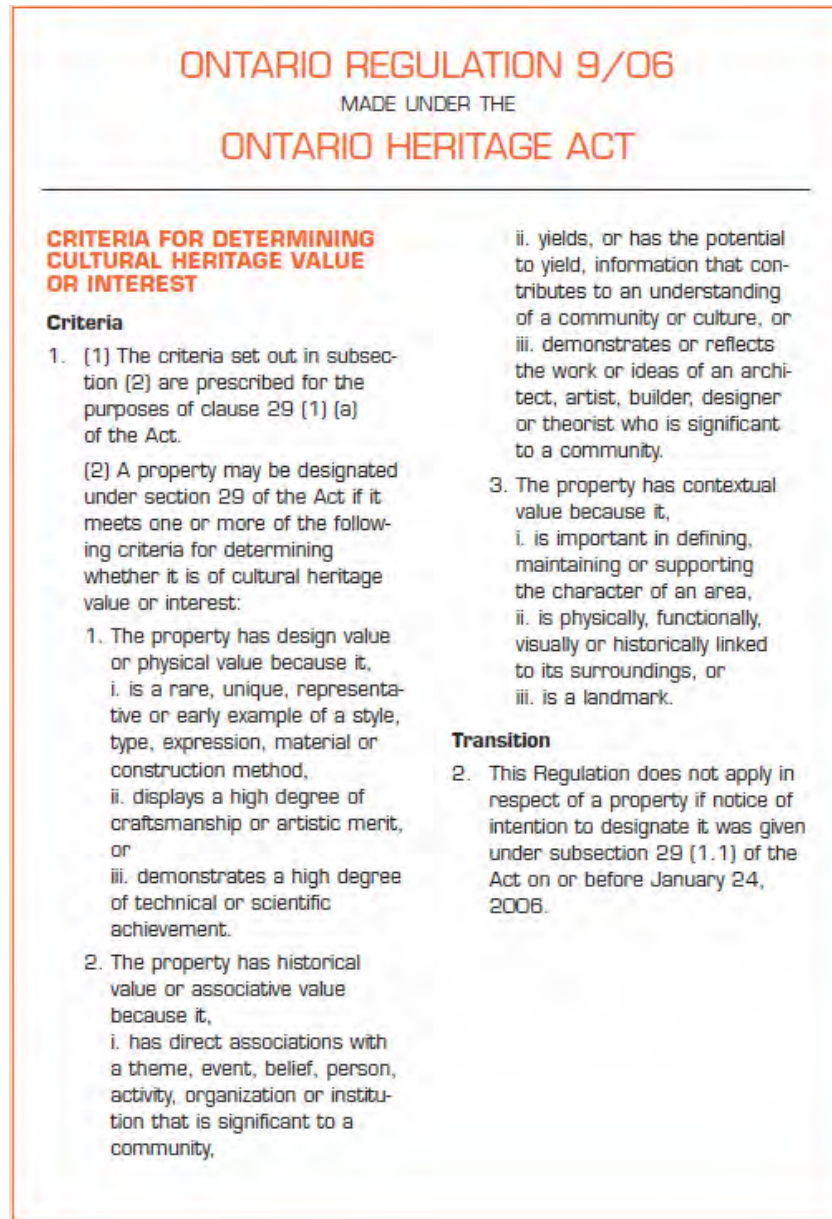


Figure 56 “Heritage Property Evaluation: A Guide to Listing, Researching and Evaluating Cultural Heritage Properties in Ontario’s Communities,” (Queen’s Printer for Ontario: Toronto, 2006), p. 22.)

Design or Physical Value

The residence at 1341 Stavebank Road has been listed on the City of Mississauga’s Inventory of Properties of Historical Interest or Value but it is not currently designated under part IV of the Ontario Heritage Act. It is listed because of its architectural values which include a pleasing Tudor style complete with multi-paned windows, gently sloping roof lines and tall chimneys. Figure 58 shows both the window detailing and the double roof lines. The excellent quality of



Figure 57 *Windows and roof lines on the east or front façade. (Photo by author.)*

the stonework and the interior woodwork are testament to the craftsmanship displayed in this building's construction.



Figure 58 *Detail of the stonework on the front façade. (Photo by author.)*



Figure 59 *The finely crafted dark woodwork extends throughout the house. (Photo by author.)*

The decorative arched stone entrance to the grounds and the stone wishing well both reinforce the whimsical picturesque setting for the property.



Figure 60 *The arched stone entrance and the wishing well at 1341 Stavebank Road. (Photos by author.)*

Historical Value or Associative Value

Frederick William Lee and his wife Sarah Alice (née Hamilton) married in Port Credit in 1908 and purchased the land at 1341 Stavebank Road in 1912. Here they built their new home which they named “Atholl Brae”.⁸ It was, and remains, a residence suitable for an affluent member of the community. Lee, an immigrant from Scotland, was initially a wine merchant for the St. David’s Wine Growers Company in Toronto and is listed as a manufacturer in the 1921 census.⁹ In 1916 he established the Dominion Wine Growers Company in nearby Oakville and, when the company amalgamated with the Canadian Wine Growers Limited in 1928, he became the new company’s first president. He appears to have continued in this role until shortly before his death in 1950. Below is a trademarked label filed by the Dominion Wine Growers Limited of Oakville in 1932.



Figure 61 A Canadian Wineries Limited label trademark filed in 1932. (Canada, Intellectual Property and Copyright; <http://www.ic.gc.ca/app/opic-cipo/trdmrks/srch/viewTrademark?id=0159214&lang=eng&tab=reg&posNum=2&search=%7B,%22selectField1%22%3A%22all%22%2C%22textField1%22%3A%22Dominion%20Wine%20Growers%22%2C%22category%22%3A%22%22%2C%22type%22%3A%22%22%2C%22status%22%3A%22%22%2C%22viennaField%22%3A%5B%5D%2C%22searchDates%22%3A%5B%5D%2C%22selectMaxDoc%22%3A%22500%22%2C%22language%22%3A%22eng%22%7D&length=25&start=0>)

⁸ https://www.ancestry.ca/search/?name=Frederick+William_Lee&event=_port+credit-peel-ontario-canada_1649722.

⁹ https://www.ancestry.ca/interactive/8991/1921_080-e003026912?pid=1288682&treeid=&personid=&rc=&usePUB=true&_phsrc=pR150&_phstart=successSource.

He was an early member of the Toronto Board of Trade, the Port Credit Lawn Bowling Club, the Mississauga Golf Club and the United Church of Canada.¹⁰ Frederick William Lee was a figure of some status within the community of Port Credit and the larger Canadian business world in the first half of the twentieth century. Sarah Alice Lee who died in 1936 was active in Port Credit's social and cultural life and was a member of the Trinity (Anglican) Church Women's Guild.¹¹

Contextual Value

1341 Stavebank Road, or "Atholl Brae" as it was named by its original owners, plays a significant contextual role in this portion of the Mineola Cultural Landscape Neighbourhood. Built in 1912 and maintained for over a century, the structure speaks to and helps to maintain the prosperous appearance of the community that grew up around it in later years. Images of similar, but later, neighbouring residences appear in the Streetscape section above.

ASSESSMENT OF EXISTING RESIDENCE FOR CONSERVATION BASED ON THE ONTARIO PROVINCIAL POLICY STATEMENT

The Ontario Provincial Policy Statement provides the following direction for the conservation of cultural heritage:

2.6.1 Significant built heritage resources and significant heritage landscapes shall be preserved.

The above assessment of 1341 Stavebank Road indicates that it has significant heritage resources and that it reinforces an identified cultural heritage landscape. As such it is deserving of preservation for the appreciation of future generations.

RECOMMENDATION

1341 Stavebank Road is listed on Mississauga's heritage inventory because of its architectural features and values. It is also historically significant for its association with Frederick William Lee. It is the view of Heritage Resources Consulting that the proposed addition not only mirrors the existing architecture but also adds to the picturesque architecture of the structure. The owners' decision to repair, maintain and extend the current low stone wall boundary is commendable. In our view the request for permission to extend the residence with an addition should be approved.

¹⁰ Grey County Archives and Museum;
<https://greyroots.pastperfectonline.com/byperson?keyword=Dane%2C+Nairn>.

¹¹ *Port Credit News*, 29 July 1933, p. 3.

CHAIN OF OWNERSHIP

- 12 March 1862, Crown patent issued to Elizabeth Blakely for 59¾ acres, being the northeast portion of lot 3, range 2, Credit Indian Reserve
- 12 March 1862, not registered until 20 January 1887, Crown sells 59¾ acre northeast portion of lot 3, range 2, Credit Indian Reserve to Elizabeth Blakely for \$836.50, memorial 5948
- 4 June 1887, Elizabeth Dixie (née Blakely) *et al* sell 59¾ acre northeast portion of lot 3, range 2, Credit Indian Reserve to Jonadab D. Hardy for \$5,000, memorial 6149
- 4 June 1887, Jonadab D. Hardy and wife sell 59¾ acre northeast portion of lot 3, range 2, Credit Indian Reserve to James Payne for \$3,400, memorial 6150
- 14 Nov. 1908, James Payne last will transfers 59¾ acre northeast portion of lot 3, range 2, Credit Indian Reserve to Ellen O'Brien Payne and George Washington Payne, memorial 13210
- 15 December 1908, George Washington Payne and Ellen O'Brien Payne sell 59¾ acre northeast portion of lot 3, range 2, Credit Indian Reserve to Kenneth Skinner for \$6,000, memorial 13265
- 23 August 1912, Kenneth Skinner sells 1341 Stavebank Road to Sarah Alice Lee for \$2,500, memorial 15117
- 17 January 1947, Frederick William Lee and executors of estate of Sarah Alice Lee sell 1341 Stavebank Road to Irene P. Bruce for \$28,000, memorial 49295
- 9 November 1950, Irene P. Bruce sells property to Edward W. Brydon and Vera M. Brydon for \$2.00, memorial 61230
- 15 September 1970, Vera M. Brydon sells property to Irene Barber for \$200, memorial 15009045
- 15 August 1974, Irene Barber sells property to William Scott and Eleanor Scott for \$2.00, memorial 326309
- 18 December 2013, Eleanor Scott estate transfers property to Ruth Hunter Hill, Heather Breedon and Joanne Mildred Hill, memorial PR2479207
- 19 December 2013, Ruth Hunter Hill, Heather Breedon and Joanne Mildred Hill sell 1341 Stavebank Road to the current owners, memorial PR2479930

QUALIFICATIONS OF AUTHOR

Robert Joseph Burns

Principal

Heritage Resources Consulting

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Education

- PhD. in history, University of Western Ontario, London, ON

Career Highlights

- Principal, Heritage Resources Consulting, 1995 to the present
- Historian, Parks Canada, 1976 to 1995
- Manuscript editor, *Dictionary of Canadian Biography*, University of Toronto, 1973 to 1976

Summary

Dr. Burns has over four decades of experience in historical research and analysis. As a Parks Canada Project Historian he prepared a narrative and structural history of Inverarden, a Cornwall, Ontario domestic property built in 1816, and a structural and social history of Fort Wellington National Historic Site at Prescott, Ontario. As a member (history) of the Federal Heritage Buildings Review Office (FHBRO) from 1990 to 1995 he participated in the review of some 500 federal properties including CFB Esquimalt and the Kingston Penitentiary. As a consultant since 1995 he has completed a wide range of heritage assessment and research projects in co-operation with Heritage Research Associates, Inc., Ottawa and has prepared FHBRO cultural heritage assessment reports on numerous federal properties including CFB Goose Bay and its buildings, hangars, munitions bunkers and former nuclear weapons storage facilities. His examination of the temporary storage of nuclear weapons at Goose Bay during the Korean War crisis led to the publication of "Bombs in the Bush," *The Beaver*, Jan. 2005.

Heritage Assessment Projects

Heritage Assessments prepared for the Federal Heritage Buildings Review Office

- CFB Goose Bay, Heritage Assessment of 124 buildings, 2000. Building functional types included barracks, hangars, storage bunkers for conventional and nuclear weapons, guard towers, warehouses, and offices.
- CFB Goose Bay, Heritage Assessment of 16 buildings, 2001. Building functional types consisted of hangars for medium and heavy bombers.

- CFB Gagetown, Heritage Assessment of 77 buildings, 2002. Building Functional types included office/admin buildings, barracks, drill halls, garages, gate/guard houses, lecture/training buildings, mess halls, quarters, shops and recreational buildings.
- Bedford Institute of Oceanography, Heritage Assessment of the Van Steenburgh and Polaris Buildings, 2003.
- Hudson's Bay Company Post (abandoned), Ukkusiksalik National Park, Nunavut, 2005.
- Nanaimo Foundry, Nanaimo, BC, 2005.
- Heritage Assessments of the following lighthouses, lightstations and range light towers in the Great Lakes and Atlantic regions, 2006-2008:
 - Shoal Island Lighthouse, Manitoulin Island, Heritage Assessment 2006.
 - Badgeley Island Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Byng Inlet Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Brebeuf Island Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Pigeon Island Rear Range Light Tower, Lake Ontario, Heritage Assessment 2006.
 - Pointe Au Baril Rear Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Rondeau East Pier Light Tower, Lake Erie, Heritage Assessment 2006.
 - Stokes Bay Rear Range Light Tower, Lake Huron, Heritage Assessment 2006.
 - Owen Sound Front Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Brebeuf Island Front Range Light Tower, Georgian Bay, Heritage Assessment 2006.
 - Chantry Island Lighthouse Dwelling, Lake Huron, Heritage Assessment 2006.
 - Gros Cap Reef Lighthouse, St. Mary's River, Heritage Assessment 2006.
 - Janet Head Lighthouse, Manitoulin Island, Heritage Assessment 2006.
 - Red Rock Lighthouse, Georgian Bay, Heritage Assessment 2006.
 - Snug Harbour Lighthouse, Georgian Bay, Heritage Assessment 2006.
 - Byng Inlet Front Range Light Tower, Georgian Bay, Heritage Assessment 2007.
 - Kagawong Lighthouse, Manitoulin Island, Heritage Assessment 2007.
 - Manitouwaning Lighthouse, Manitoulin Island, Heritage Assessment 2007.
 - Shaganash Light Tower, Lake Superior, Heritage Assessment 2007.
 - Saugeen River Front Range Light Tower, Lake Huron, Heritage Assessment 2007.
 - Saugeen River Rear Range Light Tower, Lake Huron, Heritage Assessment 2007.
 - Shoal Light Tower, Lake Rosseau, ON., Heritage Assessment 2007.
 - Wilson Channel Front Range Light Tower, near Sault Ste. Marie, Heritage Assessment 2007.
 - Wilson Channel Rear Range Light Tower, near Sault Ste. Marie, Heritage Assessment 2007.
 - Canso Front Range Light, Heritage Assessment, 2008.
 - Canso Rear Range Light, Heritage Assessment, 2008.
 - Cape Croker Light Tower, Heritage Assessment, 2008.
 - Jones Island Front Range Light, Heritage Assessment, 2008.
 - Jones Island Rear Range Light, Heritage Assessment, 2008.
 - Margaree Harbour Front Range Light, Heritage Assessment, 2008.
 - Margaree Harbour Rear Range Light, Heritage Assessment, 2008.

- Thunder Bay Main Lightstation, Heritage Assessment, 2008.
- West Sister Rock Lighttower, Heritage Assessment, 2008.

Heritage Assessments prepared for the federal Heritage Lighthouse Preservation program

- Great Duck Island, Georgian Bay, ON, 2010.
- Janet Head Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Kagawong Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Killarney East Lighthouse, Georgian Bay, Heritage Assessment, 2010.
- Killarney Northwest Lighthouse, Georgian Bay, Heritage Assessment, 2010.
- Manitouwaning Lighthouse, Manitoulin Island, Heritage Assessment, 2010.
- Victoria Beach Lighthouse, NS, Heritage Assessment, 2011.
- Schafner Point Lighthouse, NS, Heritage Assessment, 2011.
- Port Bickerton Lighthouse, NS, Heritage Assessment, 2011.
- McNab Point Lighthouse, Heritage Assessment, 2011.
- Saugeen River Front Range Light, Heritage Assessment, 2011.
- Saugeen River Rear Range Light, Heritage Assessment, 2011.
- Pointe au Baril Front Range Light, Heritage Assessment, 2014.
- Pointe au Baril Rear Range Light, Heritage Assessment, 2014.
- Snug Harbour Front Range Light, Heritage Assessment, 2014.
- Snug Harbour Rear Range Light, Heritage Assessment, 2014.

Heritage Assessments prepared for the private sector

- Madill barn, 6250 Hurontario Street, Mississauga, ON, Heritage Assessment, 2009.
- Stone residence, 7129 Tremaine Road, Milton, ON, Heritage Assessment, 2009.
- Smye estate, 394 Lakeshore Road West, Mississauga, ON, Heritage Assessment, 2009.
- Dudgeon cottage, 305 Lakeshore Road West, Oakville, ON, Heritage Assessment, 2010.
- five domestic structures, Bronte Road, Bronte, ON, Heritage Assessment, 2010.
- Lorne Park Estates cottage, 1948 Roper Avenue, Mississauga, ON, Heritage Assessment, 2012.
- Farm house, 11687 Chinguacousy Road, Brampton, ON, Heritage Assessment, 2012.
- Farm house, 3650 Eglinton Ave., Mississauga, ON, Heritage Assessment, 2013.
- Downtown Campbellford Properties, Heritage Assessment, 2013.
- residence, 1422 Mississauga Road, Heritage Impact Statement, 2015.
- residence, 2560 Mindemoya Road, Mississauga, Heritage Impact Statement, 2018.
- residence/offices, 70 Queen Street South, Mississauga, Heritage Impact Assessment, 2018.
- residence, 869 Sangster Avenue, Lorne Park Estates, Mississauga, Heritage Impact Assessment, 2018.
- residence, 972 Bexhill Road, Mississauga, Heritage Impact Assessment, 2019.
- residence, 795 First Street, Mississauga, Heritage Impact Statement, 2019.
- residence, 10 Mississauga Road North, Mississauga, Heritage Impact Assessment, 2019.
- residence, 1341 Stavebank Road, Mississauga, Heritage Impact Assessment, 2020.

Heritage Assessments and Plaque Texts prepared for the Ontario Heritage Trust

- J. L. Kraft, Fort Erie, ON, 2003.
- Reid Mill, Streetsville, ON, 2004.
- George Weston, Toronto, ON., 2005.
- Pauline McGibbon, Sarnia, ON, 2006.
- W. P. Bull, Brampton, ON, 2007.
- Founding of Englehart, ON, 2008.
- George Drew, Guelph, ON, 2008.
- Founding of Latchford, ON, 2009.
- Ball's Bridge, Goderich, ON, 2011.
- Canadian Tire Corporation, 2012.
- Ontario Paper Mill, 2013.
- Louise de Keriline Lawrence, 2016.

Publications and Other Major Projects

- "God's chosen people: the origins of Toronto society, 1793-1818", *Canadian Historical Association: Historical Papers*, 1973, Toronto, 1974. Republished in J. Bumsted (ed.), *Canadian History Before Confederation: Essays and Interpretations*, 2nd ed. (Georgetown, Ont.: Irwin-Dorsey Ltd., 1979).
- "James Grant Chewett", "William Botsford Jarvis", "George Herkimer Markland" and "Thomas Gibbs Ridout" published in the *Dictionary of Canadian Biography*, vol. IX, Toronto, 1976.
- "The post fur trade career of a North West Company partner: a biography of John McDonald of Garth", *Research Bulletin No. 60*, Parks Canada, 1977. Reprinted in *Glengarry Life*, Glengarry Historical Society, 1981.
- "Inverarden: retirement home of North West Company fur trader John McDonald of Garth". *History and Archaeology No. 25*, Parks Canada, 1979. First printed as *Manuscript Report Series No. 245*, 1978.
- "Fort Wellington: a Narrative and Structural History, 1812-38", *Manuscript Report Series No. 296*, Parks Canada, 1979.
- A review of J.M.S. Careless (ed.), *The Pre-Confederation Premiers: Ontario Government Leaders, 1841-1867* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIII, No.1, March 1981.
- A review of Mary Larratt Smith (ed.), *Young Mr. Smith in Upper Canada* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIV, No. 2, June 1982.
- "William Jarvis", "Robert Isaac Dey Gray" published in the *Dictionary of Canadian Biography*, Vol. V, Toronto, 1983.
- "Bulk packaging in British North America, 1758-1867: a guide to the identification and reproduction of barrels", *Research Bulletin No. 208*, Parks Canada, December 1983.
- "Cornwall, Ontario" in *The Canadian Encyclopedia* (Edmonton: Hurtig Publishers, 1985).

- "Samuel Peters Jarvis [with Douglas Leighton]" and "Samuel Smith Ridout" in the *Dictionary of Canadian Biography*, Vol. VIII, Toronto, 1985.
- "The Burns and Gamble Families of Yonge Street and York Township [with Stanley J. Burns]", *O.G.S. Seminar '85* (Toronto: Ontario Genealogical Society, 1985).
- "Starting From Scratch: the Simcoe Years in Upper Canada", *Horizon Canada*, No. 22, July 1985.
- "Upper Canada In the Making, 1796-1812", *Horizon Canada*, No. 23, August 1985.
- A review of Bruce G. Wilson, *The Enterprises of Robert Hamilton: A Study of Wealth and Influence in Early Upper Canada, 1776-1812* (Ottawa: Carleton University Press, 1983) in the *Canadian Historical Review*, LXVI, No. 3, Sept. 1985.
- Lila Lazare (comp.) with an intro. by Robert J. Burns, "Artifacts, consumer goods and services advertised in Kingston newspapers, 1840-50: a resource tool for material history research", *Manuscript Report Series No. 397*, Parks Canada, 1980.
- "W.A. Munn and the discovery of a Viking occupation site in northern Newfoundland", Historic Sites and Monuments Board agenda paper, 1982.
- Research and writing of "The Loyalists," a booklet to accompany the Loyalist Bicentennial travelling exhibit prepared by Parks Canada, 1983.
- "Paperboard and Paper Packaging in Canada 1880-1930: An Interim Report" *Microfiche Report Series No. 210* (1985).
- "Packaging Food and Other Consumer Goods in Canada, 1867-1927: A guide to Federal Specifications For Bulk and Unit Containers, Their Labels and Contents" *Microfiche Report Series No. 217* (1985).
- "Paperboard Packaged Consumer Goods: Early Patterns of Product Availability" (1986).
- "Thomas Ridout" in the *Dictionary of Canadian Biography*, Vol. VI, Toronto, 1987.
- "Paperboard and Paper Packaging in Canada, 1880-1930", 2 Vols. *Microfiche Report Series No. 393* (1989).
- Curator, along with Marianne McLean and Susan Porteus, of "Rebellions in the Canadas, 1837-1838," an exhibition of documents and images sponsored by the National Archives of Canada, 1987.
- "Marketing Food in a Consumer Society: Early Unit Packaging Technology and Label Design" in *Consuming Passions: Eating and Drinking Traditions in Ontario* (Meaford, Ont.: Oliver Graphics, 1990).
- "Robert Isaac Dey Gray" reprinted in *Provincial Justice: Upper Canadian Legal portraits from the Dictionary of Canadian Biography*, ed. Robert L. Fraser (Toronto: University of Toronto Press, 1992).
- "John Warren Cowan" and "Thomas McCormack" published in the *Dictionary of Canadian Biography*, Vol. XIII, 1994.
- *Guardians of the Wild: A History of the Warden Service of Canada's National Parks* (University of Calgary Press, 2000).
- "'Queer Doings': Attitudes toward homosexuality in nineteenth century Ontario," *The Beaver*,

Apr. May. 2003.

- “Bombs in the Bush: The Strategic Air Command in Goose Bay, 1953,” *The Beaver*, Dec. 2004/Jan. 2005.
- preparation of a history of the Royal Canadian Mounted Police under contract for the Force, 2004-2007.
- press releases regarding heritage plaque unveilings for Parks Canada, Ottawa, ON, 2010.
- a review and analysis of heritage bulk containers in the Parks Canada Artifact Collection, Ottawa, ON, 2011.
- *Port Stanley: The First Hundred Years, 1804-1904*, with Craig Cole (Heritage Port: Port Stanley, ON, 2014).

Related Professional Associations

- Professional member of Canadian Association of Heritage Professionals.
- Member of Federal Heritage Building Review Board (retired).
- Chair, Heritage Central Elgin.
- President of the Sparta (Ontario) and District Historical Society.
- Member, St. Thomas-Elgin Branch of the Architectural Conservancy of Ontario.
- Member (Past), Board of Directors, Elgin County Archives Association.
- Member, Board of Directors, Sparta Community Association.
- Former member, Board of Directors, and Publications Committee Chair, Ontario Historical Society.
- Past president, Stormont, Dundas and Glengarry Historical Society.
- Past chair, Local Architectural Conservation Advisory Committee, Cornwall, ON.
- Former chair, Heritage sub-committee, “Central Elgin - Growing Together Committee,” Municipality of Central Elgin.



Arborist Report
&
Tree Preservation Plan

1341 Stavebank Road
Mississauga, ON

Prepared for:

1341 Stavebank Road
Mississauga, ON L5G 2V4

Prepared By:

Davide Carnevale H.B.Sc.F.

ASCA Registered #370

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October 6, 2018

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INTRODUCTION:

I have been retained by the owner, _____, to complete an arborist report concerning the above subject site. The purpose of this report is to provide a tree preservation plan, with recommendations, regarding all regulated trees affected by the proposed development. All field and appraisal work was completed by the author of this report being Davide Carnevale, ASCA Registered #370 on September 30, 2018.

HISTORY AND ASSIGNMENT:

I have been advised by _____, that the above subject site is scheduled for development, which includes the construction of a two-storey addition to the existing house at the northeast corner of the property as per the Tree Preservation Plan – TPP-1 in Appendix I. _____ has also advised that all construction and design activities have been designed to ensure the preservation of a mature oak tree located north of the existing dwelling. To facilitate construction, without injury to roots, the proposed new addition will be constructed without a foundation using helical piles that support the structure on above grade I-beams. As the consulting arborist retained for this project, *The Tree Specialists Inc.*, can be further retained (if necessary) to act as the Project Consulting Arborist (PCA) to provide on-site monitoring and any necessary remedial actions as required by the municipality.

The assignment is as follows:

1. Survey all regulated trees that will be affected by the proposed project, assess their condition and determine if they are suitable for preservation.
2. Provide recommendations for tree preservation.
3. Determine if proposed construction will adversely affect the health of such trees.

ASSUMPTION AND LIMITING CONDITIONS:

1. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however *The Tree Specialists, Inc.* can neither guarantee nor be responsible for the accuracy of information provided by others.
2. Excerpts or alterations to the report, without the authorization of the author or his company invalidates its intent and/or implied conclusions. This report may not be used for any expressed purpose other than its intended purpose and alteration of any part of this report invalidates the report.
3. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) the inspection was made using accepted arboricultural techniques and is limited to visual examination of accessible items without climbing, dissection, probing or coring and detailed root examination involving excavation. While reasonable efforts have been made to assess trees outlined in this report, there is no warranty or guarantee, expressed or implied, that problems or deficiencies with the tree(s) or any part(s) of them may not arise in the future. All trees should be inspected and re-assessed periodically.
4. The determination of ownership of any subject tree(s) is the responsibility of the owner and any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner. A recommendation to remove or maintain tree(s) does not grant authority to encroach in any manner onto adjacent private properties

TREE SURVEY AND RECOMMENDATIONS:

See TPP-1 plan in Appendix I for tree location, Table #1 for species identification, condition, and recommendations and Appendix II for corresponding Digital Images.

Table #1: 1341 Stavebank Road - Mississauga

Tree #	Species	D ¹ B H (cm)	Condition ²	Category ³	Comments	Suitability ⁴ for Conservation	Recommendation ⁵	M ⁶ T P Z (M)
C1	<i>Pinus strobus</i>	93	F	4	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	6.0
C2	<i>Morus spp.</i>	6	P	4	- poor form - clear of proposed construction - shall retain prescribed TPZ	M	Ps	1.8
C3	<i>Juglans nigra</i>	11	F	4	- in conflict with wires - clear of proposed construction - shall retain prescribed TPZ	M	Ps	1.8
C4	<i>Ulmus americana</i>	24	F	4	- minor deadwood - clear of proposed construction - shall retain prescribed TPZ	M	Ps	1.8
C5	<i>Prunus serotina</i>	47	F	4	- minor deadwood - clear of proposed construction - shall retain prescribed TPZ	M	Ps	3.0
1	<i>Quercus alba</i>	120	F	1	- minor deadwood - proposed construction encroaches upon prescribed TPZ by 10%	G	PsI	6.0
2	<i>Quercus rubra</i>	115	G	1	- minor deadwood - clear of proposed construction - shall retain prescribed TPZ	G	Ps	6.0
3	<i>Malus spp.</i>	28	P	1	- large deadwood - clear of proposed construction - shall retain prescribed TPZ	P	Ps	2.4

¹ **DBH:** Diameter at Breast Height is a measurement in centimeters, using a caliper tape, of the tree stem at 1.37 meters above existing grade.

² **Condition:** A rating of **Hazardous/Dead/Poor/Fair/Good/Excellent** was determined for each tree by visually assessing all the above ground components of the tree, using acceptable arboricultural procedures as recommended in the “*Guide for Plant Appraisal*”, prepared under contract by the “*Council of Tree & Landscape Appraisers (CTLA)*”, an official publication of the *International Society of Arboriculture (I.S.A.)*, 9th Edition, 2000”.

³ **Category #:**

1. Trees with diameters of 15 cm or more, situated on private property on the subject site.
2. Trees with diameters of 15 cm or more, situated on private property, within 6 m of the subject site.
3. Trees of all diameters situated on City owned parkland within 6 m of the subject site.
4. Trees of all diameters situated within the Municipal road allowance adjacent to the subject site.

⁴ **Suitability for Conservation:**

A rating of **Poor/Moderate/Good** is assigned to each tree taking in to account four factors which include, 1) Tree health 2) Structural integrity 3) Species response and 4) Tree Age and longevity, as recommended in the “*For Tree Care Operation – Trees, Shrubs, and Other Woody Plant Maintenance Standard Practice*” prepared as part of the “*ANSI A300 Standards*.”

⁵ **Recommendation:** Preserve (**Ps**), Preserve with Injury (**PsI**), Remove (**Rv**), Transplant (**Tp**)

⁶ **MTPZ:** Minimum tree protection zone distance as per *The Tree Specialists Inc.*

Tree #	Species	D B H (cm)	Condition	Category	Comments	Suitability for Conservation	Recommendation	M T P Z (M)
4	<i>Malus spp.</i>	27	P	1	- large deadwood - 50% of crown missing due to storm break - clear of proposed construction - shall retain prescribed TPZ	P	Ps	2.4
5	<i>Juglans nigra</i>	52	F	1	- minor deadwood - large storm break in upper canopy - clear of proposed construction - shall retain existing root structure	M	Ps	3.6
6	<i>Pinus strobus</i>	82	F	1	- minor deadwood - clear of proposed construction - shall retain existing root structure	M	Ps	5.4
7	<i>Acer rubrum</i>	56	D	1	- 80% dead	P	Rv	
8	<i>Quercus rubra</i>	41	F	1	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	3.0
9	<i>Acer platanoides</i>	51	F	1	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	3.6
10	<i>Picea glauca</i>	33	F	1	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	2.4
11	<i>Quercus alba</i>	139	G	1	- minor deadwood - clear of proposed construction - shall retain prescribed TPZ	G	Ps	6.0
12	<i>Quercus rubra</i>	16	F	1	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	1.8
13	<i>Pinus strobus</i>	22	G	1	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	1.8
14	<i>Pinus strobus</i>	17	G	1	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	1.8
15	<i>Pinus strobus</i>	29	G	1	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	1.8
16	<i>Pinus strobus</i>	23	G	1	- clear of proposed construction - shall retain prescribed TPZ	G	Ps	1.8
17	<i>Picea pungens</i>	61	F	1	- deadwood, storm broken limbs - clear of proposed construction - shall retain prescribed TPZ	M	Ps	4.2
N1	<i>Prunus serotina</i>	18	F	1	- minor deadwood - clear of proposed construction - shall retain prescribed TPZ	M	Ps	1.8
N2	<i>Picea glauca</i>	53	F	1	- minor deadwood - clear of proposed construction - shall retain prescribed TPZ	M	Ps	1.8
N3	<i>Thuja occidentalis</i> Hedge (19)	15-28	F	1/2	- clear of proposed construction - shall retain prescribed TPZ	M	Ps	1.8
N4	<i>Thuja occidentalis</i> Hedge (7)	15-22	F	1/2	- proposed construction encroaches upon prescribed TPZ by 15%	M	Ps	1.8

SITE NOTES AND COMMENTS:City Owned Trees:

1. As listed above, there are fifty regulated trees involved with this project of which five are City owned being trees no. C1-C5. All five trees are clear of the development, are scheduled to maintain their prescribed TPZs and as such will not be disturbed by proposed construction.

Privately Owned Trees Situated within 6.0m of the Subject Site:

1. There are twenty-eight regulated trees located on neighbouring properties and/or on mutual property lines being trees N1-N4 with trees N3 and N4 consisting of cedar hedges with 19 and 7 regulated trees respectively. Except for tree no. N4, all trees are clear of the proposed development, are scheduled to maintain their prescribed TPZs and as such will not be disturbed by proposed construction.
2. The proposed addition, which is scheduled to be constructed using helical pile supports, encroaches upon the prescribed TPP of tree no. N4 (7 regulated cedars within hedge row) by 15%. To avoid root compaction outside of the hoarding zone but within the prescribed 1.8m preservation zone, ground protection hoarding shall be installed between the east edge of the proposed structure and proposed hoarding line (yellow zone). Ground protection hoarding shall consist of a 4'-6' layer of wood mulch material with bound ¾' plywood layered on top. Installation of ground protection hoarding will eliminate soil compaction surrounding the affected trees thus avoiding root disturbance during construction. With the above in mind, the combination of both tree protection and ground protection hoarding ensures proposed construction does not infringe upon the prescribed TPZ of tree(s) no. N4 and if protected by such hoarding, as outlined in the Tree Protection Plan, will not adversely affect the tree(s) current condition.

Privately Owned Trees Situated on Subject Site:

1. There are seventeen regulated trees involved with this project located on the subject site, being trees no. 1-17. Tree no. 7 is 80% dead, is not a suitable candidate for preservation and requires removal regardless of proposed construction activity.
2. Trees no. 2-4 and 8-17 are clear of the proposed development, are scheduled to maintain their prescribed TPZs and as such will not be disturbed by proposed construction. All trees will be protected by a combination of installed hoarding and existing stone and/or rod iron fences.

3. Trees no. 5 and 6 are situated adjacent to an existing structure, being the asphalt driveway. With the above in mind, proposed construction will not infringe on the existing roots of these trees as the hard surface asphalt helps protect the roots from disturbance and if protected by hoarding, as outlined in the Tree Protection Plan, will not adversely affect each tree's current condition.
4. The prescribed TPZ for tree no. 1 is encroached upon by proposed construction and landscaping by 10%. This encroachment includes widening of the existing driveway along the north edge of the TPZ and the area required to facilitate construction between the proposed hoarding line and structure (yellow zone). Currently the tree is located within a turf island with over 50% of the TPZ covered by both the existing asphalt driveway and house structures. Roots within the proposed driveway widening area are located outside of the critical root zone along the outer edge of the tree preservation zone. Roots disturbed within this area are likely to be no larger than 2-3cm in diameter and can easily be ameliorated by retaining a qualified arborist to supervise excavation, root prune as required and fertilize to promote root regeneration.

Similar to tree no. N4, to avoid root compaction outside of the hoarding zone but within the prescribed 6.0m preservation zone, ground protection hoarding shall be installed between the west edge of the proposed structure and the proposed hoarding line within the turf island area. Ground protection hoarding shall consist of a 4'-6' layer of wood mulch material with bound $\frac{3}{4}$ ' plywood layered on top. Installation of ground protection hoarding will eliminate soil compaction thus reducing root disturbance during construction.

The existing asphalt driveway that extends south of the turf island, north of the house and west of the proposed addition is scheduled to be repurposed into a turf landscape. To avoid disturbance the following steps shall be implemented to further protect the tree from unnecessary root damage:

1. Within the prescribed TPZ, outside of the installed hoarding zone, remove all asphalt and subbase gravel/screening materials manually by hand ensuring no excavation or damage to roots.
2. Manually, by hand, fill in the created new void by applying triple-mix topsoil to grade if seeding or 2.0cm below grade if installing sod.

The combination of helical pile construction, tree protection hoarding, ground protection hoarding and repurposing the asphalt driveway without injury to roots ensures 90% of the prescribed TPZ can be maintained without root disturbance. With the above in mind, if the above listed methods are implemented, as outlined in the Tree Protection Plan, proposed construction will not adversely affect the long term condition and/or safety of tree no. 1.

5. All remaining trees located on or within 6.0m of the subject site have a DBH less than 15cm, are non-regulated trees and therefore were not included in this report.

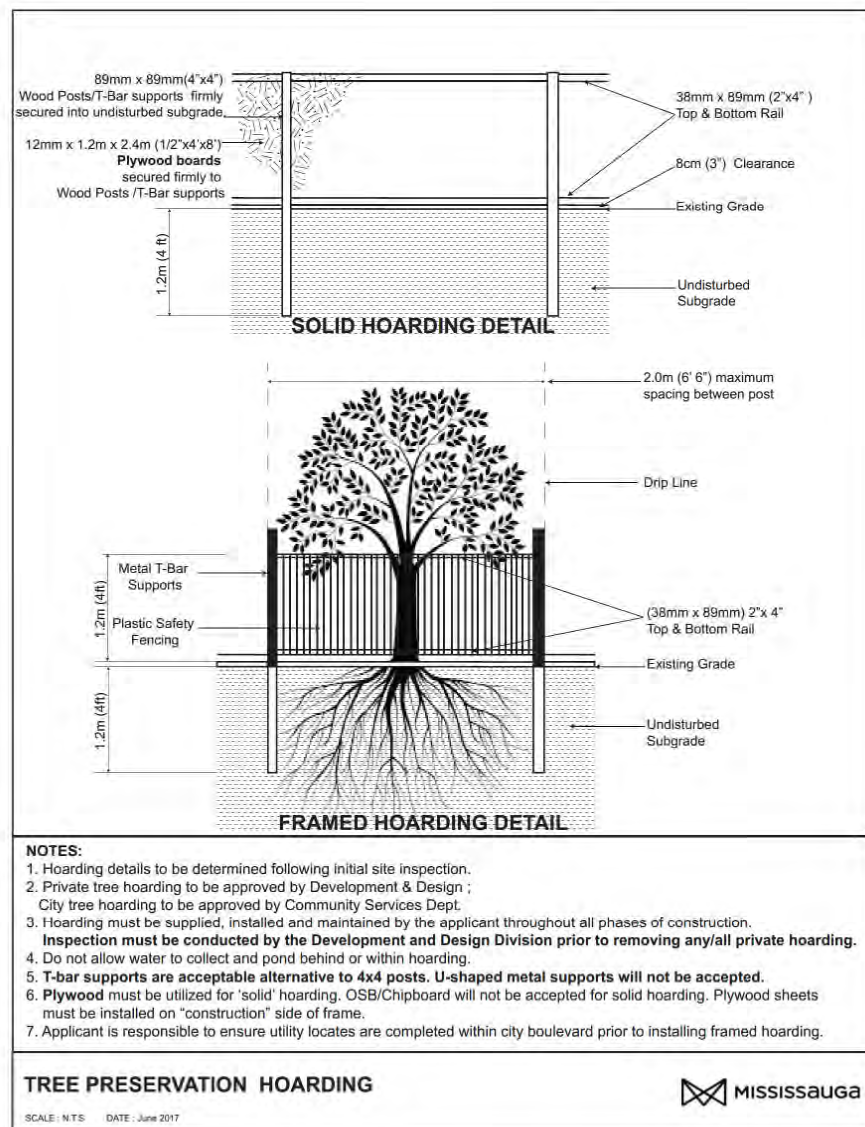
6. To further protect each tree scheduled for preservation from the potential of construction disturbance, it is recommended that the below listed tree preservation recommendations are implemented.

ESTABLISH TREE PROTECTION ZONE

The purpose of the tree protection zone (TPZ) is to prevent root damage, soil compaction and soil contamination. Workers and machinery shall not disturb the tree protection zone in any way. To prevent access, the following is required:

1.1 Install hoarding as per attached Tree Protection Plan in Appendix I.

1.2 Hoarding shall consist of the following:



- 1.3 When visibility is a consideration and **upon approval from the City**, 1.2 meter high orange plastic web snow fencing on a 2"X4" frame is recommended.
- 1.4 **Upon approval from the City of Mississauga, substitute wooden and/or orange plastic web snow fencing hoarding with a page wire fence supported by T-bars.**
- 1.5 No fill, equipment or supplies are to be stored within the tree protection zone.
- 1.6 Activities, which are likely to injure or destroy tree(s), are not permitted within the TPZ.
- 1.7 No objects may be attached to tree(s) within the TPZ.
- 1.8 Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place in good condition throughout the entire duration of the project.
- 1.9 Once all tree/site protection measures have been installed you must notify Urban Forestry staff to arrange for an inspection of the site and approval of the site protection requirements.
- 1.10 All Hoarding shall not be removed until all construction activity is complete.
- 1.11 A sign that is similar to the illustration below must be mounted on all sides of a tree protection barrier for the duration of the project. The sign should be a minimum of 40cm X 60cm and made of white gator board, laminates or equivalent material.

TREE PROTECTION ZONE (TPZ)

No grade change, storage of materials or equipment is permitted within the TPZ. The tree protection barrier must not be removed without the written authorization of Urban Forestry.

2.0 ROOT PRUNING

Where possible, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimetres in diameter or roots that are injured or diseased should be performed as follows:

- 2.1 Preserve the root bark ridge (similar in structure to the branch bark ridge). Directional Root Pruning (DRP) is the recommended technique and should be used during hand excavation around tree roots. Roots are similar to branches in their response to pruning practices. With DRP, objectionable and severely injured roots are properly cut to a lateral root that is growing downward or in a favorable direction.

2.2 All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist or by the PCA.

2.3 No wound dressings\pruning paint shall be used to cover the ends of each cut.

2.4 All roots requiring pruning shall be cut using any of the following tools:

- Large or small loppers
- Hand pruners
- Small hand saws
- Wound scribes

2.5 Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap if exposed for longer than 4 hours.

3.0 ESTABLISH MAINTENANCE PROGRAM

All maintenance work must be completed by the approved Project Consulting Arborist or an equivalent qualified arborist.

Pre-Construction:

3.1 Prune trees to remove deadwood, objectionable limbs while maintaining crown form.

During- Construction:

3.2 Irrigate tree preservation zones during drought conditions, June – September, to reduce drought stress.

3.3 Inspect the site every month to ensure that all hoarding is in place and in good condition. Inspect the trees to monitor condition.

Post-Construction:

3.4 Inspect the trees two times per year – May and September – to monitor condition for a minimum of 2 additional years.

4.0 LANDSCAPING

Any landscaping completed within the tree preservation zones, after construction is completed and hoarding has been removed, cannot cause damage to any of the trees or their roots. The trees must be protected for the same reasons listed above but without using hoarding.

4.1 **No grade changes** are permitted which include adding and/or removing soil.

4.2 **No excavation** is permitted that can cause damage to the roots of the tree.

4.3 **No heavy equipment** can be used to compact the soil within the tree preservation zone.

4.4 Any hard -surface sidewalks, paths, etc. should be constructed using permeable products such as interlocking stone, etc.

SUMMARY TABLE:

Tree Category	Total	Scheduled for Preservation		Remove
		Preserve	Preserve with Injury	
4 (City owned tree)	5	5	0	0
2 (Regulated tree within 6.0 m of the Subject Site)	28	21	7	0
1 (Regulated tree on subject site)	17	15	1	1
Total	50	41	8	1

CONCLUSIONS:

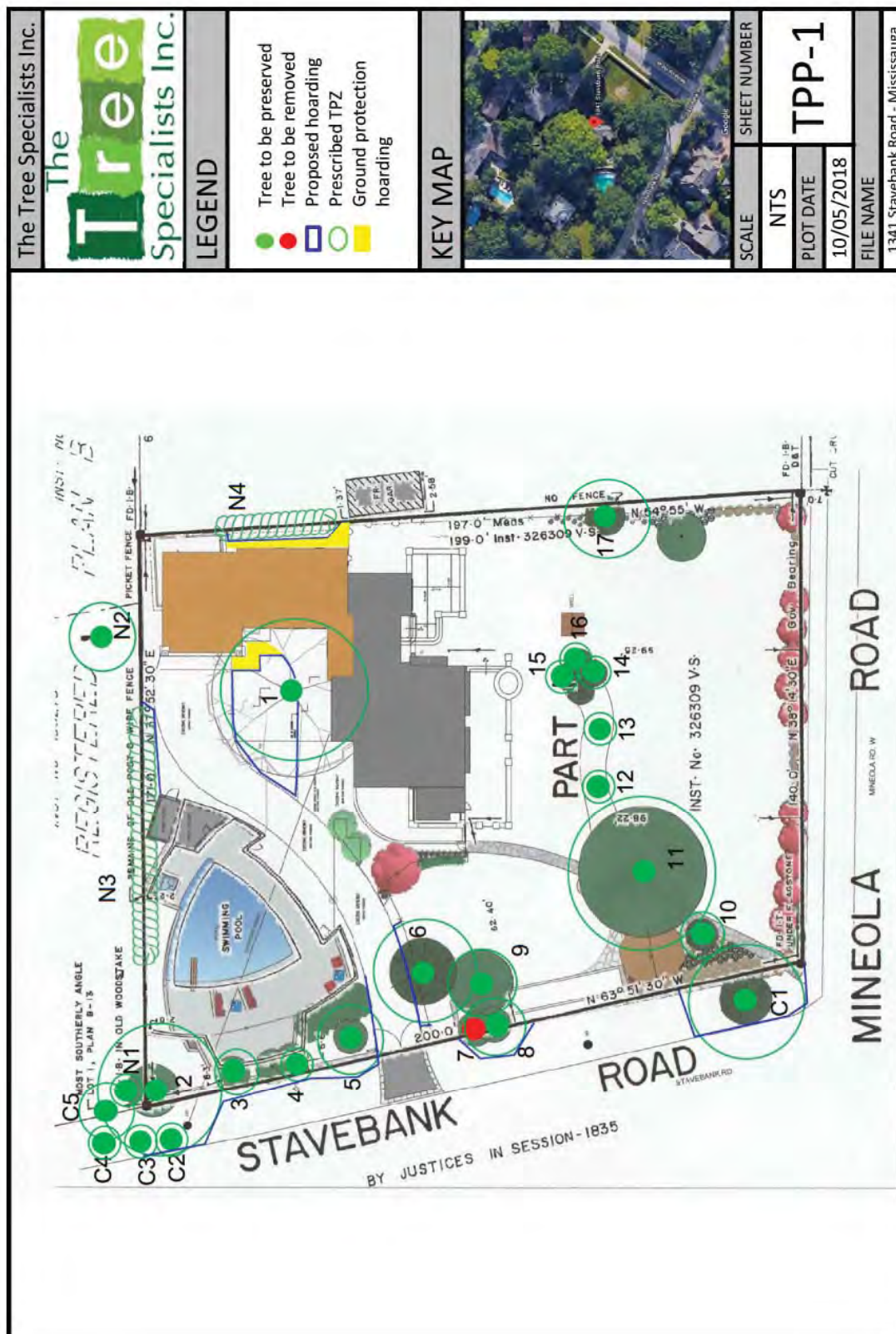
As listed in the Summary Table above, there are fifty regulated trees involved with this project of which one is 80% dead and is recommended for removal regardless of the proposed development. It is not possible to maintain 100% of the prescribed TPZ of eight trees (no. 1 and N4, which consists of 7 trees), and pursuant to the City of Mississauga Private Tree Bylaw, the client will submit a permit application to injure 8 trees. All remaining trees are scheduled for preservation. Finally, with the above in mind, it's the consultant's opinion that if the above tree preservation recommendations are implemented, which includes installing tree protection hoarding as mandated by the City of Mississauga as outlined in this report, proposed construction will not adversely affect the long-term health, safety and/or existing condition of all trees scheduled for preservation.

Trusting this report meets your needs. For further information, you may contact me directly at (905)-469-1717 or at dcarnevale@thetreespecialists.com.

THE TREE SPECIALISTS, INC.


Davide Carnevale
 President/Consulting Arborist
 ASCA Registered #370
 E-mail: dcarnevale@thetreespecialists.com

Appendix I: Tree Preservation Plan – TPP-1



1341 Stavebank Road - Mississauga

Appendix II:

DIGITAL IMAGES

Photo #1: Trees no. 2, N1, C2-C5 and non-regulated trees looking northwest.



1341 Stavebank Road - Mississauga

Photo #2: Trees no. N2 and non-regulated trees looking northeast.



Photo #3: Trees no. 210-215 looking northeast.



1341 Stavebank Road - Mississauga

Photo #4: Trees no. 6-9 and non-regulated trees looking northwest.



1341 Stavebank Road - Mississauga

Photo #5: Trees C1, 10-12 and non-regulated trees west.



1341 Stavebank Road - Mississauga

Photo #6: Trees no. 13-17 looking northeast.



1341 Stavebank Road - Mississauga

Photo #7: Trees 1 and non-regulated trees looking northeast.



City of Mississauga
Memorandum



Date: September 8, 2020

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting date: October 13, 2020

Subject: Alteration to a property Adjacent to a Listed Heritage Property: 5150 Ninth Line (Ward 10)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction."

The subject property is adjacent to a listed property on the City's Heritage Register. The Heritage Impact Assessment is attached for your information.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division



**Scoped Heritage Impact Assessment
5150 & 5170 Ninth Line, City of Mississauga
Heritage Impact Assessment
For Adjacent 5104 Ninth Line
City of Mississauga, Region of Peel
(Formerly Town of Milton, in the Regional Municipality of Halton), Ontario**

Prepared for
Mattamy (5150 Ninth Line) Ltd.
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Vaughan, Ontario L4K 4G7
Tel: (905) 907 8871

By
Archaeological Research Associates Ltd.
219-900 Guelph Street
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Tel: (519) 804-2291 Fax: (519) 286-0493

HR-161-2019
Project# 2019-0280-03

July 10, 2020

Revised Report

EXECUTIVE SUMMARY

Under a contract awarded in July 2019 by Mattamy (5150 Ninth Line) Ltd., Archaeological Research Associates Ltd. was retained to complete a scoped Heritage Impact Assessment related to the South Ninth Line development at 5150 and 5170 Ninth Line, City of Mississauga (referred to going forward as 5150 Ninth Line). ARA was further retained in October 2019 to undertake revisions to the Heritage Impact Assessment to reflect revised concept plans for the development. Following submission of this report to the City of Mississauga, staff approved the recommended mitigation measures as outlined in the scoped Heritage Impact Assessment (dated October 29, 2019) on December 20, 2019. ARA was again retained by Mattamy (5150 Ninth Line) Ltd. in July 2020 to undertake revisions to the report to reflect the revised concept as presented in the site plan for the development including: an increased setback adjacent to the subject property; an increase in the unit count from 119 to 178; a change in visitor parking space and amenity area calculations; an increase in visitor parking spaces from 31 to 42; the realignment of the public street slightly further south; and revisions to the design of each product type. Units and driveways were added on the lots, and block numbers and road labels were also added. The HIA has been revised to reflect these updates, namely in Sections 1.0, 8.0, 9.0 and 10.1 of this report.

The adjacent property at 5104 Ninth Line is a listed property on the *City of Mississauga's Municipal Register of Property of Cultural Heritage Value or Interest*. As such, the City of Mississauga requested a scoped Heritage Impact Assessment. The City provided direction regarding completing a scoped assessment in accordance with the *City of Mississauga's Heritage Impact Assessment Terms of Reference* on July 25, 2019, indicating that **Section 2.1 (a detailed site history to include a listing of owners from the land registry office) and Section 2.3 bullets 1 and 2 (internal photographs and measured drawings) were not required.**

The property at 5104 Ninth Line, the subject property, was originally located within the boundaries of the Town of Milton. On January 1, 2010 lands situated east of Highway 407, including the subject property, were annexed to the City of Mississauga. The property is located within the east part of Lot 1, Concession 9, New Survey, in the former Geographic Township of Trafalgar, in the former Halton County, Ontario, currently the City of Mississauga, Regional Municipality of Peel.

The Heritage Impact Assessment approach consisted of the following:

- Background research concerning the project context, natural context and historical context of the study area;
- Consultation with the City of Mississauga's Heritage Planner;
- Identification of any designated or recognized cultural heritage properties within and adjacent to the subject lands;
- On-site inspection and identification of all properties with potential Built Heritage Resources and Cultural Heritage Landscapes within, adjacent to or otherwise in close proximity to the subject lands;
- A description of the location and nature of potential cultural heritage resources;
- Evaluation of potential cultural heritage resources against the criteria set out in Ontario Regulation 9/06 for determining cultural heritage value or interest;
- Evaluation of potential project impacts of the proposed development; and
- Provision of suggested strategies for the future conservation of identified cultural heritage resources.

Research, consultation and field work completed for this report found that 5150 Ninth Line did not possess potential cultural heritage value or interest. Following consultation, historical research, field survey and evaluation against the criteria set out in Ontario Regulation 9/06 of the *Ontario Heritage Act*, the property at 5104 Ninth Line was not found to meet any of the criteria. Modifications have impacted architectural features of 5104 Ninth Line such that it is no longer a representative example of the Neoclassical style, nor is it an early example. The property is associated with the O'Haras, a long-time farming family in the area. Research conducted did not suggest any notable contributions to the community made by the individuals who lived on the property. The contextual value of the property has been diminished through adjacent and proposed contemporary suburban development and the construction of Hwy 407.

The proposed development will have indirect impacts on the subject property. The development entails the demolition and removal of the existing dwelling and outbuildings from the project location at 5150 Ninth Line and the construction of approximately 178 condominium units in medium-density residential buildings to be located along the south side of Ninth Line. The proposed buildings are all attached homes including dual frontage towns, front load towns and back-to-back towns (village homes).

Research and field work completed for this report found that 5150 Ninth Line did not possess potential cultural heritage value or interest. Although the property at 5104 Ninth Line was not found to meet the criteria of Ontario Regulation 9/06, it is an historic farmhouse, as such development considerations that are sympathetic to the existing historic fabric have been suggested. Mitigation measures have been recommended for the development at 5150 Ninth Line that consider the existing historic fabric of the adjacent property at 5104 Ninth Line:

- That slight modifications to the designs of all of the proposed product types be considered, specifically the rear elevation of the front load towns (proposed directly adjacent to the subject property), to draw from and reflect the proportions, materials and design elements reflective of 5104 Ninth Line, notably the red brick cladding, brick voussoirs, medium pitched side gable roof, square window and door openings, and centrally placed front entrance with sidelights and/or transom.
- That to better reflect the adjacent property at 5104 Ninth Line, red brick and white design elements should be considered in the colour palate of each proposed product type.
- That during construction, it is recommended that construction fencing be erected between the property at 5104 Ninth Line and the project location at a sufficient distance to ensure that there will be no direct or indirect impacts to the building. The fencing should be maintained throughout the duration of the construction period.
- That to ensure the adequate screening of the property at 5104 Ninth Line, it is recommended that the proposed options presented by Mattamy (5150 Ninth Line) Ltd., including the erection of a wood privacy fence, the conservation of extant mature trees on the subject property and the planting of rows of vegetation be implemented along the east side of the development, directly adjacent to 5104 Ninth Line.
- That a landscape architect or arborist should be retained to investigate the feasibility of conserving mature trees along the east side of the development, directly adjacent to the subject property to further ensure adequate screening.

The 2020 *Provincial Policy Statement* notes that cultural heritage value or interest is bestowed upon cultural heritage resources by communities. Accordingly, the system by which heritage is governed in this province places emphasis on the decision-making of local municipalities in determining cultural heritage value or interest. It is hoped that the information presented in this report will be useful in those deliberations.

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GLOSSARY OF ABBREVIATIONS

ARA – Archaeological Research Associates Ltd.
 BHR – Built Heritage Resource
 CHL – Cultural Heritage Landscape
 CHVI – Cultural Heritage Value or Interest
 HIA – Heritage Impact Assessment
 MCL – (Former) Ministry of Culture
 MHSTCI – Ministry of Heritage, Sport, Tourism and Culture Industries
 MTC – (Former) Ministry of Tourism and Culture
 MTO – Ministry of Transportation
 OHA – Ontario Heritage Act

OHT – Ontario Heritage Trust
O. Reg. – Ontario Regulation
PPS – Provincial Policy Statement
VLA – Veteran's Land Act

PERSONNEL

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Two-page curriculum vitae (CV) that demonstrate the qualifications and expertise of key team members to perform cultural heritage work in Ontario are provided in Appendix D.

MINIMUM REPORT REQUIREMENTS CHART

City of Mississauga Minimum Requirements	ARA Equivalent
2.1 Site History	3.0 Site History
2.2 Description of Existing Structures	5.0 Description of Buildings and Structures
2.2 Statement of Conclusions (Significance and Heritage Attributes of the Cultural Heritage Resource)	7.0 Heritage Assessment 11.0 Mandatory Statement
2.2 Location Map	1.0 Project Context
2.3 Documentation of Existing Conditions (Current External Photographs)	Appendix A: 5150 and 5104 Ninth Line Images
2.3 Documentation of Existing Conditions (Measured Drawings – Elevations, Floor Plans, and a Site Plan or Survey)	5.0 Description of Buildings and Structures – Project Location at 5150 Ninth Line 6.0 Description of Buildings and Structures – 5104 Ninth Line
2.3 Documentation of Existing Conditions (Historical Photos, Drawings or Other Archival Material)	Appendix B: Historical Photos, Drawings and Other Archival Material
2.4 Outline of the Proposed Development	8.0 Proposed Development Appendix C: Preliminary Building Elevations for Each Product Type
2.5 Full Architectural Drawings	Appendix C: Preliminary Building Elevations for Each Product Type
2.6 Assessment of Alternative Development Options and Mitigation Measures	9.0 Assessment of Alternative Development Options and Mitigation Measures
2.7 Summary of Conservation Principles	9.0 Assessment of Alternative Development Options and Mitigation Measures 10.0 Summary Statement and Conservation Recommendations
2.8 Proposed Demolitions/Alterations	8.0 Proposed Development
2.9 Alternatives for Salvage Mitigation	9.0 Assessment of Alternative Development Options and Mitigation Measures
3. Summary Statement and Conservation Recommendations	10.0 Summary Statement and Conservation Recommendations
4. Mandatory Recommendation	11.0 Mandatory Statement
5. Qualifications	Appendix D: Key Team Member Two-Page Curriculum Vitae

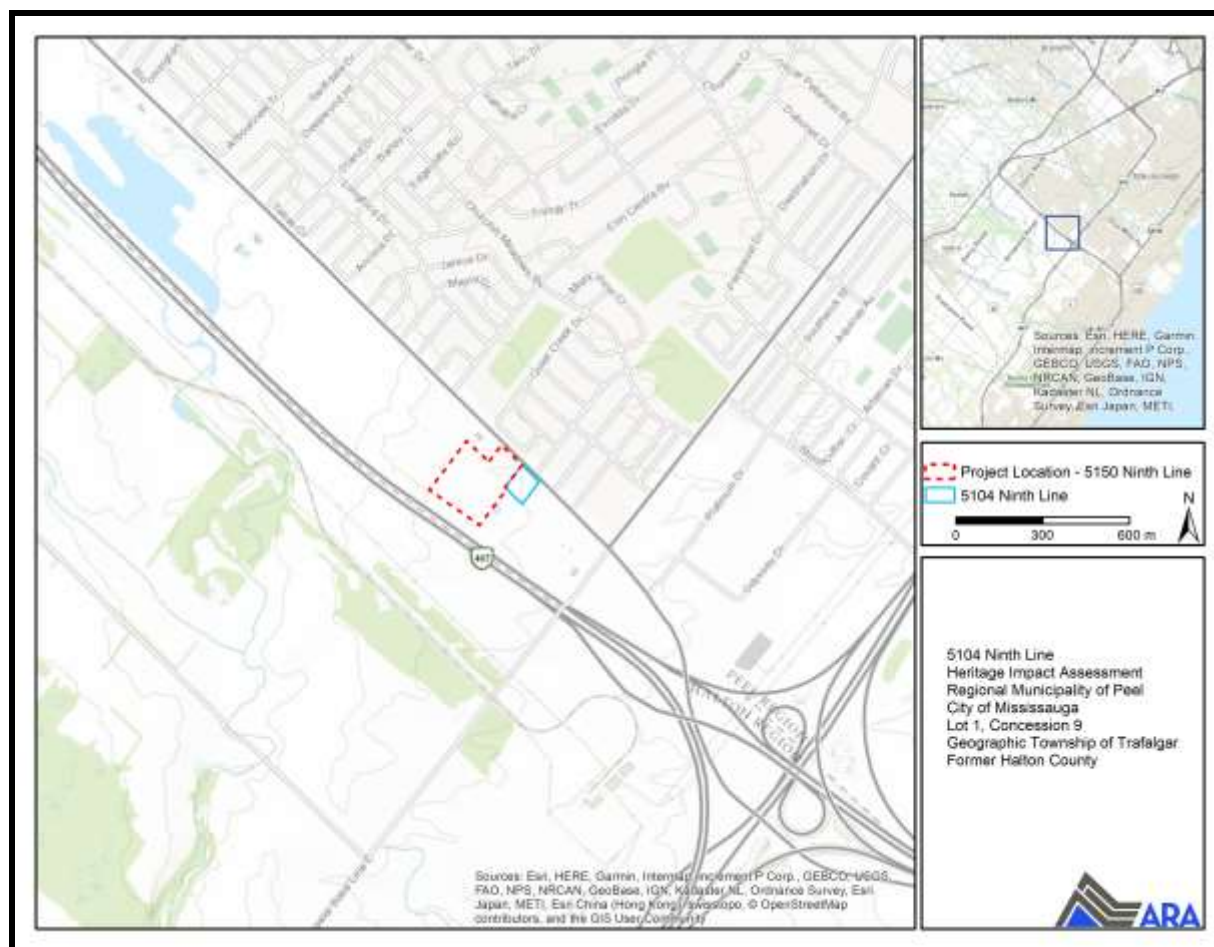
1.0 PROJECT CONTEXT

Under a contract awarded in July 2019 by Mattamy (5150 Ninth Line) Ltd., Archaeological Research Associates Ltd. (ARA) was retained to complete a scoped Heritage Impact Assessment (HIA) related to the South Ninth Line development at 5150 and 5170 Ninth Line, City of Mississauga (referred to going forward as 5150 Ninth Line or the project location). ARA was further retained in October 2019 to undertake revisions to the HIA to reflect revised concept plans for the development. Following submission of this report to the City of Mississauga, staff approved the recommended mitigation measures as outlined in the scoped Heritage Impact Assessment (dated October 29, 2019) on December 20, 2019. ARA was again retained by Mattamy (5150 Ninth Line) Ltd. in July 2020 to undertake revisions to the report to reflect the revised concept as presented in the site plan for the development including: an increased setback adjacent to the subject property; an increase in the unit count from 119 to 178; a change in visitor parking space and amenity area calculations; an increase in visitor parking spaces from 31 to 42; the realignment of the public street slightly further south; and revisions to the design of each product type. Units and driveways were added on the lots, and block numbers and road labels were also added. The HIA has been revised to reflect these updates, namely in Sections 1.0, 8.0, 9.0 and 10.1 of this report.

The adjacent property at 5104 Ninth Line is a listed property on the *City of Mississauga's Municipal Register of Property of Cultural Heritage Value or Interest*. As such, the City of Mississauga requested a scoped HIA. On July 25, 2019, the City provided direction regarding completion of a scoped HIA in accordance with the *City of Mississauga's Heritage Impact Assessment Terms of Reference* and indicated that Section 2.1 (a detailed site history to include a listing of owners from the land registry office) and Section 2.3 bullets 1 and 2 (internal photographs and measured drawings) were not required (2017a). For the purposes of this assessment, the properties at 5150 and 5170 Ninth Line will comprise the study area.

The property located at 5104 Ninth Line, the subject property, was originally located within the boundaries of the Town of Milton. On January 1, 2010 lands situated east of Highway 407, including the subject property, were annexed to the City of Mississauga (City of Mississauga 2009). The property is located within part of Lot 1, Concession 9, New Survey, in the former Geographic Township of Trafalgar, in the former Halton County, Ontario, currently the City of Mississauga, Regional Municipality of Peel (see Map 1).

The purpose of this assessment is to identify and evaluate the cultural heritage resources within the study area that may be impacted by the proposed development. This assessment was conducted in accordance with the aims of the *Planning Act* R.S.O. 1990, c. P.13, *Provincial Policy Statement* (2020), *Ontario Heritage Act*, R.S.O. 1990, c. O.18, *City of Mississauga Official Plan* (2019), and the *City of Mississauga Heritage Impact Assessment Terms of Reference* (2017a).



Map 1: Project Location and 5104 Ninth Line in the City of Mississauga
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri)

2.0 METHOD

The framework for this assessment report is provided by provincial planning legislation and policies as well as municipal Official Plans and guidelines. Section 2 of the *Planning Act* indicates that a council of a Municipality have regard for matters of provincial interest such as: “(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.” Section 3 of the *Planning Act* directs a municipal Council’s decisions to be consistent with the *Provincial Policy Statement* (PPS 2020). Policy 2.6.1 states: “Significant built heritage resources and significant cultural heritage landscapes shall be conserved.”

With respect to cultural heritage, the *Mississauga Official Plan* Policy 7.4.1 states that “Mississauga’s cultural heritage resources reflect the social, cultural and ethnic heritage of the city and, as such, are imperative to conserve and protect” (2019a:7.7). Additionally, Policy 7.4.1.12 states that “the proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource, or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment (HIA), prepared to the satisfaction of the City and other appropriate authorities having jurisdiction” (2019a:7.8). Additionally, the *City of Mississauga Heritage Impact Assessment Terms of Reference* (2017a) outline the required elements for HIAs prepared on properties situated within the City of Mississauga.

2.1 Key Concepts

The following concepts require clear definition in advance of the methodological overview; proper understanding is fundamental for any discussion pertaining to cultural heritage resources:

- **Built Heritage Resource (BHR)** can be defined in the *PPS* as: “a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. *Built heritage resources* are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers” (MMAH 2020:41).
- **Cultural Heritage Landscape (CHL)** is defined in the *PPS* as: “a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. *Cultural heritage landscapes* may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms” (MMAH 2020:42).

It is recognized that the heritage value of a CHL is often derived from its association with historical themes that characterize the development of human settlement in an area (Scheinman 2006). In Ontario, typical themes which may carry heritage value within a community include, but are not limited to: 1) Pre-Contact habitation, 2) early European exploration, 3) early European and First Nations contacts, 4) pioneer settlement, 5) the development of transportation networks, agriculture and rural life, 6) early industry and commerce, and/or 7) urban development. Individuals CHLs may be related to a number of these themes simultaneously.

The *Operational Guidelines for the Implementation of the World Heritage Convention* defines several types of CHLs: 1) designed and created intentionally by man, 2) organically evolved landscapes which fall into two-subcategories (relic/fossil or continuing), and 3) associative cultural landscapes (UNESCO 2008:86). MCL (at the time) *Information Sheet #2 Cultural Heritage Landscapes* (MCL 2006c) repeats these definitions to describe landscapes in Ontario.

- **Cultural Heritage Value or Interest (CHVI)**, also referred to as Heritage Value, is identified if a property meets one of the criteria outlined in O. Reg. 9/06 namely historic or associate value, design or physical value and/or contextual value. Provincial significance is defined under *Ontario Heritage Act (OHA)* O. Reg. 10/06.
- **Conserved** means “the identification, protection, management and use of *built heritage resources*, *cultural heritage landscapes* and *archaeological resources* in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision- maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments” (MMAH 2020:41-42).

- **Heritage Attributes** are defined in the *OHA* as: “the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a protected heritage property means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest” (Government of Ontario 2019).
- **Significant** in reference to cultural heritage is defined as: “resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*” (MMAH 2020:51).

Key heritage definitions from the *City of Mississauga Official Plan* are as follows:

- **Heritage Impact Assessment** is defined as “a statement that will identify all heritage resources of a property; describe and evaluate their heritage significance; and, evaluate their sensitivity to a proposed development, use or reuse, including, where possible, measures to mitigate deleterious consequences” (City of Mississauga 2019a:20-4).

2.2 Types of Recognition

BHRs and CHLs are broadly referred to as cultural heritage resources. A variety of types of recognition exist to commemorate and/or protect cultural heritage resources in Ontario.

The National Historic Sites program commemorates important sites, people or events that had a nationally significant effect on, or illustrate a nationally important aspect of, the history of Canada. The Minister of Canadian Heritage on the advice of the Historic Sites and Monuments Board of Canada (HSMBC) makes recommendations to the program. Yet another form of recognition at the federal level is the Canadian Heritage Rivers System program. It is a federal program to recognize and conserve rivers with outstanding natural, cultural and recreational heritage. It is important to note that both of these federal commemoration programs do not offer protection from alteration or destruction.

The Ontario Heritage Trust (OHT) operates the Provincial Plaque Program that has over 1,250 plaques located across the province recognizing key people, places and events that shaped Ontario. Additionally, properties owned by the province may be recognized as a “provincial heritage property” (MTC 2010).

Protected properties are those designated under Part IV (individual properties) or Part V (Heritage Conservation District) of the *OHA*. Once designated, a property cannot be altered or demolished without the permission of the local council. A cultural heritage resource may also be protected through a municipal or OHT easement. Many heritage committees and historical societies provide plaques for local places of interest.

Under *Section 27* of the *OHA*, a municipality must keep a Municipal Heritage Register. A register lists designated properties as well as other properties of cultural heritage value or interest in the municipality. Properties on this list that are not formally designated are commonly referred to as “listed.” Listed properties are flagged for planning purposes and are afforded a 60-day delay in demolition if a demolition request is received.

2.3 Approach

The City of Mississauga's *Heritage Impact Assessment Terms of Reference* outlines the contents required to determine the impacts to known and potential heritage resources within a defined area proposed for future development. This HIA records a detailed site history; a location map; complete listing and full written descriptions of all existing structures on the property; documentation, including current photographs; an outline of the proposed development; an assessment of alternative development options and mitigation measures; a summary of conservation principles; an explanation of proposed demolitions/alterations; and a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource (City of Mississauga 2017a).

2.3.1 Historical Research

Background information is obtained from aerial photographs, historical maps (i.e., illustrated atlases), archival sources (i.e., historical publications and records), published secondary sources (online and print) and local historical organizations. The 1851 Census for the Township of Trafalgar has not survived (LAC 2018). Given that research is constrained to sources in the public record and conducted in a limited time frame, there is the possibility that additional historical information exists but may not have been identified.

2.3.2 Consultation

Consultation with the local community is essential for determining the community value of cultural heritage resources. At project commencement, ARA contacted the relevant local municipalities to inquire about: 1) protected properties in the study area, 2) properties with other types of recognition in the study area, 3) previous studies relevant to the current study, and 4) other heritage concerns regarding the study area or project. Where possible, information was sought directly from the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) and OHT. In this case, the City of Mississauga was contacted to obtain feedback on the potential cultural heritage resources in the vicinity as well as the scope of the study.

2.3.3 Field Survey

The field survey component of an assessment involves the collection of primary data through systematic photographic documentation of all potential cultural heritage resources within the study area, as identified through historical research and consultation. Additional cultural heritage resources may also be identified during the survey itself. Photographs capturing all properties with potential BHRs and CHLs are taken, as are general views of the surrounding landscape. The site visit also assists in confirming the location of each potential cultural heritage resource and helps to determine the relationship between resources.

2.4 Evaluation of Significance

In order to objectively identify cultural heritage resources, O. Reg. 9/06 made under the *OHA* sets out three principal criteria with nine sub-criteria for determining CHVI (MCL 2006a:20–27). The criteria set out in the regulation were developed to identify and evaluate properties for designation under the *OHA*. Best practices in evaluating properties that are not yet protected employ O. Reg. 9/06 to determine if they have CHVI. These criteria include: design or physical value, historical or associative value and contextual value.

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark. O. Reg. 9/06, s. 1 (2).

If a potential cultural heritage resource (BHR or CHL) is found to meet any one of these criteria, it can then be considered an identified resource.

2.5 Evaluation of Impacts

Any potential project impacts on identified BHRs or CHLs must be evaluated, including direct and indirect impacts. *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (2006b:3) provides an overview of several major types of negative impacts, including but not limited to:

- Destruction of any, or part of any, significant heritage attributes;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- Isolation of a heritage attribute from its surrounding environment, context or significant relationship;
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.

2.6 Mitigation Strategies

If potential impacts to identified heritage resources are determined, proposed conservation or mitigative/avoidance measures must be recommended. The Ministry of Culture's *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (2006b:3) lists several specific methods

of minimizing or avoiding a negative impact on a cultural heritage resource, including but not limited to:

- Alternative development approaches;
- Isolating development and site alteration from significant built and natural features and vistas;
- Design guidelines that harmonize mass, setback, setting, and materials;
- Limiting height and density;
- Allowing only compatible infill and additions;
- Reversible alterations; and
- Buffer zones, site plan control, and other planning mechanisms.

Many of these mitigation strategies are echoed in the City of Mississauga's *Heritage Impact Assessment Terms of Reference* that also lists salvage mitigation, relocation, ruinification and symbolic conservation (2017a).

2.7 Summary of Approach

The approach outlined herein is supported by the best practices, guidelines and policies of the following:

- *Provincial Policy Statement* (2020);
- *Ontario Heritage Act* (R.S.O. 1990);
- *Ontario Heritage Tool Kit* series (MCL 2006a);
- *City of Mississauga Official Plan* (2019); and
- *City of Mississauga Heritage Impact Terms of Reference* (2017a).

3.0 SITE HISTORY

The Township of Trafalgar has a long history of Indigenous land use and settlement including Pre-Contact and Post-Contact campsites and villages. It should be noted that the written historical record regarding Indigenous use of the landscape in southern Ontario draws on accounts by European explorers and settlers. As such, this record details only a small period of time in the overall human presence in Ontario. Oral histories and the archaeological record show that Indigenous communities were mobile across great distances, which transcend modern understandings of geographical boundaries and transportation routes.

Based on current knowledge, the cultural heritage resources located within the study area are tied to the history of the initial settlement and growth of Euro-Canadian populations in the Township of Trafalgar. The arrival of European explorers and traders at the beginning of the 17th century triggered widespread shifts in Indigenous lifeways and set the stage for the ensuing Euro-Canadian settlement process. Documentation for this period is abundant, ranging from the first sketches of Upper Canada and the written accounts of early explorers to detailed township maps and lengthy histories. The Post-Contact period can be effectively discussed in terms of major historical events, and the principal characteristics associated with these events are summarized in Table 1.

3.1 Trafalgar Township, Former County of Halton

The early history of the study area can be effectively discussed in terms of major historical events. The principal characteristics associated with these events are summarized in Table 1.

Table 1: County and Township Settlement History
(Wilson's Publishing Co. 2000; Warnock 1862; Cumming 1971; Town of Oakville 2008; City of Mississauga 2009)

Historical Event	Timeframe	Characteristics
Loyalist Influx	Late 18 th century	United Empire Loyalist influx after the American Revolutionary War (1775–1783); British develop interior communication routes and acquire additional lands; <i>Constitutional Act</i> of 1791 creates Upper and Lower Canada.
Peel County Development	Late 18 th and early 19 th century	Area initially adjacent to York County's 'West Riding'; Became part of York County's 'West Riding' in 1798; Southern portion acquired as part of the 'First Purchase of the Mississauga Tract' in 1805; Northern portion acquired as part of the 'Second Purchase' or 'Ajetance Purchase' in 1818; Peel County established after the abolition of the district system in 1849.
Trafalgar Township Formation	Early 19 th century	First settlers arrived in southeastern part of Trafalgar (the 'Old Survey') ca. 1807; Prominent early families in the south included the Sovereigns, Proudfoots, Kattings, Freemans, Posts, Biggars, Mulhollands, Kenneys, Chalmers, Albertsons, Chisholms, Sproats, Browns and Hagars; Population reached 548 by 1817 with four saw mills and one grist mill in operation; the 'New Survey' comprised the northwestern lands acquired in 1818.
Trafalgar Township Development	Mid-19 th and early 20 th century	By 1846, 28,375 ha had been taken up in Trafalgar, with 11,404 ha under cultivation; 23 saw mills and seven grist mills in operation at that time; Population reached 4,513 by 1850; Traversed by the Hamilton & Toronto Branch of the Great Western Railway (1855), the Hamilton & North Western Railway (1877) and the Credit Valley Railway (1877); Communities at Milton, Hornby, Auburn, Boyne, Omagh, Drumquin in the north and Oakville, Bronte, Palermo, Trafalgar, Munn's Corner and Sheridan in the south.
Town of Oakville Amalgamation & Transfer to Peel	Mid-20 th and early 21 st century	In 1962, the Township of Trafalgar and the Town of Oakville amalgamated to form a new Town of Oakville with four wards (Town of Oakville 2008:3); At this time, the Township of Trafalgar was part of the County of Halton; In 2010, lands from the Town of Milton were annexed to become part of the City of Mississauga (City of Mississauga 2009).

3.2 Study Area

As discussed in Section 1.0, 5150 and 5104 Ninth Line fall on the east part of Lot 1, Concession 9 in the Geographic Township of Trafalgar, in the former Halton County, Ontario.

To reconstruct the historic land use of the study area, ARA examined three historical maps that documented past residents, structures (i.e., homes, businesses and public buildings) and features between the early-19th and late-19th centuries. Specifically, the resources outlined in Table 2 were consulted.

Table 2: Maps and Aerial Photographs Consulted

Year	Map Title	Reference
1858	Tremaine's Map of the County of Halton, Canada West	Tremaine
1877	Northern Part of Trafalgar	Walker & Miles
1909	Brampton Sheet No. 35 [030M12] Topographic Map	OCUL

The limits of the study area are shown on georeferenced versions of the consulted historical maps (see Map 2-Map 4).

“Chas O’Hara” is indicated as the occupant of the east half of Lot 1, Concession 9. Structures are not depicted on the 1858 map; however, property occupants are indicated, as are major thoroughfares and waterways (see Map 2).

The 1877 map of Trafalgar Township indicates that William O’Hara was the occupant of the east half of Lot 1, Concession 9, with a farmhouse and orchard depicted on his property fronting Ninth Line (see Map 3).

By 1909, modern road alignments were well established with the project location indicated northwest along Ninth Line. The O’Hara’s red brick residence is indicated on the map in red with the municipal address of 5104 Ninth Line (Map 4).

3.3 Project Location

The project location on part of the east half of Lot 1, Concession 9 in the Township of Trafalgar was severed from the larger 100-acre farm, once belonging to the O’Hara family, in 1953. The O’Hara home remains extant on the property at 5104 Ninth Line.

3.4 5104 Ninth Line

The Crown Patent for the east half (100 acres) of Lot 9, Concession 1 New Survey in the Township of Trafalgar, Halton County went to **Charles O’Hara Sr. in April of 1830. Charles O’Hara, a Catholic farmer from Ireland, appears to have resided on the property prior to receipt** of the Crown Patent. In 1819, O’Hara and early township settler Bartholomew O’Connor persuaded Father O’Reilly who was located 40 miles distant, to attend O’Hara’s cabin on Lot 1, Concession 9 to celebrate mass. Shortly thereafter in 1823 a log church was erected on Lot 6, Concession 1 in the Township of Trafalgar (OGS 2019).

In July of 1830, O’Hara Sr. sold the property to his son, Charles O’Hara Jr. **The O’Haras formed part of an Irish Catholic settlement in the Township of Trafalgar in the vicinity of Ninth Line and Britannia Road known colloquially as the “Catholic Swamp”** for the flooded land conditions and Catholic inhabitants there (Heritage Mississauga 2010:198). An alternative name for the settlement was **Nunan’s Corners** after one of the first settlers to the area, William Nunan (Heritage Mississauga 2010:198). Census records from 1851 have not survived for the Township of Trafalgar, however the 1861 census provides information that further details the O’Haras that resided on the property. Charles O’Hara Jr. (55) and his wife Mary (50) are enumerated in the 1861 census as living in a one-and-a-half storey brick house with their children Ellen (20), John (23), Lucinda (18), Anabella (16), James (15), Charles (14), Peter (12), Michael (10) and William (8) (LAC 1861). The O’Hara family were Irish Catholic farmers that resided in the subject building at 5104 Ninth Line.

It appears as though Charles O’Hara died between 1861 and 1862, as his wife Mary and son William are listed as the occupants/owners of Lot 1, Concession 9 New Survey in 1862 (Warnock 1862:12). In 1875, Mary O’Hara sold the family farm to her youngest sons, William and Michael.

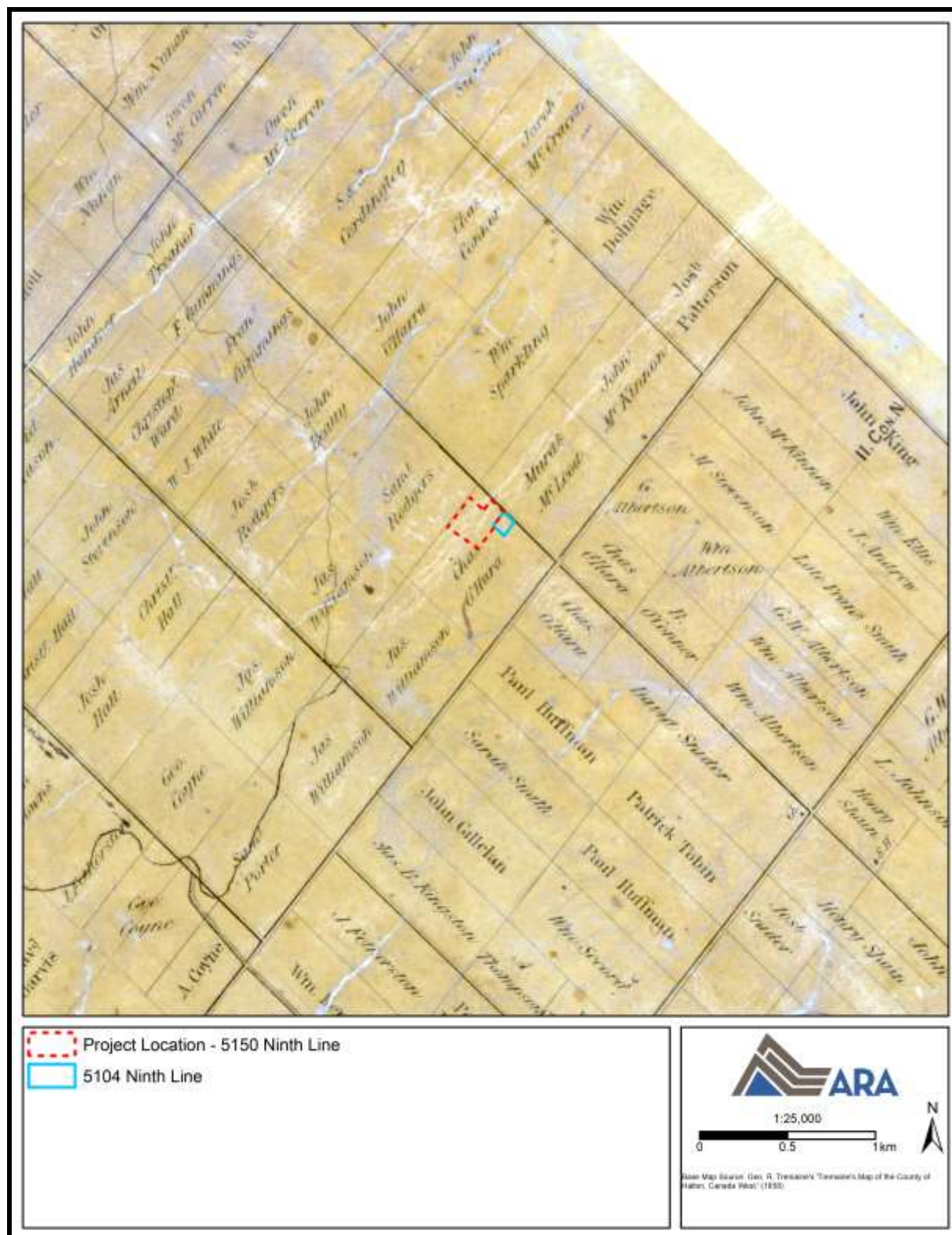
By 1875, the family farmstead had come under the ownership of Michael O’Hara. O’Hara and his family do not appear in the 1891 census for the Township of Trafalgar, however historic

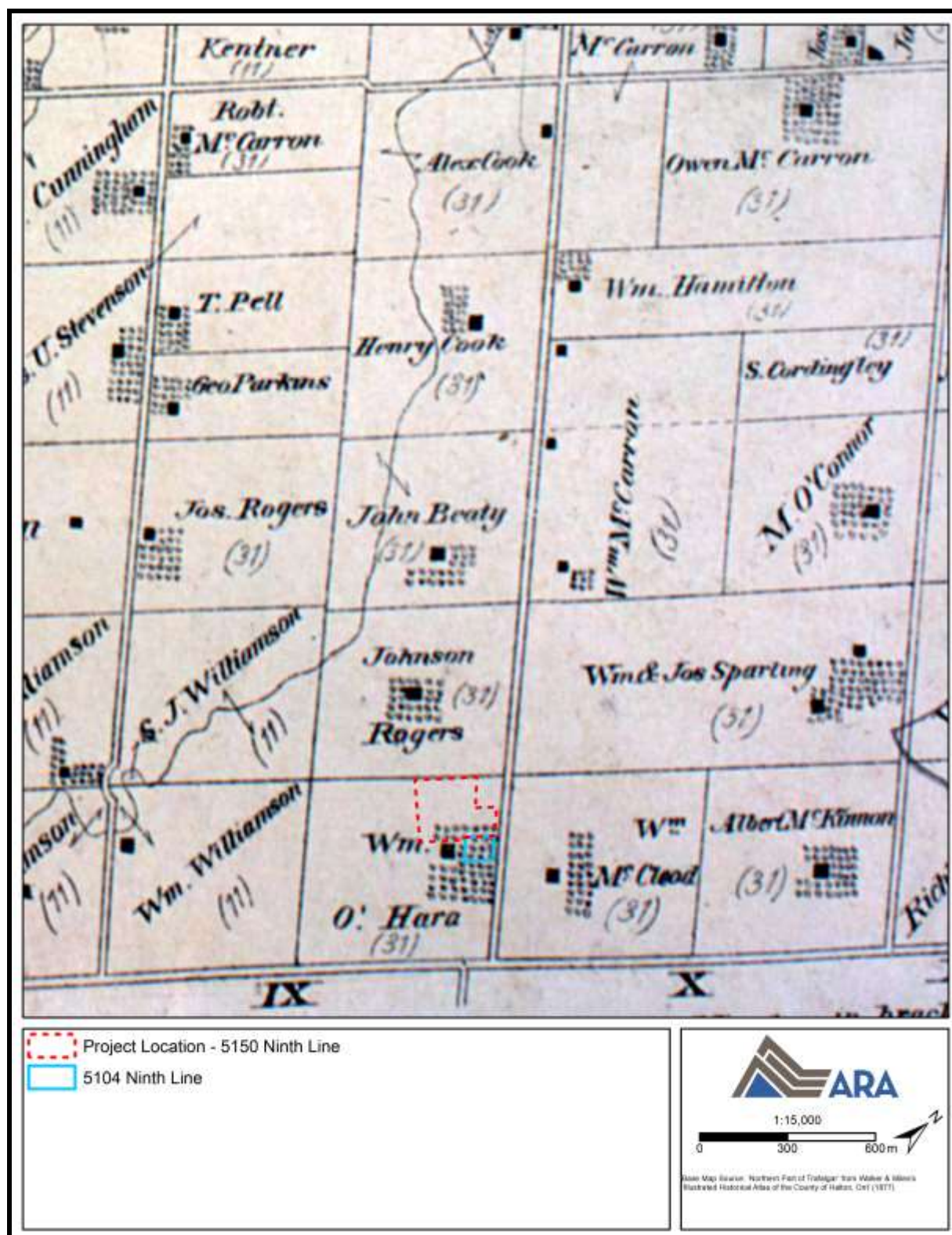
directories helped to corroborate that the Michael O'Hara family were residing at the property in 1893 (UPC 1893:35). According to the 1901 census, Michael O'Hara (54) and his wife Catherine (39) were residing in a nine-room brick house with their children William (18), Mary (15), Frederick (14), John (12), Wilfred (9), Charles (7), Catherine (5), Joseph (3) and Annie (7 months) (LAC 1901a). At that time, the Irish-Catholic O'Hara family had four barns on their farm property along with their residence (LAC 1901b).

The O'Hara family is enumerated in both the 1911 and 1921 census as residing in the nine-room brick house with their family. Between 1901 and 1911, Michael and Catherine had additional children, though by 1921 all had left home with the exception of Joseph (33) and Lillian (16) (LAC 1911, LAC 1921). Michael O'Hara died in 1928, though his wife Catherine continued to reside at the farmstead until her passing in 1948 (Find a Grave 2019). In 1946 (registered in 1948), the executors of Michael O'Hara sold the 100-acre farm property to Toyne Grice. Grice sold off parcels of the 100-acre lot for development, with the O'Hara farmstead being sold to the Director of the *Veteran's Land Act* (VLA) in 1953. The occupation history of the property from 1953-1973 is unclear, with the Director of the VLA selling the property to Allan and Catherine St. John in 1973. Weeks after the sale to the St. Johns, the property was again sold, though to Joseph and Nicole Burak. The property continued to change ownership two more times until 1994 when it came under the ownership of Robert Turnbull.

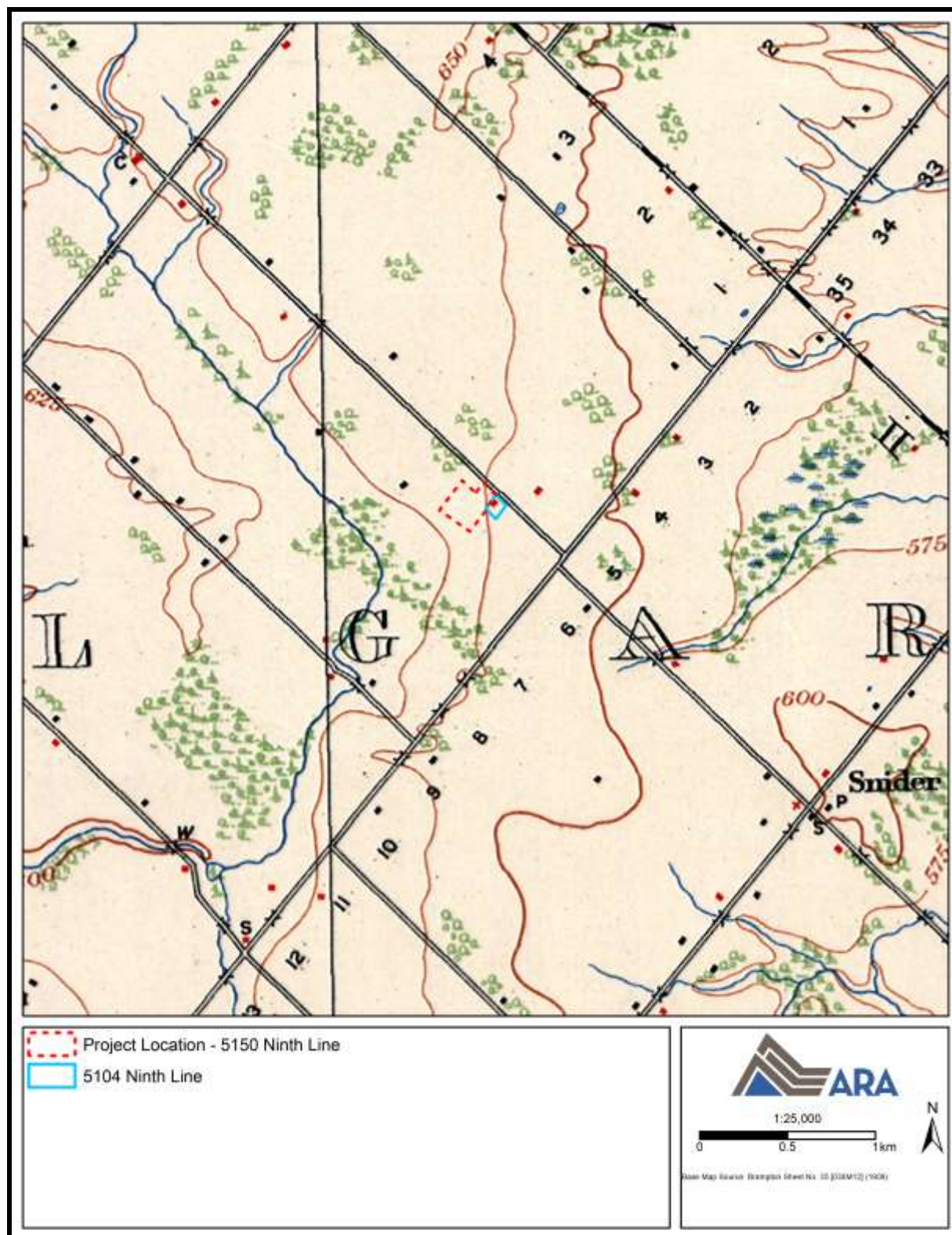
According to the City of Mississauga, the house was built in 1848 and is known as the "O'Hara House." Specifically, "This house is believed to have been built by Charles O'Hara Junior in 1848. His father was Charles O'Hara Senior who had originally petitioned for land from the Crown in 1830. This farm remained in the O'Hara family until 1948. This Georgian style house is one-and-a-half storeys with red brick and gable roof. An extension is built on the rear."

Research conducted including review of the Heritage Mississauga materials, business directories and census information did not suggest any notable contributions to the community made by the individuals who lived on this property.





Map 3: Project Location and 5104 Ninth Line on an 1877 Map
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri; Walker & Miles 1877)



4.0 HERITAGE CONTEXT

In order to determine whether any previously-identified properties with CHVI are located within the study area, ARA consulted a number of heritage groups, the municipality and online heritage resources.

4.1 Consultation

The MHSTCI's current list of heritage conservation districts was consulted. No designated districts were identified in the study area (MHSTCI 2019). The list of properties designated by the MHSTCI under Section 34.5 of the *OHA* was consulted. No properties in the study area are listed. The OHT plaque database and the Federal Canadian Heritage Database were searched. None of the properties within the study area are commemorated with an OHT plaque.

ARA staff contacted the City of Mississauga via telephone and email on July 25, 2019. The City provided direction regarding completion of a scoped HIA in accordance with the *City of Mississauga Heritage Impact Assessment Terms of Reference* (2017) and indicated that Section 2.1 (a detailed site history to include a listing of owners from the land registry office) and Section 2.3 bullets 1 and 2 (internal photographs and measured drawings) were not required.

4.2 Site Visit

A site visit was conducted on July 29, 2019 to photograph and document the project location and adjacent property at 5104 Ninth Line, to record any local features that could enhance ARA's understanding of their setting in the landscape and to contribute to the cultural heritage evaluation process. ARA staff received permission to enter 5150 Ninth Line to conduct the site visit. Photographs of 5104 Ninth Line were taken from public lands as well as from 5150 Ninth Line. Photographs of the project location and 5104 Ninth Line can be found in Appendix A.

5.0 DESCRIPTION OF BUILDINGS AND STRUCTURES – PROJECT LOCATION AT 5150 NINTH LINE

The property at 5150 Ninth Line contains a residence with a detached garage located in the northwest corner of the lot, fronting Ninth Line. A workshop is located adjacent to the north extent of the property line setback from the road and behind the property at 5170 Ninth Line. An access road runs north-south across the property and leads to a cell phone tower located in the southwest corner of the lot.

5.1 Context

The land adjacent to 5150 Ninth Line, on the north side of the roadway, has been subdivided and contains contemporary suburban dwellings (see Image 35). The historic residential property at 5104 Ninth Line is located on the lot immediately to the east and a contemporary commercial building and residence are located to the west. Highway 407 is located to the rear of the property.

5.2 Arrangement of Buildings and Structures

The property is accessed via three driveways from Ninth Line. The dwelling is located on the west side of the lot with the façade oriented to the north, facing Ninth Line. Accessory structures

include a large aluminum clad garage located immediately west of the dwelling, a large workshop constructed of concrete block located on the west extent of the lot, and a cell phone tower and associated access road located in the southwest corner of the property. The 2017 surveys included in Figure 1 and Figure 2 illustrate the current location of these structures.

5.3 Landscape Features

The dwelling at 5150 Ninth Line is set back from Ninth Line slightly behind the garage, both of which are accessed via a driveway from the road. A shorter, abandoned driveway is located southeast of the dwelling. The house, garage and workshop are situated on the northern portion of the lot's relatively flat topography, which begins to roll slightly in the southern extent of the lot. The site's landscape surrounding the dwelling and outbuildings to the south include agricultural fields that had been recently tilled but were not under cultivation at the time of the site visit (see Image 2, Image 15-Image 18, Image 34). Mature trees surround the house and garage, screening the northern half of the lot (see Image 2). Formal rows of mature coniferous trees were observed flanking the east and west sides of the garage (see Image 8-Image 10). Notable and impressively large mature deciduous trees flank the property along Ninth Line (see Image 13-Image 14).

5.4 Dwelling Exterior

The dwelling at 5150 Ninth Line is a one-and-a-half storey red brick and vinyl clad structure with a side gable roof clad in asphalt shingles (see Image 3-Image 7). The foundation appears to be concrete. The north, three-bay façade features a projecting one-and-a-half storey attached one-car garage, the main entrance and a large window opening. The east and west elevations reflect an A-frame structure and include a porch below the projecting eaves. Two windows are included in the projecting dormer on the south elevation. A simple wood porch wraps around the dwelling (see Image 5).

5.5 Detached Garage Exterior

A detached garage is located immediately to the northwest of the dwelling. It is a five-bay structure clad in aluminum siding and constructed to a rectangular plan with a front gable roof (see Image 8-Image 10). The façade features a single garage door as does the east elevation in addition to two entrance doors.

5.6 Workshop Exterior

A large workshop is located in the north corner of the property adjacent to the west property line. It is constructed of concrete block to a rectangular plan and features aluminum siding in the gable ends (see Image 11-Image 12). Two sloped overhangs extending from the north and south elevations provide sheltered space. A single garage door is located in the west elevation.

5.7 Architectural Style/Design

The dwelling and outbuildings at 5150 Ninth Line are contemporary structures constructed of modern materials in the late 20th century and are not representative of formal architectural styles considered significant or rare provincially or in the City of Mississauga.

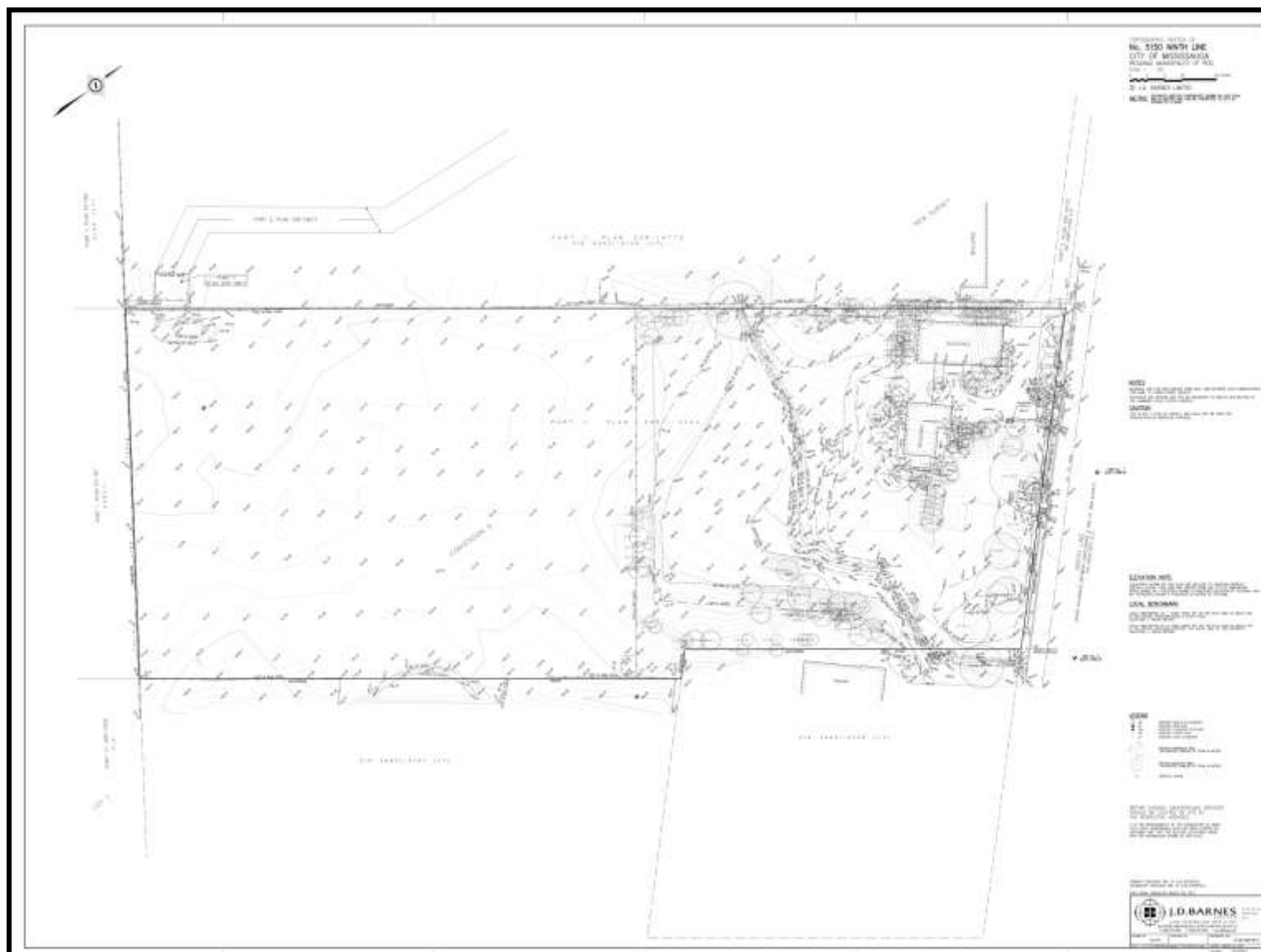


Figure 1: Topographic Sketch of 5150 Ninth Line
(J. D. Barnes Limited 2017a)

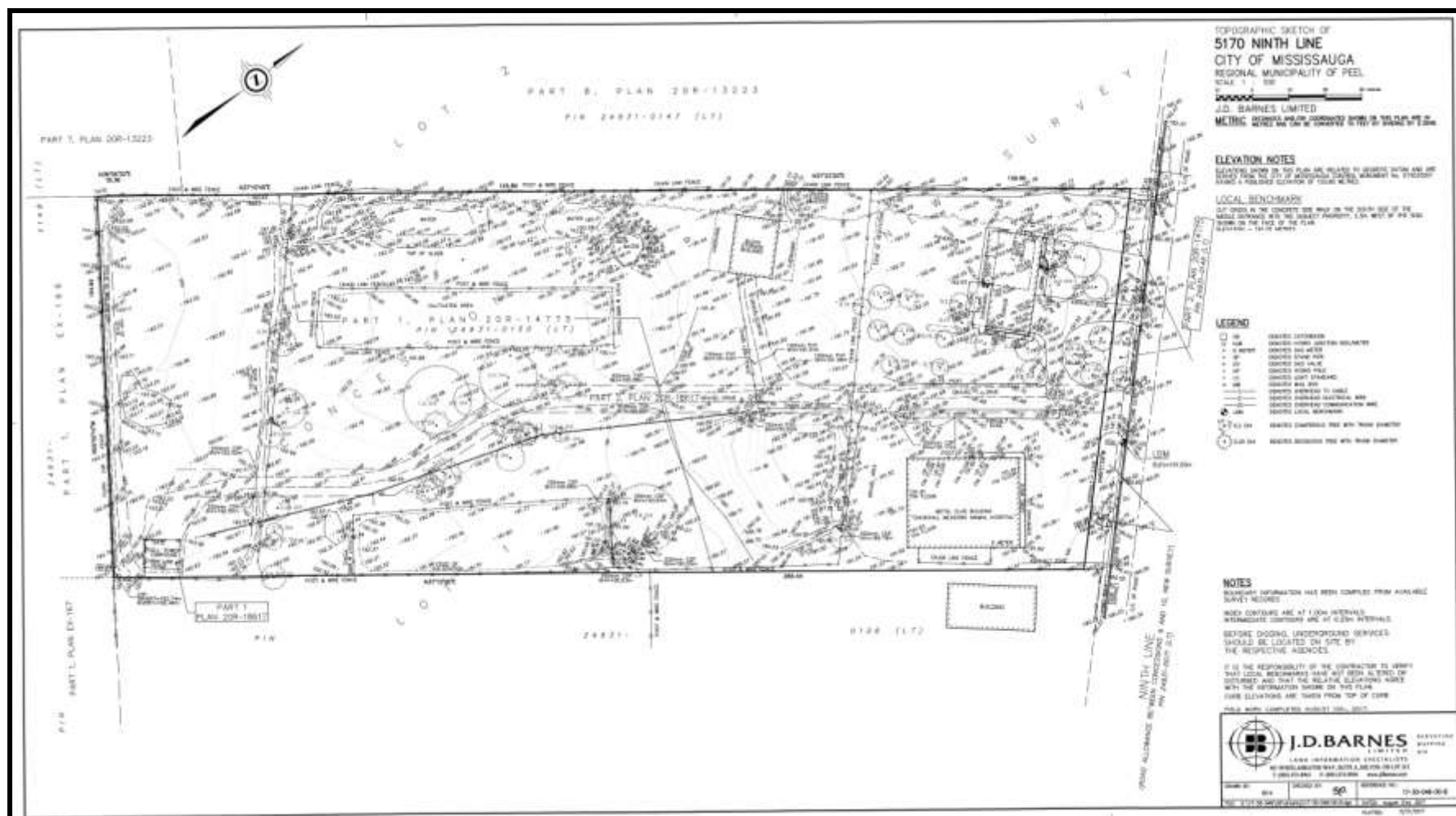


Figure 2: Topographic Sketch of 5170 Ninth Line
(J. D. Barnes Limited 2017b)

6.0 DESCRIPTION OF BUILDINGS AND STRUCTURES – SUBJECT PROPERTY AT 5104 NINTH LINE

The subject property at 5104 Ninth Line contains a house oriented towards Ninth Line located in the centre of the west side of the lot along with a large detached workshop located to the rear of the house at the southern property boundary.

6.1 Context

The land adjacent to 5104 Ninth Line, on the north side of the roadway, has been subdivided and contains contemporary suburban dwellings (see Image 35). The residential property at 5150 Ninth Line is located on the lot immediately to the west and a vacant lot is located to the east. Highway 407 is located to the south of the property.

6.2 Arrangement of Buildings and Structures

The property is accessed via a long driveway from Ninth Line. The dwelling is located on the west side of the lot with the façade oriented to the north, facing Ninth Line. Accessory structures include a large workshop, located to the south of the dwelling and a small shed located immediately to the west of the house.

6.3 Landscape Features

The dwelling at 5104 Ninth Line is set back from Ninth Line and is accessed via a long driveway that extends beyond the east side of the house to the workshop at the rear of the property. The dwelling is situated on a rise of land (see Image 22). The site's landscape includes remnant agricultural fields that were not under cultivation at the time of the site visit (see Image 21). Vegetation surrounding the dwelling was overgrown and formal plantings were not observed. A stand of mature trees flank the house to the east, west and south.

6.4 Dwelling Exterior

The dwelling is a one-and-a-half storey red brick structure with a side gable roof clad in asphalt shingles. The brick cladding is organized in a Common Bond pattern that is composed of stretchers with a header course every sixth course. The foundation construction material could not be determined due to overgrown vegetation. The north, three-bay façade features a central entryway with a single-pane transom and sidelights flanked by square window openings on either side (see Image 23). The brick voussoirs are obscured, or possibly removed on these openings. The roof line features overhanging eaves and a thick band of vinyl forming a frieze (see Image 24). The ghost of a former chimney is visible in the brick on the west elevation of the original portion of the house (see Image 28). The east and west elevations of the original structure contain two window openings per floor (see Image 25, Image 27). It appears that all original windows and doors are early 21st century vinyl replacements. The windows now appear to be casement. Some of the contemporary units are smaller than the original openings, resulting in the extra space above the windows having been covered with vinyl cladding (see Image 29). The addition of new windows has resulted in the covering or interruption of brick voussoirs over the window openings. This has altered the overall fenestration of the house.

Two, one-storey additions have been constructed extending from the south elevation, the first clad in painted wood board and batten and the rear addition clad in light red brick (see Image

26, Image 27). The additions both include a gable roof as well as square window and door openings.

The few remaining exterior details of the structure that are indicative of its early construction date include its red brick cladding, entryway location and some brick voussoirs (see Image 25, Image 29).

6.5 Garage Exterior

The large detached workshop located to the rear of the house is likely of late-20th or early 21st century construction (see Image 21-Image 24). It exhibits a utilitarian design built to a rectangular plan and clad in aluminum siding. The building features a side gable roof, two garage door access points in the north elevation as well as simple rectangular window and door openings.

6.6 Shed Exterior

A simple, utilitarian shed clad in aluminum siding with a sloped roof is situated on the west property line immediately adjacent to the dwelling (see Image 33).

6.7 Architectural Style/Design

The dwelling at 5104 Ninth Line is built in the Neoclassical architectural style (City of Mississauga 2012:4). The Neoclassical style typically describes “both residential and commercial buildings constructed on the traditional Georgian plan, but... [with] a new gaiety and light-heartedness. Detailing became more refined, delicate, and elegant” (Kyles 2017). When in vogue, Neoclassicism was thought to be an “advanced” style, as it was “popularly felt to be a fashionable refinement, and thus an improvement of the earlier Georgian look” (Fram 2003:24). Neoclassical architecture is similar to the Georgian style in symmetry but is often more delicate including detailing around door and window openings (UW 2009:5). The style was common between 1810-1850 (UW 2009:5; Kyles 2017).

The Neoclassical style was a direct result of the War of 1812 (Kyles 2017). Upper Canadians returning from the war were second or third generation Loyalists who had inherited land from their families and now had the opportunity to buy land and construct residences in Ontario. Pattern books from England illustrating Classical detailing were available and influenced many residential designs, notably introducing fine door and window ornaments (Kyles 2017).

The style is generally expressed in two or three storeys, with a three-bay façade, hip or end gable roofs with matching chimneys and a centred entrance decorated with pilasters and sidelights, transoms and/or fan lights around a single door (UW 2009:5). Many Neo-Classical buildings were built of brick and their detailing is always white (Kyles 2017). Exterior finishes and details can vary significantly across the province. Examples of Neoclassical architecture observed in the City of Mississauga represent modest, vernacular interpretations of the style likely designed by local builders.

The red brick cladding, entryway location and some brick voussoirs are the only remaining features reflective of a Neoclassical style dwelling. The dwelling has undergone extensive modifications including the replacement of windows and doors, as well as modification of their openings, the roof, chimney removal and rear additions. These modifications have impacted elements of the structure’s original design such that it is no longer a representative example of

the Neoclassical style. Constructed in 1848, the house is also not an early example of the style, which can date to 1810. Neoclassical style houses are found in the City of Mississauga, indicated by the style's inclusion in the City's architectural style guide, *Architectural Styles in Mississauga* (2012). Other more representative examples of the style are found in the City of Mississauga at 27 Mill Street and 1620 Orr Road (City of Mississauga 2012:4; see Image 36). These examples retain both their massing and fenestration as well as their detailing.

7.0 HERITAGE ASSESSMENT

Based on Section 3.0 and 5.0, it does not appear that 5150 Ninth Line possesses potential cultural heritage value or interest. An evaluation of the property at 5104 Ninth Line according to O. Reg. 9/06 can be found in Table 3 below.

Table 3: Evaluation of 5104 Ninth Line Using O. Reg. 9/06

Evaluation of Property			
Criteria	Description	✓	Value Statement(s)
Design or Physical Value	Is a rare, unique, representative or early example of a style, type, expression, material or construction method		The red brick cladding, entryway location and some brick voussoirs of 5104 Ninth Line are reflective of the Neoclassical architectural style. However, modifications have impacted the structure's architectural features such that it is no longer a representative example of the Neoclassical style. Other more representative examples of the style are found in the City of Mississauga at 27 Mill Street and 1620 Orr Road. These examples retain both their massing and fenestration as well as their detailing. Constructed in 1848, the house is also not an early example of the style, which can date to 1810.
	Displays a high degree of craftsmanship or artistic value		5104 Ninth Line does not display a high degree of craftsmanship or artistic value.
	Displays a high degree of technical or scientific achievement		5104 Ninth Line does not display a high degree of technical or scientific achievement.
Historical or Associative Value	Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community		5104 Ninth Line is not directly associated with a theme, event, belief, person, activity, organization or institution that is significant to a community. The O'Haras built the farmhouse, established the farmstead and lived on the property for 100 years before selling it. It was then severed and subdivided in the mid-1900s. Although the property is associated with the O'Haras, an early farming family, research conducted did not suggest any notable contributions to the community made by the individuals who lived on this property.
	Yields or has the potential to yield information that contributes to the understanding of a community or culture		5104 Ninth Line does not yield information that contributes to the understanding of a community or culture.
	Demonstrates or reflects the work or ideas of an architect, builder, artist, designer or theorist who is significant to a community		5104 Ninth Line does not demonstrate or reflect the work or ideas of an architect, builder, artist, designer or theorist who is significant to a community. The research conducted did not locate an individual or firm associated with the construction of the building.

Contextual Value	Is important in defining, maintaining or supporting the character of an area	5104 Ninth Line is not important in defining, maintaining or supporting the character of an area. The rural character of the area has been diminished over time through the introduction of contemporary suburban development, the construction of Highway 407 and the ongoing proposed development of the Ninth Line Lands.
	Is physically, functionally, visually or historically linked to its surroundings	5104 Ninth Line is not physically, functionally, visually or historically linked to its surroundings. The adjacent property at 5150 Ninth Line is contemporary and buildings to the east have been demolished. Contemporary suburban development is located to the north and Highway 407 is located to the south.
	Is a landmark	5104 Ninth Line is not a landmark.

5104 Ninth Line does not meet the criteria of O. Reg. 9/06. As such, it does not merit designation under Part IV of the *Ontario Heritage Act*.

It should be noted that this evaluation was completed without Permission to Enter the property and without an interior investigation. It is possible that a closer examination of the building may result in a revised evaluation.

8.0 PROPOSED DEVELOPMENT

8.1 Description of Proposed Development

The materials provided by Mattamy (5150 Ninth Line) Ltd. detailing the South Ninth Line development included a site survey plan (see Figure 1-Figure 2), a topographic map showing existing building locations (see Map 5), the site plan (see Figure 3), preliminary building elevations for each proposed product type (see Appendix C, Figure 8-Figure 39), and a plan and section indicating the distance between the development and the property at 5104 Ninth Line (see Figure 6-Figure 7). The developable area is approximately 3.72 ha (excluding the transit corridor, 14 m Ministry of Transportation setback, 10 m buffer and public road) and the site density is proposed at 47.8 units per hectare with 42 visitor parking spaces (Mattamy 2020b). The concept plan provided by Mattamy (5150 Ninth Line) Ltd. describes the proposed development to consist of 178 units (all attached product – dual frontage towns, front load towns, and back-to-back towns (village homes)). Private amenity space is proposed in the southeast quadrant of the site, totalling 668 m sq. All roads are planned to be condo with the exception of the 20 m L-shaped right-of-way (Street “A”) that connects Ninth Line and the development to the east (“Your Home Developments”). Most of the units will be condo with the exception of those fronting onto the public road (Street “A”). The 20 m public road is shown to align just south of the subject property on the concept plan, following the property line (see Figure 3).

The distance from the development (rear of the “front load towns”) to the property line of 5104 Ninth Line includes a proposed 7.3 m wide rear yard area (see Figure 6-Figure 7) (NAK 2020a). The total distance from the property line to the subject property is 4.3 m, representing a total separation of 11.6 m between the new development and 5104 Ninth Line (NAK 2020a). A privacy fence 1.8 m in height is proposed to delineate the property boundary between the two properties (see Figure 7).

8.2 Purpose and Rationale for Proposed Development

The materials that detail the proposed South Ninth Line development outline the construction of medium-density residential buildings with dual frontage town (17 units, see Appendix C, Figure 8-Figure 12), front load town (93 units, see Appendix C, Figure 13-Figure 26) and back-to-back town (village home) (68 units, see Appendix C, Figure 27-Figure 39) condominiums located along the south side of Ninth Line. Upon completion of the development, it will result in a “mix of housing to accommodate residents at all stages in life” (Mattamy 2018). Section 8.3 provides the land use planning context that offers a further understanding of the rationale for the proposed project.

8.3 Land Use Planning Context

The property located at 5104 Ninth Line was originally located within the boundaries of the Town of Milton. On January 1, 2010 lands situated east of Highway 407, including the subject property, were annexed to the City of Mississauga (City of Mississauga 2009).

The City of Mississauga’s Official Plan notes the responsibility of the City and Province to conserve and protect cultural heritage resources (City of Mississauga 2019a:7-7). However, Section 7.4.1.12, states that, “The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction” (City of Mississauga 2019a:7-8).

The Ninth Line Neighbourhood has been identified by the City as “mostly underdeveloped” (City of Mississauga 2017b:1). The City of Mississauga has a vision for the Ninth Line Neighbourhood to become “sustainable, transit-supportive, connected and distinct” (City of Mississauga 2017b:3). Extensive public and stakeholder engagement were involved in the creation of this vision and urban design guidelines for Ninth Line.

Under the City of Mississauga’s Official Plan, the area is designated as a Special Study Area (City of Mississauga 2019a). The City of Mississauga’s *Shaping Ninth Line Urban Design Guidelines* (2017b) calls for Residential Medium Density of three to six storeys for the study area (City of Mississauga 2017b:7-8; see Figure 4, Figure 5). The new streetscape, as per the *Guidelines*, would include a range of housing types. This may include apartments and condominiums, as well as townhouse forms (City of Mississauga 2017b:27). The proponent notes that their concept is in keeping with the *Guidelines*, and that this vision would protect the natural heritage system and stable neighbourhoods to the east, while directing compact mixed-use development where it will be transit supportive (Mattamy 2018).



Figure 3: Site Plan for 5150 Ninth Line
(Mattamy 2020a)

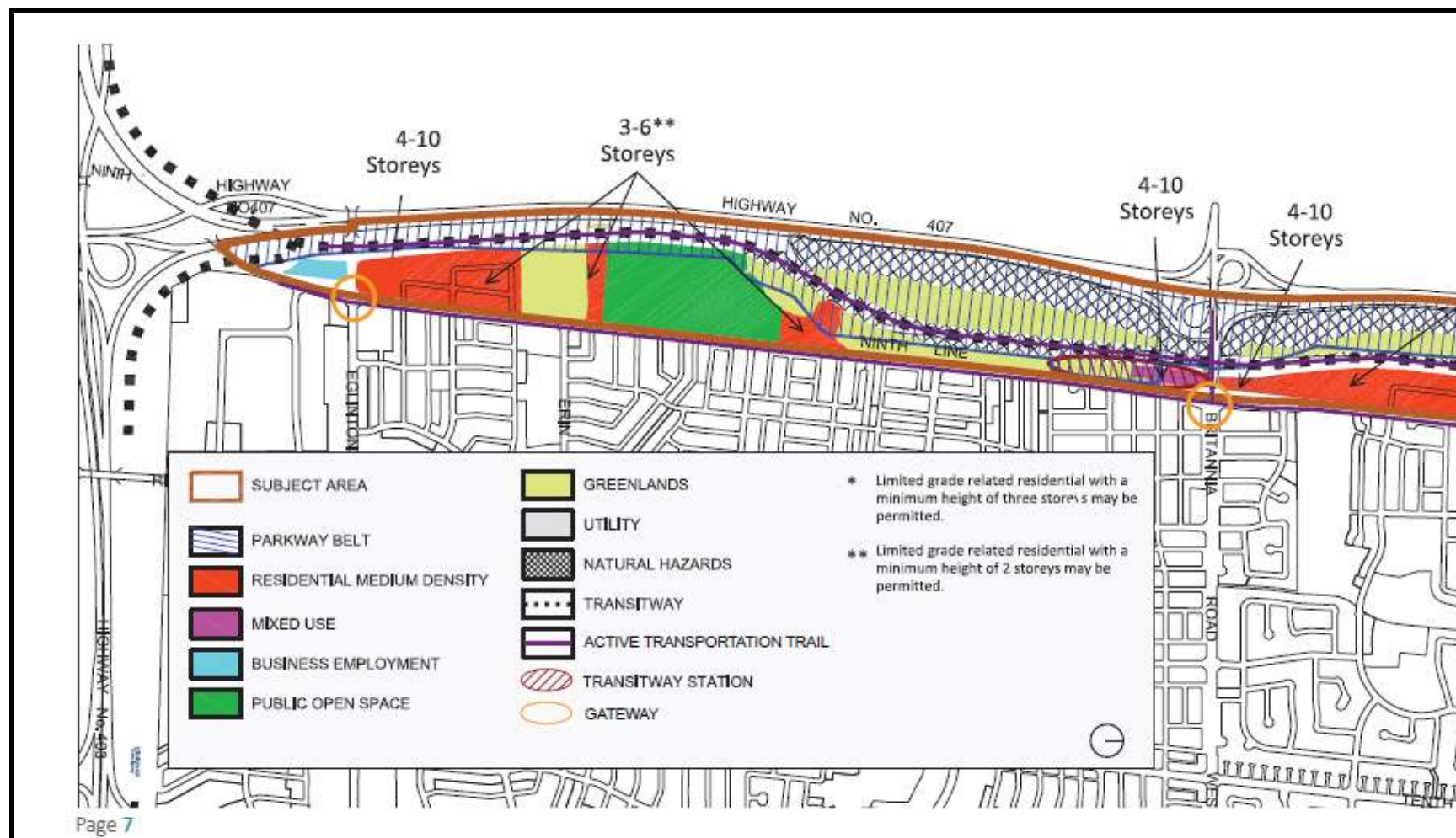


Figure 4: Concept from City of Mississauga's *Shaping Ninth Line Urban Design Guidelines*
(City of Mississauga 2017b:7)



Figure 5: Private Realm Design Guidelines from City of Mississauga's *Shaping Ninth Line Urban Design Guidelines* (City of Mississauga 2017b:2)

9.0 ANALYSIS OF POTENTIAL IMPACTS

The proposed development entails the demolition of the existing dwelling and outbuildings at 5150 Ninth Line and the construction of approximately 178 condominium units in medium-density residential buildings to be located along the south side of Ninth Line. The proposed buildings are all attached homes including dual frontage towns, front load towns, and back-to-back townhouses (village homes). **The adjacent subject property at 5104 Ninth Line will be retained *in situ*.** The following analysis of project impacts is based upon the drawings and development description provided by Mattamy (5150 Ninth Line) Ltd. as outlined in Section 8.0. On the following page, Map 5 overlays the concept plan for the proposed development on a current aerial image to provide context to the assessment of impacts resulting from the development on the landscape and extant structures in the study area. Figure 6 and Figure 7 further illustrate the proximity of the proposed development to the subject property.

Based on Section 3.0 and 5.0, it does not appear that 5150 Ninth Line possesses potential cultural heritage value or interest. Although the property at 5104 Ninth Line was not found to meet the criteria of O. Reg. 9/06, it is an historic farmhouse, as such development considerations sympathetic to the existing historic fabric can be suggested. The best mitigation option for historic properties is generally retention. Retention allows cultural heritage resources to be retained in their original location and encourages adaptive re-use and sympathetic or compatible development (i.e., mass, setback, setting and materials). **The adjacent property at 5104 Ninth Line will be retained *in situ*, as such no direct impacts are anticipated.**

With the implementation of the development's land use concept and plan, and the destruction of the extant building at 5150 Ninth Line, **the property would no longer be a remnant agricultural landscape and the adjacent subject property's context would be impacted.** However, due to the presence of Highway 407 to the rear (south) of the property and a suburban subdivision to the north, the lands adjacent to 5150 and 5104 Ninth Line are no longer within an agricultural context. As a result, both properties have lost any contextual value they may have possessed in the past.

The current design concept does not propose a significant buffer between the rear of the planned residential units ("front load towns") and the adjacent property at 5104 Ninth Line. The extant and proposed structure will be separated by 11.6 m, including a rear yard distance of 7.3 m and 4.3 m from the property line to the subject property. **Although a limited buffer is provided, no direct impacts are anticipated to affect 5104 Ninth Line.**

Indirect impacts such as shadows cast by the rear lane townhouses on 5104 Ninth Line were evaluated through a revised Shadow Impact Study prepared by NAK design strategies in May 2020. Several shadow models were illustrated for time increments (local time EDT) on June 21 (5:38 to 21:04), September 21 (7:05 to 19:17) and December 21 (7:48 to 16:46) and were used to assess incremental shadow impacts. The diagrams demonstrate that most shadows will remain within the project location while shifting throughout the day. As a result, the Shadow Impact Study found that the proposed front load towns will have minimal impacts on the subject property, with shadows cast on the dwelling by 19:21 on June 21 and by 17:47 on September 21 (NAK 2020b). No shadow impacts were modeled in December. It should be noted that there are currently mature trees along the lot line casting shadows on the house. It is possible that no new shadows or less shadows will be cast if the mature vegetation is removed.

Upon review of the preliminary elevation drawings circulated by Mattamy (5150 Ninth Line) Ltd. for the proposed townhouse units, visual indirect impacts to the adjacent property at 5104 Ninth

Line are anticipated (Q4A 2020). The architectural design, construction materials and colour palate of the townhouses are not reflective of, or sympathetic to, the design of the neighbouring dwelling at 5104 Ninth Line.



Map 5: Overlay of Site Plan for 5150 Ninth Line on Current Aerial Imagery
(Produced by ARA under licence using ArcGIS® software by Esri, © Esri)

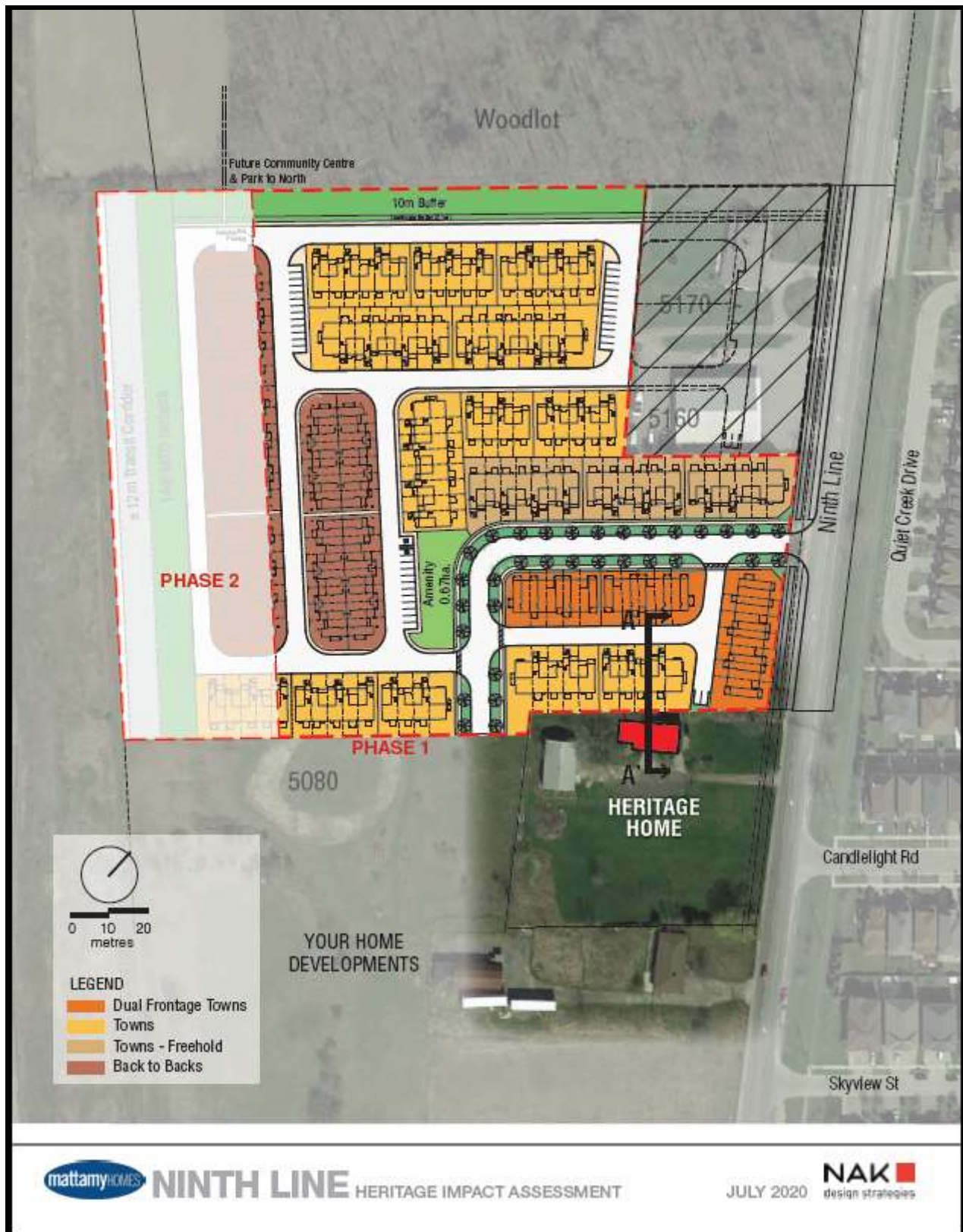


Figure 6: Proximity of Proposed Development to 5104 Ninth Line
(NAK 2020a)

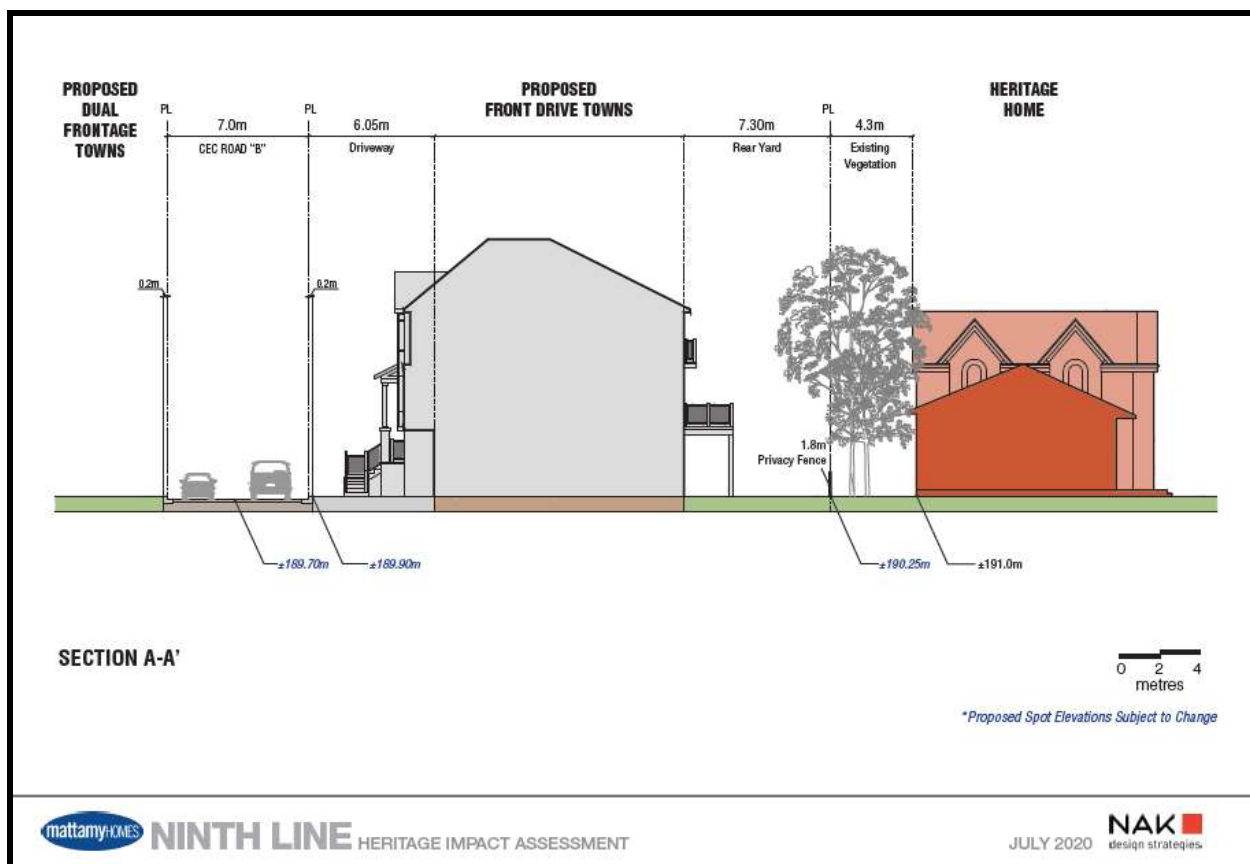


Figure 7: Section Showing Proximity of Proposed Development to 5104 Ninth Line (NAK 2020a)

10.0 ASSESEMENT OF MITIGATION MEASURES

Mattamy (5150 Ninth Line) Ltd. has examined different development alternatives and mitigation measures as outlined below. These alternatives and mitigation measures address the approaches outlined in *InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (MLC 2006b) and the City of Mississauga *Heritage Impact Assessment Terms of Reference* (2017a). The feasibility of each of the mitigation suggestions is described based on materials provided by the client and considers the character of the subject property as outlined in Section 7.0. **Due to the adjacency of the subject property to the project location, mitigation measures focus on ensuring that the concept plan and townhouse designs for the proposed development are visually sympathetic with the property at 5104 Ninth Line.**

10.1 Previous Design Alternative

The previous concept that ARA evaluated (dated May 10, 2019 and submitted to the City of Mississauga) included a more significant buffer between the project location and the property at 5104 Ninth Line. The distance from the front of the proposed “rear lane towns” to the subject property was approximately 18 m, which included a 2.8 m front yard, an 11 m wide private road with a 2.6 m wide lay-by parking area, a 2 m sidewalk and a 4.2 m landscape buffer (W. Coutinho, Personal Communication Oct. 28, 2019). Although this earlier concept provided greater building separation, it proposed a local traffic route within 4.2 m of the property line (W. Coutinho, Personal Communication Oct. 28, 2019).

Due to additional property constraints, the concept plan was revised, removing the open space between the project location and the subject property and siting a row of front load towns directly adjacent to the dwelling at 5104 Ninth Line. Mattamy (5150 Ninth Line) Ltd. described that their rationale for revising the concept plan was primarily driven by two factors:

“First, due to intersection spacing requirements, Mattamy was advised to move the intersection of Street “A” and Ninth Line north so not to conflict with other Ninth Line intersections. By moving the intersection north Mattamy needed to site product that would back onto the heritage property.

The second issue was that the City of Mississauga has required that Street “A” be a public right-of-way. This requirement reflects the City’s desire for better traffic and possible transit through Mattamy’s lands and the parcels to the south. Due to right-of-way widths, spacing and product layout, the current design resulted in an enclave of approximately 23 townhomes to be located adjacent to the heritage property at 5104 Ninth Line” (C. Scarlett, Personal Communication October 22, 2019).

The second concept plan that ARA evaluated in the scoped HIA (dated October 23, 2019) included a narrower buffer between the project location and the property at 5104 Ninth Line. On the new July 2020 site plan, the distance from the development (rear of the “front load towns”) to the property line of 5104 Ninth Line has enlarged the rear yard area slightly from 5.8 m to 7.3 m (see Figure 6-Figure 7) (NAK 2020a). The total distance from the property line to the subject property remains at 4.3 m, representing a total separation of 11.6 m and an increase of 1.5 m between the new development and 5104 Ninth Line (NAK 2020a). A privacy fence 1.8 m in height is still proposed to delineate the property boundary between the two properties (see Figure 7). This increase in distance further mitigated the already minor evening shadows modeled to be cast on the subject property as a result of the new development (see Section 9.0).

In addition to the increased setback adjacent to the subject property, the revised July 2020 site plan increased the unit count from 119 to 171 and; changed visitor parking spaces and amenity area calculations; increased visitor parking spaces from 31 to 42; added units and driveways on the lots as well as block numbers and road labels; slightly revised the design of product types; and realigned the public street slightly further south to avoid the subject property and align with the proposed roadway in the development (“Your Home Developments”) planned to the east (Mattamy 2020b).

10.2 Buffers

The creation of buffer zones is noted as a method of minimizing or avoiding negative impacts to a property and should be incorporated into the concept plan for the South Ninth Line development (MLC 2006b:4). Shifting the placement of amenity space from the centre of the development to the east side of the lot buffering the property at 5104 Ninth Line was suggested by ARA. Mattamy (5150 Ninth Line) Ltd. indicated that this was not feasible, noting that, “Due to the size and shape of the site, there are many constraints...The amenity area is placed centrally so it’s easily accessible by all residents” (D. Hegarty, Personal Communication July 29, 2019). As a result, the current July 2020 site plan has incorporated amenity space in the southeast quadrant of the proposed development. As the provision of a buffer of open space between properties was not considered a viable design alternative, the following considerations are suggested to ensure that the development is designed in a manner that is visually sympathetic with the subject property at 5104 Ninth Line.

To ensure the adequate screening of the property at 5104 Ninth Line based on the current concept plan, it is recommended that the proposed options presented by Mattamy (5150 Ninth Line) Ltd., such as the erection of a wood privacy fence, the conservation of extant mature trees, and the planting of rows of vegetation be implemented along the east side of the development, adjacent to the subject property. The introduction of additional screening may enhance the views from the historic property to the new development, thus mitigating a portion of potential visual impacts. A number of mature trees are currently growing along the north and east property line of the project location and their retention and incorporation into the development's concept plan is recommended to buffer the development from 5104 Ninth Line as well as to maintain a vestige of the formerly rural context of the study area. To ensure the adequate screening of the property at 5104 Ninth Line, a landscape architect or arborist should be retained to investigate the feasibility of conserving mature trees along the east side of the development, directly adjacent to the subject property.

10.3 Architectural Design Elements

The current preliminary elevations for the South Ninth Line development indicate that front load towns (see Appendix C, Figure 13-Figure 26) will be constructed immediately adjacent to the subject property, with their rear elevations oriented to the east facing the extant dwelling (Q4A 2020). Slight modifications to the designs of all of the proposed product types, specifically the rear elevation of the front load towns (see Figure 14, Figure 17, Figure 20, Figure 23), is recommended to draw from and reflect the proportions, materials and design elements reflective of 5104 Ninth Line, notably the brick cladding, brick voussoirs, medium pitched side gable roof, square window and door openings, and centrally placed front entrance with sidelights and/or transom.

10.4 Colour Palate

To reflect the adjacent structure at 5104 Ninth Line, red brick and white design elements should be considered for incorporation into the townhouse designs.

10.5 Construction Fencing

During construction, it is recommended that construction fencing between the property at 5104 Ninth Line and the project location be erected at a sufficient distance to ensure that there will be no direct or indirect impacts to the building. The fencing should be maintained throughout the duration of the construction period.

11.0 SUMMARY STATEMENT AND CONSERVATION RECOMMENDATIONS

Research, consultation and field work completed for this report found that 5150 Ninth Line did not possess potential cultural heritage value or interest. 5104 Ninth Line is a listed property on the *City of Mississauga's Municipal Register of Property of Cultural Heritage Value or Interest*. Following consultation, historical research, field survey and evaluation against the criteria set out in O. Reg. 9/06 of the *OHA*, the property at 5104 Ninth Line was not found to possess CHVI. Although the property was not found to meet the criteria of O. Reg. 9/06, it is an historic farmhouse, as such development considerations sympathetic to the existing historic fabric have been suggested.

As outlined in Section 8.0, the proposed development will have indirect impacts on the adjacent heritage property. The development entails the demolition and removal of the existing dwelling and outbuildings at 5150 Ninth Line and the construction of approximately 178 condominium units in medium-density residential buildings to be located along the south side of Ninth Line. The proposed buildings are all attached homes including dual frontage towns, front load towns, and back-to-back townhouses (village homes).

Mitigation measures have been suggested for the development at 5150 Ninth Line that consider the existing historic fabric of the adjacent property at 5104 Ninth Line:

- That slight modifications to the designs of all of the proposed product types be considered, specifically the rear elevation of the front load towns (proposed directly adjacent to the subject property), to draw from and reflect the proportions, materials and design elements reflective of 5104 Ninth Line, notably the red brick cladding, brick voussoirs, medium pitched side gable roof, square window and door openings, and centrally placed front entrance with sidelights and/or transom.
- That to better reflect the adjacent property at 5104 Ninth Line, red brick and white design elements should be considered in the colour palate of each proposed product type.
- That during construction, it is recommended that construction fencing be erected between the property at 5104 Ninth Line and the project location at a sufficient distance to ensure that there will be no direct or indirect impacts to the building. The fencing should be maintained throughout the duration of the construction period.
- That to ensure the adequate screening of the property at 5104 Ninth Line, it is recommended that the proposed options presented by Mattamy (5150 Ninth Line) Ltd., including the erection of a wood privacy fence, the conservation of extant mature trees on the subject property and the planting of rows of vegetation be implemented along the east side of the development, directly adjacent to 5104 Ninth Line.
- That a landscape architect or arborist should be retained to investigate the feasibility of conserving mature trees along the east side of the development, directly adjacent to the subject property to further ensure adequate screening.

The 2020 *Provincial Policy Statement* notes that CHVI is bestowed upon cultural heritage resources by communities (MMAH 2020). Accordingly, the system by which heritage is governed in this province places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those deliberations.

12.0 MANDATORY STATEMENT

Based on the results of consultation, historical research, field survey and assessment of the study area, 5104 Ninth Line was evaluated against the criteria in O. Reg. 9/06 and was not found to meet any of the criteria.

12.1 Design or Physical Value

The dwelling at 5104 Ninth Line was built in the Neoclassical style (City of Mississauga 2012:4). Constructed in 1848, the structure is not an early example of the style, which was common in the period between 1810-1850. Neoclassical architecture typically describes “both residential and commercial buildings constructed on the traditional Georgian plan, but ...[with] a new gaiety and light-heartedness. Detailing became more refined, delicate, and elegant” (Kyles 2017).

When in vogue, Neoclassicism was thought to be an “advanced” style, as it was “popularly felt to be a fashionable refinement, and thus an improvement of the earlier Georgian look” (Fram 2003:24). Neoclassical architecture is similar to the Georgian style in symmetry but is often more delicate including detailing around door and window openings (UW 2009:5). The red brick cladding, entryway location and some brick voussoirs of 5104 Ninth Line are reflective of the Neoclassical architectural style. The dwelling has undergone extensive alterations including the replacement of windows (including the modification of their openings), doors, the roof, chimney removal and rear additions. These modifications have impacted elements of the structure’s original design such that it is no longer a representative example of the Neoclassical style.

12.2 Historical or Associative Value

In 1830, the Crown Patent for the east half of Lot 9, Concession 1 originally in the Township of Trafalgar, Halton County went to Charles O’Hara, who then sold the property to his son, Charles O’Hara Jr. The O’Hara family were Irish Catholic farmers that formed part of an Irish Catholic settlement in the area. According to the *Census of 1861*, Charles O’Hara Jr. and his wife Mary lived in a one-and-a-half storey brick house, the subject building, at 5104 Ninth Line with their nine children. After O’Hara Jr.’s death, his wife Mary and son William owned and occupied the property until 1875 when Mary sold the land to her youngest sons, William and Michael. According to the 1901 census, Michael O’Hara and his wife Catherine lived on the property in a nine-room brick house until his death in 1928. Catherine continued to live on the property until her passing in 1948 after which the property changed hands many times until it was sold to Robert Turnbull in 1994. Although the subject property is associated with the O’Haras, a long-time farming family in the area, currently available resources do not suggest any notable contributions to the community made by members of the family.

12.3 Contextual Value

The house, accessed via a driveway, is set back from Ninth Line on a rise of land. While the dwelling was originally part of a farming complex, the associated barn and other farm structures have been removed. The rural character of the area has been diminished overtime with the introduction of contemporary suburban development, Highway 407 and the ongoing proposed development of the Ninth Line Lands.

12.4 Conclusion

In summary, alterations made to the dwelling at 5104 Ninth Line have impacted its architectural elements such that it is no longer a representative example of the Neoclassical style. In addition, it is not an early example of the style. The property is associated primarily with the O’Haras, a long-time farming family in the area. Research conducted did not suggest any notable contributions to the community made by the individuals who lived on the property. The contextual value of the property has been diminished through adjacent and proposed contemporary suburban development. As such, the property does not meet any of the criteria included in O. Reg. 9/06 and does not merit designation under Part IV of the *Ontario Heritage Act*.

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Appendix A: 5150 and 5104 Ninth Line Images





Image 1: Contextual View to 5150 Ninth Line from Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 2: Contextual View to 5150 Ninth Line from the South
(Photo taken on July 29, 2019; Facing North)



Image 3: Façade of 5150 Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 4: Northeast corner of 5150 Ninth Line
(Photo taken on July 29, 2019; Facing Southwest)



Image 5: Southeast corner of 5150 Ninth Line
(Photo taken on July 29, 2019; Facing West)



Image 6: South Elevation of 5150 Ninth Line
(Photo taken on July 29, 2019; Facing North)



Image 7: Southwest corner of 5150 Ninth Line
(Photo taken on July 29, 2019; Facing Northeast)



Image 8: Façade of Garage at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 9: Northeast Corner of Garage at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing East)



Image 10: Northwest Corner of Garage at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing Southeast)



Image 11: Northeast Corner of Workshop at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing West)



Image 12: East Elevation of Workshop at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing West)



Image 13: Mature Trees on North End of Property at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing Northwest)



Image 14: Mature Trees on North End of Property at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing Southeast)



Image 15: Contextual View of Agricultural Portion of Property Adjacent to Residence at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing Southeast)



Image 16: Contextual View of Agricultural Portion of Property Adjacent to Residence at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing Southwest)



Image 17: Contextual View of South Portion of Property at 5150 Ninth Line Bound by Highway 407
(Photo taken on July 29, 2019; Facing Southeast)



Image 18: Contextual View of South Portion of Property at 5150 Ninth Line Looking Towards Cell Phone Tower
(Photo taken on July 29, 2019; Facing Southwest)



Image 19: Access Road to Cell Phone Tower Running North-South on West Side of Property at 5150 Ninth Line
(Photo taken on July 29, 2019; Facing Southwest)



Image 20: Contextual View to 5104 Ninth Line from Ninth Line
(Photo taken on July 29, 2019; Facing West)



Image 21: Contextual View to 5104 Ninth Line from 5150 Ninth Line
(Photo taken on July 29, 2019; Facing East)



Image 22: Contextual View of 5104 Ninth Line from Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 23: Façade of 5104 Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 24: Detailed View of Cladding, Window and Roofline, 5104 Ninth Line
(Photo taken on July 29, 2019; Facing Southeast)



Image 25: Northeast Corner of 5104 Ninth Line
(Photo taken on July 29, 2019; Facing West)



Image 26: South Elevation of 5104 Ninth Line
(Photo taken on July 29, 2019; Facing North)



Image 27: West Elevation of 5104 Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 28: Detail of Chimney Ghost, 5104 Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 29: Detail of first storey window opening
(Photo taken on July 29, 2019; Facing South)



Image 30: Northwest Corner of 5104 Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 31: Northeast Corner of Workshop at 5104 Ninth Line
(Photo taken on July 29, 2019; Facing West)



Image 32: West Elevation of Workshop at 5104 Ninth Line
(Photo taken on July 29, 2019; Facing East)



Image 33: Northwest Corner of Shed at 5104 Ninth Line
(Photo taken on July 29, 2019; Facing South)



Image 34: Contextual View of Study Area Along Ninth Line
(Photo taken on July 29, 2019; Facing Northwest)



**Image 35: Contextual View of Suburban Residential Development North of Study Area
Across Ninth Line**
(Photo taken on July 29, 2019; Facing North)

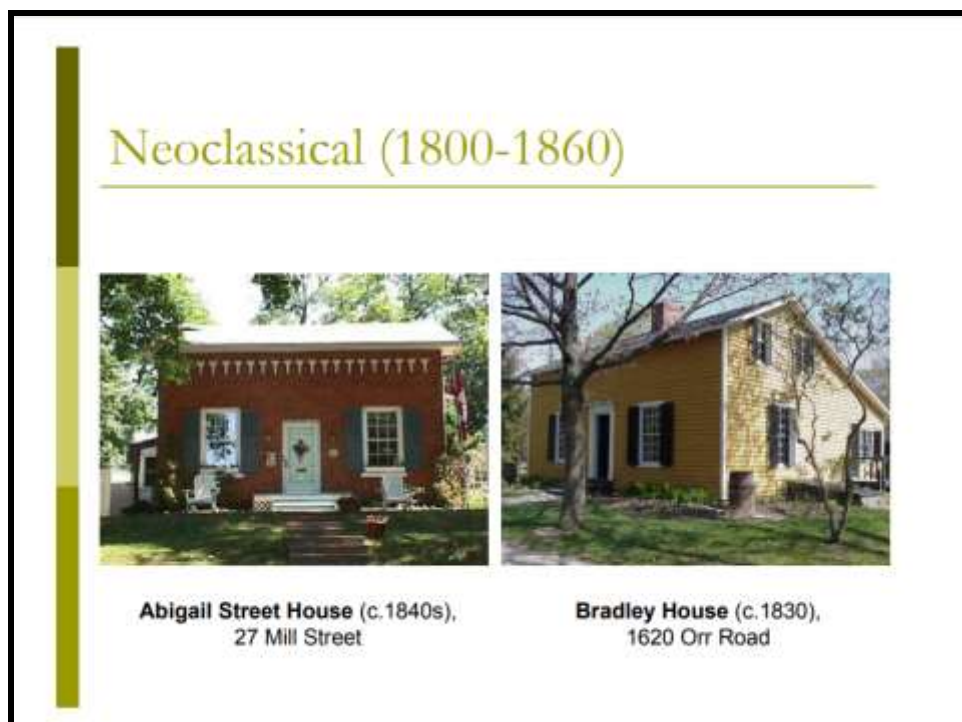


Image 36: Examples of Neoclassical Architectural Style in City of Mississauga
(City of Mississauga 2012:4)

Appendix B: Historical Photos, Drawings and Other Archival Material

**Table 4: Ownership History of 5104 Ninth Line
(LRO 20)**

Instrument Number	Instrument	Date	Grantor	Grantee	Comments
	Patent	30 Apr 1830	Crown	Charles O'Hara	E ½, 100 acres
662	B&S	13 Jul 1830	Charles O'Hara Sr.	Charles O'Hara Jr.	E ½, 100 acres
813	B&S	24 Dec 1861	Heirs of Charles O'Hara	Mary O'Hara	E ½, 100 acres
3356	B&S	15 May 1875	Mary O'Hara	Michael and William O'Hara	E ½, 100 acres
3941	Quit Claim	15 Nov 1880	William O'Hara	Michael O'Hara	E ½, 100 acres
4024	B&S	12 Mar 1884	Michael O'Hara	William O'Hara	E ½, 100 acres
4415	B&S	26 Aug 1885	William O'Hara	Michael O'Hara	E ½, 100 acres
3343	Probate of Will	2 Aug 1928	Michael O'Hara		E ½, 100 acres
22500	Grant	9 Jul 1946	Executors of Michael O'Hara	[Toyne] Grice	E ½, 100 acres
28611	Grant	4 Aug 1953	Toyne Grice	Director of the Veteran's Land Act	
133411	Amalgamation	18 Oct 1962	Re: Oakville – Trafalgar		
370555	Grant	1 Aug 1973	Director of the Veteran's Land Act	Allan and Catherine St. John	
370556	Grant	13 Aug 1973	Allan and Catherine St. John	Joseph and Nicole Burak	Pt. E ½
541656	Deed	15 Jun 1981	Joseph and Nicole Burak	Michael and Renata Pustina, Ivan and Zlata Rozic; joint tenants	Pt. E ½
639747	Grant	29 Apr 1986	Michael and Renata Pustina, Ivan and Zlata Rozic	Robert and Deborah Turnbull	
828362	Transfer	9 Sep 1994	Deborah and Robert Turnbull	Robert Turnbull	Pt. E ½

**Table 5: Ownership History of 5150 Ninth Line
(LRO 20)**

Instrument Number	Instrument	Date	Grantor	Grantee	Comments
	Patent	30 Apr 1820	Crown	Charles O'Hara	E ½, 100 acres
662	B&S	13 Jul 1830	Charles O'Hara Sr.	Charles O'Hara Jr.	E ½, 100 acres
813	B&S	24 Dec 1861	Heirs of Charles O'Hara	Mary O'Hara	E ½, 100 acres
3356	B&S	15 May 1875	Mary O'Hara	Michael and William O'Hara	E ½, 100 acres
3941	Quit Claim	15 Nov 1880	William O'Hara	Michael O'Hara	E ½, 100 acres
4024	B&S	12 Mar 1884	Michael O'Hara	William O'Hara	E ½, 100 acres
4415	B&S	26 Aug 1885	William O'Hara	Michael O'Hara	E ½, 100 acres
3343	Probate of Will	2 Aug 1928	Michael O'Hara	E ½, 100 acres	
22500	Grant	9 Jul 1946	Executors of Michael O'Hara	[Toyne] Grice	E ½, 100 acres
28227	Grant	8 Jun 1953	Toyne Grice	Gabor Szilagyi	Part E ½
133411	Amalgamation	18 Oct 1962	Re: Oakville – Trafalgar		
367648	Grant to Uses	10 Jul 1973	Gabor Szilagyi	Gary Rynsoever	Grant to uses

Appendix C: Preliminary Building Elevations for Each Product Type



Figure 8: Dual Front Towns (Modern), 4 Unit Block – Front Elevation
(Q4A Architects 2020a)



Figure 9: Dual Front Towns (Modern), 4 Unit Block – Rear Elevation
(Q4A Architects 2020a)



Figure 10: Dual Front Towns (Modern), 4 Unit Block – Side Elevations
(Q4A Architects 2020a)

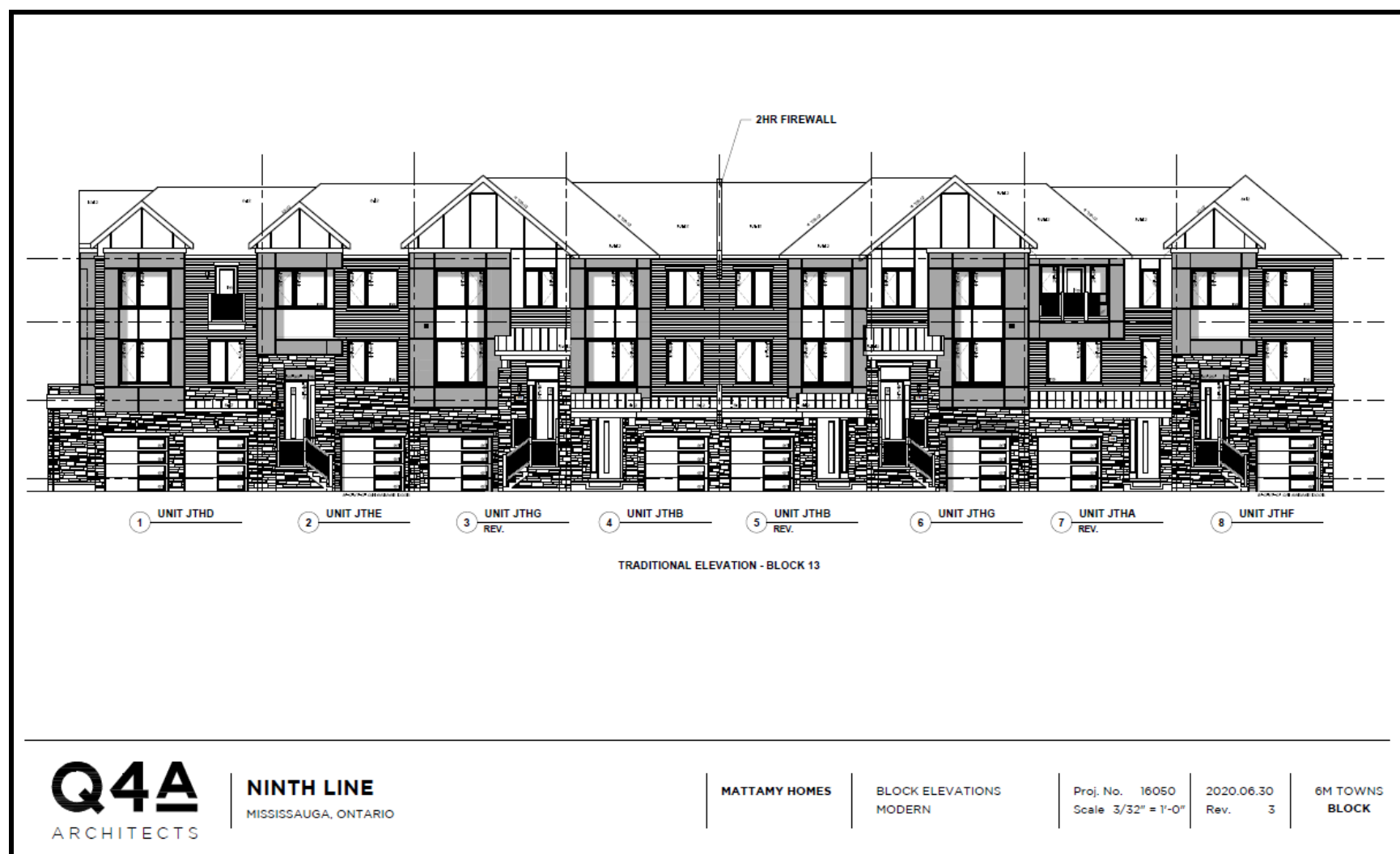


Figure 11: Dual Front Towns (Modern), Block 13 – Front Elevation
(Q4A Architects 2020b)

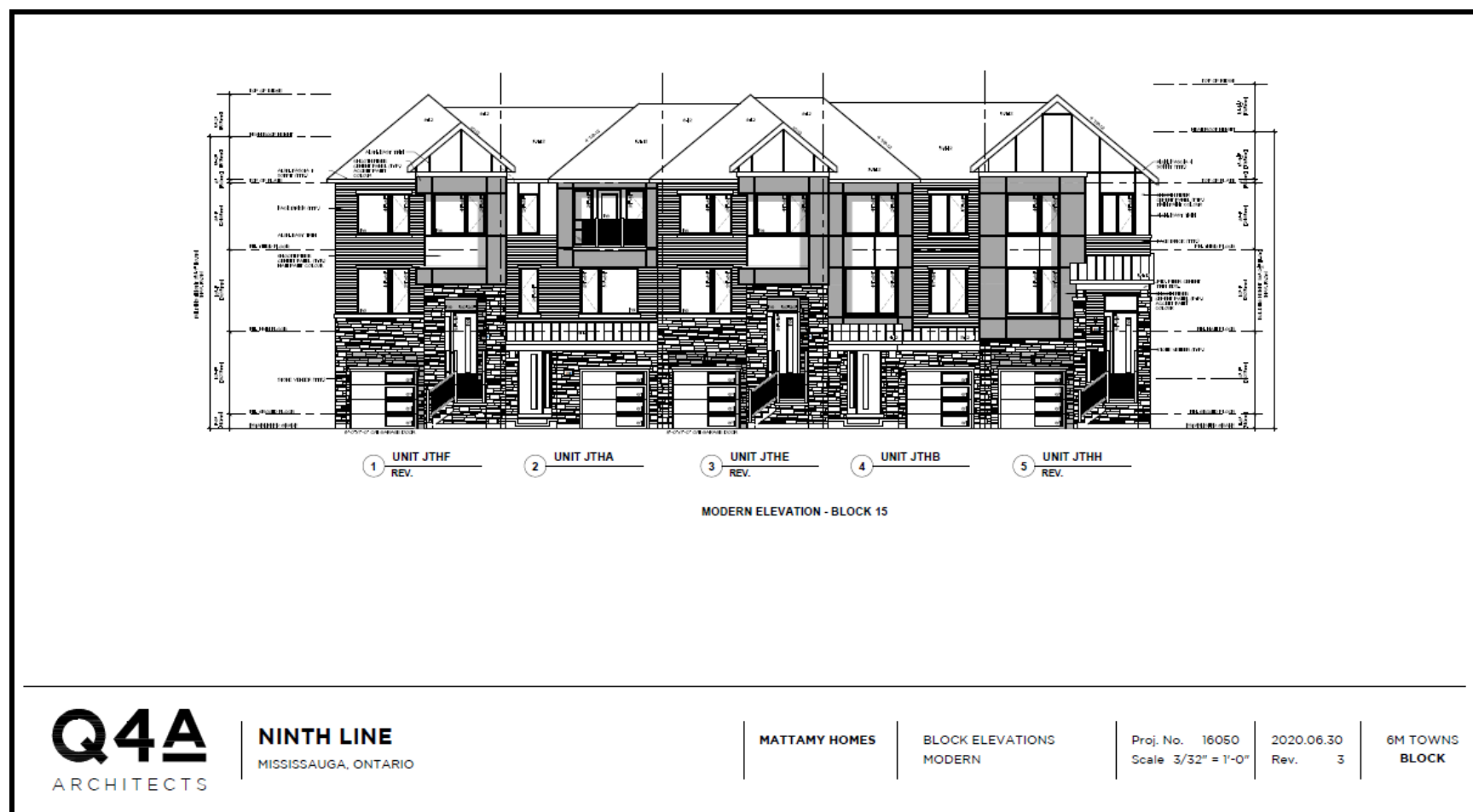


Figure 12: Dual Front Towns (Modern), Block 15 – Front Elevation
(Q4A Architects 2020b)



Figure 13: Front Load Towns (French Manor), Block 1 – Front Elevation
(Q4A Architects 2020a)



Figure 14: Front Load Towns (French Manor), Block 1 – Rear Elevation
(Q4A Architects 2020a)



Figure 15: Front Load Towns (French Manor), Block 1 – Side Elevations
(Q4A Architects 2020a)



Figure 16: Front Load Towns (French Manor), Block 2 – Front Elevation
(Q4A Architects 2020a)



Figure 17: Front Load Towns (French Manor), Block 2 – Rear Elevation
(Q4A Architects 2020a)



Figure 18: Front Load Towns (French Manor), Block 2 – Side Elevations
(Q4A Architects 2020a)



Figure 19: Front Load Towns (Traditional), Block 1 – Front Elevation
(Q4A Architects 2020a)



Figure 20: Front Load Towns (Traditional), Block 1 – Rear Elevation
(Q4A Architects 2020a)



Figure 21: Front Load Towns (Traditional), Block 1 – Side Elevations
(Q4A Architects 2020a)



Figure 22: Front Load Towns (Traditional), Block 2 – Front Elevation
(Q4A Architects 2020a)



Figure 23: Front Load Towns (Traditional), Block 2 – Rear Elevation
(Q4A Architects 2020a)



Figure 24: Front Load Towns (Traditional), Block 2 – Side Elevations
(Q4A Architects 2020a)



Figure 25: Front Load Towns (Traditional), Block 12 – Front Elevations
(Q4A Architects 2020b)



Figure 26: Front Load Towns (Traditional), Block 16 – Front Elevations
(Q4A Architects 2020b)

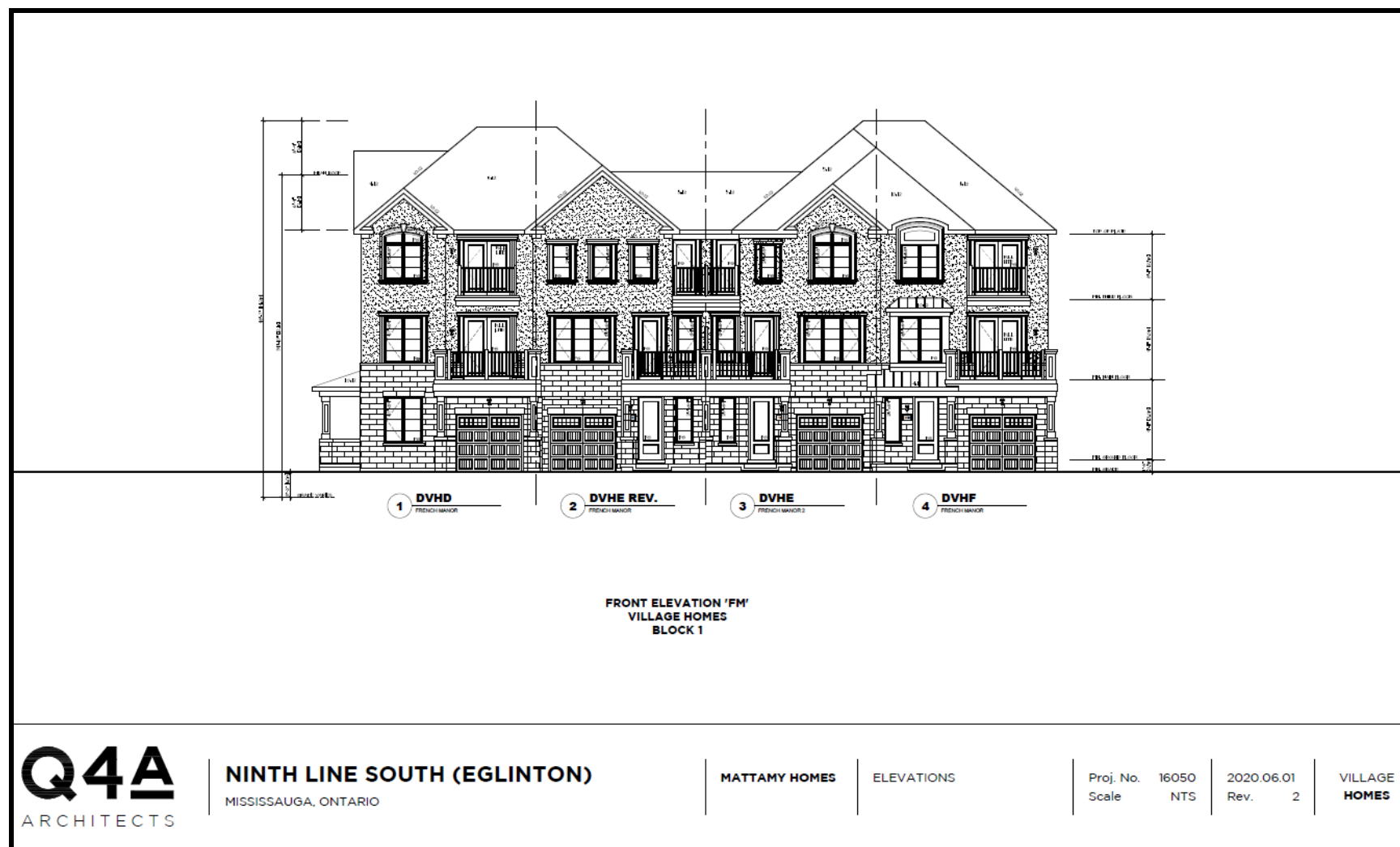


Figure 27: Village Homes (French Manor), Block 1 – Front Elevation
(Q4A Architects 2020a)



Figure 28: Village Homes (French Manor), Block 1 – Rear Elevation
(Q4A Architects 2020a)



Figure 29: Village Homes (French Manor), Block 1 – Side Elevations
(Q4A Architects 2020a)



Figure 30: Village Homes (French Manor), Block 2 – Front Elevation
(Q4A Architects 2020a)



Figure 31: Village Homes (French Manor), Block 2 – Rear Elevation
(Q4A Architects 2020a)



Figure 32: Village Homes (French Manor), Block 2 – Side Elevations
(Q4A Architects 2020a)



Figure 33: Village Homes (French Manor), Block 14 – Front Elevation
(Q4A Architects 2020b)



Figure 34: Village Homes (Traditional), Block 1 – Front Elevation
(Q4A Architects 2020a)



Figure 35: Village Homes (Traditional), Block 1 – Rear Elevation
(Q4A Architects 2020a)



Figure 36: Village Homes (Traditional), Block 1 – Side Elevations
(Q4A Architects 2020a)



Figure 37: Village Homes (Traditional), Block 2 – Front Elevation
(Q4A Architects 2020a)



Figure 38: Village Homes (Traditional), Block 2 – Rear Elevation
(Q4A Architects 2020a)



Figure 39: Village Homes (Traditional), Block 2 – Side Elevations
(Q4A Architects 2020a)

Appendix D: Key Team Member Two-Page Curriculum Vitae

Paul J. Racher, MA, CAHP
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Biography

Paul Racher is a Principal of ARA. He has a BA in Prehistoric Archaeology from WLU and an MA in anthropology from McMaster University. He began his career as a heritage professional in 1986. Over the three decades since, he has overseen the completion of several hundred archaeological and cultural heritage contracts. Paul has years of experience related to linear transportation and rail projects, notably through the ongoing work to complete a Cultural Heritage Inventory for the Region of Waterloo's Stage 2 LRT from Kitchener to Cambridge, Ontario. He holds professional license #P007 with the MHSTCI. Paul is a former lecturer in Cultural Resource Management at WLU. He is a professional member of the Canadian Association of Heritage Professionals (CAHP) and the President of the Ontario Archaeological Association (OAS).

Education

1992-1997	PhD Programme, Department of Anthropology, University of Toronto. Supervisors: E.B. Banning and B. Schroeder. Withdrawn.
1989-1992	M.A., Department of Anthropology, McMaster University, Hamilton, Ontario. Thesis titled: "The Archaeologist's 'Indian': Narrativity and Representation in Archaeological Discourse."
1985-1989	Honours B.A., Wilfrid Laurier University, Waterloo, Ontario. Major: Prehistoric Archaeology.

Professional Memberships and Accreditations

Current	Ministry of Tourism Culture and Sport Professional Licence (#P007). Professional Member of the Canadian Association of Heritage Professionals (CAHP), Volunteer on the ethics committee. Member of the Ontario Archaeological Society (OAS), Volunteer on the Professional Committee. Associate of the Heritage Resources Centre, University of Waterloo. RAQS registered with MTO.
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Work Experience

Current	Vice-President, Operations, Archaeological Research Associates Ltd. Responsible for winning contracts, client liaison, project excellence, and setting the policies and priorities for a multi-million dollar heritage consulting firm.
2000-2011	Project Manager/Principal Investigator, Archaeological Research Associates Ltd. Managed projects for a heritage consulting firm. In 10 field seasons, managed hundreds of projects of varying size.

- hr/>
- 2008-2011 **Part-Time Faculty, Wilfrid Laurier University**
Lecturer for Cultural Resource Management course (AR 336). In charge of all teaching, coursework, and student evaluations.
- 1995 **Field Archaeologist, University of Toronto**
Served as a supervisor on a multinational archaeological project in northern Jordan.
- 1992-1995 **Teaching Assistant, University of Toronto**
Responsible for teaching and organizing weekly tutorials for a number of courses.
- 1991-1994 **Part-Time Faculty, Wilfrid Laurier University**
Lectured for several courses in anthropology. Held complete responsibility for all teaching, coursework, and student evaluations.
- 1992-1996 **Partner in Consulting Company, Cultural Management Associates Incorporated**
Supervised several archaeological contracts in Southern Ontario. Participated in a major (now published) archaeological potential modeling project for MTO.
- 1989-1991 **Partner in Consulting Company, Cultural Resource Consultants**
Managed the financial affairs of a consulting firm whilst supervising the completion of several contracts performed for heritage parks in central Ontario.
- 1988-1991 **Principal Investigator/Project Director, Archaeological Research Associates Ltd.**
Oversaw the completion of large contracts, wrote reports, and was responsible for ensuring that contracts were completed within budget.
- 1988 **Assistant Director of Excavations, St. Marie among the Hurons, Midland, ON**
Duties included crew supervision, mapping, report writing and photography.
- 1986-1987 **Archaeological Crew Person, Archaeological Research Associates Ltd., Waterloo, ON**
Participated in background research, survey, and excavation on a number of Archaeological sites across Ontario.

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Biography

Kayla Jonas Galvin, Archaeological Research Associates Ltd.'s Heritage Operations Manager, has extensive experience evaluating cultural heritage resources and landscapes for private and public-sector clients to fulfil the requirements of provincial and municipal legislation such as the *Environmental Assessment Act*, the *Standards & Guidelines for the Conservation of Provincial Heritage Properties* and municipal Official Plans. She served as Team Lead on the Ministry of Tourism, Culture and Sport Historic Places Initiative, which drafted over 850 Statements of Significance and for *Heritage Districts Work!*, a study of 64 heritage conservation districts in Ontario. Kayla was an editor of *Arch, Truss and Beam: The Grand River Watershed Heritage Bridge Inventory* and has worked on Municipal Heritage Registers in several municipalities. Kayla has drafted over 150 designation reports and by-laws for the City of Kingston, the City of Burlington, the Town of Newmarket, Municipality of Chatham-Kent, City of Brampton and the Township of Whitchurch-Stouffville. Kayla is the Heritage Team Lead for ARA's roster assignments for Infrastructure Ontario and oversees evaluation of properties according to *Standards & Guidelines for the Conservation of Provincial Heritage Properties*. Kayla is a Registered Professional Planner (RPP), Member of the Canadian Institute of Planners (MCIP), professional member of the Canadian Association of Heritage Professionals (CAHP) and sits on the board of the Ontario Association of Heritage Professionals.

Education

2016	MA in Planning, University of Waterloo. Thesis Topic: <i>Goderich – A Case Study of Conserving Cultural Heritage Resources in a Disaster</i>
2003-2008	Honours BES University of Waterloo, Waterloo, Ontario Joint Major: Environment and Resource Studies and Anthropology

Professional Memberships and Accreditations

Current	Professional Member, Canadian Association of Heritage Professionals (CAHP) Member of the Canadian Institute of Planners (MCIP) Professional Member, Ontario Professional Planners Institute (OPPI) Board Member, Ontario Association of Heritage Professionals.
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Work Experience

Current	Heritage Operations Manager, Archaeological Research Associates Ltd. Oversees business development for the Heritage Department, coordinates completion of designation by-laws, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations.
2009-2013	Heritage Planner, Heritage Resources Centre, University of Waterloo Coordinated the completion of various contracts associated with built heritage including responding to grants, RFPs and initiating service proposals.
2008-2009, 2012	Project Coordinator–Heritage Conservation District Study, ACO Coordinated the field research and authored reports for the study of 32 Heritage Conservation Districts in Ontario. Managed the efforts of over 84 volunteers, four staff and municipal planners from 23 communities.

2007-2008 **Team Lead, Historic Place Initiative, Ministry of Culture**

Liaised with Ministry of Culture Staff, Centre's Director and municipal heritage staff to draft over 850 Statements of Significance for properties to be nominated to the Canadian Register of Historic Places. Managed a team of four people.

Selected Professional Development

- 2019 OPPI and WeirFoulds Client Seminar: Bill 108 – More Homes, More Choice, 2019
- 2019 Annual attendance at Ontario Heritage Conference, Goderich, ON (Two-days)
- 2019 Information Session: Proposed Amendments to the OHA, by Ministry of Tourism, Culture and Sport
- 2018 Indigenous Canada Course, University of Alberta
- 2018 Volunteer Dig, Mohawk Institute
- 2018 Indigenizing Planning, three webinar series, Canadian Institute of Planners
- 2018 Cultural Heritage, Archaeology and Planning Symposium
- 2018 Transforming Public Apathy to Revitalize Engagement, Webinar, MetorQuest
- 2018 How to Plan for Communities: Listen to the Them, Webinar, Canadian Institute of Planners
- 2017 Empowering Indigenous Voices in Impact Assessments, Webinar, International Association for Impact Assessments
- 2017 Capitalizing on Heritage, National Trust Conference, Ottawa, ON.
- 2016 Cultural Heritage, Archaeology and Planning Symposium
- 2016 Heritage Rising, National Trust Conference, Hamilton
- 2016 Ontario Heritage Conference St. Marys and Stratford, ON.
- 2016 Heritage Inventories Workshop, City of Hamilton & ERA Architects
- 2015 Cultural Heritage, Archaeology and Planning Symposium
- 2015 City of Hamilton: Review of Existing Heritage Permit and Heritage Designation Process Workshop.
- 2015 Leadership Training for Managers Course, Dale Carnegie Training

Selected Publications

- 2018 "Conserving Cultural Heritage Landscapes in Waterloo: An Innovative Approach." *Ontario Association of Heritage Professionals Newsletter*, Winter 2018.
- 2018 "Restoring Pioneer Cemeteries" *Ontario Association of Heritage Professionals Newsletter*. Spring 2018. *In print*.
- 2015 "Written in Stone: Cemeteries as Heritage Resources." *Municipal World*, Sept. 2015.
- 2015 "Bringing History to Life." *Municipal World*, February 2015, pages 11-12.
- 2014 "Inventorying our History." *Ontario Planning Journal*, January/February 2015.
- 2014 "Mad about Modernism." *Municipal World*, September 2014.

Lindsay Benjamin, MAES, MCIP, RPP, CAHP
 Project Manager - Heritage
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Biography

Lindsay Benjamin is practiced at providing professional planning recommendations and expertise on complex studies, research projects, cultural heritage impact and archaeological assessments. Through her work as a Cultural Heritage Planner, Lindsay researched, drafted and implemented policies for the Regional Official Plan and other planning documents regarding the recognition, review and conservation of cultural heritage resources, including archaeological resources, heritage bridges, cultural heritage landscapes and scenic roads. She was the Primary Author of *Arch, Truss and Beam: The Grand River Watershed Heritage Bridge Inventory*, served as a Team Lead on the former MTCS' Historic Places Initiative that drafted over 850 Statements of Significance, and was Series Editor for Phase 2 of *Heritage Districts Work!* a study of 32 heritage districts in Ontario. Lindsay has developed cultural heritage landscape inventories, heritage property tax relief programs, worked on Municipal Heritage Registers and drafted designation by-laws in several municipalities. She holds a Master of Applied Environmental Studies degree from the University of Waterloo School of Planning, is a Registered Professional Planner (RPP), Member of the Canadian Institute of Planners (MCIP) and is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Education

2013	MAES, University of Waterloo, Waterloo, ON, Focus: Planning.
2009	Post-Graduate Diploma, Centennial College, Toronto, ON Publishing & Professional Writing
2007	Honours BES, University of Waterloo, Waterloo, ON Major: Urban Planning, Co-op. Distinction: Dean's Honours List

Professional Memberships and Accreditations

Current	Canadian Association of Heritage Professionals (CAHP), Professional Membership
Current	Ontario Professional Planners Institute (OPPI), Professional Member
Current	Member of the Canadian Institute of Planners (MCIP)

Work Experience

2017-Present	Project Manager - Heritage, Archaeological Research Associates Ltd. Coordinate the completion of heritage projects, including the evaluation of the cultural heritage value or interest of a variety of cultural heritage resources.
2013-2017	Cultural Heritage Planner, Region of Waterloo Planned and implemented Arts, Culture and Heritage initiatives that support creativity and quality of life in the Region of Waterloo. Researched, developed and implemented Regional cultural heritage policies and programs. Fulfilled Regional and Provincial cultural heritage and archaeological review responsibilities under the Planning Act and Ontario Heritage Act.
2009-2013	Heritage Planner, Heritage Resources Centre, University of Waterloo Facilitate the completion of various cultural heritage contracts by undertaking archival research, site visits, report writing, liaising with municipal staff and stakeholders and coordinating project scheduling and budgetary responsibilities.

- 2006-2007 **Project Manager, Heritage Resources Centre, University of Waterloo**
Established the process of nominating heritage properties to the National Register of Historic Places. Primary liaison between all stakeholder groups, responsible for motivating each group to participate and provide funding. Drafted over 130 Statements of Significance for properties to be nominated to the National Register. Managed a team of five employees.
- 2005-2006 **Heritage Conservation Easement Planning Assistant, Ontario Heritage Trust**
Supported easement acquisitions through researching the historical and architectural value of potential acquisitions and extensive photo documentation. Screened and processed activity requests from property owners and stakeholders relating to the easement program. Conducted site visits to monitor conservation easement sites and prepared condition assessment reports.

Selected Professional Development

- 2019 OPPI and WeirFoulds Client Seminar: Bill 108 – More Homes, More Choice
- 2019 Annual attendance at Ontario Heritage Conference, Goderich, ON
- 2015-2019 Cultural Heritage, Archaeology and Planning Symposium
- 2018 How to Plan for Communities: Listen to the Them, Webinar, CIP
- 2013-2017 Ontario Heritage Planners Network Workshops
- 2017, 2016 National Trust for Canada Conference
- 2012 Heritage Impact Assessments Workshop, Region of Waterloo
- 2012 National Trust for Historic Preservation Conference and Conducting Historic Building Assessments Workshop, Spokane, WA
- 2012 Canadian Institute of Planners National Conference, Banff, ON

Awards

- 2014 Heritage River Award, Watershed Awards & Canadian Heritage River Celebration, Grand River Conservation Authority
- 2009 A. K. (Alice King) Sculthorpe Award for Advocacy - ACO

Publications

- 2019 “Journey Through German Mills.” *Waterloo Historical Society Annual Volume*. Volume 106 – 2018.
- 2018 “Conserving Cultural Heritage Landscapes in Waterloo: An Innovative Approach.” *Ontario Association of Heritage Professionals Newsletter*, Winter 2018.
- 2017 Historic Interpretive Plaque - Village of German Mills
- 2016 Historic Interpretive Plaques - West Montrose Covered Bridge; Huron Road Bridge

Volunteer Experience

- 2017-2019 Lieutenant Governor’s Ontario Heritage Awards Jury Member

Penny M. Young, MA, CAHP (#P092)
 Project Manager - Heritage
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Biography

Penny Young has 27 years of cultural heritage management experience, 21 years working in government, as a Heritage Planner, Heritage Coordinator, Regional Archaeologist and Archaeological Database Coordinator where she managed and coordinated the impacts to cultural heritage resources including built heritage, archaeological sites and cultural heritage landscapes for compliance with municipal, provincial and federal legislation and policy. She has conducted results-driven and collaborative management of complex cultural heritage resource projects within the public sector involving developing project terms of reference, defining scope of work, preparation of budgets and conducting sites visits to monitor and provide heritage/archaeological and environmental advice and direction. At the Ministry of Transportation Penny revised, updated and developed policy, as part of a team, for the *Ontario Heritage Bridge Guidelines for Provincially Owned Bridge Guidelines for Provincially Owned Bridges*. She received the MTO Central Region Employee Recognition Award in 2001 and 2002. While at MTO she provided technical advice and input into the development of the *MTO Environmental Reference for Highway Design - Section 3.7 Built Heritage and Cultural Heritage Landscapes* and the *MTO Environmental Guide for Built Heritage and Cultural Heritage Landscapes*. She is a professional member of the Canadian Association of Heritage Planners (CAHP) and holds Professional License #P092 from MHSTCI. She also holds memberships in the Ontario Professional Planners Institute (OPPI) and the Ontario Archaeological Society (OAS).

Education

1990-1993	Master of Arts, Department of Anthropology McMaster University, Hamilton Ontario. Specializing in Mesoamerican and Ontario archaeology.
1983-1987	Honours Bachelor of Arts (English and Anthropology), McMaster University, Hamilton, Ontario.

Professional Memberships and Accreditations

Current	Professional Member, Canadian Association of Heritage Professionals (CAHP) Member of Ontario Archaeological Society Pre-Candidate Member, Ontario Professional Planners Institute (OPPI) Ministry of Tourism Culture & Sport Professional Licence (#P092)
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Work Experience

Current	Project Manager - Heritage, Archaeological Research Associates Ltd. Coordinates ARA project teams and conducts heritage assessment projects including Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations. Additional responsibilities include the completion of designation by-laws and heritage inventories. Liaises with municipal staff, provincial ministries and Indigenous communities to solicit relevant project information and to build relationships.
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- 2008-2016 **Heritage Planner, Culture Services Unit, Former Ministry of Tourism, Culture & Sport (MTCS)**
Responsible for advising and providing technical review for management of cultural heritage resources in environmental assessment undertakings and planning projects affecting provincial ministries, municipalities, private sector proponents and Indigenous communities. Advised on municipalities' Official Plan (OP) policies cultural heritage conservation policies. Provided guidance on compliance with the Public Work Class EA, other Class EA legislation and 2010 *Standards and Guidelines for Provincial Heritage Properties*.
- 2014 **Senior Heritage Planner, Planning and Building Department, City of Burlington** (temporary assignment)
Project manager of the study for a potential Heritage Conservation District. Provided guidance to a multiple company consultant team and reported to municipal staff and the public. Liaised with Municipal Heritage Committee and municipal heritage property owners approved heritage permits and provided direction on Indigenous engagement, archaeological site assessments and proposed development projects.
- 2011 **Heritage Coordinator, Building, Planning and Design Department, City of Brampton** (temporary assignment)
Project lead for new Heritage Conservation District Study. The assignment included directing consultants, managing budgets, organizing a Public Information Session, and reporting to Senior Management and Council. Reviewed development/planning documents for impacts to heritage including OP policies, OP Amendments, Plans of subdivision and Committee of Adjustment applications and Municipal Class EA undertakings.
- 2010-2011 **Senior Heritage Coordinator, Culture Division, City of Mississauga** (temporary assignment)
Provided advice to Senior Management and Municipal Council on heritage conservation of built heritage, archaeological sites and cultural heritage landscapes. Liaised with multiple municipal staff including the Clerks' office, Parks and development planners and the public. Supervised and directed project work for junior heritage planner.
- 1999-2008 **Regional Archaeologist, Planning and Environmental Section, Ministry of Transportation (MTO)**
Responsibilities included: project management and coordination of MTO archaeology and heritage program, managed multiple consultants, conducted and coordinated field assessments, surveys and excavations, liaised with First Nations' communities and Band Councils, estimated budgets including \$200,000 retainer contracts.

Sarah Clarke, BA
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Biography

Sarah Clarke is Archaeological Research Associates Ltd.'s Heritage Research Manager. Sarah has over 12 years of experience in Ontario archaeology and 10 years of experience with background research. Her experience includes conducting archival research (both local and remote), artifact cataloguing and processing, and fieldwork at various stages in both the consulting and research-based realms. As Team Lead of Research, Sarah is responsible for conducting archival research in advance of ARA's archaeological and heritage assessments. In this capacity, she performs Stage 1 archaeological assessment site visits, conducts preliminary built heritage and cultural heritage landscape investigations and liaises with heritage resource offices and local community resources in order to obtain and process data. Sarah has in-depth experience in conducting historic research following the *Ontario Heritage Toolkit* series, and the *Standards and Guidelines for Provincial Heritage Properties*. Sarah holds an Honours B.A. in North American Archaeology, with a Historical/Industrial Option from Wilfrid Laurier University and is currently enrolled in Western University's Intensive Applied Archaeology MA program. She is a member of the Ontario Archaeological Society (OAS), the Society for Industrial Archaeology, the Ontario Genealogical Society (OGS), the Canadian Archaeological Association, and is a Council-appointed citizen volunteer on the Brantford Municipal Heritage Committee. Sarah holds an R-level archaeological license with the MHSTCI (#R446).

Education

Current	MA Intensive Applied Archaeology, Western University, London, ON. Proposed thesis topic: Archaeological Management at the Mohawk Village.
1999–2010	Honours BA, Wilfrid Laurier University, Waterloo, Ontario Major: North American Archaeology, Historical/Industrial Option

Professional Memberships and Accreditations

Current	Member of the Ontario Archaeological Society
Current	Member of the Society for Industrial Archaeology
Current	Member of the Brant Historical Society
Current	Member of the Ontario Genealogical Society
Current	Member of the Canadian Archaeological Association
Current	Member of the Archives Association of Ontario

Work Experience

Current	Team Lead – Research; Team Lead – Archaeology, Archaeological Research Associates Ltd. Manage and plan the research needs for archaeological and heritage projects. Research at offsite locations including land registry offices, local libraries and local and provincial archives. Historic analysis for archaeological and heritage projects. Field Director conducting Stage 1 assessments.
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- 2013-2015 **Heritage Research Manager; Archaeological Monitoring Coordinator, Archaeological Research Associates Ltd.**
Stage 1 archaeological field assessments, research at local and distant archives at both the municipal and provincial levels, coordination of construction monitors for archaeological project locations.
- 2010-2013 **Historic Researcher, Timmins Martelle Heritage Consultants Inc.**
Report preparation, local and offsite research (libraries, archives); correspondence with the Ministry of Tourism, Culture, and Sport; report submission to the former MTCS and clients; and administrative duties (PIF and Borden form completion and submission, data requests).
- 2008-2009 **Field Technician, Archaeological Assessments Ltd.**
Participated in field excavation and artifact processing.
- 2008-2009 **Teaching Assistant, Wilfrid Laurier University.**
Responsible for teaching and evaluating first year student lab work.
- 2007-2008 **Field and Lab Technician, Historic Horizons.**
Participated in excavations at Dundurn Castle and Auchmar in Hamilton, Ontario. Catalogued artifacts from excavations at Auchmar.
- 2006-2010 **Archaeological Field Technician/Supervisor, Wilfrid Laurier University.**
Field school student in 2006, returned as a field school teaching assistant in 2008 and 2010.

Professional Development

- 2019 Annual attendance at Ontario Heritage Conference, Goderich, ON
- 2018 Cultural Heritage, Archaeology and Planning Symposium
- 2018 Grand River Watershed 21st Annual Heritage Day Workshop & Celebration
- 2018 Mississaugas of the New Credit First Nation Historical Gathering and Conference
- 2017 Ontario Genealogical Society Conference
- 2016 Ontario Archaeological Society Symposium
- 2015 Introduction to Blacksmithing Workshop, Milton Historical Society
- 2015 Applied Research License Workshop, Former MTCS
- 2014 Applied Research License Workshop, Former MTCS
- 2014 Heritage Preservation and Structural Recording in Historical and Industrial Archaeology. Four-month course taken at Wilfrid Laurier University, Waterloo, ON. Professor: Meagan Brooks.

Presentations

- 2018 *The Early Black History of Brantford.* Brant Historical Society, City of Brantford.
- 2017 *Mush Hole Archaeology.* Ontario Archaeological Society Symposium, Brantford.
- 2017 *Urban Historical Archaeology: Exploring the Black Community in St. Catharines, Ontario.* Canadian Archaeological Association Conference, Gatineau, QC.

Volunteer Experience

- Current Council-appointed citizen volunteer for the Brantford Municipal Heritage Committee.

Jacqueline McDermid, BA

Technical Writer

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Biography

In the spring of 2018, Jacqueline completed a six-month contract with the MTO as a Heritage Specialist for Central Region, returning to her permanent position at ARA in the Fall 2018 where she had been the acting Heritage Team Lead for the year previous. As the lead, she directed the preparation and oversaw the submission of deliverables to clients. Currently, she is the Heritage Team Technical Writer and Researcher, where she continues to research and evaluate the significance of cultural heritage resources using *Ontario Regulation 9/06* and *10/06*, most recently completing designation reports for the City of Burlington, City of Kingston and Town of Newmarket and the Town of Whitchurch-Stouffville. Further, Jacqueline has overseen the completion of many Built Heritage and Cultural Heritage Landscape Studies as well as Heritage Impact Assessments including reports for a proposed aggregate pit, road widening, the LRT in the Region of Waterloo and a National Historic Site in St. Catharines. As well as being a proficient technical writer, Jacqueline is skilled at writing in approachable language demonstrated by my crafting of 30 properties stories and 35 thematic stories for Heritage Burlington's website. She holds an Honours Bachelor of Arts in Near Eastern Archaeology from Wilfrid Laurier University. In addition to heritage experience, Jacqueline also has archaeological experience working as field crew, as an Assistant Lab Technician and archaeological technical writer.

Education

2000-2007 Honours B.A., Wilfrid Laurier University, Waterloo, Ontario
Major: Near Eastern Archaeology

Work Experience

2015-Present **Technical Writer and Researcher – Heritage, Archaeological Research Associates Ltd., Kitchener, ON**

Research and draft designation by-laws, heritage inventories, Heritage Impact Assessments, Built Heritage and Cultural Heritage Landscape Assessments, and Cultural Heritage Resource Evaluations using Ontario Regulation 9/06, 10/06 and the Ontario Heritage Bridge Guidelines.

2018 **Environmental Planner – Heritage Ministry of Transportation, Central Region** – Six-month contract.

Responsibilities included: project management and coordination of MTO heritage program, managed multiple consultants, conducted and coordinated field assessments and surveys, estimated budgets including \$750,000 retainer contracts. Provided advice on heritage-related MTO policy to Environmental Policy Office (EPO) and the bridge office.

2017-2018 **Acting Heritage Team Lead – Heritage Archaeological Research Associates Ltd., Kitchener, ON**

Managed a team of Heritage Specialists, oversaw the procurement of projects, retainers; managed all Heritage projects, ensured quality of all outgoing products.

2014-2015	Technical Writer – Archaeology, Archaeological Research Associates Ltd., Kitchener, ON Report preparation; correspondence with the Ministry of Tourism, Culture, and Sport; report submission to the Ministry and clients; and administrative duties (PIF and Borden form completion).
2012-2013	Lab Assistant, Archaeological Research Associates Ltd., Kitchener, ON Receive, process and register artifacts.
2011-2012	Field Technician, Archaeological Research Associates Ltd., Kitchener, ON Participated in field excavation and artifact processing.
2005-2009	Teaching Assistant, Wilfrid Laurier University, Waterloo, ON Responsible for teaching and evaluating first, second, third- and fourth-year student lab work, papers and exams.
2005-2007	Lab Assistant, Wilfrid Laurier University – Near Eastern Lab, Waterloo, ON Clean, Process, Draw and Research artifacts from various sites in Jordan.

Selected Professional Development

2019	OPPI and WeirFoulds Client Seminar: Bill 108 – More Homes, More Choice
2019	Annual attendance at Ontario Heritage Conference, Goderich, ON (Two-days)
2019	Information Session: Proposed Amendments to the OHA, Former MTCS
2018	Indigenizing Planning, three webinar series, Canadian Institute of Planners
2018	Cultural Heritage, Archaeology and Planning Symposium
2018	Transforming Public Apathy to Revitalize Engagement, Webinar, MetorQuest
2018	How to Plan for Communities: Listen to the Them, Webinar, CIP
2017	Empowering Indigenous Voices in Impact Assessments, Webinar, International Association for Impact Assessments
2015	Introduction to Blacksmithing (One day)
2015	Leadership Training for Managers Course, Dale Carnegie Training

City of Mississauga
Memorandum



Date: September 28, 2020
To: Chair and Members of Heritage Advisory Committee
From: Megan Piercey, Legislative Coordinator
Meeting date: October 13, 2020
Subject: **2021 Heritage Advisory Committee Meeting Schedule**

The 2021 meeting dates for the Heritage Advisory Committee (HAC) have been scheduled as follows:

Tuesday, January 12, 2021
Tuesday, February 9, 2021
Tuesday, March 9, 2021
Tuesday, April 13, 2021
Tuesday, May 11, 2021
Tuesday, June 8, 2021
Tuesday, July 13, 2021
Tuesday, September 14, 2021
Tuesday, October 12, 2021
Tuesday, November 9, 2021

Unless otherwise advised, all meetings will be held at 9:30 AM at the Mississauga Civic Centre in the Council Chamber – 300 City Centre Drive, Mississauga L5B 3C1.

Meetings may be cancelled at the call of the Chair due to insufficient agenda items or lack of quorum.

Please kindly contact the Legislative Coordinator in advance of the meeting if you will be absent or late so that quorum issues can be anticipated and dealt with accordingly.

Megan Piercey

Prepared by: Megan Piercey, Legislative Coordinator