
REVISED

Heritage Advisory Committee

Date: November 10, 2020
Time: 9:30 AM
Location: Online Video Conference

Members

Councillor George Carlson	Ward 11 (Chair)
Councillor Carolyn Parrish	Ward 5
Councillor Stephen Dasko	Ward 1
David Cook	Citizen Member (Vice-Chair)
Alexander Hardy	Citizen Member
James Holmes	Citizen Member
Lisa Small	Citizen Member
Jamie Stevens	Citizen Member
Melissa Stolarz	Citizen Member
Terry Ward	Citizen Member
Matthew Wilkinson	Citizen Member

Participate Virtually

Any member of the public interested in speaking to an item listed on the agenda may register at megan.piercey@mississauga.ca or call 905-615-3200 ext. 4915 by Monday, November 9, 2020 before 12:00 P.M.

Please note the Heritage Advisory Committee will not be streamed or video posted afterwards. If you are interested in attending the meeting virtually, please contact megan.piercey@mississauga.ca or call 905-615-3200 ext. 4915 by Monday, November 9, 2020 before 12:00 P.M. in order to join the meeting.

Contact

Megan Piercey, Legislative Coordinator, Legislative Services
905-615-3200 ext. 4915
Email megan.piercey@mississauga.ca

1. **CALL TO ORDER**

2. **APPROVAL OF AGENDA**

3. **DECLARATION OF CONFLICT OF INTEREST**

4. **MINUTES OF PREVIOUS MEETING**

4.1. Heritage Advisory Committee Minutes - October 13, 2020

5. **DEPUTATIONS - Nil**

6. **PUBLIC QUESTION PERIOD - 15 Minute Limit (5 minutes per speaker)**

Advance registration is required to participate virtually and/or to make comments in the virtual public meeting. Please see this agenda cover for registration details.

Pursuant to Section 42 of the Council Procedure By-law 0139-2013, as amended:

Heritage Advisory Committee may grant permission to a member of the public to ask a question of Heritage Advisory Committee, with the following provisions:

1. The question must pertain to a specific item on the current agenda and the speaker will state which item the question is related to.
2. A person asking a question shall limit any background explanation to two (2) sentences, followed by the question.
3. The total speaking time shall be five (5) minutes maximum, per speaker.

7. **MATTERS TO BE CONSIDERED**

7.1. Request to Alter a Heritage Designated Property: 1207 Lorne Park Road (Ward 2)

7.2. Port Credit Heritage Conservation District Subcommittee Report 1 - 2020 - November 2, 2020

*7.3. Letter from Antoine Musiol, Chair, Port Credit Heritage Conservation District (PCHCD) Subcommittee dated November 9, 2020 regarding PCHCD Subcommittee Report 1 - November 2, 2020

*7.4. Lisa Small – Request for Temporary Leave from the Heritage Advisory Committee

8. **INFORMATION ITEMS**

8.1. Alteration to a Property Adjacent to a Listed Property: 1644 Glenburnie Road (Ward 1)

8.2. Alteration to a Listed Heritage Property: 2188 Highriver Court (Ward 8)

8.3. Alteration to a Listed Heritage Property: 3091 Victory Crescent (Ward 5)

9. **OTHER BUSINESS**

10. DATE OF NEXT MEETING - January 12, 2021

11. ADJOURNMENT

Heritage Advisory Committee

Date: October 13, 2020
Time: 9:30 AM
Location: Online Video Conference

Members Present	Councillor George Carlson	Ward 11 (Chair)
	Councillor Stephen Dasko	Ward 1
	David Cook	Citizen Member (Vice-Chair)
	Alexander Hardy	Citizen Member
	James Holmes	Citizen Member
	Rick Mateljan	Citizen Member
	Lisa Small	Citizen Member
	Jamie Stevens	Citizen Member
	Melissa Stolarz	Citizen Member
	Matthew Wilkinson	Citizen Member
	Members Absent	Councillor Carolyn Parrish
Terry Ward		Citizen Member

1. CALL TO ORDER - 9:30 AM
2. APPROVAL OF AGENDA
Approved (D. Cook)
3. DECLARATION OF CONFLICT OF INTEREST - Nil
4. MINUTES OF PREVIOUS MEETING
- 4.1 Heritage Advisory Committee Minutes - September 22, 2020
Approved (J. Holmes)
5. DEPUTATIONS
- 5.1 Shari Lichterman, Commissioner, Community Services regarding an introduction to the Heritage Advisory Committee

Ms. Lichterman introduced herself to the committee, as the new Commissioner of Community Services.

Received (A. Hardy)
6. PUBLIC QUESTION PERIOD - 15 Minute Limit (5 minutes per speaker) - Nil
7. MATTERS TO BE CONSIDERED
- 7.1 Request to alter a Heritage Designated Property: 5961 Hurontario Street (Ward 5)

Matthew Wilkinson, Citizen Member noted concerns with an eaves trough hanging down on the north side of the building. John Dunlop, Manager, Heritage Planning and Indigenous Relations advised that property services staff would be notified about this concern.

RECOMMENDATION HAC-0030-2020

That the request to alter the heritage designated property at 5961 Hurontario St, as per the Corporate Report from the Commissioner of Community Services, dated August 20, 2020 be approved.

Approved (J. Holmes)
- 7.2 Request to alter a Heritage Designated Property: 707 Dundas Street East (Ward 3)

Matthew Wilkinson, Citizen Member noted concerns with the front doors of the property. John Dunlop, Manager, Heritage Planning and Indigenous Relations advised that reinforcements had been made to secure the door.

RECOMMENDATION HAC-0031-2020

That the request to alter the heritage designated property at 707 Dundas St E, as per the Corporate Report from the Commissioner of Community Services, dated August 27, 2020 be approved.

Approved (M. Wilkinson)

7.3 Request to alter a Heritage Designated Property: 1352 Lakeshore Road East (Ward 1)

No discussion took place regarding this item.

RECOMMENDATION HAC-0032-2020

That the request to alter the heritage designated property at 1352 Lakeshore Road East, as per the Corporate Report from the Commissioner of Community Services, dated September 27, 2020 be approved.

Approved (Councillor S. Dasko)

8. INFORMATION ITEMS8.1 Alteration to a Listed Heritage Property: 1160 Clarkson Road North (Ward 2)

Citizen Members noted that that this property could be considered for heritage designation. John Dunlop, Manager, Heritage Planning and Indigenous Relations advised that staff would look into the feasibility of designation.

RECOMMENDATION HAC-0033-2020

That the Memorandum dated September 8, 2020 from Paul Damaso, Director, Culture Division, entitled "Alteration to a Listed Heritage Property: 1160 Clarkson Road North (Ward 2)" be received.

Received (R. Mateljan)

8.2 Alteration to a Heritage Listed Property: 1341 Stavebank Road (Ward 1)

No discussion took place regarding this item.

RECOMMENDATION HAC-0034-2020

That the Memorandum dated September 16, 2020 from Paul Damaso, Director, Culture Division, entitled "Alteration to a Heritage Listed Property: 1341 Stavebank Road (Ward 1)" be received.

Received (Councillor S. Dasko)

8.3 Alteration to a property adjacent to a Listed Heritage Property: 5150 Ninth Line (Ward 10)

Committee members engaged in discussion with respect whether the property located at 5150 Ninth Line met the criteria for heritage designation. Brooke Herczeg, Culture

Analyst advised that the developer currently does not own the property and that the HIA is looking if the surrounding area would affect this property. Ms. Herczeg further advised that there was not enough evidence that the development would negatively affect this property and that staff recommended the developer use historical names for their streets. John Dunlop, Manager, Heritage Planning and Indigenous Relations noted that the property was listed because there would be potential that the property could be designated. Mr. Dunlop noted that staff would provide further comment with respect to the listed property.

RECOMMENDATION HAC-0035-2020

That the Memorandum dated September 8, 2020 from Paul Damaso, Director, Culture Division, entitled "Alteration to a property adjacent to a Listed Heritage Property: 5150 Ninth Line (Ward 10)" be received.

Received (D. Cook)

8.4 2021 Heritage Advisory Committee Meeting Schedule

Matthew Wilkinson, Citizen Member inquired if the meetings would continue to be held virtually. Megan Piercey, Legislative Coordinator advised that all advisory committees would be held virtually until further notice due to the COVID-19 pandemic.

RECOMMENDATION HAC-0036-2020

That the Memorandum dated September 28, 2020 from Megan Piercey, Legislative Coordinator entitled "2021 Heritage Advisory Committee Meeting Schedule" be received.

Received (M. Wilkinson)

9. OTHER BUSINESS

John Dunlop, Manager, Heritage Planning and Indigenous Relations advised that the Province would be moving forward on the Regulation under the More Homes, More Choice Act, which would result in amendments to the Ontario Heritage Act. Mr. Dunlop advised that an email would be sent to the committee to request comments on the proposed amendments to be incorporated into a report that would be brought back to the Heritage Advisory Committee.

10. DATE OF NEXT MEETING - November 10, 2020

11. ADJOURNMENT - 10:02 AM (A. Hardy)

City of Mississauga Corporate Report



Date: October 20, 2020

To: Chair and Members of Heritage Advisory Committee

From: Shari Lichterman, CPA, CMA, Commissioner of
Community Services

Originator's files:

Meeting date:
November 10, 2020

Subject

Request to Alter a Heritage Designated Property: 1207 Lorne Park Road (Ward 2)

Recommendation

That the proposed alteration of 1207 Lorne Park Road, which is designated under Part IV of the Ontario Heritage Act, be approved as per the Corporate Report from the Commissioner of Community Services dated October 20, 2020.

Background

Council designated the subject property under Part IV of the Ontario Heritage Act in 1983. Section 33 of the Act requires permission from Council in order to make alterations to property designated under Part IV of Act.

Comments

The owner of the subject property proposes a two storey rear addition. A Heritage Impact Assessment, which includes the proposal, is attached as Appendix 1.

As per the report: "New exterior wall finishes will match the existing horizontal siding. Windows will echo the proportions of the existing double hung units. None of the upgrades impact the street elevation of the McDougall House. The decorative trim will not extend onto the new additions in order to clearly delineate what has been added."

Siding would be wood. Aluminum clad wood windows are recommended. The proposal is sympathetic and does not negatively impact the house, noted for its picturesque aesthetic, and should therefore be approved.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

The owner of 1207 Lorne Park Road has requested permission to alter the property, which is designated under the Ontario Heritage Act. Because the proposal provides additional space but does not negatively impact the house, it should be approved.

Attachments

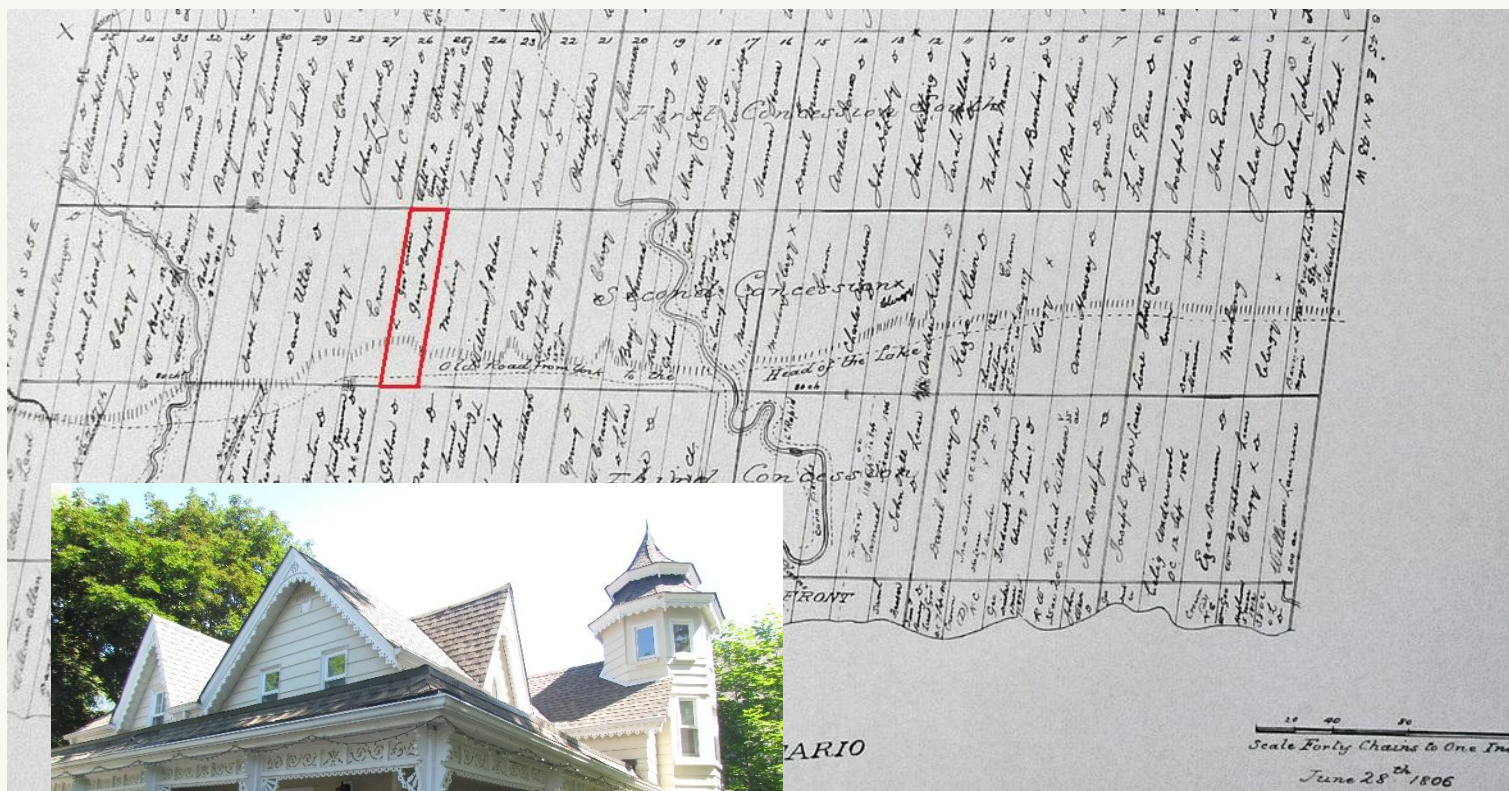
Appendix 1: Heritage Impact Assessment



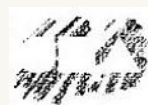
Shari Lichterman, CPA, CMA, Commissioner of Community Services

Prepared by: Paula Wubbenhorst, Heritage Planner

Heritage Impact Assessment related to 1207 Lorne Park Road, Mississauga



View from the South



James Bailey Architect
September 2020

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 - 5.3 Contextual Value/Landmark Status**
- 6.0 Summary of relevant municipal/agency requirements**
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- 8.0 Impact of Proposed Alterations on the Denison House**
- 9.0 Mitigation Measures**
- 10.0 Recommendation**

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- A1. Sources of Information and References**
- A2. Selected Reference Documents**
- A3. Complete Drawings the proposed Alterations**
- A4. Curriculum Vitae of Author**

Researched and authored by: **James Bailey Architect**
 49 Melbourne Avenue
 Toronto, M6K 1K6 jbarch@sympatico.ca
 Tel. (416) 537-4140

This study has been commissioned by its current owner in support of an application for enlarging and renovating 1207 Lorne Park Road, Mississauga. It specifically addresses the architectural resources of the property which has been designated as being of historical and architectural interest since 1983. We have re-evaluated the house in respect to Ontario Regulation 9/06 made under the Ontario Heritage Act as well assessed the impact of the proposed alterations. The conclusions represent the independent opinions of the author.

EXECUTIVE SUMMARY

As a requirement of any redevelopment of a property which has been designated by the City of Mississauga, a Heritage Impact Assessment must be prepared for the property to be submitted as part of the requirements for a building permit.



1207 Lorne Park Road is a distinguished house sited on the north side of that historical right-of-way. There are no neighbouring homes of similar vintage or stature nearby on Lorne Park Road, but adjacent development has been respectful of this particular house. Most recently (c. 2008) a medium density row-house condominium was developed to the east of the subject property.

Architecturally, the house is a delight. What we uncover, when we investigate the history of what is today a storey-and-a-half example of the Picturesque Vernacular architectural style that was so admired in the 1880's, is that it began as James McGill's log cabin--reported to have been moved from across the road in 1858 (from Canada Historic Places citation).

The whimsical two-and-a-half story tower with its pagoda roof has become a landmark in Lorne Park. A relatively small number of owners, listed in this study, have each left his/her mark, but through each owner's commitment to the house, it has remained structurally sound and architecturally integrated.

The Herbert Denison House was designated by the City of Mississauga under part IV of the Ontario Heritage Act, in 1983 (Mississauga By-law 281-83), and in 2010 it was recognized on Parks Canada's register of Canadas Historic Places. In addition we have done our own assessment of the house using the criteria listed in Regulation 9/06 made under the Ontario Heritage Act.

What has been proposed by the current owner are two additions, plus interior alterations, which will provide them with the amount of space and level of comfort expected by people who live in the Lorne Park Community.

Given that this house is distinguished by the way it has been altered through a succession of owners, and given that the perception of the house from Lorne Park Road will not change, we support the proposed additions and alterations to the Herbert Denison House at 1207 Lorne Park Road.

1.0 Design Proposal and Report Objective

The distinguished house located at 1207 Lorne Park Road has been known by a number of monikers over its almost 150 years of existence. The designation by-law refers to it as the “McDougall House” but recognizes that it had formerly been known as the “Tedder House”. References to this house in the history of Lorne Park, “Lorne Park Dreams of Long Ago”, by Verna Mae Weeks reports that it was first known as the “Tower House”. Most recently it is often referred to as the “Herbert Denison House”, which is the name used by Parks Canada on whose website, Canadian Register of Historic Sites, it is listed.

The Herbert Denison House was formally designated through a Heritage By-law by the City of Mississauga in 1983 and listed on the Canadian Register of Historic Places in 2010.

The house is located on north side of Lorne Park Road just north of the CNR railway right-of-way. Ten years ago the City approved infill housing behind and beside 1207 at street addresses 1195, 1197, 1203 Lorne Park Road.

The current owner of 1207 Lorne Park Road has retained Lucid Homes to expand the house to meet increased needs. It is recognized that the heritage stature of this home will limit possibilities, but as this house has evolved in the past to meet new needs, surely it must continue to do so.

James Bailey Architect has been retained to prepare a Heritage Impact Assessment of this design proposal, required as it proceeds toward Site Plan Approval and ultimately is submitted for a Building Permit.

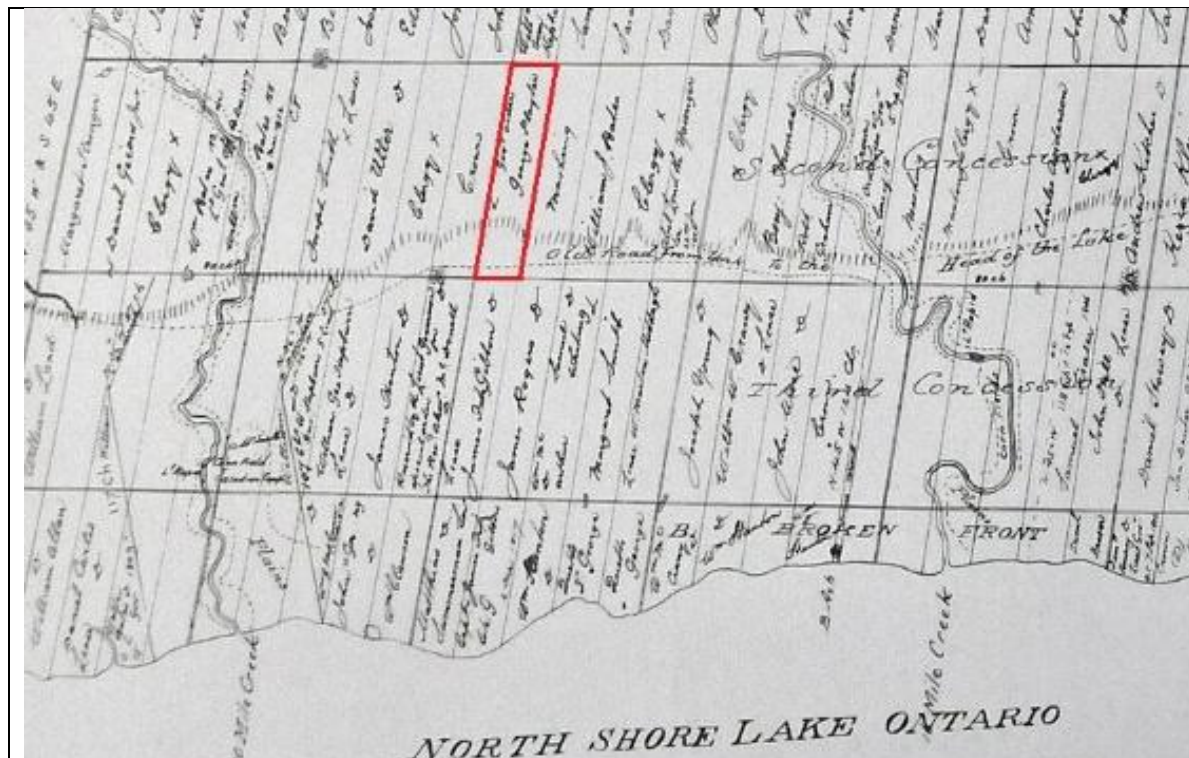
2.0 Location Plan of Subject Property

1207 Lorne Park Road is located in community of Lorne Park (federal riding of Mississauga-Lakeshore). Using major north-south and east-west arterials as references, the property sits between Lakeshore Road West and the Queen Elizabeth Expressway and on the other axis Southdown Road and Mississauga Road.



Historically this property was in what was known as Toronto Township. Toronto Township was formed as part of York County, Upper Canada on August 2, 1805 when officials from York (what is now the City of Toronto) purchased 84,000 acres (340 km²) of land from the Mississauga for 1,000 pounds. At this time the land was surveyed by John Wilcox and much of it was given by the Crown in the form of land grants to Loyalists.

Landtitle transcripts indicate that the patent for Lot 25, Concession 2, SDS (south of Dundas Street) was with Joseph Cawthra. This map of 1806, included here has the name of George Playter most prominent (although the smaller script seems to read Jos Cawthra).



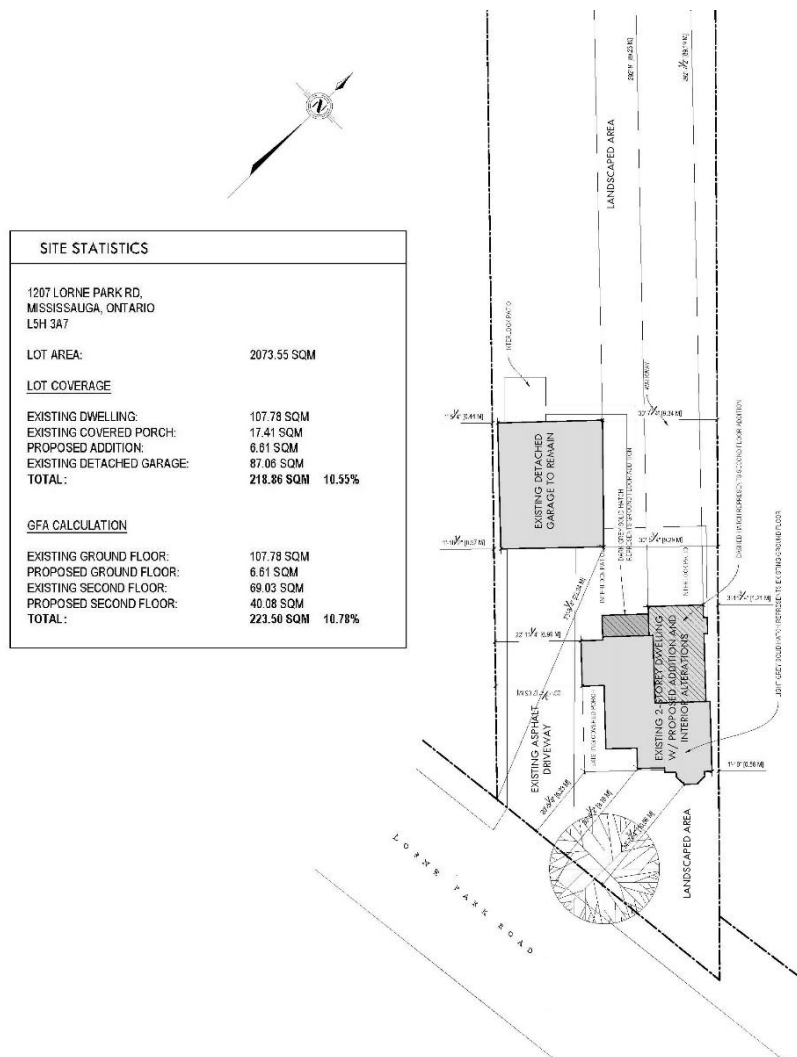
3.0 Description of the Property

The legal description of the property is CON 2 SDS LOT 25 (tax roll number 21-05-020-032-026500-0000). PIN is 13451-0156.

The zoning of the property is R2-1 and in July of 2008 the Owner requested that the Committee of Adjustment authorize a minor variance to permit the lowering of the basement floor and underpinning of the existing footings proposing a side yard of 0.23 m (0.75 ft.); whereas By-law 0225-2007, as amended, requires a minimum side yard of 1.80 m (5.90 ft.) in this instance.



Position on Lorne Park Road (City of Mississauga down-loadable maps)



Property Survey (showing proposed additions)

3.1 History and Description of the Present House

Lorne Park Road has its beginnings as the continuation of a logging trail which came down from Milton on an angle, crossed the Middle Road and continued down to the Indian Road where it turned directly south. Following the lot line (between lots 25 and 26) this trail would normally have continued south to the Lakeshore Trail, however it would have encountered some marshy ground dotted with three separate ponds as well as a stream.

At this point, therefore, the logging trail was directed to follow an angle of 45 degrees to the lot divisions until it connected with Lakeshore Trail.

It is along this length of (what today is known as) Lorne Park Road, that the McDougall House (Herbert Denison House) is located.

According to Verna Mae Weeks' history of Lorne Park ("Lorne Park Dreams of Long Ago") the subject house has as its beginnings a log cabin which was the home of James and Eliza McGill first constructed on the east side of Lorne Park Road. This was at a time in history when new Canadians were trading products like flour and pork for baskets that the indigenous tribes brought to the door.

Herbert, son-in-law of the McGills, was a carpenter (source: 1891 Canada Census) and is reported to have logged timber in the Milton area and hauled lumber to Lorne Park in order to improve the home he bought from his mother-in-law, Eliza McGill, in 1890.

Difficult to confirm is that the tower element, which makes the house so distinctive, has been reported to have come from another house up the road. It was Herbert Denison, who is said to have moved it and attached it to the log cabin where he lived with his mother-in-law. (Given that archival sources are hard to access during the pandemic, I have only Verna Mae Weeks' book and the Parks Canada citation to rely on.)

This house is a very prominent landmark on Lorne Park Road, which has been recognized for the character it imparts to a neighborhood of traditional suburban homes. Its most distinguishing features is the octagonal tower with its two-tiered pagoda roof and the veranda/porches which have been added over the years. The house itself stands a storey and a half in height.

The updated main floor is largely open plan which includes a living room, family room, dining area and kitchen (as well as a two-piece bathroom). It encompasses just over 1100 square feet. The ceiling height is an unusually low 7'-6". The second floor is actually only a half storey, sitting under the slope of the roof. Again, the ceilings are remarkably low and the floor area is no more than 600 square feet in floor area.

The basement offers the highest space in the house, having been excavated and the stone foundation walls were underpinned about ten years ago (2008). The clear height is now almost 9'-0" and the walls have been insulated. The space is undeveloped (used for storage).

In addition to the house, there is an adjacent coach-house (a secondary, occupied residence) and further back on the very deep property, are two other out-buildings which appear to have been used for garden storage.

Exterior Photographs**View of front façade (from south east)****View from the south (showing laneway and entrance)**



Rear (north-west) façade



East wall (windowless)

Adjacent Coach House

ARCHITECTURAL FEATURES



Wrap around veranda



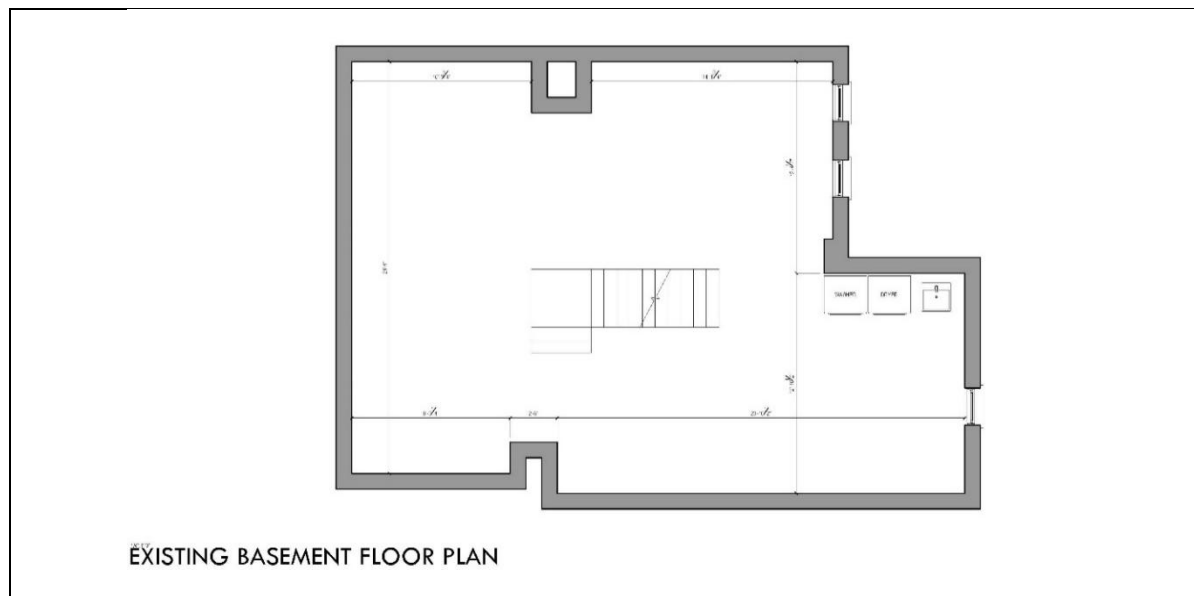
Octagonal Tower



Interior of Tower



3.2 Plans of the Existing House



4.0 Historical Research

The most convenient way to understand the history of this neighborhood, and this particular house, is to read the 1993 history of Lorne Park as captured by Verna Mae (Denison) Weeks book: “Lorne Park Dreams of Long Ago”.

During this period of social distancing resulting from the COVID-19 Pandemic, access to archival repositories have been limited. Using land ownership records available on-line

through ONLAND, Verna Mae Weeks social histories, Canada Census information, and materials included in the Canadian Register of Historical Places, we provide the succession of ownership of this property from when Joseph Cawthra took the patent for Lot 25, Concession 2 SDS until the current ownership.

In the course of our research we often come across further archival materials which do not relate to the change of ownership but shed some light on the lives of its occupants or perhaps confirm that the owner occupied the property. These are included in shaded boxes and the text is italic.

YEAR	OWNER/OCCUPANT	DETAILS	SOURCE
1812	Joseph Cawthra		Patent of Lot 25, Concession 2, SDS All 200 acres Land Title Transcripts
1851	George McGill (1802-1861)	George McGill arrived from Scotland in 1834 with his wife Elizabeth Bishop. He had two sons, James (1833 - 1888) and Henry (1829 - 1893)	Verna Mae Weeks Land Title Record #40076
1858	James McGill (1833-1888)	Son of George McGill	Land Title Record #691/2 (?)
1887	On January 10, 1887 there are a number of title transactions within the McGill family, with ownership final ending up in the name of Eliza McGill.		Land Title Records
1889	Eliza Catherine (Evans) McGill (1845-1913)	Widow of James McGill (In 1893 she remarried Henry Ellis)	Land Title Record #6565 Verna Mae Weeks
1890	Herbert Willoby Denison (1864-?) and Elizabeth Anne (McGill) Denison (1868- ?)	Elizabeth Anne McGill was the daughter of James and Eliza Catherine McGill. She married Herbert Denison in 1885.	Land Titles Record #9061 Verna Mae Weeks
1891	<i>Indicates the Herbert Denison (carpenter) and Richard Luker (stonemason) families as neighbors in Lorne Park. House sizes seem to be indicated. Denisons in a larger wood frame house (2 storey)</i>		1891 Canada Census
1913	Mary Augusta McGill Denison (1878-1958)	Granted by Herbert W. Denison et lux for a value of \$2,150	Land Title Record #15804
1919	Mary Jane Denison. Luker (1862-	½ part granted by Mary A. Denison for \$2000.	Land Title Record #18947
1919	Arthur Evan Luker marries Irene May Looker and they are indicated as living in Lorne Park.		
YEAR	OWNER/OCCUPANT	DETAILS	SOURCE

1919	<i>Herbert Denison and Annie McGill Denison indicated as living in Erindale based on their son, Milford Herbert Denison's wedding certificate (Milford living in Port Credit)</i>		Ancestry.ca
1931	Arthur Evan Luker (1889-	Son of Mary Jane Denison Luker	Land Title Record #34035 63/100 of an acre. <i>Natural Love and affection.</i>
1932	<i>Irene Mae Luker (1902-1932), Arthur's wife died in Lorne Park Indicated that she had lived two years on Lorne Park Rd.</i>		Ancestry.ca Death Certificate
1939	Margaret King	Part comm. SE Lot 1 Plan H-12 thence SW 76'3" & NW 338'6" NE 61'2" x SE 388.6 to POC (<i>as per designation</i>) Granted by Arthur Luker, widower	Transaction 39102 Land Title Records
1941	Edith H. Haney (1905-1990)	Purchased from Margaret King for \$2,500	Land Title Record 41123 referenced back to Transaction 39102
1940-1945	<i>Edith Haney and her husband Berton Haney live on Brant Avenue in Port Credit</i>		Ancestry.ca Peel Voters' list
1942	Mary F. Tedder	692'6" west of easterly limit of lot being SE angle of lot 1 H-13 Thence W 76'3" x N 338'6" x E 61'2" x S 388'6" to place of beginning.	Land Transaction 41532
1949	<i>Jason Tedder on the voters list for Peel, indicated as a cabinet maker and living in Lorne Park</i>		1949 Peel Voters' Lists
1958	<i>Mary F. Tedder is listed as residing at 1207 Lorne Park Road with Joseph Tedder (assumed to be husband)</i>		1958 Peel Voters' Lists
1965	<i>Mrs. Mary Fraser Tedder living with Charles Tedder and Joseph Tedder at 1207 Lorne Park Road Arthur Lorne Luker (1921- and Mrs. Margaret Luker (1922-1991) living at 1195 Lorne Park Road</i>		1965 Peel Voters' Lists
1976	Joseph O. Tedder Mary F. Tedder as joint tenants	Granted by Mary Tedder. Description to match that of the 1942 sale	Land Titles transaction #406135VS
1978	Dirk Vanderklift And Helena C. Wilkschut	Purchased from Joseph O. Tedder for \$2.00 & C. Cross-referenced to #406135VS	Land Titles transaction #483840
1980	Richard Andrew McDougall	Purchase from D. Vanderklift and H. Wilkschut cross-referenced to #40613518	Land Titles transaction #566878

YEAR	OWNER/OCCUPANT	DETAILS	SOURCE
1983	Heritage By-law 281-83		Historical Book Transaction 642406
1985	<i>A Dirk Vanderklift died in Australia in March of this 1985---we can't be sure if this is the same, but he could have left the country following the sale of the property in 1980.</i>		Ancestry.ca
1989	Yvonne Irvine (70%) Mark Andrew Powell (30%)	Purchased from Richard and Stephanie McDougall for \$400,500.00	Historical Book Transaction 642406
2000 2001	<i>Mark Andrew Powell resident in at 2171 Jenner Crt Mississauga</i>		
2008	Guiseppe & Lacey Sciamanna, owners applied for approval to excavate basement and stabilize the foundation		Mississauga property look-up
2009	These same Owners received a Heritage Grant to repaint the exterior of the house		Mississauga property look-up
2012	Yvonne Irvine grave in the Kawatha Lakes area b. 1928-2012 widow of Murray Allen Irvine 1928-1995 <i>(this is unlikely the Yvonne Irvine who owned the house in 1889)</i>		Ancestry.ca
2017	Lorne Park Road Holdings (II) Limited		Title transcript

The first owner, Joseph Cawthra, immigrated in Canada in 1803 from Yorkshire. He not only acquired large tracks of land along the Lake Ontario shoreline, but also soon moved into the Town of York where he continued his land-purchasing spree.

Among other properties, he was once owner of the land which today is Mount Pleasant Cemetery, in Toronto.

From the subsequent ownership of George McGill in 1851 through to the purchase of the house by Margaret King in 1939, there has been a succession of ownership by descendants of the same family.

This lineage ended in 1939 when Margaret King was granted the title by Arthur Luker. She only kept the house for a couple of years and Edith Haney who purchased it in 1941 doesn't seem to have lived in the house, given that the Peel Voter's list showed her living in Port Credit.

Two generations of the Tedder family occupied the house from 1949 through to 1978—almost thirty years. The Tedders were followed by another very short occupancy--a couple we are unable to find out much about: Dirk Vanderklift and Helena Wilkschut. Ancestry.ca was able to track down a grave in Australia for a Dirk Vanderklift dating from 1985. There is a possibility that on selling the house in 1980, he made off for “down under”, but this is pure conjecture.

It was Richard Andrew McDougall who was the owner at the time that the house was designated by the City of Mississauga under by-law 281-83. For this reason the house is referred to as the “McDougall House” in most City of Mississauga records.

Richard McDougall sold the house to a couple where one member held 70% interest (Yvonne Irvine) while her partner retained 30% (Mark Andrew Powell). These are, again, two individuals of whom we can find very little information.

The current owner bought the house in 2017 under his investment company. His partner, Maureen Bates is a principal of Bates Design Build. The intent is to upgrade the house to match today's standards of space and comfort with a minimal impact on the exterior.

5.0 Statement of Significance of the Property

Ontario Regulation 9/06 made under the Ontario Heritage Act establishes three criteria for determining Cultural Heritage Value or Interest.

1. The property has **design value or physical value** because it,
 - a) is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - b) displays a high degree of craftsmanship or artistic merit, or
 - c) demonstrates a high degree of technical or scientific achievement.
2. The property has **historical value or associative value** because it,
 - a) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - b) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - c) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has **contextual value** because it,
 - a) is important in defining, maintaining or supporting the character of an area,
 - b) is physically, functionally, visually or historically linked to its surroundings, or
 - c) is a landmark.

5.1 Design or physical value

This house has been found to have evolved from a simple settler's cottage, built by George McGill upon his arrival from Scotland in 1834. This was moved across Lorne Park Road, and over a number of occupancies (many of them descendants of George McGill) the house evolved into what it is today.

Subsequent owners have been "house proud" and we commend the Tedder and McDougall families for having cherished this unique home. Improvements and changes were made, as required, but the character and longevity of the house have been preserved.

The house has been already recognized by both the Ontario Heritage Act and the Canadian Register of Historic Places (CRHP).

Parks Canada describes the house as follows (on next page):

The Herbert Denison House is an unusually rich example of the picturesque vernacular style of the 1880s. This is depicted with its variety of gabling and ornately carved bargeboard and gingerbread that was hand carved by Herbert Denison. The structure was added to over the years, with the two-and-a-half storey tower marking the most notable addition. The octagonal tower provides a romantic Asian influence with its two-tiered pagoda roof. The veranda complicates the house's massing and adds to the variety of roof types utilized. The porches, balconies and verandas added to the Herbert Denison House give it an airy spatial quality and are testament to the high degree of craftsmanship demonstrated by its builders.

DESIGN OR PHYSICAL VALUE	
Is it a rare, unique, representative or early example of a style, type, expression, material or construction method	YES This is a unique home that is the result of a number of additions/interventions over
Displays a high degree of craftsmanship or artistic merit	YES The very intricate barge boards and gingerbread trim represents a high level of artistry.
Demonstrates a high degree of technical or scientific achievement	NO The construction methods and assemblies used for this house are not extraordinary
CONCLUSION:	
The house can be considered as having high design and physical value	

5.2 Historical or associative value

Again, we could not describe the historical associations of this property better than how they have been described on the Canadian Register of Historic Places.

The Herbert Denison House is associated with many different owners, including the Denison, McDougall, and Tedder families, all of whom were responsible for various additions to the structure. Land records indicated that there were no buildings on this site in 1877. A portion of the house is believed to incorporate a log structure known as the McGill Cabin, which was constructed in circa 1858 and subsequently moved to the site. Most notable is the home's distinctive octagonal tower, which was added by Herbert Denison. It was salvaged from a nearby building and rolled down the street, where he incorporated it into the home's design. The architectural evolution of the home mirrors the passing of families through the house and their love for this structure.

It was Joseph Tedder who built the attached coach house in a sympathetic style to the main house.

HISTORICAL OR ASSOCIATIVE VALUE	
Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,	YES This house is a testament to the evolution of the neighborhood over the past 16 decades.
Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	YES The history of the owners is, effectively, a history of the evolution of Lorne Park
Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	YES Certainly James McGill displayed great architectural playfulness when he added the pagoda roofed tower to his log cabin.
CONCLUSION	
The succession of owners, rather than any one owner, impart associative value to this house.	

5.3 Contextual Value / Landmark Status

Located in the Lorne Park neighbourhood, the picturesque silhouette of the Herbert Denison House stands out on Lorne Park Road. The homes on the street have become in close proximity to each other and are a combination of older homes and very modern ones, none of which are as notable as 1207 Lorne Park Drive. The Herbert Denison House is a very prominent landmark on the streetscape, imparting character to the neighbourhood of traditional suburban houses.

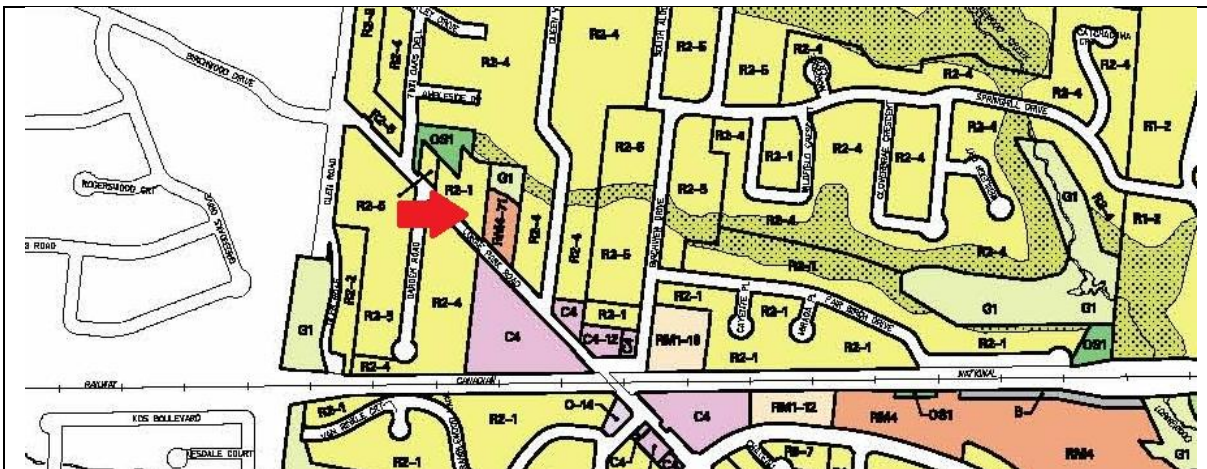
Quoted from the CRHP

CONTEXTUAL VALUE / LANDMARK STATUS	
Is important in defining, maintaining or supporting the character of an area,	YES It is located in a neighborhood of mixed architecture, both in style and age. 1207 Lorne Park Road is distinctive.
Is physically, functionally, visually or historically linked to its surroundings,	NO The neighborhood has evolved over the life of this house and little 19 th other century building fabric remains.
Is a landmark	YES The distinctive tower has been a recognized feature on Lorne Park Road for over 150 years.
CONCLUSION:	
On the distinctiveness of that octagonal tower, the Landmark of this house cannot be questioned.	

6.0 Summary of relevant municipal/agency requirements

The property is currently zoned R2-1. We understand that the proposed new use is in full compliance with this zoning. The easterly minimum side-yard requirement of minimum side yard of 1.80 m (5.90 ft.) will be encroached, however in 2008 a request the City's Committee of Adjustment proposed a side yard reduction to 0.23 m (0.75 ft.); to permit the lowering of the basement floor. The proposed new floor areas do not encroach further than this.

On its west side the property under examination abuts a property which carries the same zoning. On the easterly side a condominiumized property has a site specific zoning which allowed the development of a town-house complex: RM4-71. This development was approved in 2011.



As part of a designated cultural landscape, development is also controlled by the Ontario Heritage Act, Regulation 9/06, which is addressed by this study.

7.0 Proposed redevelopment plan

The owners of 1207 Lorne Park Road purchased what they knew was a historically designated property which within the last ten years had had some major interior renovations undertaken.

Much of the last renovation (c. 2009) was in respect to interior finishes including a new kitchen and new bathrooms. In addition, the basement was dug lower and the stone foundation was underpinned with a height of concrete foundation wall, and new footings.

In the current design proposal, the family wishes to achieve a home with three full bedrooms and an additional bathroom. In order to reach this goal, the upper level will be extended over the current single level family room (this is at the north-east of the house). This will provide floor area for a new Master Bedroom.

This second floor addition adds considerable bulk to the easterly elevation but because of the placement of this house so close to the east property line the condominium townhouse development, constructed within the last ten years, blocks this addition from public view.

The current Second Bedroom was undersized and of poor proportions. It will be improved by adding a 5'-8" addition to the basement and two floors to the north end of the west elevation. In order to be unobtrusive we have proposed that the roofline on this elevation match that of the existing roof.

The revised plan re-allocates the main floor areas, and in order to facilitate the bedroom layout, the staircase will be relocated to become a U-shaped stair with a landing touching the west exterior wall.

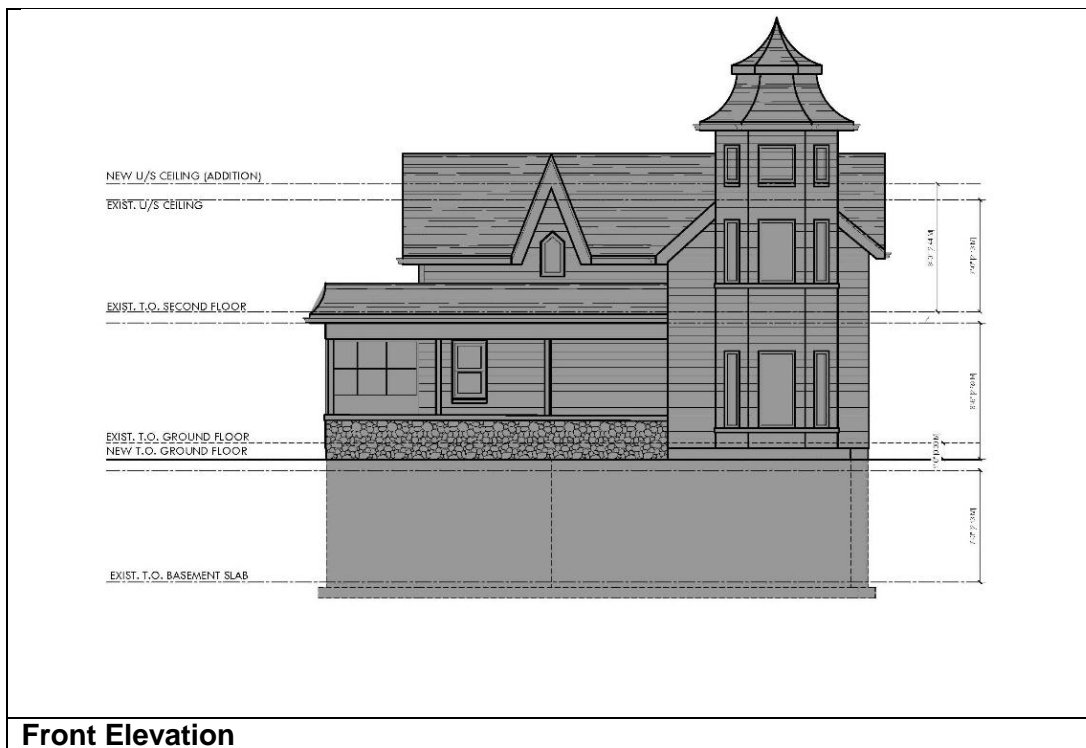
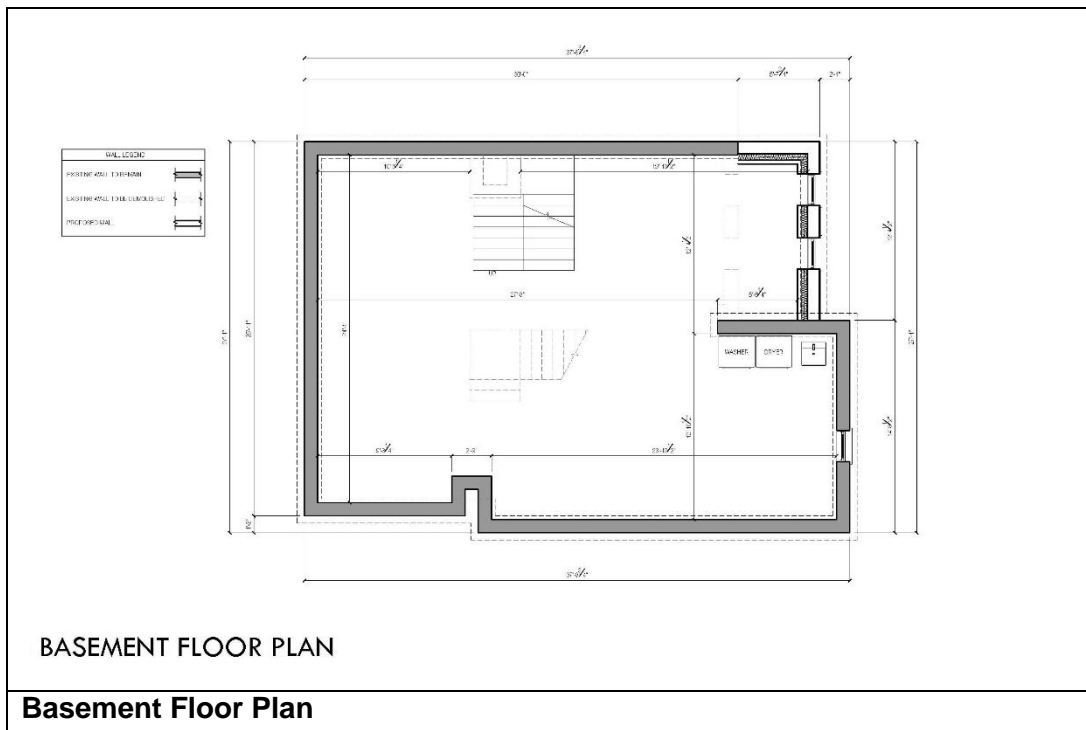
We have negotiated that the interior plan changes not affect the placement of the existing windows. These windows, along with the house's steep gabled roof and carved bargeboards, wrap-around veranda with bell-cast mansard roof with intricate gingerbread, and distinctive octagonal tower with its two-tiered, pagoda-like roof—features cited in the house's historical citation—will remain untouched.

New exterior wall finishes will match the existing horizontal siding. Windows will echo the proportions of the existing double hung units. None of the upgrades impact the street elevation of the McDougall House. The decorative trim will not extend onto the new additions in order to clearly delineate what has been added.

We include full plans and elevations of the 1207 Lorne Park Road showing alterations and additions being proposed by the current owner. The streetscape drawing below verifies that none of the changes will affect the view of the house from Lorne Park Road.



Streetscape View of 1207 Lorne Park Road





West Side Elevation



Rear Elevation



East Side Elevation

8.0 Impact of Proposed Alterations on the Herbert Denison House

While there are some quite significant alterations in all areas of the interior of the historic house (and it should be noted that similarly significant changes were undertaken in the course of past ownership), the impact of extending the footprint of the house at its north-west corner as well as extending the second floor over the present family room, will be almost imperceptible from Lorne Park Road.

Care will be taken to subtly delineate the new additions from what the house is today, but as these are all to the rear of the house, they have no impact on how the house is being publically enjoyed today.

9.0 Mitigation Measures

In the course of schematic design, the Consulting Heritage Architect has offered input to the Designer-of-Record, and these suggestions have been incorporated in the design being submitted.

It is a house that has been added to and altered many times over its life. This work has to proceed in a manner that has a minimum negative impact on the historic, exterior fabric. The stature of this house on the street, and how it sits on its site needs to be maintained.

The current repainting of 1207 Lorne Park Road was undertaken in 2009 under a Heritage Property Grant. Our assumption is that the colours were approved at that time, and we would recommend that if so, this colour scheme should be maintained.

10.0 Recommendation

The house has been recognized, at both the municipal and national levels, as being an important piece of architecture, worthy of preservation.

Looking at the history of the house, we see that it is what it is today through a number of subsequent additions and renovations. The current project simply carries on this history, which recognizes that homes are “living organisms” which need to respond to its occupants’ lifestyles and activities.

We are in full support of the changes being proposed to the Herbert Denison House by the current owners, and commend them on having purchased this house with the full intent of maintaining its heritage profile.

APPENDIX A1 Sources of Information

City of Mississauga Services Online: Property Information

Government of Ontario landtitles repository at <https://onland.ca>
Land Registry Abstracts for:
Lot 25, Lot 2, Toronto Township

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2003

Ontario Ministry of Culture, Ontario Heritage Tool Kit

Parks Canada Agency, Canadian Register of Historic Places, a Federal, Provincial and Territorial Collaboration. <HistoricPlaces.ca>

Vera Mae (Denison) Weeks, Lorne Park Dreams of Long Ago, (self-published).

Census Returns, Canada, Ontario, Toronto Township. 1851, 1971, 1881, 1891, 1901, 1911

Mitchell and Co's Toronto City Directory and Gazetteer of the Counties of York and Peel, 1866

Ancestry.ca for a wide range of sources including birth, marriage and death certificates, and local directories

APPENDIX A2 Selected Reference Documents

- a) City of Mississauga Heritage Designation for 1207 Lorne Park Road
- b) Parks Canada Agency, Canadian Register of Historic Places Listing
- c) Reprint of listings of Building Permit Applications and Development Applications as found on the City of Mississauga Property Look-up site.
- d) Property Index Map for 1207 Lorne Park Road
- e) Landtitle transcripts for Lot 25, Con. 2, SDS
- f) Teranet Land Registry
- g) Peel Voters List of 1965

Property Information

Mississauga's heritage, which extends over 10,000 years, includes archaeological resources, numerous residential, commercial and industrial buildings, views, vistas, ridge lines, scenic routes and a variety of natural heritage properties.

To view details about the inventory item, please click on the INV # link.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
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PROPERTY HERITAGE DETAILS

▫ [View Another Property](#)

Please visit www.mississauga.ca/portal/discover/culture-planning-heritage for more information.

Address: 1207 LORNE PARK RD
Legal Description: CON 2 SDS PT LOT 25
Roll Number: 21-05-020-032-02600-0000



[Print Friendly Page](#)

Heritage Status

Status: DESIGNATED UNDER THE TERMS OF THE ONTARIO HERITAGE ACT
Conservation District:
Bylaw: 281-83
Bylaw Date: 1983-05-09

Inventory Item

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
4170	LOW STONE WALLS			N	
58	HERBERT DENISON HOUSE	1834	1830	N	

Designation Statement

The McDougal House - Architecturally, is an unusually rich example of the picturesque vernacular style of the 1870s and 1880s, with its complex roof massing, unusual plan, and asymmetrical composition, variety of gable pitches, and consistently ornate pierced and carved barge board and treillage. The south octagonal tower completes the silhouette. Built in a former amusement park/resort area, the architecture reflects the picturesque setting of the area.

Property Information

All recognized heritage properties are listed on the City's Heritage Register. Some of these properties are designated under the Ontario Heritage Act. For more information visit [Heritage Planning](#).

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
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PROPERTY HERITAGE DETAIL

▣ [View Another Property](#)

Property Heritage Detail

Address: 1207 LORNE PARK RD
Type: RESIDENTIAL
Style: QUEEN ANNE

Area: CLARKSON
Reason: ARCHITECTURAL



[Print Friendly Page](#)

Images



History

A good example of the Queen Anne style, this one and a half storey house has a steeply pitched gable roof with vergeboard in all the gables as well as along the edges of the eaves. The foundation is of stone which supports thick log walls, the whole covered in clapboard. Recently aluminum siding was applied to the entire exterior. The fenestration program is varied, all sashes are square headed except a small gothic window in the front gable. Different sizes of two over two paned, double hung windows appear on all facades of the structure. There is a small glassed in porch at one end of the verandah which is quite recent. The front door is not the original one and was moved from the far side of the tower to its present location. The octagonal tower is topped with a pagoda-like, two tiered roof with a finial on top. Two and one half storeys are spanned, the tower is not part of the original structure but was taken from another house prior to demolition and incorporated into the Tedder house. A verandah encircles the south-west part of the structure with a bell cast mansard roof, chamfered posts and intricate tree-like (this was added later). The interior, though greatly changed, still has much in the way of wooden trim and moldings still intact. The garage to the rear was built by Mr. Tedder and has vergeboard identical to that on the house.

BY-LAW NUMBER **281-83**

To designate the "McDougall House" (formerly Tedder House) located at 1207 Lorne Park Road, of architectural value and of historical interest.

WHEREAS The Ontario Heritage Act, R.S.O. 1980, Chapter 337, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of historic or architectural value or interest; and

WHEREAS notice of intention to so designate the "McDougall House" (formerly Tedder House) located at 1207 Lorne Park Road, having been duly published and served and no notice of objection to such designation having been received by the Council of the Corporation of the City of Mississauga.

WHEREAS the reasons for the said designation are set out as Schedule "A" hereto;

THEREFORE the Council of The Corporation of the City of Mississauga ENACTS as follows:

1. That the real property, more particularly described in Schedule "B" hereto, known as the "McDougall House" (formerly Tedder House) located at 1207 Lorne Park Road, be designated as being of architectural and historic value or interest.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.

ENACTED AND PASSED this *9th* day of *May*, 1983.

APPROVED
AS TO FORM
City Solicitor
MISSISSAUGA

DATE *7/5/83*

[Signature]
MAYOR

[Signature]
CLERK

CERTIFIED A TRUE COPY
CITY OF MISSISSAUGA
DEPUTY CITY CLERK

SCHEDULE "A" TO BY-LAW NUMBER

281-83

SHORT STATEMENT OF THE REASONS FOR THE
PROPOSED DESIGNATION

Architecturally, the McDougall House is an unusually rich example of the picturesque vernacular style of the 1870's and 1880's, with its complex roof massing, unusual plan, asymmetrical composition, variety of gable pitches, and consistently ornate pierced and carved barge board and treillage. The south octagonal tower completes the silhouette. Built in a former amusement park/resort area, the architecture reflects the picturesque setting of the area.

Description: Part of Lot 25, Concession 2 South of Dundas Street

ALL AND SINGULAR, that certain parcel or tract of land and premises situate, lying and being in the City of Mississauga, Regional Municipality of Peel, (formerly in the Township of Toronto, County of Peel), Province of Ontario and being composed of part of Lot 25 in the Second Concession South of Dundas Street in the said City and which said parcel may be described as follows:

PREMISING that the Northerly limit of Lorne Park Road, (being a road established by the Warden and Council of the Home District, February 17, 1843, by By-law No. 16), has a bearing of North 85 degrees 00 minutes East and relating all bearings herein thereto;

BEGINNING at a point in the Northeasterly limit of said Lot 25 distant 1399.66 feet more or less measured Northwesterly thereon from the most Easterly angle thereof where it is intersected by the Northerly limit of said Lorne Park Road;


THENCE South 85 degrees 00 minutes West along the last mentioned limit, 692.50 feet to the point of commencement;

THENCE South 85 degrees 00 minutes West continuing along the Northerly limit of said Lorne Park Road, 76.25 feet to a point therein;

THENCE North 45 degrees 00 minutes West, 338.50 feet to a point;

THENCE North 44 degrees 00 minutes East, 61.17 feet to a point;

THENCE South 44 degrees 40 minutes East, 388.50 feet more or less to the point of commencement, the hereindescribed parcel being all of the lands described in Instrument 54842 (Toronto Township).


John Wintle,
Ontario Land Surveyor.



A Federal, Provincial and Territorial Collaboration

Herbert Denison House

1207, Lorne Park Road, City of Mississauga, Ontario, Canada

Formally Recognized: 1983/09/05



Herbert Denison House



Herbert Denison House



Herbert Denison House

OTHER NAME(S)

Herbert Denison House

Tedder House

McDougall House

1207 Lorne Park Road

LINKS AND DOCUMENTS[City of Mississauga](#)**CONSTRUCTION DATE(S)**

LISTED ON THE CANADIAN REGISTER: 2010/02/10

STATEMENT OF SIGNIFICANCE**DESCRIPTION OF HISTORIC PLACE**

The Herbert Denison House is located at 1207 Lorne Park Drive, on the north side of Lorne Park Drive, between Garden Road and Queen Victoria Avenue, in the City of Mississauga. The one-and-a-half storey residence was constructed in circa 1890 and is currently clad in aluminum siding.

The property was designated, by the City of Mississauga in 1983, for its cultural heritage value, under Part IV of the Ontario Heritage Act, By-law 281-83.

HERITAGE VALUE

Located in the Lorne Park neighbourhood, the picturesque silhouette of the Herbert Denison House stands out on Lorne Park Road. The homes on the street have become in close proximity to each other and are a combination of older homes and very modern ones, none of which are as notable as 1207 Lorne Park Drive. The Herbert Denison House is a very prominent landmark on the streetscape, imparting character to the neighbourhood of traditional suburban houses.

The Herbert Denison House is associated with many different owners, including the Denison, McDougall, and Tedder families, all of whom were responsible for various additions to the structure. Land records indicated that there were no buildings on this site in 1877. A portion of the house is believed to incorporate a log structure known as the McGill Cabin, which was constructed in circa 1858 and subsequently moved to the site. Most notably is the home's distinctive octagonal tower, which was added by Herbert Denison. It was salvaged from a nearby building and rolled down the street, where he incorporated it into the home's design. The architectural evolution of the home mirrors the passing of families through the house and their love for this structure.

The Herbert Denison House is an unusually rich example of the picturesque vernacular style of the 1880s. This is depicted with its variety of gabling and ornately carved bargeboard and gingerbread that was hand carved by Herbert Denison. The structure was added to over the years, with the two-and-a-half storey tower marking the most notable addition. The octagonal tower provides a romantic Asian influence with its two-tiered pagoda roof. The veranda complicates the house's massing and adds to the variety of roof types utilized. The porches, balconies and verandas added to the Herbert Denison House give it an airy spatial quality and are testament to the high degree of craftsmanship demonstrated by its builders.

Sources: Heritage Structure Report, City of Mississauga, February 17, 1982; Toth, Edna. Gingerbread House: a Lorne Park Landmark, The Mississauga News, May 25, 1990; The City of Mississauga By-law 281-83.

CHARACTER-DEFINING ELEMENTS

Character defining elements that contribute to the heritage value of the Herbert Denison House include its:

- one-and-a-half storey construction
- steeply pitched gable roof
- gingerbread in all the gables and along the eaves
- stone foundation
- log walls covered in clapboard
- two-and-a-half storey projecting octagonal tower, topped with a pagoda-like, two-tiered roof and a finial
- varying sized two-over-two, double hung windows
- small gothic window in front gable
- wrap around veranda with bellcast mansard roof, cambered posts and intricate gingerbread

RECOGNITION

JURISDICTION

Ontario

RECOGNITION AUTHORITY

Local Governments (ON)

RECOGNITION STATUTE

Ontario Heritage Act

RECOGNITION TYPE

Municipal Heritage Designation (Part IV)

RECOGNITION DATE

1983/09/05

HISTORICAL INFORMATION

SIGNIFICANT DATE(S)

1858/01/01 to 1858/01/01

THEME - CATEGORY AND TYPE

Peopling the Land
Settlement

FUNCTION - CATEGORY AND TYPE

CURRENT

Residence
Single Dwelling

HISTORIC

ARCHITECT / DESIGNER

n/a

BUILDER

n/a

ADDITIONAL INFORMATION**LOCATION OF SUPPORTING DOCUMENTATION**

City of Mississauga Planning & Heritage 201 City Centre Drive 9th Floor, Community Services
Mississauga, Ontario L5B 2T4

CROSS-REFERENCE TO COLLECTION**FED/PROV/TERR IDENTIFIER**

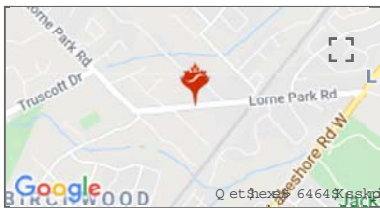
HPON10-0006

STATUS

Published

RELATED PLACES

n/a

**NEARBY PLACES****Bradley Museum**

1620, Orr Road, City of Mississauga, Ontario

The Bradley Museum is located at 1620 Orr Road, on the south side of Orr Road east of Bob-O-

Link...

**Lislehurst**

3359, Mississauga, City of Mississauga, Ontario

Lislehurst, located at 3359 Mississauga Road, is at the end of Principal's Road in the University...



A Federal, Provincial and Territorial Collaboration

Herbert Denison House

1207, Lorne Park Road, City of Mississauga, Ontario, Canada

Formally Recognized: 1983/09/05



Herbert Denison House



Herbert Denison House



Herbert Denison House

OTHER NAME(S)

Herbert Denison House

Tedder House

McDougall House

1207 Lorne Park Road

LINKS AND DOCUMENTS[City of Mississauga](#)**CONSTRUCTION DATE(S)**

LISTED ON THE CANADIAN REGISTER: 2010/02/10

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HERITAGE VALUE

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CHARACTER-DEFINING ELEMENTS

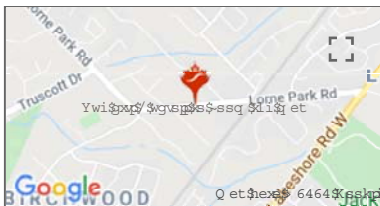
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- stone foundation
- log walls covered in clapboard
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- varying sized two-over-two, double hung windows
- small gothic window in front gable
- wrap around veranda with bellcast mansard roof, cambered posts and intricate gingerbread

▶ RECOGNITION

▶ HISTORICAL INFORMATION

▶ ADDITIONAL INFORMATION



NEARBY PLACES



Bradley Museum

1620, Orr Road, City of Mississauga, Ontario

The Bradley Museum is located at 1620 Orr Road, on the south side of Orr Road east of Bob-O-

Link...



Lislehurst

3359, Mississauga, City of Mississauga, Ontario

Lislehurst, located at 3359 Mississauga Road, is at the end of Principal's Road in the University...

Address: 1207 LORNE PARK RD
 Legal Description: CON 2 SDS PT LOT 25
 Roll Number: 21-05-020-032-02600-0000

 [Print Friendly Page](#)

Building Permits

9 Permit(s) found Page: 1 of 1

App Number	Address	Scope	Issue Date
App Date	Description	Type Description	Status
HVACHOUS 8 2241 R1 2009-10-07	1207 LORNE PARK RD HVAC REVISION	REVISIONS DETACHED DWELLING	2009-10-09 COMPLETED -ALL INSP SIGNED OFF
HVACHOUS 8 2241 HEA 2008-08-07	1207 LORNE PARK RD HEATING ONLY	ALTERATION TO EXISTING BLDG DETACHED DWELLING	2008-08-21 COMPLETED -ALL INSP SIGNED OFF
BP 9ALT 8 1207 2008-05-07	1207 LORNE PARK RD ALTERATIONS - BASEMENT UNDERPINNING	ALTERATION TO EXISTING BLDG DETACHED DWELLING	2009-11-17 COMPLETED -ALL INSP SIGNED OFF
BPC 89 8603 1989-12-04	1207 LORNE PARK RD	OTHER DETACHED DWELLING	1989-12-05 ISSUED PERMIT
HCC 84 232940 1984-05-24	1207 LORNE PARK RD SEWER CONVERSION CODE: 0986 PERMIT 56526 MAY 24/84		HISTORY COMMENT PERMIT
HCC 82 232939 1982-04-15	1207 LORNE PARK RD REPLACE HOT WATER BOILER CODE: 8288 PERMIT 44969 APR 16/82		HISTORY COMMENT PERMIT
HCC 64 232938 1964-04-22	1207 LORNE PARK RD REBUILD GARAGE		HISTORY COMMENT PERMIT
HCC 63 232937 1963-07-16	1207 LORNE PARK RD ENCLOSE/WINTERIZE FRONT PORCH		HISTORY COMMENT PERMIT
HCC 55 232936 1955-01-01	1207 LORNE PARK RD *****HISTORICAL BUILDING #58 - MCDOUGALL HOUSE BY-LAW 281-83***		HISTORY COMMENT PERMIT

9 Permit(s) found Page: 1 of 1

Property Information

The Development Applications page displays a listing of all Development Applications. Development Applications are, in some cases, the pre-requisite to a Building Permit. These applications include, ReZoning, Site Plan and Official Plan Amendment.

Development Application data is displayed in order of Application Date with the most recent application appearing first in the list below. You can change the sort order by clicking on the App Date, Type or Status link. If you have any questions about the development application data displayed below, please contact our Planning Division at (905)615-3200 ext 5541.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	Heritage	Map It
------------------	--------------------	------------------	---------------------------------	-------------------------	----------	--------

PROPERTY DEVELOPMENT APPLICATIONS
[View Another Property](#)

Address: 1207 LORNE PARK RD
 Legal Description: CON 2 SDS PT LOT 25
 Roll Number: 21-05-020-032-02600-0000

 [Print Friendly Page](#)
Development Applications

3 Application(s) found Page: 1 of 1

App Number	Location	Description	App Date	Status
Type				
HPG 9 10 HERITAGE PROPERTY GRANT APP	LORNE PARK	Painting house exterior. Includes scraping, sanding and priming.	2009-05-01	APPROVED
HPA 8 31 HERITAGE PROPERTY PERMIT APP	LORNE PARK	1207 Lorne Park Road	2008-07-29	APPROVED
HPG 8 10 HERITAGE PROPERTY GRANT APP	LORNE PARK	Excavate basement and stabilize foundation.	2008-05-01	APPROVED

3 Application(s) found Page: 1 of 1



PROPERTY INDEX MAP
PEEL(No. 43)

LEGEND

- FREEHOLD PROPERTY
 - LEASEHOLD PROPERTY
 - LIMITED INTEREST PROPERTY
 - CONDOMINIUM PROPERTY
 - RETIRED PIN (MAP UPDATE PENDING)
 - PROPERTY NUMBER
 - BLOCK NUMBER
 - GEOGRAPHIC FABRIC
 - EASEMENT
- 0449
08050

THIS IS NOT A PLAN OF SURVEY

NOTES

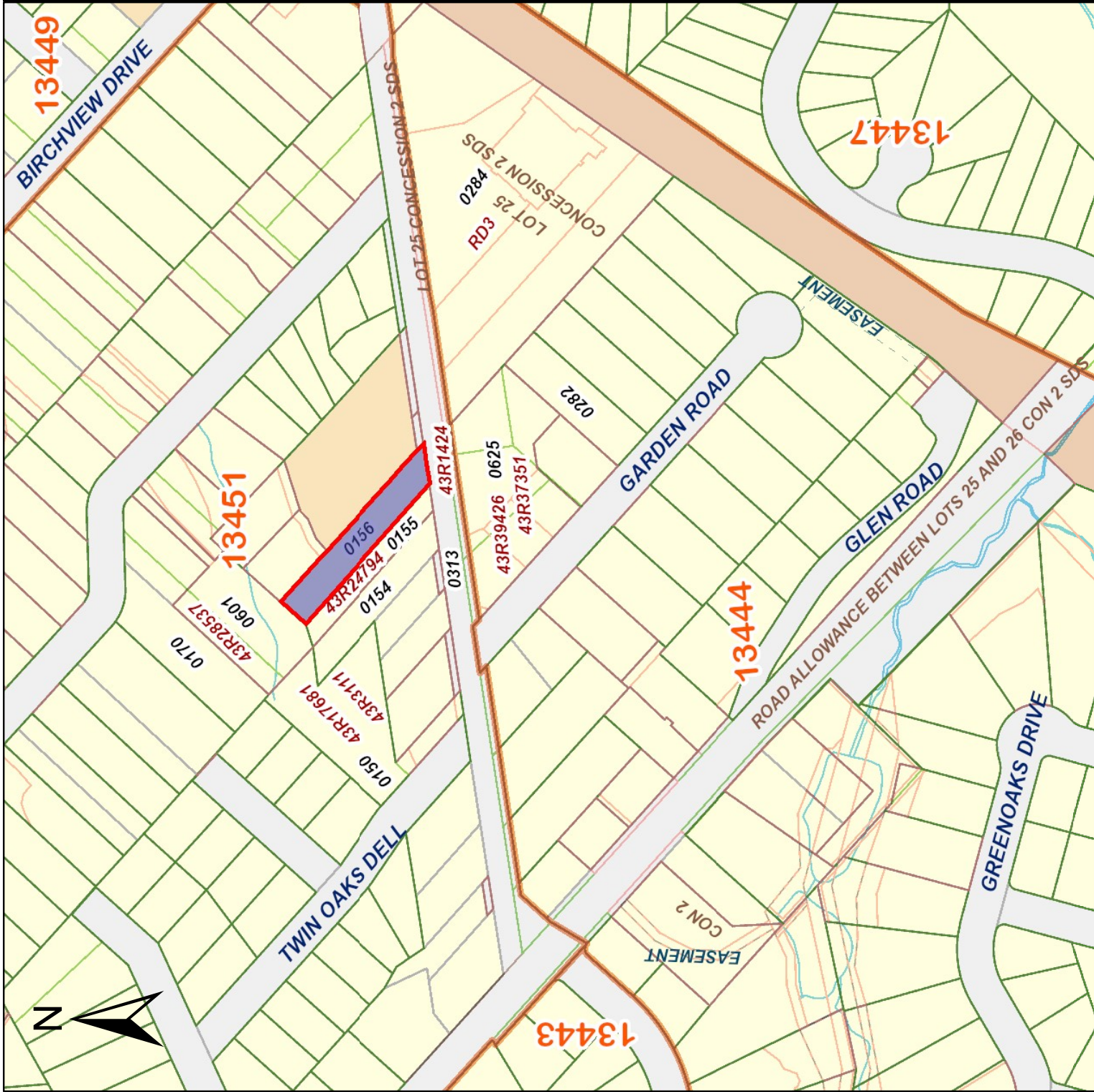
REVIEW THE TITLE RECORDS FOR COMPLETE
PROPERTY INFORMATION AS THIS MAP MAY
NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED



THIS IS A COMPILED
ABSTRACT AND DOES NOT
SHOW DELETED ENTRIES

REGISTRATION NUMBER	DATE OF INSTRUMENT	DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
40076	Attest B.S. 31 Oct. 1851	2 Oct. 1851	The Crown William Cawthra et ux	Joseph Cawthra George McNeill et al	L. 300	all 200 acres all
642	G.	19 Nov. 1853	George McNeill et ux	Hamilton & Toronto Railway Company	L. 418	3 19/100 ac.
5122	Q.C.	24 Mar. 1858	George McNeill et ux	James McNeill	L. 200	all
5949	B.S.	10 Jan. 1887	Henry McNeill et al	Margaret McNeill	1.00	48 1/4 ac.
5950	B.S.	10 Jan. 1887	James McNeill et ux	Henry McNeill	1.00	50 1/4 ac. All his 1/2 interest
5951	B.S.	10 Jan. 1887	Henry McNeill	James McNeill	1.00	49 14/100 & 4 3/4 ac.
6565	B.S.	25 Sept. 1888	Geo. McNeill	Eliza C. McNeill his wife	1.00	as in no. 5951
6751	B.S.	11 Feb.	Eliza C. McNeill	Mary J. Luker	25.00	1/4 ac.
6759	B.S.	30 Jan. 1889	Eliza C. McNeill	Wilbert Oliphant	25.00	1/4 ac.
6897	B.S.	9 Jul. 1889	Eliza C. McNeill	William Dait	1200.00	4 3/4 ac.
6898	MORTGAGE	9 Jul. 1889	William Dait et ux	Eliza C. McNeill	800.00	4 3/4 ac.
7103	B.S.	5 Mar. 1890	Eliza C. McNeill	Andrew H. More	50.00	1/2 ac.
7139	MORTGAGE	1 Apr. 1890	Eliza C. McNeill	Addison Perrin	800.00	4 3/4 ac.
7497	B.S.	27 Dec. 1890	Wm. Dait et ux	Minnie McSpadden	1.00 ac.	4 3/4 ac.
7438	MORTGAGE	2 Dec. 1890	Minnie McSpadden	Francis W. Muttelbury	1376.00	4 3/4 ac.
7714	B.S.	2 Nov. 1891	Minnie McSpadden et al	Francis W. Muttelbury	1.00	4 3/4 ac.
7929	B.S.	7 Jul. 1892	Eliza C. Dait	Francis E. McNeill & Mary A. McNeill	1.00	Part
8158	Will	29 Oct. 1893	Henry McNeill	Margaret McNeill		
8159	B.S.	22 Apr. 1893	Wm. McNeill et al et ux	James MacKerron	3400.00	50 1/4 ac.
8160	B.S.	22 Apr. 1893	Margaret McNeill	James MacKerron	2500.00	43 1/4 ac.
8177	MORTGAGE	11 May 1893	William Oliphant et ux	Dorothy Featherston	100.00	1/4 ac.
8229	B.S.	5 Jan. 1891	Andrew H. Orr et ux	Mary J. Luker	80.00	1/2 ac.
8804	B.S.	2 Apr. 1895	Addison Perrin	Mary A. Shaver	840.00	4 3/4 ac. under Power
9061	B.S.	1 Nov. 1890	Eliza C. McNeill (widow)	Herbert W. Denison	100.00	1 acre of sale

CONCESSION 2305

Township of Toronto LOT 25

THIS IS A COMPILED
ABSTRACT AND DOES NOT
SHOW DELETED ENTRIES

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
11392	Absent	25 Jan. 1904	19 Feb. 1904	Henry Pickett	Robert Wm. Ward	850.00	8 pt.
11405	Absent	1 Feb. 1904	27 Feb. 1904	Henry Pickett unmarried	Toronto & Niagara Power Co.	600.00	1.29 pt. see plan attached here to.
12284	Absent	25 Apr. 1906	4 May 1906	Robert Wm. Ward	George H. Patchett	900.00	pt. 8.8 pt.
13070	Absent	31 Mar. 1907	24 Jun. 1908	Frederick A. Hamilton	Andrew James Burns	800.00	pt. all his right title etc. to over head bridge crossing etc.
13341	Absent	6 Mar. 1909	10 Mar. 1909	George H. Patchett et ux	Railway Company of Canada	1000.00	8.8/100 pt.
13500	Absent	2 May 1909	16 Jun. 1909	Robert Swetten et ux	Wesley J. J. Patchett	3500.00	20 ac.
13915	Absent	7 Mar. 1910	17 Apr. 1910	Joseph Asmann et ux	Charles A. Risk & Jesse A. Mills	245.00	2 1/2 pt.
13964	Absent	30 Apr. 1910	3 May 1910	Andrew Burns et ux	Norman R. Denison Andrew James Burns	9.00	1 st other consideration
14397	Absent	9 Mar. 1911	31 Mar. 1911	Wesley J. J. Patchett et ux	George Pepper	2000.00	pt. 8.8/10 pt.
14587	Absent	5 Jul. 1911	3 Aug. 1911	Norman R. Denison Bachelor	Mary J. Luker	1.00	pt. 2 1/2 & assumption of Midge for 150.00
14605	Absent	24 Aug. 1911	2 Sept. 1911	George A. Mills et ux & Charles A. Risk et ux	Reginald B. Colloton	8000.00	pt. 20 pt.
15228	Absent	23 Sept. 1912	29 Oct. 1912	Andrew Burns et ux	Wm. J. Shearn	600.00	pt. 2 pt. & right of way
15559	Absent	15 Mar. 1913	27 Mar. 1913	Wesley J. J. Patchett et ux	Samuel P. Biggs	3000.00	pt. 77/100 pt. & 0.2 pt. for right of way
15582	Agreed	29 Mar. 1913	2 Apr. 1913	Wm. J. Shearn	Andrew Burns	1.00	pt. re right of way
15583	Absent	29 Mar. 1913	2 Apr. 1913	Andrew Burns et ux	Samuel P. Biggs	450.00	0.37 pt. for right of way
15584	Absent	29 Mar. 1913	2 Apr. 1913	Ellis J. Sharp et ux	Samuel P. Biggs	246.00	0.41 pt. for right of way
15698	Absent	25 Apr. 1913	9 May 1913	Shannon E. Sharp et ux	George Perry	13,000.00	pt. 49.14 pt. sold off
15804	Absent	9 May 1913	4 Jun. 1913	Herbert W. Denison et ux	Mary A. Denison	2150.00	1/2
H'13	Plan	14 Jun. 1913	9 Jul. 1913	George Perry	Subdivision of parts of Harry H. Patchett	Lot 25 Con 2305	etc. pt. 1.75 pt.
15955	Absent	5 Sept. 1913	12 Sept. 1913	Wesley J. J. Patchett et ux	Harry H. Patchett	1.00	etc. pt. 1.75 pt.
16044	Absent	9 Aug. 1913	18 Oct. 1913	Reginald B. Colloton et ux	Andrew H. Daigle	2500.00	1/2 pt.

LOT CONCESSION

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
16045	Mort	10 Oct. 1913	18 Oct. 1913	Andrew R. Douglas et ux	Elizabeth Douglas	1.00	4 1/2 pt.
16169	Mort	15 Dec. 1913	19 Dec. 1913	Andrew Burns et ux	William J. Shearn	1.00	pt. 2 to rectify description in 15228
16182	Mort	6 Dec. 1913	22 Dec. 1913	Andrew Burns et ux	George F. Shaver	250.00	pt. pt.
16421	Mort	16 Mar. 1914	3 Apr. 1914	Andrew Burns et ux	Jane Hodge	300.00	pt. pt.
16497	Mort	28 Apr. 1914	11 May 1914	Andrew Burns et ux	Jane H. Brown	250.00	pt. pt.
16663	Mort	18 May 1914	5 Sep. 1914	George Peppers et ux	Esther Johnson	1000.00	pt. 1 pt.
17506	Mort	14 Feb. 1916	2 Mar. 1916	Reginald B. Colloton et ux	Rowise H. McLean	500.00	pt. pt.
17666	Mort	26 May 1916	1 Jun. 1916	Andrew Burns et ux	John Marks	1000.00	pt. pt.
17667	Mort	26 May 1916	1 Jun. 1916	John Marks et ux	Andrew Burns	900.00	pt. pt.
17716	Mort	29 Jun. 1916	30 Jun. 1916	Samuel P. Biggs et ux	Toronto Dwellings Ltd.	1.00	pt. pt. & O.L.
17866	Mort	21 Nov. 1916	29 Nov. 1916	Andrew Burns et ux	Jane H. Brown	100.00	pt.
17876	Mort	5 Oct. 1916	7 Dec. 1916	Andrew Burns et ux	Victor Marks	900.00	1 1/2 pt.
17987	Agmt	12 Oct. 1916	13 Feb. 1917	William J. Shearn	George A. Castle	1250.00	pt.
17991	Mort	15 Feb. 1917	17 Feb. 1917	Toronto Dwellings	Toronto A & W Rly Co.	1.00	pt. & O.L.
18039	O.M.	16 Mar. 1917	23 Mar. 1917	Andrew Burns	Charles Bennett	1.00	pt. Design (17667)
18059	Agmt	20 Nov. 1916	11 Apr. 1917	Jane H. Brown et ux	Eva E. Allen	1000.00	pt.
18217	Mort	3 May 1917	29 Aug. 1917	Reginald B. Colloton et ux	Annie J. Richardson	500.00	pt. pt.
18219	Mort	8 May 1917	29 Aug. 1917	Annie J. Richardson	Reginald B. Colloton	375.00	pt. pt.
18539	Mort	6 May 1918	13 May 1918	Reginald B. Colloton et ux	Joseph A. Neal	7600.00	6.4/10 pt.
See Deposit No. 89							
18821	Mort	18 Dec. 1918	11 Feb. 1919	Elizabeth Douglas	Barbara L. Bull	415.00	pt.
18947	Mort	4 Apr. 1919	22 Apr. 1919	Mary A. Denison	Mary J. Kuter	200.00	1/2 pt.
19451	Mort	11 Nov. 1919	9 Dec. 1919	Reginald B. Colloton et ux	John M. C. Surge	800.00	pt.
19753	Mort	6 Apr. 1920	10 Apr. 1920	Alice Clark	Wesley J. D. Patchett	7000.00	8.8 ac except 1.75 ac sold off
19754	Mort	6 Apr. 1920	10 Apr. 1920	Wesley J. D. Patchett et ux	Alice Clark	11,000.00	8.8 ac except 1.75 ac sold off
19907	Mort	11 May 1920	17 May 1920	Harry H. Patchett et ux	Thomas E. M. Murray	25000.00	1.75

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REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
31107	Mt.	28 Dec 1928	21 Dec 1928	Thomas E. Murray	Bank of Montreal	2.00	etc. pt. 1-77 pt.
31399	Q.C. Deed	22 Mar 1929	2 Apr 1929	Bank of Montreal	Thomas E. McMurphy	1.77	pt. Q.C. 31107.
33953	Mt.	15 May 1931	13 Aug 1931	Robert C. Haggard	Violet Corbet + David Miller Corbet	5777.26	8.8/10 ave and except pt sold (letter from Briggs dated June 1/33 stating Haggard deed not registered 63/100 material love and affection pt.
34035	Mt.	21 Aug 1931	26 Sept 1931	Mary J. Raker	Arthur Raker		
34088	Agreement	17 Oct 1931	21 Oct 1931	Albert H. Allen	John Marks	1000.00	pt. agree for purchase of land
34933	Mt.	6 Oct 1932	12 Oct 1932	Daisy MacMillan	Frank Parker	2900.00 + 8 ac. except part	7000.00 mtp.
35368	Q.C.	18 Apr 1933	31 May 1933	Violet Corbet and David M. Corbet (Hills)	Deborah C. Haggard and Foster E. Haggard (Depts)	8.8/10 Depts debanded & foreclosed.	
35941	Mt.	10 Apr 1934	20 Apr 1934	Violet Corbett et al	Shelma McKeown	1350.00	Part
36093	Mt.	23 Jun 1934	28 Jun 1934	Emma J. Denison	Wesley Patchett	850.00	3/4 Part.
36203	Mt.	1 Sept 1934	14 Sept 1934	Wesley Patchett	Mildred M. Kennedy	1200.00	3/4 Part.
36337	Mt.	14 Oct 1934	14 Dec 1934	John Marks et al	Albert Allen	1000.00	Part as in mo. 17666
36573	Q.C.	21 Mar 1935	8 May 1935	Frank Parker and Alma M. Parker	Wm. Rightfoot	100.00	Taken in satisfaction of mortgage mo. 19753.
36631	Mt.	23 May 1935	28 May 1935	Lauchlan A. Hamilton et al	Helen Ryan + Kertrude McKeown	900.00	3 ac joint tenants
37452	Mt.	31 Oct 1936	26 Nov 1936	Arthur Raker	Frank W. Brown and Sophia Brown as joint tenants	350.00	2 ac Part Sketch Attached
37667	Q.C.	27 Feb 1936	17 Apr 1937	Thomas Steele	Reginald B. Colston	100.00	Part as in mo. 21535
37708	Mt.	17 May 1937	18 May 1937	Robert P. Ward	William M. Ward	1.00	2.5 N. & S. A Part as in 23627
37750	Release	25 May 1937	7 Jun 1937	National Trust Co. Ltd.	Hydro-Electric Power Comm.	1.00	Part 9 O.L. Relieving Mortgage dated 1st March 1908
38461	Mt.	13 Jun 1938	14 Jun 1938	Myrtle L. Grouther	Orange E. Byers		Part as in Mo. 22686

LOT CONCESSION

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	CONSIDERATION	REMARKS
39102	Grant	22 Mar. 1939	20 Apr. 1939	Arthur Huber, widower	Margaret King	Part Comm. SE lot 1, plan 113. Thence SW 76'3" x NW 338'6" x NE 61'2" x SE 388'6" to poys. Sketch attached.
<i>See Deposit No. 451</i>						
39105A	Grant	24 Apr. 1939	25 Apr. 1939	Orange E. Burns et ux	Wilbert G. Blake	Part as in No. 22686
39113	Q.C.	-- May 1939	27 May 1939	James E. Durham	Daisy M. Durham	L. & P. Part Comm. 275' E of intersection of S. pass. Road & Road allowance between 25x26 Thence E 115'3" Thence N 175' etc.
39572	Grant	3 Nov. 1939	14 Nov. 1939	Mildred M. Kennedy	Jos. Mallin & Mayou	100.00 3/4 47'4" frontage on S. pass. Rd. 7 adjoining former Huber lot.
39578	Grant	17 Nov. 1939	16 Nov. 1939	Cuba C. Whittaker	Thomas E. Maymurry	2.00 A front of right-of-way
39857	Grant	12 Apr. 1940	25 Apr. 1940	Daisy M. Durham	Edward Wilkes	1.00 Part Comm. in 714 Limit of S. pass. Road
40659	Grant	27 Feb. 1941	12 Mar. 1941	Arthur E. Huber	Burham A. Hale	600.00 275' E. of W. limit of lot Thence E 115'3" x 175' 0.98 Sketch Attached. Comm.
40659	Grant	27 Feb. 1941	12 Mar. 1941	Arthur E. Huber	Burham A. Hale	600.00 491'7" E. of W. angle in S. limit of Indian Road Thence W 129'8" x S 338'9" x E 134" x N 342'3" Open. Consent Attached.
40994	Probate	24 Apr. 1941	22 May 1941	Hamilton A. Hamilton	A. J. Miles et al	Part among other bequests
40994	Grant	19 Jul. 1941	29 Jul. 1941	M. Joseph Asman	Wm. Lightfoot and Mabel A. Lightfoot as joint tenants	4000.00 2 Part Comm. at NW angle Thence E 395' x S 395' x W 395' x N 395' to right.
41123	Grant	9 Aug. 1941	15 Sept. 1941	Margaret King	Edith H. Haney	2500.00 Part as in No. 39102
41123	Grant	10 Aug. 1941	27 Sept. 1941	William Maffuchan	Anna Strasser	1.00 Part Comm. 302'23" of W angle Thence E 508' x E 154'5" x S 190'5" x W 654'9" x N 139' to place of beginning.

CONCESSION 2 SDS

LOT 25

Township of Ontario

THIS IS A COMPILED
ABSTRACT AND DOES NOT
SHOW DELETED ENTRIES.

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
41164	Mortgage	6 Sept. 1941	29 Sept. 1941	Violet Carbet et al Exrs. Her Payer	Ann. Thayer	\$100	Part as in mto 41163
41532	Agreement	14 Feb. 1942	16 Feb. 1942	Edith H. Haney	Mary G. Sedden	3000.00	Agreement for sale. Part Comm. in Nly limit of Home Park Rd. 692'6" W. of Ely limit of lot being S.E. angle of lot 1 H-13 Thence W 76'3" x N 7338'6" x E 61'2" x S 388'6" to place of beginning.
41928	Mortgage	5 June 1942	21 July 1942	William Lightfoot and Mabel Q. Lightfoot	Reginald G. S. Graham	300.00	Part Comm. in Wly limit of lot 231 S of Wly Thence N 50° x E 245' x S 550' x W 245' to pg. b. pt. as in mto 41928.
42055	Mortgage	10 Aug. 1942	27 Aug. 1942	Emmeline Goman	Reginald G. S. Graham, as joint tenants	\$100	
42288	Mortgage	31 July 1942	19 Oct. 1942	Elsie Oliphant, exr. Wilbert Oliphant & personally	Elsie Oliphant & Wilbert Oliphant	100.00	Attached Comm. in N limit of L.P. Rd. 13.87 chs. E of W limit of lot Thence E 50 chs. x N 5 chs. x W 50 chs. x S 5 chs. to pg. b. limit of lot 24. plan H-13.
42759	Mortgage	5 Oct. 1943	12 Apr. 1943	Alodys M. Scott exr. J. Marime Scott & personally	Richard Cottrill & Es-ther Cottrill, as joint tenants	\$2000.00	Limit of lot 24. Thence N 64° E 37' S of NEA Thence N 64° E 18'6" x S 226° E 18'6" x S 64° W 15'6" to NE limit of lot 24 H-13 Thence N 18' to pg. b.
42922	Mortgage	1 June 1943	1 June 1943	Sida Jane Blackley, Ethel Gibson, wife Carrie Hibbard	David M. Battersby	\$200.00	6.4 pt. Quas. Convent Attached Comm. 2229'9" S of NW 1/4 Thence NW 399' x 764' 7' E 693'6" x SE 455' x S 68° 21' 45" to pg. b.

LOT CONCESSION

REGISTRATION NO.	INSTRUMENT	DATE OF INSTRUMENT	GRANTOR	GRANTEE	CONSIDERATION \$	LAND AND REMARKS
406135VS	Mort	2 Sept. 1976	Mary D. Jadder	Joseph O. Jadder & Mary D. Jadder, as joint tenants	2.000	Part as in mo. 41532 except p. of c. is Comm. 692'6" wily from 312 L of lot, Plan H-13. Sketch attached
406300VS	Mort	8 Sept. 1976	Louis O. Simonson & Francis Obrodovich	Henry Hueso Construction Limited, Matt Hueso & John Hueso Construction Limited c.o.b. White Oaks Homes	2.000	2.000 pt. designated as Pt. 2 on 43R-4297 C. of A. endorsed
406757VS	MORTGAGE	31 Aug. 1976	Bruce Haas	C.A.E. Realty Limited	17,600.00	pt. as in 359066VS
408355VS	Mort	29 Sept. 1976	John A. Haas	John A. Hayton Margaret J. Hayton	8.00	pt. designated as pt. 2 on 43R-4300 discharged from 367688VS
408326VS	Mort	15 Sept. 1976	John A. Hayton Margaret J. Hayton	Herbert G. Bunge Helen Bunge as joint tenants	2.000	pt. designated as pt. 2 on 43R-4350 C. of A. endorsed
409721VS	Mort	30 Sept. 1976	Frances De Brobandere	Armi R. Luvanon Maryjoie R. Luvanon as joint tenants	2.000	pt. designated as pt. 2 on 43R-2170
412866VS	Mort	11 Nov. 1976	Michael Chilco	Duane R. Brooks & Ora P. Brooks, as joint tenants	2.000	Part as in mo. 332686VS
428153	Mort	4 April 1977	29 Apr. 1977	Termy W. Chamberlain Alija Chamberlain	2.000	part as in 137757VS
428154	MORTGAGE	9 Mar. 1977	John Craig & Mary B. Craig	Kenner Mortgage Corporation	20,000.00	part as in 137757VS
429143	MORTGAGE	27 Oct. 1977	Edward Adipito	De Jarento Adminis. Co. Inc.	65,000.00	Part designated as pt. 1 on 43R-4209
429662	Mort	29 Mar. 1977	11 May 1977	Joan M. Swartz Geannette C. Newton	2.000	part as in mo. 137757VS

25X

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ABSTRACT INDEX
25 CONCESSION 2 S.D.S.

LOT

REGISTRATION NUMBER	INSTRUMENT	REGISTRATION DATE Y/M/D	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
885038	Mort	89 03 08	MOUSEY, Richard Craig Bass, Albert	DISCHARGED BY KOLLODZKO ASST. DEP. LAND REG. LR 0405116	250,000.00	part as in 861226-861225- SUGGEST 25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1221-1222-1223-1224-1225-1226-1227-1228-1229-1230-1231-1232-1233-1234-1235-1236-1237-1238-1239-1240-1241-1242-1243-1244-1245-1246-1247-1248-1249-1250-1251-1252-1253-1254-1255-1256-1257-1258-1259-1260-1261-1262-1263-1264-1265-1266-1267-1268-1269-1270-1271-1272-1273-1274-1275-1276-1277-1278-1279-1280-1281-1282-1283-1284-1285-1286-1287-1288-1289-1290-1291-1292-1293-1294-1295-1296-1297-1298-1299-1300-1301-1302-1303-1304-1305-1306-1307-1308-1309-1310-1311-1312-1313-1314-1315-1316-1317-1318-1319-1320-1321-1322-1323-1324-1325-1326-1327-1328-1329-1330-1331-1332-1333-1334-1335-1336-1337-1338-1339-1340-1341-1342-1343-1344-1345-1346-1347-1348-1349-1350-1351-1352-1353-1354-1355-1356-1357-1358-1359-1360-1361-1362-1363-1364-1365-1366-1367-1368-1369-1370-1371-1372-1373-1374-1375-1376-1377-1378-1379-1380-1381-1382-1383-1384-1385-1386-1387-1388-1389-1390-1391-1392-1393-1394-1395-1396-1397-1398-1399-1400-1401-1402-1403-1404-1405-1406-1407-1408-1409-1410-1411-1412-1413-1414-1415-1416-1417-1418-1419-1420-1421-1422-1423-1424-1425-1426-1427-1428-1429-1430-1431-1432-1433-1434-1435-1436-1437-1438-1439-1440-1441-1442-1443-1444-1445-1446-1447-1448-1449-1450-1451-1452-1453-1454-1455-1456-1457-1458-1459-1460-1461-1462-1463-1464-1465-1466-1467-1468-1469-1470-1471-1472-1473-1474-1475-1476-1477-1478-1479-1480-1481-1482-1483-1484-1485-1486-1487-1488-1489-1490-1491-1492-1493-1494-1495-1496-1497-1498-1499-1500-1501-1502-1503-1504-1505-1506-1507-1508-1509-1510-1511-1512-1513-1514-1515-1516-1517-1518-1519-1520-1521-1522-1523-1524-1525-1526-1527-1528-1529-1530-1531-1532-1533-1534-1535-1536-1537-1538-1539-1540-1541-1542-1543-1544-1545-1546-1547-1548-1549-1550-1551-1552-1553-1554-1555-1556-1557-1558-1559-1560-1561-1562-1563-1564-1565-1566-1567-1568-1569-1570-1571-1572-1573-1574-1575-1576-1577-1578-1579-1580-1581-1582-1583-1584-1585-1586-1587-1588-1589-1590-1591-1592-1593-1594-1595-1596-1597-1598-1599-1600-1601-1602-1603-1604-1605-1606-1607-1608-1609-1610-1611-1612-1613-1614-1615-1616-1617-1618-1619-1620-1621-1622-1623-1624-1625-1626-1627-1628-1629-1630-1631-1632-1633-1634-1635-1636-1637-1638-1639-1640-1641-1642-1643-1644-1645-1646-1647-1648-1649-1650-1651-1652-1653-1654-1655-1656-1657-1658-1659-1660-1661-1662-1663-1664-1665-1666-1667-1668-1669-1670-1671-1672-1673-1674-1675-1676-1677-1678-1679-1680-1681-1682-1683-1684-1685-1686-1687-1688-1689-1690-1691-1692-1693-1694-1695-1696-1697-1698-1699-1700-1701-1702-1703-1704-1705-1706-1707-1708-1709-1710-1711-1712-1713-1714-1715-1716-1717-1718-1719-1720-1721-1722-1723-1724-1725-1726-1727-1728-1729-1730-1731-1732-1733-1734-1735-1736-1737-1738-1739-1740-1741-1742-1743-1744-1745-1746-1747-1748-1749-1750-1751-1752-1753-1754-1755-1756-1757-1758-1759-1760-1761-1762-1763-1764-1765-1766-1767-1768-1769-1770-1771-1772-1773-1774-1775-1776-1777-1778-1779-1780-1781-1782-1783-1784-1785-1786-1787-1788-1789-1790-1791-1792-1793-1794-1795-1796-1797-1798-1799-1800-1801-1802-1803-1804-1805-1806-1807-1808-1809-1810-1811-1812-1813-1814-1815-1816-1817-1818-1819-1820-1821-1822-1823-1824-1825-1826-1827-1828-1829-1830-1831-1832-1833-1834-1835-1836-1837-1838-1839-1840-1841-1842-1843-1844-1845-1846-1847-1848-1849-1850-1851-1852-1853-1854-1855-1856-1857-1858-1859-1860-1861-1862-1863-1864-1865-1866-1867-1868-1869-1870-1871-1872-1873-1874-1875-1876-1877-1878-1879-1880-1881-1882-1883-1884-1885-1886-1887-1888-1889-1890-1891-1892-1893-1894-1895-1896-1897-1898-1899-1900-1901-1902-1903-1904-1905-1906-1907-1908-1909-1910-1911-1912-1913-1914-1915-1916-1917-1918-1919-1920-1921-1922-1923-1924-1925-1926-1927-1928-1929-1930-1931-1932-1933-1934-1935-1936-1937-1938-1939-1940-1941-1942-1943-1944-1945-1946-1947-1948-1949-1950-1951-1952-1953-1954-1955-1956-1957-1958-1959-1960-1961-1962-1963-1964-1965-1966-1967-1968-1969-1970-1971-1972-1973-1974-1975-1976-1977-1978-1979-1980-1981-1982-1983-1984-1985-1986-1987-1988-1989-1990-1991-1992-1993-1994-1995-1996-1997-1998-1999-2000-2001-2002-2003-2004-2005-2006-2007-2008-2009-2010-2011-2012-2013-2014-2015-2016-2017-2018-2019-2020-2021-2022-2023-2024-2025-2026-2027-2028-2029-2030-2031-2032-2033-2034-2035-2036-2037-2038-2039-2040-2041-2042-2043-2044-2045-2046-2047-2048-2049-2050-2051-2052-2053-2054-2055-2056-2057-2058-2059-2060-2061-2062-2063-2064-2065-2066-2067-2068-2069-2070-2071-2072-2073-2074-2075-2076-2077-2078-2079-2080-2081-2082-2083-2084-2085-2086-2087-2088-2089-2090-2091-2092-2093-2094-2095-2096-2097-2098-2099-2100-2101-2102-2103-2104-2105-2106-2107-2108-2109-2110-2111-2112-2113-2114-2115-2116-2117-2118-2119-2120-2121-2122-2123-2124-2125-2126-2127-2128-2129-2130-2131-2132-2133-2134-2135-2136-2137-2138-2139-2140-2141-2142-2143-2144-2145-2146-2147-2148-2149-2150-2151-2152-2153-2154-2155-2156-2157-2158-2159-2160-2161-2162-2163-2164-2165-2166-2167-2168-2169-2170-2171-2172-2173-2174-2175-2176-2177-2178-2179-2180-2181-2182-2183-2184-2185-2186-2187-2188-2189-2190-2191-2192-2193-2194-2195-2196-2197-2198-2199-2200-2201-2202-2203-2204-2205-2206-2207-2208-2209-2210-2211-2212-2213-2214-2215-2216-2217-2218-2219-2220-2221-2222-2223-2224-2225-2226-2227-2228-2229-2230-2231-2232-2233-2234-2235-2236-2237-2238-2239-2240-2241-2242-2243-2244-2245-2246-2247-2248-2249-2250-2251-2252-2253-2254-2255-2256-2257-2258-2259-2260-2261-2262-2263-2264-2265-2266-2267-2268-2269-2270-2271-2272-2273-2274-2275-2276-2277-2278-2279-2280-2281-2282-2283-2284-2285-2286-2287-2288-2289-2290-2291-2292-2293-2294-2295-2296-2297-2298-2299-2300-2301-2302-2303-2304-2305-2306-2307-2308-2309-2310-2311-2312-2313-2314-2315-2316-2317-2318-2319-2320-2321-2322-2323-2324-2325-2326-2327-2328-2329-2330-2331-2332-2333-2334-2335-2336-2337-2338-2339-2340-2341-2342-2343-2344-2345-2346-2347-2348-2349-2350-2351-2352-2353-2354-2355-2356-2357-2358-2359-2360-2361-2362-2363-2364-2365-2366-2367-2368-2369-2370-2371-2372-2373-2374-2375-2376-2377-2378-2379-2380-2381-2382-2383-2384-2385-2386-2387-2388-2389-2390-2391-2392-2393-2394-2395-2396-2397-2398-2399-2400-2401-2402-2403-2404-2405-2406-2407-2408-2409-2410-2411-2412-2413-2414-2415-2416-2417-2418-2419-2420-2421-2422-2423-2424-2425-2426-2427-2428-2429-2430-2431-2432-2433-2434-2435-2436-2437-2438-2439-2440-2441-2442-2443-2444-2445-2446-2447-2448-2449-2450-2451-2452-2453-2454-2455-2456-2457-2458-2459-2460-2461-2462-2463-2464-2465-2466-2467-2468-2469-2470-2471-2472-2473-2474-2475-2476-2477-2478-2479-2480-2481-2482-2483-2484-2485-2486-2487-2488-2489-2490-2491-2492-2493-2494-2495-2496-2497-2498-2499-2500-2501-2502-2503-2504-2505-2506-2507-2508-2509-2510-2511-2512-2513-2514-2515-2516-2517-2518-2519-2520-2521-2522-2523-2524-2525-2526-2527-2528-2529-2530-2531-2532-2533-2534-2535-2536-2537-2538-2539-2540-2541-2542-2543-2544-2545-2546-2547-2548-2549-2550-2551-2552-2553-2554-2555-2556-2557-2558-2559-2560-2561-2562-2563-2564-2565-2566-2567-2568-2569-2570-2571-2572-2573-2574-2575-2576-2577-2578-2579-2580-2581-2582-2583-2584-2585-2586-2587-2588-2589-2590-2591-2592-2593-2594-2595-2596-2597-2598-2599-2600-2601-2602-2603-2604-2605-2606-2607-2608-2609-2610-2611-2612-2613-2614-2615-2616-2617-2618-2619-2620-2621-2622-2623-2624-2625-2626-2627-2628-2629-2630-263

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1469 McNamara, Vincent, stationery engr.	90
1469 McNamara, Mrs. Gwen, secretary	91
1469 Weales, Miss Edna, dental assistant	92
1473 Zuuring, John, actuary (asst.)	93
1473 Zuuring, Mrs. Giovanna, hw	94
1473 Zuuring, Hans, student	95
1473 Zuuring, Peter, student	96
1499 Montague, John, asst. director	97
1499 Montague, Mrs. Patricia, hw	98
1516 Holbrooke, Mrs. Marie, hw	99
1516 Holbrooke, Miss Susan, musician	100

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1434 Lowik, John, shipper	101
1434 Lowik, Mrs. Petronella, hw	102

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1460 Shaw, James, pilot	103
1460 Shaw, Mrs. Elizabeth, hw	104
1468 Cowan, Norman, salesman	105
1468 Cowan, Mrs. Catharine, hw	106
1469 Gaunt, William, salesman	107
1469 Gaunt, Mrs. Mona, hw	108
1474 Lester, Robert, show business	109
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1135 Audsley, Harry, bicycle shop owner	111
1153 Audsley, Mrs. Patricia, hw	112
1138 Pilkey, Lawrence G., armed forces	113
1138 Pilkey, Mrs. Helene, hw	114
1138 Pilkey, Miss Lynda-Gayle, circulation mgr.	115
1141 Jasper, William, handler	116
1141 Jasper, Mrs. Estelle, hw	117
1144 Milkau, Anthony, self-employed	118
1144 Milkau, Mrs. Elsie, hw	119
1151 Silk, William Kenneth, salesman	120
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1157 Goodjohn, Mrs. Florence, hw	124
1164 Cousins, W. G., chemical engr.	125
1164 Cousins, Mrs. Betty, hw	126
1165 Yeomass, Lloyd, engineer	127
1165 Yeomass, Mrs. Gladys, hw	128
1173 Stockermans, Cornelius, branch mgr.	129
1173 Stockermans, Mrs. Margaret, hw	130
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1184 Kirby, Mrs. Winnifred, secretary	135
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1185 Heath, Mrs. Gertrude, hw	141
1193 Ryan, Miss Helen, retired	142
1193 Hamilton, Mrs. Gertrude, artist	143
1211 Bramfitt, Mrs. Arvilla, hw	144

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1220 Brown, Warren, electrical engr.	147
1220 Brown, Mrs. Janet, hw	148
1249 Bluett, John, salesman	149
1249 Bluett, Mrs. Joyce, hw	150
1250 Gerhart, Albert, school principal	151
1250 Gerhart, Mrs. Louise, hw	152
1265 Cartwright, William, manager	153
1265 Cartwright, Mrs. Roely, hw	154
1276 Grey-Noble, Norman, sales manager	155
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1210 Hughes, Mrs. Helen E., hw	168
1214 MacInnis, Laughlin, teacher	169
1214 MacInnis, Mrs. Anne, hw	170
1214 MacInnis, Mrs. Anne, hw	171

INDIAN ROAD—Con.

1218 Adams, Mrs. Vina, hw	181
1288 Harrison, Herbert, contract mgr.	182
1288 Harrison, Mrs. Patricia, hw	183
1304 Campbell, R. John, computer programmer	184
1304 Campbell, Mrs. Lorna, auto. underwriter	185
1310 McCallan, Norman, administrator	186
1310 McCallan, Mrs. Barbara, hw	187
1316 Vanderstar, Harry, engineer	188
1316 Vanderstar, Mrs. Leona, hw	189
1324 Cowie, J. F., fire fighter	190
1324 Cowie, Mrs. Laura, hw	191
1324 Cowie, Mrs. Clare, hw	192
1328 George, Miss Nancy, typist	193
1328 George, Mrs. Mary, hw	194
1336 Mitchell, Bruce, service man	195
1336 Mitchell, Mrs. Elizabeth, hw	196
1344 Hern-Black, Frank, service man	197
1344 Hern-Black, Mrs. Phyllis, hw	198
1356 Matthews, Maurice, councillor	199
1356 Matthews, Mrs. Julia, hw	200
1374 Code, Thomas, sales mgr.	201
1374 Code, Mrs. Dorothy, hw	202
1386 MacNeill, Gil, salesman	203
1386 MacNeill, Mrs. Norma, inventory control clerk	204
1400 McGarry, Thomas, hotel mgr.	205
1400 McGarry, Mrs. Phyllis, hw	206
1414 Patterson, W. A., carton business	207
1414 Patterson, Mrs. Mae, hw	208

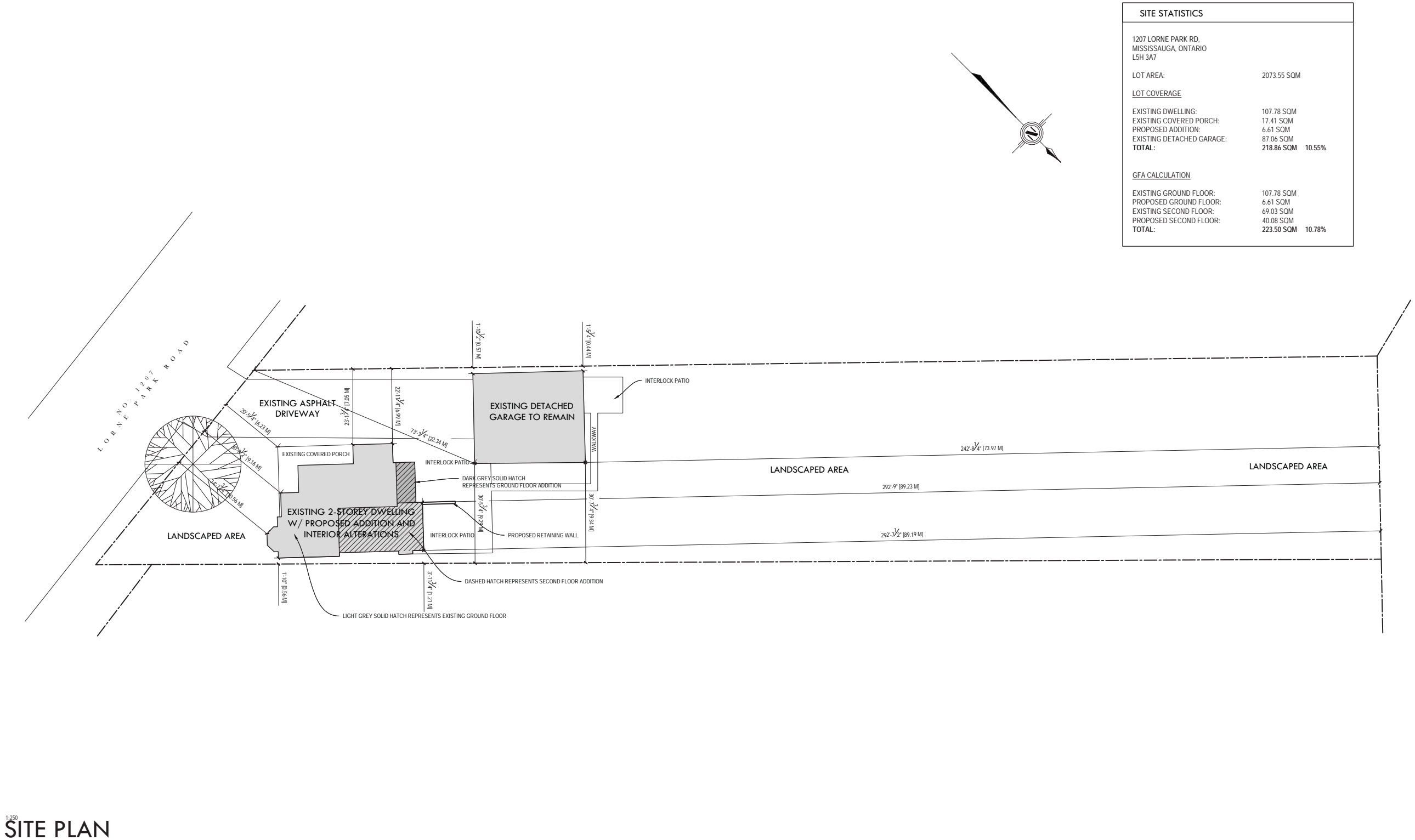
JALNA AVENUE

1476 Hummel, Patrick, sales mgr.	209
1476 Hummel, Mrs. Isobel, hw	210
1481 Paton, David, chartered acct.	211
1481 Paton, Mrs. Marian, hw	212
1484 Phillips, John, architectural supplies	213
1484 Phillips, Mrs. Phyllis, hw	214
1489 Olafson, Harold, engineer	215
1489 Olafson, Mrs. Elizabeth, hw	216
1492 Spray, Peter, prof. engr.	217
1492 Spray, Mrs. Betty, hw	218
1499 Gordon, Bruce, self-employed	219
1499 Gordon, Mrs. Barbara, hw	220
1500 Reinards, William J. H., chief auditor	221

LORNE PARK ROAD

1136 Jackson, Douglas, Ford employee	222
1136 Jackson, Mrs. Dorothy, hw	223
1140 Hubrich, Joseph, self-employed	224
1140 Hubrich, Mrs. Erna, hw	225
1140 Hubrich, Peter, bank employee	226
1170 Lane, Robert, bodyman	227
1170 Lane, Mrs. Marie, hw	228
1181 Dereg, Jan, sales manager	229
1181 Dereg, Mrs. Barbara, hw	230
1189 Johnson, Mrs. Annie, hw	231
1195 Luker, Arthur, self-employed	232
1195 Luker, Mrs. Margaret, hw	233
1200 Whatmough, Rev. K. D., clergyman	234
1200 Whatmough, Mrs. Hilda, hw	235
1203 Ireland, Gordon, civil servant	236
1203 Ireland, Mrs. Anne, hw	237
1207 Tedder, Joseph, advertising	238
1207 Tedder, Mrs. Mary Fraser, secretary	239
1207 Tedder, Charles, truck driver	240
1211 Oliphant, Harry, fire captain	241
1211 Oliphant, Mrs. Grace, hw	242
1221 Silcox, Phillips, probation officer	243
1221 Silcox, Mrs. Marjorie, hw	244
1221 Silcox, Graham, surveyor crew	245
1227 Poole, Fred, traffic mgr.	246
1227 Poole, Mrs. Helen, hw	247
1227 Poole, Wayne, radio tech.	248
1233 Wilson, James W., carpenter	249
1233 Wilson, Mrs. Beatrice, hw	250
1233 Jones, Kenneth, salesman	251
1233 Jones, Mrs. Anne, office supervisor	252
1238 Ionita, John A., control engr.	253
1238 Ionita, Mrs. Marjory, hw	254
1238 Beckett, Alfred, retired	255
1238 Beckett, Mrs. May, retired	256
1248 McLean, John, civil engineer	257
1248 McLean, Mrs. Margaret, hw	258
1251 Portman, David, self-employed	259
1251 Portman, Mrs. Bertha, hw	260
1255 Harrow, John M., accountant	261
1255 Harrow, Mrs. Ruby, hw	262
1258 Bruce, Douglas, consulting engr.	263
1258 Bruce, Mrs. Olga, hw	264
1260 Hardie, George, sec.-treasurer	265
1260 Hardie, Mrs. Mary, hw	266
1265 Colloton, Reginald, retired	267
1265 Colloton, Miss Marjory, clerk	268
1268 Gill, William, project co-ordinator	269
1268 Gill, Mrs. Gwendolyn, hw	270
1271 Ryde, Harry, erector, sheet metal	271
1271 Ryde, Mrs. Grace, hw	272

APPENDIX A3: Complete Drawings of the Proposed Alterations



SITE STATISTICS			
1207 LORNE PARK RD. MISSISSAUGA, ONTARIO L5H 3A7			
LOT AREA:	2073.55 SQM		
<u>LOT COVERAGE</u>			
EXISTING DWELLING:	107.78 SQM		
EXISTING COVERED PORCH:	17.41 SQM		
PROPOSED ADDITION:	6.61 SQM		
EXISTING DETACHED GARAGE:	87.06 SQM		
TOTAL:	218.86 SQM	10.55%	
<u>GFA CALCULATION</u>			
EXISTING GROUND FLOOR:	107.78 SQM		
PROPOSED GROUND FLOOR:	6.61 SQM		
EXISTING SECOND FLOOR:	69.03 SQM		
PROPOSED SECOND FLOOR:	40.08 SQM		
TOTAL:	223.50 SQM	10.78%	

1:250
SITE PLAN




LUCID HOMES

LUCID HOMES INC.
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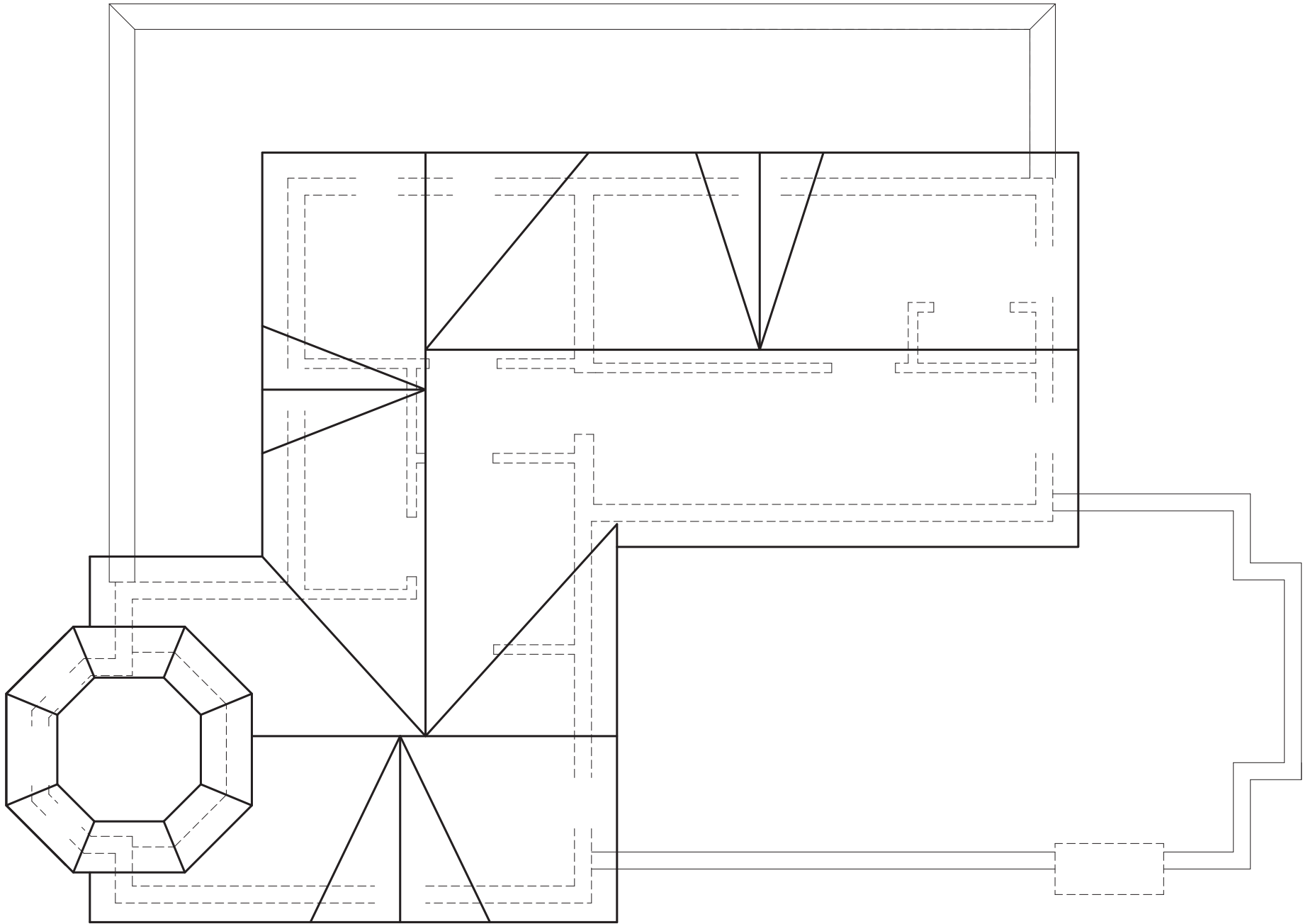
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DRAWING TITLE: SITE PLAN
DRAWN BY: PR CHECKED BY:
ADDRESS: 1207 LORNE PARK RD, MISSISSAUGA
PROJECT NO: 2020-021 SCALE: 1:250
SHEET NO. **SP**



3/16"=1'-0"
EXISTING ROOF PLAN



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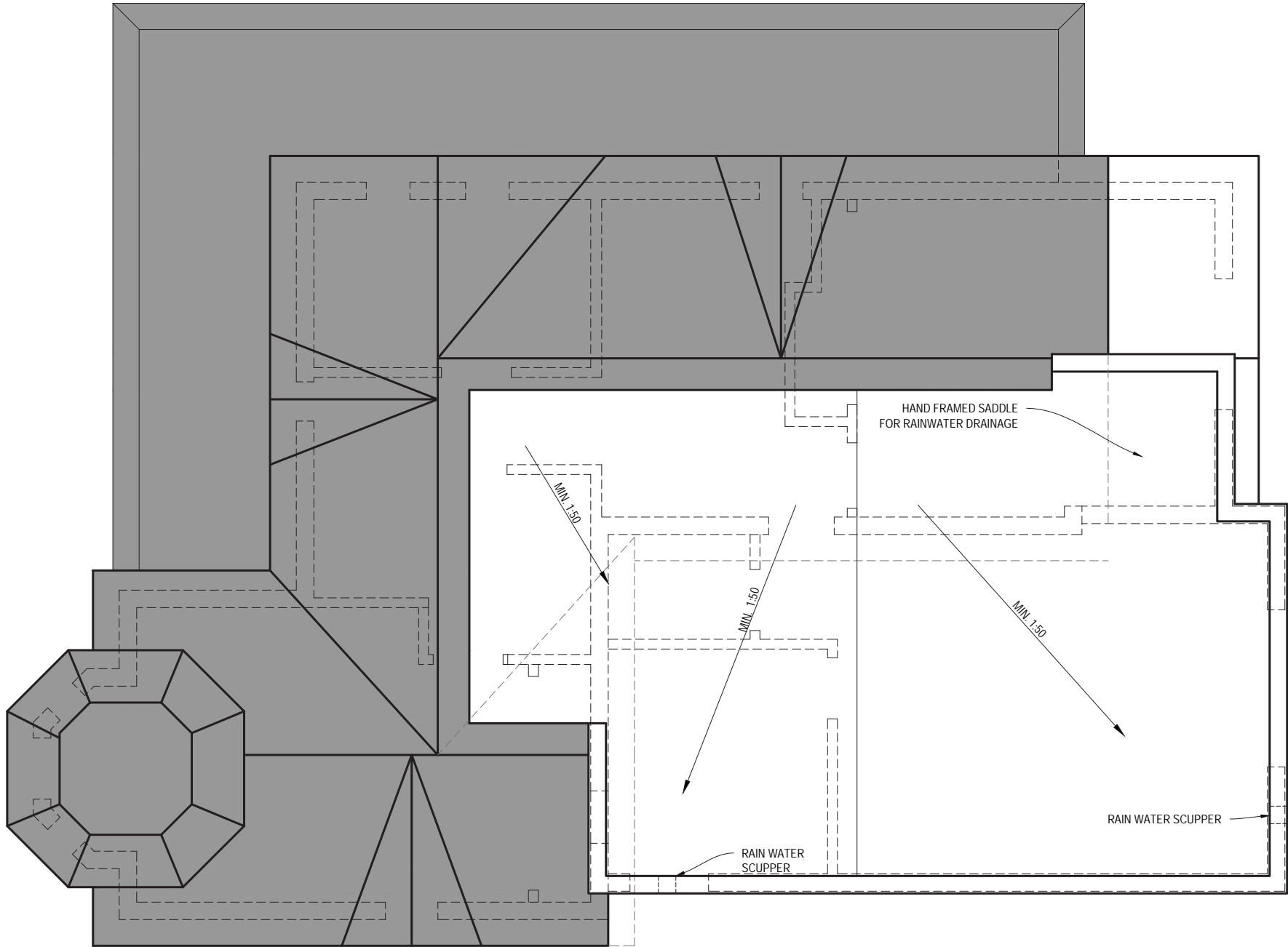
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DRAWING TITLE: ROOF PLAN
DRAWN BY: PR CHECKED BY: -
ADDRESS: 1207 LORNE PARK RD, MISSISSAUGA
PROJECT NO: 2020-021 SCALE: 3/16" = 1'-0"
SHEET NO. **A103**



3/16"=1'-0"
PROPOSED ROOF PLAN




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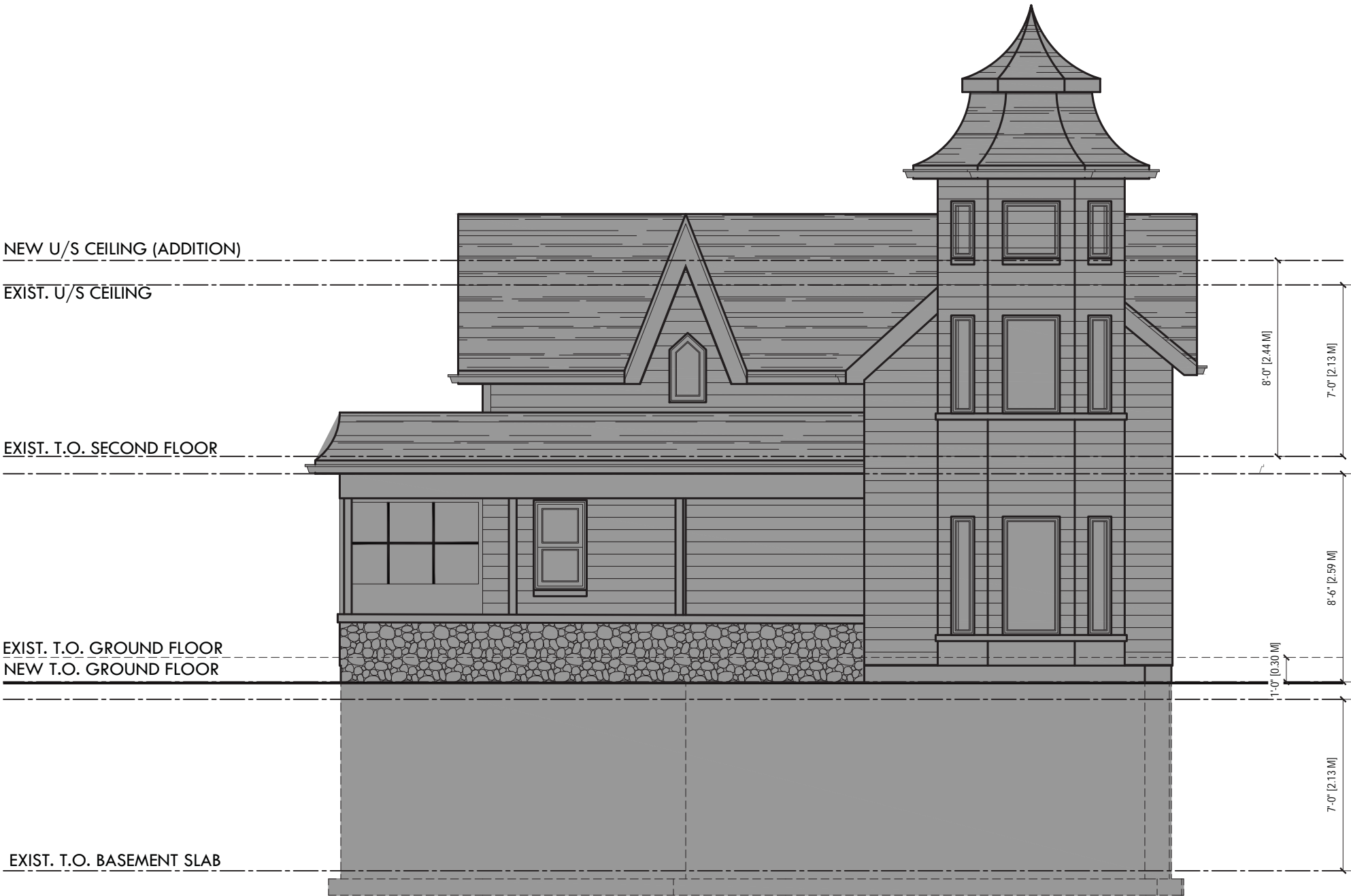
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DRAWING TITLE: ROOF PLAN
DRAWN BY: PR CHECKED BY: -
ADDRESS: 1207 LORNE PARK RD, MISSISSAUGA
PROJECT NO: 2020-021 SCALE: 3/16" = 1'-0"
SHEET NO. **A103**



3/16"=1'-0"

FRONT ELEVATION



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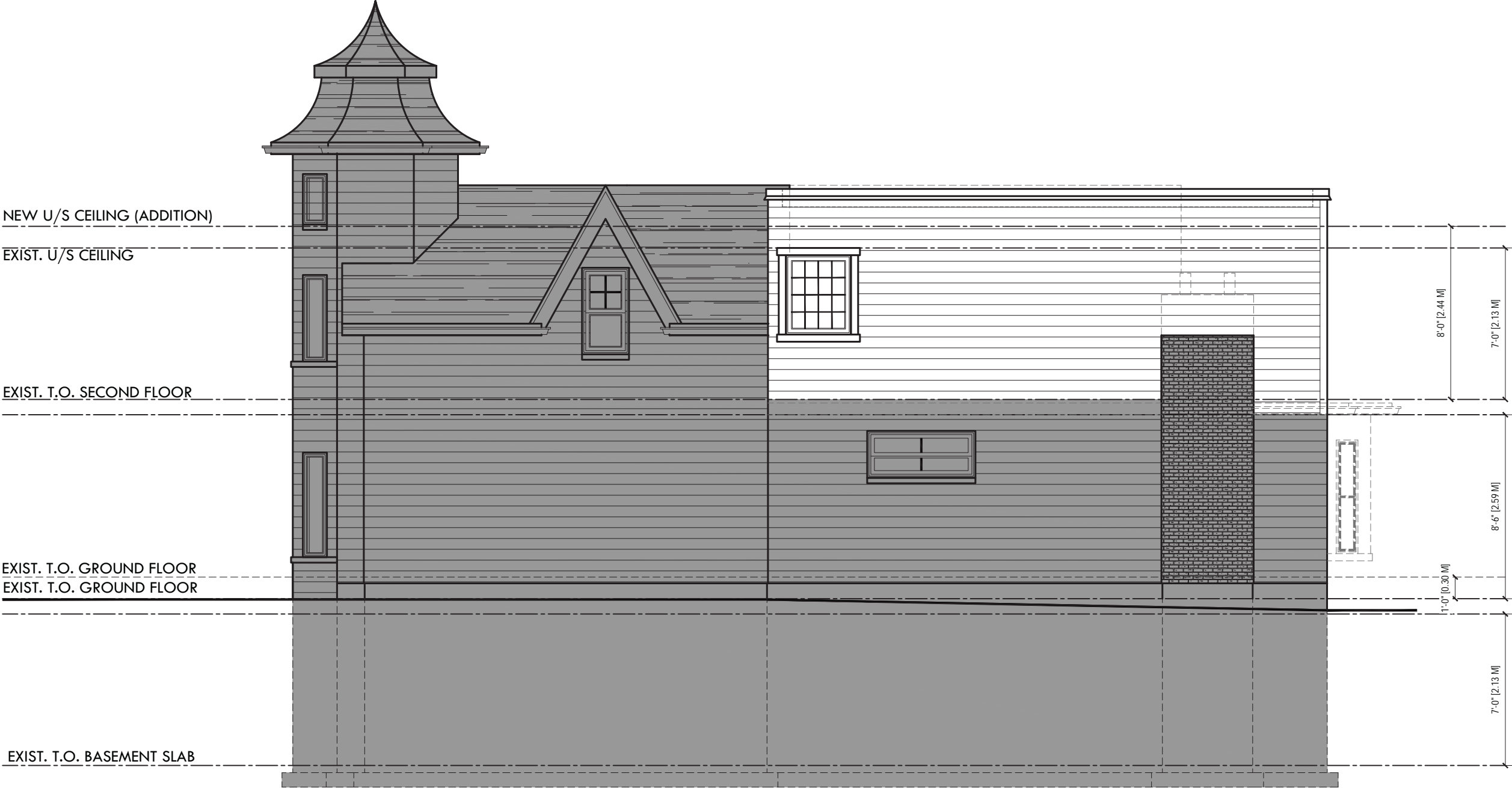
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DRAWING TITLE: FRONT ELEVATION
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ADDRESS: 1207 LORNE PARK RD, MISSISSAUGA
PROJECT NO: 2020-021 SCALE: 3/16" = 1'-0"
SHEET NO.

A201



3/16"=1'-0"
RIGHT ELEVATION



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DRAWING TITLE: RIGHT ELEVATION
DRAWN BY: PR CHECKED BY: -
ADDRESS: 1207 LORNE PARK RD, MISSISSAUGA
PROJECT NO: 2020-021 SCALE: 3/16" = 1'-0"
SHEET NO. **A202**



3/16"=1'-0"
LEFT ELEVATION



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DRAWING TITLE: RIGHT ELEVATION
DRAWN BY: PR CHECKED BY: -
ADDRESS: 1207 LORNE PARK RD, MISSISSAUGA
PROJECT NO: 2020-021 SCALE: 3/16" = 1'-0"
SHEET NO.

A203



3/16"=1'-0"
REAR ELEVATION



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DRAWING TITLE: REAR ELEVATION
DRAWN BY: PR CHECKED BY: -
ADDRESS: 1207 LORNE PARK RD, MISSISSAUGA
PROJECT NO: 2020-021 SCALE: 3/16" = 1'-0"
SHEET NO. A204

APPENDIX A4: Curriculum Vitae of the Author



James Bailey
Architect

49 MELBOURNE AVE
TORONTO, ONTARIO
M6K 1K6

VOICE: [416] 537 - 4140
E-MAIL:
jbarch@sympatico.ca

CURRICULUM VITAE: James R. Bailey

EDUCATION

- Bachelor of Architecture, Carleton University, Ottawa. 1975. General Scholarship in Architecture, 1971.
- Premier Degré Superier de Musique (Orgue), Schola Cantorum, Paris, 1978

PROFESSIONAL ASSOCIATIONS

- Ontario Association of Architects
- Royal Architectural Institute of Canada
- Canadian Association of Heritage Professionals (CAHP)
- Royal Canadian College of Organists

PROFESSIONAL WORK HISTORY

- 1992-present Principal of James Bailey Architect, Toronto
- 1989-1992 Managing Architect with C.A. Ventin Architect Ltd., in charge of the firm's Toronto office and projects
- 1988-1989 Managing Architect with Lambur Scott Architects Inc., in charge of the firm's Toronto office and projects
- 1987-1988 Senior Architect with Douglas J. Cardinal Architect Limited, in charge of the firm's Newmarket, Ontario, office
- 1983-1987 Senior Architect with Douglas J. Cardinal Architect Limited, in Edmonton, then in Ottawa (after office move)
- 1981-1983 Senior Architectural Designer with Briskie Kasian Architects, Edmonton
- 1978-1981 Project Coordinator with Douglas J. Cardinal Architect Limited, Edmonton
- 1975-1977 Architectural Designer, ARCOP Associates, Ottawa
- 1975 Architectural Designer, Urbanetics, Ottawa

James R. Bailey
O.A.A., M.R.A.I.C., C.A.H.P.
Albena Bakalov
O.A.A., M.R.A.I.C., C.A.H.P.

COMMUNITY INVOLVEMENTS & TEACHING

- Member of the Board of Directors, Canadian International Organ Competition
- Royal Canadian College of Organists, National President, 2014-16
- Canadian Association of Heritage Professionals, Member of the Board, 2003-2005.
- Sheridan College, Professor of Architecture, 2001-2012
- Public Complaints Committee, Ontario Association of Architects, 1998-2001.
- Standing Committee for the administration of the Fabric Fund of Holy Trinity Church, Toronto, 1995-2003.

AWARDS

- Award of Excellence, CAHP, “Small and Lovely” category, 2018
- Special Recognition Award, Heritage Mississauga, 2012
- Award of Merit, Heritage Toronto, The Allstream Centre, 2010
- Award of Distinction for Envelope Design, Allstream Centre, The Ontario Building Envelope Council, 2009
- Best of the Best Award, Toronto Construction Association, The Allstream Centre. 2009

SELECTED ARCHITECTURAL PROJECTS

Museums/Art Galleries

- *Edmonton Space Science Centre
- *Canadian Museum of Civilization, Hull
- *St. Albert Municipal Museum, Alberta
- Macaulay Church Museum, Picton

Performing Arts Centres

- *Arden Theatre, St. Albert, Alberta
- *Aurora Theatre, Spruce Grove, Alberta
- *Theatre of the CMC, Hull, Quebec
- Capitol Theatre, Port Hope, Ontario
- Artword Theatre, Toronto

Building Envelope Upgrades

- Buddies in Bad Times Theatre, Toronto
- **Peel Court House, Brampton
- **Metro West Detention Centre, Etobicoke
- **Locke Memorial Library, Toronto
- Allstream Centre, Toronto
- St. John's United Church, Alliston
- Food Building, Exhibition Place
- Princes' Gates, Exhibition Place
- Strategic Communications, Toronto
- Mackenzie House, Toronto

Barrier-free Access/Life-safety Upgrades

- **Toronto Old City Hall
- **Yorkville Branch Library, Toronto
- **Main Street Branch Library, Toronto
- Locke Memorial Library, Toronto
- Trinity Church, Port Credit
- St. John's United Church, Alliston
- Trace Manes Community Centre, Toronto
- Don Valley Bible Chapel, Toronto

Offices

- *St. Albert Civic and Cultural Centre
- Public Service Commission, Ottawa
- Globe & Mail, Toronto
- Hitchman & Sprigings, Toronto
- *York Administrative Centre, Newmarket

Housing/ Live-Work Facilities

- **Armagh House, Mississauga
- Garden Residence, Aurora
- Webb Residence, Toronto
- Looney Residence, Toronto
- Kersey Residence, Toronto
- Hamilton Studio, South Mountain
- Dubil Residence, Toronto
- 81 Portland Live/work Studios, Toronto
- Hitchman Residence, Toronto
- Rose Residence, Port Credit
- O'Leary Residence, Toronto

Schools: New/Renovations

- Bowmore Road School, Toronto
- **Charles Fraser P.S., Junior, Toronto
- George Harvey High School, City of York
- Jones Ave Adult Education Centre, Toronto
- Wycliffe College, U. of T., Toronto
- Island Public School, Toronto
- Palmerston Public School, Toronto
- Regal Road Public School, Toronto
- Alexander Muir Public School, Toronto

Schools: Exterior Upgrades

- Davisville Public School, Toronto
- North Toronto CI, Toronto
- Pape Public School, Toronto
- Palmerston Public School, Toronto
- John Ross Robertson Public School, Toronto

Public Library Renovations

- Parkdale Branch Library, Toronto
- Bloor Gladstone Branch Library, Toronto
- Yorkville Branch Library, Toronto
- Locke Memorial Library, Toronto
- Runnymede Branch Library, Toronto
- College Shaw Library, Toronto
- Saunderson Branch Library, Toronto
- Pape Danforth Library, Toronto
- Gerrard Ashdale Library, Toronto
- St. Clair/Silverthorn Library, Toronto
- Palmerston Branch Library, Toronto

Renovations for Exhibition Place, Toronto

- General Services Building
- Enercare Centre (Direct Energy)
- Allstream Centre (Automotive Building)
- Princes' Gates
- Food Building

Churches: New/Renovations/Additions

- Danish Lutheran Church, Toronto
- Devon Alliance Church, Alberta
- St. Luke's Church, East York
- St. Cuthbert's Church, Toronto
- St. John's Church, Whitby
- Faith United Church, Courtice
- Grace Ev. Lutheran Church, Oshawa
- Trinity Church, Port Credit
- St. Luke's Lutheran, Port Credit
- St. John's United Church, Alliston
- St. Paul's United Church, Bowmanville
- All Saints' Anglican Church, King City
- Knox Presbyterian Church, Burlington
- St. Andrew's Memorial P.C., Port Credit
- Trinity United, Peterborough
- St. John's Church, York Mills
- Don Valley Bible Chapel, Toronto
- Cathedral Church of St. James

Laboratories

- I-Fire Technology, Toronto
- Hemosol, Toronto
- Therapure, Mississauga

Historic Restorations

- **Peel County Court House, Brampton
- **St. John's Anglican Church, Ancaster
- St. John's Church, West Toronto
- St. John's United Church, Alliston
- 3 MacDowell Street, Toronto
- Allstream Centre, Exhibition Place
- Rackus Studio, Clarkson
- Boulder Villa, Clarkson
- Princes' Gates, Exhibition Place
- Macaulay Church Museum, Picton
- St. Clair Reservoir Valve House and Portal Building
- Harrison Waterworks Reservoir
- Church of the Holy Trinity, Toronto
- St. James' Cathedral, Toronto
- Scarborough Museum
- The Guild Monument Relocation
- Mackenzie House, Toronto
- Alexander Muir Gardens gateway
- Craigleigh Gardens Gates
- Carlsberg Carillon Tower, Toronto

* Work undertaken while in the employ of Douglas J. Cardinal Limited, Ottawa

** Work undertaken while Managing Architect, and Architect-of-Record, with Carlos Ventin Architect

STUDIES (Condition Studies/Heritage Impact Studies/Barrier-Free Access Studies)

- Heritage Impact Study for 43 John Street South, Port Credit for Pamir Rafiq, 2020
- Heritage Impact Studies on 1800, 1808 and 1816 Mississauga Road, Mississauga for Moe Ahmed, 2020
- Heritage Impact Study for 1207 Lorne Park Road, for Pamir Rafiq, 2020
- Heritage Impact Study for 13 Thomas Street, Streetsville, 2019 for Mr. Carlos Valente
- A Study on a Proposed Move of “The Garden of the Greek Gods” to the Rose Garden, Exhibition Place, 2018
- Building Condition Assessment for the Beanfield Centre and for Three Heritage Towers (Fire Hall, BLC and Carillon), for Exhibition Place, 2017
- Building Condition Assessment for the Dempsey Store, for the City of Toronto Heritage and Museums, 2017
- Building Condition Assessment for 12 Alexander St., for the City of Toronto Heritage and Museums, 2017
- Heritage Statement for 75 Yorkville Avenue, for the Yorkville Ratepayer’s Association, 2015
- Heritage Impact Study of 1109 and 1115 Clarkson Road North, Mississauga, 2014
- Building Assessment Study for the Scarborough Historic Museum, Toronto, 2014
- Building Assessment Study for the Coliseum Complex and the Direct Energy Centre, Exhibition Place, 2013
- Building Code Conformance Study, Tarragon Theatre, Toronto, for the management and Board of Directors of Tarragon Theatre, 2013
- Heritage Impact Study for 1183 Dufferin Street, Toronto, for We Care Homes, 2012
- Heritage Impact Study for 1380 Glenwood Drive, Mississauga, Ontario, for Dr. Mehri Habib, 2012
- Building Code/Condition Assessment, Fulford Preparatory College, Merrickville, Ontario for Mr. Francois Bernard, Owner, 2012
- Heritage Impact Study for 149 Tremaine Road, Milton, for Royal Park Homes, 2011
- Heritage Impact Study for 94 Peru Road, Milton, for Humphries Planning Group, 2011
- Long-range Planning Study, Tarragon Theatre, Toronto, for the management and Board of Directors of Tarragon Theatre, 2010
- Heritage Impact Study for 5514 Fifth Line Road, Milton, for Sempronia Estates Inc., 2010
- Heritage Impact Study for 1336 Britannia Road, and 5553 Fourth Line Road, Milton, for Orianna Glen Home Corp., 2009

- Heritage Impact Study for 6390 Fifth Line Road, Milton, for Milton 7-5 Holdings Inc., 2009
- Heritage Impact Study for the Davis-Minardi House, 3079 Neyagawa Boulevard, Oakville for the Davis-Minardi Corporation, 2009
- Heritage Impact Study for 2554 Mississauga Road, Mississauga prepared for Dr. Alaa Al Tamimi, 2008
- Heritage Impact Study for a new development beside 1207 Lorne Park Road, Mississauga, prepared for Mr. Claudio Prosocco, 2008
- Heritage Impact Study for 3051 Victory Crescent, Mississauga prepared for Nirmal Sidhu, 2007
- Heritage Impact Study for 1190 Kane Road, Mississauga, prepared for Gemini, 2006
- Heritage Impact Studies for 1998 and 2030 Lakeshore Road, Mississauga, prepared for Gemini Urban Design, 2006
- Heritage Impact Statement, 2301/2303 Stanfield Road, Mississauga, prepared for Moldenhauer, 2006
- Automotive Building Condition Audit, prepared for the Board of Governors, Exhibition Place, Toronto, 2005
- A Masterplan Study for Knox Presbyterian Church, Burlington, Prepared for the Long-range Planning Committee, 2004
- Heritage Impact Statement, Horticulture Building, prepared for Musik Clubs Inc. who wished to use the Beaux Arts Exhibit Hall as a night club, 2004.
- A Condition Audit for Rosedale Presbyterian Church, Prepared for the Property Committee, Toronto, 2003
- Arts Centre Feasibility Study, prepared for the Town of Leamington, Ontario, 2003.
- A Barrier-Free Access Study for St. John's United Church, Alliston, prepared for the Property Committee, 2003.
- A Barrier-Free Access Study for Kimbourne Park United Church, Toronto, prepared for the Accessibility Committee, 2002.
- A Feasibility Study for the conversion of the Truax Lumber Building into a Performing Arts Centre for the Town of Leamington, Ontario, 2002.
- Long Range Redevelopment Master Plan for Christ Church, Stouffville", for the Rector and Wardens of the Parish of Christ Church Anglican Church, Stouffville.

- Heritage Impact Statement, Two Georgian style, Pre-Confederation Houses, located at 72/74 Elm Street, Toronto, prepared for Toronto Hospital for Sick Children, 2000.
- A Barrier-Free Access Study for St. John's Church, York Mills, prepared for the Rector and Wardens of St. John's Church, York Mills, Toronto, 1999.
- A Space Needs Study and a Space Utilization Survey for the Parishes of St. John's Church, W.T. & St. Paul's Church, Runnymede for the Amalgamation Property Committee.
- Condition Surveys of three Branch Libraries: Deer Park, Northern District and Sanderson Branches for the Toronto Public Library, 1998.
- "A Feasibility Study for developing additional Residential Spaces at Wycliffe College, University of Toronto" prepared for the Property Committee of the College, 1997.
- "A Study of the Implications of accommodating Garbage Trucks inside the Food Building, Exhibition Place", prepared for the Capital Works Department of the CNE, 1997.
- "A Condition Survey of St. Bartholomew's Church", prepared for the Rector and Wardens of the Church of St. Bartholomew, Toronto, 1996.
- "A Building Study of Powell's House, Appleby College", prepared for the Board of Appleby College, Oakville, Ontario, 1995.
- "Condition Study of the Church of the Transfiguration, Toronto", prepared for the Rector and Wardens of the Church of the Transfiguration, Toronto, 1995
- "Pre-Engineering & Costing Study for Building Envelope Repairs & Barrier-free Access Improvements to the Food Building & Halls of Fame Building, Exhibition Place, Toronto", prepared for the Capital Works Department of Exhibition Place, 1995.
- "Condition Survey of the Buildings of the Parish of Georgina in the Diocese of Toronto", prepared for the Diocese of Toronto, 1994.
- "Building Code Impact Study related to the development of a Night Club in the MacLean Hunter Building, North York", prepared for Luxor Entertainment Corporation, 1994.

REPORT 1 - 2020

To: CHAIR AND MEMBERS OF THE HERITAGE ADVISORY COMMITTEE

The Port Credit Heritage Conservation District Subcommittee presents its first report for 2020 and recommends:

PVHCD-0001-2020

That Antoine Musiol, Citizen Member be appointed as Chairs of the Port Credit Heritage Conservation District Subcommittee for the term ending November 14, 2022, or until a successor is appointed.

(Ward 1)

(PVHCD-0001-2020)

PVHCD-0002-2020

1. That the applicant be requested to withdraw their application regarding the request to alter the heritage designated property, in the Right-of-Way along Mississauga Road South, south of Lakeshore Road West.
2. That the request to alter the heritage designated property, in the Right-of-Way along Mississauga Road South, south of Lakeshore Road West, as per the Corporate Report from the Commissioner of Community Services, dated September 8, 2020, be rejected.

(Ward 1)

(PVHCD-0002-2020)

Date: November 9, 2020

To: Chair and Members of the Heritage Advisory Committee.

From: Old Port Credit Heritage Conservation District Subcommittee.

Request to Alter a Heritage Designated Property: Mississauga Road South Right of Way (Ward 1): Item 7.2 Agenda Nov 10, 2020

Recommendations:

1. That the applicant be requested to withdraw their application regarding the request to alter the heritage designated property, in the Right-of-Way along Mississauga Road South, south of Lakeshore Road West.
2. That the request to alter the heritage designated property, in the Right-of-Way along Mississauga Road South, south of Lakeshore Road West, as per the Corporate Report from the Commissioner of Community Services, dated September 8, 2020, be rejected. (Ward 1) (PVHCD-0002-2020)

Comments:

The Old Port Credit Village Heritage Conservation District Plan is quite detailed in its objectives. Documents from both the Federal and Provincial governments have guided its preparation and are integral elements of the Plan.






The central objective of the plan is “to guide physical change over time so it contributes to, and does not detract from the District’s historical character.”

Scale/Preservation

The proposed scale of the work is incompatible and does not adhere to the HCD Plan guidelines, which also “applies to both the City’s public work projects in parks and on streets”.

In all alterations within the District, “it is intended that the neighbourhood character will be conserved and enhanced.”

The City of Mississauga Official Plan for Port Credit includes specific policies related to the Old Port Credit Village in Sections 10.3.2

10.3.2.1 Any additions, alterations, adaptive reuse or redevelopment will address how the development:  displays massing and scale sympathetic to surroundings;  preserves the historic housing stock;  supports the existing historical character;  maintains the existing street grid pattern and building setbacks; and  maintains and enhances significant groupings of trees and mature vegetation.

Trees:

The irreversible damage proposed to century-old trees along the east side of Mississauga Road South is in contravention of the HCD Plan. The plan clearly states that trees and shrubs should be encouraged to be preserved with appropriate care. It should not be sufficient to produce an Arborist’s report, which is merely an inventory of the trees and the anticipated damage.

In the HCD Plan it is stipulated that the District’s landscape character is an integral element of the Heritage character of the District. The HCD Plan sets out policies to conserve, protect and maintain this element.

Article number 12.1.3 in the OPCHDP specifically states that “The city will protect trees in the public right-of-way”.

Mississauga Road Scenic Route:

The 2014 Port Credit Local Plan calls for a study to extend The Mississauga Road Scenic Route south of Lakeshore to a terminus at Saddington Park.

It is our understanding from the Brightwater Master Plan that they propose to assist and participate in the provision of valuable and desirable public infrastructure elements on the west side of Mississauga Road South, abutting their development.

In this context the heritage value of the elements that already exist on Mississauga Road South would contribute to the overall desirable character of the route.

Their efforts, coupled with the heritage values of the east side of Mississauga Road South will create a well considered public environment. Thus, the eventual extension of the Mississauga Rd South will be along an attractive route.

In anticipation of this development, perhaps we should consider a “duty to protect” the existing, irreplaceable heritage landscape that exists.

Impact and Consultation

This application illustrates the purpose of the HCD Plan to protect the heritage character of the District. In this instance, it stipulates the requirement of a heritage permit for the work proposed.

While some alterations are exempt from this requirement, this one is not.

17.5 (c) “ Exception: The installation of any new luminaires and/or poles”

This application impacts both aspects of the HCD Plan previously mentioned - scale and the protection of trees and landscape elements in the District

Following a timely intervention on the part of Councillor Dasko, a community meeting was organized and held *in situ* to inform the community of the proposal and discuss its implications. These observations and objections are a result of this meeting.

We have also learned from Heritage Planning that collaboration is the preferred means to resolve this issue.

Given that this application will significantly and permanently alter the Heritage landscape on the east side of Mississauga Road South, spanning numerous properties and impacting many trees, the absence of a Heritage Impact Assessment is questioned. These issues would have been raised.

Conclusion:

Alectra proposes to rebuild a hydro pole line on the east side of Mississauga Rd South. Given that these poles are 70 feet concrete poles they will impact the scale and the landscape of the OPCHD. As this will have a major and detrimental impact on the character of the Old Port Credit Heritage Conservation

District, the recommendation is that the motion of the OPCHD Subcommittee before the Heritage Advisory Committee be approved.

In conclusion, the OPCHD Subcommittee suggests that, given the transformational impact of the proposal, we be given the opportunity to work collaboratively and cooperatively with Brightwater and Alectra on the development of a solution that meets their objectives while fulfilling the needs of the community and retaining the heritage landscape on the east side of Mississauga Road South.

Thank you.

Antoine Musiol

Chair, OPCHD Subcommittee

City of Mississauga
Memorandum



Date: November 9, 2020
To: Chair and Members of Heritage Advisory Committee
From: Megan Piercey, Legislative Coordinator
Meeting date: November 10, 2020
Subject: **Lisa Small – Request for Temporary Leave from the Heritage Advisory Committee**

Due to professional obligations, Lisa Small, Citizen Member of the Heritage Advisory Committee is requesting a temporary leave from the Heritage Advisory Committee until April 2021.

Attachments

Appendix 1: Email Requesting Temporary Leave

Megan Piercey

Prepared by: Megan Piercey, Legislative Coordinator

From: [L. Small](#)
To: [Megan Piercey](#)
Subject: Re: Leave of Absence
Date: Tuesday, November 3, 2020 4:44:41 PM
Attachments: [image001.png](#)

Hi Megan, thanks for letting me know the protocol.

Yes I will be able to attend for next week's meeting on Nov 10th, however because of my new schedule I unfortunately won't be able to attend in January. A four month request of absence is good for now. I am hoping that when I approach the 4 months that my new schedule will accommodate the monthly meetings.

If possible, please use this email as my request to the committee to seek approval for a leave of absence for 4 consecutive months starting January 2021.

If you require any further information or details, please let me know Megan. :)

Cheers
Lisa

City of Mississauga
Memorandum



Date: October 29, 2020

To: Chair and Members of Heritage Advisory Committee

From: Paul Damaso, Director, Culture Division

Meeting date: November 10, 2020

Subject: Alteration to a Property Adjacent to a Listed Property: 1644 Glenburnie Road
(Ward 1)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction."

The subject property is listed on the City's Heritage Register. The Heritage Impact Assessment is attached for your consideration.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division

Heritage Impact Assessment Concerning the Redevelopment of 1644 Glenburnie Road, Mississauga

by Paul Dilse, Heritage Planning Consultant
with Photography by Paul Till
and Graphic Layout by Francine Antoniou

for the Property Owner and the City of Mississauga

June 16, 2020



1644 Glenburnie Road and adjacent 1654 Glenburnie Road

Heritage Impact Assessment Concerning the Redevelopment of 1644 Glenburnie Road, Mississauga

Purpose of the Heritage Impact Assessment

A policy in the Mississauga Official Plan stipulates preparation of a heritage impact assessment when development is proposed adjacent to a property which has been listed in the municipal heritage register under Section 27 (1.2) of the *Ontario Heritage Act*. The City has identified the property immediately north of 1644 Glenburnie Road and located beside the Queen Elizabeth Way right-of-way – 1654 Glenburnie Road – as the Henry Belford House. The City believes the property at 1654 Glenburnie Road has cultural heritage interest for its historical significance, and has listed it in the municipal heritage register.

For the purpose of the heritage impact assessment concerning the redevelopment of 1644 Glenburnie Road, the Henry Belford House is presumed to have historical significance; and an evaluation of its cultural heritage value which would determine its merit for *Ontario Heritage Act* designation will not be conducted. The heritage impact assessment is also limited in its scope for determining the cultural heritage value of 1644 Glenburnie Road. For the heritage impact assessment, City heritage staff have eliminated a detailed site history and a statement on the significance and heritage attributes of the property. An evaluation of the cultural heritage value of the property at 1644 Glenburnie Road will not undertaken. It is therefore presumed that the existing house at 1644 Glenburnie Road has not acquired historical significance.

The heritage impact assessment will focus on any effects the proposed new house at 1644 Glenburnie Road may have on the Henry Belford House. The heritage impact assessment will also consider the redevelopment proposal in the context of the existing landscape and architectural character of the area near 1644 Glenburnie Road.

Study Methodology

An initial site visit was made on April 22, 2019. Photographic recording of the property at 1644 Glenburnie Road and area occurred on May 5, 2019, and as-found photographs presented in the report date from the May 5 site visit.

Paula Wubbenhorst, the City's heritage planner, and Matthew Wilkinson of Heritage

Mississauga provided historic photographs of the Henry Belford House. Topographical maps, a fire insurance plan from 1952, the registered plan of subdivision and the early entries in the land title were copied and analyzed. Andrew Murray's archaeological assessment, dated May 6, 2019, was read; and his copies of aerial photographs from the City of Toronto Archives were noted. Histories of the Queen Elizabeth Way were consulted. A search through the scrapbook of newspaper articles written by Mildred Belleghem and of her articles published in the *Streetsville Review* did not uncover the historic photograph of the Henry Belford House which is attributed to her or the story that would have accompanied the photograph. As well, the source of the photograph credited to the Peel Region Archives could not be found.

Zoning By-law 0225-2007 was examined for regulations applicable to 1644 Glenburnie Road.

In addition to correspondence with the property owner and his house designer, in-person meetings and telephone conferences were held to discuss ways of mitigating the impact of the new house on the Henry Belford House and area.

The report presented here follows a year-long design process that was delayed by deliberations over the handling of water flow through the property's backyard swale.

Property's Location

The property at 1644 Glenburnie Road is located just to the west of the Port Credit highway interchange at Hurontario Street (Figure 1 in Appendix A). The property is the second lot south of the Queen Elizabeth Way right-of-way on the west side of Glenburnie Road. Glenburnie Road, a north-south street running between Mineola Road West and the Queen Elizabeth Way, is part of the Mineola neighbourhood, a low-density residential area (Fig. 2). Pinetree Way, the east-west street closest to 1644 Glenburnie Road, connects to Hurontario Street.

Land Use and Zoning

The R2-4 zoning at 1644 Glenburnie Road and in the area north of Pinetree Way permits detached dwellings, a built form which matches the existing land use (Fig. 3).

In addition to zoning regulations, the property is found within a large site plan control area. All of the properties located between the Queen Elizabeth Way and the Canadian

National Railway line through Port Credit are under site plan control.

History of the Locale

In 1909 when May Gordon had her surveyor, Clayton Bush, lay out twelve lots along a new north-south road intersecting with the Middle Road in Toronto Township, the area was a wooded and swampy landscape (Fig. 4 and 5). The Middle Road, so called because it ran between two other east-west roads – the Lake Shore Road and Dundas Street – was a narrow country road (Fig. 6). Lot 1 in Gordon's plan of subdivision was a block of land with a frontage of about 216 feet along the Middle Road and 660 feet along the west side of the new road aptly named Forest Road (today's Glenburnie Road). Lots 2 to 11 on the east side of Forest Road were smaller. Lot 12 at the foot of Forest Road was large like Lot 1.

Henry Robison Belford, a farmer, purchased Lot 1 from May Gordon in October 1910. As told in the City's municipal heritage listing, Henry Belford built a house here about 1910. It was meant to be a house for his wife to be and the family they would have; but his marriage did not happen, and he lived in the house as a bachelor until his death in 1964. A photograph, believed to have been taken in the 1920s, recorded Belford's frame house (Fig. 7). One-and-a-half-storeys tall, the "L"-shaped house surmounted by cross gables had a decided vertical orientation. Three bays spanned the front of the house, which faced the Middle Road. The middle bay was a tower topped by a pyramidal roof. The front entrance was tucked into the tower's side and sheltered by a side porch. Tongue-and-groove wood siding clad the house (see also Fig. 8). The siding was painted a lighter colour than the corner boards and window surrounds. The house's architectural style could be mistaken for a late nineteenth century origin, but the fenestration would place the house in the first decade of the twentieth century. In rural Ontario, vernacular construction such as Henry Belford's house often lagged behind architectural trends in urban areas.

Henry Belford's quiet enjoyment of his rural property persisted without disturbance until 1934 when the Provincial Department of Highways took 0.108 acres of frontage off his lot for the first intercity divided highway in Canada (Fig. 9).

According to Robert Stamp's history of the Queen Elizabeth Way, motor vehicle traffic congestion between Toronto and Hamilton had been a problem since 1914. To alleviate traffic jams, the provincial government commissioned a survey of alternative routes for

the Toronto-Hamilton corridor – the Lake Shore Road, Dundas Street and the Middle Road. Lake Shore Road was chosen for widening, and in 1917 the Toronto-Hamilton Highway (Highway 2) opened. It was the first concrete highway in Canada. Soon, however, the widened Lake Shore Road could not handle the increase in traffic. As the Lake Shore Road could not be widened further, the Province decided to turn the Middle Road into the Middle Road Highway – four lanes of paved surface, on a grade no more than three per cent, with curves less than two degrees, and with elimination of all railway level crossings. Construction on the Port Credit cloverleaf interchange at Highway 10 (Hurontario Street) began in 1937. It was the first cloverleaf built in Canada. When the superhighway was officially opened in 1939 by King George VI and Queen Elizabeth (mother of Queen Elizabeth II), the Province rededicated the Middle Road Highway as the Queen Elizabeth Way. The four-lane highway with its grassy median and landscaped boulevards introduced a presence along Belford's property frontage far different from the pastoral Middle Road (Fig. 10 to 12).

In 1952 when the Underwriters' Survey Bureau drew its fire insurance plan for Port Credit and part of Toronto Township, Belford's frame house with an address on the 110-foot-wide Queen Elizabeth Way remained relatively surrounded by open space (Fig. 13). A number of houses had been erected along Forest Road which had at-grade access to the highway. New streets had been laid out to the south, and houses built along them.

By 1960, the area south of Belford's house was so built up that it was shown as an urban area on the topographical map (Fig. 14). The relative isolation of Belford's house was completely lost in 1963, the year before Belford's death, when the bungalow south of his property (1644 Glenburnie Road) was built. On the north side, the property faced six lanes of the newly widened Queen Elizabeth Way. Access to the highway was blocked. To the west, a rebuilt interchange replaced the original Port Credit cloverleaf at Highway 10. An aerial photograph taken in 1963 recorded the altered context for Belford's house (Fig. 15).

The mid-twentieth century Mineola neighbourhood in which Belford's early twentieth century house stood was described in a 2005 study commissioned by the City of Mississauga to identify cultural landscapes across the municipality:

"Mineola was developed before it became standard practice to regrade top soil into large piles in the early twentieth century, level every nuance of natural topography and engineer the complete stormwater drainage system artificially. In Mineola a road system was gently imposed on the natural rolling topography of the Iroquois Plain; homes were

nestled into slightly larger lots and natural drainage areas were retained. This provided greater opportunity to save existing trees and because the soils and drainage system were minimally impacted, provided fertile ground for the planting of new vegetation, the natural regeneration of native trees and landscaping of the residential landscapes. What has evolved today is a wonderful neighbourhood with a variety of quality housing stock and a rich stimulating landscape that blends the houses with their natural and manicured surroundings. There are no curbs on the roads which softens the transition between street and front yards. The roads wind, rise and fall with the natural topography and houses sit often at odd angles to take advantage of slopes and the location of large trees. A gradual infilling has increased the density over the years and care must be taken to ensure that this does not, in the end, ruin the very quality and character that makes this neighbourhood so appealing and attractive. Of the many neighbourhoods in Mississauga, the Mineola neighbourhood stands out as one of the most visually interesting and memorable. As is often the case, when new development is balanced with the protection of the natural environment, a truly livable and sustainable community evolves. Mineola is an excellent example of this type of community."

Since 2005, many lots in Mineola have been redeveloped with much larger single-detached houses than the houses built in the mid-twentieth century. Redevelopment has missed Glenburnie Road north of Pinetree Way, likely because of the block's proximity to the Queen Elizabeth Way. The proposed redevelopment at 1644 Glenburnie Road is the first redevelopment project in the block.

As-found Appearance of 1644 Glenburnie Road

The one-storey bungalow at 1644 Glenburnie Road is set on a very deep lot – about 216 feet (66 metres) – the same as 1654 Glenburnie Road (Fig. 16). It nearly spans the lot's frontage of 76 feet (23 metres), leaving narrow yards on both the north and south sides. Its setback from the street at 31 feet (9.5 metres, exclusive of the front porch) is more than twice the setback for No. 1654.

The dwelling's low profile, long length, horizontal emphasis, shallow-pitched hipped roofs, integral garage attached to one side of the front facade and picture window are typical features of the many modestly sized Ranch-style Bungalows built in the 1960s across North America (Fig. 17 to 19). The popular Ranch-style Bungalow was a vernacular interpretation of the high-style houses designed by the American architect, Frank Lloyd Wright, in the mid-twentieth century. The dwelling's walls are clad in a dark yellow clay brick. Two trees in the boulevard – a spruce and a maple – likely date from the same decade when the house was built.

The dwelling's rear (west) elevation shows a tall basement lighted with a number of big windows (Fig. 20 and 21). Sliding glass doors opening onto a wooden deck and into the backyard are typical of the Ranch-style Bungalow style.

The backyard contains two slopes. It slopes from the house down to a swale that starts at 1654 Glenburnie Road and flows southward across the lot, and then it slopes up from the swale to the rear lot line (Fig. 22). The swale – probably, the remains of the swamp that used to occupy the land – carries enough water from Queen Elizabeth Way run-off and backyards for a small bridge to be required over it (Fig. 23 and 24). Two weeping willow trees that arch over the swale at the north lot line have benefited from the passage of water (Fig. 25). The backyard and rear elevation can be seen as far as Magenta Court, the cul-de-sac west of Glenburnie Road (Fig. 26).

The bungalow's front door, which is not centred in the front facade, opens into a small entry hall (Fig. 27). This placement and the door's Modern details (asymmetrical cut-outs of different shapes and a single sidelight) are further indications of the bungalow's construction in 1963. South of the entry hall is a combination living room and dining room (Fig. 28 and 29). Through the east picture window and large west window, the "L"-shaped room enjoys both east and west sunlight. The open-concept room contains features common to its era of construction – an oak hardwood floor and a plaster ceiling and cornice (Fig. 30 to 32). The kitchen is located at the west end of the entry hall (Fig. 33). The north-south bedroom hall, perpendicular to the east-west entry hall, leads to three bedrooms and a bathroom (Fig. 34 to 38). The basement staircase gives access to the backyard deck through sliding glass doors and to a basement apartment (Fig. 39 to 42).

As-found Appearance of 1654 Glenburnie Road

Henry Belford's house at 1654 Glenburnie Road differs in appearance from the next-door bungalow at 1644 Glenburnie Road. A wide south yard at 1654 Glenburnie Road separates the two (Fig. 43). Since the widening of the Queen Elizabeth Way and the erection of the sound barrier along its right-of-way, the side and rear elevations of Belford's house are seen from Glenburnie Road; and its front facade which used to face the Middle Road is hidden by the highway sound barrier (Fig. 44). The one-and-a-half-storey frame house rests on a concrete foundation, and aluminum siding covers the original wood cladding (Fig. 45). The rear elevation with its vertical emphasis and

sharply pitched dormer window give Belford's house a late nineteenth century Picturesque Gothic appearance, but the large windows on the east and north elevations are typical of the first decade of the twentieth century (Fig. 46 to 48). The side porch which once sheltered the front entrance in the front facade's tower has been enclosed. Although Belford's house from the early twentieth century and the bungalow from the mid-twentieth century are far different in appearance, both 1654 Glenburnie Road and 1644 Glenburnie Road have very deep west yards (Fig. 49 to 50).

As-found Appearance of Surrounding Properties

Henry Belford's house is unusual on the street. The other three houses on the west side of Glenburnie Road, north of Pinetree Way, have a horizontal emphasis and face the street (Fig. 51). All appear to have been built in the mid-twentieth century. The house at the northwest corner of Glenburnie Road and Pinetree Way stands two storeys tall, but the dwellings at 1640 and 1644 Glenburnie Road are bungalows (Fig. 52 and 53).

The houses on the east side of Glenburnie Road, north of Pinetree Way, are small – three of them bungalows and one that is one-and-a-half storeys (Fig. 54 to 57). All appear to date from the mid-twentieth century.

The swale that starts in the backyard of 1654 Glenburnie Road travels southward through the backyards at 1644, 1640 and 1628 Glenburnie Road and underneath Pinetree Way in a large poured concrete culvert (Fig. 58). Bordering the culvert on its west side is the largest house in the block between Glenburnie Road and Magenta Court, north of Pinetree Way (Fig. 59). At sometime, the house has been enlarged and altered.

The east side of Magenta Court is occupied by three bungalows (Fig. 60 to 62).

Redevelopment has occurred south of Pinetree Way along Glenburnie Road, but a couple of bungalows from the mid-twentieth century survive (Fig. 63 to 72). Most of the new houses recall and interpret houses in a variety of traditional, pre-Modern ways; however, 1569 Glenburnie Road with its overhanging flat roofs, expansive glazing and lack of ornamentation follows current trends in contemporary architecture.

Beyond the immediate vicinity of 1644 Glenburnie Road, there are neighbourhood examples of mid-twentieth century Modern houses and new houses in contemporary

styles. A pocket of these, for instance, is grouped around Kenollie Public School at 1376 Glenwood Drive (Fig. 73 to 78).

Description of the Proposed Redevelopment

The house to replace the existing bungalow at 1644 Glenburnie Road was conceived in 2018 and presented for this assessment in April 2019 as a 7,500 square-foot single-detached house in a Deconstructivist style (Fig. 79).

Named in 1988 as a definable trend in contemporary architecture, Deconstructivism embraces an aesthetic of deconstruction, giving the impression that the building is fragmenting. In reaction to the functional expression of construction and materials that characterized Modernism and to the hybridism of Post-Modernism, Deconstructivism aims to disturb the building's form through irregular geometry.

The initial design for the proposed house shows the influence of Deconstructivism through its dynamic play of volumes and its "architectural extrusions" that project over the building's fragmented mass.

Assessment of Impacts from the Proposed Redevelopment

The heritage-listed house at 1654 Glenburnie Road is an anomaly in the block north of Pinetree Way, expressing itself as a Late Victorian dwelling with a picturesque roof line. While Henry Belford's house is oriented vertically, the mid-twentieth century bungalows that prevail on the street are horizontally oriented and positioned low to the ground. Along with two other houses from the mid-twentieth century that do not conform to the prevailing pattern, there is considerable variation in building elevations on the street.

Although architectural contrast already exists in the block, the proposed house in a Deconstructivist style would assert a sudden difference in character. As proposed initially, it would stand out as much of an anomaly on the street as Henry Belford's house but more so.

Measures to Mitigate Impacts

Through the design process, a number of changes were made to reduce the visual impact of the proposed house on Henry Belford's house and on the block. Figures 80A

through 80L – the revised set of renderings, site plan, floor plans, roof plan and elevations – show the improved result.

1. The architectural extrusions projecting over the front elevation have been removed. As revised, the dwelling's front elevation facing Glenburnie Road reads as a front facade as is the custom in the block and neighbourhood.
2. The height of the front elevation has been reduced in absolute numbers. The front elevation's staggered height helps in reducing the visual impression of height. The highest point on the front elevation is an architectural frame that is part of a canopy design.
3. The proposed dwelling's size has been reduced from about 7,500 square feet to about 6,300 square feet. The proposed house is still large in comparison to the modest houses in the block, but the existing open space between the proposed house and Henry Belford's house helps in reducing the proposed house's architectural presence. In addition, the proposed house's side yards – slightly wider than in the initial iteration – are wider than the existing bungalow's side yards.
4. The distance between the proposed house and Henry Belford's house has been enhanced by increasing the front yard setback from the street.
5. In Deconstructivist style, the proposed house is clad in a wide range of cladding materials placed to separate fragmented volumes from one another. On the front elevation, there is a mix of smooth-cut Coronado limestone, matte black concrete panels, buff-coloured distressed concrete panels and glass. The ground-floor porch has a walnut-coloured Cape Elm wood screen over concrete, and two windows have privacy screens made of the same Cape Elm wood.

Figures 81A to D present the proposed house in relation to the existing bungalow at 1640 Glenburnie Road and Henry Belford's house at No. 1654. Among these streetscape elevations, an alternative cladding material is shown for the ground-floor guest room at the dwelling's northeast corner. Like the ground-floor porch at the southeast corner, a screen of Cape Elm wood over concrete covers the guest room.

In either case, the wood screens suggest a contemporary interpretation of the tongue-and-groove wood siding that originally clad Henry Belford's house.

Summary

A mid-twentieth century Ranch-style Bungalow at 1644 Glenburnie Road, which is presumed to lack historical significance, lies adjacent to the property at 1654 Glenburnie Road, which the City has listed in its municipal heritage register for its historical association with Henry Belford. The owner of the property at No. 1644 proposes to demolish the bungalow and replace it with another single-detached house.

As reported in the foregoing paragraphs, the impact of the proposed redevelopment at No. 1644 on Henry Belford's house was studied in terms of the historical and architectural context of these and surrounding properties. Henry Belford's house expresses itself as a Late Victorian dwelling, vertically oriented, and with a picturesque roof line. The Ranch-style Bungalow at No. 1644 and the other mid-twentieth century bungalows that prevail on Glenburnie Road north of Pinetree Way are conversely oriented horizontally and positioned low to the ground. Along with two other houses in the block that do not conform to the prevailing pattern, there is considerable variation in building elevations on the street. Although architectural contrast already exists in the block, the new house as it was initially conceived would assert a sudden difference in character.

Through a number of iterations of the new house's design, changes were made to reduce the visual impact of the proposed house on Henry Belford's house and on the block. The design as submitted for City review shows the improved result.

Appendix A: Illustrations

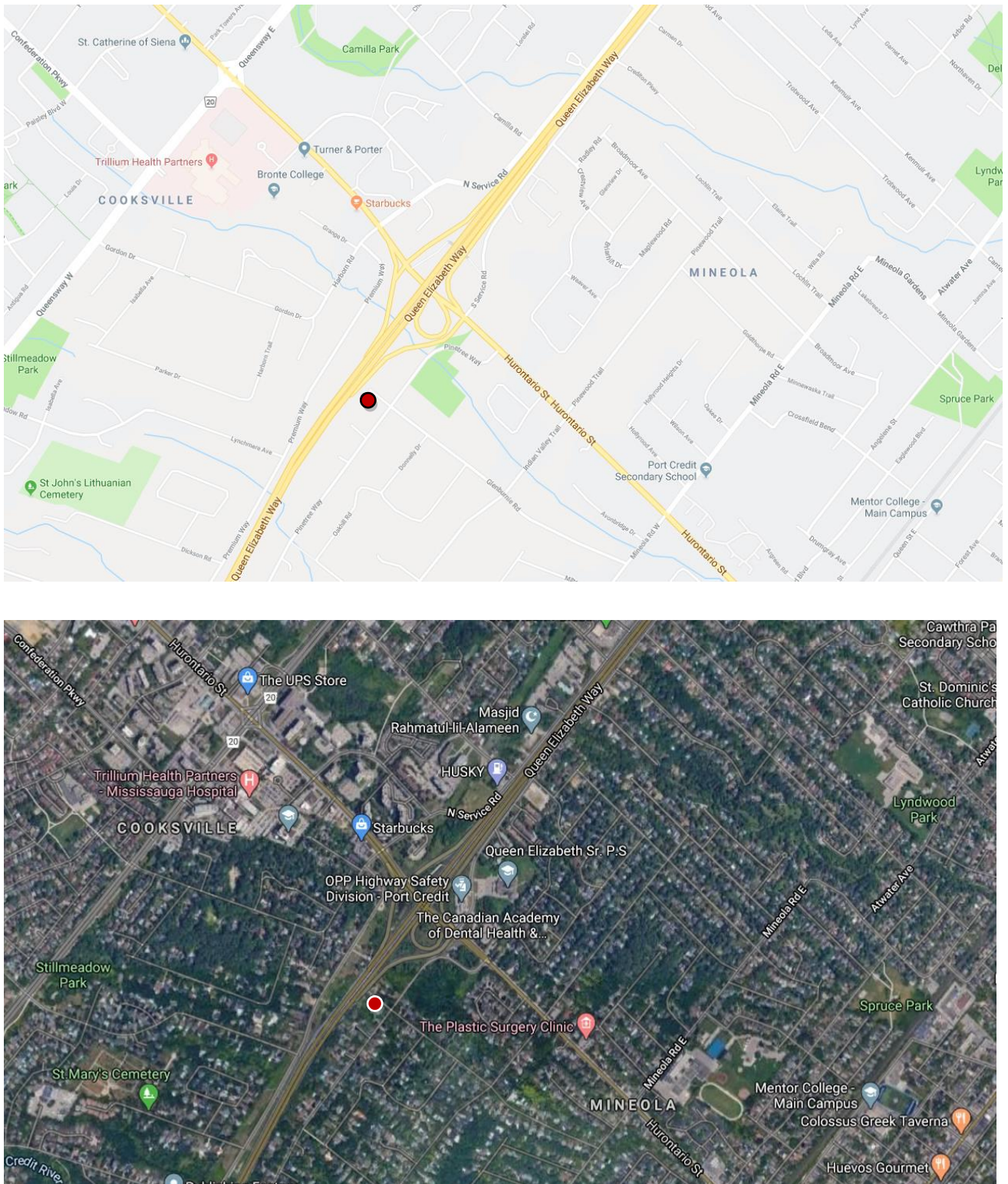


Fig. 1 The red dot on the Google street map and the red dot on the satellite image indicate the approximate location of 1644 Glenburnie Road.



Fig. 2 View of Glenburnie Road, looking north from Pinetree Way. In the distance, the grey and green concrete sound barrier along the Queen Elizabeth Way can be glimpsed. The barrier terminates Glenburnie Road.



Fig. 3 Detail from Zoning Map 08, revised 31 Jul. 2018. The red dot marks the approximate location of 1644 Glenburnie Road.

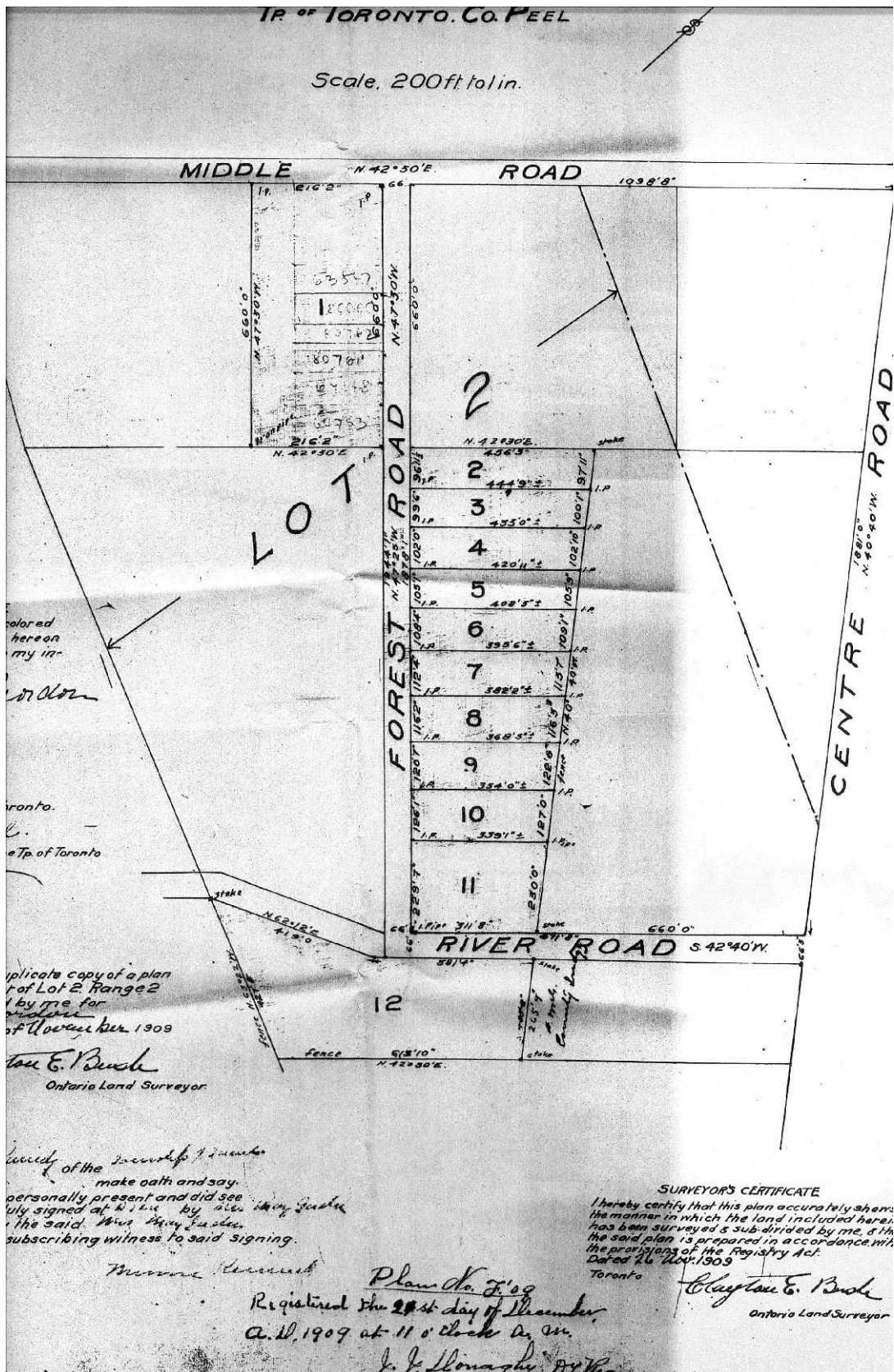


Fig. 4 Detail from Clayton E. Bush, "Plan of Subdivision of Part of Lot 2, Range 2, Credit Indian Reserve, Tp. of Toronto. Co. Peel: Registered Plan F-09," 21 Dec. 1909, Peel Land Registry Office.

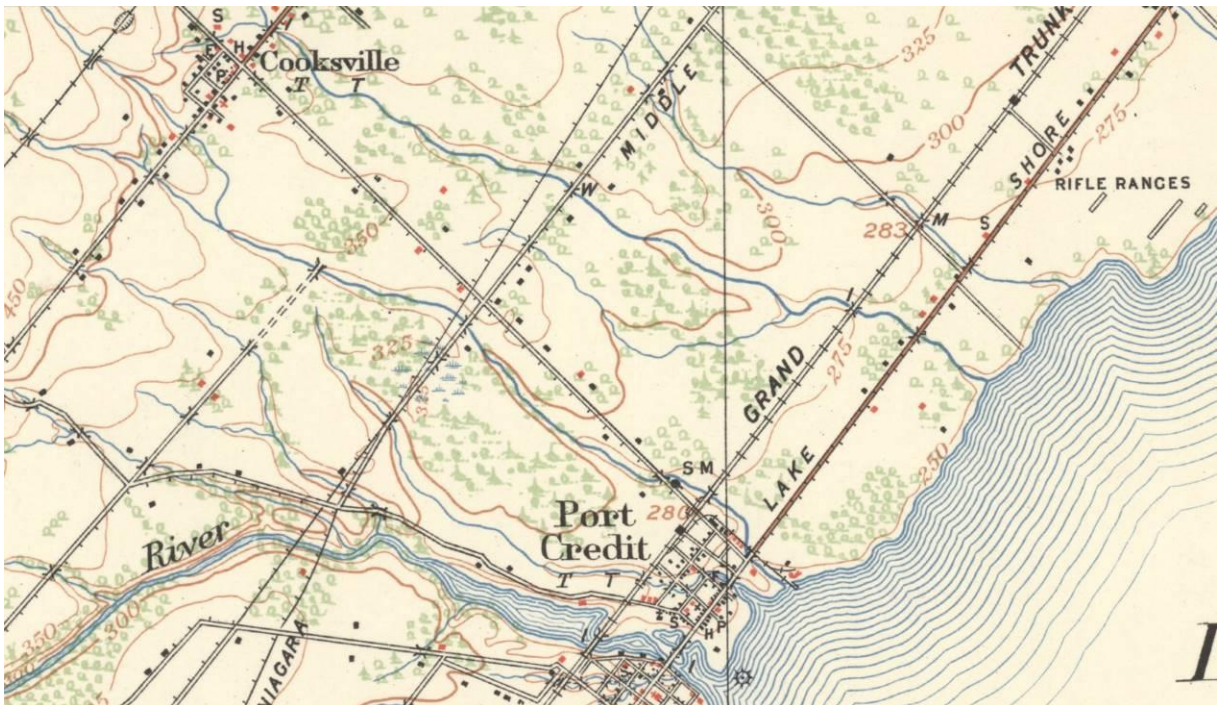


Fig. 5 Detail from Canada, Department of Militia and Defence, "Topographic Map, Ontario, Brampton Sheet, No. 35 [T./71.1909, 30M/12], surveyed 1907, printed 1909, https://ocul.on.ca/topomaps/map-images/HTDP63360K030M12_1909TIFF.jpg.



Fig. 6 Undated photograph of the Middle Road before its expansion as a superhighway, reproduced by Robert M. Stamp in *QEW: Canada's First Superhighway* (Erin, Ont.: Boston Mills Press, 1987), p. 14, from a photograph at the Archives of Ontario.



Fig. 7 Photograph of Henry Belford's house in the 1920s, reproduced by Heritage Mississauga.



Fig. 8 Photograph of Henry Belford as a middle-aged man – a digital image from Heritage Mississauga and sourced from the Peel Region Archives. The background to his photographic portrait could be his own house. Tongue-and-groove wood siding and a darkly painted corner board are similar to the cladding in Figure 7.

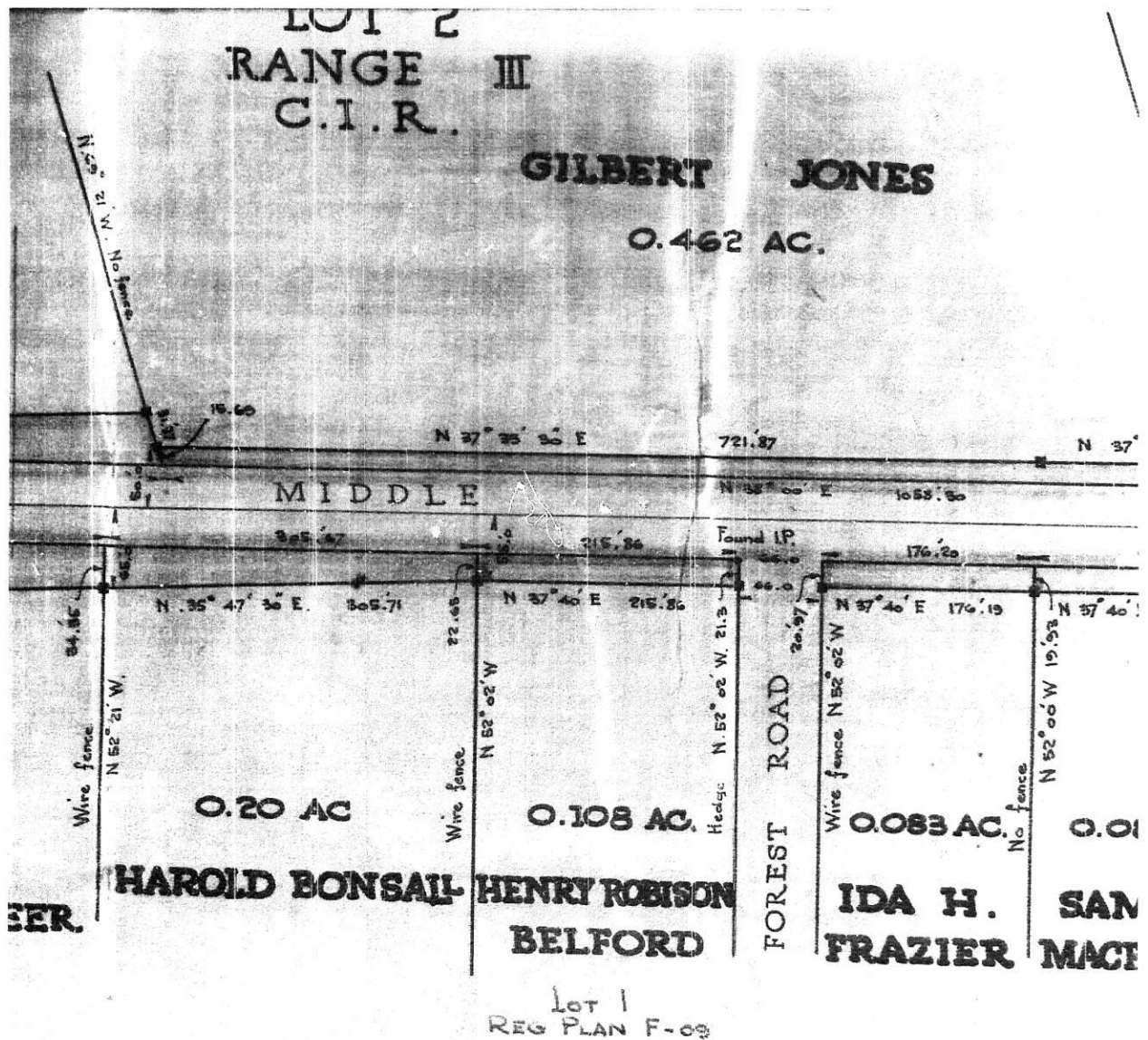


Fig. 9 Detail from John E. Jackson, "Plan of the King's Highway, Middle Road, in the Township of Toronto, County of Peel, Assumed by Deposited Plan No. 546 and Land Plan Shewing Diversion and Widening: Drawing No. P-1857-8," Deposit No. 557, 26 Apr. 1934, Peel Land Registry Office.

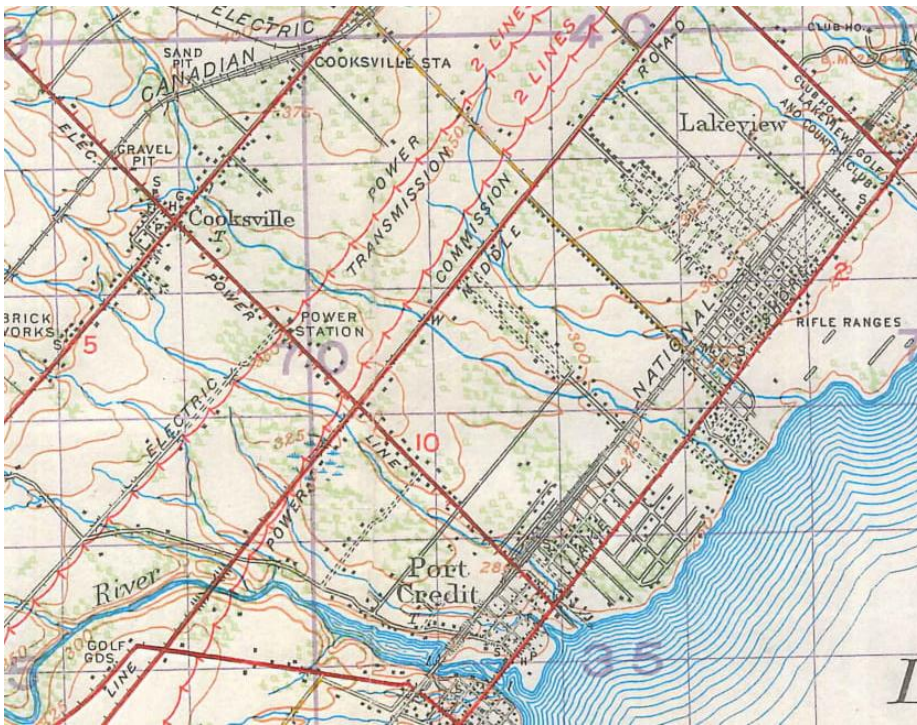


Fig. 10 Detail from Canada, Department of National Defence, "Topographic Map, Ontario, Brampton Sheet, 30M/12," 1938, Toronto Reference Library. The map shows the area before the Queen Elizabeth Way.



Fig. 11 Detail from Canada, Department of National Defence, "Brampton, Ontario, 30M/12," 1942, Toronto Reference Library. Forest Road, the original name for Glenburnie Road, is shown west of the Port Credit cloverleaf. Belford's house, on the west side of Forest Road, is shown along the Queen Elizabeth Way right-of-way. A swamp still lies south of Belford's house. The area remains wooded.

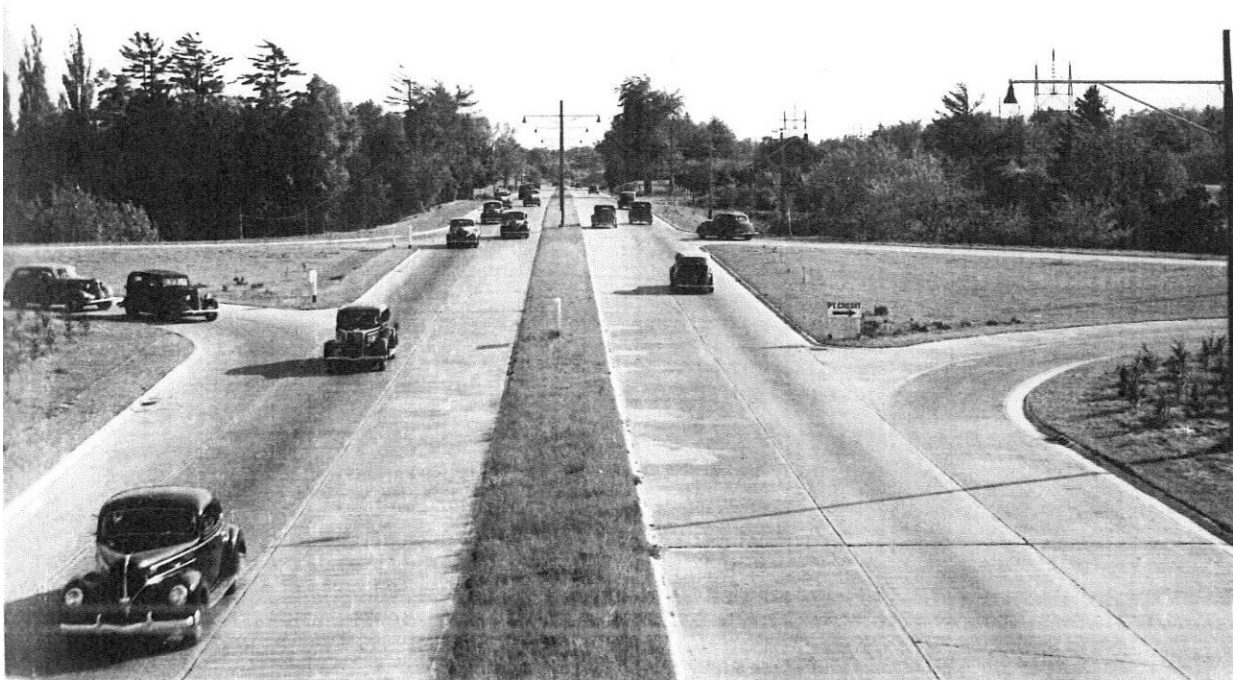


Fig. 12 Photograph of the Queen Elizabeth Way, looking west at Highway 10, Jun. 1939, reproduced from an Archives of Ontario photograph in Robert M. Stamp, p. 21. On the left, note the dense tree cover in the vicinity of Belford's property.

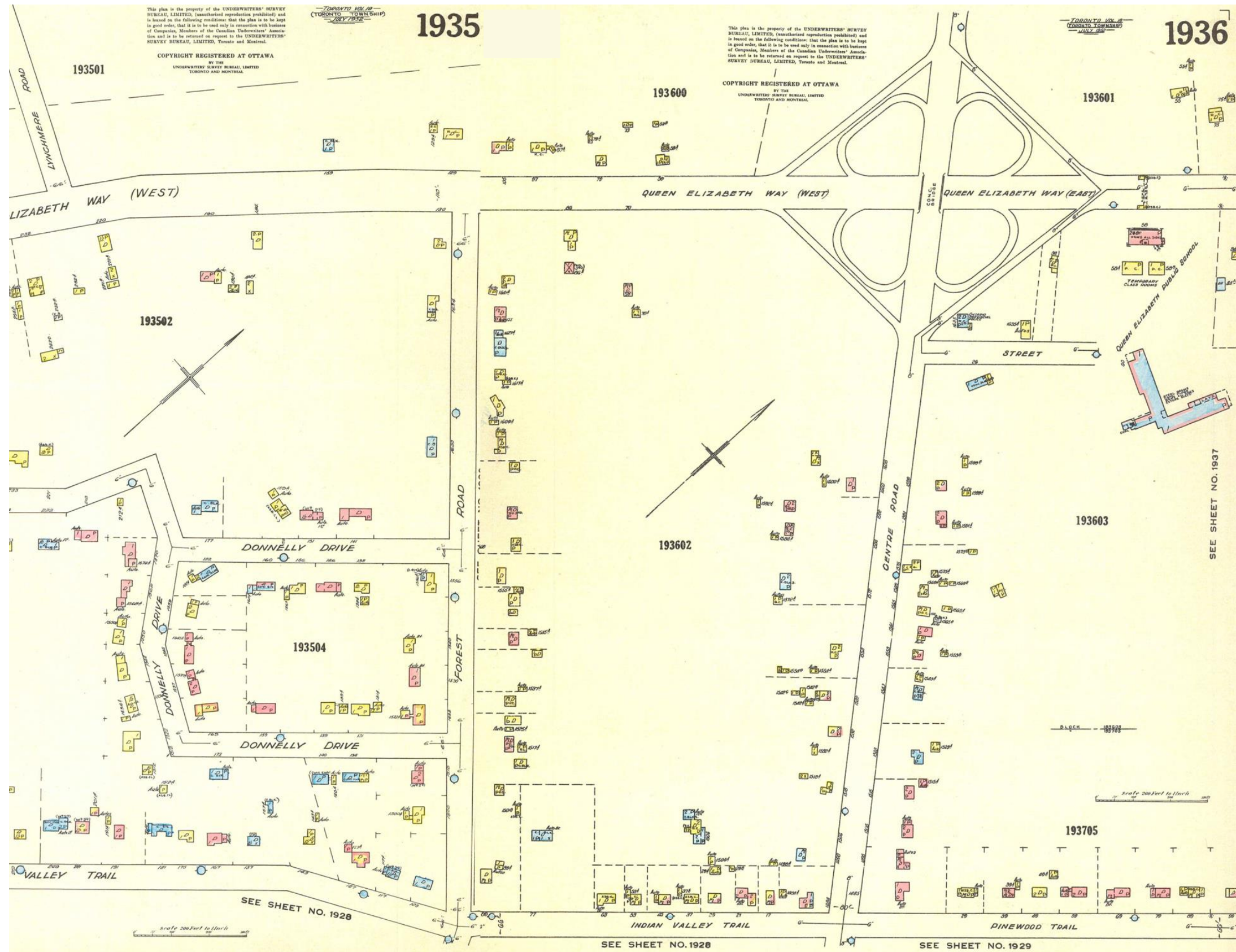


Fig. 13 Details from Underwriters' Survey Bureau, "Insurance Plan of the City of Toronto, Embracing the Village of Port Credit and Part of the Township of Toronto," V. 19 (Toronto & Montreal: Underwriters' Survey Bureau, Jul. 1952), pl. 1935 & 1936 [stitched together], Toronto Reference Library.

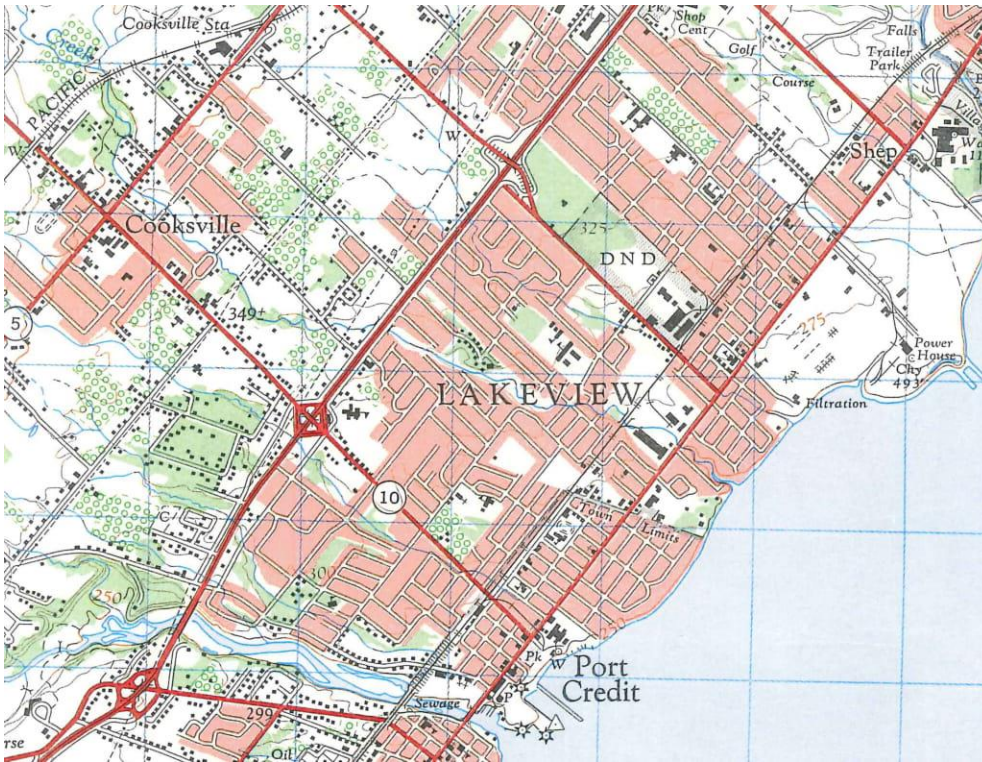


Fig. 14 Detail from Canada, Army Survey Establishment, "Brampton, Ontario, 30M/12," current as of 1960, printed 1964, Toronto Reference Library. The areas coloured pink represent built-up areas.



Fig. 15 Detail from aerial photograph, 1963, City of Toronto Archives, <https://www.toronto.ca/city-government/accountability-operations-customer-service/access-city-information-or-records/city-of-toronto-archives/whats-online/maps/aerial-photographs/aerial-photographs-1963>, pl. 21.

21



Fig. 17 Front facade (east elevation) of 1644 Glenburnie Road, 5 May 2019



Fig. 18 Corner view, showing south elevation and front facade



Fig. 19 North elevation and narrow north side yard, adjacent to the lot line with 1654 Glenburnie Road, as seen from the backyard of 1644 Glenburnie Road. In the distance, on the other side of the street, stands another Ranch-style Bungalow.



Fig. 20 Rear (west) elevation



Fig. 21 Corner view, showing rear and south elevations



Fig. 22 View of backyard at 1644 Glenburnie Road, looking east from the rear lot line. On the left is Henry Belford's house at 1654 Glenburnie Road, and on the right is another bungalow at 1640 Glenburnie Road.



Fig. 23 View of backyard swale, looking south, and bridge over it



Fig. 24 Close-up view of swale



Fig. 25 Weeping willows at north lot line



Fig. 26 View of backyard and rear elevation from Magenta Court, through the wide north side yard of 1623 Magenta Court



Fig. 27 Front entry hall. Note the original door with its octagonal and rectangular cut-outs and single sidelight.



Fig. 28 Combination living and dining room, looking east



Fig. 29 Combination living and dining room, looking west



Fig. 30 Oak floor in combination living and dining room



Fig. 31 Plaster ceiling and cornice (crown moulding) in combination living and dining room



Fig. 32 Another detail of plaster ceiling and cornice, the cornice rounding the corner of the "L"-shaped room



Fig. 33 Kitchen



Fig. 34 Bedroom hall



Fig. 35 Bedroom closest to front entry hall



Fig. 36 Bathroom. Note pink bathtub from the mid-twentieth century.

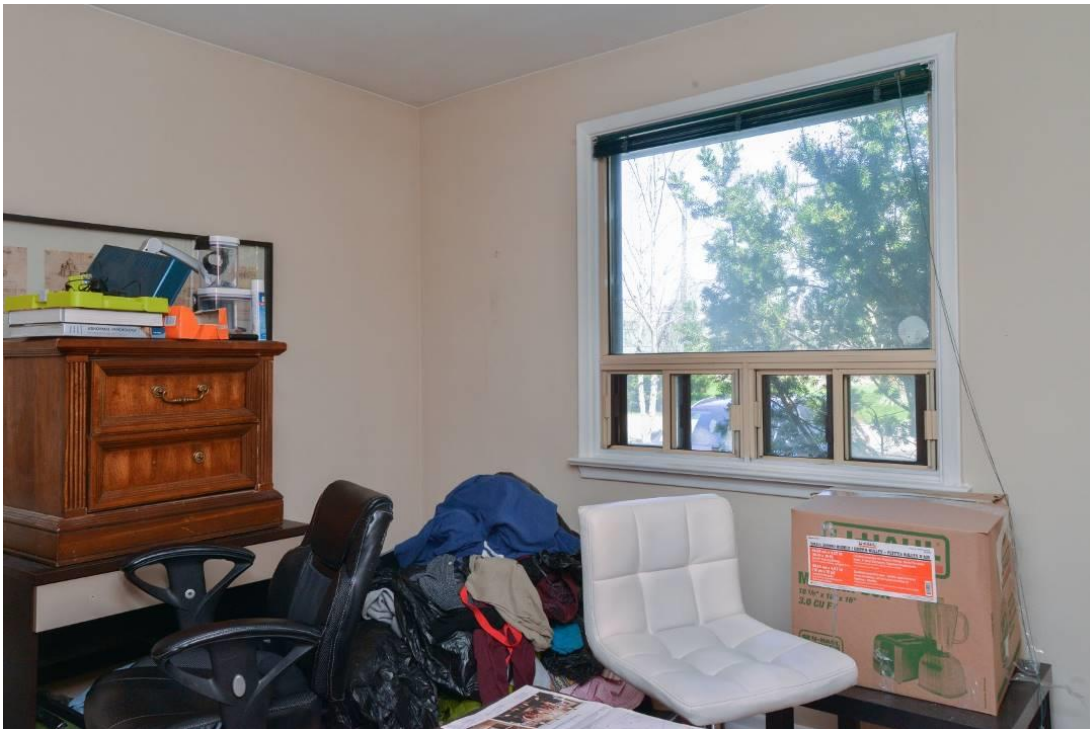


Fig. 37 Bedroom in the bungalow's northeast corner



Fig. 38 Bedroom in the northwest corner



Fig. 39 Basement staircase, looking down to sliding glass doors at the landing and to the backyard deck



Fig. 40 Basement apartment living room, originally the family's recreation room. Note the fireplaces and wood ceiling.



Fig. 41 Basement hall, looking north



Fig. 42 Basement kitchen



Fig. 43 1654 Glenburnie Road, looking northwest across its lot. Note the northeast corner of 1644 Glenburnie Road on the left.



Fig. 44 Corner view of 1654 Glenburnie Road, showing rear (south) and east elevations. Note how close the highway sound barrier is in relation to the house.



Fig. 45 Detail of concrete foundation



Fig. 46 Rear (south) elevation



Fig. 47 East elevation



Fig. 48 Corner view, showing east and north (front) elevations



Fig. 49 Corner view, showing west and rear elevations, and backyard



Fig. 50 View of backyard from north lot line at 1644 Glenburnie Road



Fig. 51 Photo montage of the west side of Glenburnie Road, north of Pinetree Way



Fig. 52 1628 Glenburnie Road at the northwest corner of Glenburnie Road and Pinetree Way



Fig. 53 1640 Glenburnie Road and the southeast corner of 1644 Glenburnie Road



Fig. 54 1627 Glenburnie Road, in a roughcast plaster cladding



Fig. 55 1637 Glenburnie Road



Fig. 56 1643 Glenburnie Road, opposite the bungalow at 1644 Glenburnie Road



Fig. 57 1653 Glenburnie Road, opposite Henry Belford's house



Fig. 58 View of swale and concrete culvert at Pinetree Way, looking north



Fig. 59 137 Pinetree Way, west of swale



Fig. 60 1613 Magenta Court at the northeast corner of Magenta Court and Pinetree Way



Fig. 61 1623 Magenta Court



Fig. 62 1633 Magenta Court



Fig. 63 1609 Glenburnie Road, at the southeast corner of Glenburnie Road and Pinetree Way



Fig. 64 1599 Glenburnie Road



Fig. 65 1593 Glenburnie Road



Fig. 66 1587 Glenburnie Road



Fig. 67 1577 Glenburnie Road



Fig. 68 1569 Glenburnie Road

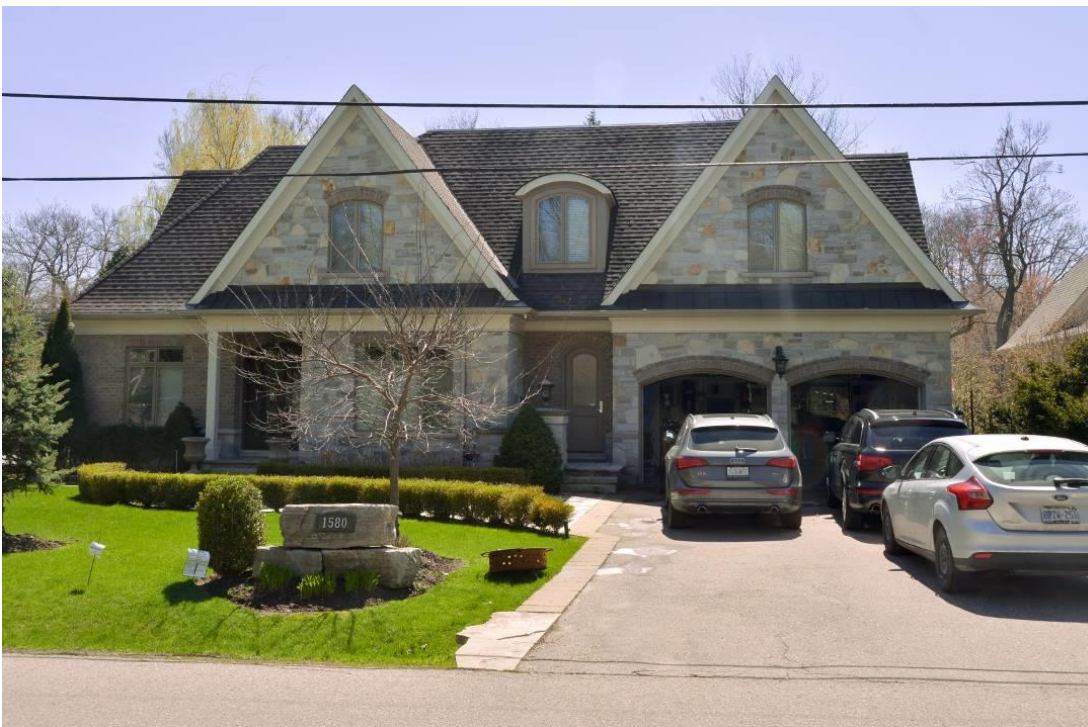


Fig. 69 1580 Glenburnie Road



Fig. 70 1590 Glenburnie Road



Fig. 71 1600 Glenburnie Road



Fig. 72 1610 Glenburnie Road



Fig. 73 Kenollie Public School, 1376 Glenwood Drive



Fig. 74 Another view of Kenollie Public School



Fig. 75 1435 Glenwood Drive, a mid-twentieth century Modern house (what the architectural historian, John Blumenson, calls '50s Contempo style) and a naturalistic landscape setting to complement it



Fig. 76 1445 Glenwood Drive, another mid-twentieth century Modern house



Fig. 77 1455 Glenwood Drive, perhaps a mid-twentieth century Modern house that has been revamped



Fig. 78 250 Mineola Road West, south of Kenollie Public School – an early twenty-first century house



UNIT 808 7191 YONGE ST, THORNHILL, ON

8.1



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(905) 597 6793



info@6ixdesign.ca

1644 GLENBURNIE RD

LOT AREA: 1521.24 [m2] ZONNING: R2-4

BUILDING

ITEM	BY-LAW O225-2007 ALLOWANCE	PROPOSED
COVERAGE	30%,456.37 m2	37.71%, 134.66 m2
FSI	190 + 0.20 x LOT AREA, 494.25 m2	651.7m2 house 49.5m2 garage
DEPTH	20.0 m	23.20 m
HEIGHT	7.5 m	9.21 roof level 1 10.15 roof level 2 10.70 roof level 3
FRONTAGE	22.5m	23.10 m

LANDSCAPING

FRONT, TOTAL	40% (FRONT YARD 224.67 m2) 89.87 m2	124.89 m2
--------------	--	-----------

SETBACKS

FRONT	9.0 m	9.00 m
to awning		6.76 m
to architectural feature		5.20 m
REAR	7.5 m	9.1 m
SIDE	2.41 m	2.41 m
COMBINED SIDE	27% OF LOT WIDTH, 6.25 m	6.58 m

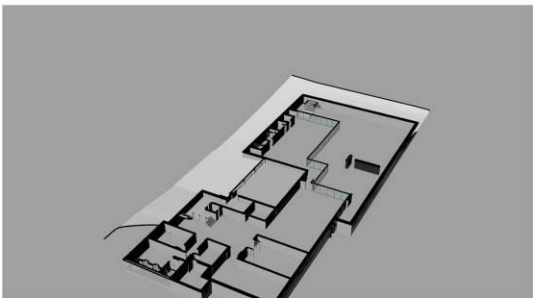
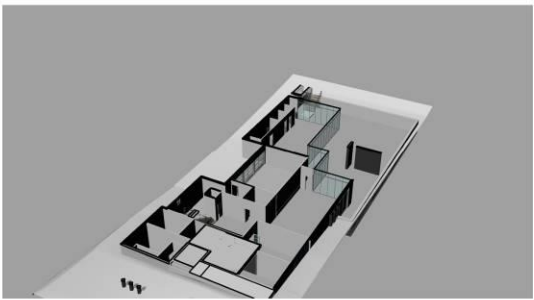
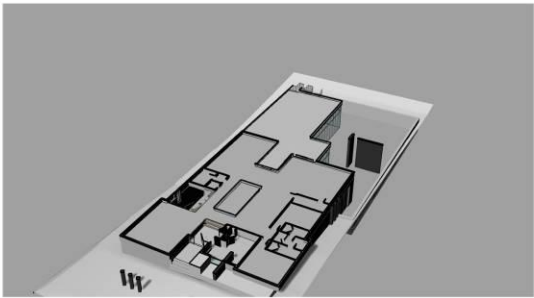
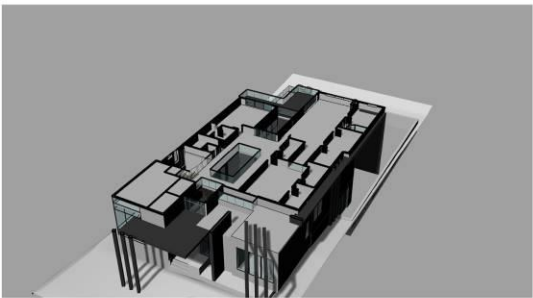
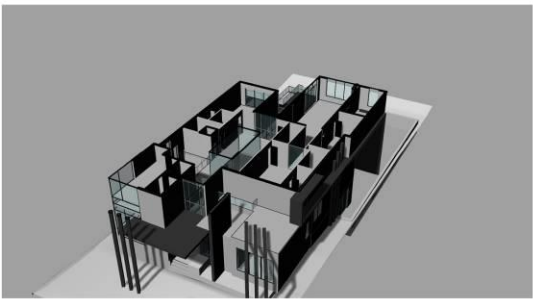
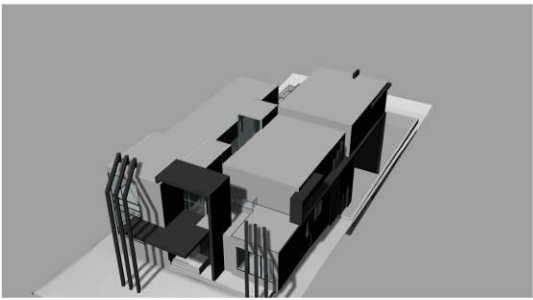


Fig. 79 6ixDesign, "1644 Glenburnie Rd: Top Sheet," 1 Sept. 2018.



: UNIT 808-7191 YONGE ST,
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: (905) 597 6793

: INFO@6IXDESIGN.CA

PROJECT ADDRESS: 1644 Glenburnie Rd, Mississauga, ON

PROJECT DESCRIPTION: NEW 2 STOREY DETACHED DWELLING

CONSULTANTS:

PRIME CONSULTANT(ARCHITECTURAL, STRUCTURAL, MEP):
6IXDESIGN ENGINEERING INC

PLANNER:
THORSTONE CONSULTING

HERITAGE:
PAUL DILSE

ARBORIST:
AL MILEY & ASSOCIATES

CIVIL ENGINEER:
N&N ENGINEERING LTD

LANDSCAPE ARCHITECT:
DIANA NOTENBOOM

ARCHEOLOGY:
A.M.ARCHAEOLOGICAL ASSOCIATES

INTERIOR AND GREEN ROOF LANDSCAPE ARCHITECT:
VERTICAL LANDSCAPE ARCHTIECT

CONTENTS:

A000	TITLE PAGE
A001	SITE PLAN
A100	BASEMENT PLAN
A101	1ST FLOOR PLAN
A102	2ND FLOOR PLAN
A103	ROOF PLAN
A200	FRONT ELEVATION
A201	REAR ELEVATION
A202	SE ELEVATION NW
A203	ELEVATION
A300	ZONING CALC

1644 GLENBURNIE RD

LOT AREA:	LOT FRONTAGE:	ZONNING:
1523.21 m2	23.16m	R2-4

BUILDING			
ITEM	BY-LAW O225-2007 ALLOWANCE	PROPOSED	
COVERAGE	30%, 456.96 m2	317.26 m2 house 48.97 m2 canopy/balcony 110.18 m2 deck/pool 31.27%, 476.41 m2 TOTAL	
GFA	190 + 0.20 x LOT AREA, 494.25 m2	551.27 m2 house 32.84 m2 garage 584.11 m2 TOTAL	
DEPTH	20.0 m	23.87 m	
HEIGHT	7.5 m	8.57 9.49 10.00	ROOF L1 ROOF L2 ROOF L3

LANDSCAPING		
FRONT, TOTAL FRONT YARD=266.88 m2	40% x FRONT YARD 106.57 m2	147.01 m2

SETBACKS			
FRONT to HOUSE to Architectural Feature	9.0 m	10.83 m 9.00 m	HOUSE PORCH
REAR	7.5 m	34.14 m 30.50	1ST FLOOR 2ND FLOOR
SIDE	2.41 m	2.78m 2.17m 4.57m	NW FOUNDATION NW CANTELIVER SE WALL
COMBINED SIDE	27% OF LOT WIDTH, 6.25 m	7.35 m	



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FRONT NORTH RENDER



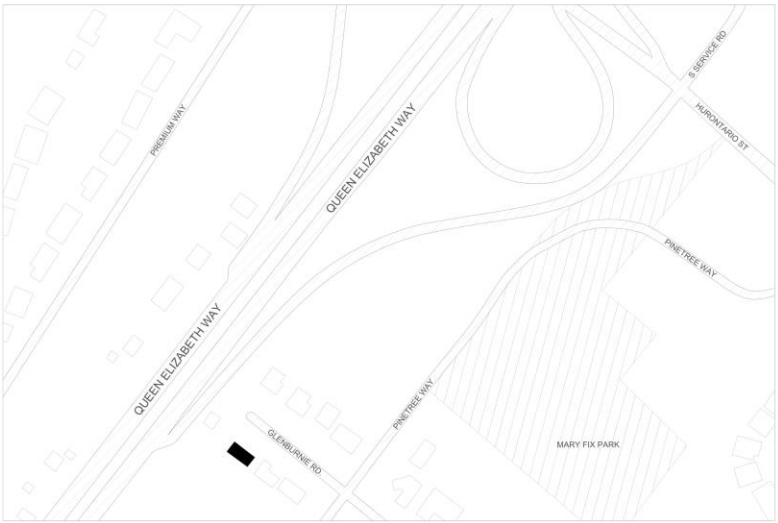
A000-2
SCALE: NTS
FRONT SOUTH RENDER



A000-3
SCALE: NTS
FRONT LANDSCAPE RENDER

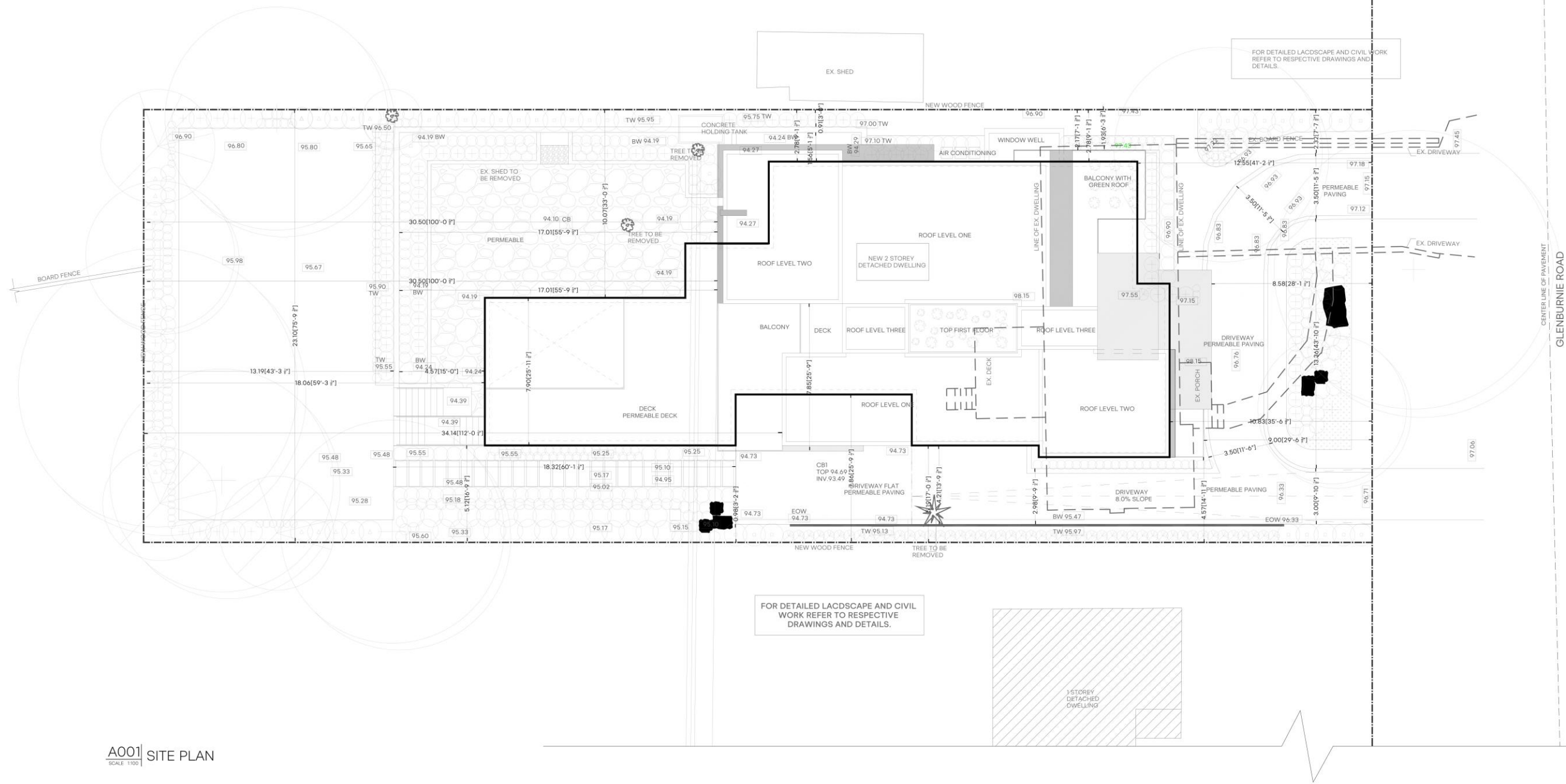


A000-4
SCALE: NTS
REAR LANDSCAPE RENDER



A000-5
SCALE: NTS
KEY PLAN

Fig. 80-A to 80-K 6ixDesign, "1644 Glenburnie Rd: Top Sheet, Site Plan, Floor Plans, Roof Plan and Elevations," 7 May 2020.



A001 SITE PLAN
SCALE: 1:100



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ISSUED FOR REVIEW	06.14.19
ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.05.20

A01

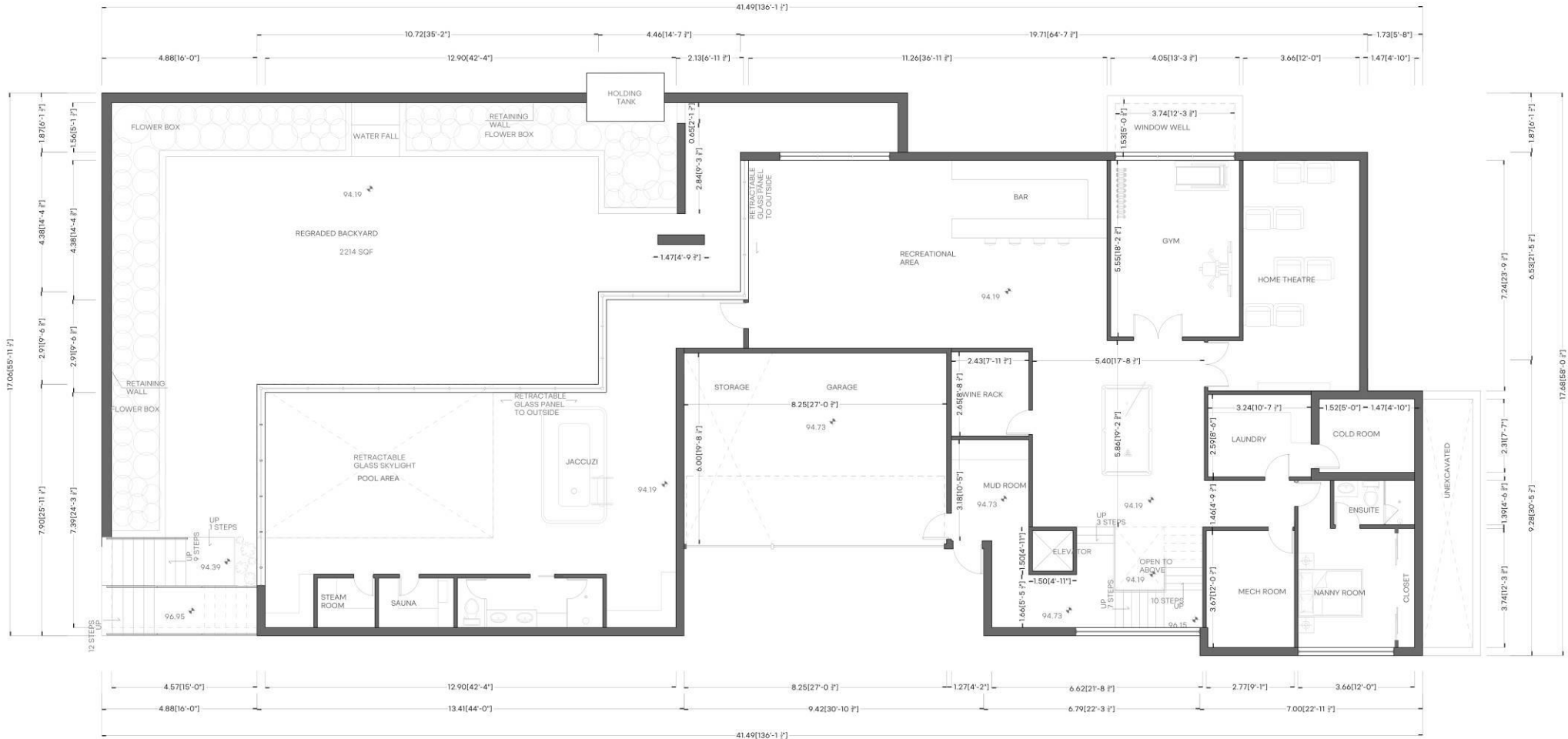
PROJECT NUMBER 1809-007
DRAWN BY Y.A.
CHECKED BY F.T.

SITE PLAN

SCALE 1:100



Fig. 80-B



A100 BASEMENT FLOOR



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ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.05.20

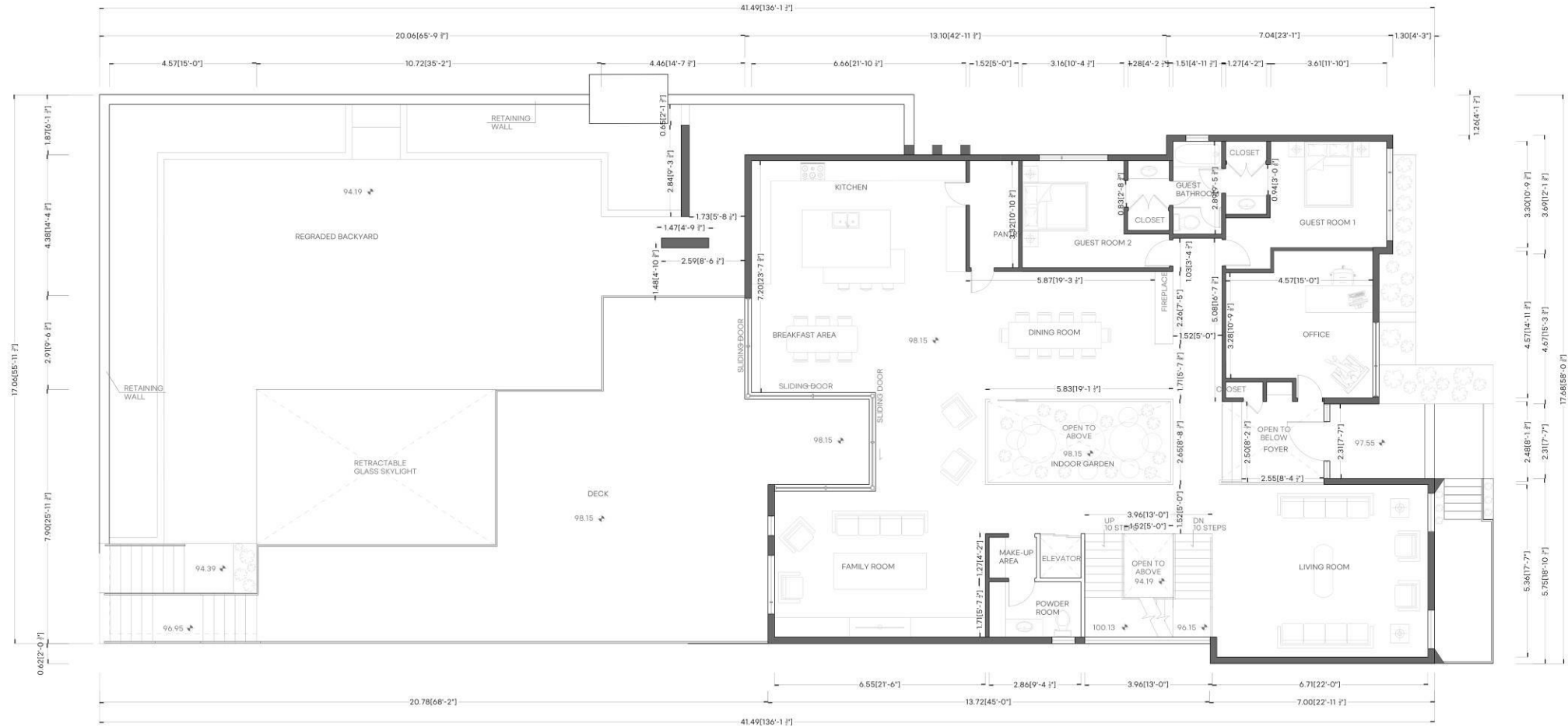
A100 FLOOR PLAN

PROJECT NUMBER 1809-007
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CHECKED BY F.T.

SCALE 1:75



Fig. 80-C



A101 | FIRST FLOOR
SCALE: 1/75



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ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.04.20

A101 FLOOR PLAN

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SCALE 1:75



Fig. 80-D



A102 | SECOND FLOOR
SCALE: 1/8"



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ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.04.20

A102 FLOOR PLAN

PROJECT NUMBER 1809-007
DRAWN BY Y.A.
CHECKED BY F.T.

SCALE 1:75

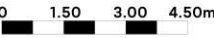
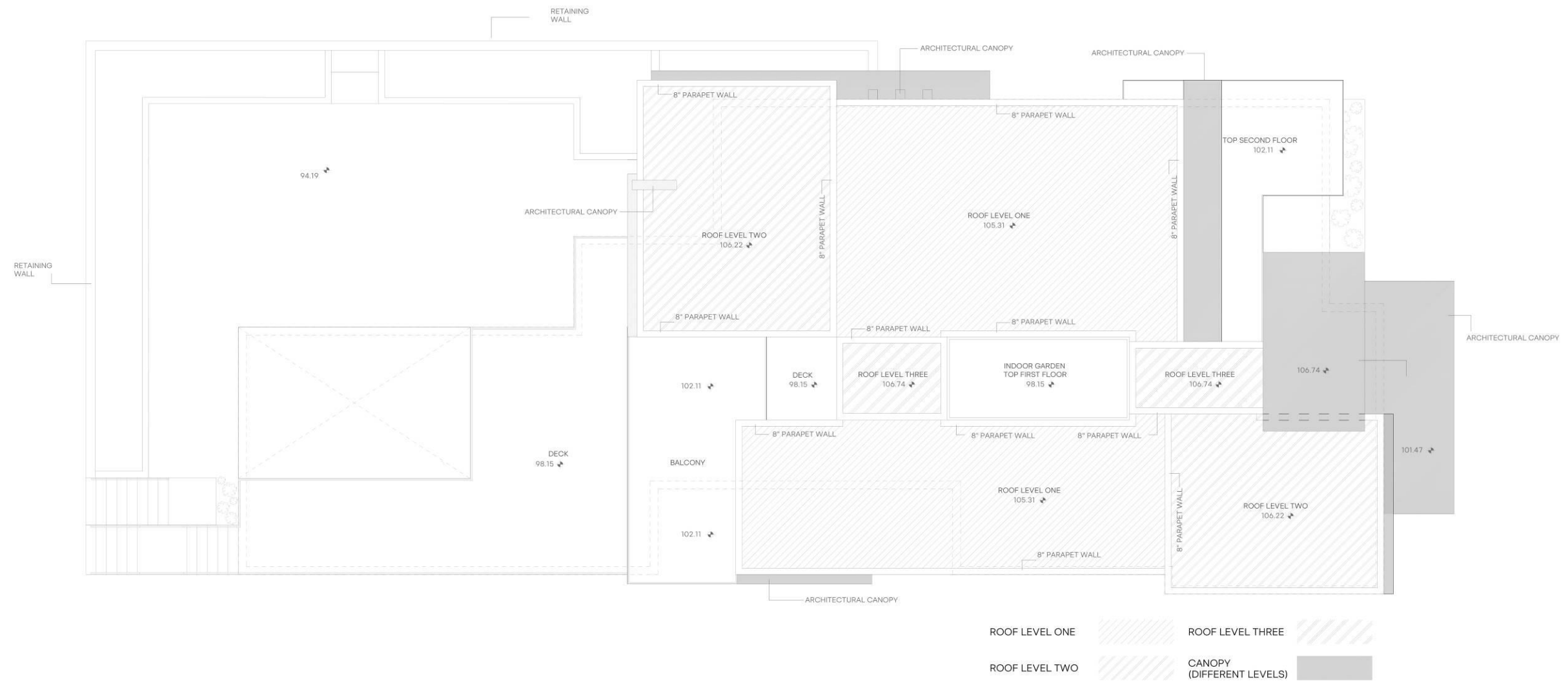


Fig. 80-E



A103 | ROOF PLAN
SCALE 1:75



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ISSUED FOR REVIEW	06.14.19
ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.04.20

A103

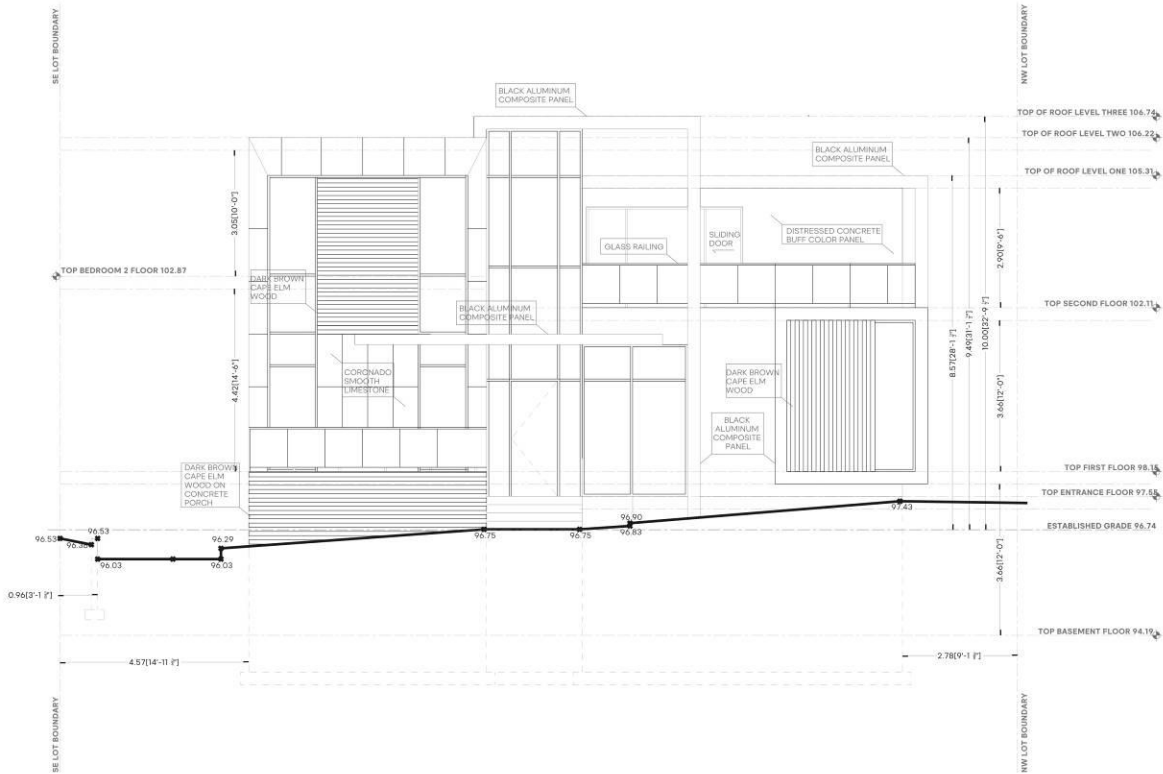
PROJECT NUMBER	1809-007
DRAWN BY	Y.A.
CHECKED BY	F.T.

ROOF PLAN

SCALE 1:75



Fig. 80-F



A200 NE ELEVATION (FRONT)
SCALE 1:75



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ISSUED FOR REVIEW	06.14.19
ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.04.20

A200

PROJECT NUMBER 1809-007
DRAWN BY Y.A.
CHECKED BY F.T.

FRONT
ELEVATION
SCALE 1:75

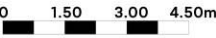
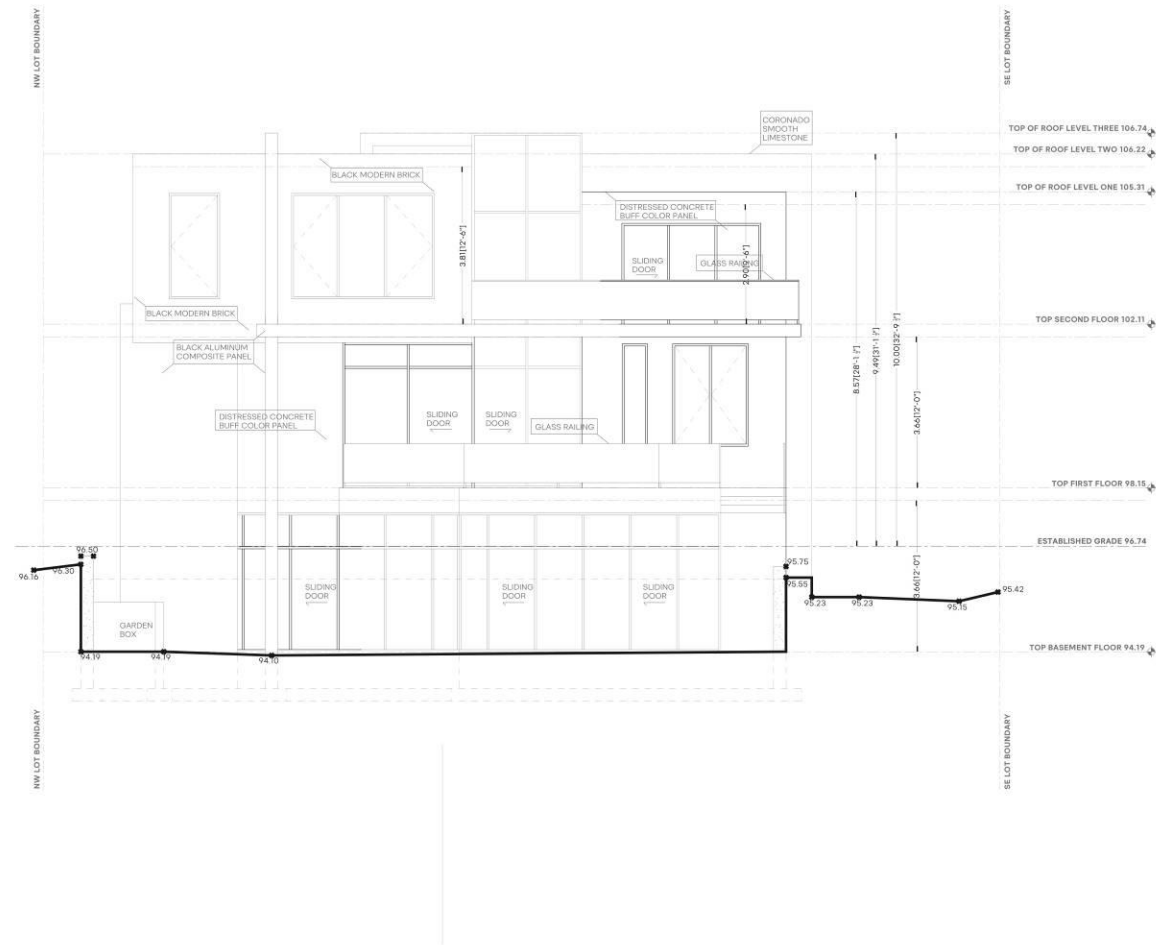


Fig. 80-G



A201 | SW ELEVATION(REAR)
SCALE: 1/75



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ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.04.20

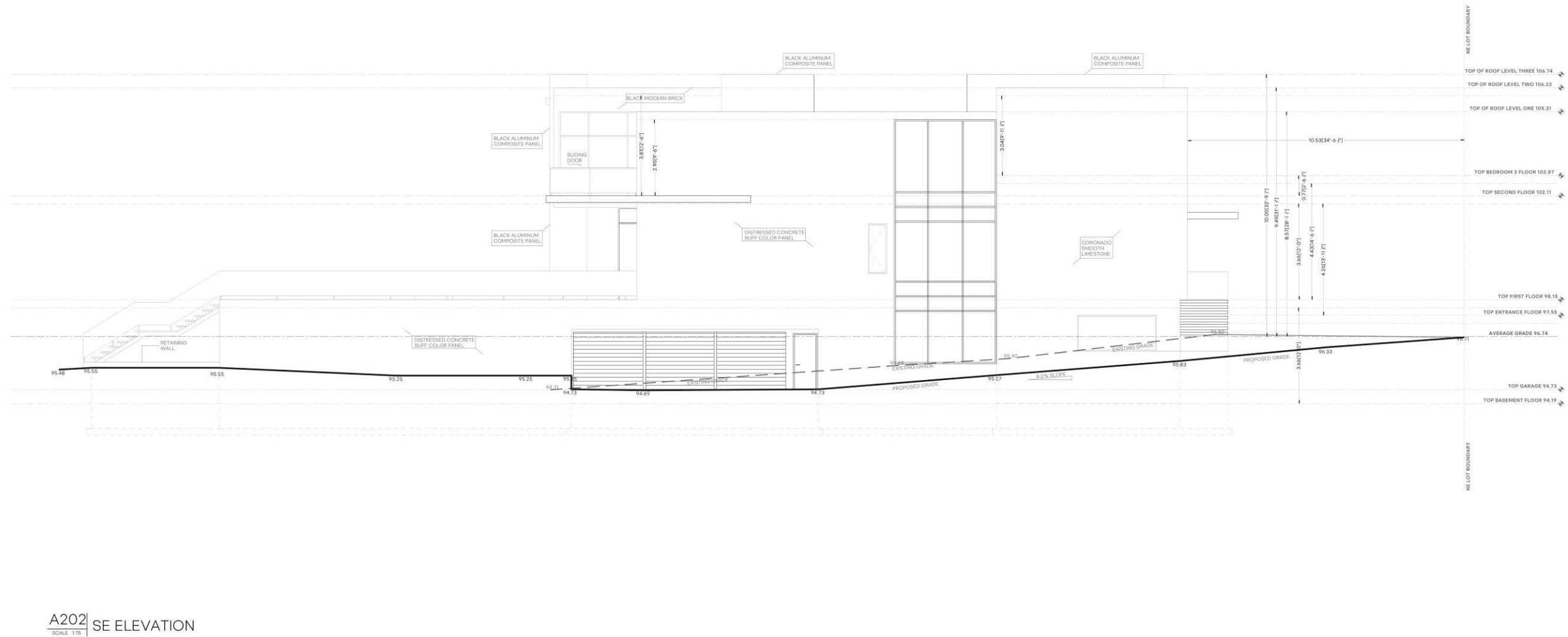
A201

PROJECT NUMBER 1809-007
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CHECKED BY F.T.

BACK ELEVATION
SCALE 1:75



Fig. 80-H



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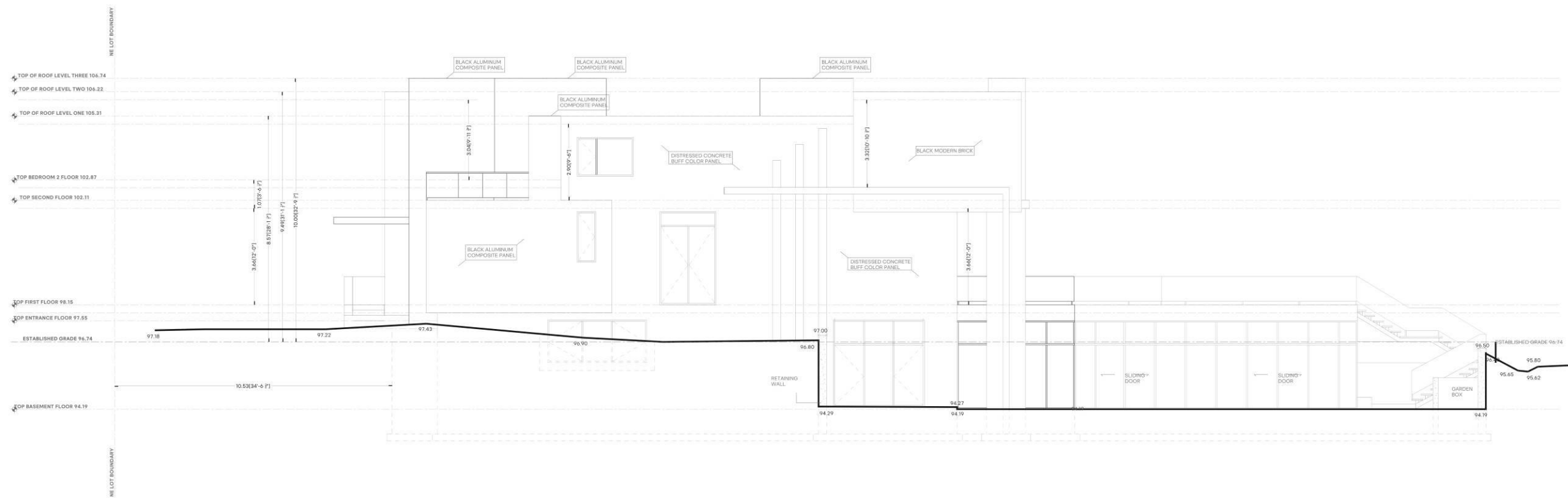
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ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.04.20

A202
PROJECT NUMBER 1809-007
DRAWN BY Y.A.
CHECKED BY F.T.

SIDE
ELEVATION
SCALE 1:75



Fig. 80-I



A203
SCALE 1/75
NW ELEVATION



UNIT 808 7191 YONGE ST,
THORNHILL, ON
WWW.6IXDESIGN.CA
TEL: (905) 597 6793

PROJECT ADDRESS:
1644 GLENBURNIE RD.
MISSISSAUGA, ON

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "6IXDESIGN INC" and any use of it should have the designer consent. Drawings are not to be scaled. Drawings not intended for construction unless noted otherwise.

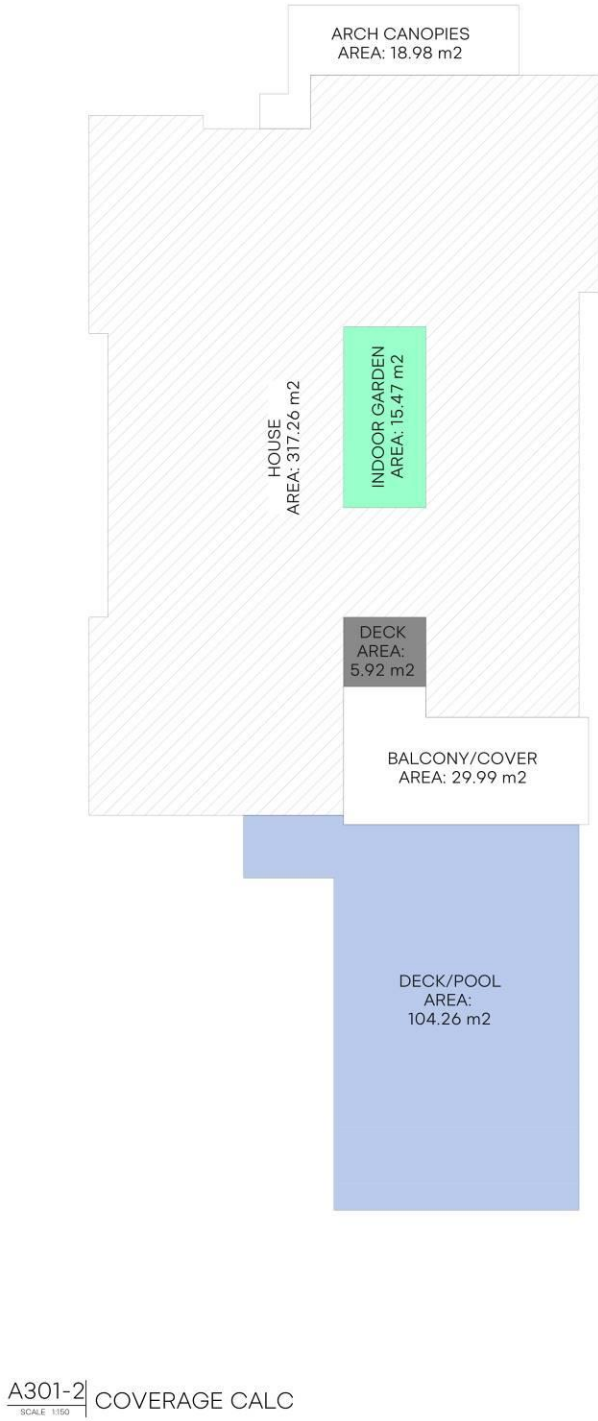
DESCRIPTION	DATE
ISSUED FOR REVIEW	01.09.19
ISSUED FOR REVIEW	06.14.19
ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.04.20

A203
PROJECT NUMBER 1809-007
DRAWN BY Y.A.
CHECKED BY F.T.

SIDE
ELEVATION
SCALE 1:75



Fig. 80-J





PROJECT ADDRESS:
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MISSISSAUGA, ON

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UNIT 808 7191 YONGE ST,
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ISSUED FOR REVIEW	08.09.19
ISSUED FOR REVIEW	23.09.19
ISSUED FOR SPA	07.05.20

A300

PROJECT NUMBER 1809-007

DRAWN BY Y.A.

CHECKED BY F.T.

ZONING CALC

SCALE 1:150

0 3.00 6.00 9.00m

Fig. 80-K

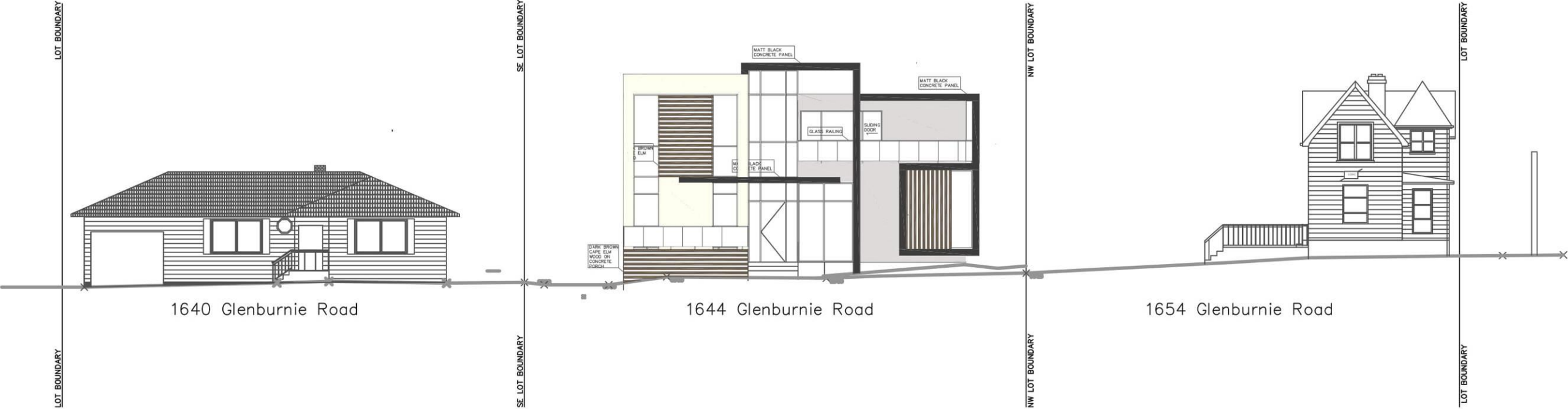


Figure 81A: Streetscape



Figure 81B: Streetscape with vegetation

Streetscape Study for the
Heritage Impact Assessment

1644 Glenburnie Road, Mississauga, Ontario

FRANCINE ANTONIOU ARCHITECT OAA, CAHP-ACEP, LEED AP 647 225 4246

Streetscape Elevations, Figure 81

1/16"=1'-0"

DATE: June, 2020

Elevations were provided by
6IX Design Engineering, May 2020.

Fig. 81 A to D Francine Antoniou, "Streetscape Elevations," June 2020.

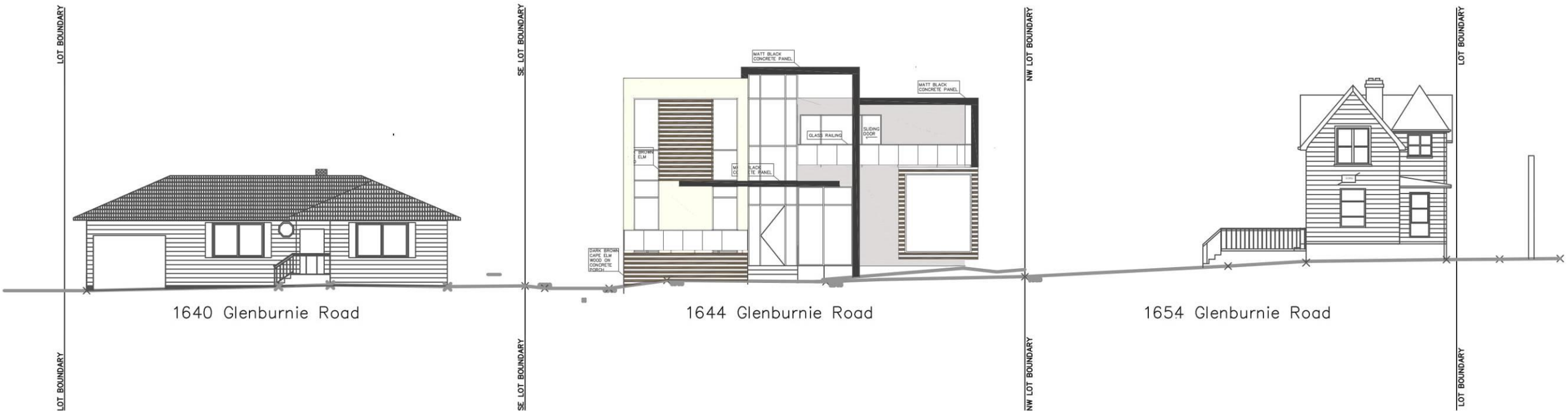


Figure 81C: Alternative Streetscape

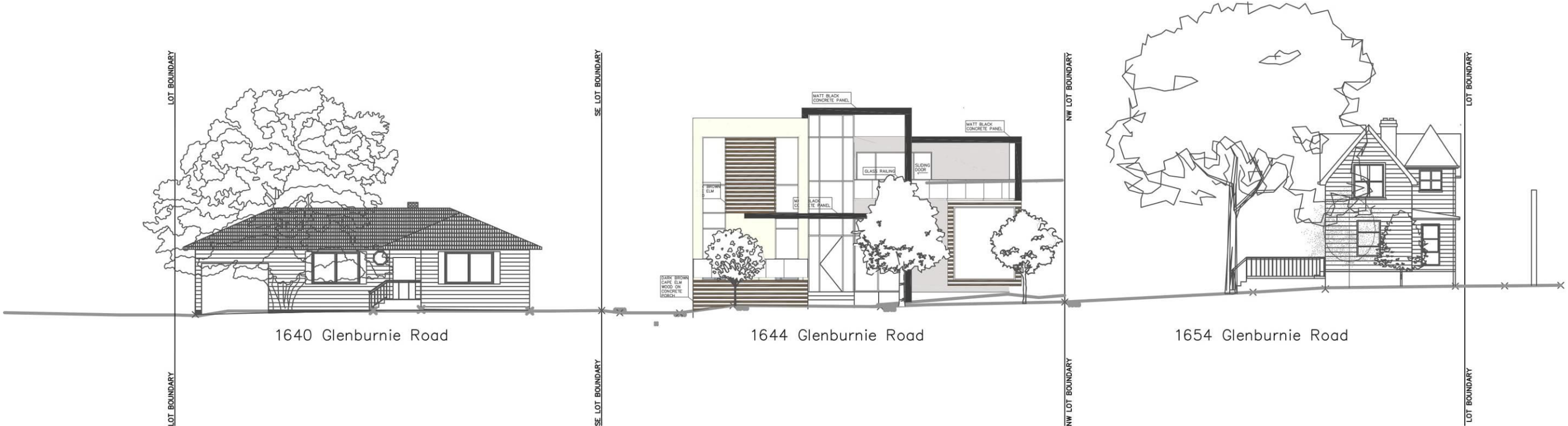


Figure 81D: Alternative Streetscape with vegetation

Streetscape Study for the
Heritage Impact Assessment

1644 Glenburnie Road, Mississauga, Ontario
FRANCINE ANTONIOU ARCHITECT OAA, CAHP-ACEP, LEED AP 647 225 4246

Streetscape Elevations, Figure 81

1/16"=1'-0"

DATE: June, 2020

Elevations were provided by
6IX Design Engineering, May 2020.

Fig. 81 A to D Francine Antoniou, "Streetscape Elevations," June 2020.

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Appendix C: Author's Qualifications

Paul Dilse has specialized in heritage planning and historical study since his graduation from the professional planning school at the University of Waterloo in 1979.

He has written official plan policies on heritage conservation for the former Municipality of Metropolitan Toronto and for the City of Cambridge (his related official plan background study, in which he delineated the boundaries of prospective heritage conservation districts, remained a reference document there for three decades). He has surveyed the entire rural and exurban municipality of the Town of Caledon to compile a comprehensive inventory of built heritage resources located on 1,643 properties. He has assessed the cultural heritage value of two French Canadian Roman Catholic churches in rural Essex County as well as the cultural heritage landscape of the David Dunlap Observatory in Richmond Hill, and successfully defended their designation under the *Ontario Heritage Act* at Conservation Review Board hearings. He has also provided expert witness testimony at the Ontario Municipal Board and Local Planning Appeal Tribunal, successfully defending the designation of the first heritage conservation district in the Town of Markham and the second heritage conservation district in the Town of Whitby as well as contributing to the positive outcome in favour of retaining a complex of rare garden apartments in the Leaside neighbourhood of Toronto.

In addition to the Thornhill-Markham heritage conservation district and Werden's Plan neighbourhood district in Whitby, he has produced heritage conservation district plans for Old Port Credit Village in Mississauga, the MacGregor/Albert neighbourhood in Waterloo, and Lower Main Street South in Newmarket. Another study of his – pertaining to the George Street and Area neighbourhood in Cobourg – has supported this area's designation as a heritage conservation district. He is also the author of a report on the feasibility of establishing heritage conservation districts in downtown Brampton. His knowledge of heritage conservation districts spans 35 years – from the time when he reviewed heritage conservation district plans for the provincial government in the early 1980s to the post-2005 era when amendments to the *Ontario Heritage Act* clarified and strengthened Part V of the Act. He has also prepared voluntary conservation-based design guidelines for the historic commercial centres of Alliston, Beeton, Tottenham and Picton.

Since 2004 when municipalities in Central and Southwestern Ontario started requesting heritage impact assessments from him, he has completed 59 such reports – 14 for

subjects in Mississauga. In addition to the heritage impact assessments, he has described and evaluated many other historic properties, for instance, Delta Collegiate Institute in Hamilton. Its 2014 designation under the *Ontario Heritage Act* was the first in Hamilton in five years.

He has written text for commemorative plaques, including several for the Ontario Heritage Trust, and has planned an extensive program to interpret the history of the Freeport Sanatorium at the Grand River Hospital in Kitchener. His major work in 2011, a history of the Legislative Building in Queen's Park and a statement on its cultural heritage value, forms part of an historic structure report commissioned by the Legislative Assembly of Ontario. In 2016, he prepared a strategic conservation plan for the Hamilton GO Centre Station, formerly, the Toronto, Hamilton & Buffalo Railway Station. Its historic significance is recognized in the station property's designation under the *Ontario Heritage Act* by the City of Hamilton, a rating as a Provincial Heritage Property of Provincial Significance and designation under the *Heritage Railway Stations Protection Act* by the Historic Sites and Monuments Board of Canada. In 2017, his report in support of the designation of Belfountain Conservation Area under the *Ontario Heritage Act* was adopted by the Town of Caledon.

Paul Dilse is qualified as a planner and historian by the Canadian Association of Heritage Professionals, of which he is a founding member.

City of Mississauga
Memorandum



Date: October 8, 2020
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting date: November 10, 2020
Subject: Alteration to a Listed Heritage Property: 2188 Highriver Court (Ward 8)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction."

The subject property is listed on the City's Heritage Register. The Heritage Impact Assessment is attached for your consideration.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Paul Damaso, Director, Culture Division

HERITAGE IMPACT ASSESSMENT



2188 HIGHRIVER COURT

Mississauga Road Scenic Route
Cultural Landscape

FINAL REPORT

05 OCT 2020

MEGAN HOBSON CAHP

M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT
(905) 975-7080
mhobson@bell.net

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APPENDIX C: MISSISSAUGA ROAD SCENIC ROUTE [2005 INVENTORY]	ATTACHED
APPENDIX D: ARCHITECTURAL DRAWINGS [MEMAR ARCHITECTS]	ATTACHED

EXECUTIVE SUMMARY

The proposed alterations to enlarge an existing dwelling located at 2188 Highriver Court will have no negative impacts on the *Mississauga Road Scenic Route Cultural Landscape* because:

- the proposed alterations are consistent with existing land uses and residential zoning
- the proposed addition will be set back 14.5 m from Mississauga road
- existing trees that contribute to the scenic character of Mississauga Road will be retained within the proposed 14.5 m set back

1.0 INTRODUCTION

The subject property is located in the *Mississauga Road Scenic Route Cultural Landscape*. This report was prepared by heritage consultant Megan Hobson for the property owner of 2188 Highriver Court as a requirement for obtaining permission to enlarge the existing dwelling. This report was prepared in accordance the City of Mississauga's *Terms of Reference for Cultural Landscape Heritage Impact Assessments (2016)*.

2.0 LOCATION

The subject property is located at 2188 Highriver Court. It is located on the north side of Mississauga Road, east of Erin Mills Parkway and north of the Queen Elizabeth Highway. The property backs onto and is surrounded by a residential subdivision.



LOCATION MAP: 2188 Highriver Court – the side yard fronts on Mississauga Road

The subject property is a corner lot on the northwest corner of Mississauga Road and Highriver Court. The subject house is oriented towards Highriver Court with driveway access from Highriver Court. The south side yard has a short frontage on Mississauga Road due to the unusual shape of the lot that tapers to a point on Mississauga Road. The side yard visible from Mississauga Road contains a dense planting of mature deciduous trees.



AERIAL VIEW: 2188 Highriver Court – the side yard fronts on Mississauga Road

3.0 SITE DESCRIPTION

See Appendix A: Site Photos & Appendix B: Property Information

The subject property contains a 2-storey suburban bungalow that was built in 1970. It has a 'Raised Ranch' style form with an integrated double-car garage on the south side. It is clad with brick and aluminum siding. It is oriented towards Highriver Court and is not visible from Mississauga Road.



HIGHRIVER COURT STREETSCAPE: 2188 Highriver Court does not have access from Mississauga Road

There is a lawn and paved driveway in front of the existing house with a narrow side yard on the north side. The lot has an unusual configuration because of its corner location and the skewed orientation of Highriver Court in relation to Mississauga Road. As a result, the south side yard is wedge-shaped with limited frontage on Mississauga Road. The south side yard contains large trees that block views of the house from Mississauga Road.



MISSISSAUGA ROAD STREETSCAPE: mature trees in the side yard of 2188 Highriver Court

There is a large estate lot that occupies the remaining frontage on Mississauga Road to the west of the subject property from Highriver Court to Doulton Drive. The adjacent property has dense vegetation along Mississauga Road.

4.0 HERITAGE PLANNING CONTEXT

See Appendix C: Mississauga Road Scenic Route inventory Sheet

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All of the properties listed on the *Cultural Heritage Inventory* are listed on the *City's Heritage Register*. Under City policy 7.4.1.12, the City of Mississauga seeks to conserve, record and protect its heritage resources and a *Heritage Impact Assessment* is required for any "construction, development, or property alterations that might adversely affect" those resources. The *Heritage Impact Assessment* must be prepared by a qualified heritage consultant and must satisfy the *Terms of Reference for Cultural Landscape Impact Assessments* (2016).

The subject property is identified in the *Cultural Heritage Inventory* as being part of the *Mississauga Road Scenic Route Cultural Landscape (F-TC-4)*. The *Inventory* provides a general description of the character of this resource and includes a checklist of natural and cultural values associated with it. The Mississauga Road Scenic Route Cultural Landscape is described as follows:

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality

Values associated with the Mississauga Scenic Route identified in the *Inventory* are grouped under 4 headings and are:

- Landscape Environment
 - Scenic and visual quality
 - Horticultural interest
 - Landscape Design, Type and Technological Interest
- Historical Associations
 - Illustrates Style, Trend or Pattern
 - Illustrates Important Phase in Mississauga's Social or Physical Development
- Built Environment
 - Consistent Scale of Built Features
- Other
 - Historical and Archaeological Interest

The degree to which individual properties contribute to this character is not assessed. Due to considerable development pressure and the demand for large homes fronting on Mississauga Road, this cultural landscape has experienced a large number of demolitions and new development since 2005. The City is currently undertaking the *Conserving Heritage Landscapes Project* to update the earlier study. The *Mississauga Road Scenic Route* was evaluated in Phase I of the project. It was determined that Mississauga road south of Britannia Road was significant and its character should be maintained.

This is applicable to the subject property because it is located south on Britannia Road and the side yard fronts on Mississauga Road.

New development is regulated by Official Plan policies and zoning by-laws and is subject to review, including heritage review, under the Site Plan Application process.

There are no specific heritage policies for new development within Cultural Heritage Landscapes. This area is zoned R1 for Detached Dwelling. New development in this area must be compatible with Zoning By-law 0225-2007 and is subject to the Site Plan Approval process. Recent development in this area consists mainly of large 2-2.5 storey homes with 3 or 4- car garages built out to the maximum buildable area permitted (ie; 25% lot coverage and minimum front yard set back of 7.5 m). Due to the large size of many of the lots fronting on Mississauga Road, this allows for substantially larger homes.

5.0 HISTORICAL CONTEXT

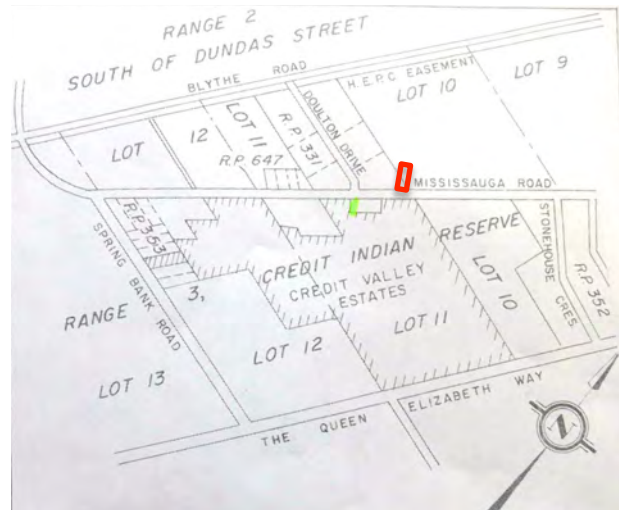
Historically this area was part of land reserved on either side of the Credit River for the Mississauga. In 1805 the Crown negotiated a large purchase of these lands from the Mississauga and it was surveyed into 200-acre lots. This area was divided into three 'ranges' and identified as the Credit Indian Reserve (CIR) in land documents. Lots located in the lower portion of the New Survey (1806) were aligned with the Credit River rather than the shoreline of Lake Ontario so the lots are slightly skewed in relation to other lots in Toronto Township. By 1847, the Mississauga had relocated elsewhere and the land was re-distributed by the Crown

The subject property is located in Lot 10, Range III of the Credit Indian Reserve (CIR). Land records indicate that Frederick C. Capreol received the original patent for all of Lot 10 in 1855 but his name is crossed out in the copy book and a new patent registered by William Spragge's widow Martha appears in 1876. On the 1859 Tremaine Map William Spragge is identified as the owner of Lots 9 & 10 on both sides of Mississauga Road. William Spragge was the Deputy Superintendent General of Indian Affairs. He died in 1866 and the estate passed to his wife and son A.G.M Spragge.



2188 HIGHRIVER COURT: Plan 868 Lot 2 – corner of Lot 10, Range III - approximate location indicated on the 1859 TREMAINE MAP (left) and the 1877 PEEL COUNTY ATLAS MAP (right)

In 1878, A.G.M Spragge sold part of Lot 10 to Enoch Patchett, a farmer who owned adjacent farmland. This land primarily remained as farmland in the early 20th century but after World War II it was parceled and sold to developers who registered plans for new residential subdivisions. Over the next three decades the subdivisions were built out. The subject dwelling is associated with this period of residential development in the 2nd half of the 20th century.



1954 AERIAL (left) – agricultural uses along Mississauga Road

1964 PLAN OF SUBDIVISION (right) – residential development along Mississauga Road

6.0 HERITAGE VALUE

Mississauga Road

Mississauga Road is recognized as a significant cultural landscape within the City of Mississauga because it is the City's oldest north-south transportation route. The road follows the path of an aboriginal trail that lead from fishing grounds at the mouth of the Credit River to farms and hunting grounds located inland to the north. It follows high land on the west bank of the Credit River from Port Credit to Streetsville. These lands were originally reserved for the Mississaugas, but by 1847 they had relocated elsewhere and the land was re-distributed by the Crown and Mississauga Road was extended further north to Brampton.

As the settlements linked by Mississauga Road grew, the cultural landscape made up of villages and farmsteads evolved. In the 20th century, changes to this cultural landscape accelerated as urban boundaries expanded and rural areas were transformed by suburban development. Mississauga Road is now a major arterial road continuously lined with development. Some of the built and natural features associated with this early pioneer road remain. These features define the character of the Mississauga Scenic Route Cultural Landscape.

20th century Suburban Development

The subject property is located in an area that remained agricultural until the middle of the 20th century. Post-war development would transform all of this farmland into residential subdivisions. The subject dwelling was built in the 1970.

Mississauga Road Scenic Route Cultural Landscape

The table below evaluates the subject property as a component of the *Mississauga Road Scenic Route Cultural Landscape* according to attributes identified in the City of Mississauga's *Cultural Landscape Inventory* (January 2005):

6.1 EVALUATION ACCORDING TO CULTURAL LANDSCAPE INVENTORY

CHL INVENTORY - CRITERIA	CHL INVENTORY - ATTRIBUTES	2188 Highriver Court, Mississauga
LANDSCAPE ENVIRONMENT		
Scenic & visual quality	<i>Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River.</i>	This subject property is an irregularly shaped lot that reflects the origins of Mississauga Road as a footpath that predates lot lines established in the early 19 th century and residential subdivisions laid out in the late 20 th century.
	<i>The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas.</i>	The subject property is located on a section of Mississauga road that is flat and the land use is residential housing dating from the late 20 th century.
Horticultural interest	<i>From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City.</i>	The side yard contains mature trees that contribute to the scenic quality of Mississauga Road.
Landscape design, type & technological interest	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property is located in an area that was agricultural in the settlement period. It was developed for residential subdivisions after 1945.
HISTORICAL ASSOCIATIONS		
Illustrates a style, trend or pattern	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property is part of a subdivision that was registered after 1945. The subject dwelling was built in 1970.
Illustrates an important phase in Mississauga's Social or Physical Development	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property is associated with late 20 th century suburban development along Mississauga Road.
BUILT ENVIRONMENT		
Consistent scale of built features	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property contains a 2-storey 'Raised Ranch' style house built in 1970.
OTHER		
Historical and Archaeological Interest	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property does not contain any known historical or archaeological features or resources.

Based on this evaluation, the attributes associated with the subject property that contribute to the character of the *Mississauga Scenic Route Cultural Landscape* are:

- Residential use in the form of a single-detached dwelling
- Low building height (2-storeys) that contributes to the consistent scale of built features associated with buildings and built-up areas fronting on Mississauga Road
- Trees in the south side yard that screen the house from Mississauga Road and contribute to the scenic quality of Mississauga Road

Alterations proposed for this site should therefore seek to conserve these attributes. If negative impacts cannot be avoided, then mitigation measures should be undertaken to reduce adverse impacts.

6.2 EVALUATION ACCORDING TO ONT. REG. 09/06

The subject property contains a single-detached dwelling that does not meet provincial criteria for Designation under Part IV of the *Ontario Heritage Act*. Evaluation is based on provincially mandated criteria outlined in *Ontario Regulation 9/06*. The rationale is provided in the table below.

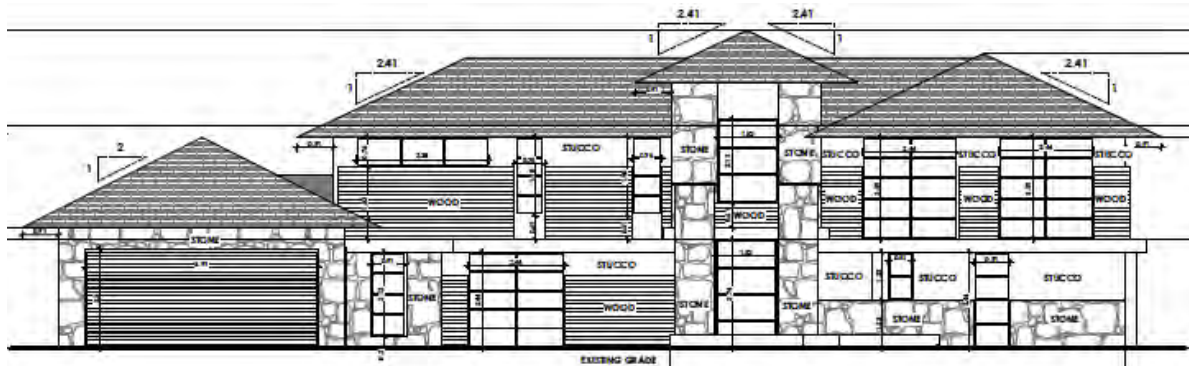
CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
1. Design of physical value:		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	A very common suburban house style c. 1970 that was mass-produced across North American.
ii) Displays a high degree of craftsmanship or artistic merit	NO	Typical of North American suburban housing constructed c. 1970
iii) Demonstrates a high degree of technical or scientific achievement	NO	It is a 2-storey Raised Ranch suburban dwelling.
2. Historical or associative value		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	NO	It does not have significant associations.
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	NO	Very common type of suburban house in North America c. 1970.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	NO	Demonstrates a common and standardized housing type c. 1970.
3. Contextual Value		
i) Is important in defining, maintaining, or supporting the character of an area	NO	The unusual lot shape is not typical of the area.
ii) Is physically, functionally, visually, or historically linked to its surroundings	NO	It is an example of late 20 th century residential infill.
iii) Is a landmark	NO	It is not a landmark.

7.0 PROPOSED ALTERATIONS

See Appendix D: Architectural Drawings [Memar Architects]

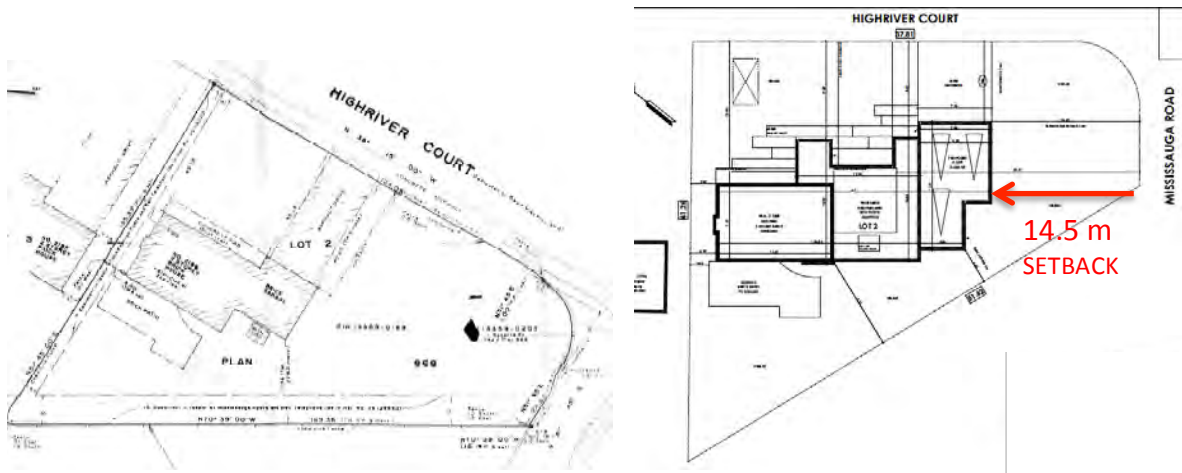
The owner plans to retain the existing dwelling and construct a 2-storey addition and garage on the south side. The existing garage will be integrated into the new 2-storey addition and a new 1-storey garage will be built. The existing driveway will be removed and a new driveway will be installed. The existing dwelling has a raised basement. The additions will be built on grade without a basement.

The additions will increase the size of the existing house from 220 sq m to 420 sq m. The exterior will be re-clad with artificial stone, stucco and horizontal wood siding. New stylistic features will be introduced on the main elevation including large picture windows, a central tower feature with large areas of glazing. The 2-storey house, central tower feature and 1-storey attached garage will have hipped roofs. The maximum height of the roofs will be 9.25 m.

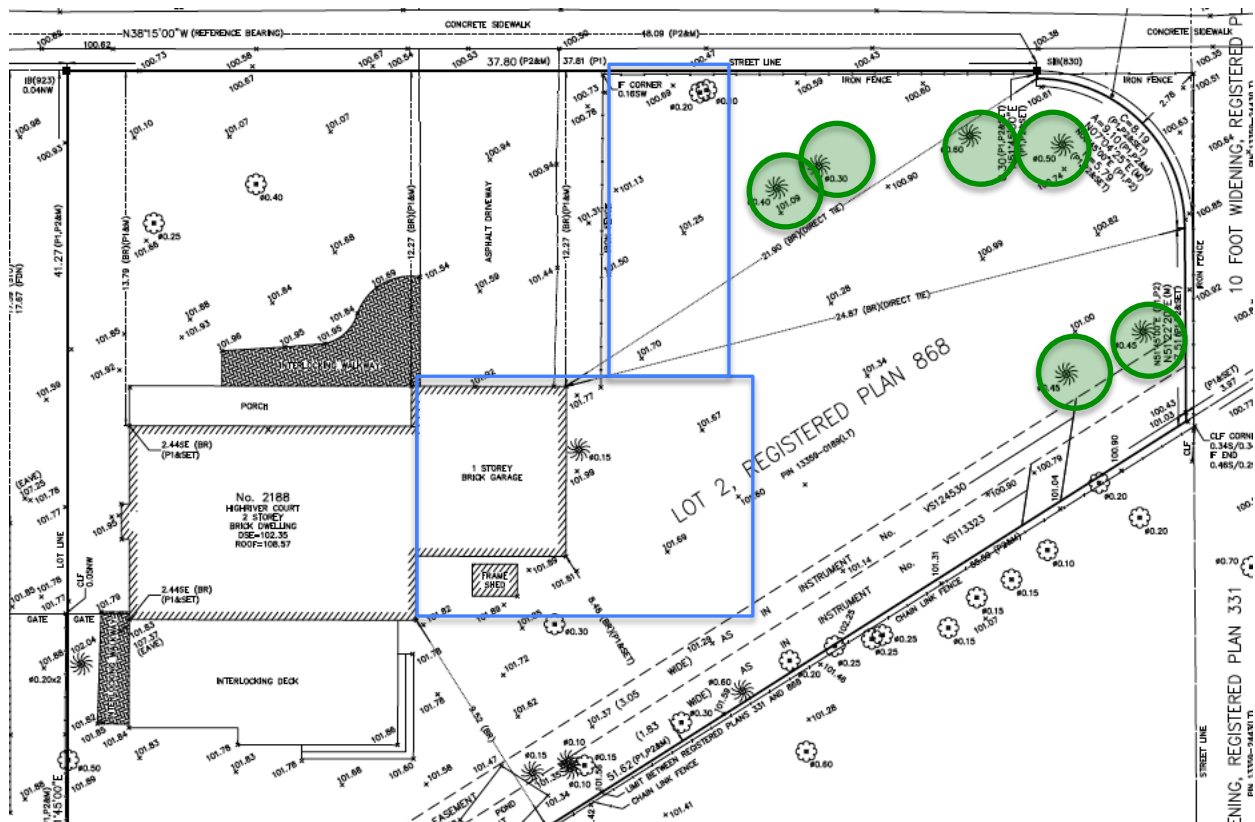


MAIN ELEVATION – on Highriver Court

The addition will be set back approximately 14.5 m from Mississauga Road. Tree Removals are limited to trees on Highriver Court that will be removed for the new driveway. Trees in the side yard that are visible from Mississauga Road will not be impacted.



SITE PLAN – existing (left) and proposed (right)



TREE SURVEY: proposed additions & driveway (blue) – no impact to trees in the side yard (green)

8.0 IMPACT ASSESSMENT

Adverse impacts on a cultural heritage resource are assessed according to guidelines published by the Ministry of Tourism Culture and Sport in the *Ontario Heritage Toolkit*. If a proposed development or site alteration will result in adverse impacts, a *Heritage Impact Assessment* can provide recommendations for avoiding or minimizing those impacts such as:

- alternative development approaches
- isolation or physical separation of new development and site alteration from built heritage resources and cultural heritage landscapes
- design measures to ensure new development and site alteration will be sympathetic to the cultural heritage value or interest of existing built heritage resources and cultural heritage landscapes
- reducing or relocating building height and mass away from the existing heritage attributes
- reversible alterations to heritage attributes
- creating buffer zones or view blocks (e.g. trees, plantings or other landscape elements that establish a visual separation or screen between the existing cultural heritage resource and new development), established through site plan control and other planning mechanisms

8.1 ASSESSMENT ACCORDING TO MTCS GUIDELINES

The table below identified impacts of the proposed alterations on the Mississauga Scenic Route:

POTENTIAL IMPACTS	IDENTIFIED IMPACTS	MITIGATION
Destruction of any, or part of any, significant heritage attributes or features	NONE	NOT REQUIRED
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	NONE	NOT REQUIRED
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	NONE	NOT REQUIRED
A change in land use where the change in use negates the property's cultural heritage value	NONE	NOT REQUIRED
Removal of natural heritage features, including trees	NONE	NOT REQUIRED
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	NONE	NOT REQUIRED
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	NONE	NOT REQUIRED
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.	NONE	NOT REQUIRED

10.0 CONCLUSIONS & RECOMMENDATIONS

The subject property contains an existing dwelling that does not meet criteria for Designation under the *Ontario Heritage Act*. The proposed alterations are consistent with the R-1 zoning in place and will have no impact on heritage values associated with the Mississauga Scenic Route.

Existing trees in the side yard will be retained so views of the proposed addition will be screened from Mississauga Road. The addition will reduce the size of the existing side yard that fronts onto Mississauga Road, but an adequate set back of 14.5 m will be maintained.

11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

12.0 SOURCES

City of Mississauga, *Cultural Landscape Inventory* (January 2005). Accessed online 15 July 2017
http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf

Dieterman, Frank A. *Mississauga, The First 10,000 Years* (Mississauga, 2002)

Gibson, Marian M. *In the Footsteps of the Mississaugas* (Mississauga, 2006)

McAlester, Virginia Savage. *A Field Guide to American Houses (Revised); The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. (New York, 1984 / revised 2015)

Ontario Ministry of Tourism & Culture, *Heritage Resources in the Land Use Planning Process, Ontario Heritage Tool Kit* (2006).

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada*, 2nd ed (2010)

APPENDIX A: SITE PHOTOS



2188 HIGHRIVER COURT – existing 2-storey dwelling built in 1970



2188 HIGHRIVER COURT – side yard fronts on Mississauga Road



2188 HIGHRIVER COURT – residential lot on the northwest corner – driveway located on Highriver Court



2188 HIGHRIVER COURT – mature trees along Mississauga Road will be retained



MISSISSAUGA ROAD – south of Highriver Court

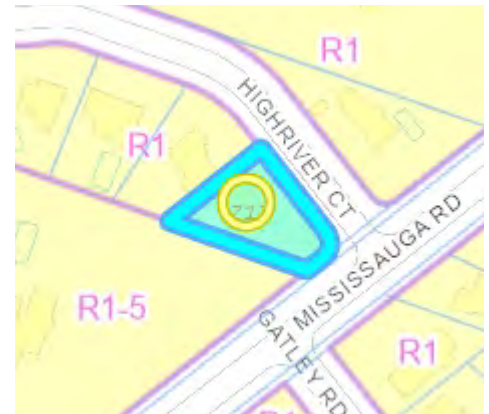


MISSISSAUGA ROAD – looking east - Highriver Court visible on the left

Property Details

Address: 2188 HIGHRIVER CRT
 Legal Description: PLAN 868 LOT 2
 Roll Number: 21-05-060-130-11700-0000
 Common Name:
 Property Code: SINGLE FAMILY DETACHED (NOT ON WATER)
 Ward: 8
 Councillor: MATT MAHONEY
 Area: 1,186.29
 Depth: 41.27
 Frontage: 0.00
 Status: Registered

Detail Map



Aerial Map



Property Zoning Information

The zone(s) for this property are listed below. Please click [here](#) to access our online zoning by-law.

Zone	Master Bylaw	Enacting Bylaw	OMB Case/File No.	Status
R1	0225-2007	BL-0131/18	N/A	In Force

Property Building Permits

App Number	App Date	Address	Description	Scope	Type Description	Issue Date	Status
BP PLUM 2-155	2002-01-08	2188 HIGHRIVER CRT	SEWER CONVERSION	OTHER	DETACHED DWELLING	2002-02-27	COMPLETE D -ALL INSP SIGNED OFF
HCC 72-287967	1972-08-09	2188 HIGHRIVER CRT	SWIMMING POOL & FENCE STORAGE				HISTORY COMMENT PERMIT
HCC 70-287966	1970-12-01	2188 HIGHRIVER CRT	PLG. PERMIT C&J 10 FIX P/D15846				HISTORY COMMENT PERMIT
HCC 70-287965	1970-11-01	2188 HIGHRIVER CRT	DRAIN PERMIT DOMENICI STM. & SAN. P/D15668				HISTORY COMMENT PERMIT
HCC 70-287964	1970-10-30	2188 HIGHRIVER CRT	SINGLE BP68-7470				HISTORY COMMENT PERMIT



Property Information Report

City of Mississauga, 300 City Centre Drive, Mississauga, Ontario Canada L5B 3C1

Heritage Status

Status: [LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED](#)
Conservation District:
Bylaw:
Bylaw Date:
Inventory Item: [Mississauga Road Scenic Route](#)
Designation Statement:

Mississauga's heritage, which extends over 10,000 years, includes archaeological resources, numerous residential, commercial and industrial buildings, views, vistas, ridge lines, scenic routes and a variety of natural heritage properties.

To view details about the inventory item, please click on the INV # link.



Cultural Landscape Inventory

Mississauga Road Scenic Route

F-TC-4

Location Parallels the Credit River on its west bank

Heritage or Other Designation Scenic Road

Landscape Type Transportation

LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☐ Natural Environment
- ☒ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value



Cultural Landscape Inventory

Mississauga Road Scenic Route


F-TC-4

SITE DESCRIPTION

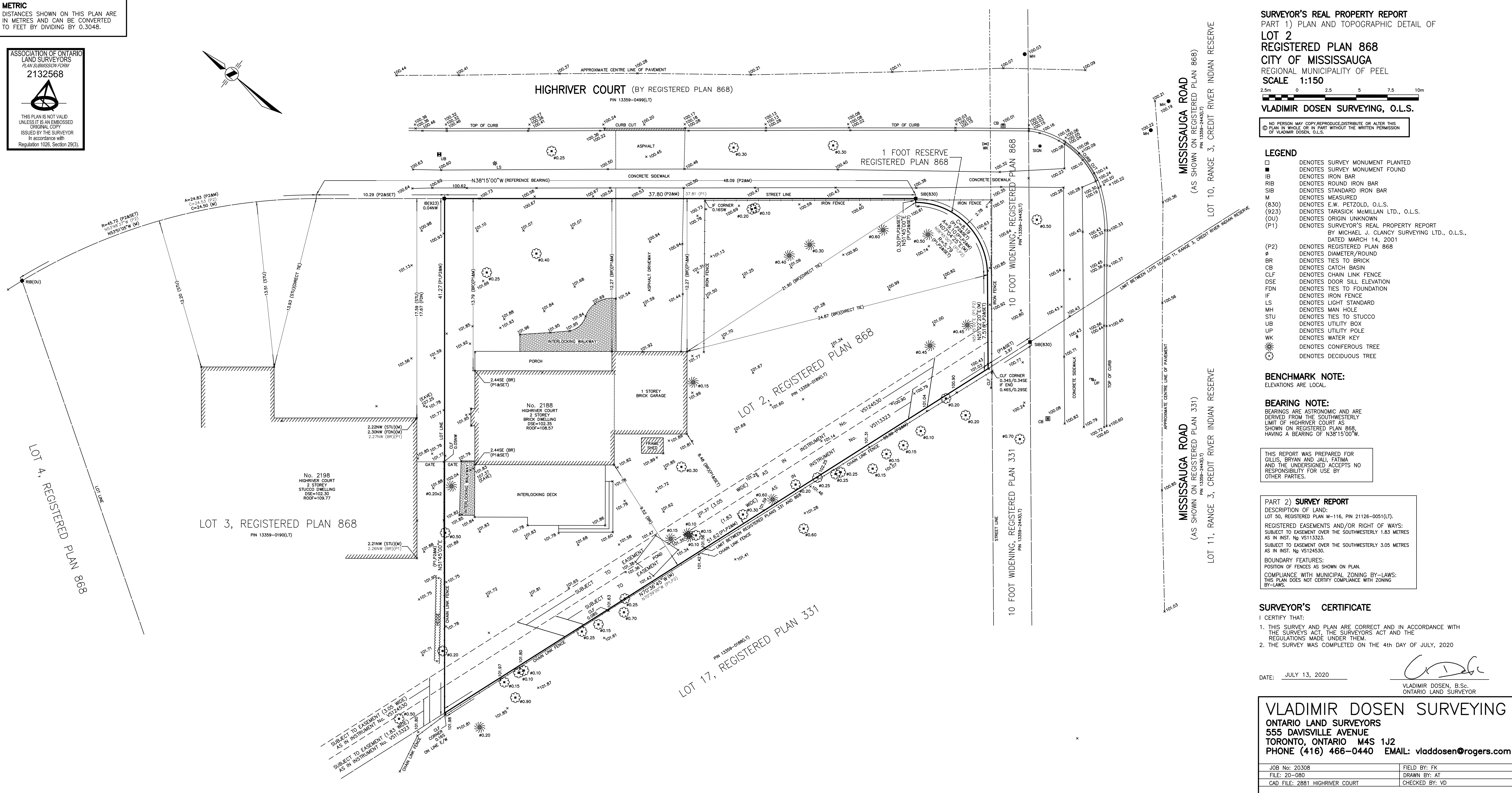
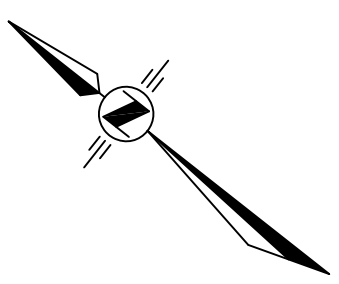
Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.


METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2132568



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 25(3).



SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
LOT 2
REGISTERED PLAN 868
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEELE
SCALE
1:150

VLADIMIR DOSEN SURVEYING, O.L.S.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF VLADIMIR DOSEN, O.L.S.

- LEGEND**
- DENOTES SURVEY MONUMENT PLANTED
 - DENOTES SURVEY MONUMENT FOUND
 - IB DENOTES IRON BAR
 - RIB DENOTES ROUND IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - M DENOTES MEASURED
 - (830) DENOTES E.W. PETZOLD, O.L.S.
 - (923) DENOTES TARASICK MCILLAN LTD., O.L.S.
 - (OU) DENOTES ORIGIN UNKNOWN
 - (P1) DENOTES SURVEYOR'S REAL PROPERTY REPORT BY MICHAEL J. CLANCY SURVEYING LTD., O.L.S., DATED MARCH 14, 2001
 - (P2) DENOTES REGISTERED PLAN 868
 - Ø DENOTES DIAMETER/ROUND
 - BR DENOTES TIES TO BRICK
 - CB DENOTES CATCH BASIN
 - CLF DENOTES CHAIN LINK FENCE
 - DSE DENOTES DOOR SILL ELEVATION
 - FDN DENOTES TIES TO FOUNDATION
 - IF DENOTES IRON FENCE
 - LS DENOTES LIGHT STANDARD
 - MH DENOTES MAN HOLE
 - STU DENOTES TIES TO STUCCO
 - UB DENOTES UTILITY BOX
 - UP DENOTES UTILITY POLE
 - WK DENOTES WATER KEY
 - ⊙ DENOTES CONIFEROUS TREE
 - ⊕ DENOTES DECIDUOUS TREE

BENCHMARK NOTE:
ELEVATIONS ARE LOCAL.

BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE
DERIVED FROM THE SOUTHWESTERLY
LIMIT OF HIGHRIVER COURT AS
SHOWN ON REGISTERED PLAN 868,
HAVING A BEARING OF N38°15'00"W.

THIS REPORT WAS PREPARED FOR
GILLIS, BRYAN AND JALI, FATIMA
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES.

PART 2) SURVEY REPORT
DESCRIPTION OF LAND:
LOT 50, REGISTERED PLAN M-116, PIN 21126-0051(LT).
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
SUBJECT TO EASEMENT OVER THE SOUTHWESTERLY 1.83 METRES
AS IN INST. NO V5113323.
SUBJECT TO EASEMENT OVER THE SOUTHWESTERLY 3.05 METRES
AS IN INST. NO V5124530.
BOUNDARY FEATURES:
POSITION OF FENCES AS SHOWN ON PLAN.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYORS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 4th DAY OF JULY, 2020

DATE: JULY 13, 2020
VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS
555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

JOB No: 20308	FIELD BY: FK
FILE: 20-080	DRAWN BY: AT
CAD FILE: 2881 HIGHRIVER COURT	CHECKED BY: VD

- "I hereby certify that this drawing conforms in all respects to the site development plans as approved by the City of Mississauga under file number SP _____." [Site Plan number to be filled in after assigned] [Architect's, Engineer's, or Owner's Original signature]; _____

- "The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be in conformity with the site development plan as approved by the City of Mississauga, Development and Design Division.;"

- "The Owner is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Department. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the Letter of Credit to be held for two (2) years following completion of all site works." [Owner's original signature. Stamps or copies of signatures are not permitted on the final copies for Site Plan Approval]; _____

- "Should the installation of below ground services require hoarding to be removed, Planning and Building staff are to be contacted prior to the commencement of such work. Should an alternative service route not be possible, staff will inspect and document the condition of the vegetation and servicing installation in order to minimize damage to the vegetation.;"

- "The structural design of any retaining wall over 0.60 m (2.00 ft) in height or any retaining wall located on a property line is shown on the Site Plan and Grading Plan and is to be approved by the Consulting Engineer for the project.;"

- "Grades must be met within 33% maximum slope at the property lines and within the site.;"

- "The portions of the driveway within the municipal boulevard will be paved by the applicant.;"

- "At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.;"

- "All proposed curbing at the entrances to the site is to stop at the property line or at the municipal sidewalk.;"

- "The existing drainage pattern will be maintained.;"

- "All utility companies will be notified for locates prior to the installation of the hoarding that lies within the limits of the City boulevard area.;"

- "The applicant will be responsible for the cost of any utilities relocations necessitated by the Site Plan";

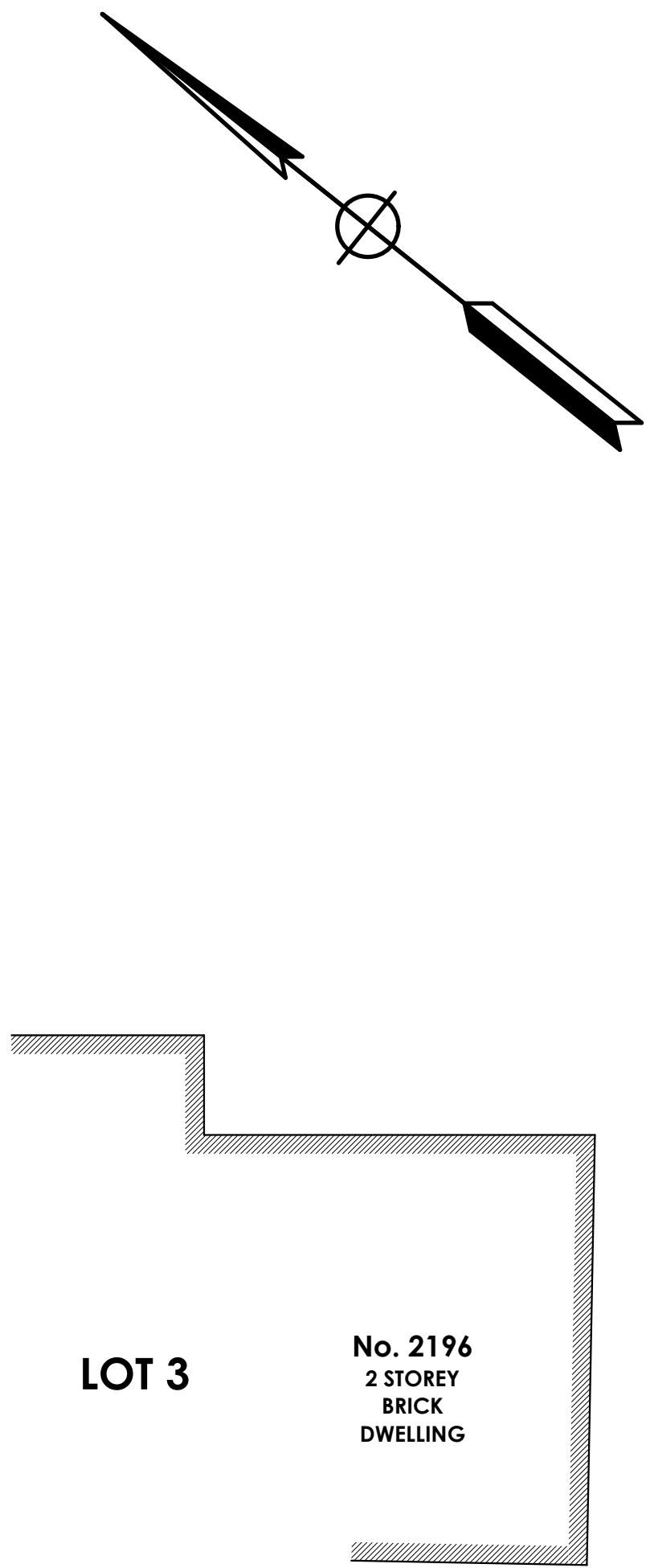
- "Construction materials are not to be put out for collection.;"

- "All damaged landscape areas will be reinstated with topsoil and sod prior to release of securities.;"

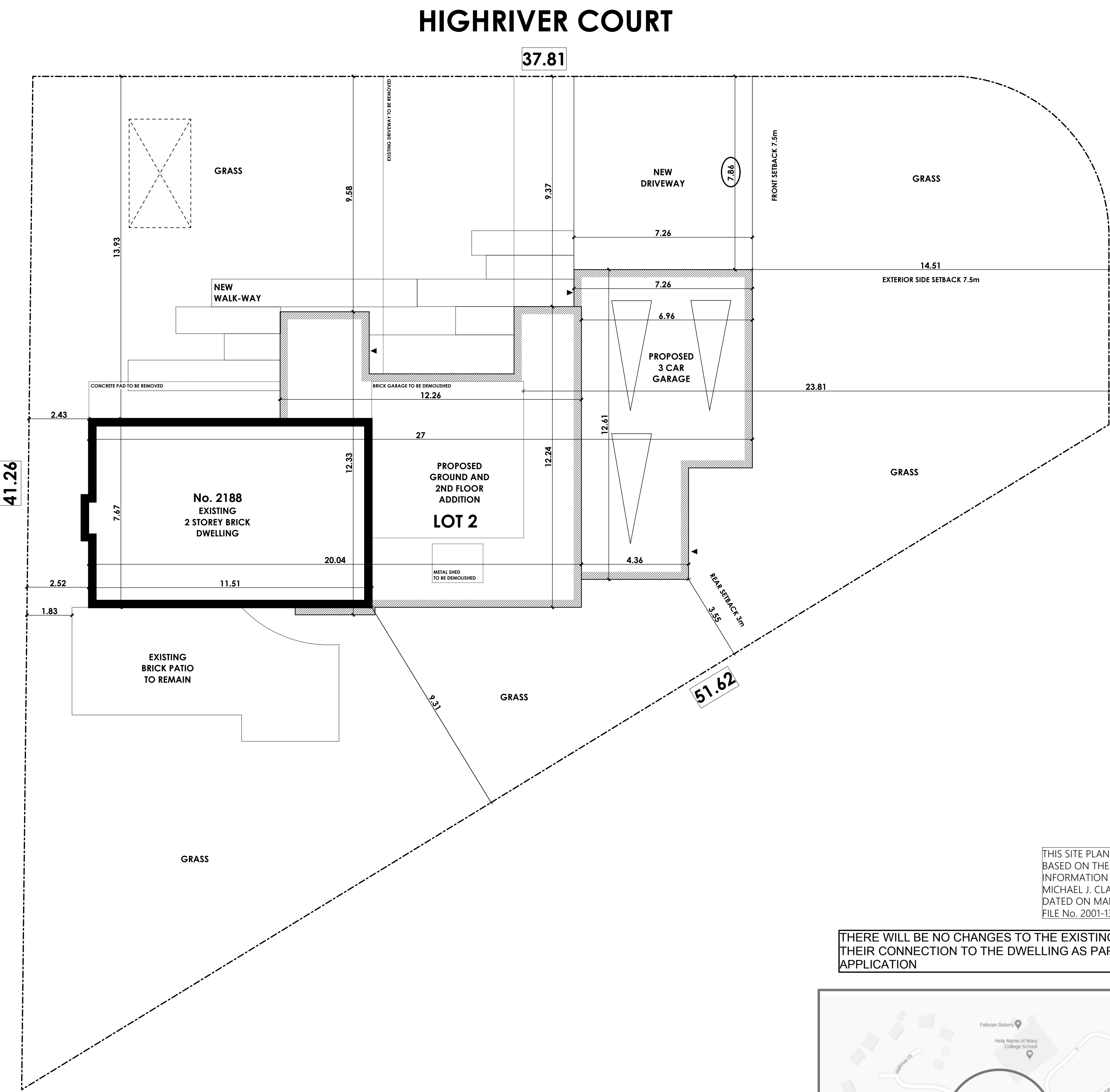
- "All excess excavated materials will be removed from the site.;"

- "There are no existing or proposed easements on the property" (if applicable).

- Once all works are complete, the applicant is to contact the Planning and Building Department, Development and Design Division, at (905) 896-5511 for an Inspection PRIOR to hoarding being removed.

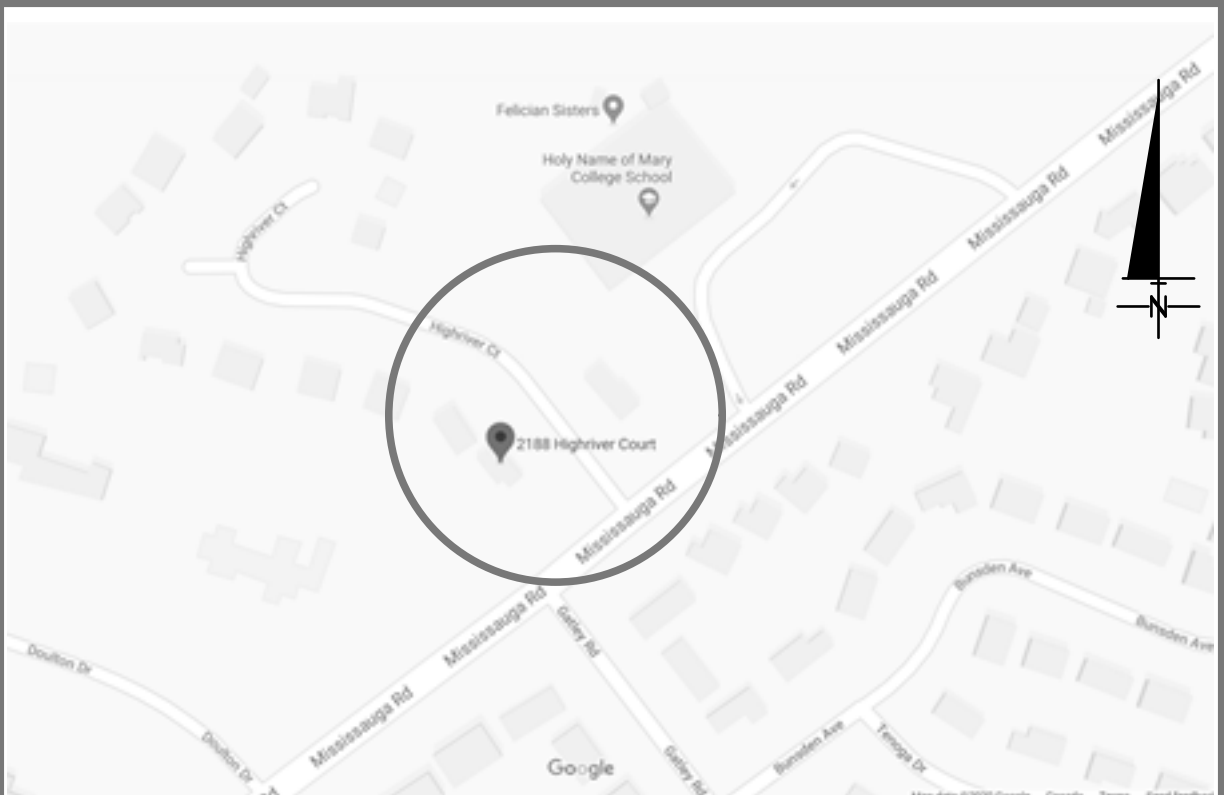


ADDRESS:	2188 HIGHRIVER COURT		
ZONING:	R1 CORNER LOT		
LOT AREA:	1,207.11 m2		
LOT FRONTAGE:	37.81m		
GROSS FLOOR AREA-INFILL RESIDENTIAL			
	EXISTING	PROPOSED	TOTAL
GROUND FLOOR:	88.82m2	105.07m2	193.89m2
SECOND FLOOR:	92.27m2	58.72m2	150.99m2
GARAGE:	39.39m2	36.97m2	76.36m2
TOTAL GFA:	220.48m2	200.76m2	421.24m2



THIS SITE PLAN WAS PREPARED
BASED ON THE SURVEY
INFORMATION PROVIDED BY
MICHAEL J. CLANCY SURVEYING LTD.
DATED ON MARCH 14, 2001
FILE No. 2001-133

THERE WILL BE NO CHANGES TO THE EXISTING UTILITIES OR
THEIR CONNECTION TO THE DWELLING AS PART OF THIS
APPLICATION



LOT COVERAGE			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT:	128.21m2	53.22m2	181.43m2
TOTAL LOT COVERAGE:		15.03%	181.43m2
LANDSCAPED SOFT AREA:			
FRONT YARD AREA:	520.36m²		
HARD SURFACE AREA:	169.81m²		
TOTAL LANDSCAPED SOFT AREA:	855.87m²		

MISSISSAUGA ROAD

MEMAR ARCHITECTS

"Memar Architects Inc."

2323 Yonge St Unit 503

Toronto, ON, M4P 2C5

T: 416-551-5764

ONTARIO ASSOCIATION OF ARCHITECTS

REGISTERED

5. HARRY S. MONTGOMERY

LICENCE 8008

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CONTRACTOR MUST VERIFY ALL DIMENSIONS, ELEVATIONS AND AS-BUILT INFORMATION INCLUDING: STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR.
(DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR AND MUST NOT BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION)

DATE:
MAR 30 2020

ISSUED FOR:
FOR PRE-APPLICATION MEETING

REGISTERED PROPERTY HOMEOWNER:
BRYAN GILLIS (647-223-0222)
FATMA JAIL (416-965-3737)

ADDRESS: 2188 HIGHRIVER COURT
MISSISSAUGA

DRAWING TITLE:
Site Plan

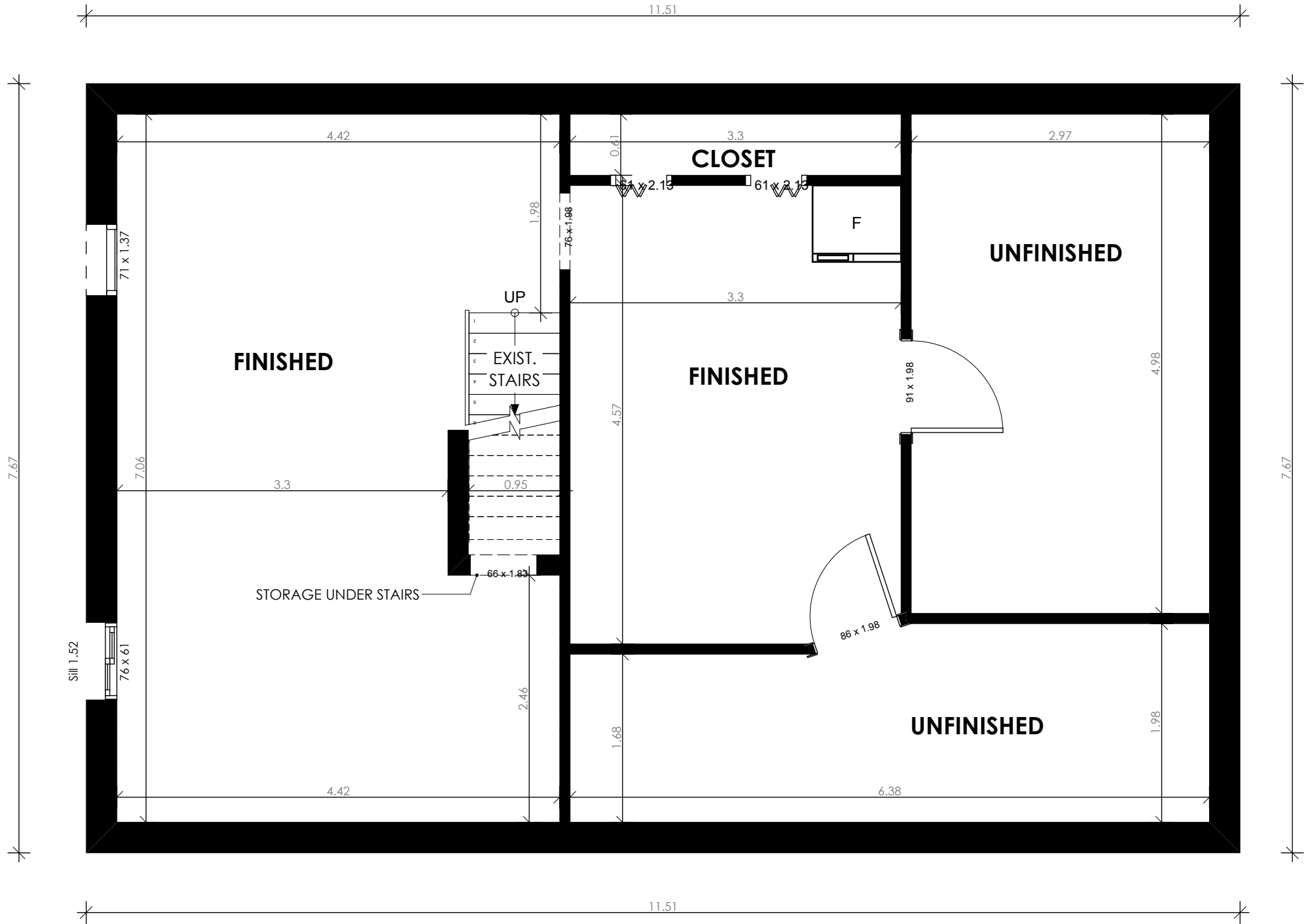
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CHKD BY:
S.T.

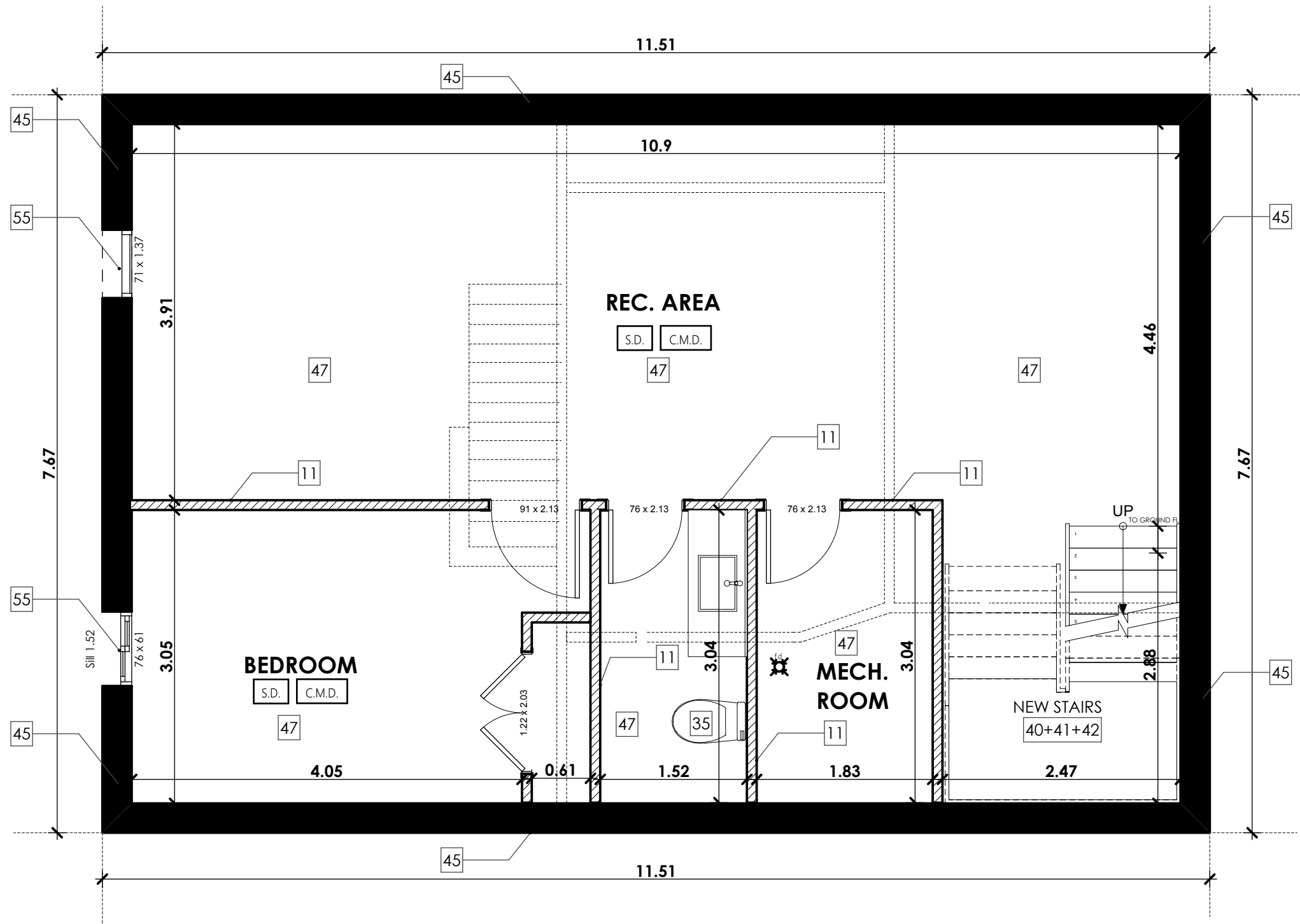
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Wednesday, April 1, 2020

A.01



EXISTING BASEMENT

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			EXISTING BASEMENT		L.M.	1:50			
			PROJECT TITLE/ADDRESS:		CHKD BY	LAST MODIFIED ON:			
			2188 HIGHRIVER CT, MISSISSAUGA, ON		S.T.	Wednesday, April 1, 2020			



PROPOSED BASEMENT

LEGEND

WALLS

EXISTING WALL

PROPOSED WALL

walls to be removed

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DATE:	ISSUED FOR:

DRAWING TITLE:
PROPOSED BASEMENT FL.
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

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CHKD BY
S.T.

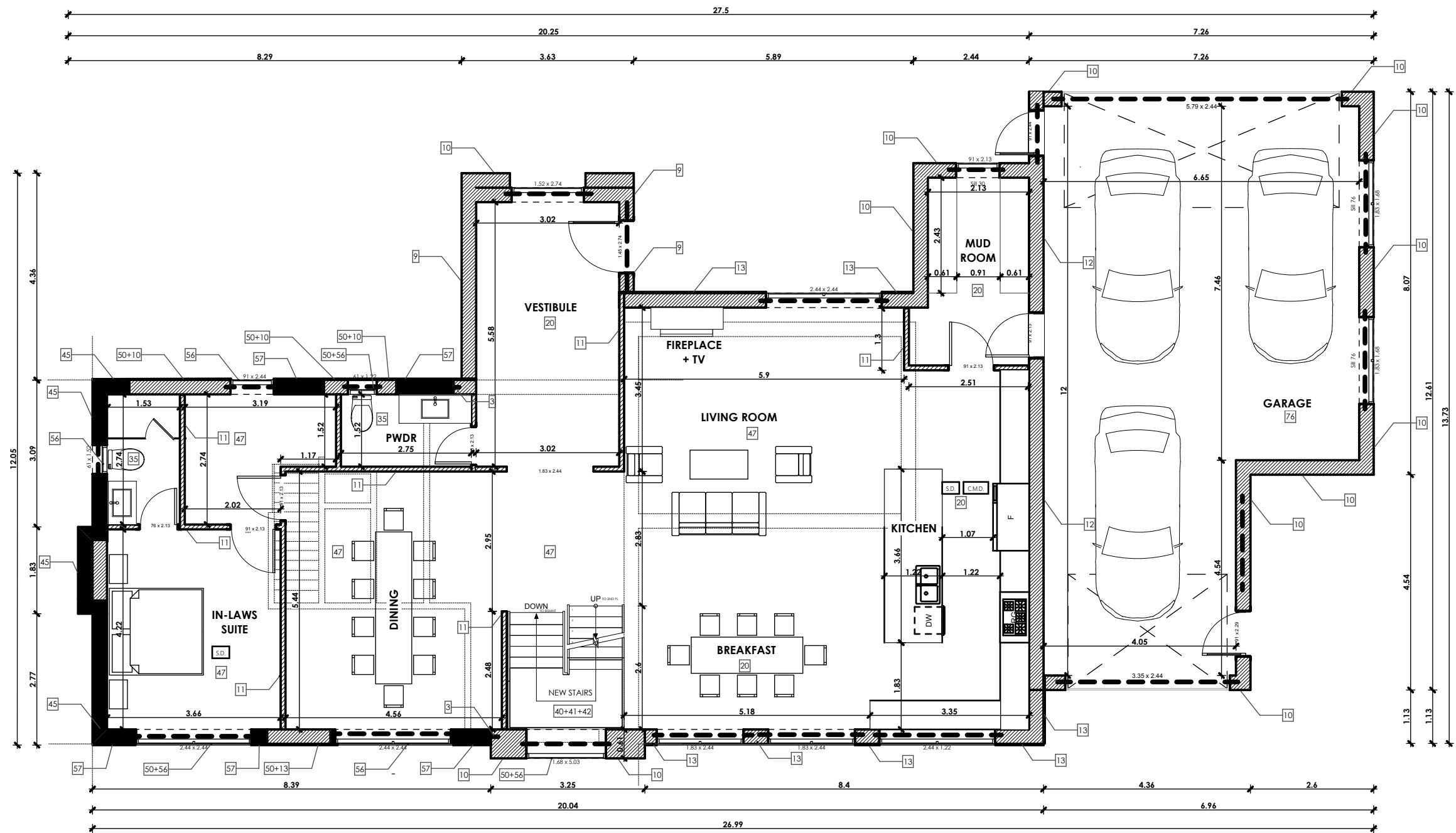
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Wednesday, April 1, 2020



"Memar Architects Inc."
2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
T: 416-551-5764



A.03



LEGEND

WALLS

EXISTING WALL

PROPOSED WALL

walls to be removed

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DATE:	ISSUED FOR:

DRAWING TITLE:
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2188 HIGHRIVER CT, MISSISSAUGA, ON

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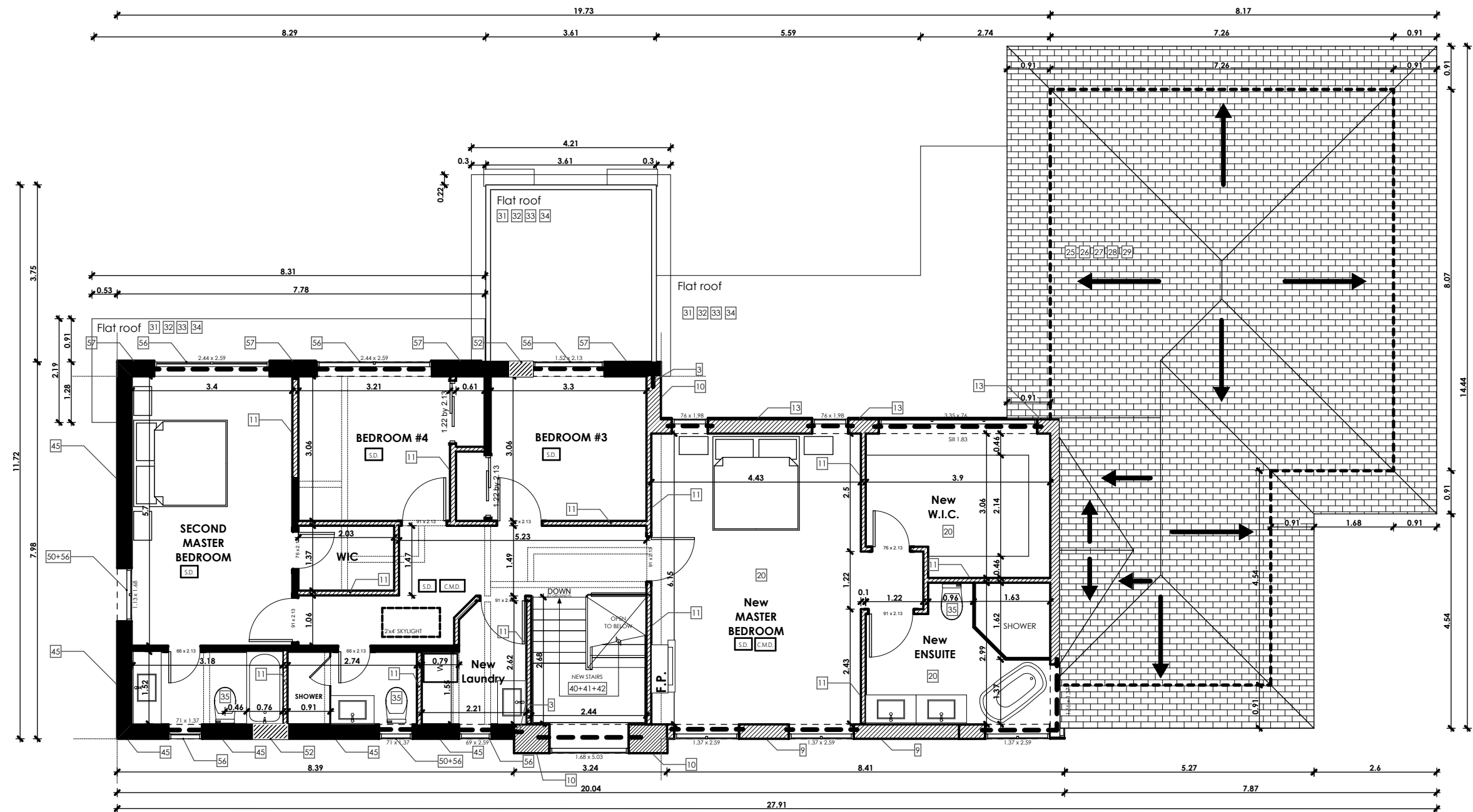
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Wednesday, April 1, 2020



"Memar Architects Inc."
2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
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A.04



LEGEND

WALLS

EXISTING WALL

PROPOSED WALL

walls to be removed

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DATE:	ISSUED FOR:

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2188 HIGHRIVER CT, MISSISSAUGA, ON

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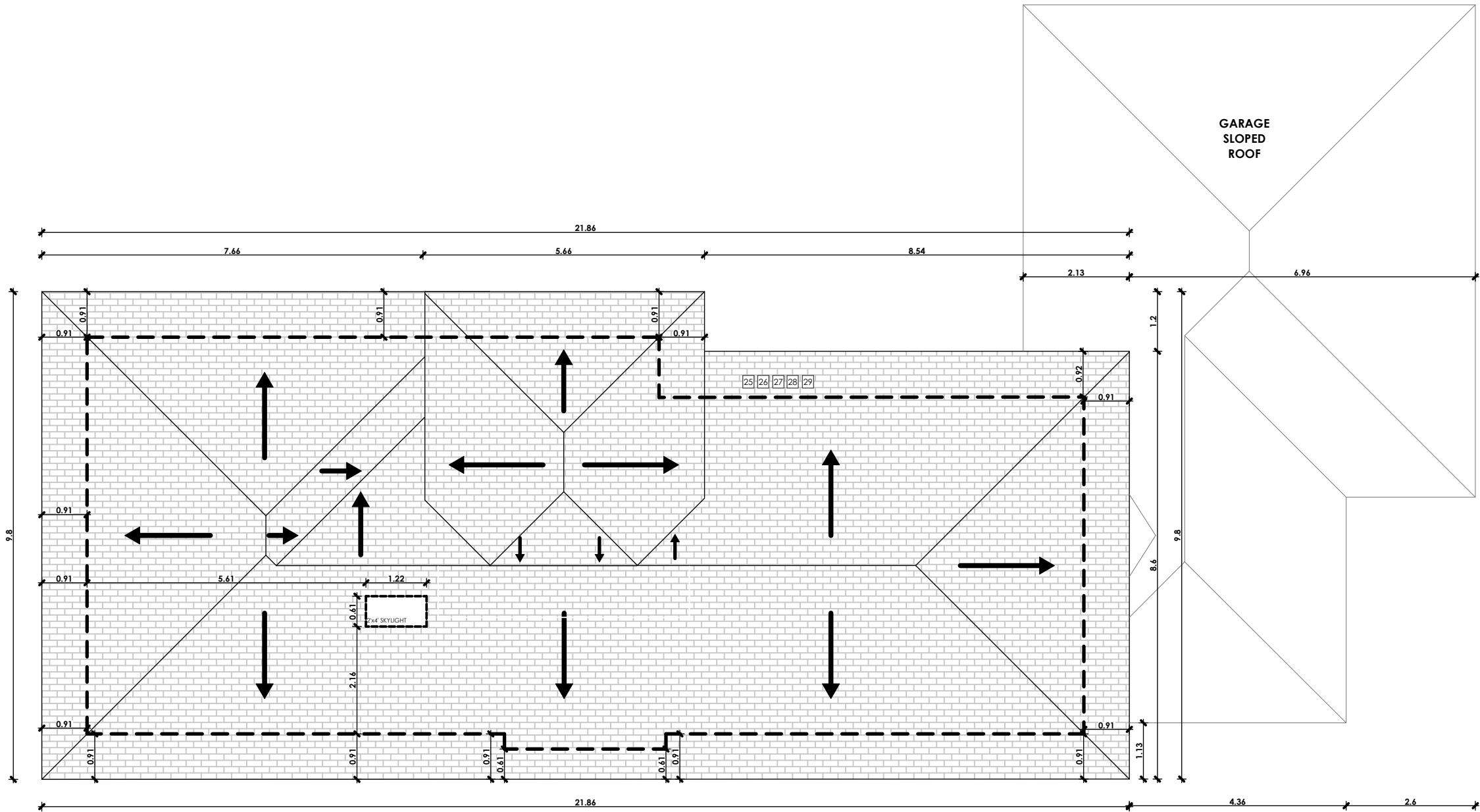
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Wednesday, April 1, 2020



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2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
T: 416-551-5764



A.05



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DATE:	ISSUED FOR:

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PROPOSED TOP OF ROOF
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

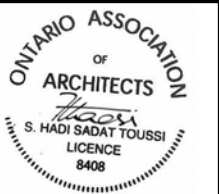
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L.M.
CHKD BY
S.T.

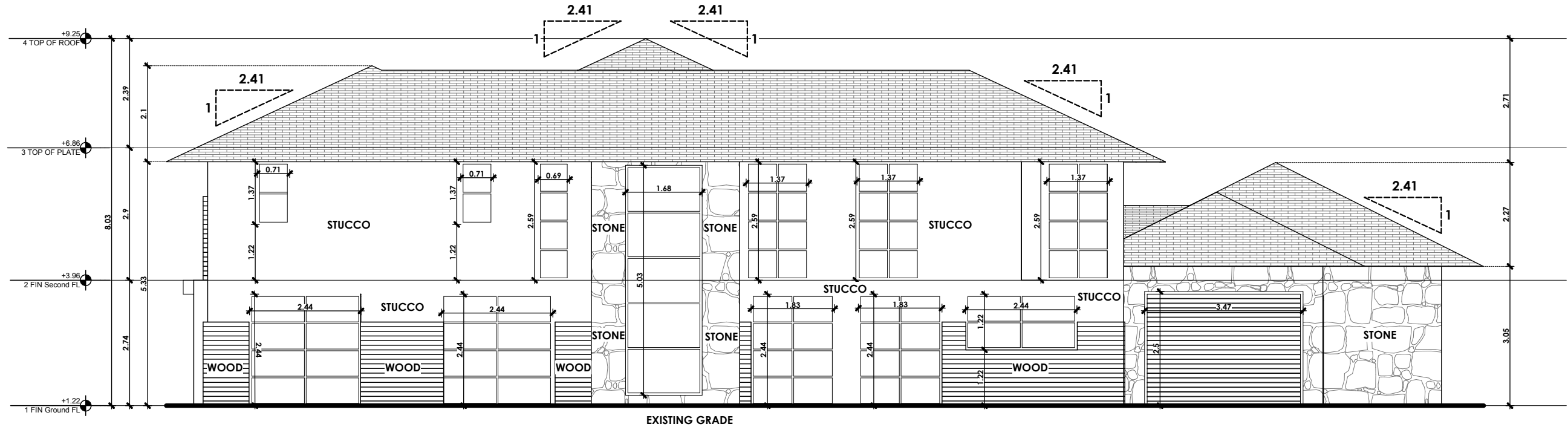
SCALE:
1:100
LAST MODIFIED ON:
Wednesday, April 1, 2020



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2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
T: 416-551-5764



A.06



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DATE:	ISSUED FOR:

DRAWING TITLE:
REAR ELEVATION
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

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L.M.
CHKD BY
S.T.

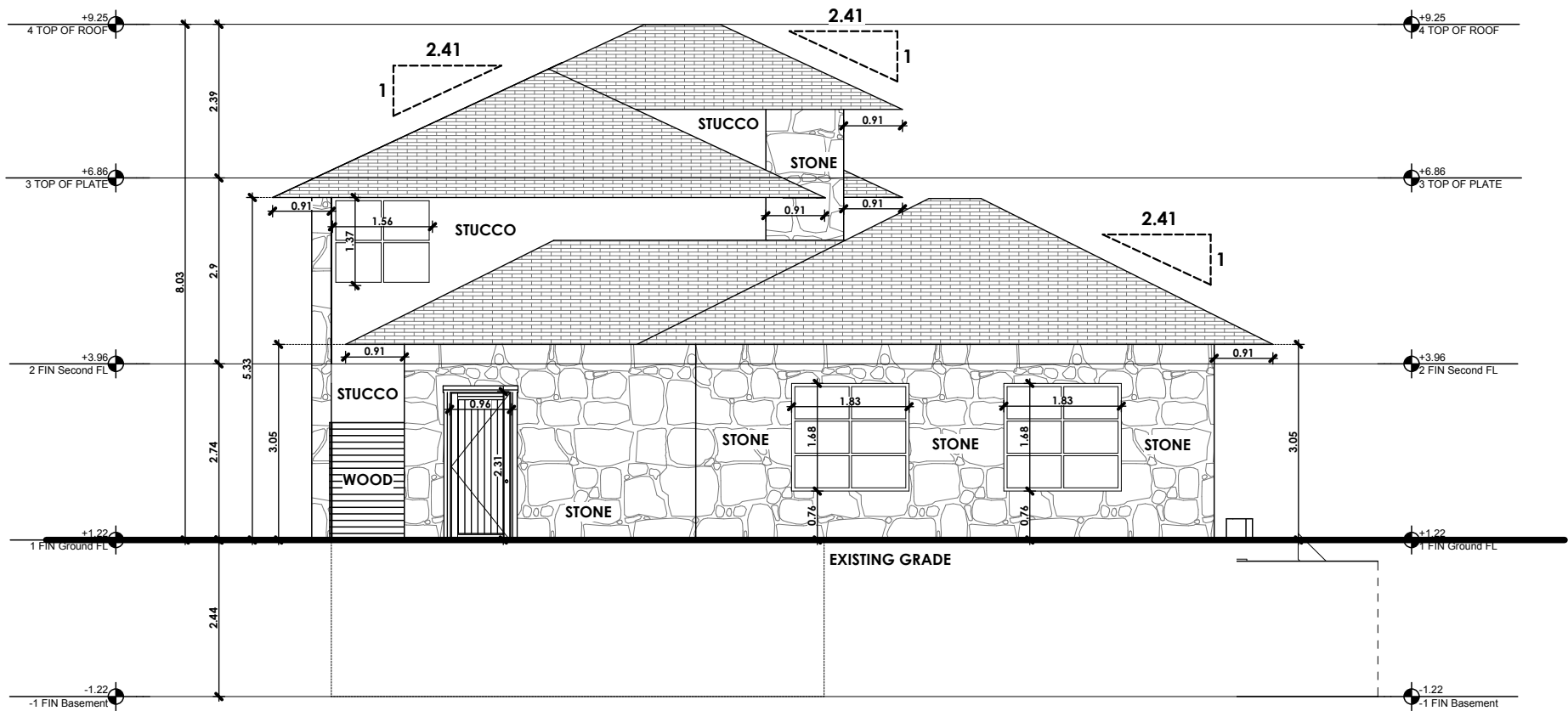
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1:100
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Wednesday, April 1, 2020



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2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
T: 416-551-5764



A.08



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DATE:	ISSUED FOR:

DRAWING TITLE:
E-09 SIDE ELEVATION
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON



DRAWN BY
L.M.
CHKD BY
S.T.

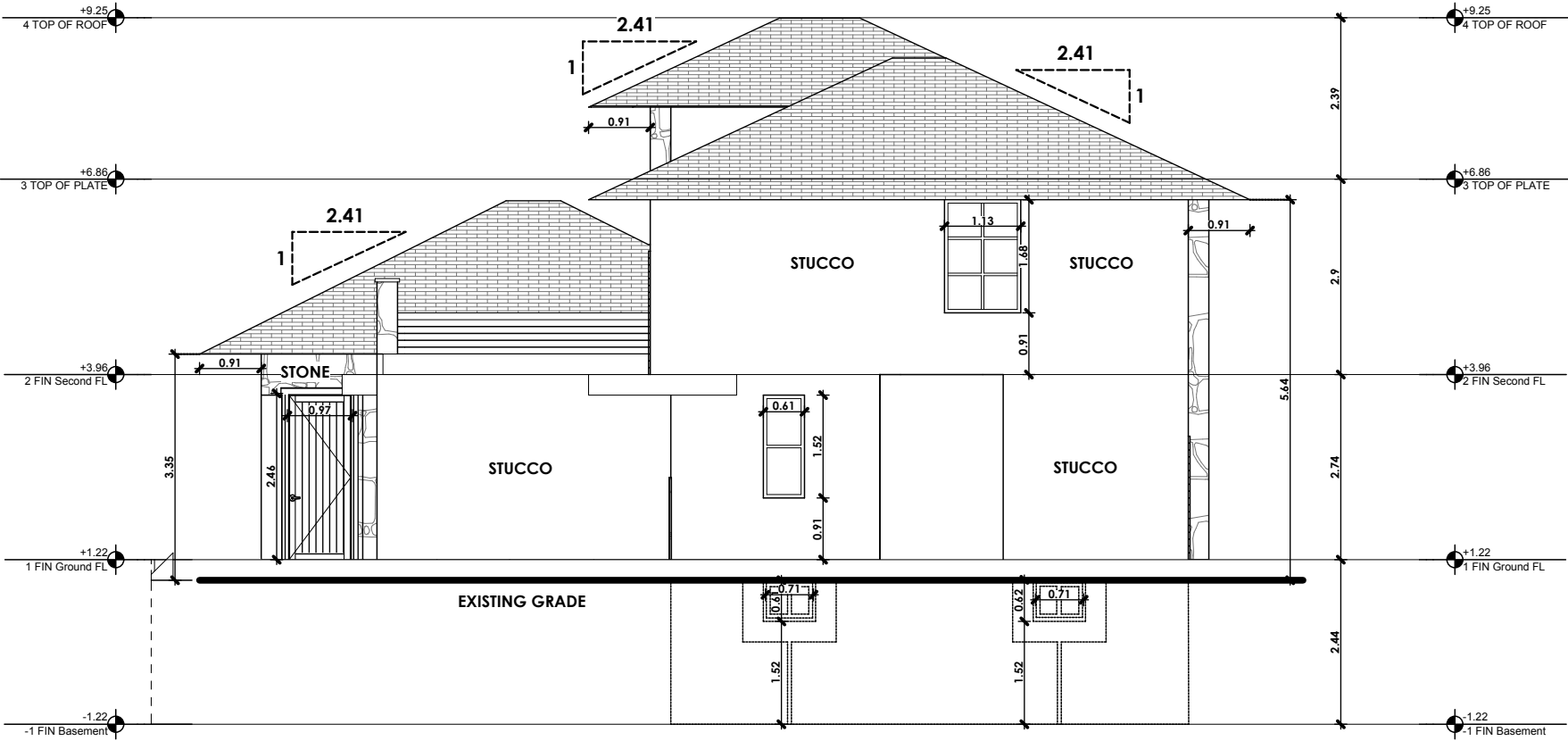
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LAST MODIFIED ON:
Wednesday, April 1, 2020



"Memar Architects Inc."
2323 Yonge St, Unit 503
Toronto, ON, M4P 2C9
T: 416-551-5764



A.09



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DATE:	ISSUED FOR:

DRAWING TITLE:
E-10 SIDE ELEVATION
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

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DRAWN BY
L.M.
CHKD BY
S.T.

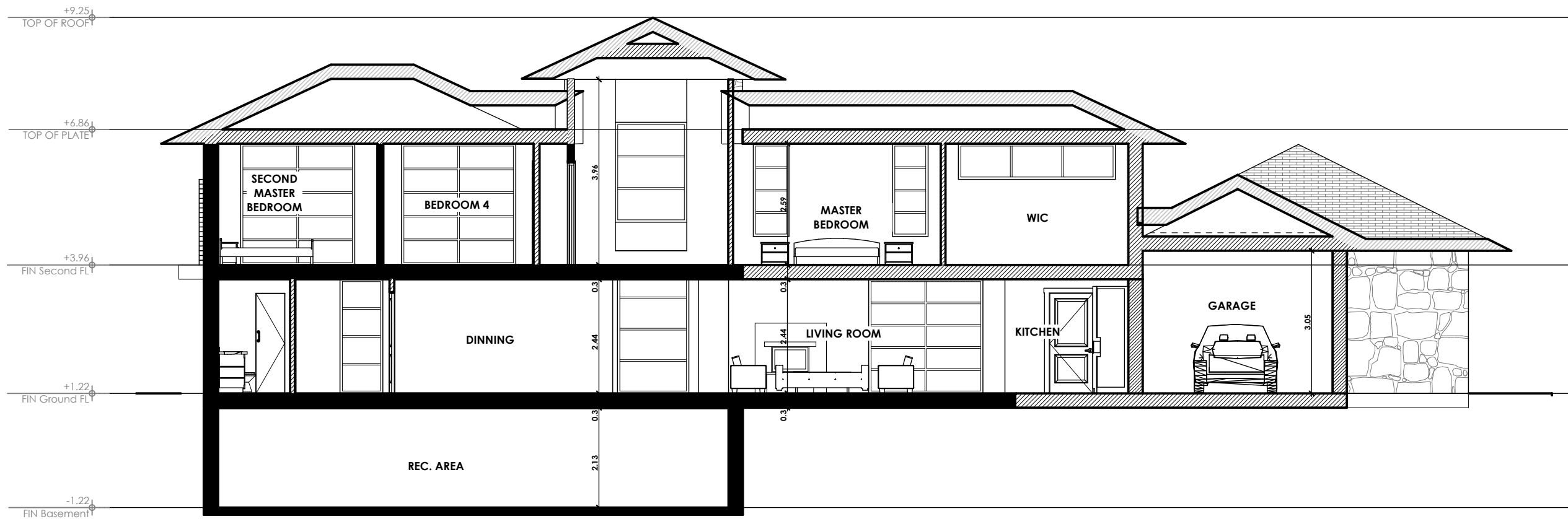
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Toronto, ON, M4P 2C9
T: 416-551-5764



A.10



-LEGEND

WALLS

-

EXISTING WALL

PROPOSED WALL

walls to be removed

<div>ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS & AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER COPY RIGHT ACT AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION.</div>	DATE:	ISSUED FOR:	DRAWING TITLE:		DRAWN BY	SCALE:	<div><div>MEMAR</div><div>ARCHITECTS</div></div> <div>"Memar Architects Inc." 2323 Yonge St, Unit 503 Toronto, ON, M4P 2C9 T: 416-551-5764</div>	<div>ONTARIO ASSOCIATION OF ARCHITECTS <i>Hadi</i> S. HADI SADAT TOUSSI LICENCE 8408</div>	A.11
			S15 Building Section		L.M.	1:100			
			PROJECT TITLE/ADDRESS:		CHKD BY	LAST MODIFIED ON:			
			2188 HIGHRIVER CT, MISSISSAUGA, ON		S.T.	Wednesday, April 1, 2020			

City of Mississauga
Memorandum



Date: October 8, 2020
To: Chair and Members of Heritage Advisory Committee
From: Paul Damaso, Director, Culture Division
Meeting date: November 10, 2020
Subject: Alteration to a Listed Heritage Property: 3091 Victory Crescent (Ward 5)

This memorandum and its attachment are presented for HAC's information.

Section 7.4.1.12 of the Mississauga Official Plan states that: "The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction."

The subject property is listed on the City's Heritage Register. The camera location map is attached for your consideration.

Attachments

Appendix 1: Camera Location Map

Prepared by: Paul Damaso, Director, Culture Division

