

Heritage Advisory Committee

Date: June 10, 2025
Time: 9:30 AM
Location: Council Chambers, Civic Centre, 2nd Floor
300 City Centre Drive, Mississauga, Ontario, L5B 3C1
and Online Video Conference

Members

Chair and Councillor Brad Butt	Ward 11
Councillor Stephen Dasko	Ward 1
Councillor Dipika Damerla	Ward 7
Vice Chair David Cook	Citizen Member
Alexander Hardy	Citizen Member
Antoine Musiol	Citizen Member
Jahnvi Pathak	Citizen Member
James Holmes	Citizen Member
Jason De Brum	Citizen Member
Lucy Zita	Citizen Member
Matthew Wilkinson	Citizen Member
Somayyeh Nezhad Bagher	Citizen Member
Terry Ward	Citizen Member

To Request to Speak on Agenda Items - Advance registration is required. To make a Deputation please email Martha Cameron, Legislative Coordinator at martha.cameron@mississauga.ca or call 905-615-3200 ext. 5438 no later than **June 6, 2025 before 4:00 PM**.

Questions for Public Question Period – To pre-register for Public Question Period, questions may be provided to the Legislative Coordinator at least 24 hours in advance of the meeting. Following the preregistered questions, if time permits, the public may be given the opportunity to ask a question on an agenda item. Virtual participants must pre-register.

Virtual Participation - All meetings of the Heritage Advisory Committee are streamed live and archived at Mississauga.ca/videos. To speak during the virtual meeting or if you do not have access to the internet, contact the Legislative Coordinator and you will be provided with directions on how to participate. Comments submitted will be considered as public information and entered into the public record.

Contact

Martha Cameron, Legislative Coordinator, Legislative Services
905-615-3200 ext. 5438 | Email: martha.cameron@mississauga.ca

Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>

Meetings of Council streamed live and archived at Mississauga.ca/videos

1. **CALL TO ORDER**

2. **INDIGENOUS LAND STATEMENT**

“We acknowledge the lands which constitute the present-day City of Mississauga as being part of the Treaty and Traditional Territory of the Mississaugas of the Credit First Nation, The Haudenosaunee Confederacy the Huron-Wendat and Wyandotte Nations. We recognize these peoples and their ancestors as peoples who inhabited these lands since time immemorial. The City of Mississauga is home to many global Indigenous Peoples.

As a municipality, the City of Mississauga is actively working towards reconciliation by confronting our past and our present, providing space for Indigenous peoples within their territory, to recognize and uphold their Treaty Rights and to support Indigenous Peoples. We formally recognize the Anishinaabe origins of our name and continue to make Mississauga a safe space for all Indigenous peoples.”

3. **APPROVAL OF AGENDA**

4. **DECLARATION OF CONFLICT OF INTEREST**

5. **MINUTES OF PREVIOUS MEETING**

5.1 Draft Heritage Advisory Committee minutes - April 8, 2025

6. **DEPUTATIONS**

Any member of the public interested in making a deputation to an item listed on the agenda must register by calling 905-615-3200 ext. 5438 or by emailing martha.cameron@mississauga.ca by **Friday, June 6, 2025 before 4:00 PM.**

Each Deputation to Committee is limited to speaking not more than 10 minutes.

Pursuant to Section 57.1 of the Council Procedure By-law 0044-2022, as amended:

Deputations shall be received and the matter shall be referred to staff for a report, unless there is a resolution or recommendation passed to “receive” the Deputation. After a Deputation is completed, Members shall each have one opportunity to make a preamble statement and ask questions to the Deputant(s) or staff for clarification purposes only, and without debate.

7. **PUBLIC QUESTION PERIOD - 15 Minute Limit**

Public Comments: Members of the Public that have a question about an item listed on the agenda may pre-register by contacting the Legislative Coordinator at least 24 hours in advance of the meeting. Following the registered speakers, if time permits the Chair will acknowledge members of the public who wish to ask a question about an item listed on the agenda. Virtual participants must pre-register.

Pursuant to Section 58 of the Council Procedure By-law 0044-2022, as amended:

The Heritage Advisory Committee may grant permission to a member of the public to ask a question of the Heritage Advisory Committee, with the following provisions:

1. Questions may be submitted to the Clerk at least 24 hours prior to the meeting;
2. A person is limited to two (2) questions and must pertain specific item on the current agenda and the speaker will state which item the question is related to;
3. The total speaking time shall be five (5) minutes maximum, per speaker, unless extended by the Mayor or Chair; and
4. Any response not provided at the meeting will be provided in the format of a written response.

8. CONSENT AGENDA

9. MATTERS TO BE CONSIDERED

- 9.1 Proposed Heritage Designation of 1040 Welwyn Drive (Ward 2)
- 9.2 Proposed Heritage Designation of 972 Clarkson Road South (Ward 2)
- 9.3 Request to Alter the Heritage Designated Property at 2700 Lakeshore Road West (Ward 2)
- 9.4 Request to Remove a Heritage Listed Property from the City's Registry: 1147 Dixie Road, (Ward 1)
- 9.5 Request to Demolish a Heritage Listed Property at 3610 Burnbrae Drive (Ward 6)
- 9.6 Meadowvale Village Heritage Conservation District Subcommittee Recommendation Report 2 - 2025 - April 29, 2025
- 9.7 Meadowvale Village Heritage Conservation District Recommendation Report 3 - 2025 - May 27, 2025
- 9.8 Port Credit Heritage Conservation District Subcommittee Recommendation Report 2 - 2025 - May 26, 2025

10. INFORMATION ITEMS

- 10.1 Credit River Active Transportation Bridge (Ward 1)
- 10.2 Request to Alter 42 John Street South (Ward 1)
- 10.3 Request to Alter 1059 Old Derry Road (Ward 11)
- 10.4 Mississauga Mural, Celebration Square (Ward 4)
- 10.5 Revised Ontario Heritage Tool Kit

11. OTHER BUSINESS

12. DATE OF NEXT MEETING

July 22, 2025 at 9:30 AM

13. **ADJOURNMENT**

Heritage Advisory Committee

Date: April 8, 2025
Time: 9:30 AM
Location: Council Chambers, Civic Centre, 2nd Floor
300 City Centre Drive, Mississauga, Ontario, L5B 3C1
and Online Video Conference

Members Present	Chair and Councillor Brad Butt	Ward 11
	Vice Chair David Cook	Citizen Member
	Councillor Stephen Dasko	Ward 1
	Councillor Dipika Damerla	Ward 7
	Alexander Hardy	Citizen Member
	Antoine Musiol	Citizen Member
	Jahnvi Pathak	Citizen Member
	James Holmes	Citizen Member
	Jason De Brum	Citizen Member
	Lucy Zita	Citizen Member
	Matthew Wilkinson	Citizen Member
	Somayyeh Nezhad Bagher	Citizen Member
Terry Ward	Citizen Member	

Staff Present

John Dunlop, Manager, Indigenous Relations, Heritage and Museums
Paula Wubbenhorst, Heritage Planner
Andrew Douglas, Heritage Analyst
Martha Cameron, Legislative Coordinator

1. CALL TO ORDER

Councillor Brad Butt, Chair called the meeting to order at 9:30 AM

2. INDIGENOUS LAND STATEMENT

Councillor Brad Butt, Chair recited the Indigenous Land Statement.

3. APPROVAL OF AGENDA

Approved (M. Wilkinson)

4. DECLARATION OF CONFLICT OF INTEREST - Nil

5. MINUTES OF PREVIOUS MEETING

5.1 Draft Heritage Advisory Committee Minutes - dated March 18, 2025

Approved (T. Ward)

6. DEPUTATIONS

6.1 Nathalie Estephan and Tasnima Fahmin, University of Toronto regarding Beyond Designation: Expanding Mississauga's Heritage Horizons

Nathalie Estephan presented on Beyond Designations: Expanding Mississauga's Heritage Horizons and spoke to her findings noting the following:

- nine criteria the City of Mississauga is bound to for the designation of heritage properties
- how the City can recognize all heritage typologies and move beyond built form
- scope of research and review of global best practices
- identification of four sets of tools used by Cities to commemorate, celebrate and conserve heritage
- recommendations and strategies to bring heritage into everyday life

Committee Members spoke to:

- discussions with heritage partners and public art teams to action items
- increasing awareness through communications and a designated web page for heritage
- tours to notable locations throughout the City
- concerns and advocacy for funding to support means of communicating heritage
- public engagement and use of existing infrastructure
- using the presentation as an educational piece

RECOMMENDATION HAC-0009-2025

Moved By L. Zita

That the deputation and presentation by Nathalie Estephan and Tasnima Fahmin, University of Toronto regarding Beyond Designation: Expanding Mississauga's Heritage Horizons, be received.

Received

7. PUBLIC QUESTION PERIOD - 15 Minute Limit

There were no questions for public question period.

8. CONSENT AGENDA

RECOMMENDATION HAC-0010-2025

Moved By M. Wilkinson

That the following items were approved on consent:

- Item 9.1 - Request to Alter a Heritage Designated Property at 25 Pinetree Way (Ward 1)
- Item 9.2 - Request to Alter a Heritage Designated Property at 4415 Mississauga Road (Ward 8)
- Item 10.1 - Renovation Projects to Adamson Estate (Ward 1)

Approved

9. MATTERS CONSIDERED

9.1 Request to Alter a Heritage Designated Property at 25 Pinetree Way (Ward 1) (ON CONSENT)

RECOMMENDATION HAC-0011-2025

Moved By M. Wilkinson

That the request to alter the heritage designated property at 25 Pinetree Way (Ward 1), as outlined in the Corporate Report dated February 19, 2025 from the Commissioner of Community Services be approved.

Approved

9.2 Request to Alter a Heritage Designated Property: 4415 Mississauga Road (Ward 8) (ON CONSENT)

RECOMMENDATION HAC-0012-2025

Moved By M. Wilkinson

That the request to alter the property at 4415 Mississauga Road (Ward 8), as per the Corporate Report from the Commissioner of Community Services, dated March 6, 2025, be approved.

Approved

9.3 Request to Alter the Heritage Designated Properties at 84 and 90 High Street East (Ward 1)

Committee members discussed the replacement of the north elevation staircase and were advised by Max Yuristy, Architect, ERA Architects the reason for the replacement with a metal staircase and that the new staircase would be differentiated from the historical building. Further, M. Yuristy noted that the metal staircase would blend in with the house colour scheme.

RECOMMENDATION HAC-0013-2025

Moved By Councillor S. Dasko

That the request to alter the heritage designated properties at 84 and 90 High Street East (Ward 1), as per the Corporate Report from the Commissioner of Community Services, dated March 19 2025, be approved subject to a \$785,000 letter of credit to ensure the conservation work is completed and the buildings ready for occupancy.

Approved

9.4 Redevelopment of the Part V Heritage Designated Property at 7060 Old Mill Lane (Ward 11)

Committee members spoke to final drawings A.05 and A.06 and expressed concern with the front elevation facade angle and noted concerns with the side elevation horizontal massing.

Staff spoke to the concerns of the Committee Members and noted that the front porch truncation is due to the topography of the south side which has a steep drop off and noted in drawing A.06 there would be a break along both sides of the house. Staff further noted that would be an extra riser to access the porch due to a grading issue.

RECOMMENDATION HAC-0014-2025

Moved By M. Wilkinson

That the request to alter the Part V heritage designated property at 7060 Old Mill Lane (Ward 11), as per the Corporate Report from the Commissioner of Community Services, dated March 19, 2024, be approved with the following conditions:

1. That the windows in the second storey dormer be six-over-six as per the HCD plan;
2. That the front porch be widened by 0.5 metres, and
3. That the house be shifted forward to preserve existing trees within the rear yard pending approval of a variance.

Approved9.5 Ontario Heritage Conference - Prince Edward County - June 19 - 21, 2025

Dave Cook, Vice-Chair was approved by the Committee to attend the 2025 Ontario Heritage Conference.

RECOMMENDATION HAC-0015-2025

Moved By T. Ward

1. That the Memorandum dated March 24, 2025 from Martha Cameron, Legislative Coordinator with respect to details of the 2025 Ontario Heritage Conference being held from June 19 to 21, 2025 in Prince Edward County, Ontario, be approved.
2. That one member of the Heritage Advisory Committee be authorized to attend the 2025 Ontario Heritage Conference from June 19 to June 21, 2025 in Prince Edward County, Ontario and that the approximate costs associated with attending the Conference include registration in the amount of \$500.00, accommodation of \$1,000.00 for two nights stay, per diem of \$75.00 per day and travel in an estimated cost of \$350.00, for an approximate total cost of \$2,200.00, be allocated in the 2025 Council Committee Budget.

Approved

10. INFORMATION ITEMS

10.1 Renovation Projects to Adamson Estates (Ward 1) (ON CONSENT)

RECOMMENDATION HAC-0016-2025

Moved By M. Wilkinson

That the memorandum dated February 21, 2025 from John Dunlop, Manager, Indigenous Relations, Heritage and Museums regarding Renovation Projects to Adamson Estates (Ward 1), be received.

Approved

11. OTHER BUSINESS

There were no items for Other Business.

12. DATE OF NEXT MEETING

May 13, 2025 at 9:30 AM

13. ADJOURNMENT - 10:13 AM

(J. De Brum)

City of Mississauga Corporate Report



Date: May 6, 2025 To: Chair and Members of Heritage Advisory Committee	Originator's files:
From: Raj Sheth, P.Eng, Commissioner of Corporate Services	Meeting date: June 10, 2025

Subject

Proposed Heritage Designation of 1040 Welwyn Drive (Ward 2)

Recommendation

That the property at 1040 Welwyn Drive (Ward 2) be designated under Part IV of the Ontario Heritage Act for its historical and associative value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as per the Corporate Report from the Commissioner of Community Services, dated May 6, 2025.

Executive Summary

- Area pioneer William Somerset Bowbeer built part of the subject house in the 1870s.
- Fruit farmer Charles Ralph Terry expanded the house and held an annual strawberry festival at the site.
- The property merits designation under the Ontario Heritage Act.

Background

Trafalgar Township native William Somerset Bowbeer (1819-1900) built part of the subject home in the 1870s. Charles Ralph Terry (1866-1959) purchased the property in 1910 and expanded it. The farm became known for its annual strawberry festival, hosted by the Clarkson Lorne Park Women's Institute from 1919 into the 1940s. The Rotary Club chauffeured two hundred veterans to the property from Toronto hospitals to partake in the festivities, which included supper, games and a concert. According to the Toronto Star, in 1911, Clarkson shipped more strawberries than any other station on the Grand Trunk Railway. As such, strawberries and Terry's festival were an important part of the community culture. Terry turned the farm over to his son Burton Terry (1898-1972) in 1943. Burton sold most of the estate in 1955. Developer S. Eric Johnson created and sold the immediately adjacent surrounding lots in the 1970s. A location map, photos and a research report are attached as appendices 1 thru 3.

Comments

To merit designation under the Ontario Heritage Act, a property must meet the criteria for determining cultural heritage value or interest, i.e. it must have physical, design, historical, associative, and/or contextual value, per Ontario Regulation 9/06 (Appendix 4).

The property has historical and associative value as it is associated with area pioneers and the annual strawberry festival. The property also yields information that contributes to an understanding of Clarkson's agricultural and community roots. The designation statement is attached as Appendix 5.

Engagement and Consultation

In response to City correspondence about the *More Homes Built Faster Act*, the property owner expressed interest in heritage designation. Staff met the owner on site on May 24, 2024 to photograph the property. Once the heritage report was complete, Heritage Planning staff sent the report to the owner for review. Minor edits were made to the designation statement for clarification before bringing the report to the Heritage Advisory Committee.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

1040 Welwyn Road meets the criteria for determining cultural heritage value or interest, per Regulation 9/06. As such, the subject property merits designation under the Ontario Heritage Act.

Attachments

Appendix 1: Location Map

Appendix 2: Photos

Appendix 3: Research Report

Appendix 4: Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value and Interest

Appendix 5: Proposed Designation Statement

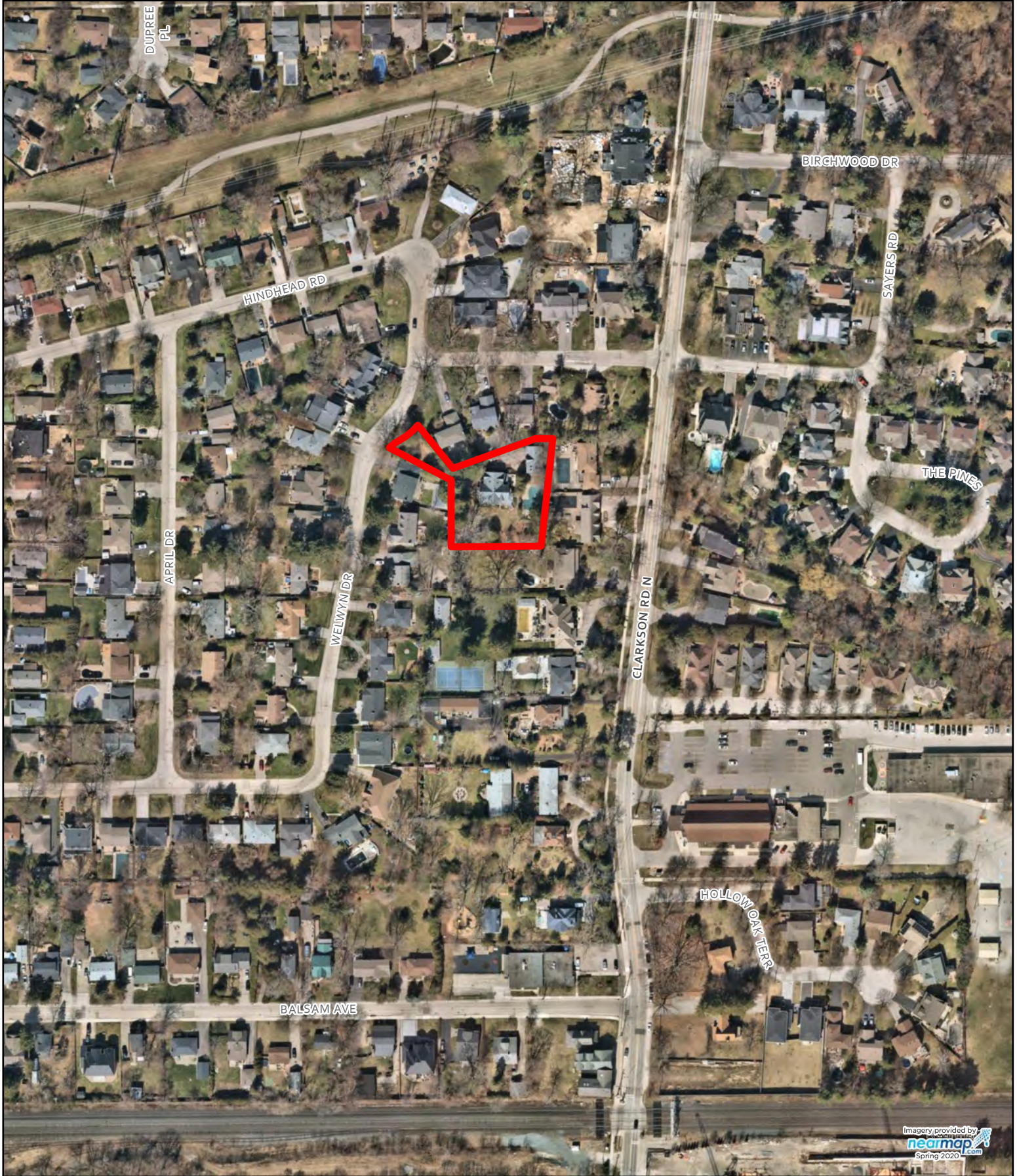


Raj Sheth, P.Eng, Commissioner of Corporate Services

Prepared by: P. Wubbenhorst, Heritage Planner

6/26/2024

Path: I:\cadd\Projects\ReportMaps\247728 Culture Location Maps - various



Imagery provided by
nearmap
Spring 2020

1040 WELWYN DRIVE



1040 Welwyn Drive



0 50 100
metres

MISSISSAUGA

Produced by Geospatial Solutions

















Heritage Property Research



Photo courtesy of Amanda Barbosa.

1040 Welwyn Drive, Mississauga
CON 2 SDS PT LOT 29 RP
Prepared By: Amanda Barbosa

For Heritage Planning, Indigenous Relations & Museums
Parks, Forestry, Environment and Culture Division
Community Services

May 2024

EXECUTIVE SUMMARY

- The subject property was built by William Bowbeer, an early settler of Peel region.
- The subject property was the site of the Strawberry Festivals, organized by the Clarkson Women's Institute that took place from 1919 to the 1940s.
- The Terry family were well-known in Clarkson and were heavily involved in community affairs.

INTRODUCTION

This research and evaluation report describes the history, architecture, and context of the property at 1040 Welwyn Drive.

DESCRIPTION OF PROPERTY

According to the Heritage Status Report:

"This is a storey-and-half, L-shaped plan structure with a medium pitched gable roof. The main arm has a two bay width and projects towards Clarkson road. A short arm with a one bay width and one bay projection faces south. A two storey addition was added to the rear (west) after 1910, replacing an original one storey frame kitchen. The main entrance was reoriented from Clarkson road to the rear of the addition after 1950, when access from Clarkson road became impeded by the development of residential land. Original red brick chimneys with corbelled caps were situated in either end of the main arm, these have been removed and recent external chimneys are situated on the north side and rear of the addition. A one storey open wrap around porch, which appears to have been added later, is situated in the elbow of the "L" and extends around half of the east gable end of the main arm. Six Tuscan-like columns support the roof with small pediments at either end. There is a one storey enclosed sun porch on the south side of the addition, and a one storey vestibule on the north side. A one storey portico with two Tuscan-like columns was built onto the addition when the facade entrance was reversed. There is a recent clapboard garage in a northeast direction from the house. The exterior of both the house and addition is broad brick that has been painted yellow. White painted fret-sawn verge board in a lacey-loop pattern runs beneath the gables. The recent chimneys are stretcher bond red brick. The sun porch of the addition is white painted board and batten. The vestibule has a high brick foundation and white painted board and batten walls with windows. The windows in the original part of the house have wooden sills, plain frames, shutters and one over one paned sash. There is a two storey bay window on the front of the south projecting arm, and a one storey bay window in the first storey on the front of the main arm (east). A two-over-two paned sash round-headed window is situated beneath a gable on either side of the main. Two small rectangular windows with a leaded grid like design were added to the north side of the main arm. The windows in the addition vary in size, but most are twelve paned casements. A shed wall dormer with three casement windows is situated in the upper storey of the south side of the addition. The two doors of the original facade were replaced in 1910 - the doors, situated on the east side of the south projecting arm and front of the main arm, are contained under the wrap around porch. Both doors have two vertical oval glass panels with molded frames and square raised molded panels beneath. The glass panels originally had leaded glass with the same design as the windows on the north side. These appear to have been added later. The present front door is recent, and is situated under the one storey portico on the addition. There are two other recent doors added to the north side, one is in the one storey vestibule and the other has a gabled clapboard extension."¹ (See Appendix A for more images).

¹ Property Information. 1040 Welwyn Drive. Roll number: 05-02-0-036-21603-0000. Legal description: CON 2 SDS PT LOT 29 RP 43R678 PART 8. <https://www.mississauga.ca/apps/#/property/view/heritage>



Photo (left): Original entrance from Clarkson Road. Photo (right): Original main entrance. The current owner explained that Welwyn Drive was not developed until the 1970s. Photos courtesy of Amanda Barbosa.



Open wrap around porch views. Photos courtesy of Amanda Barbosa.



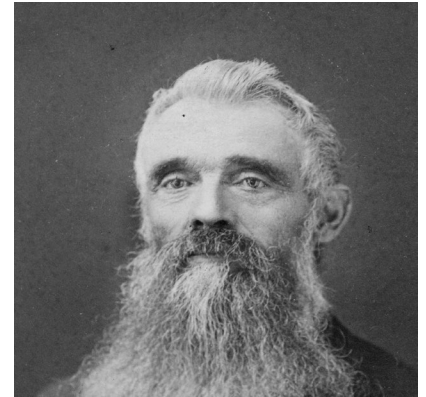
RESEARCH

Relevant Historical Timeline

Date	Event
1871	William Bowbeer purchased the subject property from William R. Kelly for \$2,304.
1879	Subject property built by Bowbeer.
1910	Charles Terry purchased subject property for \$14,000 from Drusilla Clements (one of Bowbeer's daughters).
1913	Charles Terry sold a portion of the subject property to Samuel Biggs.
1915-1939	Terry sells portions of subject property to various individuals.
1943	Terry turned over the farm to his son, Burton. ²
1955	Burton sold most of the farm to Selmit Estates Limited, but kept 3 acres where the house is situated. ³ Later on, it was turned into a subdivision.
1972	Burton and his family lived in the subject property until it was sold in 1972. ⁴

William Bowbeer

William Somerset Bowbeer (1819-1900) was born in Trafalgar Township, Halton County and was an early settler who played a significant role in shaping the landscape of Peel region. He built one of the more well-known barns at the Joshua Creek Heritage Art Centre. Bowbeer married Mary Anderson (1821-1884) in 1839, and together they raised several children: William Somerset, Mercy Ann Bowbeer, Sarah Phoebe Bowbeer, William Bradford Bowbeer, Mary Jane Bowbeer, James Henry Bowbeer, Annie Bowbeer, Margaret Elizabeth Bouvier, George Albert Bowbeer, Drusilla Clements and Charles W. Bowbeer. In the 1861 census, he was recorded as a farmer, reflecting his agricultural pursuits. Additionally, Bowbeer served as the Reeve of Trafalgar Township. He built the subject property in 1879.



Close up of an original portrait of William Bowbeer, owned by J I Finney. Accessed through Ancestry.ca

In an interview with William Bowbeer found in the Bowbeer family files, he mentions that his family came to the Trafalgar and Clarkson area in the 1700s.⁵ Their first crops were corn and wheat.⁶ He also mentioned a few other interesting things:

- The first shingles were made from pine block with a knife and were meant to last.⁷

² Hicks, Kathleen. *Clarkson and its Many Corners*. Mississauga: The Friends of the Mississauga Library System, 2003, p. 115.

³ Ibid.

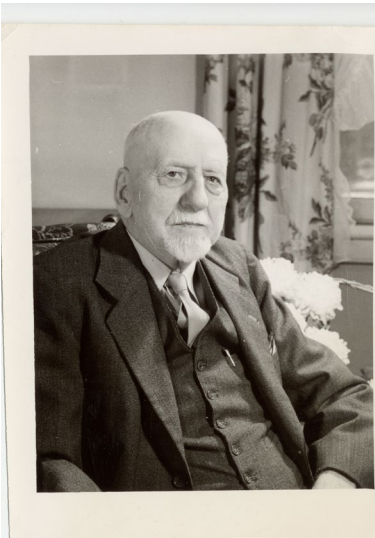
⁴ Ibid.

⁵ Bowbeer family files. Courtesy of PAMA.

⁶ Ibid.

- He remembered a “dog-churn,” where “a tread-mill made like a large wheel, about eight feet, into which a collie dog was put and started running until the ‘butter came.’”⁸
- Early settlers would preserve black-caps and wild plums.⁹
- “It took all night to get over the sand hills between Clarkson and Port Credit with a team and a load of grain. Mr. Bowbeer said he had seen twenty teams with lanterns swung under the waggons helping each other up the hills.”¹⁰

The Terry Family



Charles Ralph Terry (1866-1959) acquired 50 acres of Lot 29 in Concession 2 on January 1910, along with a sizable residence, from Drusilla Clements, one of Bowbeer’s daughters. Married to Ellen Terry, they raised a family of 12 children, (David Terry, Charles Roy Terry, Arthur Terry, Arlie Terry, Burton Terry, Ralph Terry, Ellen Violet Terry, Russell Terry, Goldwin Terry, Muriel Elta Hare, Ella Weldon and Gladys Coyne), while cultivating a prosperous farm specializing in apples and strawberries.¹¹ The farm became known as the venue for the annual Strawberry Festival, which started in 1919 and continued into the 1940s and was organized by The Clarkson Women’s Institute.¹² The Terry family was active in the United Church and these Festivals saw notable attendance by WWI and WWII veterans from the Christie Street Hospital in Toronto.¹³ After the Second World War, Kathleen Hicks mentions that the Terrys exhibited their community spirit by welcoming a Japanese family, providing both employment on the farm and assistance with resettlement in Toronto.¹⁴ (Photo: Heritage Mississauga)



Members of the Clarkson Women’s Institute and veterans from the Dominion Orthopaedic Hospital in Toronto are photographed during a strawberry social at the home of Mrs. Charles Terry. The strawberry festival was an annual event from 1919 to the late 1940s. At the time, Clarkson was considered the “Strawberry Capital of Ontario”.

⁷ Ibid.

⁸ Ibid.

⁹ Ibid.

¹⁰ Ibid.

¹¹ Hicks, Kathleen. *Clarkson and its Many Corners*. Mississauga: The Friends of the Mississauga Library System, 2003, p. 114.

¹² Ibid.

¹³ Ibid.

¹⁴ Ibid, p. 115.

Charles then turned over the farm to his son, Burton, in 1943, who in turn, sold most of the family estate to Selmit Estates Limited in 1955, retaining only 3 acres for the homestead, which later became a subdivision.¹⁵ The family's stewardship of the land concluded in 1972 with the sale of the final parcel.¹⁶ The last Terry who lived in the Clarkson area was David Terry, who acquired 6 acres of adjacent land on the east side of Clarkson Road North, Lots 27 and 28.¹⁷ Hicks writes, "When Charles passed away in 1959 at 92 years of age, the community lost a great resident."¹⁸ (See Appendix B for images/newspaper articles).



Photo: Heritage Mississauga

¹⁵ Ibid.

¹⁶ Ibid.

¹⁷ Ibid.

¹⁸ Ibid.



Photo: Heritage Mississauga

The Parshalls

Parshall Terry the 2nd (1756-1808) was born in America and served as sergeant with the Butler's Rangers in the American Revolution.¹⁹ After the war, he moved to Canada and first settled in Kingston and then in York, where he owned a large amount of land.²⁰ He worked and built a large sawmill on the Don River with his father-in-law, Timothy Skinner and his sons. Parshall was elected to the 1st Parliament of Upper Canada in the 4th riding of Lincoln and Norfolk.²¹ He was also a Grand Juror for Home District in 1800.²² Parshall the 2nd was Charles' great-grandfather.

Parshall Terry the 3rd (1778-) owned a store, hotel and Grist Mill in Albion.²³ His oldest son, David, Charles' father (1817-1888), learned the milling business and ran his father's mill.²⁴

In the Terry family files, it is written:

"Charles Ralph Terry living at present (1935) in Clarkson where, with his sons he conducts a fruit business, having fine orchards, is the son of David Terry who was the son of Parshall 3rd."

¹⁹ Terry family files. Courtesy of PAMA.

²⁰ Ibid.

²¹ Ibid.

²² Ibid.

²³ Ibid.

²⁴ Ibid.

(That is, Mr. Charles Ralph is the great grandson of...Parshall 2nd). Three of Charles Ralph's sons, Goldwin, David and Arthur Terry, all enlisted from Clarkson for overseas services during the Great War. Goldwin and David were bombardiers..."²⁵

Interesting Fact

After speaking with the current owner, they explained that the families who previously owned this property have come back to visit. They mentioned that in one of the bedrooms, the wallpaper was removed to reveal plaster with writings on it (specifically of a person's name). The family that had lived there were moved to see it and explained that it was the name of a teenage crush.

ARCHITECT

Based on research and speculation, the subject property was most likely built by local builders. This is due to its vernacular appearance (see architectural description below).

ARCHITECTURAL DESCRIPTION

The subject property exemplifies a vernacular farmhouse. A vernacular building is usually described as simple, functional and having a straightforward appearance. It is a combination of several architectural styles and heavily based on what materials and talents are locally available. It often reflects local social influence. For the most part, vernacular homes are not designed by an architect and are built by local builders with available local materials. As mentioned above, this house was built during William Bowbeer's ownership. As a farmer, he required something practical for the type of work he did and this house suited his needs. It was most likely built by local builders without much professional guidance on architectural style. This is not to say that these builders were not skilled, instead they were influenced by local needs and available material.

Some examples of other buildings of the same style in Mississauga

1. 1455 Dixie Road (dated late 1800s)
 - a. Built under the ownership of Daniel and George Death
2. Bateman-Murphy House (dated 1866)
 - a. Address: 16 Burlington Street
3. 972 Clarkson Road (dated 1915)
 - a. Built by Gordon Pattinson

CONTEXT

The subject property is part of Lot 29, Concession 2, situated south of Dundas Street that was formed after the First Purchase of Land from the Mississauga First Nation in 1805. Lot 29 is a 200 acre tract

²⁵ Ibid.

that is surrounded by Southdown Road and Clarkson Road. N. to the east and west, and Lakeshore Road to the south.

Clarkson

A brief history of Clarkson taken from Heritage Mississauga's website:

"Driving into Clarkson today, newcomers might wonder at the "Welcome" signs that greet them. Certainly, to the average passer-by, following Lakeshore Road or Southdown Road, there might be little to remind them visually of the village's rich historical roots. There was a time, not so long ago, that Clarkson was a rural village within Toronto Township. Considered by many as the first settled area of Mississauga, settlement first began in this area in 1807. Among the first settlers were the Bradley, Clarkson, Gable, Greeniaus, Hammond, Hendershott, Jarvis, Marlatt, Merigold, Monger, Oliphant, Shook and Thompson families, amongst others. Many of them were Loyalists. The area became referred to as "Merigold's Point," after the prominent Merigold family. Over time the emerging community unofficially became known as "Clarkson's Corners" after early settler Warren Clarkson, who had opened a general store and post office on his property. In 1850, the road alignment which bordered Warren Clarkson's property was officially recognized as Clarkson Road. In 1855, the Great Western Railway arrived. A train station was on part of Warren Clarkson's property and given the name of "Clarkson's." The name of the station, and through it the surrounding area, was later shortened to "Clarkson" . Although the community never incorporated as an independent village, in its heyday Clarkson was recognized as the "Strawberry Capital of Ontario" . Clarkson became part of the Town of Mississauga in 1968."²⁶

PROPERTY CHANGES²⁷

- In 1973, a permit to build a pool was approved.
- In 1988, a permit to build a garage was approved.
- In 1995, a two-storey addition was approved to the existing building.
- The main entrance was changed to the rear of addition after 1950.
- The original red brick chimneys were removed, and external chimneys were built on the north side of the addition.

CONCLUSION

The property at 1040 Welwyn Drive has physical, historical and contextual significance. It served as the venue for the Strawberry Festivals held between 1919 and the 1940s, marking a cherished tradition of the era. The Terry family, prominent figures in Clarkson, played a significant role in community engagement and local affairs, leaving a lasting impact on the area's development. Additionally, while the subject property appears to be vernacular, it contains unique features, such as "white painted fret-sawn verge board in a lacey-loop pattern that runs beneath the gables."²⁸

²⁶ "Clarkson." Heritage Mississauga. <https://heritagemississauga.com/clarkson/>

²⁷ Property Information. 1040 Welwyn Drive. Roll number: 05-02-0-036-21603-0000. Legal description: CON 2 SDS PT LOT 29 RP 43R678 PART 8. <https://www.mississauga.ca/apps/#/property/view/heritage>

²⁸ Ibid.

REFERENCES

Primary Sources:

Bowbeer family files. Courtesy of PAMA.

Land abstracts, documents, wills and reference plans from the Region of Peel Land Registry Office, #906.

Land abstracts, documents, wills and reference plans from the Region of Peel Land Registry Office, #13856.

Terry Family Files. Courtesy of PAMA.

Secondary Sources:

“Clarkson.” Heritage Mississauga. <https://heritagemississauga.com/clarkson/>

Hicks, Kathleen. *Clarkson and its Many Corners*. Mississauga: The Friends of the Mississauga Library System, 2003.

Property Information. 1040 Welwyn Drive. Roll number: 05-02-0-036-21603-0000. Legal description: CON 2 SDS PT LOT 29 RP 43R678 PART 8.
<https://www.mississauga.ca/apps/#/property/view/heritage>

Various email correspondences.

Appendix A



Photo courtesy of Mississauga Library. PH2091.



Photo courtesy of Mississauga Library. PH2089.



Photo courtesy of Mississauga Library. PH2075.



Photos courtesy of Mississauga Library. PH2092 and PH2079. Photo (left): View of the rear gable with bargeboard. Photo (right): Shows two bay windows on south side of the property.



Photo courtesy of Mississauga Library. PH2076.



Current entrance to 1040 Welwyn Drive. Photo courtesy of Amanda Barbosa.



Current entrance to 1040 Welwyn Drive. Photo courtesy of Amanda Barbosa.



An up-close image shows the original structure made using stones. Photo courtesy of Amanda Barbosa.



Garage that was added in 1988. Photo courtesy of Amanda Barbosa.



Current owner has a mini library outside the driveway to the property. Photo courtesy of Amanda Barbosa.

Appendix B

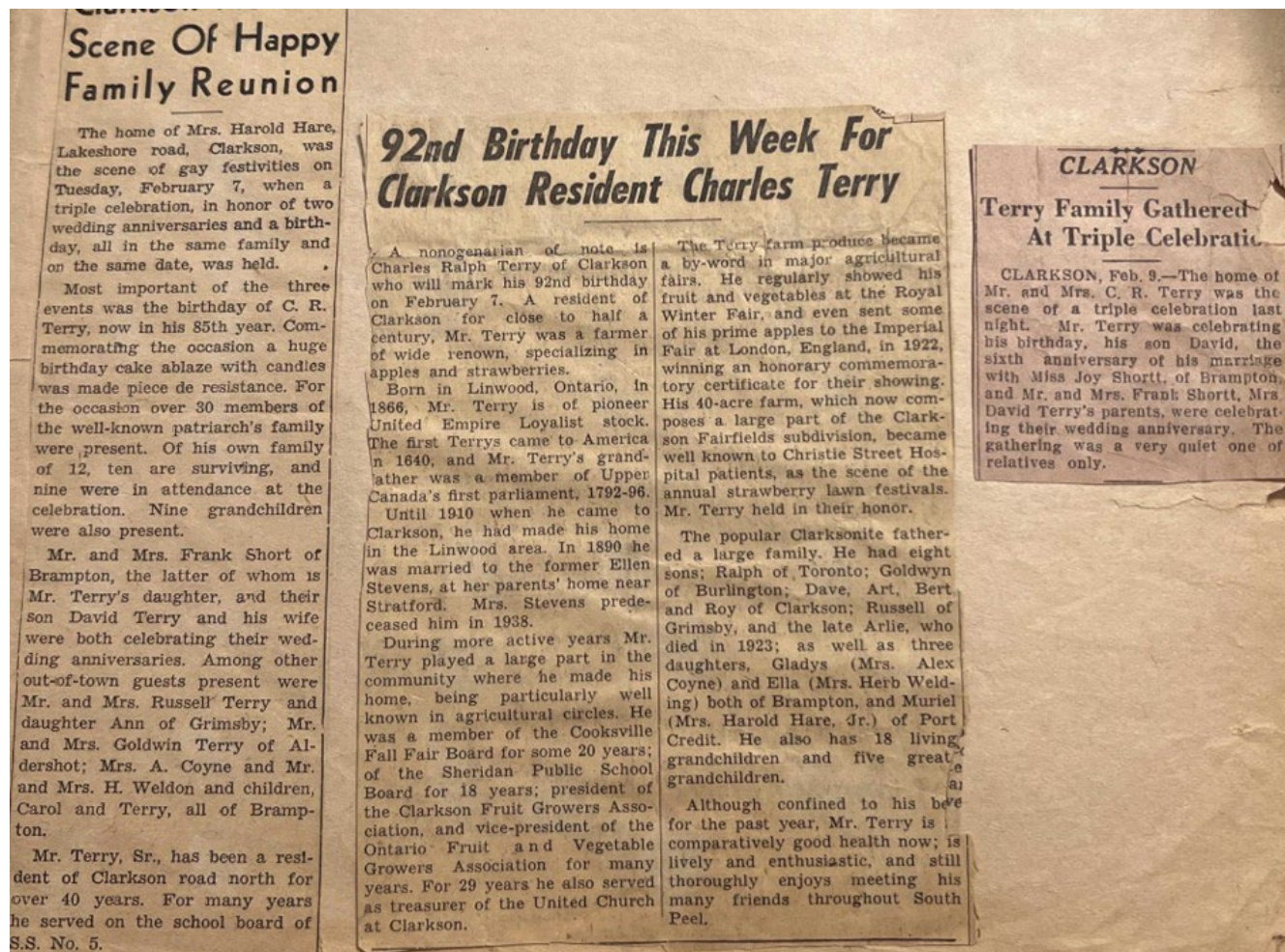


Photo: Heritage Mississauga

CHRISTIE STREET BOYS VISIT TERRY FARM: ANNUAL <SPAN ...

Special Despatch to The Globe

The Globe (1844-1936); Jun 25, 1931; ProQuest Historical Newspapers: The Globe and Mail

pg. 11

CHRISTIE STREET BOYS VISIT TERRY FARM

Annual Strawberry Festival Is Held at Clarkson

(Special Despatch to The Globe.)

Clarkson, June 24. — Today the annual strawberry festival, given to the soldiers from Christie Street Hospital by the Lorne Park Women's Institute, was held on the grounds of Mrs. C. R. Terry at Clarkson. In addition to about 200 ex-soldiers who attended, were the nursing sisters and members of the staff at Christie Street Hospital, as well as a number of Red Cross workers. The guests were conveyed to the grounds through the generosity of Rotarians, who had supplied some forty cars. The procession from the hospital was headed by two officers of the Provincial Police, and the disabled men were roundly cheered along the entire route by those who had not forgotten their valor.

The strawberry supper was preceded by a number of games, and followed by an impromptu concert given by the visitors. Captain Riley, on behalf of the guests, thanked their hostesses, Mrs. A. Hewitt responding. The arrangements were carried out by Mrs. F. M. Huntsman, Hospital Convener.

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Sherin Funeral Home, 873 Kingston Rd., (at Beach Ave.), Toronto. Service in the chapel on Wednesday, 11 a.m. Interment Mount Pleasant Cemetery.

CHANT, Christopher William—Suddenly, at Hollywood, Calif., on Monday, Feb. 16, 1959, Christopher William Chant, beloved husband of Carol Chant, late of 349 Spadina Rd., dear father of Mrs. W. M. Kinsella (Dorothy), Mrs. E. M. Coleman (Myrna), Kenneth, Dixon and Robert Chant. Funeral arrangements later.

DONAGHY, John James—At his home, Eden Mills, on Monday, Feb. 16, 1959, John James Donaghy, formerly of Monro Rd., in his 81st year, beloved husband of Mary Jane Robinson, Mr. Donaghy is resting at the Egan Bros. Funeral Home, Queen St. S., Bolton, from Wednesday morning till Thursday noon. Funeral service in St. James' Anglican Church, Caledon East, Thursday afternoon at 2 o'clock. Interment St. James' Cemetery. Casket will be open in the church from 1 o'clock to hour of service.

DUNN, James Gordon—At Toronto, Monday, Feb. 16, 1959, James Gordon Dunn, 37 Station Rd., Mimico (retired CNR engineer, Mimico), beloved husband of the late Blanche O'Malley, dear father of Mrs. P. Chrysdale (Kathleen), and Bernard Dunn, Mimico, and John Dunn, Islington, age 72 years. Mr. Dunn is resting at the Funeral Home of G. H. Hogle, 63 Mimico Ave., Mimico. Funeral to St. Leo's Church, Church St., Mimico, for requiem high mass Thursday 9 a.m. Interment St. Mary's Cemetery, Port Credit.

dearly beloved wife of Allan J. Hoffman of 2229 Hambo Rd., Applewood Acres; loving mother of Penny and Joan; daughter of Mr. George Betts; sister of Mrs. Eric Brown (May), Mrs. J. Fleming (Joyce), Wilbur and Harold Betts. Resting at the Turner and Porter Chapel, 436 Roncesvalles Ave. Funeral service 3 o'clock Thursday afternoon. Interment Prospect Cemetery.

HUDDLESTON, Joseph C.—At Toronto, on Monday evening, Feb. 16, 1959, Joseph C. Huddleston of RR 4, Smiths Falls, beloved husband of Katie Bella Ferguson, and dear father of Mrs. Thomas Leedham (Isabel), Mrs. A. W. Robinson (Eva), Port Credit; Arnold E., Toronto; Austin, Port Arthur; Allan Vankleek Hill, and Douglas P. Huddleston of Garson. Resting at the Amv Funeral Home, Smiths Falls, Ont. Funeral service 2 o'clock Thursday afternoon. Interment Maple Vale Cemetery, Smiths Falls, Ont.

JEFFS, Ernest Harry—At the Scarborough General Hospital, on Sunday, Feb. 15, 1959, Ernest H. Jeffs, beloved husband of Eva Church; dear father of Phyllis (Mrs. R. MacTaggart), Thelma (Mrs. R. Strong), and grandfather of Rodger and Jimmy. Resting at the "Danforth Chapel", of McDougall & Brown Ltd., 1491 Danforth Ave. (near Coxwell). Service in the chapel, Wednesday, 3 p.m. Interment Pine Hills Cemetery.

JOHNSON, Sydney Charles Ray—At Sundridge, on Tuesday, Feb. 17, 1959, Sydney Charles Ray Johnson, beloved husband of the late Mary Georgina Yule, in his 71st year. Resting at Moore's Funeral Chapel, Sundridge. Service to be held on Friday, Feb. 20, from Zion United Church. Entombment to follow in Burk's Falls winter burial vault.

JOHNSTON, Douglas C.—On Monday, Feb. 16, 1959, at his residence, the Isabella Hotel, Toronto, Douglas C., son of the late Mr. and Mrs. F. H. Johnston, and brother of Muriel. At the Funeral Chapel of A. W. Miles, 30 St. Clair Ave. W. Service on Wednesday afternoon at 3 o'clock. Interment Mount Pleasant Cemetery.

KENT, Ida—Passed away Monday morning, February 16, 1959, at the home of her daughter, 208 Willowdale Ave., Ida Clarkson, beloved wife of the late William James Kent, in her 89th year. Loved mother of Mrs. C. C. Nicholls (Evelyn), Mrs. Norman Barisdale (Isabel), Mrs. R. Clark (Heleen), Mrs. W. A. Chase (Bessie), Mrs. D. Stone (Muriel), Mrs. J. P. Kirk (Eleanor), Dorothy, Clarence, Lawrence and Jack Kent. Resting at the Turner and Porter Chapel, 436 Roncesvalles Ave. Funeral service 3 o'clock Wednesday afternoon. Interment Park Lawn Cemetery.

KING, H. Elizabeth—At the Oakville-Trafalgar Memorial Hospital, on Tuesday, Feb. 17, 1959, H. Elizabeth Hill King, 41 Navy St. S., Oakville, wife of the late Nelson H. King and mother of the late Betty King and the late F/S John N. S. King. Resting at the Funeral Home of S. S. Russell and Son, Dunn St. (at the lake), Oakville. Service in St. Jude's Church on Saturday afternoon at 2 o'clock. Interment St. Jude's Cemetery.

daughter of John and Mary, resting at the Funeral Home of Northcutt and Smith, 53 Division St., Bowmanville. Funeral service in Trinity United Church, on Thursday, Feb. 19, at 2 p.m. Cremation at Toronto Crematorium.

REID, Jean—On Monday, Feb. 16, 1959, at the Toronto Western Hospital, Jean Reid, 4 Oaklands Ave., sister of Mrs. Bessie Ross, Toronto; Mrs. Maude Burnett, Guelph, and Mrs. Veril Rawson, Georgetown. At the Funeral Chapel of A. W. Miles, 30 St. Clair Ave. W. Service on Wednesday afternoon at 2 o'clock. Interment Woodlawn Cemetery, Guelph. If desired in lieu of flowers, family would appreciate contributions to the Ontario Association for Retarded Children, 137 Wellington St. W.

ROBERTSON, Jean—At Toronto, on Tuesday, Feb. 17, 1959, Jean Robertson, of 95 Macpherson Ave., wife of the late Samuel M. Robertson, mother of David and Mrs. David Turner (Nancy). Resting at Bates & Maddocks Funeral Chapel, 124 Avenue Rd. (just south of Davenport). Service in the chapel Thursday at 1:30 p.m. Interment Mount Pleasant Cemetery.

SCHREIBER, Andrew—On Monday, Feb. 16, 1959, at his residence, 7 Burnhamthorpe Cres., Islington, Ont., Andrew Schreiber, beloved husband of Louisa Schreiber, and father of the late Andrew Schreiber and dear grandfather of Eloise and End Schreiber. Resting at the Butler Funeral Chapel Ltd., 4933 Dundas St. W. (at Burnhamthorpe Rd.), Islington. Service in the chapel Thursday at 1:30 p.m. Interment Glendale Memorial Gardens. Parking for all chapel visitors.

SCHIBNER, Mary Isabel—At the Wellesley Hospital Monday, Feb. 16, 1959, Mary Isabel Schibner, late of 245 Pacific Ave., beloved wife of Manfred Stephen Schibner and dear mother of Rena, Georgina and Bruce of Toronto; Muriel of Collingwood and Ernest of Owen Sound. Resting at the Funeral Chapel of William Speers, 2926 Dundas St. W. Funeral Thursday at 1:30 p.m. Interment Prospect Cemetery.

TAYLOR, R. Walter—At Windsor, on Sunday, Feb. 15, 1959, Walter Taylor, beloved husband of Christina Page, dear father of Mrs. H. Patton (Marjorie), Mrs. George Eagleden (Nora), Laurie and Bob of Windsor and Mrs. W. H. Jarvis (Mollie) of Toronto. Resting at the Thomas Funeral Chapel, Alliston, for service Thursday at 2 p.m. Interment Alliston.

TERRY, Charles Ralph—At his home, 1224 Clarkson Rd. N., Clarkson, on Tuesday, Feb. 17, 1959, Charles Terry, beloved husband of the late Ellen Stevens, and dear father of Ralph of Toronto, Goldwin of Aldershot, Dave, Arthur, Burton and Roy of Clarkson, Gladys (Mrs. A. Coyne), Ella (Mrs. H. Weldon) of Brampton, Russell of Grimsby, Muriel (Mrs. H. Hare), Port Credit; in his 94th year. Mr. Terry is resting at the Funeral Home of Skinner & Middlebrook, 123 Lake Shore Rd. E. at Ann St., Port Credit. Service in the Chapel, Friday, at 1:30 p.m. Interment in Springcreek Cemetery, Clarkson.

Deaths

THAIN, William Charles—Suddenly, at the Guelph General Hospital, on Tuesday, Feb. 17, 1959, William Charles Thain, in his 83th year, youngest son of the late Charles Thain and Isabel Gauld, predeceased by brothers John and James, and sister Mrs. Robert Shortreed. Resting at the Tovell Funeral Home, 15 Yarmouth St., Guelph, where funeral service will be held on Friday, Feb. 20, at 2 p.m. Interment Woodlawn Cemetery, Guelph. Kindly omit flowers.

TOOLE, Arnold Amos—At Uxbridge on Monday, Feb. 16, 1959, Arnold Toole, beloved husband of Marie Barnett and brother of Clarence, Merton, Howard, Mount Albert; Clarkson, Tulsa, Okla., and Lyla (Mrs. Gunther), Welland, in his 71st year. Resting at the Funeral Home of McGuire and Low, Uxbridge, for service in the chapel on Wednesday, Feb. 18, at 2 p.m. Interment Mount Albert Cemetery.

TOWER, Lydia—Passed away at her home, 19 Coddington St., Barrie, Ont., on Tuesday, Feb. 17, 1959, Lydia Boyer, beloved wife of the late Walter Tower, in her 81st year. Resting at the Jennett Funeral Home, Barrie, Ont., until noon, Thursday, Feb. 19, thence in Emmanuel Baptist Church, Barrie, where service will be held at 2:30 p.m. Entombment Barrie Union Cemetery. (Casket will remain open in the church from 1:30 p.m. until time of service.)

WARNER, Mary—Suddenly, on Monday morning, Feb. 16, 1959, at her home, 66 Hickson St., Toronto, Mary, dearly loved wife of the late John Warner, dear aunt of Mrs. H. G. Nighswander (Marjorie), John, Armstrong, both of Markham; Mrs. E. Lewis (Ethel) of Hamilton and the late Mrs. Harold Sinclair (Violet), Toronto. Resting at the Ryan & Odette Funeral Home, 1498 Dundas St. W. (at Dufferin), Toronto. Funeral service Wednesday at 11 a.m. Interment St. Andrew's Cemetery, Markham, Ont., at approximately 1 p.m.

WILSON, Robert (Reg. No. 33212, Corporal, 2nd Canadian Field Ambulance, World War I)—Entered into rest at his home, 117 Ashdale Ave., Toronto, on Monday, Feb. 16, 1959, Robert Wilson, dearly beloved husband of Elizabeth (Lizzie) Hill, brother of Alice (Mrs. R. J. Picken), Agnes (Mrs. H. Kirley), Jean (Mrs. C. Tinnie), Martha (Mrs. A. Bould), Grace (Mrs. J. Atkinson), Miss Lilly Wilson, William, Thomas, George and Samuel. Resting at the Trull Funeral Home, 1111 Danforth Ave. Service on Thursday afternoon at 3 o'clock. Interment Pine Hills Cemetery. In lieu of flowers, donations to Gideon Bible Society appreciated.

Cards of Thanks

READ—The family of the late Lillian A. Read wish to thank relatives, friends and neighbors for their kindness during their recent bereavement.

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VETERANS ATTEND STRAWBERRY FETE: CLARKSON AND LORNE PARK WOMEN'S I
The Globe (1844-1936); Jul 7, 1932; ProQuest Historical Newspapers: The Globe and Mail
pg. 9

VETERANS ATTEND STRAWBERRY FETE

Clarkson and Lorne Park Women's Institute Holds Annual Picnic

Clarkson, July 6.—A strawberry festival held today at the farm of C. R. Terry entertained as special guests 150 patients from Christie Street Hospital. It was the thirteenth annual picnic thus staged by the Clarkson and Lorne Park Women's Institute, and generous helpings of strawberries and cream were supplemented by sandwiches and cake. Games, football and baseball, provided a program of entertainment. Transportation to Clarkson was provided for the patients by the Rotary Club of Toronto, the veterans being escorted along the highway by local and Provincial Police.

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SOLDIER PATIENTS ENJOY FESTIVAL

The Globe (1844-1936); Jul 7, 1932; ProQuest Historical Newspapers: The Globe and Mail
pg. 9

SOLDIER PATIENTS ENJOY FESTIVAL

Christie Street Hospital patients, enjoying the annual strawberry festival held in their honor yesterday at the farm of C. R. Terry, Clarkson, feasted to their hearts' content on the luscious red berries, which were served with rich, country cream. The photograph on the left shows a group of the patients indulging in a "berry feed," while the picture on the right gives a glimpse of members of the Clarkson and Lorne Park Women's Institute, who were hostesses, and who prepared hundreds of boxes of strawberries for the festival.

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SOLDIER PATIENTS HAVE GALA OUTING: TENTH ANNUAL <SPAN ...
The Globe (1844-1936); Jun 26, 1930; ProQuest Historical Newspapers: The Globe and Mail
pg. 16

SOLDIER PATIENTS HAVE GALA OUTING

Tenth Annual Strawberry Festival at Clarkson Farm

Disabled soldiers summering at the beautiful Island Outpost Hospital at Hanlan's Point, including many wheel-chair cases, went berry-picking yesterday. It was the tenth annual strawberry festival at the farm of Mr. and Mrs. A. Terry, Clarkson, where, under the auspices of the Clarkson-Lorne Park Women's Institute, of which Mrs. R. B. Colleton is President, soldiers from Christie Street Hospital, as well as those from the Island, to the number of about 250, were made to feel at home. In addition to being bountifully "kissed by strawberries on the hill," the soldiers enjoyed a feast of sandwiches, cake, and good things galore, including an ample supply of "smokes." Enjoying the feast with them was their padre, Rev. Captain Sydney Lambert, and Mrs. Lambert; also the Visiting Committee of the Red Cross, under the convenership of Mrs. W. F. Harvey. The local committee in charge of arrangements was convened by Mrs. E. D. Almas, assisted by Mrs. B. Dingwall, Mrs. P. Hodgetts, Mrs. Dr. Vernon, Mrs. S. Hewitt, Mrs. S. Huntsman, Mrs. J. Ogden, Mrs. R. Rowe, Mrs. R. Peters, Mrs. S. Hunter, Mrs. Howard Orr, Mrs. C. Moore, Mrs. Redsell and Mrs. W. W. Fraser.

The Rotary Club provided commodious and comfortable motors for the conveyance of the large party to and from the strawberry farm. This service was particularly appreciated by the Island soldiers, who, under the care of Nursing Sisters Miss M. McNaughton, Miss E. McAlpine and Miss M. Walker, were brought across to the city wharf, where their wheel chairs were parked during their motor excursion to Clarkson.

Among the Island Outpost guests invited were: Messrs. W. A. H. Booth, T. J. Miles, A. Burger, J. A. Lee, N. E. Miller, A. W. King, J. Hughes, J. C. Mackay, A. J. Yates, W. Sayer, C. Johns, E. P. McQuade, H. L. Peers, T. MacDougall, M. Phillips, W. Crosbie, F. Tucker, A. Tyrrell, G. Pitman, A. Smol, J. Smith, D. Smith, D. McDonald, W. Duncan, T. Madden and F. Fanning.

They returned to the Island late last evening, tired, but happy, and quite satisfied, after their pleasant day's diversion, to rest a while longer at their pleasant summer home at Hanlan's.

Criteria, s. 27 (3) (b) of the Act

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 27 (3) (b) of the Act. O. Reg. 569/22, s. 1.

(2) Property that has not been designated under Part IV of the Act may be included in the register referred to in subsection 27 (1) of the Act on and after January 1, 2023 if the property meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark. O. Reg. 569/22, s. 1.

(3) For clarity, subsection (2) does not apply in respect of a property that has not been designated under Part IV but was included in the register as of January 1, 2023. O. Reg.

Draft Designation Statement

1040 Welwyn Drive is a two storey house on the west side of Clarkson Road North, just south of Hindhead Road, tucked back yet on Welwyn Drive.

Statement of Cultural Heritage Value or Interest

The property has historical and associative value as it is associated with area pioneers and the annual strawberry festival. The property also yields information that contributes to an understanding of Clarkson's agricultural and community roots.

Heritage Attributes

- The location of the house near Clarkson Road North
- Traditional shape and form of the Bowbeer/Terry (southeast) portion of the house with gables and wraparound veranda
- Traditional windows of the Bowbeer/Terry (southeast) portion of the house

City of Mississauga Corporate Report



Date: May 6, 2025 To: Chair and Members of Heritage Advisory Committee	Originator's files:
From: Raj Sheth, P.Eng, Commissioner of Corporate Services	Meeting date: June 10, 2025

Subject

Proposed Heritage Designation of 972 Clarkson Road South (Ward 2)

Recommendation

That the property at 972 Clarkson Road South (Ward 2) be designated under Part IV of the Ontario Heritage Act for its physical, design, historical, associative and contextual value and that the appropriate City officials be authorized and directed to take the necessary action to give effect thereto, as per the Corporate Report from the Commissioner of Community Services, dated May 6, 2025.

Executive Summary

- Prominent Clarkson citizen Gordon Pattinson built the house on the subject property in the early 1900s, part of a larger farm, which was later subdivided, including Pattinson Crescent to the immediate south.
- It is a rare turn of the century open-gable cottage in Mississauga.
- The property merits designation under the Ontario Heritage Act.

Background

Prominent Clarkson citizen Gordon Pattinson (1885-1973) built the house on the subject property in the early 1900s. The property remained in the family until 1985. In 1967, Pattinson Crescent, to the south of the house, part of the original 23-acre property, was developed, named for the family. Pattinson was a farmer, school trustee, Hydro Commissioner (1941-63) and Hydro Chairman. His family were active members of the Clarkson community; they hosted many events on their property. A location map, photos and a research report are attached as appendices 1 thru 3.

Staff brought a recommendation to designate the property under the Ontario Heritage Act to the Heritage Advisory Committee in February 2024; the recommendation was deferred at the request of the property owner.

Comments

To merit designation under the Ontario Heritage Act a property must meet the criteria for determining cultural heritage value or interest, i.e. it must have physical, design, historical, associative, and/or contextual value, per Ontario Regulation 9/06 (Appendix 4).

The property has physical and design value as a rare turn of the century open-gable cottage in Mississauga. An open-gable cottage is a simple Classical house wherein the façade and gable form a continuous plane with no distinction between the two. The property has historical and associative value due to its association with Gordon Pattinson, for which the nearby street was named.

It has contextual value as it is physically and historically related to its surroundings, including Pattinson Crescent and the former Carmen Church (1764 Lakeshore Road West), which the Pattinsons attended. The designation statement is attached as Appendix 5.

Engagement and Consultation

Heritage Planning staff met with the property owner on site on April 26, 2024 and agreed to modify the description of the heritage attributes of the designation statement. This was followed by a series of e-mails and a virtual meeting on January 16, 2025. A comfort letter addressing the heritage process was sent March 31, 2025 and concurrence for designation was received on April 22, 2025.

Financial Impact

There is no financial impact resulting from the recommendation in this report.

Conclusion

972 Clarkson Road South meets the criteria for determining cultural heritage value or interest, per Regulation 9/06. As such, the subject property merits designation under the Ontario Heritage Act.

Attachments

Appendix 1: Location Map

Appendix 2: Photos

Appendix 3: Research Report

Appendix 4: Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value and Interest

Appendix 5: Proposed Designation Statement (September 2024)



Raj Sheth, P.Eng, Commissioner of Corporate Services

Prepared by: P. Wubbenhorst, Heritage Planner

11/22/2023

Path: I:\cadd\Projects\ReportMaps\237650 Culture Location Map - 1239 Lakeshore Rd E_RPT\ArcGIS\972 Clarkson Road South\972



972 CLARKSON ROAD SOUTH

 972 Clarkson Road South

0 50 100
metres









Heritage Property Research Report



Source: <https://www.mississauga.ca/apps/#/property/view/heritage>

972 Clarkson Rd. South

Report prepared by: Maysoon Sheikh

For: Heritage Planning and Indigenous Relations

Culture Division

October 2023

Executive Summary

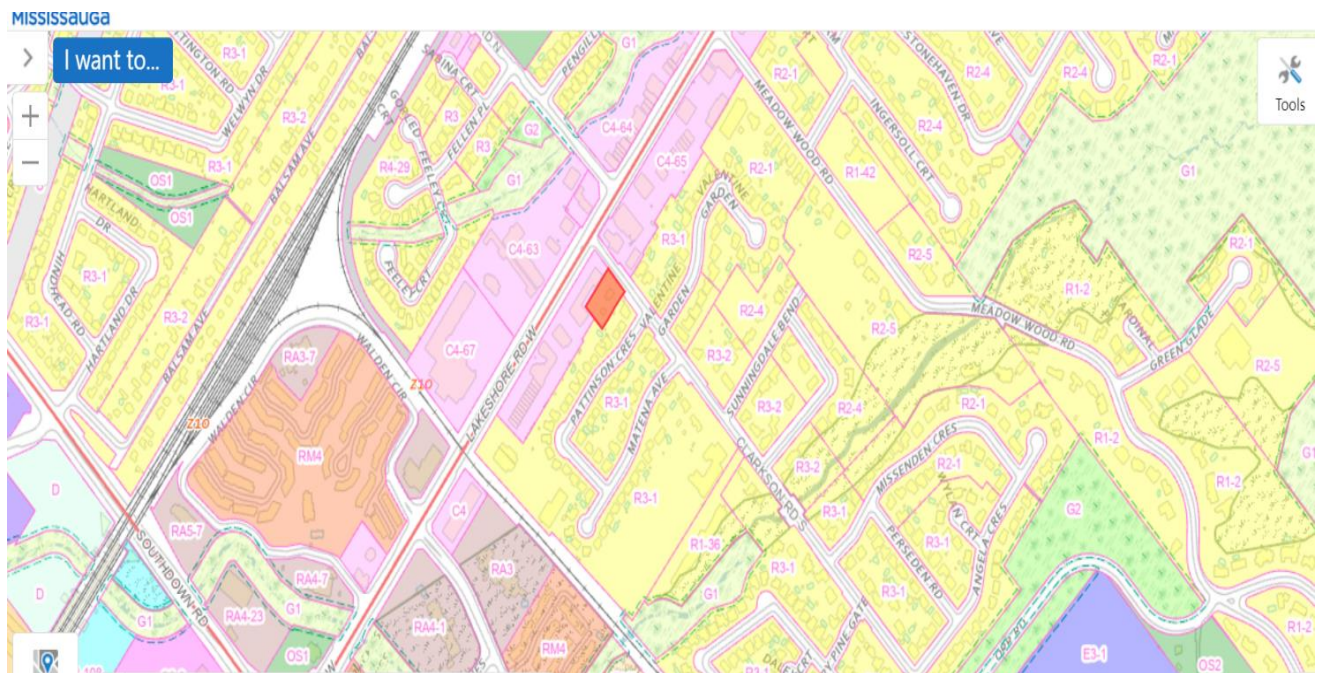
- Pattinson House was built in 1915 by Gordon Pattinson on 23 acres of land that was purchased from Andrew Orr.
- The house is an example of a nineteenth-century vernacular farmhouse with some Victorian influence.
- The property is significant for its connections to early Clarkson families such as the Oliphants and Specks.

Introduction

This report examines the history, architecture, and genealogical connections of the property at 972 Clarkson Road South and considers its designation as a heritage site under the criteria prescribed by the Province of Ontario in Part IV of the Ontario Heritage Act. The property was listed on the heritage inventory in December, 1999.

Property Description

This two storey red brick home was built as a residence for Gordon Pattinson in 1915. Today, it serves as the offices for Garvey and Garvey LLP Barristers and Solicitors. It is located south of Lakeshore Road West and north of Orr Road.



Source: <http://www6.mississauga.ca/missmaps/#map=18/-8863622.42/5390861.74/0>

Relevant Historical Timeline

Date	Event
1906	Gordon Pattinson purchases 23 acres of land from Andrew Orr for \$5500.
1915	Pattinson builds a home on the land he purchases from Orr.
1973	Pattinson passes away and leaves the home to his daughter, Kathleen.
1985	Kathleen sells the Pattinson family home to Shoreacres Property and Investments Ltd. for \$100,000 and moves to a condo on Inverhouse Drive.
1985	Michael Garvey purchases the home and turns it into an office for his law firm.

Relevant Family History

Gordon Pattinson built this house in 1915 on 23 acres of land that he purchased from Andrew Orr in 1906 for \$5500. He farmed a variety of vegetables and fruits such as apples, pears, and strawberries on his property.

Gordon married the daughter of Thomas and Mary Oliphant, Armadell (Dell). They raised their two children, Tom and Kathleen, in this house, which remained in the family until 1985.

Gordon and his family were active in the local community, attending Carman Methodist Church along with many other early Clarkson settlers such as the Oliphants, Hodgetts, and Wests. Dell was also involved with the Clarkson-Lorne Park Women's Institute. Below is an image of her with some of the other members (third from the left).



Source: "Clarkson Women's Institute Members", Mississauga Library System, Historical Image Gallery

Gordon served as a trustee for Clarkson School #6. He was also Hydro Commissioner from 1941 to 1963 and Chairman from 1948-1949 and 1953-1959.

Dell passed away in 1955 (aged 70) and Gordon passed away in 1973 (aged 89), leaving their daughter, Kathleen, with the house. She remained there until 1985 when she sold it to Shoreacres Property and Investment Ltd. for \$100,000. Today, the property is owned by Garvey and Garvey Barristers and Solicitors.

One example of the Pattinson family's importance to the Clarkson area is the naming of Pattinson Crescent just south of Pattinson House; this street lies on a portion of the original Pattinson farm.



Kathleen Pattinson

Source: Kathleen Hicks, *Clarkson and its Many Corners* (Mississauga: The Friends of the Mississauga Library System, 2011), 148.

Harry Pattinson/Robert William Speck

Some of Gordon's more notable relations were members of his brother, Harry's, family. Harry's daughter, **Enid**, married **Robert William Speck**, who served as the first mayor of Mississauga in 1968. While in office, Speck suffered two heart attacks and was eventually told that his heart condition was terminal. This led to him undergoing a new medical procedure, the heart transplant, in 1971; Speck was the 18th person to receive a heart transplant in Canada. Below is an image of Mayor Speck alongside his family.



Source: Kathleen Hicks, *Clarkson and its Many Corners* (Mississauga: The Friends of the Mississauga Library System, 2011), 142.

Architect

Gordon Pattinson built this home as a residence for his family in 1915.

Architectural Description

Built in 1915, this two storey red brick building features a gable roof and a covered porch that wraps around the front façade (facing east) to the north side. Circular windows appear in the gables while the rest of the building features double hung windows. A bargeboard was likely added to the gables at a later point. The building has a stone foundation.

The Pattinson house is an example of a nineteenth-century vernacular farmhouse. The gable roof, wraparound veranda, red brick, and bargeboard are also reflective of the property's Victorian style.

Below are images of the house from different angles depicting some of the architectural features discussed above.



Front east façade



North façade



North-west angle



West rear facade

This an image of the stone foundation of the property (taken on the south side of the house).



Other Buildings of the Same Style

Other notable buildings of the same style include the William Clarkson House which is another example of a nineteenth-century vernacular farmhouse. Both homes feature a gable roof wraparound verandah.

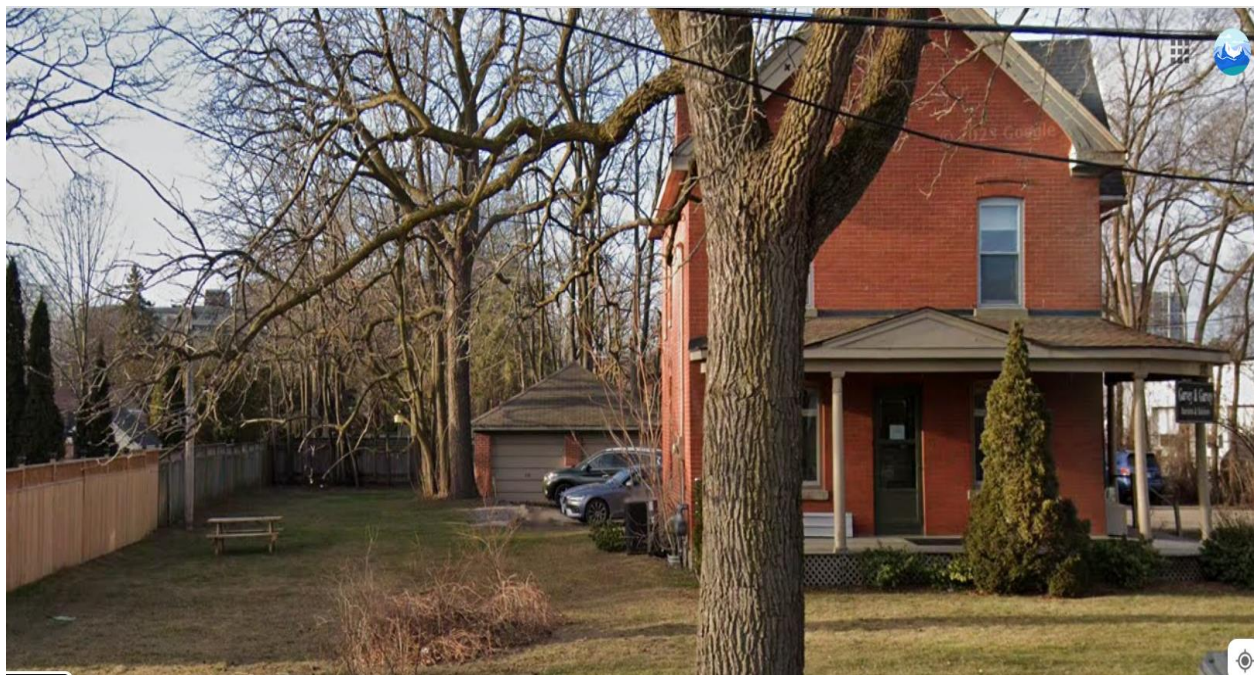
Context

972 Clarkson Rd. S. is located north of Orr Rd. in the Clarkson neighbourhood. The house is situated on a rectangular lot adjacent to the Mississauga Auto Centre and is surrounded by other single-family detached dwellings. The house features a gable roof and a wraparound porch.

The property remained in the Pattinson family for seventy years and was used as a private residence by the family until it was transformed into a law office in 1985.

Property Changes

A permit for a garage was granted to the Pattinson family in 1967. The garage can be seen in this Google Street View from 2021.



Source: Google Maps. Accessed October 9, 2023. <https://tinyurl.com/9extdp6y>

In 1985, Michael Garvey appealed to the Committee of Adjustment to use the single-family detached dwelling as a site for his law firm's business and administrative offices.¹ One of the changes requested was the construction of a parking lot towards the rear of the house. Some neighbours objected to Garvey's application because of concerns that the business would compromise the integrity of this historic site. As such, the Committee of Adjustment approved Garvey's application with certain condition: 1) the parking lot could not be asphalted and could only have a granular or stone base (to allow for proper drainage on the property) and 2) no major

¹ Committee of Adjustment, *Committee of Adjustment Decision in the Matter of Section 44 (1) or (2) of the Planning Act 1983* (Mississauga: 1985). <https://www.mississauga.ca/apps/#/property-preview/compliance-report-coa-text/6671/8262>

changes could be made to the exterior of the house so that its residential character could be maintained.²

Community Engagement

The Pattinson residence was often the site of social gatherings for the Clarkson community. In 1935, Armadell and Gordon celebrated 25 years of marriage by hosting a reception in their home. The event was attended by many local community members who were considered close friends of the Pattinsons. The celebration was described in the *Port Credit News*.

A very enjoyable reception was held at the home of Mr. and Mrs. Gordon Pattinson, of Clarkson on Saturday, June 15th, when they celebrated their twenty-fifth anniversary of their wedding. The home was decorated with spring flowers and the wedding cake was made by Mrs. Pattinson's mother, Mrs. Oliphant. About sixty friends from Toronto, Hamilton, Burlington, Port Credit, and Clarkson, called to offer their congratulations. Mrs. Thomas Oliphant, Mrs. Henry Oliphant, Mrs. Hodgetts, Mrs. Fletcher and Mrs. Langton assisted Mrs. Pattinson and Miss Lorna Trenwith, Miss Enid Pattinson, Miss Kathleen Pattinson waited on the guests in the dining-room.

Source: *The Port Credit News*, June 19, 1935, https://pub.canadiana.ca/view/omcn.PortCreditNews_3/531

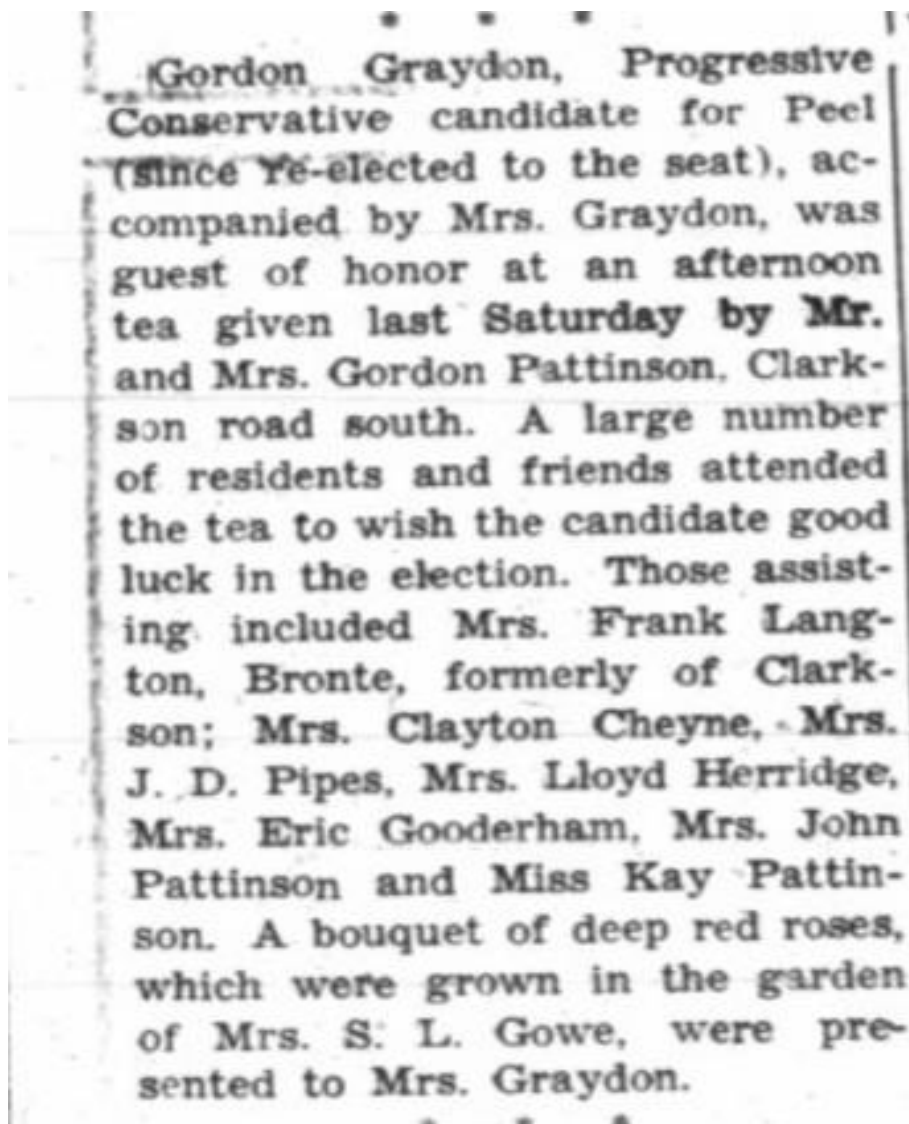
² Ibid.

On their 40th wedding anniversary in 1950, a similar event was held at Pattinson House with over 100 guests in attendance.

Mr. and Mrs. Gordon D. Pattinson, Clarkson road, received over 100 guests at their home on Friday evening, on the occasion of their fortieth wedding anniversary. For the occasion the tea table was beautifully decorated with deep red snapdragons and red tapers. Pouring tea were Mrs. Fred Orr, Mrs. Harry Pattinson, Mrs. Annie Hall and Miss Myrtle Speck, while Mrs. Howard Speck, Mrs. Robert Speck and Miss Kay Pattinson, assisted by Mrs. Frank Langton and Mrs. Roy Terry, served. Many beautiful flowers and gifts were received, among these a bouquet of 40 red roses from their son and daughter Tom and Kay Pattinson. Mr. and Mrs. Pattinson are well known throughout all South Peel, having lived in this area all his life.

Source: *The Port Credit Weekly*, June 22, 1950, https://pub.canadiana.ca/view/omcn.PortCreditWeekly_8/1242

The Pattinsons also hosted an afternoon tea during the summer of 1949; the tea was held in honour of Gordon Graydon, the Progressive Conservative candidate for Peel, who was up for re-election.



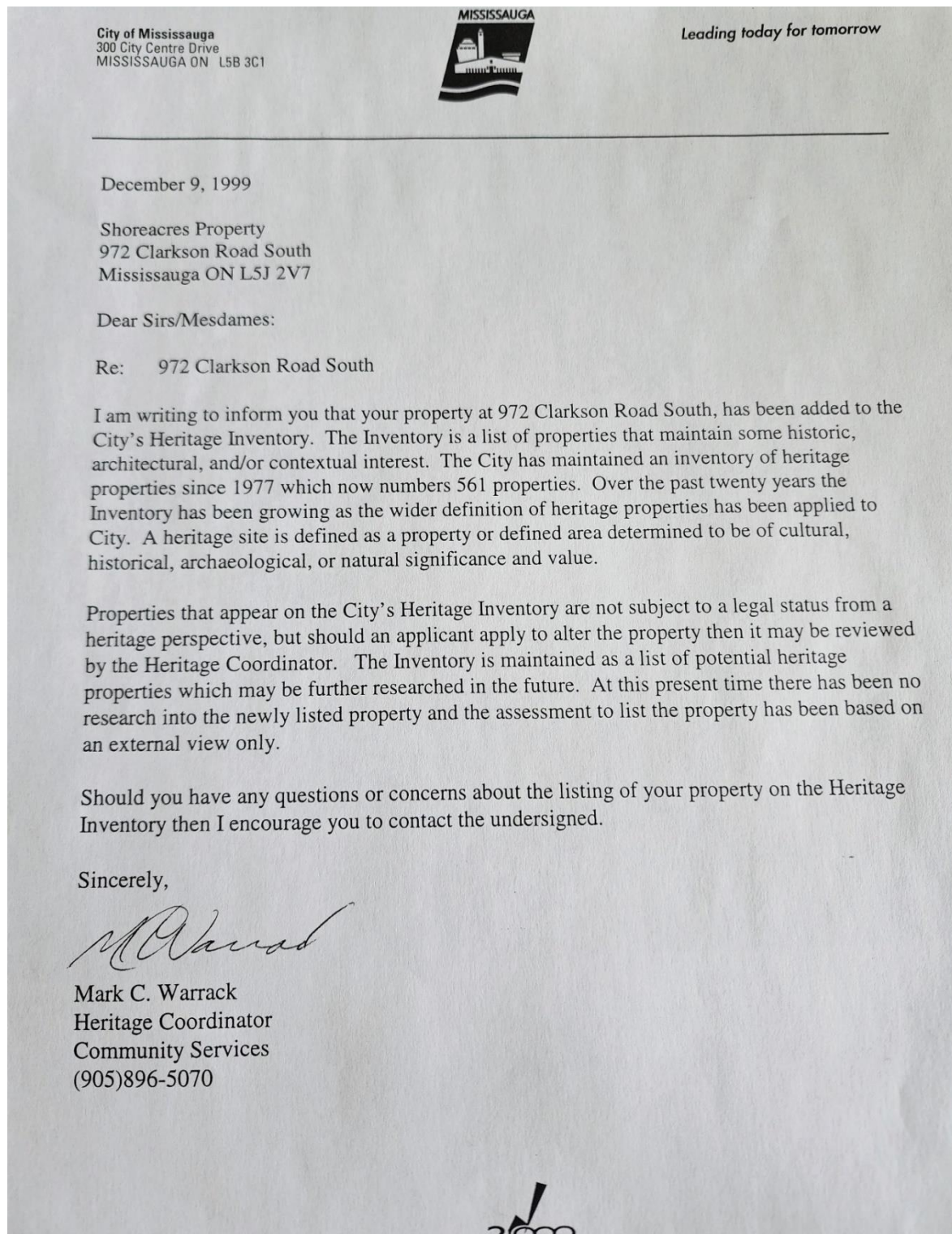
Source: *The Port Credit Weekly*, June 30, 1949, https://pub.canadiana.ca/view/omcn.PortCreditWeekly_8/476

As a member of the Mississauga Lodge, Gordon's home was also open to social gatherings of the masonic order. For instance, in 1946, Armadell held a strawberry party for the Order of the Eastern Star at the Pattinson residence.³ These examples demonstrate that Pattinson House was an important part of Clarkson society.

The Pattinson residence was formally placed on the heritage register in December, 1999 when it was owned by Shoreacres Ltd. The letter below explains that the grounds for listing the property

³ *The Port Credit Weekly*, June 27, 1946, https://pub.canadiana.ca/view/omcn.PortCreditWeekly_6/897.

were based solely on an external view.



Evaluation - Regulation 9/06, the criteria prescribed by the Province of Ontario for municipal designation under Part IV, Section 29 of the Ontario Heritage Act.

Design or Physical Value	
i. is a rare, unique representative or early example of a style, type, expression, material or construction method	X
ii. displays a high degree of craftsmanship or artistic merit	N/A
iii. demonstrates a high degree of technical or scientific achievement	N/A

i. Pattinson House has design value because it is reflective of a nineteenth century vernacular farmhouse that was a testament to the farming lifestyle of Clarkson's earliest settlers. The house has some key architectural features which reflect its Victorian influence. These include the gable roof, the bargeboard, red brick, and wraparound veranda.

Historical or Associative Value	
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	X
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	X
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	N/A

i. The house is directly connected to the Pattinson family who were active in the Clarkson community. Gordon Pattinson served as a trustee for Clarkson School #6 as well as Hydro Commissioner for Toronto Township. Gordon's niece, Enid, was married to the first mayor of Mississauga, Robert Speck.

ii. In 1985, concerned neighbours opposed Michael Garvey's application to transform the property into an office for his law firm. While Garvey's application was approved by the Committee of Adjustment, it stipulated that no changes could be made to the exterior of the building so that it maintained its residential character. This is a testament to the historic value of Pattinson House as well as to its importance to the local community.

Contextual Value	
i. is important in defining, maintaining or supporting the character of an area	X
ii. is physically, functionally, visually or historically linked to its surroundings	N/A
iii. is a landmark	N/A

i. Pattinson House reinforced the importance of farming within the Clarkson area. Gordon Pattinson actively farmed his land with local fruits and vegetables, contributing to the development of Clarkson as a farming community.

Heritage Attributes

- Example of a nineteenth-century vernacular farmhouse built in 1915.
- Exhibits certain Victorian characteristics such as the gable roof, wraparound veranda, red brick, and bargeboard.
- Was home to a prominent Clarkson family, the Pattinsons, who were actively involved in the local community and its affairs.
- Was a site for early Clarkson farming.

Conclusion

972 Clarkson Rd. S. is a unique property that holds historic and architectural value. A vernacular farmhouse built in 1915, it features some key Victorian characteristics and is among a few remaining historic homes in Mississauga.

References

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Français

Ontario Heritage Act

ONTARIO REGULATION 9/06

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

Consolidation Period: From January 1, 2023 to the e-Laws currency date.

Last amendment: 569/22.

Legislative History: [+]

This is the English version of a bilingual regulation.

Criteria, s. 27 (3) (b) of the Act

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 27 (3) (b) of the Act. O. Reg. 569/22, s. 1.

(2) Property that has not been designated under Part IV of the Act may be included in the register referred to in subsection 27 (1) of the Act on and after January 1, 2023 if the property meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark. O. Reg. 569/22, s. 1.

(3) For clarity, subsection (2) does not apply in respect of a property that has not been designated under Part IV but was included in the register as of January 1, 2023. O. Reg. 569/22, s. 1.

Criteria, s. 29 (1) (a) of the Act

2. (1) The criteria set out in subsections (2) and (3) are prescribed for the purposes of clause 29 (1) (a) of the Act. O. Reg. 569/22, s. 1.

(2) Section 1, as it read immediately before January 1, 2023, continues to apply in respect of a property for which a notice of intention to designate it was given under subsection 29 (1.1) of the Act after January 24, 2006 and before January 1, 2023. O. Reg. 569/22, s. 1.

(3) In respect of a property for which a notice of intention to designate it is given under subsection 29 (1.1) of the Act on or after January 1, 2023, the property may be designated under section 29 of the Act if it meets two or more of the criteria for determining whether it is of cultural heritage value or interest set out in paragraphs 1 to 9 of subsection 1 (2). O. Reg. 569/22, s. 1.

Criteria, s. 41 (1) (b) of the Act

3. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 41 (1) (b) of the Act. O. Reg. 569/22, s. 1.

(2) Subject to subsection (3), in the case of a by-law passed under subsection 41 (1) of the Act on or after January 1, 2023, a municipality or any defined area or areas of it may be designated by such a by-law as a heritage conservation district under subsection 41 (1) of the Act if the municipality or the defined area or areas of it meets the following criteria:

1. At least 25 per cent of the properties within the municipality or defined area or areas satisfy two or more of the following:
 - i. The properties have design value or physical value because they are rare, unique, representative or early examples of a style, type, expression, material or construction method.
 - ii. The properties have design value or physical value because they display a high degree of craftsmanship or artistic merit.
 - iii. The properties have design value or physical value because they demonstrate a high degree of technical or scientific achievement.
 - iv. The properties have historical value or associative value because they have a direct association with a theme, event, belief, person, activity, organization or institution that is significant to a community.
 - v. The properties have historical value or associative value because they yield, or have the potential to yield, information that contributes to an understanding of a community or culture.
 - vi. The properties have historical value or associative value because they demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
 - vii. The properties have contextual value because they define, maintain or support the character of the district.
 - viii. The properties have contextual value because they are physically, functionally, visually or historically linked to each other.
 - ix. The properties have contextual value because they are defined by, planned around or are themselves a landmark. O. Reg. 569/22, s. 1.

(3) Subsection (2) does not apply in respect of a by-law passed under subsection 41 (1) of the Act on or after January 1, 2023 if a notice of a public meeting required to be held for the purposes of the by-law under subsection 41.1 (7) of the Act was given before January 1, 2023. O. Reg. 569/22, s. 1.

(4) For clarity, the requirement set out in subsection 41.1 (5.1) of the Act,

- (a) does not apply in respect of a by-law under subsection 41 (1) of the Act that is passed before January 1, 2023; and
- (b) does not apply in respect of a by-law under subsection 41.1 (2) of the Act. O. Reg. 569/22, s. 1.

Français

DRAFT DESIGNATION STATEMENT

972 Clarkson Road South is a two-storey house on the west side of Clarkson Road South, south of Lakeshore Road West.

The house front façade has physical and design value as a rare turn of the century open-gable cottage in Mississauga. An open-gable cottage is a simple Classical house represented on the easterly side of the house where façade and gable form a continuous plane with no distinction between the two. The property has historical and associative value due to its association with Gordon Pattinson, for which the nearby street was named. It has contextual value as it is physically and historically related to its surroundings, including Pattinson Crescent and former Carman Church (1764 Lakeshore Road West), which the Pattinsons attended.

Heritage Attributes:

- The easterly front jogged front façade; its rectilinear proportions and architectural style – contributes to the cultural heritage value of the property because it speaks to the architecture styles prevalent to the period in which it was built, the time of Gordon Pattinson, as well as its location, the former Village of Clarkson.
- Visibility from Clarkson Road South and the fact that the house is setback from the street – contributes to the cultural heritage value of the property because the house is kitty corner to the former Carman Church and relatively proximal to Clarkson Road South, a main transportation corridor through the former Village of Clarkson.
- Unpainted brick on the easterly front jogged front façade – contributes to physical and design value because it speaks to the turn of the century open-gable cottage style
- Vergeboard and cornice returns on the easterly front jogged front façade – contributes to physical and design value because it speaks to the turn of the century open-gable cottage style.
- Regularized rectilinear windows on the easterly front jogged front façade – contributes to physical and design value because it speaks to the turn of the century open-gable cottage style.
- Wraparound front porch on the easterly front jogged front façade – contributes to physical and design value because it speaks to the turn of the century open-gable cottage style
- Minimal embellishment on the easterly front jogged front façade – contributes to physical and design value because it speaks to the turn of the century open-gable cottage style
- Classically styled window headers on the easterly front jogged front façade – contributes to physical and design value because it speaks to the turn of the century open-gable cottage style

- Window sills on the easterly front jogged front façade – contributes to physical and design value because it speaks to the turn of the century open-gable cottage style

City of Mississauga Corporate Report



<p>Date: May 14, 2025</p> <p>To: Chair and Members of Heritage Advisory Committee</p>	<p>Originator's files:</p>
<p>From: Raj Sheth, P.Eng, Commissioner of Community Services</p>	<p>Meeting date: June 10, 2025</p>

Subject

Request to Alter the Heritage Designated Property at 2700 Lakeshore Road West (Ward 2)

Recommendation

That the request to alter the heritage designated property at 2700 Lakeshore Road West (Ward 2), as per the Corporate Report from the Commissioner of Community Services, dated May 14, 2025, be approved.

Executive Summary

- The subject property is designated under the Ontario Heritage Act.
- The City adapted the property into an event facility in 2013, with details in keeping with the original character.
- The rear patio basement level wood doors are not functioning as needed.
- City staff propose metal rear patio doors in place of the non-original wood ones.
- The proposal mimics what is extant, with a more practical material for the weather-beaten location, so should be approved.

Background

The City designated the subject property under Part IV of the Ontario Heritage Act (OHA) in 2009. The City adapted the house, which had more recently been employed as offices, as an event venue in 2013. French doors with side lites replaced the extant non-original sliding glass basement level patio doors as part of the renovation. Photos of the existing doors are attached as Appendix 1. As per section 33 of the Act, alterations are subject to a heritage permit.

Comments

The City requests to replace the non-original wooden patio doors with metal ones mimicking the style of the existing, including full divided lites, for better longevity against the elements. The existing doors are no longer functional and are rotting on the inside and bottom. The operator adds that: "Metal doors will also enhance security." The proposal is attached as Appendix 2. Stylistically, the doors fit with the character of the building. The metal material is more functional in this location. As such, the proposal should be approved.

Financial Impact

There is no financial impact resulting from the recommendation of this report.

Conclusion

The proposed replacement doors are in keeping with the character of the building but with a more durable material, which is needed in this area of the house. As such, the proposal should be approved.

Attachments

Appendix 1: Photos

Appendix 2: Proposal

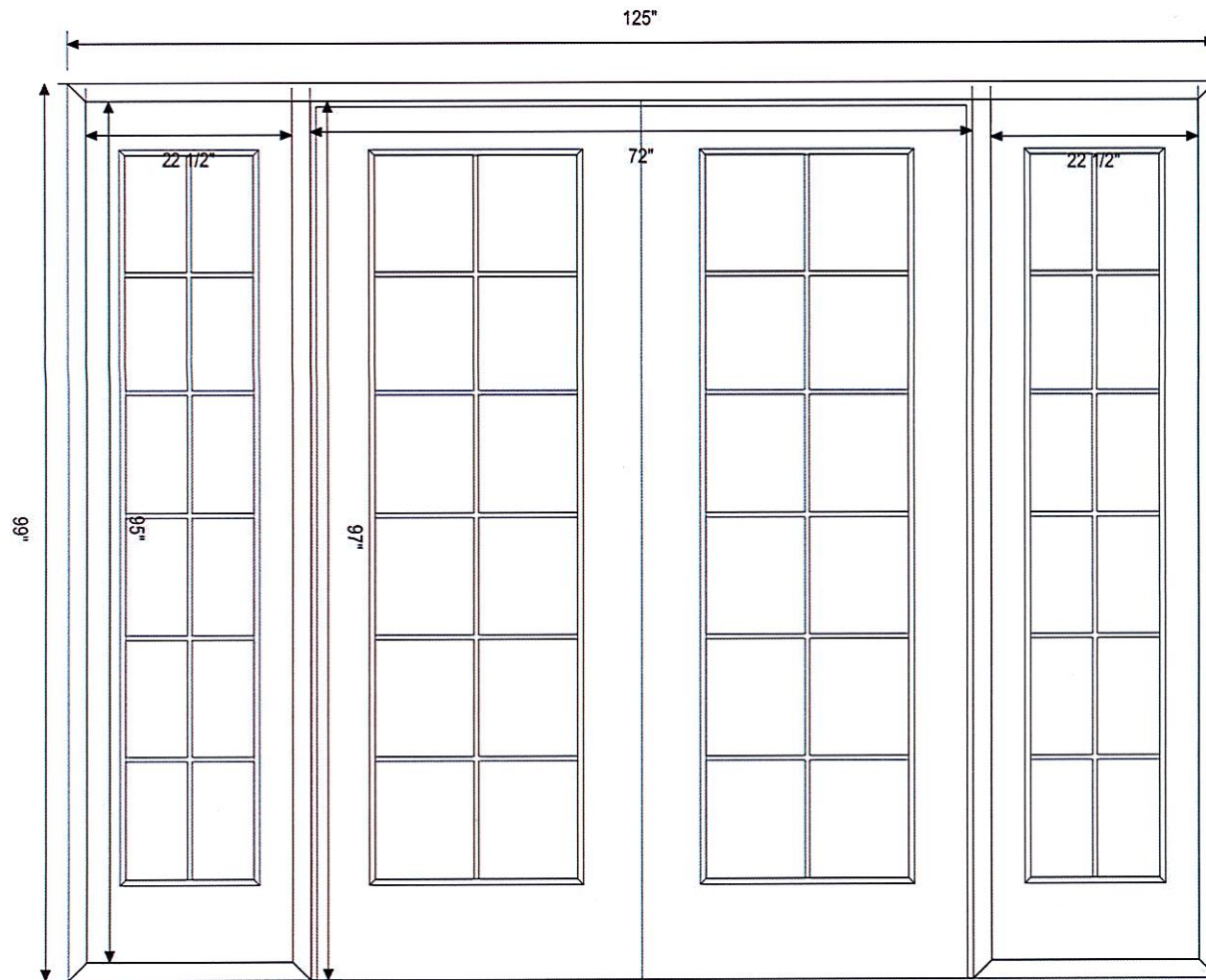


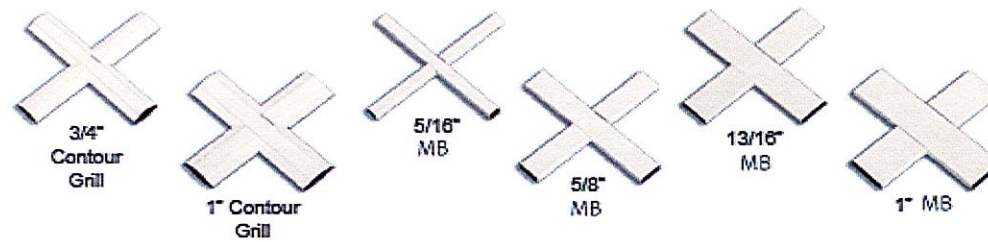
Raj Sheth, P.Eng, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner









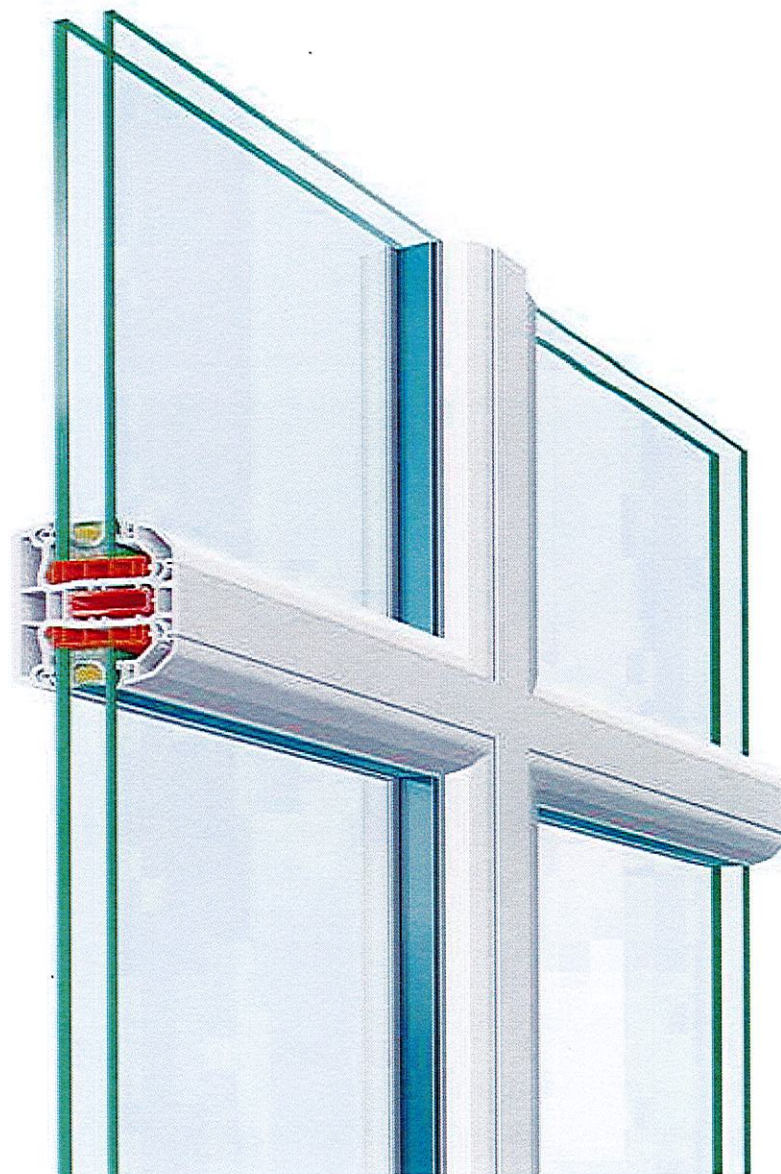
For color and size availability please consult your sales representative

In-glass Muntin Bars (MB) Available In:



For color and size availability
Please consult your sales Representative

- 5/16 MB: White, Beige, Gray, Black
- 5/8 MB: White, Beige, Gray, Black, Hunter Green, Redwood, Brown
- 13/16 MB: White or Beige
- 1" MB: White or Beige
- 3/4" contour grill bar: White, Beige, Black, Brown
- 1" contour grill bar: White, Beige, Black, Redwood, Brown





FULL DIVIDED LIGHT

For an authentic look, full divided light grilles are permanently applied to the interior and exterior of the window with a spacer bar between the glass.



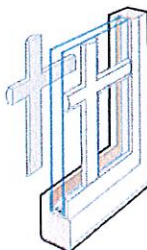
FULL DIVIDED LIGHT WITH ENERGY SPACER

Full Divided light with energy spacer has grilles that are permanently applied to the interior and exterior of the window. The narrow spacer bar minimizes transfer of heat and cold to the interior surface, improving the overall thermal performance. Products will have the same U-Factor, SHGC and visible transmission as they would with simulated divided light grilles.



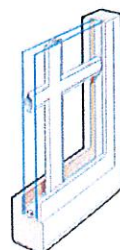
SIMULATED DIVIDED LIGHT

Simulated divided light offers permanently applied grilles on the exterior and interior with no spacer bar between the glass.



SIMULATED DIVIDED LIGHT WITH REMOVABLE INTERIOR GRILLES

Simulated divided light grilles have permanently applied grilles on the exterior and removable interior grilles for easy cleaning.



FINELIGHT™ GRILLES-BETWEEN-THE-GLASS

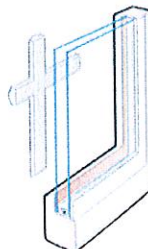
Finelight™ grilles-between-the-glass are located between the panes of glass making windows and doors easy to clean. With a sculpted profile and a two-sided color scheme, they match both the interior and exterior of the window or door.



FINELIGHT™ GRILLES-BETWEEN-THE-GLASS WITH PERMANENT EXTERIOR GRILLES

Finelight™ grilles-between-the-glass are located between the panes of glass making windows and doors easier to clean. The permanent grilles on the exterior provide architectural style and detail.

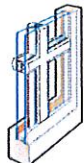


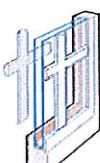



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GRILLE COMPARISON CHART

GRILLE TYPE	PRODUCTS	EASE OF CLEANING	STYLE AUTHENTICITY
 FULL DIVIDED LIGHT	E-Series A-Series 400 Series 100 Series Big Doors Entry Doors	● ○ ○ ○	● ● ● ●
 FULL DIVIDED LIGHT WITH ENERGY SPACER	200 Series* 400 Series* A-Series**	● ○ ○ ○	● ● ● ●
 SIMULATED DIVIDED LIGHT	E-Series† A-Series 400 Series 200 Series 100 Series Big Doors† Entry Doors	● ○ ○ ○	● ● ● ○
 SIMULATED DIVIDED LIGHT WITH REMOVABLE INTERIOR GRILLES	A-Series 400 Series 200 Series Big Doors Entry Doors	● ● ○ ○	● ● ● ○
 FINELIGHT™ GRILLES-BETWEEN-THE-GLASS	E-Series A-Series 400 Series 200 Series 100 Series Big Doors Entry Doors	● ● ● ●	● ○ ○ ○
 FINELIGHT™ GRILLES-BETWEEN-THE-GLASS WITH EXTERIOR GRILLES	100 Series	● ● ○ ○	● ● ○ ○
 REMOVABLE INTERIOR GRILLES	E-Series A-Series 400 Series 200 Series Big Doors Entry Doors	● ● ● ○	● ○ ○ ○

City of Mississauga

Corporate Report



Date: May 8, 2025 To: Chair and Members of Heritage Advisory Committee	Originator's files:
From: Raj Sheth, P.Eng, Commissioner of Community Services	Meeting date: June 10, 2025

Subject

Request to Remove a Heritage Listed Property from the City's Registry: 1147 Dixie Road, (Ward 1)

Recommendation

That the request to remove the property at 1147 Dixie Road (Ward 1) from the City's heritage register as outlined in the corporate report from the Commissioner of Community Services dated May 8, 2025, be approved.

Executive Summary

- Owners of property listed on the City's Heritage Register must provide 60 days notice of their intent to demolish.
- The applicant has demonstrated that the property does not merit designation under the Ontario Heritage Act.
- As such, the property can be removed from the heritage registry and demolished.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings listed on the City's Heritage Register cannot be removed or demolished without 60 days notice. The legislation allows time for Council to consider designating the property under the Ontario Heritage Act.

Comments

The owner of the subject property has applied to remove the subject property from the heritage registry and demolish the existing dwelling. The submitted Heritage Impact Assessment (HIA), attached as Appendix 1, demonstrates that the property does not merit designation under the Ontario Heritage Act. Drawings of the replacement dwelling were not included in the original HIA.

and have been attached to this report as Appendix 2. Staff concur with the report and recommend the property be removed from the City's heritage registry to allow for demolition.

Financial Impact

There are no financial implications resulting from the recommendation of this report.

Conclusion

The owner of the property at 1147 Dixie Road has requested permission to remove the property from the City's Heritage registry and demolish the existing dwelling. The submitted Heritage Impact Assessment demonstrates that the property does not merit designation under the Ontario Heritage Act. As such the property can be removed from the City's heritage register.

Attachments

Appendix 1: Heritage Impact Assessment

Appendix 2: Drawings



Raj Sheth, P.Eng, Commissioner of Community Services

Prepared by: Andrew Douglas, Heritage Analyst, Indigenous Relations, Heritage & Museums

HERITAGE IMPACT ASSESSMENT

1147 Dixie Road, City of Mississauga, ON



FINAL REPORT

Date: 4 March 2025

Project #: LHC0496

LHC Heritage Planning & Archaeology Inc.

400-837 Princess Street
Kingston, Ontario K7L 1G8

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REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

All comments regarding the condition of any buildings on the Property are based on a superficial visual inspection and are not structural engineering assessments unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with any buildings on the property or the condition of any heritage attributes.

Concerning historical research, the purpose of this report is to assess potential impacts to the property. The authors are fully aware that there may be additional historical information that has not been included. Nevertheless, the information collected, reviewed, and analyzed is sufficient to assess potential impacts related to the proposed demolition of the house on the property.

The review of policy and legislation was limited to information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

Archaeological potential has not been assessed as part of this heritage impact assessment. A separate archaeological assessment may be required as part of a complete application.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results, as well as limitations.

LHC Heritage Planning & Archaeology Inc. (LHC) was retained on 16 December 2024 by 400511 Ontario Ltd. (the ‘**Owner**’) to prepare a Heritage Impact Assessment (**HIA**) for the proposed demolition of the c. 1884 two-storey residence, locally known as the Thomas Goldthorpe House, located at 1147 Dixie Road (the ‘**Property**’) in the City of Mississauga (the ‘**City**’), Ontario.

It is understood that the Property is *Listed* on the *Heritage Register for Mississauga* under Section 27 Part IV of the *Ontario Heritage Act* (**OHA**). It is further understood that City Heritage Staff have confirmed the process – in accordance with Section 27 Part IV of the *OHA* – for providing 60 days written notice to the City of intention to demolish the structure along with a completed Heritage Property Application and a HIA.

In LHC’s professional opinion, the Property at 1147 Dixie Road **meets** criterion 4 of *Ontario Regulation 9/06* (**O. Reg. 9/06**) for its historical or associative value because it is directly associated with Thomas Goldthorpe, who served as Councilor, Deputy Reeve, and Reeve for Toronto Township. Because the Property meets one criterion, it is **not eligible** for individual *Designation* under Section 29 Part IV of the *OHA*. Additionally, there are no tangible, physical characteristics present on the Property connected with its historical or associative value. As a result, the Property has no heritage attributes. It is LHC’s professional opinion that the Property does not warrant individual *Designation* under Section 29 Part IV of the *OHA*.

Because the Property is not eligible for individual *Designation* under Section 29 Part IV of the *OHA*, there is no reason, from a purely cultural heritage perspective, that demolition should not be allowed. Mitigation options, conservation methods, and proposed alternatives were not explored.

Per policy 7.5.2.2 in the *Mississauga Official Plan*, documentation of a cultural heritage resource is required prior to demolition or alteration. This HIA should serve as the required documentation.

TABLE OF CONTENTS

1	Introduction.....	1
1.1	Property Location.....	1
1.2	Property Description	1
1.3	Property Heritage Status.....	1
1.4	Adjacent Heritage Properties.....	1
2	Study Approach	5
2.1	Legislation and Policy Review	5
2.2	Historical Research.....	5
2.3	Site Visit and Description of Existing Conditions	6
2.4	Understanding of Cultural Heritage Value or Interest.....	6
2.5	Description of the Proposed Development.....	7
2.6	Impact Assessment	7
2.6.1	<i>Info Sheet #5</i>	7
2.6.2	<i>Standards and Guidelines for the Conservation of Historic Places in Canada</i>	8
2.6.3	<i>Eight Guiding Principles in the Conservation of Historical Properties</i>	9
2.7	Integrity Assessment.....	10
3	Policy and Legislation Context.....	12
3.1	Provincial Context	12
3.1.1	Planning Act, R.S.O, 1990, C. P.13	12
3.1.2	Provincial Planning Statement	13
3.1.3	Ontario Heritage Act, R.S.O. 1990, C. O.18.....	14
3.2	Local Context	15
3.2.1	Region of Peel Official Plan (2022)	15
3.2.2	Mississauga Official Plan (7 August 2024 Consolidation)	15
3.2.3	Lakeview Local Area Plan.....	17
4	Historic Context.....	18
4.1	Pre-Contact History.....	18
4.2	Treaties	19

4.3	Toronto Township and the City of Mississauga	19
4.4	Lakeview	23
4.5	Property History	25
4.5.1	Thomas Goldthorpe (1846-1928)	28
5	Existing Conditions	35
5.1	Surrounding Context	35
5.2	The Property	40
5.2.1	House Exterior	44
5.2.2	House Interior	53
5.3	Architectural and Integrity Assessment	63
5.3.1	Architectural Assessment	63
5.3.1.1	Comparative Analysis	63
5.3.2	Integrity Assessment	67
6	Understanding of Cultural Heritage Value or Interest	71
6.1	Summary of Evaluation	75
6.2	Proposed Statement of Cultural Heritage Value or Interest	75
6.2.1	Statement of Cultural Heritage Value or Interest	75
6.2.2	Heritage Attributes	75
6.3	Integrity Evaluation	75
7	Description of the Proposed Development	77
8	Impact of the Proposed Development	78
9	Mitigation Options, Conservation Methods, and Proposed Alternatives	79
10	Conclusion and Recommendations	80
11	Signatures	81
12	References	82

Appendices

Appendix A Qualifications	86
Appendix B Glossary	89
Appendix C Terms of Reference	92

List of Tables

Table 1. Relevant Policies from the <i>OP</i>	16
Table 2. Relevant Policies from the <i>LLAP</i>	17
Table 3. Properties <i>Designated</i> Under Section 29 Part IV of the <i>OHA</i> Occupied by Buildings with Gothic Revival/Victorian Gothic Influences in the City of Mississauga	64
Table 4. NPS Aspects of Integrity	68
Table 5. <i>Ontario Regulation 9/06</i> Evaluation for 1147 Dixie Road	71
Table 6. Heritage Impact Assessment Terms of Reference	92

List of Images

Image 1. View east showing the driveway connecting 1137, 1147, and 1157 Dixie Road	36
Image 2. View southeast showing the steep embankment separating the Property from Dixie Road	37
Image 3. View southeast showing Dixie Road near the Property	37
Image 4. View west showing Dixie Road near the Property	38
Image 5. View northeast showing the house on the adjacent property at 1157 Dixie Road	38
Image 6. View northeast showing the shed on the adjacent property at 1157 Dixie Road	39
Image 7. View northeast showing the maintenance facility on the adjacent property at 1157 Dixie Road	39
Image 8. View northeast showing the house on the adjacent property at 1137 Dixie Road	40
Image 9. View northeast showing the house on the Property	41
Image 10. View north showing the shed on the Property	41
Image 11. View southwest showing the driveway on the Property	42
Image 12. View northeast showing the driveway on the Property	42
Image 13. View southwest showing the front yard	43
Image 14. View northeast showing the northwest side yard	43
Image 15. View southeast showing the backyard	44
Image 16. View northeast showing the primary, southwest elevation of the house	46
Image 17. View northwest showing the southeast elevation of the house	46
Image 18. View west showing the southeast and northeast elevations of the house	47
Image 19. View southwest showing the northeast elevation of the house	47

Image 20. View northeast showing an uncovered brick section on the southwest elevation ..	48
Image 21. View northeast showing the roof overhang on the main house.....	48
Image 22. View west showing the chimney	49
Image 23. View northeast showing a typical window	49
Image 24. View northeast showing the eastmost window on the first storey.....	50
Image 25. View northeast showing the westmost window on the first storey.....	50
Image 26. View northwest showing the main entrance.....	51
Image 27. View northwest showing the porch	51
Image 28. View northwest showing the entrance on the southeast elevation of the rear wing addition.....	52
Image 29. View southeast showing the eastmost entrance on the northeast elevation of the rear wing addition	52
Image 30. View southwest showing the foyer in the main house.....	54
Image 31. View southwest showing the hallway in the main house	54
Image 32. View west showing the door between the foyer and living room in the main house	55
Image 33. View north showing the living room in the main house	55
Image 34. View northeast showing the fireplace in the living room of the main house.....	56
Image 35. View northeast showing the kitchen in the main house.....	56
Image 36. View southeast showing the bathroom in the first storey of the main house	57
Image 37. View northeast showing the living room/office in the rear wing addition.....	57
Image 38. View north showing the bedroom in the rear wing addition.....	58
Image 39. View northwest showing the bathroom in the rear wing addition.....	58
Image 40. View southeast showing the mudroom in the rear wing addition	59
Image 41. View southwest showing the “U” shaped stairway and hallway in the upper half storey of the main house	59
Image 42. View northwest showing the north bedroom in the main house.....	60
Image 43. View southeast showing the east bedroom in the main house.....	60
Image 44. View southwest showing the west bedroom in the main house	61
Image 45. View southeast showing the bathroom in the upper half storey of the main house	61
Image 46. View northeast showing the basement stairway in the main house.....	62
Image 47. View south showing the basement in the main house	62

List of Figures

Figure 1. Location of the Property 3

Figure 2. Current Conditions of the Property 4

Figure 3. 1859 and 1877 Historic Maps Showing the Property 29

Figure 4. 1909 and 1929 Topographic Maps Showing the Property 30

Figure 5. Harry Colt’s 1911 Plan for the Toronto Gold Club 31

Figure 6. 1954, 1983, 2008, 2009, and 2023 Air Photos Showing the Property 32

Figure 7. View northeast showing the southwest elevation of the house prior to alterations
made in 2004 (image cropped) 33

Figure 8. View west showing the southeast elevation of the house prior to alterations made in
2004 (image cropped) 33

Figure 9. View southwest showing the northeast elevation of the house prior to alterations
made in 2004 (image cropped) 34

Figure 10. View northeast showing the northwest elevation of the house prior to alterations
made in 2004 (image cropped) 34

1 INTRODUCTION

LHC Heritage Planning & Archaeology Inc. (LHC) was retained on 16 December 2024 by 400511 Ontario Ltd. (the ‘Owner’) to prepare a Heritage Impact Assessment (HIA) for the proposed demolition of the c. 1884 two-storey residence, locally known as the Thomas Goldthorpe House, located at 1147 Dixie Road (the ‘Property’) in the City of Mississauga (the ‘City’), Ontario.

It is understood that the Property is *Listed* on the *Heritage Register for Mississauga* under Section 27 Part IV of the *Ontario Heritage Act* (OHA). It is further understood that City Heritage Staff have confirmed the process – in accordance with Section 27 Part IV of the OHA – for providing 60 days written notice to the City of intention to demolish the structure along with a completed Heritage Property Application and a HIA.

This HIA was prepared in accordance with the City’s *Heritage Impact Assessment Terms of Reference* (June 2017) and the Ministry of Citizenship and Multiculturalism’s (MCM) *Ontario Heritage Toolkit* (2006).

1.1 PROPERTY LOCATION

The Property is located in southeast corner of the City and is in the Orchard Heights sub-area of the City’s Lakeview neighbourhood. It is on the northeast side of Dixie Road to the northwest of the Canadian National Railway (Figure 1). The Property is legally described as CON 2 SDS PT LOT 5.

1.2 PROPERTY DESCRIPTION

The Property is a rectangular lot with an area of 1301.48m². It is occupied by a single-detached, “L” shaped, one-and-a-half storey vernacular house built c. 1884 (Figure 2).

1.3 PROPERTY HERITAGE STATUS

The Property is *Listed* on the *Heritage Register for Mississauga* under Section 27 Part IV of the OHA.

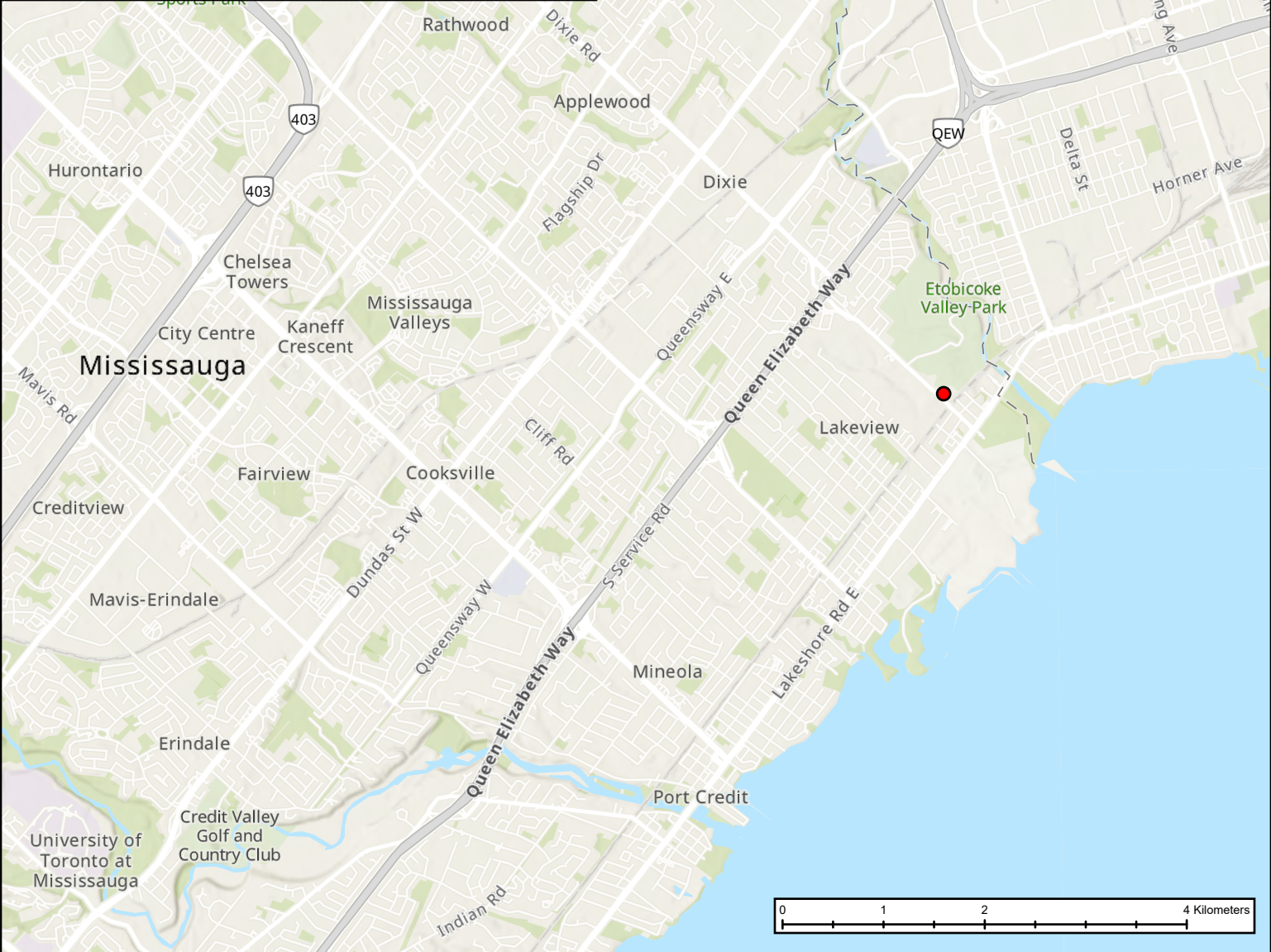
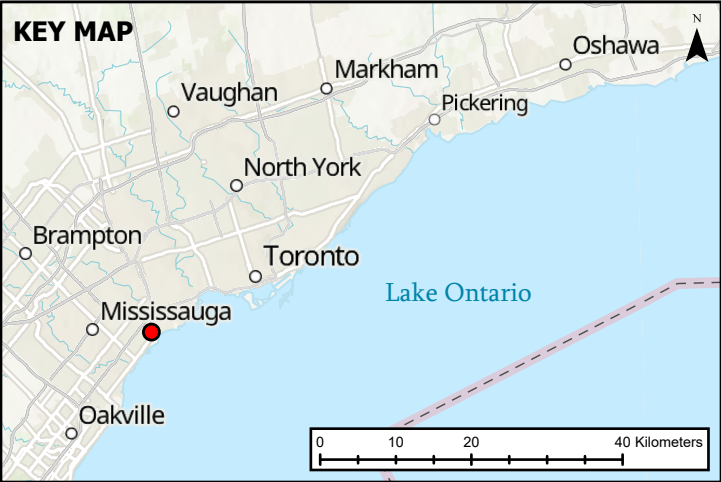
1.4 ADJACENT HERITAGE PROPERTIES

The *Mississauga Official Plan* does not define ‘adjacent’. The *Region of Peel Official Plan* defines adjacent, as it relates to cultural heritage, as “lands that are contiguous to a protected heritage property or as otherwise defined in a local municipal official plan.”¹ Using this

¹ Region of Peel, “Region of Peel Official Plan,” last revised April 2022, accessed 6 December 2024, <https://peelregion.ca/sites/default/files/2024-07/official-plan-review-consolidation-clean%20%281%29.pdf>. 261.

definition, the Property is not adjacent to any properties *Listed* under Section 27 Part IV, *Designated* under Section 29 Part IV, or *Designated* under Section 41 Part V of the *OHA*.

The City conducted a project in 2022 to identify significant Cultural Heritage Landscapes (CHLs). The project identified twenty-eight significant CHLs across the City, of which none include or are adjacent to the Property. One adjacent property – the Toronto Golf Club located at 1305 Dixie Road – was evaluated and recommended for future evaluation as a CHL.



Legend

● Property

NOTE(S) 1. All locations are approximate.
REFERENCE(S) 1. Esri, NASA, NGA, USGS, FEMA, Esri, CGIAR, USGS, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community
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TITLE Location of the Property	
CLIENT 400511 Ontario Ltd.	
PROJECT Heritage Impact Assessment, 1147 Dixie Road, City of Mississauga, ON	
PROJECT NO. LHC0496	
YYYY-MM-DD 2025-01-06	
FIGURE # 1	



Legend

Property

TITLE
Current Conditions of the Property

CLIENT
400511 Ontario Ltd.

PROJECT
Heritage Impact Assessment, 1147 Dixie Road, City of Mississauga, ON

PROJECT NO. LHC0496

NOTE(S) 1. All locations are approximate.
REFERENCE(S) 1. City of Toronto, ON, Peel Region, Maxar, Microsoft
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2 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning, and intervening guidance from the Canada's Historic Places' *Standards and Guidelines for the Conservation of Historic Places in Canada* and the MCM's *Ontario Heritage Tool Kit*.² Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation, and evaluation—when necessary.
- Understanding the setting, context, and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

In the context of this HIA, emphasis was placed on understanding the cultural heritage value or interest of the Property and how the proposed demolition of the c. 1884 house will affect this cultural heritage value or interest.

2.1 LEGISLATION AND POLICY REVIEW

This HIA includes a review of provincial legislation, plans, and cultural heritage guidance, and relevant municipal policy and plans. This review outlines the cultural heritage legislative and policy framework that applies to the Property (see Section 3).

2.2 HISTORICAL RESEARCH

Historical research for this HIA included local history research. LHC consulted primary and secondary research sources, including:

- Local histories;
- Historic maps;
- Aerial photographs; and,
- Online sources about local history.

² Canada's Historic Places, "Standards and Guidelines for the Conservation of Historic Places in Canada", 2010, accessed 6 January 2025, <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>, 3.; Ministry of Citizenship and Multiculturalism (MCM), "Heritage Property Evaluation, Ontario Heritage Tool Kit," Queens Printer for Ontario, Toronto, 18.

Online sources consulted included (but was not limited to):

- Archives of Ontario;
- City of Toronto Archives;
- Internet Archive;
- Library and Archives Canada;
- Ontario Council of University Libraries, Historical Topographic Map Digitization Project;
- Toronto Public Library; and
- University of Toronto Library.

A list of sources consulted in the preparation of this HIA is in Section 12.

2.3 SITE VISIT AND DESCRIPTION OF EXISTING CONDITIONS

A site visit was conducted on 23 January 2025 by Intermediate Heritage Planner, Ben Daub. The purpose of this site visit was to document the current conditions of the Property and its surrounding context. Unless otherwise attributed, all photographs in this HIA were taken during the site visit. A selection of photographs from the site visit that document the property are included in Section 5.

2.4 UNDERSTANDING OF CULTURAL HERITAGE VALUE OR INTEREST

This report evaluates the Property against the criteria described in *Ontario Regulation 9/06 (O. Reg. 9/06)* under the *OHA*. *O. Reg. 9/06* has nine criteria. They are:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.

6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.³

2.5 DESCRIPTION OF THE PROPOSED DEVELOPMENT

A description of the proposed development, based on the Owner's plans at the time of writing, is provided in Section 7 of this HIA.

2.6 IMPACT ASSESSMENT

This impact assessment considers the MCM's *Info Sheet #5*, Canada's Historic Places' *Standards and Guidelines for the Conservation of Historic Places in Canada*, and the Government of Ontario's Eight Guiding Principles in the *Eight Guiding Principles in the Conservation of Historic Properties*, as described below. The impact assessment considers possible direct, indirect or accidental impacts to the Property.

2.6.1 INFO SHEET #5

The HIA is based on guidance from the MCM's *Information Sheet #5: Heritage Impact Assessments and Conservation Plans*.⁴ *Information Sheet #5* outlines seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

1. **Destruction** of any part of any significant heritage attribute or features;
2. **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
3. **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;

³ Province of Ontario, "Ontario Regulation 9/06: Criteria for Determining Cultural Heritage Value or Interest," last modified 1 January 2023, accessed 6 January 2025, <https://www.ontario.ca/laws/regulation/060009>.

⁴ Ministry of Citizenship and Multiculturalism "Heritage Impact Assessments and Conservation Plans, Info Sheet #5," published 2006, accessed 6 January 2025, https://www.cambridge.ca/en/learn-about/resources/East-Galt-HCD/Heritage_Tool_Kit_Heritage_PPS_infosheet.pdf.

4. **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
5. **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
6. **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and,
7. **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.⁵

2.6.2 *STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA*

The *Standards and Guidelines for the Conservation of Historic Places in Canada* (*S&G*) has been adopted by most federal agencies (including Parks Canada), provinces, heritage agencies (such as the Ontario Heritage Trust), and many municipalities, including the City of Toronto, as the guiding document for heritage work. They are considered best practice guidance for heritage conservation in Canada. The City reviews the *S&Gs* as part of heritage permit applications.

The *S&G* document is a tool to help guide change for cultural heritage resources. It provides an overview of the conservation decision-making process, identifies appropriate conservation treatments, and provides standards and guidelines appropriate for conservation. The *S&Gs* view conservation as a sequence of actions — from understanding the historic place, to planning for its conservation and intervening through projects or maintenance. In the context of the *S&Gs*, conservation is understood to embrace several key concepts including preservation, rehabilitation, and restoration. These terms are defined as follows:

Conservation: All actions or processes that are aimed at safeguarding the character-defining elements⁶ of an historic place so as to retain its heritage value and extend its physical life. This may involve Preservation, Rehabilitation, Restoration, or a combination of these actions or processes;

Preservation: The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value;

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component,

⁵ MCM “Heritage Impact Assessments and Conservation Plans, Info Sheet #5,” 3.

⁶ Character-defining element is generally the federal/Parks Canada equivalent of a heritage attribute.

while protecting its heritage value; and,

Restoration: The action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.⁷

The S&Gs includes nine general standards for preservation, rehabilitation, and restoration; three additional standards for rehabilitation; and two additional standards for restoration.

2.6.3 EIGHT GUIDING PRINCIPLES IN THE CONSERVATION OF HISTORICAL PROPERTIES

The *Eight Guiding Principles in the Conservation of Historical Properties* (*Eight Guiding Principles*), compiled by the Ministry of Citizenship and Multiculturalism, are as useful as a tool to help guide change to cultural heritage resources. These principles are intended to provide a basis for decisions concerning “good practice” in heritage conservation. The eight principles are as follows:

1. **Respect for documentary evidence:** Do not base restoration on conjecture. Conservation work should be based on historical documentation, such as historical photographs, drawings and physical evidence.
2. **Respect for the original location:** Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Any change in site diminishes heritage value considerably.
3. **Respect for historical material:** Repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historical content of the resource.
4. **Respect for original fabric:** Repair with like materials, to return the resource to its prior condition without altering its integrity.
5. **Respect for the building's history:** Do not restore to one period at the expense of another. Do not destroy later additions to a house solely to restore it to a single time period.
6. **Reversibility:** Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. For instance, when a new door opening is put in a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

⁷ Canada's Historic Places, “Standards and Guidelines for the Conservation of Historic Places in Canada,” 15-16.

7. **Legibility:** New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.
8. **Maintenance:** With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.⁸

2.7 INTEGRITY ASSESSMENT

In a heritage conservation and evaluation context, the concept of integrity is associated with the ability of a property to represent or support the cultural heritage value or interest of the property or to convey its heritage significance. It is understood as the ‘wholeness’ or ‘honesty’ of a place or if the heritage attributes continue to represent or support the cultural heritage value or interest of the property. Heritage integrity can be understood through how much of the resource is ‘whole’, ‘complete’, changed, or unchanged from its original or ‘valued subsequent configuration’. Changes or evolution to a place that have become part of its cultural heritage value become part of the heritage integrity, however if the cultural heritage value of a place is linked to another structure or environment that is gone the heritage integrity is diminished. Heritage integrity is not necessarily related to physical condition or structural stability.

The *Ontario Heritage Tool Kit* discusses integrity and physical condition in relation to evaluation. However, heritage integrity and physical condition are not part of the evaluation criteria. They are part of understanding a property and its potential cultural heritage resources. The *Ontario Heritage Tool Kit* describes integrity as “a question of whether the surviving physical features (heritage attributes) continue to represent or support the cultural heritage value or interest of the property.”⁹

There are few tools describing a methodology to assess historic integrity. One of the tools comes from the U.S. National Park Service (NPS), which has informed Ontario’s practice, and considers heritage integrity a necessary condition of listing on the National Register. The NPS identifies seven aspects of integrity, degrees and combinations of which can be used to determine if a site has heritage integrity. The seven aspects include: Location; Design; Setting; Materials; Workmanship; Feeling; and Association.¹⁰

⁸ Ministry of Citizenship and Multiculturalism, “Eight Guiding Principles in the Conservation of Built Heritage Properties,” last updated 25 October 2022, accessed 6 January 2025, <https://www.ontario.ca/page/eight-guiding-principles-conservation-built-heritage-properties>.

⁹ MCM, “Heritage Property Evaluation: A Guide to Listing, Researching and Evaluating Cultural Heritage Property in Ontario Communities,” 26.

¹⁰ National Park Service, “Glossary of Terms: Historic Integrity,” <https://www.nps.gov/subjects/nationalhistoriclandmarks/glossary.htm>.

Understanding a place's significance or cultural heritage value or interest helps to identify which aspects of integrity support its heritage value. Furthermore, the heritage integrity of the heritage attributes supports the cultural heritage value or interest of a property. This is an iterative process to assess integrity, evaluate significance and plan appropriate management of a cultural heritage resource.

3 POLICY AND LEGISLATION CONTEXT

3.1 PROVINCIAL CONTEXT

In Ontario, cultural heritage is established as a matter of provincial interest directly through the provisions of the *Planning Act*, *Provincial Planning Statement*¹¹, and the *OHA*. Cultural heritage resources are managed under Provincial legislation, policy, regulations, and guidelines. Other provincial legislation applies to cultural heritage indirectly or in specific cases. The *Environmental Assessment Act* and *Environmental Protection Act* use a definition of “environment” that includes cultural heritage resources, and the *Funeral, Burial and Cremation Services Act* addresses historic cemeteries and processes for identifying graves that may be prehistoric or historic. The *Greenbelt Act*, *Oak Ridges Moraine Conservation Act*, and *Niagara Escarpment Planning and Development Act* enact provincial plans that include intentions and policy to protect and/or conserve cultural heritage. These various acts and the policies and plans under these acts indicate broad support for the protection of cultural heritage by the Province.

3.1.1 PLANNING ACT, R.S.O, 1990, C. P.13

The *Planning Act* is the primary document for municipal and provincial land use planning in Ontario and was most recently revised on 1 January 2025. This Act sets the context for provincial interest in heritage. It states under Part I (2, d):

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.¹²

Details about provincial interest as it relates to land use planning and development in the province are outlined in the *Provincial Planning Statement*, which is used under the authority of Section 3.

¹¹ The *Provincial Planning Statement* came into force on 20 October 2024 and replaced the *Provincial Policy Statement* and the *Growth Plan for the Greater Golden Horseshoe*.

¹² Province of Ontario, “Planning Act, R.S.O. 1990, c. P.13,” last revised 1 January 2025, accessed 6 January 2025, <https://www.ontario.ca/laws/statute/90p13>, Part I (2, d).

3.1.2 PROVINCIAL PLANNING STATEMENT

The *Provincial Planning Statement* (*PPS*) provides further direction for municipalities regarding provincial requirements. The *PPS* addresses cultural heritage in Section 4.6.¹³

Section 4.6 of the *PPS* articulates provincial policy regarding cultural heritage and archaeology. The subsections state:

- 4.6.1. Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.
- 4.6.2. Planning authorities shall not permit development and site alteration on lands containing archaeological resources or areas of archaeological potential unless the significant archaeological resources have been conserved.
- 4.6.3. Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.
- 4.6.4. Planning authorities are encouraged to develop and implement:
 - a) archaeological management plans for conserving archaeological resources; and
 - b) proactive strategies for conserving significant built heritage resources and cultural heritage landscapes.
- 4.6.5. Planning authorities shall engage early with Indigenous communities and ensure their interests are considered when identifying, protecting and managing archaeological resources, built heritage resources and cultural heritage landscapes.¹⁴

Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the *PPS*. The *PPS* makes the consideration of cultural heritage equal to all other considerations in relation to planning and development within the province.

A HIA may be required by a municipality in response to Section 4.6.1 and 4.6.3 of the *PPS*. Conservation may be achieved by the implementation of recommendations set out in a HIA that has been approved, accepted, or adopted by the relevant planning authority and/or

¹³ Province of Ontario, "Provincial Planning Statement," October 2024, accessed 6 January 2025, <https://www.ontario.ca/files/2024-10/mmah-provincial-planning-statement-en-2024-10-23.pdf>.

¹⁴ Province of Ontario, "Provincial Planning Statement," 28.

decision maker. A HIA can include mitigative measures and/or alternative development approaches.

The Property is *Listed* under Section 27 Part IV of the *OHA* and is therefore not considered a ‘Protected Heritage Property’ under the *PPS*. This HIA has been prepared to satisfy cultural heritage planning measures implemented by the City.

3.1.3 ONTARIO HERITAGE ACT, R.S.O. 1990, C. O.18

The *OHA* (revised on 4 December 2024) enables the provincial government and municipalities with powers to conserve, protect, and preserve the heritage of Ontario. The *OHA* gives municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest.¹⁵ It also requires municipalities to keep a register of properties in the municipality that are of cultural heritage value or interest (Municipal Heritage Register). There are two types of heritage properties under the *OHA*, *Designated* properties and *Listed* properties. Conditions surrounding *Listed* properties are relevant to this HIA.

Properties can be *Listed* on a Municipal Heritage Register. *Listing* applies to real property. The original *OHA*—from 1975 to 2005—only allowed *Designated* properties to be included on a Municipal Heritage Register. In 2005 the *OHA* was amended to allow *Listed* or non-designated properties to be added. This allowed any property that municipal council believed to have cultural heritage value or interest to be added as a *Listed* property. On 1 January 2023 amendments to the *OHA* required a *Listed* property to meet at least one of the criteria from *O. Reg. 9/06* before the property can be included on the Municipal Heritage Register. These amendments also require a municipality to *Designate* the property under Section 29 or remove it from the Municipal Heritage Register within a period of two years of listing, or by 1 January 2025 for properties on the Register on 31 December 2022. In 2024 this was extended to 1 January 2027.

Property owners are allowed to make changes to a *Listed* property—generally—without obtaining written consent from Municipal Council with one exception. Section 27(9) prohibits an owner of a *Listed* property from demolishing or removing a building or structure or permitting the removal or demolition of a building or structure from the property unless they give municipal council at least 60 days’ notice in writing of their intention to demolish or remove, or permit the demolition or removal of a building or structure from the property.

The municipality has until 1 January 2027 to decide whether to *Designate* currently *Listed* properties under Section 29 of the *OHA* or to remove them from the Municipal Heritage

¹⁵ Province of Ontario, “Ontario Heritage Act, R.S.O. 199, c. O.18.,” last revised 4 December 2024, 6 January 2025, <https://www.ontario.ca/laws/statute/90o18>.

Register. *Designation* would require the municipality to demonstrate that the Property meets at least two criteria from *O. Reg. 9/06*.

3.2 LOCAL CONTEXT

3.2.1 REGION OF PEEL OFFICIAL PLAN (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 through By-law 20-2022 and was approved with modifications by the Ministry of Municipal Affairs and Housing on 4 November 2022. As of 1 January 2025, the Region of Peel is considered an upper-tier municipality without planning responsibilities pursuant to Bill 23. The Region of Peel's three local area municipalities – including the City of Brampton – have adopted the *ROP* as official planning guidance.

The *ROP*'s purpose is to guide land use planning policies and “provide a holistic approach to planning through an overarching sustainable development framework that integrates environmental, social, economic and cultural imperatives.”¹⁶ The *ROP* recognizes the importance of cultural heritage for the region to develop healthy and sustainable communities. Section 3.6 of the *ROP* establishes policies surrounding the identification and management of cultural heritage resources, the lower tier municipalities' ability to require a HIA when an infrastructure project is proposed, and the requirement of lower tier municipalities to adopt official plan policies requiring sufficient documentation for projects affecting cultural heritage resources.

3.2.2 MISSISSAUGA OFFICIAL PLAN (7 AUGUST 2024 CONSOLIDATION)

The *Mississauga Official Plan (OP)* was adopted by municipal council in 2010 and was most recently consolidated on 7 August 2024. Policies pertaining to heritage planning are in section 7.5 of the *OP*. Relevant policies are included in Table 1.

The *Mississauga Official Plan* does not define ‘cultural heritage resource’ or ‘built heritage resource’. The *Region of Peel Official Plan* defines ‘cultural heritage resource’ as:

[B]uilt heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation.¹⁷

¹⁶ Region of Peel, “Region of Peel Official Plan,” 1.

¹⁷ Region of Peel, “Region of Peel Official Plan,” 266.

The *Region of Peel Official Plan* defines ‘built heritage resource’ is defined as:

[O]ne or more buildings, structures, monuments, installations, or any manufactured or constructed part of remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on a property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included in local, provincial, federal and/or international registers.”¹⁸

Table 1. Relevant Policies from the *OP*¹⁹

Policy #	Policy
7.5.1.2	Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.
7.5.1.3	Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.
7.5.1.10	Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.
7.5.1.12	The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction
7.5.1.13	Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.
7.5.1.14	Cultural heritage resources will be integrated with development proposals.
7.5.2.2	Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This documentation may be in the form of a Heritage Impact Assessment.

¹⁸ Region of Peel, “Region of Peel Official Plan,” 264.

¹⁹ City of Mississauga, “Mississauga Official Plan,” last consolidated 7 August 2024, accessed 6 January 2025, <https://www.mississauga.ca/projects-and-strategies/strategies-and-plans/mississauga-official-plan/>, 7-11 – 7-13.

3.2.3 LAKEVIEW LOCAL AREA PLAN

The *Lakeview Local Area Plan (LLAP)* was adopted under Section 16.13 of the City's *OP* and it provides specific policy guidance for the Lakeview neighbourhood in the City's southeast corner. Relevant policies for this HIA in the *LLAP* are included in section 8.2, cultural heritage, and section 8.4, distinct identity and the waterfront. Relevant policies are listed in Table 2. Section 10 of the *LLAP*, entitled 'desirable urban form', gives effect to the *Lakeview Built Form Standards (LBFS)*. Section 2.4 of the *LBFS* states:

Properties designated or listed on the Heritage Register will be preserved in their existing location. Any development will incorporate these structures in the design of the proposal. Any changes to these structures or developments adjacent to these structures will require a Heritage Impact Assessment and may have additional requirements. Additional requirements may include, but are not limited to, a review and recommendation by the Heritage Advisory Committee. New buildings will not visually impede the setting of listed/ designated heritage buildings and cultural landscapes. Where heritage buildings are low-scale, taller buildings will respect and reflect the unique character, topography and materials of the surrounding historic buildings. All new buildings will preserve and enhance the character and appearance of the setting of the adjacent listed/properties.²⁰

Table 2. Relevant Policies from the *LLAP*²¹

Policy #	Policy
8.2.1	Cultural heritage sites are places that have the opportunity to provide attractive streetscape. Streetscape improvements are encouraged to accentuate the site through landscaping, signage, lighting, benches, public art, interpretive signs, or other means.
8.4.2	The distinct identity of the existing Neighbourhoods will be maintained by preserving the scale and character of the built environment.

²⁰ City of Mississauga, "Lakeview Built Form Standards," published September 2015, accessed 6 January 2025, <https://www.mississauga.ca/wp-content/uploads/2024/11/08144606/mississauga-official-plan-lakeview-local-area-plan-august7-2024.pdf>, 11-12.

²¹ City of Mississauga, "Lakeview Local Area Plan," published 1 August 2018, accessed 6 January 2025, <https://www.mississauga.ca/wp-content/uploads/2024/11/08144606/mississauga-official-plan-lakeview-local-area-plan-august7-2024.pdf>, 32.

4 HISTORIC CONTEXT

4.1 PRE-CONTACT HISTORY

The pre-European contact (pre-contact) history of this area is long and diverse. Archaeologists generally divide the chronology of pre-European contact land use in Southern Ontario into three primary periods based on characteristics of settlement patterns and material culture: Palaeo, Archaic, and Woodland.

Southern Ontario became open to settlement following the final retreat of the Laurentide Ice Sheet, which had covered much of the Great Lakes area until approximately 12,000 B.P. The earliest human occupation of Southern Ontario dates to 11,000 B.P. During this archaeological period, known as the Palaeo period (9500-8000 BCE), the climate was similar to the modern sub-arctic; and vegetation was dominated by spruce and pine forests. The initial occupants of the province, distinctive in the archaeological record for their stone tool assemblage, were nomadic big-game hunters (i.e., caribou, mastodon, and mammoth) living in small groups and travelling over vast areas of land, possibly migrating hundreds of kilometers in a single year.²²

During the Archaic archaeological period (8000-1000 BCE) the occupants of southern Ontario continued to be migratory in nature, although living in larger groups and transitioning towards a preference for smaller territories of land – possibly remaining within specific watersheds. The stone tool assemblage was refined during this period and grew to include polished or ground stone tool technologies.²³

The Woodland period in southern Ontario (1000 BCE–CE 1650) represents a marked change in subsistence patterns, burial customs and tool technologies, as well as the introduction of pottery making. The Woodland period is sub-divided into the Early Woodland (1000–400 BCE), Middle Woodland (400 BCE–CE 500) and Late Woodland (500-1650 CE). During the Early and Middle Woodland, communities grew in size and were organized at a band level. Subsistence patterns continued to be focused on foraging and hunting. There is evidence for incipient horticulture in the Middle Woodland as well as the development of long-distance trade networks. The Late Woodland period (ca. 500-1650 CE) is marked by the establishment of

²² Ellis, C. and Deller, D.B. “Paleo-Indians,” in *The Archaeology of Southern Ontario to A.D. 1650*, ed. Christopher Ellis and Neal Ferris (London, ON: Ontario Archaeological Society, London Chapter, 1990).

²³ Toronto Region Conservation Authority. “Chapter 3: First Nations,” in *Greening Our Watersheds: Revitalization Strategies for Etobicoke and Mimico Creeks*. prepared by the Toronto Region Conservation Authority (Toronto, ON, 2001); Watson, G., “Prehistoric Peoples of the Rideau Waterway,” in *Archaeological Historical Symposium: October 2-3, 1982, Rideau Ferry, Ontario*, edited by F.C.L. Wyght, pp. 24–55. Lombardy, Ontario.

larger village sites, sometimes containing dozens of longhouses and fortified with palisade walls. Agriculture increased during this period, as did regional warfare.²⁴

It should be noted that historical documentation related to the location and movement of Indigenous peoples in present-day Southern Ontario is based on the documentary record of the experiences and biases of early European explorers, traders, and settlers. This record provides only a brief account of the long and varied occupation and use of the area by various Indigenous groups known, through oral histories and the archaeological record, to have been highly mobile over vast territories which transcend prevailing modern understandings of geographical boundaries.

4.2 TREATIES

The land comprising the contemporary day City of Mississauga is on the traditional territory of the Mississaugas of the Credit First Nation, the Haudenosaunee Confederacy, the Huron-Wendat, and the Wyandot Nations.²⁵ Several treaties between the Crown and Mississauga peoples were signed, including Treaty 13A, the ‘Mississauga Purchase’, on 2 August 1805 (in interim treaty to Treaty 14); Treaty 14, the ‘Head of the Lake Purchase’, on 12 September 1806; Treaty 19, the ‘Ajetance Purchase’, on 28 October 1818; and Treaties 22 and 23, the ‘Credit Treaties’, on 28 February 1820.²⁶ The Property is on Treaty 14 land.

4.3 TORONTO TOWNSHIP AND THE CITY OF MISSISSAUGA

In 1788, the Province of Quebec’s government created districts and counties to serve as administrative bodies from the local level.²⁷ The first Districts were Hesse, Nassau, Mecklenburg, and Lunenburg. These four Districts would be renamed Western, Home, Midland, and Eastern, respectively, in 1792.²⁸ What would become Toronto Township was in the former Nassau or Home district.

Treaty 14 – which formed Toronto Township – was surveyed in 1805 by Samuel Wilmot immediately following Treaty 13A (in interim treaty to Treaty 14). All the land was surveyed

²⁴ Jackson, L., “Dawson Creek: An Early Woodland Site in South-Central Ontario,” *Ontario Archaeology* 33:12–32; Parker, L.R.B. *The Fitzgerald Site: A Non-Meadowood Early Woodland Site in Southwestern Ontario*. *Canadian Journal of Archaeology* 21(2):121–148; Toronto Region Conservation Authority. “Chapter 3: First Nations.”

²⁵ Mississaugas of the Credit First Nation, “Traditional Territory,” n.d., accessed 9 January 2025, <https://mncfn.ca/about-mncfn/community-profile/>.

²⁶ Heritage Mississauga, “History of Mississauga,” n.d., accessed 9 January 2025, http://www5.mississauga.ca/rec&parks/websites/museums/pdfs/history_of_mississauga.pdf; Province of Ontario, “Map of Ontario treaties and reserves,” last updated 23 April 2023, accessed 9 January 2025, <https://www.ontario.ca/page/map-ontario-treaties-and-reserves>.

²⁷ Archives of Ontario, “*The Changing Shape of Ontario: Early Districts and Counties 1788-1899*,” *Government of Ontario*, accessed 12 September 2023, <http://www.archives.gov.on.ca/en/maps/ontario-districts.aspx>.

²⁸ Archives of Ontario, “The Changing Shape of Ontario.”

aside from the land within one mile of the banks of the Credit River, which was retained by the Mississaugas of the Credit. Dundas Street was used as the baseline for the survey. Two concessions were created to the north of Dundas Street (between Dundas Street and the Base Line – now Eglinton Avenue) and three concessions were created to the south of Dundas Street (between Dundas Street and Lake Ontario). The survey was completed in the spring of 1806, and settlement began immediately. Little is known about the early settlers in Toronto Township; however, United Empire Loyalists and immigrants from the British Isles and United States were among the primary groups in the area. Early settlement primarily occurred on the concessions adjacent to Dundas Street. The fertile, well-drained soil conditions attracted settlers and provided optimal conditions for farms. A census conducted in 1809 identified a population of 175 in Toronto Township.²⁹

By the beginning of the War of 1812, settlement in Toronto Township slowed. Although the population stagnated, economic activity increased because of an increased demand for farmed goods. Additionally, inland transportation became much more common, owing to curtailed transportation on Lake Ontario. This directly led to roadway improvement on Dundas Street.³⁰ Immigration resumed in 1815 following the war and was dominated by immigrants from the British Isles. Immigration from the United States remained slow, due largely to regulations regarding property ownership in Upper Canada following the war.³¹

Toronto Township was expanded northward following Treaty 19 in 1818. Richard Bristol, with the financial support of Timothy Street, surveyed land included in Treaty 19 using Hurontario Street as the baseline. Bristol's survey came to be known as the 'New Survey' and Wilmot's earlier survey was known as the 'Old Survey'. In 1820, the lands included in Treaty 14 were expanded to include the land within one mile of the bank of the Credit River. The Mississaugas of the Credit retained a 200-acre parcel to the west of the mouth of the Credit River.³²

By 1821, Toronto Township reached a population of 803 which was concentrated in numerous hamlets that had been developed by this time. In the 'Old Survey' lands, development was primarily concentrated along Dundas Street in Summerville, Dixie, Credit, and Cooksville. Burhamthorpe was the sole hamlet at the time not directly on Dundas Street. Development on/near Lakeshore Boulevard was slower and was limited to Clarkson and Sheridan at the time. In the 'New Survey' lands, Streetsville, Meadowvale, Churchville, Derby West, and Malton were the main population centres. Population centres situated along the Credit River,

²⁹ Riendeau, R.E., "Mississauga: An Illustrated History," 1st Ed., (Windsor Publication, 1985), accessed from: <https://archive.org/details/mississaugaillus00rien/mode/2up>.

³⁰ Riendeau, R.E., "Mississauga: An Illustrated History."

³¹ Riendeau, R.E., "Mississauga: An Illustrated History."

³² Riendeau, R.E., "Mississauga: An Illustrated History."

including Credit, Streetsville, Meadowvale, and Churchville were among the most populous areas at the time.³³

The ‘Credit Treaties’ (Treaty 22 and Treaty 23) in 1826 were agreements between the Mississaugas of the Credit and the Crown. They involved a 200-acre parcel of land along the Credit River. The Credit Treaties opened additional developable land adjacent to the Credit River and land at the mouth of the river suitable for a port. It was on this land that Port Credit was established. Despite financial support from the government, Port Credit was slow to develop and reached a population of 150 by the early 1840s. In contrast, by the late 1830s, Streetsville had reached a population of 500. By around 1850, Streetsville and Port Credit had become the two largest villages in Toronto Township, reaching populations of around 1,000 and 400, respectively.³⁴

In 1849, the District governance system was dissolved in favour of administering government at a smaller, county level. The County of Peel was established in 1851 as a subsection of the United Counties of York, Ontario, and Peel, and included the Townships of Toronto, Toronto Gore, Chinguacousy, Caledon, and Albion.³⁵ In 1854, Ontario County separated from the United Counties.³⁶ Economic shifts followed shortly after these political changes, primarily through the construction of the Great Western Railway and the Grand Trunk Railway, which were developed in 1855 and 1856, respectively. The Great Western Railway was built through the ‘Old Survey’ lands, and it ran adjacent to Lakeshore Boulevard (to its northwest). Stations were constructed in Clarkson and Port Credit. The Grand Trunk Railway was built through the northmost corner of the ‘New Survey’ lands and a station was built in Malton.³⁷

The arrival of the railways resulted in different effects for the various villages and hamlets in Toronto Township. Port Credit experienced economic decline because inland trading routes on the railway system gained popularity over waterway shipping channels. In response, Port Credit’s economy shifted from a shipping/port centre to stonehooking, fishing, and sport boating. Streetsville, in addition to many of the other villages and hamlets in Toronto Township, also experienced economic decline because they were not connected to the newly developed railroad and were therefore in a disadvantaged position in contrast with settlement areas with railroad stations. Conversely, Malton developed into a major storage and marketing village following construction of the Grand Trunk Railway.³⁸

³³ Riendeau, R.E., “Mississauga: An Illustrated History.”

³⁴ Riendeau, R.E., “Mississauga: An Illustrated History.”

³⁵ Archives of Ontario, “The Changing Shape of Ontario.”

³⁶ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

³⁷ Riendeau, R.E., “Mississauga: An Illustrated History.”

³⁸ Riendeau, R.E., “Mississauga: An Illustrated History.”

In 1856, the provincial legislature passed ‘An Act to Provide for the Separation of the County of Peel from the County of York’. A provisional municipal council for the County of Peel was subsequently established, with Joseph Wright serving as the reeve. To separate, consent from a majority of eligible voters, selection of a County Seat, and construction of necessary civic infrastructure (courthouse and jail) was required. It was not until 1865 that Brampton was officially selected as the County Seat for the County of Peel. On 1 January 1867, the union between Peel and York was dissolved.³⁹ During this timeframe, Streetsville was incorporated as a village.⁴⁰

Another wave of economic decline in Toronto Township followed the creation of Peel Region, primarily resulting from Brampton being named County Seat. Because of this, many new and existing businesses moved or were established in Brampton. This effect was particularly notable in several villages and Hamlets in Toronto Township including Churchville, Malton, and Streetsville. Construction and operation of the Credit Valley Railway by 1879, which provided a direct connection between several additional village in Toronto Township – including Streetsville – and the City of Toronto, stimulated development; however, by this time, Brampton had become the economic centre of Peel County.⁴¹

Towards the end of the 19th century, the population shifted from rural farming communities to industrial centres. During this period, many inhabitants of Toronto Township moved to larger economic centres including Brampton, Toronto, and Hamilton. By 1901, Toronto Township had a population of 5,208.⁴² Nevertheless, development continued. Pre-WW1 suburban migration resulted in an influx of people from larger industrial centres. Although limited at first due to its distance from major centres, Toronto Township experienced some growth from these migration patterns.⁴³

In 1913, the federal government purchased 360-acres of land to establish a rifle range. Shortly thereafter, the Air Force purchased adjacent land for training purposes. To support ongoing federal investment and development, infrastructure improvements, including the paving of Lakeshore Road between Hamilton and Toronto in 1914, were completed. Following WW1, improved the improved transportation network coupled with the more widespread uptake of the motor car supported ongoing development.⁴⁴

³⁹ Corporation of the Town of Brampton, “Brampton Centennial Souvenir 1853-1953,” (Toronto, ON: Charters Publishing Company Limited, 1953), <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>, 29.

⁴⁰ Riendeau, R.E., “Mississauga: An Illustrated History.”

⁴¹ Riendeau, R.E., “Mississauga: An Illustrated History.”

⁴² Riendeau, R.E., “Mississauga: An Illustrated History.”

⁴³ Riendeau, R.E., “Mississauga: An Illustrated History.”

⁴⁴ Riendeau, R.E., “Mississauga: An Illustrated History.”

In 1966, A municipal consultant from Montreal named Thomas J. Plunkett released the *Peel-Halton Local Government Review*, which had been commissioned by the Ontario Department of Municipal Affairs. This report recommended a two-tiered government system that would create the ‘Urban County of Mississauga’ composed of Burlington, Oakville, Brampton, and the new (recommended) Town of Mississauga and the Rural County of Peel-Halton, composed of the other land in these existing counties. This plan was never adopted; however, it served as the impetus for amalgamating the Township of Toronto, Port Credit, and Streetsville.⁴⁵

Toronto Township emerged as a manufacturing centre at the outbreak of WW2. During the middle of the 20th century, several large corporations purchased and developed land in Toronto Township, including the Small Arms Company, National Steel Car Company (later the Victory Aircraft Company), A. V. Roe Aircraft Company, St. Lawrence Starch Company, Ontario National Brick Company, Canadian Admiral Corporation, Good Rich Oil Company, British American Oil, St. Lawrence Cement Company, and Chrysler Canada.

The Plunkett Report also served as the impetus for Toronto Township’s bid to obtain Town status. The name of the town was between Sheridan and Mississauga. In December 1967, local voters voted for Mississauga. On 1 January 1968, the Town of Mississauga was created from the former Township of Toronto. Six years later, on 1 January 1974, the City of Mississauga, as it is now known, was created and comprised the Town of Mississauga, Town of Streetsville, and Town of Port Credit.⁴⁶

4.4 LAKEVIEW

Settlement in what would become known as Lakeview began in the early 19th century. Lakeview was not close to any of the hamlets and villages that formed in Toronto Township in the early 19th century, and it was predominantly composed of rural farmland. Among the earliest settlers in Lakeview were the Cawthra, Shaw, Ogden, Caven, and Duck families, who had each settled in the first half of the 19th century. Local institutions, including a school in 1933 and Orange Hall in 1834, were also established in the early- to mid-19th century.⁴⁷

Toronto Township was divided into five wards following the creation of the County of Peel in 1851. Lakeview was in ward two, whose population elected Charles Romain as the first councilor.⁴⁸

In 1853, officials from the Great Western Railway began purchasing land in Lakeview for the railway’s right of way. The subsequent construction of the railway stimulated the local

⁴⁵ Riendeau, R.E., “Mississauga: An Illustrated History.”

⁴⁶ Riendeau, R.E., “Mississauga: An Illustrated History.”

⁴⁷ Hicks, K.A., “Lakeview: Journey from Yesterday,” (The Friends of the Mississauga Library System, 2005), Print.

⁴⁸ Hicks, K.A., “Lakeview: Journey from Yesterday.”

economy as jobs became available in the area. This ultimately led to an increase in commercial activity. Additionally, when the railway was completed in 1855, the local population had increased mobility to Toronto and Hamilton..⁴⁹

Settlement continued throughout the mid- to late-19th century when the Richey, Pallett, Watson, Robinson, Death, and Goldthorpe families purchased land in the area. Lakeview remained largely rural agricultural land at the time. On 10 September 1888, however, the first plan of subdivision – plan E-88 – was registered by Albert Ogden on Lot 8 Concession 2 South of Dundas Street. This was the second plan of subdivision in Toronto Township, and suggested that smaller, non-agricultural lots were in demand..⁵⁰

The paving of Lakeshore Road in 1914 coupled with the more widespread uptake of the motor car made south Toronto Township a viable location for development. Additional plans of subdivision were created shortly after Lakeshore Road's paving, including Plan A-18 on 13 March 1918, Plan A-19 on 1 November 1918, Plan B-19 on 17 June 1919, Plan A-20 and Plan D-19 on 26 September 1919, Plan F-20 on 1 October 1920, and Plan B-21 and Plan C-21 on 15 March 1921. Associated development predominantly included dormitory-style housing for residents who lived in Lakeview but travelled elsewhere for work. The name 'Lakeview' was adopted in 1922, and it reached a population of 300 around this time. Several additional plans of subdivision were also created, including Plan C-23, Plan C-22, Plan C-23, and Plan H-23..⁵¹

Population change slowed in the early 1930s; however, land in Lakeview remained cheap and attracted unemployed people from Toronto who could develop land cheaply. Development was stimulated in Lakeview during the outbreak of WW2. In 1940, the Small Arms Company opened a factory on the south side of Lakeshore Road adjacent to the rifle ranges. Also in 1940, the federal government developed army barracks on Lakeshore Road near Dixie Road. Housing for factory workers was also developed near the intersection of Lakeshore Road and Cawthra Road. Following WW2, the army barracks were repurposed as emergency housing for those migrating to Lakeview. Settlement also gained popularity because Toronto Township council offered free land grants to returning veterans. By 1950, Lakeview had a population of 9,000 and it was composed of residential, commercial, and industrial land uses..⁵²

In the mid- to late-20th century, several large municipal infrastructure projects were developed in Lakeview including the Lakeview Water Treatment Plant in 1952, Lakeview Generating Station in 1958, and the Lakeview Wastewater Plant in 1961..⁵³

⁴⁹ Riendeau, R.E., "Mississauga: An Illustrated History."

⁵⁰ Hicks, K.A., "Lakeview: Journey from Yesterday."

⁵¹ Hicks, K.A., "Lakeview: Journey from Yesterday."; Roger E. Riendeau, "Mississauga: An Illustrated History."

⁵² Riendeau, R.E., "Mississauga: An Illustrated History."

⁵³ Riendeau, R.E., "Mississauga: An Illustrated History."

4.5 PROPERTY HISTORY

The Property is located on Concession 2 South of Dundas Street (SDS) Lot 5 in the historic Township of Toronto South. The Crown Patents for the east and west halves of Concession 2 SDS Lot 5 were issued to Samuel Smith on 11 July 1817 and Edward Macmahon on 5 June 1817.⁵⁴

Although unclear specifically how from land registry abstracts, the property came under the ownership of James A. Smith. On 1 December 1846 Smith, issued the east 100 acres of Concession 2 SDS Lot 5 to Augustus N. Howard.⁵⁵ That same day, Howard sold the lot to Samuel B. Smith.⁵⁶ On 3 April 1858, Samuel B. Smith acquired the west 100 acres of Concession 2 SDS Lot 5 from Joseph Wilkinson.⁵⁷ On 23 July 1858, Samuel B. Smith sold part of Concession 2 SDS Lot 5 to the Great Western Railway.⁵⁸ Tremaine's 1859 map of Peel Region shows that the southwest part of the lot was owned by the Bank of Upper Canada and that northeast part of the lot was owned by the 'Smith Estate'. The map depicts the Great Western Railway extending through the southeast part of the lot. No other development is depicted (Figure 3).

On 6 July 1870, the Trustees of the Bank of Upper Canada sold 100 acres of the west half of Concession 2 SDS Lot 5 to Samuel B. Smith.⁵⁹ It is not clear how this sale of the west half of the lot corresponds with that from 3 April 1858. It is possible that the Bank of Upper Canada took ownership of the lot following mortgage-related activities.

Samuel B. Smith partitioned and sold several sections of Concession 2 SDS Lot 5 including to John Watson on 16 March 1872, Robert Dunn on 1 August 1877, and John White on 1 March 1882.⁶⁰ The exact land area of these land parcels is not identified in corresponding land registry abstracts. Walker & Miles' 1877 map of the County of Peel identifies 'B. S. Smith' as the owner of most of Concession 2 SDS Lot 5. John Watson is identified as owning the west part of the lot and the Great Western Railway traverses through the east part of the lot. One building is depicted in the southmost corner of the lot (Figure 3).

On 30 December 1882, F.A. Ball et al., the executors of Samuel B. Smith's estate, sold the property described as 'Part and O.L. 133 77/100 acres & Pt Lots 3, 4, & 5 Con 2 SDS...' to

⁵⁴ Peel County Land Registry Office (LRO 43), "PEEL COUNTY (43), MISSISSAUGA; TORONTO, CONCESSION 2; SOUTH DUNDAS STREET; LOT 1 TO 35," n.d., accessed 6 January 2025, <https://www.onland.ca/ui/43/books/42302/viewer/328237105?page=21>, Instrument No. Patent.

⁵⁵ LRO 43, Instrument No. 38178.

⁵⁶ LRO 43, Instrument No. 38179.

⁵⁷ LRO 43, Instrument No. 5372.

⁵⁸ LRO 43, Instrument No. 5633.

⁵⁹ LRO 43, Instrument No. 66.

⁶⁰ LRO 43, Instrument No. 925, 2295, 3592.

Reginald L. Ball for \$5,351.00.⁶¹ On 2 October 1884, Reginald L. Ball sold the property described as ‘Part and O.L.’ to Thomas M. Goldthorpe for \$2,500.00.⁶² The 1891 Census of Canada identifies that Thomas M. Goldthorpe was a farmer and lived in the Township of Toronto, Peel Region with his wife, Emma J., and their children John Ross, Agnes Anna, Eva Congetta, Emma Rymal, and Reginald Dixie.⁶³

A topographic map from 1909 depicts a stone or brick building in the approximate location of the house on the Property (Figure 4). The 1911 Census of Canada identifies that Thomas M. Goldthorpe had retired from farming. At the time, he was 63 years old and lived with Emma J., Emma R., and Edith A. C.⁶⁴ On 23 March 1911, Thomas W. Goldthorpe granted 40.84 acres of land to the National Trust Co. Limited for \$13,525.00.⁶⁵ This sale of land is most likely connected to the Toronto Golf Club, who is subsequently listed as having acquired a \$150,000.00 mortgage from the National Trust Co. Limited for sections of Concession 2 SDS Lots 3, 4, and 5.⁶⁶ Harry Colt’s 1911 plan for the Toronto Gold Club shows Goldthorpe’s remaining property after his sale of the land. One building – likely the house currently on the Property – is depicted. Additionally, Goldthorpe’s barn, located to the rear of the house, is also depicted (Figure 5). The barn was acquired by the Toronto Golf Club and was used as a storage facility.⁶⁷

There is no evidence to suggest that Goldthorpe had any involvement in the establishment of the Toronto Golf Club. The Toronto Golf Club was established in 1876 by James Lomond Smith in the Village of Norway in the southeast part of York (now the City of Toronto). The Toronto Golf Club moved location following the City of Toronto’s annexation of the Village of Norway in 1909.⁶⁸

The 1921 Census of Canada identifies that Thomas M. Goldthorpe owned a brick veneered house with 6 rooms on Concession 2 SDS.⁶⁹ Thomas M. Goldthorpe died on 25 December

⁶¹ LRO 43, Instrument No. 3806.

⁶² LRO 43, Instrument No. 5164.

⁶³ Library and Archives Canada, “Census of Canada, 1891, Goldthorpe, Thomas W.,” Item ID number: 26289055, last modified 29 January 2025, accessed 6 January 2025, https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=26289055&ecopy=30953_148163-00644.

⁶⁴ Library and Archives Canada, “Census of Canada, 1911, Goldthorpe, Thomas W.,” Item ID number: 14096456, last modified 29 January 2025, accessed 6 January 2025, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=14096456&ecopy=e002012185>.

⁶⁵ LRO 43, Instrument No. 14374.

⁶⁶ LRO 43, Instrument No. 14516.

⁶⁷ Batten, J., “The Toronto Golf Club 1876-1976,” (The Bryant Press, Limited, 1976).

⁶⁸ Toronto Golf Club, “Heritage,” n.d., accessed 20 February 2025, <https://www.torontogolfclub.com/heritage>.

⁶⁹ Library and Archives Canada, “Census of Canada, 1921, Goldthorpe, Thomas W.,” Item ID number: 64727757, last modified 29 January 2025, accessed 6 January 2025, <https://recherche-collection-search.bac-lac.gc.ca/eng/Home/Record?app=census&IdNumber=64727757&ecopy=e003026959>.

1928.⁷⁰ Although not specified through land registry abstracts, Thomas M. Goldthorpe's property came under the ownership of his son, John Ross Goldthorpe, who on 10 January 1929, transferred the lot to Emma J. Goldthorpe through a quit claim deed. This transfer identifies that the property was one acre.⁷¹ A topographic map from 1929 continues to depict one building in the approximate location of the house on the Property (Figure 4).

On 10 July 1947, Emma R. Goldthorpe and Edith A.S. Goldthorpe, executrices of Emma J. Goldthorpe granted the property described as '...190' N of CNR thence N 116' x E 220' x S 116' x W 220 to p of c.' to Walter D. Jackson.⁷² This divided the one-acre lot into two distinct lots – now known as 1137 Dixie Road and 1147 Dixie Road.

A 1954 air photo shows the Property in largely the same physical configuration as today. At the time, the property was occupied by a rectangular house with a rear wing addition and was accessed from a driveway extending along the Property's southeast property line. Rows of trees were present along the Property's northwest property line and along the northwest side of the driveway. Goldthorpe's former barn, then being used as a storage facility by the Toronto Golf Club, is also shown (Figure 6). The barn was demolished in 1968.⁷³

On 2 June 1983, the estate of Emma R. Goldthorpe granted the property to Edith A.S. Goldthorpe for \$2.00.⁷⁴ A 1983 air photo from 1983 suggests that no major alterations had been made to the Property by this time (Figure 6).

The City's inventory sheet for the Property suggests that several alterations were made to the house in the summer of 2004. The inventory sheet states:

In the summer of 2004, several changes were made to the structure. The exterior was covered over with yellow stucco, the windows were replaced (although they remain multi-paned), shutters were added to the upper story windows, all trim was painted white and the roof line on the front facade was extended from the peak to the porch.⁷⁵

One of the house's chimneys was also removed, and it is also likely that the rear wing addition connected to the northeast elevation of the house either had a new roof constructed or was

⁷⁰ Archives of Ontario, "Registrations of Deaths, 1928; Series: 363," n.d., accessed 6 January 2025, <https://www.ancestry.ca/search/collections/8946/records/2438823>.

⁷¹ LRO 43, Instrument No. 31211.

⁷² LRO 43, Instrument No. 50439.

⁷³ Batten, J., "The Toronto Golf Club 1876-1976."

⁷⁴ LRO 43, Instrument No. 644350.

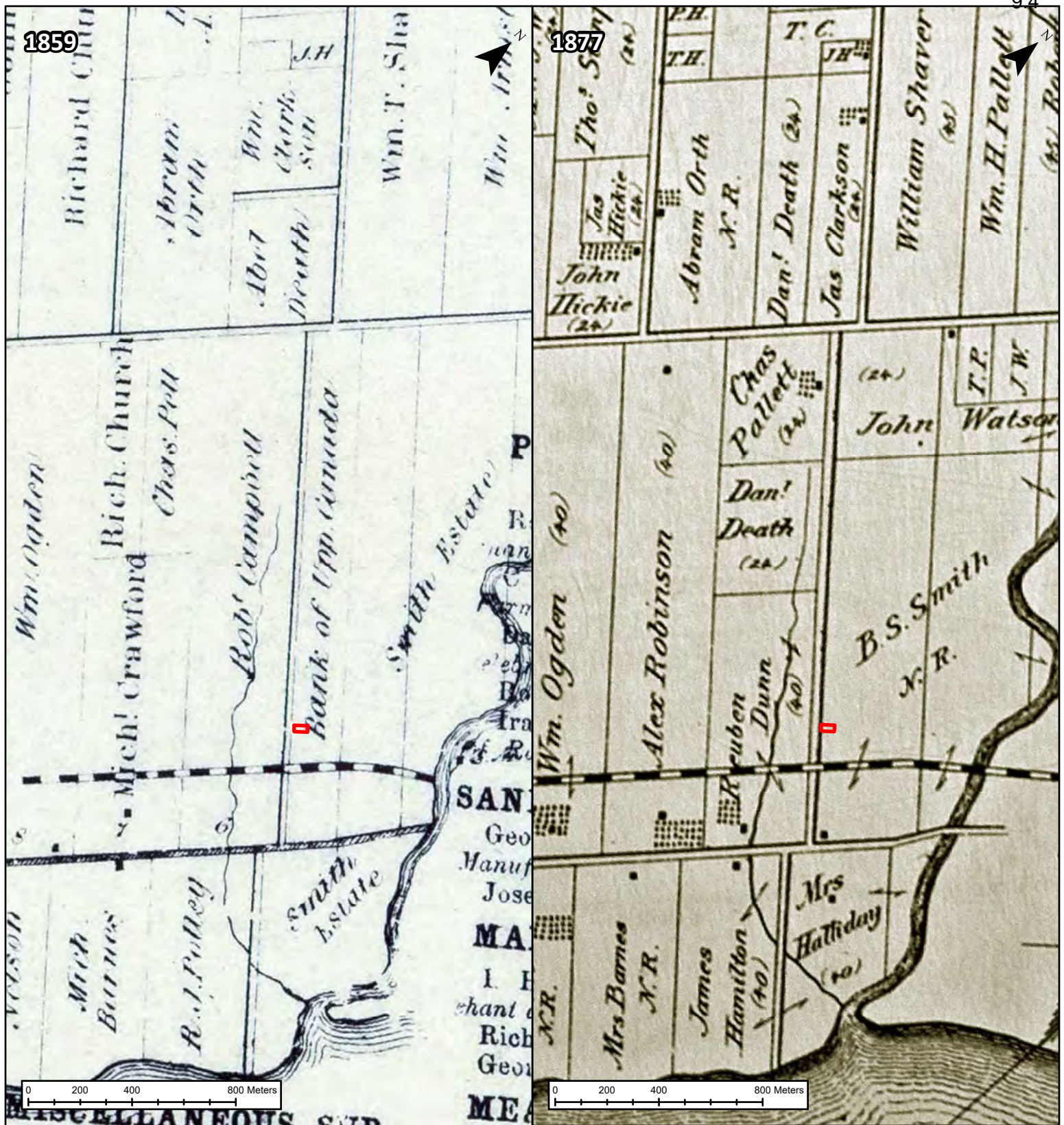
⁷⁵ City of Mississauga, "Property Information, 1147 Dixie RD," n.d., accessed 31 January 2025, <https://www.mississauga.ca/apps/#/property/view/heritage>.

replaced with a new addition entirely. The City's inventory sheet for the Property includes several photographs of the house prior to the 2004 alterations (see Figure 6 through Figure 9). By 2008, an open porch was constructed on the northeast and southeast sides of the house's rear wing addition and by 2009 a shed was constructed in the northeast corner of the Property. No additional discernable modifications have been made to the property (Figure 6).

4.5.1 THOMAS GOLDTHORPE (1846-1928)

Thomas Goldthorpe served as Deputy Reeve for Toronto Township Council in 1897 and 1898, as a Toronto Township Councillor in 1900 and from 1903 to 1905, and as Toronto Township Reeve from 1906 to 1907.⁷⁶

⁷⁶ Hicks, K.A., "Lakeview: Journey from Yesterday."



Legend

Property

NOTE(S) 1. All locations are approximate.

REFERENCE(S)

Pope, J.H. 1877. Southern Half Toronto Township. In Illustrated Historical Atlas of the County of Peel Ont. Scale 40 chains to an inch. "The Canadian County Atlas Digital Project." Digitized map. Accessed 6 January, 2025. <https://digital.library.mcgill.ca/countyatlas/searchmapframes.php>

Tremaine, G.R. 1859. Tremaine's Map of the County Peel. Scale fifty chains to one inch. "Ontario Historical County Maps." Digitized map. Accessed 6 January, 2025. <https://maps.library.utoronto.ca/hgis/countymaps/peel/Peel2.jpg>

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TITLE
1959 and 1877 Historic Maps Showing the Property

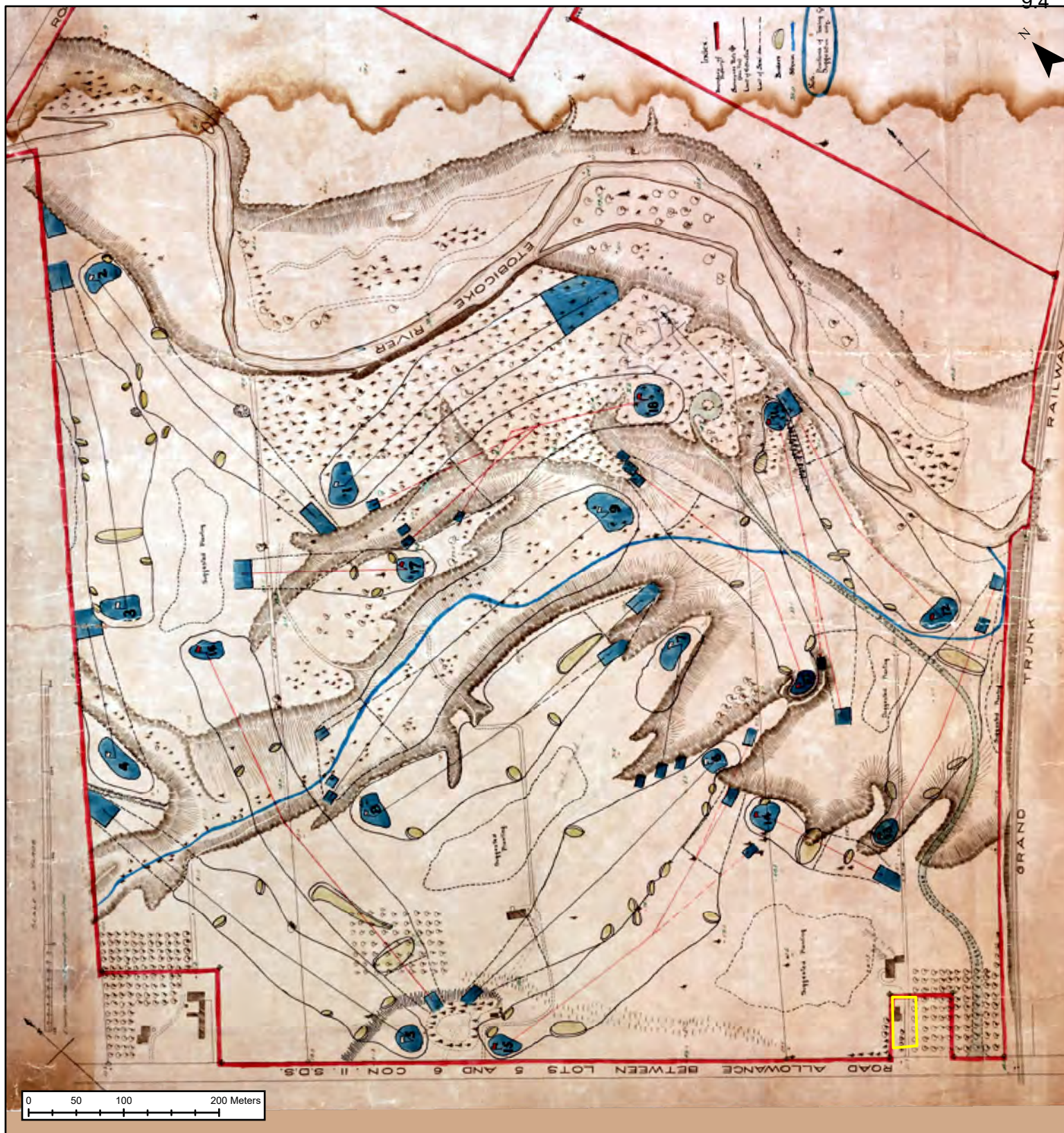
CLIENT
400511 Ontario Ltd.

PROJECT
Heritage Impact Assessment, 1147 Dixie Road, City of Mississauga, ON

PROJECT NO. LHC0496



<p>Legend</p> <p> Property</p>	<p>TITLE 1909 and 1929 Topographic Maps Showing the Property</p>
<p>NOTE(S) 1. All locations are approximate.</p> <p>REFERENCE(S) Department of Militia and Defence 1909. Topographic Map, Ontario, Brampton Sheet. Scale 1:63,360. "Scholars Geoports!." Digitized map. Accessed 6 January, 2025. https://geo.scholarsportal.info/#r/details/_uri@=HTDP63360K030M12_1909TIFF&_add:true_nozoom:true 1929. Topographic Map, Ontario, Brampton Sheet. Scale 1:63,360. "Scholars Geoports!." Digitized map. Accessed 6 January, 2025. https://geo.scholarsportal.info/#r/details/_uri@=HTDP63360K030M12_1929TIFF&_add:true_nozoom:true Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</p>	<p>CLIENT 400511 Ontario Ltd.</p>
	<p>PROJECT Heritage Impact Assessment, 1147 Dixie Road, City of Mississauga, ON</p> <p style="text-align: right;">PROJECT NO. LHC0496</p>
	<div style="display: flex; justify-content: space-between; align-items: center;"> <div data-bbox="812 1957 950 2051">  <p>IHC HERITAGE PLANNING & ARCHAEOLOGY</p> </div> <div data-bbox="958 1957 1079 2051"> <p>YYYY-MM-DD</p> <p>FIGURE #</p> </div> <div data-bbox="1088 1957 1575 2051"> <p>2025-02-21</p> <p style="font-size: 24pt; font-weight: bold;">4</p> </div> </div>



Legend

Property

NOTE(S) 1. All locations are approximate.

REFERENCE(S)

Colt, H. 1911. Colt Course Survey. "The Toronto Golf Club Heritage". Digitized map. Accessed 19 February, 2025.
<https://www.torontogolfclub.com/heritage>

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TITLE

Harry Colt's 1911 Plan for the Toronto Golf Club

CLIENT

400511 Ontario Ltd.

PROJECT

Heritage Impact Assessment, 1147 Dixie Road, City of Mississauga, ON

PROJECT NO. LHC0496



Legend

Property

TITLE 1954, 1983, 2008, 2009, and 2023 Air Photos Showing the Property	
CLIENT 400511 Ontario Ltd.	
PROJECT Heritage Impact Assessment, 1147 Dixie Road, City of Mississauga, ON	PROJECT NO. LHC0496
<p>NOTE(S) 1. All locations are approximate.</p> <p>REFERENCE(S) City of Toronto. 1983. 42F. Scale 1:5,000. "Aerial Photographs 1983." Digitized map. Accessed 6 January, 2025. https://www.toronto.ca/ext/archives/s0012/fl1983/s0012_fl1983_it0042f.jpg</p> <p>Mississauga Maps. 1954. Aerial Basemap, 1954. "Mississauga Maps." Digitized maps. Accessed 6 January, 2025. https://ext.maps.mississauga.ca/Html5Viewer/index.html?viewer=eMaps.HTML5 2008. Aerial Basemap, 2008. "Mississauga Maps." Digitized maps. Accessed 6 January, 2025. https://ext.maps.mississauga.ca/Html5Viewer/index.html?viewer=eMaps.HTML5 2009. Aerial Basemap, 2009. "Mississauga Maps." Digitized maps. Accessed 6 January, 2025. https://ext.maps.mississauga.ca/Html5Viewer/index.html?viewer=eMaps.HTML5 2023. Aerial Basemap, 2023. "Mississauga Maps." Digitized maps. Accessed 6 January, 2025. https://ext.maps.mississauga.ca/Html5Viewer/index.html?viewer=eMaps.HTML5</p> <p>Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</p>	
<div><div>LHC</div><div>HERITAGE PLANNING & ARCHAEOLOGY</div></div>	<div>YYYY-MM-DD</div> <div>FIGURE #</div>
<div>2025-02-19</div> <div>6</div>	



Figure 7. View northeast showing the southwest elevation of the house prior to alterations made in 2004 (image cropped).⁷⁷



Figure 8. View west showing the southeast elevation of the house prior to alterations made in 2004 (image cropped).⁷⁸

⁷⁷ City of Mississauga, "Property Information, 1147 Dixie RD."

⁷⁸ City of Mississauga, "Property Information, 1147 Dixie RD."



Figure 9. View southwest showing the northeast elevation of the house prior to alterations made in 2004 (image cropped).⁷⁹



Figure 10. View northeast showing the northwest elevation of the house prior to alterations made in 2004 (image cropped).⁸⁰

⁷⁹ City of Mississauga, "Property Information, 1147 Dixie RD."

⁸⁰ City of Mississauga, "Property Information, 1147 Dixie RD."

5 EXISTING CONDITIONS

5.1 SURROUNDING CONTEXT

The Property is located in southeast corner of the City and is in the Orchard Heights sub-area of the City's Lakeview neighbourhood. It is on the northeast side of Dixie Road to the northwest of the Canadian National Railway.

The Property is bound by an irregularly shaped, unnumbered lot adjacent to Dixie Road to the southwest, 1157 Dixie Road (Toronto Golf Club) to the northwest and northeast, and 1137 Dixie Road to the southeast.

The irregularly shaped, unnumbered lot to the southwest of the property has an approximate area of 0.27 hectares (ha) and is undeveloped. An asphalt, single lane driveway connected to Dixie Road that provides access to 1137, 1147, and 1157 Dixie Road is partially on this property (Image 1). A steep embankment covered with juvenile trees and tall grass is also on this property between the asphalt driveway and the sidewalk along the northeast side of Dixie Road (Image 2). Dixie Road is a Regional Major Arterial road providing access between Old Base Line Road in the Town of Caledon to the northwest and Lakeshore Road East to the south to the southeast. Near the Property, it has one northwest-bound and one southeast-bound lane. Concrete curbs, concrete sidewalks, and concrete electrical poles with streetlights are present on both sides of the road (Image 3 and Image 4).

The Property at 1157 Dixie Road, which is owned by the Toronto Golf Club, is an irregularly shaped lot with an approximate area of 92.08 ha. Eight buildings of differing size, height, and material composition occupy the property. To the northwest of the Property, there is a single-detached, two-storey residential house clad in vertical bard siding and cedar shakes is located (Image 5); to the north of the Property, there is a single-detached, one-storey shed clad in board and batten siding (Image 6); and to the northeast of the Property, there is a single-detached, one-storey maintenance facility for the Toronto Gold Club (Image 7).

The Property at 1137 Dixie Road is a rectangular lot with an approximate area of 0.18 ha. A single-detached, one storey house clad in stucco occupies the property (Image 8).

The topography in the area is generally flat; however, there is a steep embankment between the asphalt driveway on the unnumbered lot to the southwest of the Property and the sidewalk along the northeast side of Dixie Road (Image 2). Additionally, Dixie Road slopes downwards as it travels southeast near the Property (Image 3). The residential properties in the Property's vicinity have a front lawn composed of manicured grass and some arrangement of hedges, shrubs, and gardens with perennial flowers. Mature deciduous and coniferous trees are common in front, side, and rear yards.

The Property's immediate context is primarily composed of commercial golf courses, including the Toronto Golf Club at 1157 Dixie Road and the Lakeview Golf Course located at 1190 Dixie Road. In accordance with their use, these properties are dominated by extensively manicured grass and mature deciduous and coniferous trees. They both also have numerous buildings of differing sizes and materials. Residential properties/buildings are present to the northwest and southeast of the Property. Houses are oriented towards Dixie Road, are single-detached, range from one to two stories, and use a range of materials primarily including stucco.



Image 1. View east showing the driveway connecting 1137, 1147, and 1157 Dixie Road



Image 2. View southeast showing the steep embankment separating the Property from Dixie Road



Image 3. View southeast showing Dixie Road near the Property



Image 4. View west showing Dixie Road near the Property



Image 5. View northeast showing the house on the adjacent property at 1157 Dixie Road



Image 6. View northeast showing the shed on the adjacent property at 1157 Dixie Road



Image 7. View northeast showing the maintenance facility on the adjacent property at 1157 Dixie Road



Image 8. View northeast showing the house on the adjacent property at 1137 Dixie Road

5.2 THE PROPERTY

The Property is a rectangular lot with an approximate area of 0.13 ha. It is occupied by a single-detached, “L” shaped, one-and-a-half storey vernacular house built c. 1884 that is clad in stucco and stone veneer and a one storey shed (Image 9 and Image 10). The Property is accessed from a narrow asphalt driveway that extends along the southeast property line to the southeast of the house (Image 11). The driveway provides access to the Property’s backyard and shed (Image 12). The Property’s front yard has manicured grass and several mature deciduous and coniferous trees (Image 13). Flowerbeds with shrubs and (likely) perennial flowers are located along the house’s primary, southwest elevation (Image 10). The northwest side yard is composed of unvegetated soil (Image 14). The backyard and southeast side yard have manicured grass, flowerbeds with shrubs and perennial flowers, and mature deciduous and coniferous trees (Image 15). The topography of the Property is relatively flat; however, the front yard slopes upward from the access road to the house.



Image 9. View northeast showing the house on the Property



Image 10. View north showing the shed on the Property



Image 11. View southwest showing the driveway on the Property



Image 12. View northeast showing the driveway on the Property



Image 13. View southwest showing the front yard



Image 14. View northeast showing the northwest side yard



Image 15. View southeast showing the backyard

5.2.1 HOUSE EXTERIOR

The house is a single-detached, “L” plan building measuring approximately 11.0 metres (m) wide by 8.0 m deep with a large rear wing addition measuring approximately 11.3 m wide by 8.9 m deep (Image 16 through Image 19). The main house is one-and-a-half storeys and has a three-bay primary (southwest) façade composed of three windows. The main house has a full below grade basement with rubblestone foundation walls and a crawlspace located beneath the rear wing addition. The main exterior wall of the main house is clad in red brick set in a stretcher bond that has been covered with stucco (Image 20, also see Figure 7 through Figure 10). Additional wall details are limited to stone veneer along the base of the main house’s southwest elevation and a narrow wood string course that separates the stucco and stone veneer. The rear wing addition is clad in painted board and batten siding. The main house has a moderate side gable roof with double gable on its primary façade. The roof has projecting eaves with plain soffit and fascia (Image 21). One single-stack, brick chimney set in a stretcher bond with two flues is offset towards the northeast and northwest side of the house (Image 22). The rear wing addition has a low front gable roof with projecting eaves and plain soffit and fascia.

Windows in the main house typically have a flatheaded opening and plain trim inside the structural opening. On the southwest elevation, the central window and upper half storey windows have moulded non-structural lintels and sills and nonfunctional storm shutters (Image 23). The eastmost window has a pedimented head, plain trim sides, and moulded sill outside of the structural opening (Image 24). The westmost window protrudes from the main house's façade and has a plain header, side, and sill outside of the structural opening and a dado panel (Image 25). The windows on the main house's northwest elevation and the window in the upper half storey of its southeast elevation have moulded non-structural lintels and sills. The first storey window on the main house's southeast elevation has a pedimented head, plain trim sides, and moulded sill outside of the structural opening. The upper half storey window on the main house's northeast elevation and the foundation window on its southeast elevation have no trim. Windows have either a double-hung, casement, or sliding mechanism. Windows in the rear wing addition are typically flatheaded with plain trim outside the structural opening. The eastmost window on the rear wing addition's northeast elevation differs, having a semi-circular opening. Windows have either a casement or sliding mechanism.

The house's main entrance is offset towards the south side of its southeast elevation. The main entrance has a flatheaded opening, decorative trim outside the structural opening composed of a plain paneled header with keystone and fluted pilaster sides, and plain trim inside the structural opening. The main entrance has a one-leaf carved door with central glazing (Image 26). The main entrance is accessed from the front porch. The porch has a low shed roof with projecting eaves with plain soffit and fascia supported by square posts. The porch has a wood deck and is accessed by a straight run of two wood risers (Image 27).

Three additional entrances are on the rear wing addition, including one on its southeast elevation and two on its northeast elevation. All entrances in the rear wing addition are flatheaded and have plain trim outside the structural opening. The southeast opening has a one-leaf shaped panel door with central glazing (Image 28) and both northeast openings are two-leaf sliding doors with central glazing (Image 19 and Image 29).



Image 16. View northeast showing the primary, southwest elevation of the house



Image 17. View northwest showing the southeast elevation of the house



Image 18. View west showing the southeast and northeast elevations of the house



Image 19. View southwest showing the northeast elevation of the house



Image 20. View northeast showing an uncovered brick section on the southwest elevation



Image 21. View northeast showing the roof overhang on the main house



Image 22. View west showing the chimney



Image 23. View northeast showing a typical window



Image 24. View northeast showing the eastmost window on the first storey



Image 25. View northeast showing the westmost window on the first storey



Image 26. View northwest showing the main entrance



Image 27. View northwest showing the porch

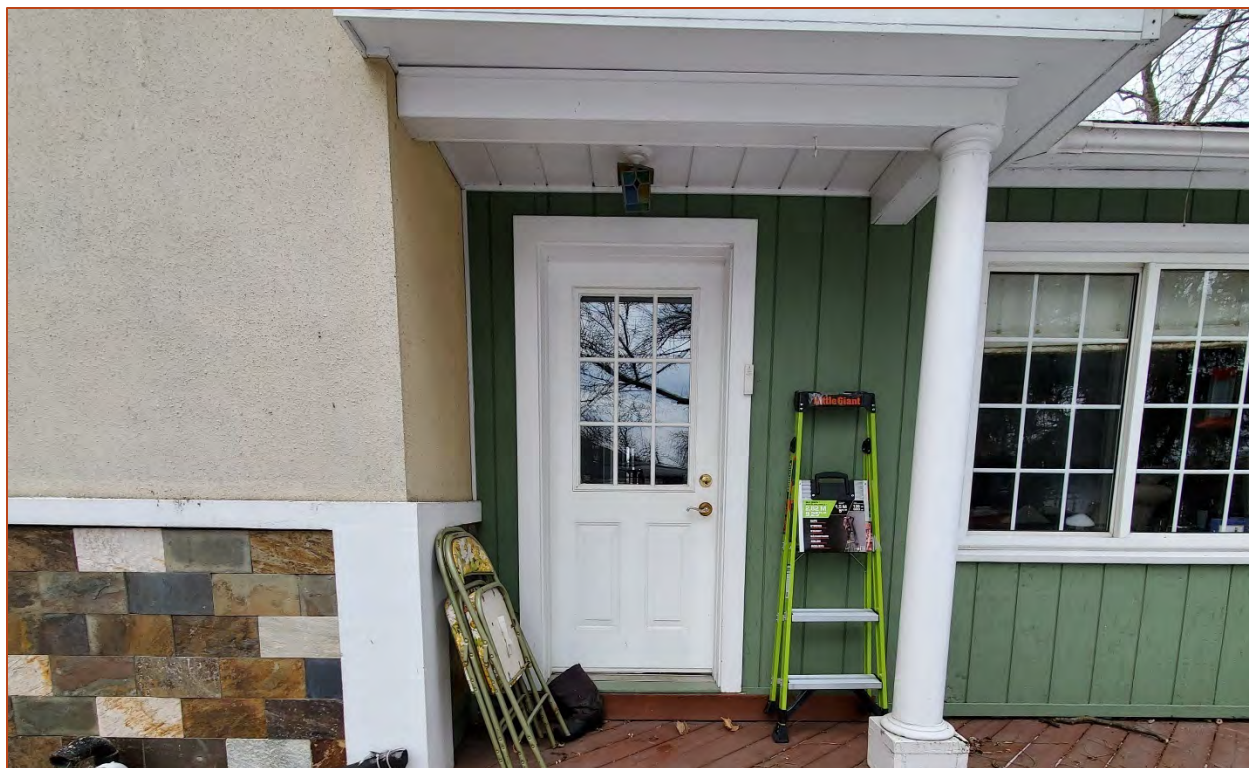


Image 28. View northwest showing the entrance on the southeast elevation of the rear wing addition



Image 29. View southeast showing the eastmost entrance on the northeast elevation of the rear wing addition

5.2.2 HOUSE INTERIOR

The first storey of the main house is composed of a foyer, living room, kitchen, bathroom, and hallway. Materials used in these rooms remain generally consistent. Unless otherwise noted, rooms have a wood floor, moulded wood baseboards, smooth painted walls, moulded door surrounds, smooth ceilings, and crown moulding (Image 19 and Image 20). The living room is accessed from a two-leaf door with a transom and sidelights, and it has slightly wider and darker floorboards, wallpapered walls, textured ceiling finish, and a fireplace. The fireplace has a metal firebox, tiled surround and hearth, and decorative wood mantle (Image 21 through Image 23). The kitchen has wood cabinetry, tiled countertops and backsplash, and white appliances. The kitchen does not have crown moulding (Image 24). The bathroom has a tiled floor, tiled baseboard, white fixtures, and a dropped acoustic ceiling. The bathroom does not have crown moulding (Image 25).

The rear wing addition is accessed from a one-leaf internal door located at the northeast terminus of the main house's first storey hallway. The rear wing addition is composed of a living room/office, bedroom, bathroom, and mudroom. Materials in the living room/office and bedroom remain consistent. These rooms have a wood floors, moulded wood baseboards, smooth painted walls, moulded door surrounds, textured ceiling finishes, and crown moulding (Image 38 and Image 39). The bathroom has a tiled floor, tiled baseboard, white fixtures, smooth painted walls, smooth ceiling, and crown moulding (Image 40). The mudroom has a tiled floor, plain baseboards, smooth painted walls, moulded door surrounds, smooth painted walls, smooth ceiling, and crown moulding (Image 41).

The main house's upper half story is accessed from a "U" shaped stairway located along the northwest wall of the first storey hallway. The stairway has a run of twelve risers followed by two individual additional risers. The stairway has wood treads, wall stringer, wainscoting, newel post, balusters, and handrail (Image 42). The stairway provides access to an "L" shaped hallway that provides access to three bedrooms, a bathroom, and two storage closets (Image 42). Materials used in the hallway and bedrooms remain largely consistent. They have wood floors, moulded wood baseboards, smooth painted walls, moulded door surrounds, and smooth ceilings (Image 43 through Image 45). The bathroom has a tiled floor, moulded wood baseboards, white fixtures, smooth painted walls, and smooth ceiling (Image 46).

The main house's basement is accessed from a straight stairway accessed from the southwest wall in the rear wing addition. The stairway has ten risers with wood treads and a wood handrail (Image 47). The basement is one open area with a wood laminate floor, exposed rubblestone walls, and unfinished ceiling (Image 48).



Image 30. View southwest showing the foyer in the main house

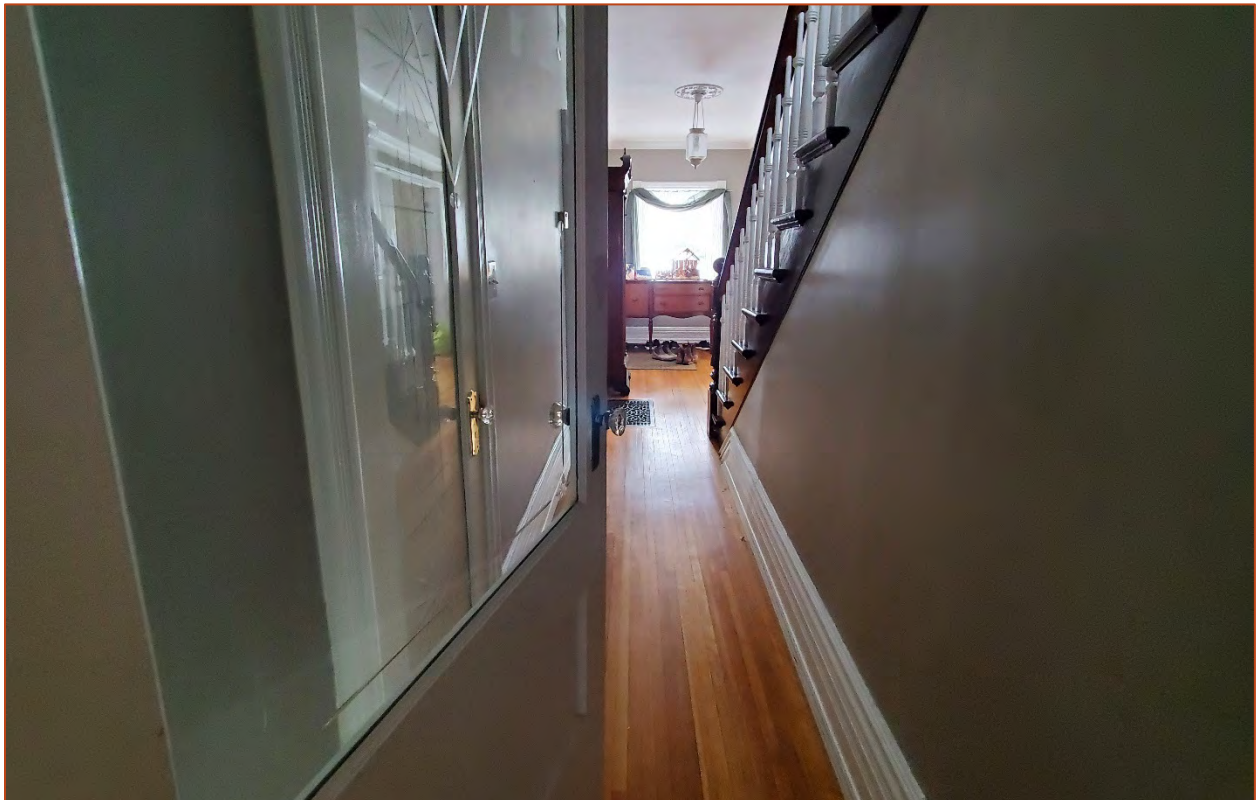


Image 31. View southwest showing the hallway in the main house



Image 32. View west showing the door between the foyer and living room in the main house



Image 33. View north showing the living room in the main house



Image 34. View northeast showing the fireplace in the living room of the main house



Image 35. View northeast showing the kitchen in the main house



Image 36. View southeast showing the bathroom in the first storey of the main house



Image 37. View northeast showing the living room/office in the rear wing addition



Image 38. View north showing the bedroom in the rear wing addition



Image 39. View northwest showing the bathroom in the rear wing addition



Image 40. View southeast showing the mudroom in the rear wing addition



Image 41. View southwest showing the "U" shaped stairway and hallway in the upper half storey of the main house



Image 42. View northwest showing the north bedroom in the main house

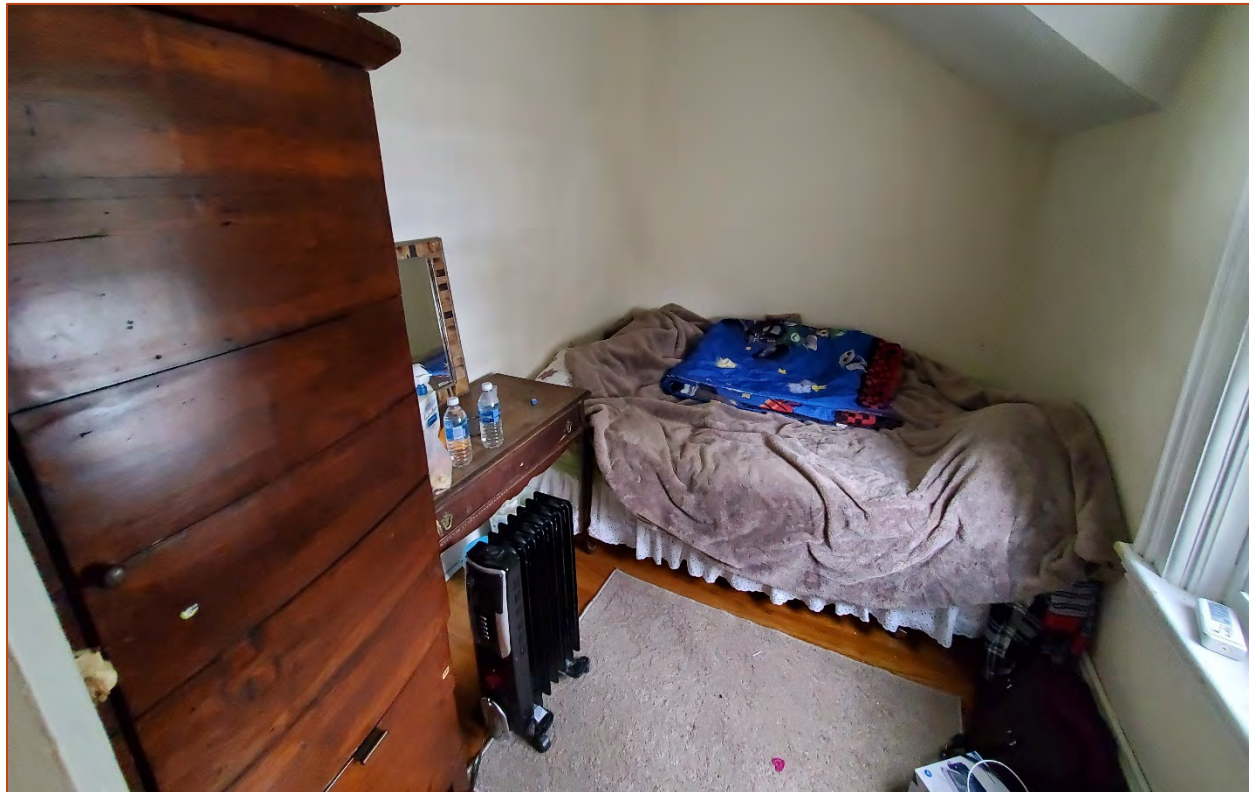


Image 43. View southeast showing the east bedroom in the main house



Image 44. View southwest showing the west bedroom in the main house



Image 45. View southeast showing the bathroom in the upper half storey of the main house



Image 46. View northeast showing the basement stairway in the main house



Image 47. View south showing the basement in the main house

5.3 ARCHITECTURAL AND INTEGRITY ASSESSMENT

5.3.1 ARCHITECTURAL ASSESSMENT

The house on the Property is a vernacular structure with architectural design influences from the Gothic Revival/Victorian Gothic styles. Gothic Revival buildings in Ontario shared many similar design elements to the Georgian and Neoclassical architectural styles, with the inclusion of specific Gothic design elements serving as the distinguishing factor. Common Gothic Revival design elements include a rectangular floor plan, one-and-a-half storey height, three-bay façade with central entrance, central gable with lancet window, the use of vergeboard or bargeboard, hood-moulds, steeply pitched gable roofs with numerous dormers, finials, pinnacles, bay windows, verandahs, and decorated chimneys. Gothic Revival residences were promoted by A. J. Downing, a landscape architect, and J. C. Loudon, an academic, as well as by *The Canada Farmer*, which identified the architectural style as cheap residential dwelling.⁸¹ As a result, the Gothic Revival architectural style became abundant in Ontario.

The house's Gothic Revival influences also draw from the Victorian Gothic era that began after 1850. Victorian Gothic architecture was promoted primarily by John Ruskin, who was specifically motivated by the picturesque and decorative qualities of Gothic architecture. Among the primary modifications that the Victorian Gothic style made were the employment of dichromatic colours, the use of different sized windows, the use of verge board that varied in pattern – adding an eclectic element to the Gothic style, and structural asymmetry. Often, Victorian Gothic structures used a range of materials that were typically distinguished by their colour. The use of colour also extended to string courses, mouldings, and surrounds that highlighted windows, doors, and arches. Other notable features of the Victorian Gothic style were steep, cross-gable roofs, towers or turrets, and iron cresting.⁸²

The house exhibits several common Gothic Revival influences, primarily through its one-and-a-half storey height, three bay façade (albeit not with a central entrance), steeply pitched dormer, and verandah. Additional Victorian Gothic influences include the house's asymmetrical “L” shaped plan and its use of dichromatic brick (which has been covered).

5.3.1.1 COMPARATIVE ANALYSIS

Houses with architectural design influences from the Gothic Revival/Victorian Gothic styles are common throughout Ontario and the City of Mississauga, and several have been


⁸¹ John Blumenson, “Ontario Architecture,” 1990. Print.

⁸² John Blumenson, “Ontario Architecture.”



Designated under Section 29 Part IV of the *OHA*. Table 3 identifies several of these properties/houses and has been included for illustrative purposes.

The house on the Property shares several basic details commonly found on other houses with architectural design influences from the Gothic Revival/Victorian Gothic styles in the City of Mississauga, including its one-and-a-half storey height, three-bay façade, steeply-pitched dormer/centre gable, verandah, “L” shaped plan, and dichromatic brick. Despite sharing similar architectural details, the examples presented in Table 3 are more easily ascertained as examples of the Gothic Revival/Victorian Gothic architectural styles.

Table 3. Properties *Designated* Under Section 29 Part IV of the *OHA* Occupied by Buildings with Gothic Revival/Victorian Gothic Influences in the City of Mississauga

Address, Name (Build Date)	Heritage Attributes (associated with design or physical value)	Image (Google Maps, 2024)
1295 Burnhamthorpe Road East Moore-Stanfield House (1882-1883)	<ul style="list-style-type: none"> • One-and-a-half storey height; • Three-bay façade; • Centre gable; • Dichromatic brickwork in the quoining, window voussoirs, and banding of red and buff brick on the main façade; • Front door with segmental transom; • Sash window; • Lancet window of the gable; • Board and batten frame; addition with rubblestone foundation and belicote on the roof.⁸³ 	

⁸³ City of Mississauga, “By-law 658-89,” enacted 11 September 1989, accessed 14 February 2025, <https://www.heritagetrust.on.ca/oha/details/file?id=8529>.

Address, Name (Build Date)	Heritage Attributes (associated with design or physical value)	Image (Google Maps, 2024)
5508 Durie Road Chestnut- Chelsey Park Residence (1870)	<ul style="list-style-type: none"> • “L” shaped plan; • Dichromatic brick construction with buff brick detailing in window heads and at the quoins; • Round arched, two-over-two windows in front and west gable; • Paired one-over-one round arched windows under the gable on the projected façade; • Three-bay façade; • Circular window over main entrance; • Main entrance’s rope motif pillars with brackets, sidelights, and transom.⁸⁴ 	
37 Mississauga Road South Parkinson-King House (1900-1907)	<ul style="list-style-type: none"> • “L” shaped plan; • Stretcher bond red brick; • One-over-one paned sash windows; • Large single paned “landscape” sash windows on the first floor; • Stained glass transoms; • Gable roof with centre gable; • Front door.⁸⁵ 	

⁸⁴ City of Mississauga, “By-law 374-91,” enacted 14 August 1991, accessed 14 February 2025, <https://www.heritagetrust.on.ca/oha/details/file?id=8722>.


⁸⁵ City of Mississauga, “By-law 374-88,” enacted 13 June 1988, accessed 14 February 2025, <https://www.heritagetrust.on.ca/oha/details/file?id=8496>.

Address, Name (Build Date)	Heritage Attributes (associated with design or physical value)	Image (Google Maps, 2024)
157 Queen Street South Graydon-Atkinson House (1891-1897)	<ul style="list-style-type: none"> • One-and-a-half storey structure; • “L” shaped plan; • Round and segmentally arched window openings; • Vergeboard along roofline; • Terra cotta panel below ground floor window on front façade.⁸⁶ 	
292 Queen Street South Bamford-Goheen House (1875)	<ul style="list-style-type: none"> • Italianate windows and door, Gothic south bay, and French Renaissance Revival pedimented window; • Pierced and fretted woodwork in the gables, around the verandah, and in the corner brackets; • Contrasting colours; • Wood siding.⁸⁷ 	
16 Scarboro Street Tomlinson-Johnston House (1884)	<ul style="list-style-type: none"> • Dichromatic brickwork; • Round, pointed, and segmentally arched window shapes; • Bargeboards.⁸⁸ 	

⁸⁶ City of Mississauga, “By-law 203-98,” enacted 13 May 1998, accessed 14 February 2025, <https://www.heritagetrust.on.ca/oha/details/file?id=8503>.

⁸⁷ City of Mississauga, “By-law 409-82,” enacted 14 June 1982, accessed 14 February 2025, <https://www.heritagetrust.on.ca/oha/details/file?id=8634>.

⁸⁸ City of Mississauga, “By-law 626-87,” enacted 10 August 1987, accessed 14 February 2025, <https://www.heritagetrust.on.ca/oha/details/file?id=8486>.

Address, Name (Build Date)	Heritage Attributes (associated with design or physical value)	Image (Google Maps, 2024)
54 William Street Brookbank-Monger-Barber House (1860)	<ul style="list-style-type: none"> • Segmentally headed windows with peaked surrounds; • Pierced vergeboard; • First floor bracketed bay window; • Tall transomed entrance; • Hipped-roof verandah and treillage.⁸⁹ 	

5.3.2 INTEGRITY ASSESSMENT

Assessment of the Property’s integrity uses the seven criteria described in Section 2.7. Section 4.5 and 5 of this HIA identify and discuss modifications that have been made to the house on the Property that have influenced the Property’s heritage integrity. Modifications include:

- Sale of land to the Toronto Golf Club, including the barn;
- Subdivision of the lot;
- Construction of a rear wing addition;
- Construction of a foyer, resulting in changes to the house’s “L” shaped plan and reduction of the size of the verandah;
- Extension of the roof on the house’s southwest elevation to meet the verandah/foyer addition roof;
- Removal of a chimney;
- Cladding of main house in stucco, obscuring dichromatic brick details including voussoirs and belt courses.
- Introduction of new windows and window surrounds, including changes to voussoirs and addition of non-functional/non-structural headers, sides, sills, and storm shutters.

Table 4 applies the NPS’s aspects of integrity to the house on the Property.

⁸⁹ City of Mississauga, “By-law 217-87,” enacted 30 March 1987, accessed 14 February 2025, <https://www.heritagetrust.on.ca/oha/details/file?id=8498>.

Table 4. NPS Aspects of Integrity

Aspect and Description ⁹⁰	Discussion
Location: Location is the place where the historic property was constructed or the place where the historic event occurred. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons.	This aspect of integrity remains. The house on the Property has remained in the same location since its construction.
Setting: Setting is the physical environment of a historic property. It refers to the historic character of the place in which the property played its historical role. It involves how, not just where, the property is situated and its historical relationship to surrounding features and open space. The physical features that constitute the historic setting of a historic property can be either natural or manmade and include such elements as topographic features, vegetation, simple manmade paths or fences, and the relationships between buildings and other features or open spaces.	This aspect of integrity does not remain in full. The Property comprised part of a farm in the 19 th and early 20 th centuries. Over time as parts of the property were sold and the current lot was created the historic setting of the property was changed. The organization of space changed from a farm complex to a residential lot. The Property has remained largely unchanged since Emma R. Goldthorpe and Edith A.S. Goldthorpe's subdivision of the remaining lot in 1947.
Design: Design is the combination of elements that create the historic form, plan, space, structure, and style of a property. This includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. Design can also apply to districts and to the historic way in which the buildings, sites, or structures are related. Examples include spatial relationships between major features; visual rhythms in a streetscape or	This aspect of integrity does not remain in full. Over time as parts of the property were sold and the current lot was created the historic form of the property was changed. The organization of space changed from a farm complex to a residential lot. The design of the house also changed through the extension of the roof, removal of a chimney, cladding the building in stucco, and adding new windows with non-functional/non-structural headers, sides,

⁹⁰ National Park Service, "Glossary of Terms: Historic Integrity."

Aspect and Description ⁹⁰	Discussion
landscape plantings; the layout and materials of walkways and roads; and the relationship of other features, such as statues, water fountains, and archeological sites.	sills, and storm shutters. These changes have affected its legibility as a building designed with influences from the Gothic Revival/Victorian Gothic architectural styles.
Materials: Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. If the property has been rehabilitated, the historic materials and significant features must have been preserved. The property must also be an actual historic resource, not a re-creation; a property whose historic features have been lost and then reconstructed is usually not eligible.	This aspect of integrity does not remain in full. Modifications to the house on the Property's materials are extensive and include an extension of the roof, cladding the building in stucco, and adding new windows with non-functional/non-structural headers, sides, sills, and storm shutters. These changes have obscured many of the house's previous materials.
Workmanship: Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. It may be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery. Examples of workmanship in precontact contexts include Paleo-Indian Clovis points, Archaic period beveled adzes, Hopewellian worked bone pendants, and Iroquoian effigy pipes.	This aspect of integrity does not remain in full; however, there is no evidence to suggest that the house on the Property was built with greater than normal quality or at an intensity well above a late 19 th century standard to begin with. Aspects indicative of workmanship are generally limited to the house on the Property's dichromatic brick, which has been obscured by stucco cladding. Dichromatic brick was also common on Victorian Gothic buildings.

Aspect and Description ⁹⁰	Discussion
<p>Feeling: Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district which retains its original design, materials, workmanship, and setting will relate the feeling of agricultural life in the nineteenth century.</p>	<p>This aspect of integrity does not remain in full. Physical modifications to the house on the Property have interrupted its legibility as a vernacular building with architectural design influences from the Gothic Revival/Victorian Gothic styles. These changes reduce the historic feeling of the house. Nevertheless, several basic design characteristics, including the house's one-and-a-half storey height, three bay façade, steeply pitched dormer verandah, and asymmetrical "L" shaped plan, remain which convey a limited sense of historic feeling</p>
<p>Association: Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Therefore, a property where a nationally significant person carried out the action or work for which they are nationally significant is preferable to the place where they returned to only sleep, eat, or spend their leisure time. Like feeling, association requires the presence of physical features that convey a property's historic character.</p>	<p>This aspect of integrity remains; however, there is no tangible, physical characteristics that associate the house on the Property with Thomas Goldthorpe.</p>

6 UNDERSTANDING OF CULTURAL HERITAGE VALUE OR INTEREST

The Property was evaluated against *O. Reg. 9/06* under the *OHA* using research and analysis presented in Section 4 and Section 5 of this HIA. The findings are presented in Table 5.

Table 5. *Ontario Regulation 9/06* Evaluation for 1147 Dixie Road

Criteria	Criteria Met	Justification
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	No	<p>This criterion is not met. The Property does not have design value or physical value because it is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.</p> <p>The house on the Property is not a representative example of the Gothic Revival/Victorian Gothic architectural styles. Representative, as described by the MCM, means that a building is a ‘portrayal’ or ‘symbol’ of a specific style.⁹¹ The house exhibits several common Gothic Revival influences, primarily through its one-and-a-half storey height, three bay façade, steeply pitched dormer, and verandah. Additional Victorian Gothic influences include the house’s asymmetrical “L” shaped plan and its use of dichromatic brick (which has been covered). These influences do not appear at an intensity that makes the building a portrayal or symbol of either style, nor are these influences – in most cases – limited to the Gothic Revival/Victorian Gothic architectural styles. Additionally, modifications to the house have eroded its legibility as a Gothic Revival/Victorian</p>

⁹¹ Ministry of Citizenship and Multiculturalism, “Standards & Guidelines for Conservation of Provincial Heritage properties, Heritage Identification & Evaluation Process,” last updated 28 April 2010, accessed 14 February 2025.

Criteria	Criteria Met	Justification
		<p>Gothic house.</p> <p>The house on the Property is not a rare, unique, or early example of a building designed with influences from the Gothic Revival/Victorian Gothic architectural styles. The use of these styles was common throughout Ontario beginning in the mid-19th century. Several examples in the City of Mississauga predate the house on the Property. Recent modifications have also eroded the house on the Property's legibility as a building designed with influences from the Gothic Revival/Victorian Gothic architectural styles (see Section 5.3).</p>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	No	<p>This criterion is not met. The Property does not have design value or physical value because it displays a high degree of craftsmanship or artistic merit. There is no evidence to suggest that the Property meets this criterion (see Section 4.5 and 5.2).</p>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	No	<p>This criterion is not met. The Property does not have design value or physical value because it demonstrates a high degree of technical or scientific achievement. There is no evidence to suggest that the Property meets this criterion (see Section 4.5 and 5.2).</p>
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a	Yes	<p>This criterion is met. The Property has historical or associative value because it is directly associated with Thomas Goldthorpe who is significant to Toronto Township because of his political associations. Goldthorpe served as Deputy Reeve for</p>

Criteria	Criteria Met	Justification
community.		Toronto Township Council in 1897 and 1898, as a Toronto Township Councillor in 1900 and from 1903 to 1905, and as Toronto Township Reeve from 1906 to 1907 (see Section 4.5).
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	No	This criterion is not met. The Property does not have historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture. There is no evidence to suggest that the Property meets this criterion (see Section 4.5).
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No	This criterion is not met. The Property does not have historical or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community. An architect, artist, builder, designer or theorist was not identified for the building on the Property (see Section 4.5).
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	No	This criterion is not met. The Property does not have contextual value because it is important in defining, maintaining, or supporting the character of an area. The Property's immediate context is primarily composed of commercial golf courses, including the Toronto Golf Club at 1157 Dixie Road and the Lakeview Golf Course located at 1190 Dixie Road. A residential house is located on the Toronto Golf Club lands to the northwest of the

Criteria	Criteria Met	Justification
		house on the property and a residential property is located to the southeast of the Property; however, there is no uniform character connecting the present residential houses. Accordingly, there is no defined character in the Property's immediate area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	No	This criterion is not met. The Property does not have contextual value because it is physically, functionally, visually, or historically linked to its surroundings. Historically, the Property was connected with the Toronto Golf Club, who purchased 40.84 acres of Thomas Goldthorpe's land in 1911 and retained Goldthorpe's barn as a storage facility. The barn was the sole aspect of the Property that was connected with the Toronto Golf Club and it was demolished in 1968. There is no evidence to suggest that the Property meets this criterion (see Section 4.5).
9. The property has contextual value because it is a landmark.	No	This criterion is not met. The building on the Property is not a landmark, which is defined by the MCM as being: "...a recognizable natural or human-made feature used for a point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous." ⁹² The Property is separated from Dixie Road by an unnumbered lot and a steep

⁹² Ministry of Citizenship and Multiculturalism, "Standards & Guidelines for Conservation of Provincial Heritage properties, Heritage Identification & Evaluation Process," 17.

Criteria	Criteria Met	Justification
		embankment, making it difficult to observe from the public right-of-way along Dixie Road. There is no evidence to suggest that this criterion is met (see Section 5.1).

6.1 SUMMARY OF EVALUATION

In LHC's professional opinion, the Property at 1147 Dixie Road **meets** criterion 4 of *O. Reg. 9/06* for its historical or associative value. Because the Property meets one criterion, it is **not eligible** for individual *Designation* under Section 29 Part IV of the *OHA*. A proposed statement of cultural heritage value or interest has been prepared.

6.2 PROPOSED STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

6.2.1 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The Property has historical or associative value because it is directly associated with Thomas Goldthorpe who is significant to Toronto Township because of his political associations. Goldthorpe served as Deputy Reeve for Toronto Township Council in 1897 and 1898, as a Toronto Township Councillor in 1900 and from 1903 to 1905, and as Toronto Township Reeve from 1906 to 1907.

6.2.2 HERITAGE ATTRIBUTES

Per Part 3.(1).4 of *Ontario Regulation 385/21*, "[t]he description of heritage attributes must explain how each heritage attribute contributes to the cultural heritage value or interest of the property."⁹³ The Property's cultural heritage value or interest is limited to its historical association with Thomas Goldthorpe, and more specifically Goldthorpe's importance as a local politician. There are no tangible, physical characteristics present on the Property that illustrate the association of the Property with Thomas Goldthorpe. Accordingly, no heritage attributes exist.

6.3 INTEGRITY EVALUATION

The Property's cultural heritage value or interest is limited to its historical or associative value for its direct connection with Thomas Goldthorpe. Given this, the only aspect of integrity (as identified by the NPS, see Section 2.7 and 5.3.2) that directly applies to the Property is

⁹³ Province of Ontario, "Ontario Regulation 385-21: General," last revised 1 July 2024, accessed 20 February 2025, <https://www.ontario.ca/laws/regulation/210385>. Part 3.(1).4.

association. The NPS's description of association states "[a] property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer." There exists no tangible, physical relationship between Thomas Goldthorpe –significant for his role as a as Deputy Reeve for Toronto Township Council, Toronto Township Councillor, and Toronto Township Reeve – and the Property.

7 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The Owner is proposing to demolish the c. 1884 house on the Property. Future plans for the Property have not been detailed.

8 IMPACT OF THE PROPOSED DEVELOPMENT

The proposed development will result in the destruction of the c. 1884 house on the Property. Evaluation of the Property against *O. Reg. 9/06* revealed that it meets one criterion and is not eligible for individual *Designation* under Section 29 Part IV of the *OHA*. Additionally, there are no tangible, physical characteristics present on the Property connected with its historical or associative value. Accordingly, there is no reason, from a purely cultural heritage perspective, that demolition should not be allowed.

Canada's Historic Places' Standards and Guidelines for the Conservation of Historic Properties in Canada and the MCM's Eight Guiding Principles in the Conservation of Historical Properties do not provide information regarding demolition. Accordingly, their respective standards and principles are not applicable.

9 MITIGATION OPTIONS, CONSERVATION METHODS, AND PROPOSED ALTERNATIVES

Because there is no reason, from a purely cultural heritage perspective, that demolition should not be allowed for the c. 1884 house on the Property, mitigation options, conservation methods, and alternatives were not explored.

Per policy 7.5.2.2 in the *Mississauga Official Plan*, documentation of a cultural heritage resource is required prior to demolition or alteration. This HIA should serve as the required documentation.

10 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 16 December 2024 by 400511 Ontario Ltd. to prepare a HIA for the proposed demolition of the c. 1884 two-storey residence, locally known as the Thomas Goldthorpe House, located at 1147 Dixie Road in the City of Mississauga, Ontario.

It is understood that the Property is *Listed* on the City's heritage register under Section 27 Part IV of the *OHA*. It is further understood that City Heritage Staff have confirmed the process – in accordance with Section 27 Part IV of the *OHA* – for providing 60 days written notice to the City of intention to demolish the structure along with a completed Heritage Property Application and a HIA.

In LHC's professional opinion, the Property at 1147 Dixie Road **meets** criterion 4 of *O. Reg. 9/06* for its historical or associative value because it is directly associated with Thomas Goldthorpe, who served as Councillor, Deputy Reeve, and Reeve for Toronto Township. Because the Property meets one criterion, it is **not eligible** for individual *Designation* under Section 29 Part IV of the *OHA*. Additionally, there are no tangible, physical characteristics present on the Property connected with its historical or associative value. As a result, the Property has no heritage attributes. It is LHC's professional opinion that the Property does not warrant individual *Designation* under Section 29 Part IV of the *OHA*.

Because the Property is not eligible for individual *Designation* under Section 29 Part IV of the *OHA*, there is no reason, from a purely cultural heritage perspective, that demolition should not be allowed. Mitigation options, conservation methods, and proposed alternatives were not explored.

Per policy 7.5.2.2 in the *Mississauga Official Plan*, documentation of a cultural heritage resource is required prior to demolition or alteration. This HIA should serve as the required documentation.

11 SIGNATURES

Sincerely,

A handwritten signature in black ink, appearing to read "Ben Daub".

Ben Daub, MA RPP MCIP CAHP-Intern
Intermediate Heritage Planer

A handwritten signature in black ink, appearing to read "Christienne Uchiyama".

Christienne Uchiyama, MA CAHP
Principal | Manager, Heritage Consulting Services

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Appendix A Qualifications

Ben Daub, MA, MCIP, RPP, CAHP Intern – Intermediate Heritage Planner

Ben Daub is an intermediate heritage planner with LHC. He holds a Bachelor of Applied Technology in Architecture – Project and Facility Management from Conestoga College and a Master of Arts in Planning from the University of Waterloo. His master's thesis analyzed the relationship between urban intensification and the ongoing management of built heritage resources using a mixed methods approach. During his academic career, Ben gained a detailed understanding of the built environment through exposure to architectural, engineering, and urban planning principles and processes. His understanding of the built environment ranges from building specific materials and methods to large scale planning initiatives.

Ben has been the primary or contributing author of over 60 technical cultural heritage reports with LHC. He has worked on Heritage Impact Assessments, Cultural Heritage Evaluation Reports, Environmental Assessments, Heritage Conservation District Studies, and Municipal Heritage Register Reviews. He has worked with properties with cultural heritage value recognized at the municipal, regional, provincial, and federal levels and has prepared reports for urban, suburban, and rural sites.

In addition to his work at LHC, Ben instructs the Urban and Community Planning course in Conestoga College's Architecture – Project and Facility Management degree program and has presented his master's thesis research at ICOMOS Canada's Next Generation: Research from Canadian Emerging Professionals event. Ben is a Registered Professional Planner (RPP), full member with the Ontario Professional Planners Institute (OPPI), full member with the Canadian Institute of Planners (MCIP), and an intern member of the Canadian Association of Heritage Professionals (CAHP).

Christienne Uchiyama, MA CAHP – Principal LHC

Christienne Uchiyama MA CAHP is Principal and Manager of Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with more than two decades of experience working on cultural heritage aspects of planning and development projects. She received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum

site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments. She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Benjamin Holthof, MPI MMA RPP MCIP CAHP – Senior Heritage Planner

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research and interpretive planning. He has been a project manager for heritage consulting projects including archaeological management plans and heritage conservation district studies. Ben has also provided heritage planning support to municipalities including work on heritage permit applications, work with municipal heritage committees, along with review and advice on municipal cultural heritage policy and process. His work has involved a wide range of cultural heritage resources including on cultural landscapes, institutional, industrial, commercial, and residential sites as well as infrastructure such as wharves, bridges and dams. Ben was previously a Cultural Heritage Specialist with Golder Associates Ltd. from 2014-2020.

Ben is experienced in museum and archive collections management, policy development, exhibit development and public interpretation. He has written museum policy, strategic plans, interpretive plans and disaster management plans. He has been curator at the Marine Museum of the Great Lakes at Kingston, the Billy Bishop Home and Museum, and the Owen Sound Marine and Rail Museum. These sites are in historic buildings and he is knowledgeable with extensive collections that include large artifacts including, ships, boats, railway cars, and large artifacts in unique conditions with specialized conservation concerns.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Jordan Greene, BA (Hons) – Mapping Technician

Jordan Greene, BA joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University, Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

Appendix B Glossary

Definitions are based on those provided in the *Provincial Planning Statement (PPS)*, *Ontario Heritage Act (OHA)*, the *Peel Region Official Plan (ROP)*, and *Mississauga Official Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Adjacent Lands for the purposes of policy 4.6.3, those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (*PPS*).

Adjacent Lands means lands that are contiguous to a protected heritage property or as otherwise defined in a local municipal official plan (*ROP*).

Alter means to change in any manner and includes to restore, renovate, repair or disturb and “alteration” has a corresponding meaning; (“transformer”, “transformation”) (*OHA*).

Built Heritage Resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. (*PPS*).

Built Heritage Resource means one or more buildings, structures, monuments, installations, or any manufactured or constructed part of remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on a property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included in local, provincial, federal and/or international registers. (*ROP*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments (*PPS*).

Cultural Heritage Landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association (*PPS*).

Cultural Heritage Landscape a defined geographical area that may have been altered through human activity and is identified as having cultural heritage value or interest by a community including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (*ROP*).

Cultural Heritage Resource means built heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (*ROP*).

Development means the creation of a new lot, a change in land use or construction of buildings and structures, requiring approval under the *Planning Act* but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the *Drainage Act* (*ROP*).

Heritage Attributes means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest; (“attributs patrimoniaux”) (*OHA*).

Heritage Attributes means, as defined under the *Ontario Heritage Act*, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest. (*PPS*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. views or vistas to or from a protected heritage property) (*OP*).

Protected Heritage Property means property designated under Part IV or VI of the *Ontario Heritage Act*; property included in an area designated as a heritage conservation district under Part V of the *Ontario Heritage Act*; property subject to a heritage conservation easement or covenant under Part II or IV of the *Ontario Heritage Act*; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the *Standards and Guidelines for the Conservation of Provincial Heritage*

Properties, property protected under federal heritage legislation; and UNESCO World Heritage Sites (*PPS*).

Protected Heritage Property means property listed by council resolution on a heritage register or designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*ROP*).

Significant means in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act* (*PPS*).

Appendix C Terms of Reference

Table 6. Heritage Impact Assessment Terms of Reference

Requirement	Report Location
<p>A detailed site history to include a listing of owners from the Land Registry Office, relevant information specific to any other individuals who may have resided or are associated with the property, and a history of the site use(s). Provide history of the site uses to identify, describe and evaluate the significance of any persons, groups, trends, themes and or events that are historically or culturally associated with the subject property. However, please note that due to the Freedom of Information and Protection of Privacy Act (FIPPA), current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.</p> <p>The City of Mississauga recognizes the historic and continued use of the land now known as Mississauga by the Mississaugas of the Credit First Nation, the Haudenosaunee Confederacy the Huron-Wendat and Wyandot Nations and their ancestors. As such all HIAs must include recognition of Indigenous history and settlement and where appropriate, address Indigenous cultural heritage interests in the surrounding area. Specific attention should be paid to possible traditional use areas as well as sacred and other sites, which could exist on or near the property.</p>	Section 4.
<p>A complete listing and full written description of all existing structures, natural or human-made, on the property. Specific mention must be made of all the heritage resources on the subject property, which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.</p> <p>The report will include a clear statement of the conclusions regarding</p>	For discussion on existing conditions, refer to Section 5. For discussion/chronology of additions, removals, conversions, alterations, etc.,

Requirement	Report Location
<p>the significance and heritage attributes of the cultural heritage resource.</p> <p>A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.</p>	<p>refer to Section 4. For statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource, refer to Section 6.</p>
<p>Documentation of the existing conditions related to the heritage resource will include:</p> <ul style="list-style-type: none"> • Current legible internal photographs, external photographs from each elevation. Please note that due to FIPPA, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials. • Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated. • Historical photos, drawings, or other archival material that may be available or relevant. 	<p>For current photos of the Property, refer to Section 5. For annotated maps showing the property, refer to Section 1 and Section 4. For historical photos, refer to Section 4.</p> <p>Measured drawings have not been included.</p>
<p>An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands and its conformity with</p>	<p>Section 7.</p>

Requirement	Report Location
<p>existing zoning. Any and all variances proposed for the property as related to the application project must be thoroughly reported and disclosed.</p> <p>If the property forms part of a Heritage Conservation District (HCD), the proposal must be analysed in terms of its compliance with the HCD Plan.</p>	
<p>Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.</p>	<p>n/a – no specific plans for future development have been detailed.</p>
<p>When trees are listed as a heritage attribute, and it is also required as part of the site plan process, an arborist report is required. Current property owner information must be redacted.</p>	<p>n/a – trees are not listed as heritage attributes.</p>
<p>An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (Info Sheet #5, Ministry of Culture) include, but are not limited to:</p> <ul style="list-style-type: none"> • Alternative development approaches • Isolating development and site alteration from significant built and natural heritage features and vistas • Design guidelines that harmonize mass, setback, setting and materials • Limiting height and density • Allowing only compatible infill and additions • Reversible alterations • Buffer zones, site plan control, and other planning mechanisms <p>Provide mitigation measures, conservation methods, and/or alternative development options that avoid or limit the direct and indirect impacts to the heritage resources. Evaluate the advantages and disadvantages of</p>	<p>Section 9.</p>

Requirement	Report Location
<p>each proposed mitigation measure.</p> <p>These alternate forms of development options presented in the HIA must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.</p> <p>Provide recommendations for follow-up site specific heritage strategies or plans such as a conservation plan, adaptive reuse plan or heritage structural engineering assessment.</p>	
<p>A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)</p>	Section 8.
<p>Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.</p>	Section 8.
<p>When a property cannot be conserved, alternatives shall be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.</p> <p>Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.</p> <p>All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.</p>	Section 8 and Section 9.

Requirement	Report Location
<p>The summary should provide a full description of:</p> <ul style="list-style-type: none"> • Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act? • If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not. • Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement: <p>Conserved: means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.</p>	<p>Section 6 and Section 10.</p>
<p>The heritage consultant must provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.</p> <ul style="list-style-type: none"> • The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable • The identification of any impact that the proposed development will have on the cultural heritage resource • An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended 	<p>Section 10.</p>

Requirement	Report Location
<ul style="list-style-type: none"> Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate 	
<p>The qualifications and background of the person completing the HIA will be included in the report. The author must be a qualified heritage consultant by having Professional standing with the Canadian Association of Heritage Professionals (CAHP) and/or clearly demonstrate, through a Curriculum Vitae, his/her experience in writing such Assessments or experience in the conservation of heritage places. The Assessment will also include a reference list for any literature cited, and a list of people contacted during the study and referenced in the report.</p>	<p>For author qualifications, refer to Appendix A. For report references, refer to Section 12.</p>

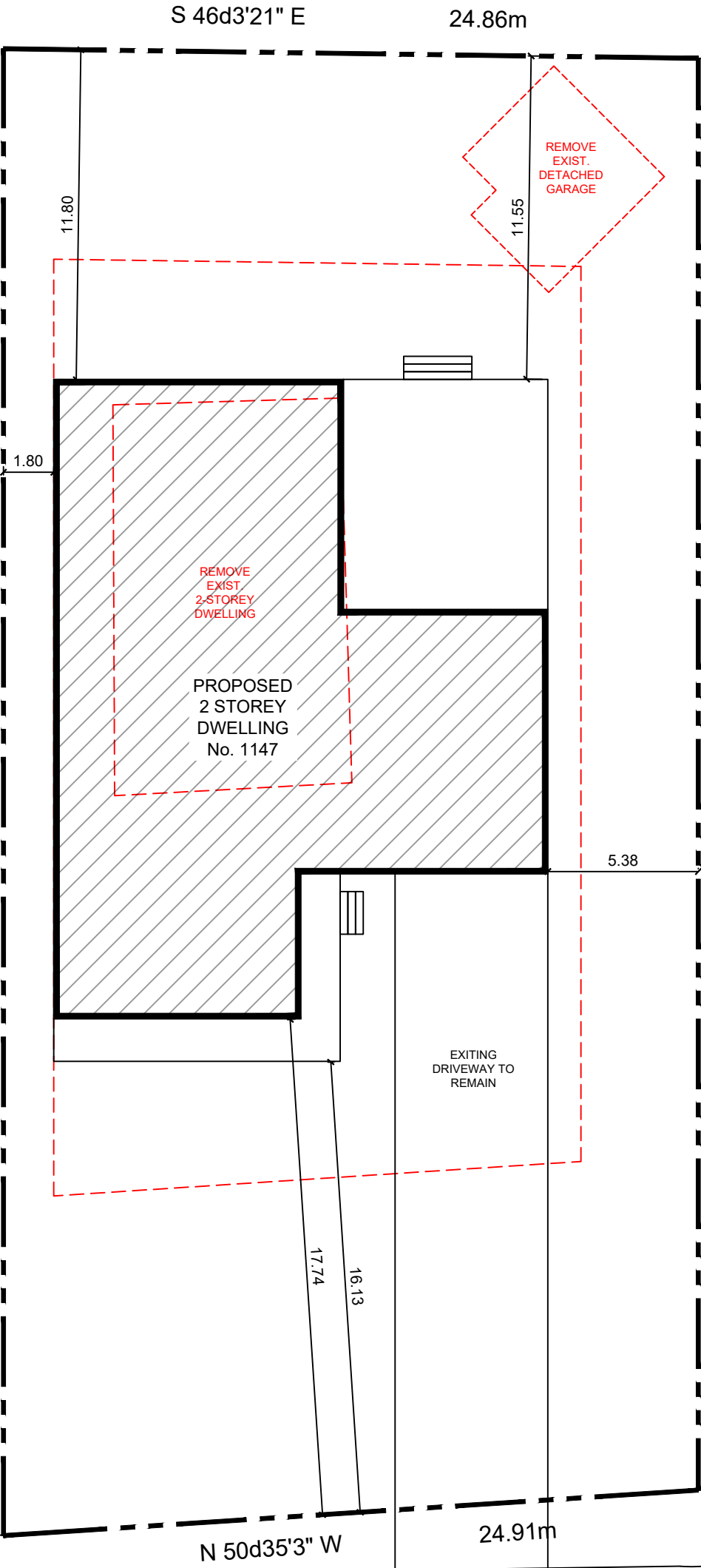
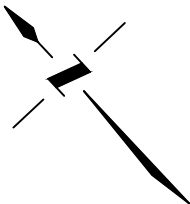
General Notes:

1. Do Not Scale Drawings
2. These Plans Are For Preliminary Design Purposes Only

Site Statistics

Lot Area		1297 sm
Zoning		R1 - 51
Proposed Floor Area		
Main Floor		227.93 sm
Lot Coverage		
Dwelling Coverage		298.17 sm
Covered Porch		22.88 sm
Total Lot Coverage	24.75%	321.05 sm

Appendix 2 - 1147 Dixie Road



Preliminary Site Plan

1147 Dixie Road, Mississauga, ON

Harper Dell & Associates Inc.

Planning, Parking, Zoning &
Land Development Consultants
1370 Hurontario St.
Mississauga, ON, L5G 3G4

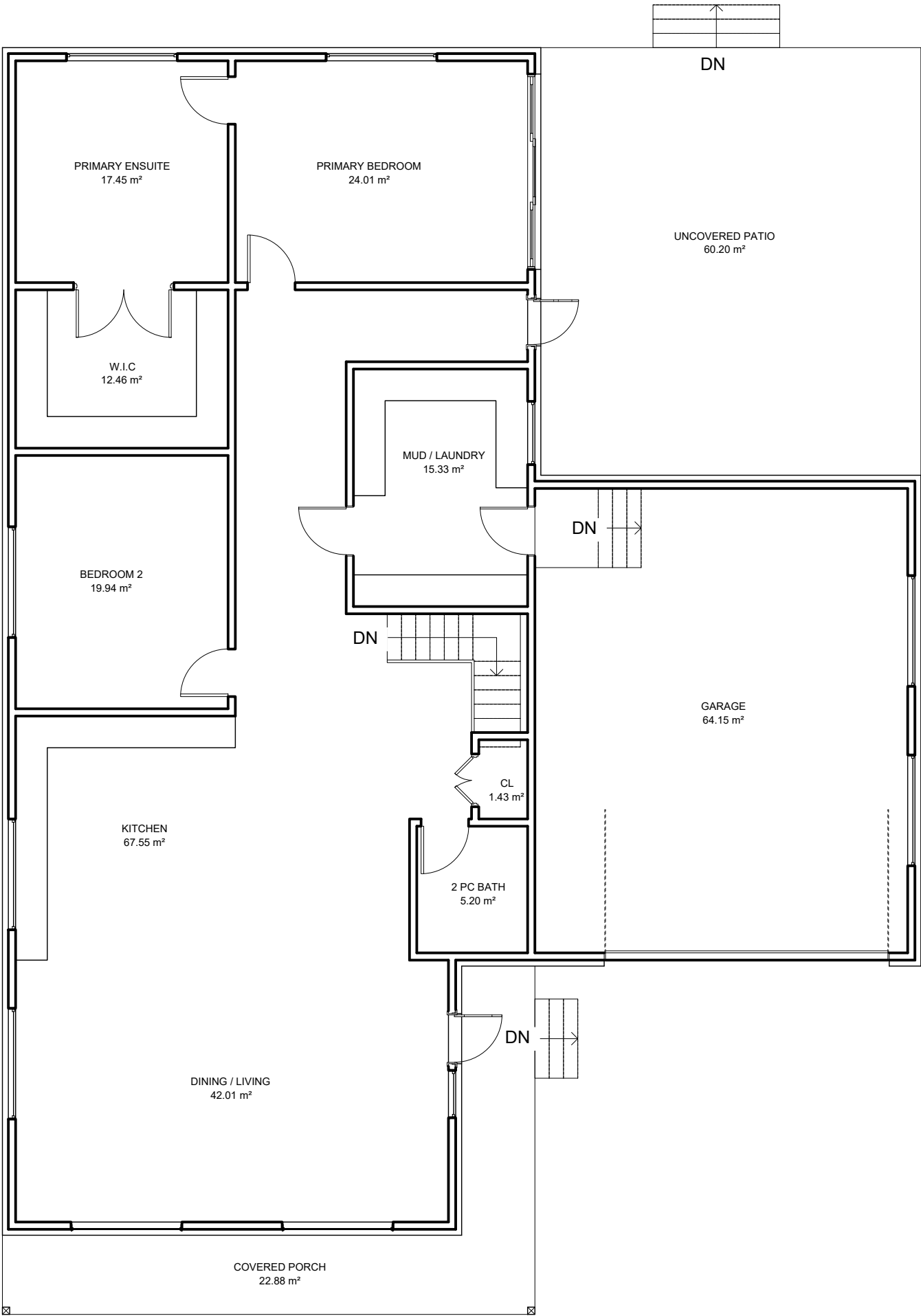
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General Notes:

- 1. Do Not Scale Drawings
- 2. These Plans Are For Preliminary Design Purposes Only



Main Floor Plan

1147 Dixie Road, Mississauga, ON

Harper Dell & Associates Inc.

Planning, Parking, Zoning &
Land Development Consultants
1370 Hurontario St.
Mississauga, ON, L5G 3G4

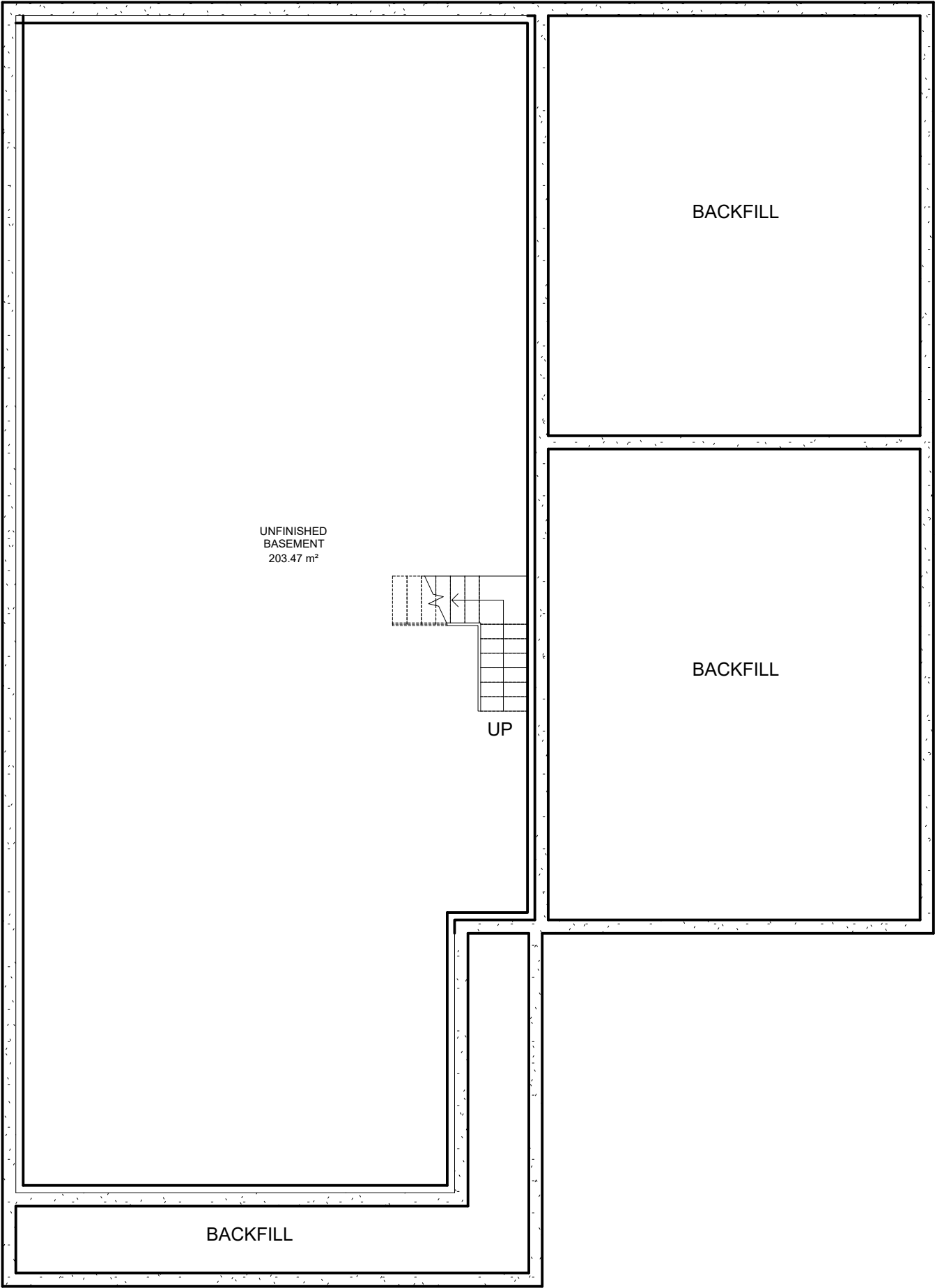
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A1

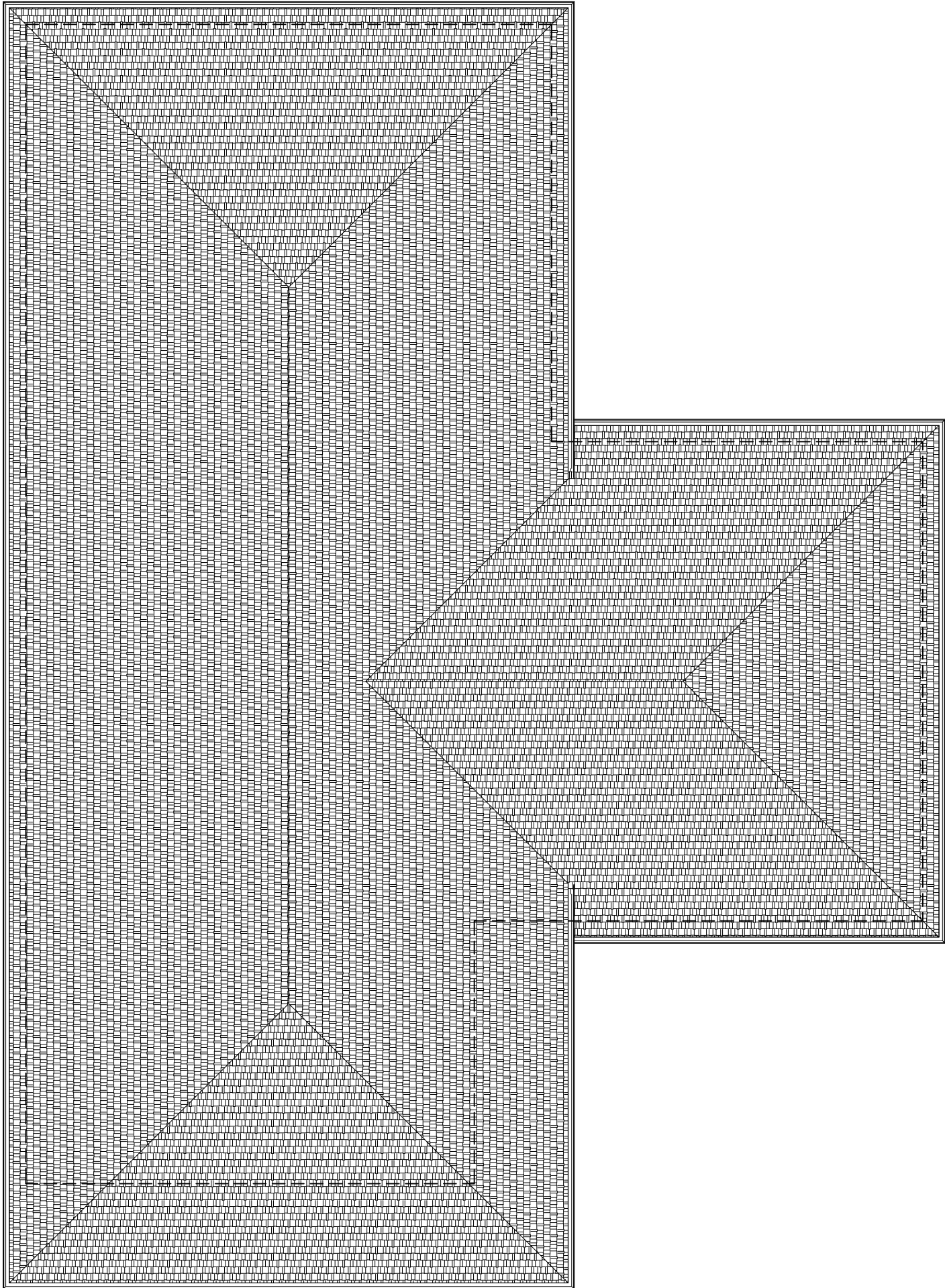
General Notes:

- 1. Do Not Scale Drawings
- 2. These Plans Are For Preliminary Design Purposes Only



General Notes:

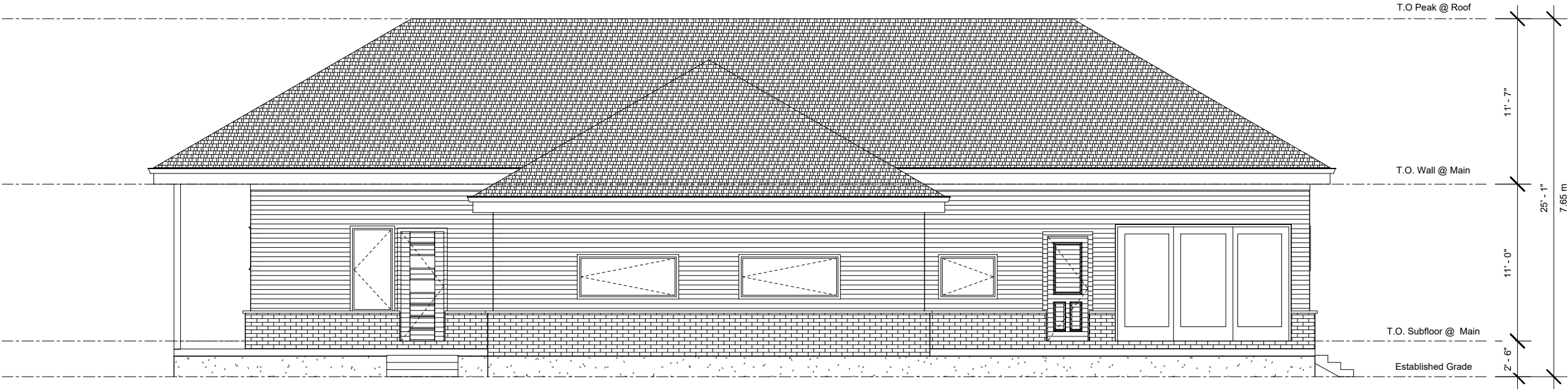
- 1. Do Not Scale Drawings
- 2. These Plans Are For Preliminary Design Purposes Only



General Notes:

1. Do Not Scale Drawings

2. These Plans Are For Preliminary Design Purposes Only



Front Elevation

1147 Dixie Road, Mississauga, ON

Harper Dell & Associates Inc.

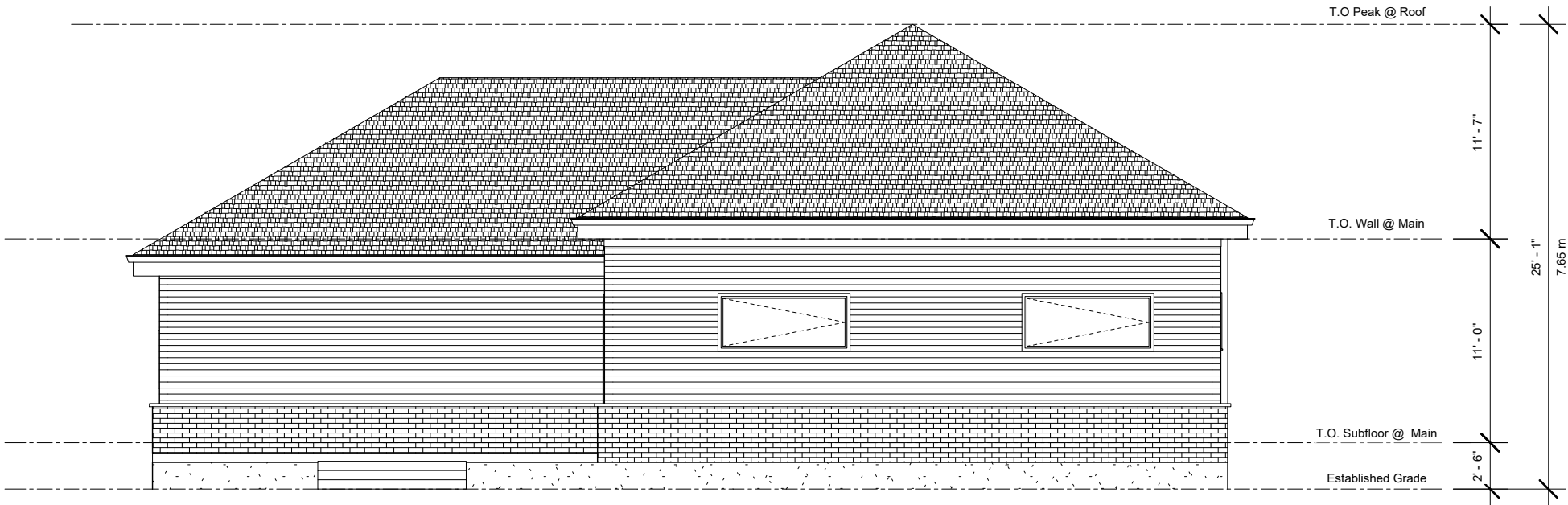
Planning, Parking, Zoning &
Land Development Consultants
1370 Hurontario St.
Mississauga, ON, L5G 3G4

Date: May 1, 2025

Scale: 1:100

A4

- General Notes:
- 1. Do Not Scale Drawings
 - 2. These Plans Are For Preliminary Design Purposes Only



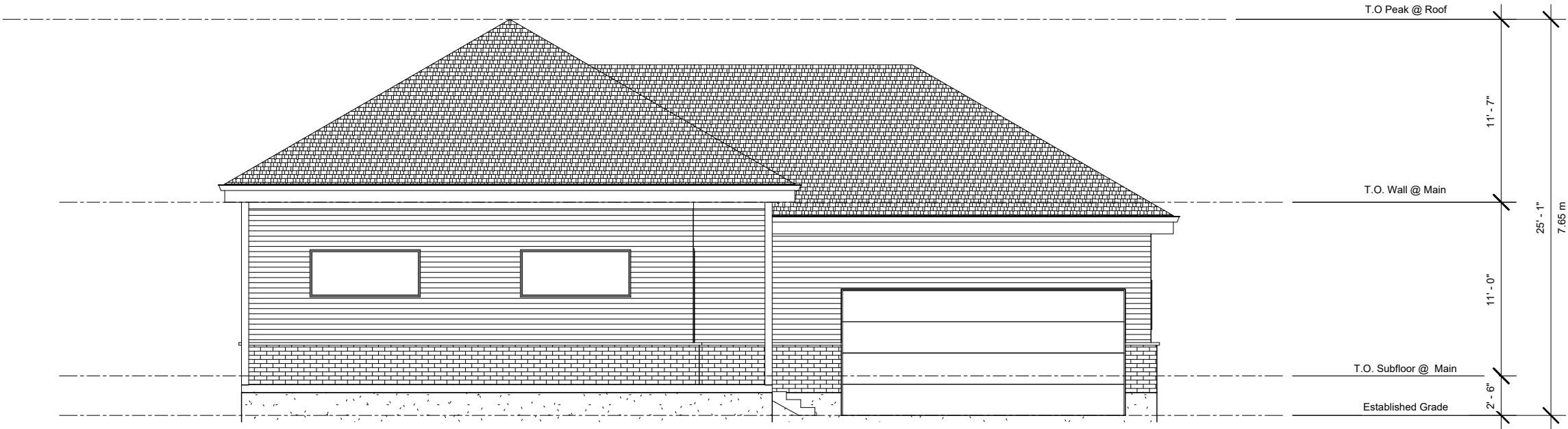
Right Elevation
1147 Dixie Road, Mississauga, ON

Harper Dell & Associates Inc.
Planning, Parking, Zoning &
Land Development Consultants
1370 Hurontario St.
Mississauga, ON, L5G 3G4

Date: May 1, 2025
Scale: 1:100

A5

- General Notes:
- 1. Do Not Scale Drawings
 - 2. These Plans Are For Preliminary Design Purposes Only



Rear Elevation

1147 Dixie Road, Mississauga, ON

Harper Dell & Associates Inc.

Planning, Parking, Zoning &
Land Development Consultants
1370 Hurontario St.
Mississauga, ON, L5G 3G4

Date: May 1, 2025

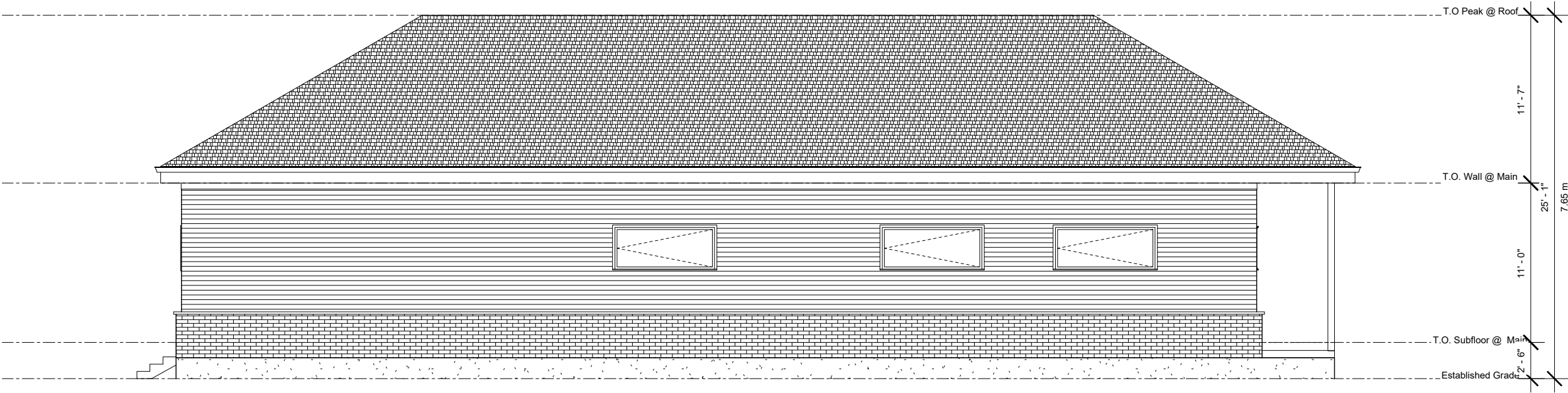
Scale: 1:100

A6

General Notes:

1. Do Not Scale Drawings

2. These Plans Are For Preliminary Design Purposes Only



Left Elevation

1147 Dixie Road, Mississauga, ON

Harper Dell & Associates Inc.
Planning, Parking, Zoning &
Land Development Consultants
1370 Hurontario St.
Mississauga, ON, L5G 3G4

Date:	May 1, 2025
Scale:	1:100

A7

City of Mississauga Corporate Report



Date: May 7, 2025 To: Chair and Members of Heritage Advisory Committee	Originator's files:
From: Raj Sheth, P.Eng, Commissioner of Community Services	Meeting date: June 10, 2025

Subject

Request to Demolish a Heritage Listed Property at 3610 Burnbrae Drive (Ward 6)

Recommendation

That the request to demolish the heritage listed property at 3610 Burnbrae Drive (Ward 6), as outlined in the report from the Commissioner of Community Services, dated May 7, 2025, be approved.

Executive Summary

- The property is listed under section 27.3 of the Ontario Heritage Act.
- Structures or buildings cannot be removed from the Heritage Register without at least 60 days notice.
- The part of the property proposed for demolition does not meet the criteria for heritage designation and should therefore be allowed to be demolished.

Background

Section 27.3 of the Ontario Heritage Act states that structures or buildings on property listed on the City's Heritage Register cannot be removed or demolished without at least 60 days' notice to Council. This legislation allows time for Council to review the property's cultural heritage value to determine if the property merits designation.

Comments

The owner of the subject property has submitted an application to demolish the existing detached dwelling. The subject property is listed on the City's Heritage Register as it forms part of the Credit River Corridor Cultural Heritage Landscape, noted for its scenic and natural qualities. The Heritage Impact Assessment is attached as Appendix 1. It is the consultant's

conclusion that the house does not merit designation under the Ontario Heritage Act. Staff concur. As such, the demolition should be allowed to proceed.

Financial Impact

There is no financial impact resulting from the recommendation of this report.

Conclusion

The owner of the subject property has submitted an application to demolish the extant structures on the subject heritage listed property. As these aspects of the property do not merit designation under the Ontario Heritage Act, the demolition should be allowed to proceed.

Attachments

Appendix 1: Heritage Impact Assessment



Raj Sheth, P.Eng, Commissioner of Community Services

Prepared by: P. Wubbenhorst, Heritage Planner

W.E. Oughtred & Associates Inc.

HERITAGE IMPACT ASSESSMENT



3610 Burnbrae Drive
May 2024

Introduction

This Heritage Impact Assessment (HIA) has been prepared by W.E. Oughtred & Associates Inc. as a requirement for obtaining a heritage permit for the demolition of the existing dwelling and the construction of a new home on the subject property. 3610 Burnbrae Drive is a part of the Credit River Corridor Cultural Landscape within the City of Mississauga Cultural Landscape Inventory.

The Credit River Corridor has cultural heritage value as a cultural heritage landscape due to its physical value, historical and associative value, and contextual value.

The Credit River Corridor has physical value as a representative and well-preserved example of a natural cultural heritage landscape. The greenspace extends through the core of the City of Mississauga and contains one of the few remaining natural ecosystems in the city. The Credit River Valley has been identified as the most significant natural landscape and wildlife habitat within the city. The Credit River also has physical value for aesthetic and scenic reasons. In some areas of the corridor there are scenic views of towering slopes from the valley floor, and views of the lush valley. Trees and the natural landscape throughout the Credit River Valley add to the scenic qualities of this landscape. The Q.E.W. Credit River Bridge is an unusual and unique example of an inverted bowstring arch deck truss bridge and features multiple types of connections, unusual among the construction of steel bridges.

The Credit River Corridor has historical and associative value due to its direct associations with Indigenous and European land use and settlement activities. The Credit River played a major role in dictating both pre-contact and European settlement patterns. The abundance of fish in the Credit River provided a key component of Indigenous and early European settlers' diets, as well as a source of recreation, as settlement followed. The Credit River

also provided a valuable transportation source for early communities and an energy source, first for saw and grist mills and later for steam and hydroelectric projects. The Credit River Corridor also has historical and associative value due to its contributions to an understanding of a community or culture as it has played and continues to play a significant role in the Mississaugas of the Credit First Nation community with fishing, hunting, gathering, and spiritual activities. The Q.E.W. Credit River Bridge is considered to be a notable example of a bridge designed by Joseph Hobson, Chief Engineer of the Grand Truck Railroad and built by the Canadian Bridge Co. Ltd., given its craftsmanship, technical achievement, and unusual and unique design.

The Credit River Corridor also has contextual value as a cultural heritage landscape that is important in defining the character of the area. The Credit River remains a core of greenspace through the heart of Mississauga and plays a large role as a passive recreational area for the city. Recommendations that protect the character of the valley have been implemented to ensure long-term protection and maintenance of the scenic qualities of the Valley. The Credit River is historically, physically, functionally, and visually linked to its surroundings. Within the City of Mississauga, the Credit River flows for approximately 24 km and has shaped the land, both physically and culturally, for the past 10,000 years. The Credit River is considered a landmark in the community. The 1979 Project Planning study highlighted the fact that the valley is the most significant natural landscape and wildlife habitat in the City of Mississauga. There is public consensus on the importance of protecting this ecosystem.

Community Value

The Credit River Corridor is valued as a cultural heritage landscape due to its community value. The river is a landmark in the community; a greenspace core that contrasts the dense development that characterizes the city. The community exhibits pride and stewardship of the Credit River Valley.

Commemorative plaques, designation of properties under Part IV of the O.H.A., heritage bridge designations, and the establishment of the Credit Valley Conservation in the mid-twentieth century signify the importance of the Credit River to the members of the community. The Credit River Valley is a large expanse of public space, used for various recreation and public events. The Credit River has played a significant role in the lives of the Mississaugas of the Credit First Nation community. Hunting, fishing, gathering, and spiritual activities continue to be carried out by band members today. The river valley is written about in many local history books and tourism in the area draws people to the parks and recreation areas along the Credit River. Finally, planning policies (The Credit River Parks Strategy and The Credit Valley Conservation Strategic Plan) and projects (The Credit Valley Trail) speak to the importance of maintaining the character and setting of the Credit River Corridor.

Historical Integrity

The Credit River Corridor is valued as a cultural heritage landscape due to its historical integrity. The diverse ecosystem found in the Credit River Valley is the only naturally remaining example of this once vast environment. The cultural relationship of the river and the valley with local First Nations community has been continuous through time. Some band members continue to carry out fishing, hunting, gathering, and spiritual activities today. The natural features and relationships of the Credit River Valley have remained intact since the retreat of the glaciers. The steep valley walls, benches, and alluvial terraces are the result of thousands of years of erosion and fluvial activities. There are 8 identified viewpoints and 13 overlook points along the corridor. To date 15 archaeological sites are recorded along the Credit River, including the ruins of the Timothy Street Mill, in Streetsville. Also in Streetsville are the ruins of the Hyde Mill which are designated under Part IV of the O.H.A.¹

¹ ASI, Conserving Heritage Landscapes: Cultural Heritage Landscape Project

This report was prepared in accordance with the City of Mississauga's Terms of Reference for Heritage Impact Assessments (2022). A site inspection was undertaken by W.E. Oughtred & Associates on November 13, 2023, to assess and document the property and its relationship to the neighbourhood.

Location and Site Description

3610 Burnbrae Drive is located south of Burnhamthorpe Road and east of Erin Mills Parkway.

Municipal Address: 3610 Burnbrae

Drive

Legal Description: Lot 44, Plan 714

Lot Area: 1279.99 sm

General Location: South of the Burnhamthorpe Road, east of Erin Mills Parkway.

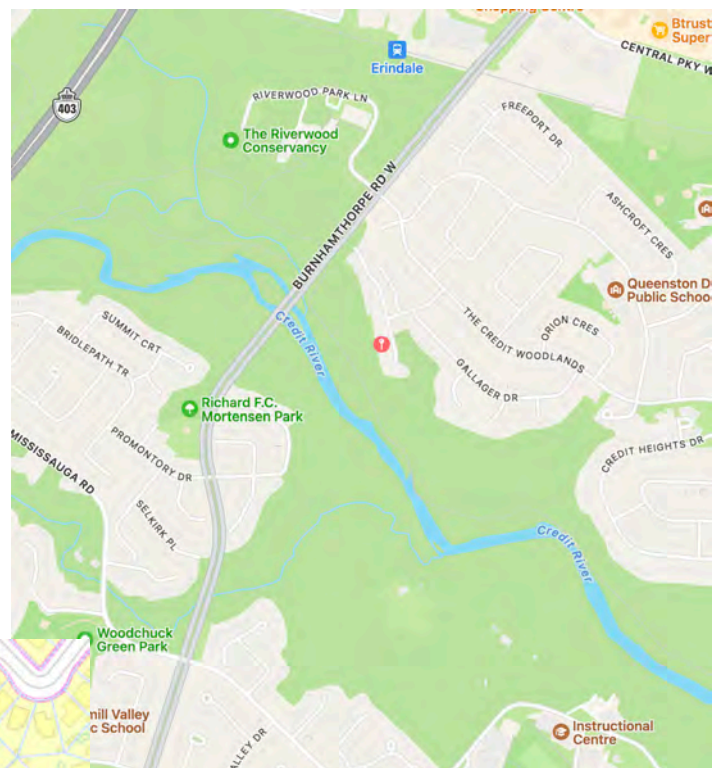


Figure 1: Site Location (right)

Figure 2: Zoning (below)



The property is rectangular shaped lot. It has a frontage of 22.4m on Burnbrae Drive. The property is separated from the Credit River by a parkway belt. The subject property contains a single family detached dwelling. It is zoned both R2, Residential and G1, Greenbelt. See figure 2 for zoning delineation.

Property History

The property appears to have been built in the late 1960's, a period of rapid growth for the City of Mississauga. In a report by Peat Marwick & Partners, titled Mississauga Urban Development and Transportation, 1974, they state "Over the past two decades Mississauga has emerged from a rural township containing small, relatively independent villages and communities, to a suburban community. With the development of major regional shopping and commercial facilities, university and research functions, Mississauga is now emerging into a much more urban

place,
complemented by
designation as a City
in January, 1974." ²

The arial photo
from 1966 depicts
the development of
the Credit
Woodlands. The
subject property is
identified by an
orange star. HWY
403 has yet to be
constructed, and
Burnhamthorpe
Road does not
extend over the
Credit River.

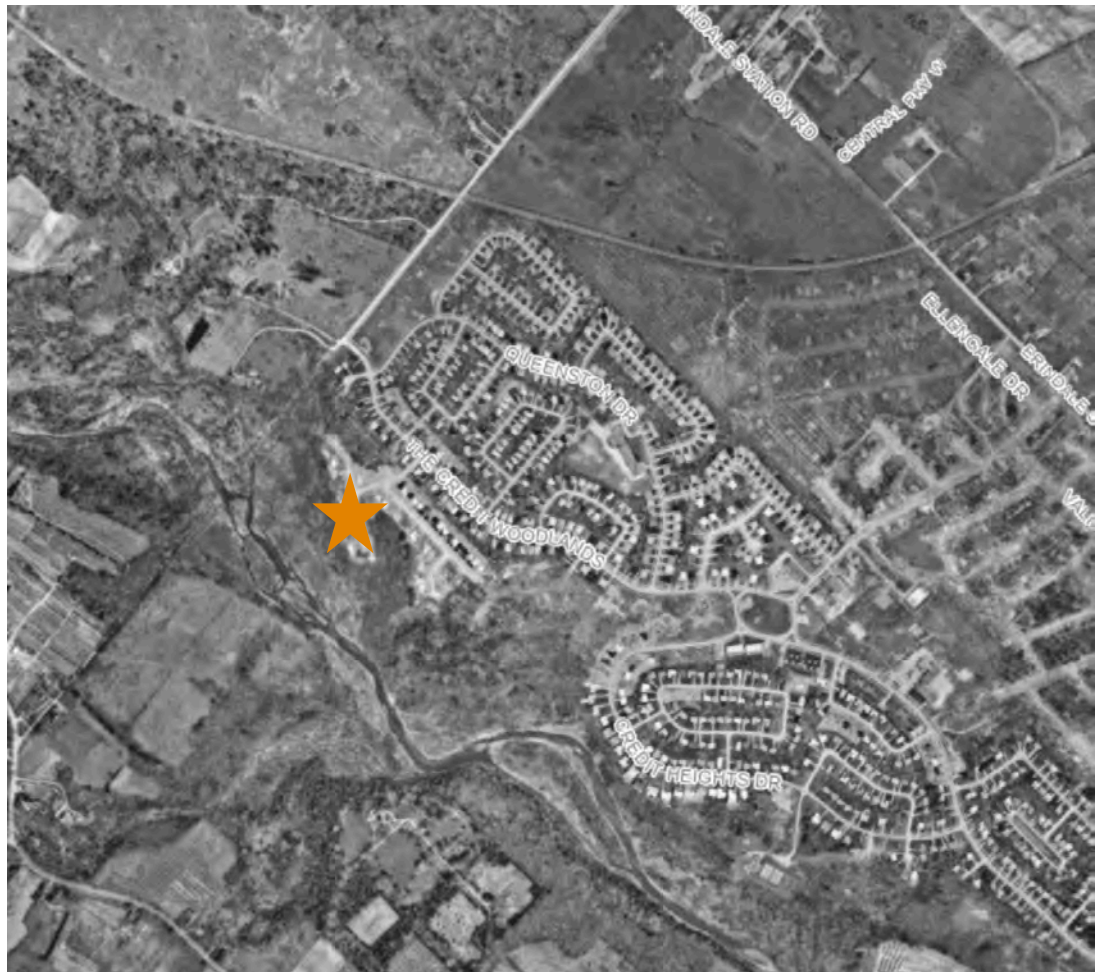


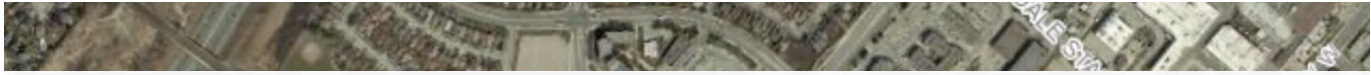
Image 1: 1966 Aerial Photo

² Mississauga, Urban Development & Transportation Study, Peat Marwick and Partners, September, 1974



Image 2: 1985 Aerial Photo

In the 1970's Mississauga's growth was aided by the construction of major transportation routes - ie Hwy 410, 403 and the QEW, as well as the retention and expansion of the airport. It was still considered a 'dormitory suburb', with 70% of residents commuting outside of the area for employment.



App no.	Address	Unit no. ⬆	Scope	Issue date ⬆
Applied date ⬆	Description		Type description	Status ⬆
HCC 66 164617	3610 BURNBRAE DR	-	-	-
1966-05-04	DR PERMIT 26488	-	-	HISTORY COMMENT PERMIT
HCC 65 164616	3610 BURNBRAE DR	-	-	-
1965-12-08	HTG PERMIT 4773	-	-	HISTORY COMMENT PERMIT
HCC 65 164614	3610 BURNBRAE DR	-	-	-
1965-12-01	DR PERMIT 24309	-	-	HISTORY COMMENT PERMIT
HCC 65 164615	3610 BURNBRAE DR	-	-	-
1965-12-01	PLG PERMIT 24640	-	-	HISTORY COMMENT PERMIT
HCC 65 164613	3610 BURNBRAE DR	-	-	-
1965-11-03	SINGLE FAMILY DWELLING PERMIT 21016	-	-	HISTORY COMMENT PERMIT




Image 3: 2022 aerial photo

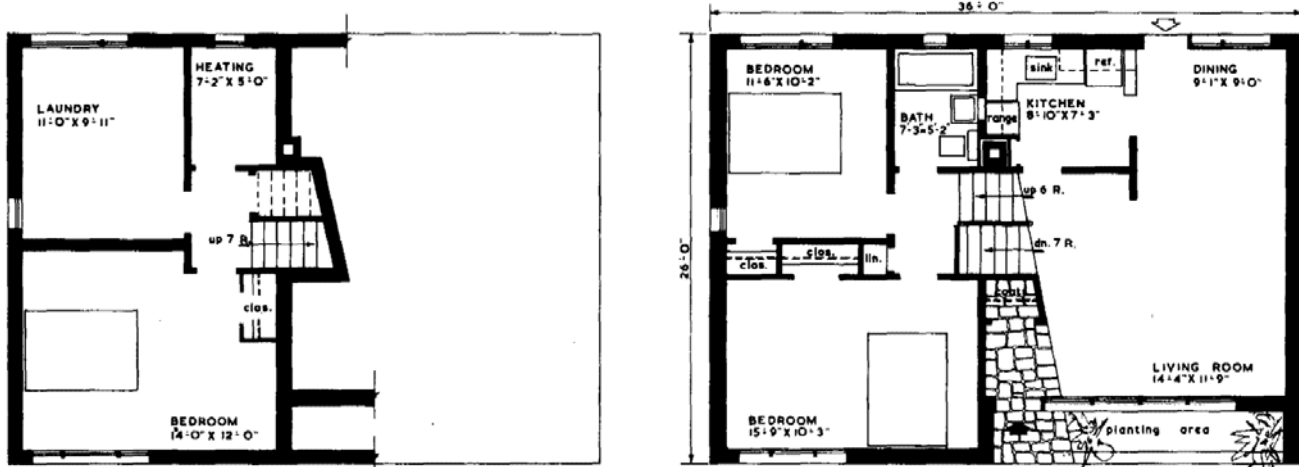
Mississauga is a fully developed City today. If you want to reside in an established, mature, neighbourhood in a new home, your options are limited. Vacant residential properties in these neighbourhoods do not exist, so many property owners are demolishing older homes in established neighbourhoods to build their dream homes. This is evidenced throughout many neighbourhoods - ie Port Credit, Cooksville, Mineola, Streetsville, etc.

There have been no building permits issued for the property since its construction in 1965. Interior alterations have been undertaken; bathroom and kitchen upgrades.

Figure 3: City of Mississauga Building Permit Records

The house would be considered a side split, where the multiple levels are visible from the street. In this house, you enter on the main floor and the lower and upper levels are on the south side. The garage is situated in front on the south side.

In the 1950's Canada Mortgage and Housing (known then as Central Mortgage and Housing Corporation, CMHC) produced booklets. "This is one of two booklets illustrating houses for which construction drawings have been made available to prospective home-owners and builders through the co-operation of Central Mortgage and Housing Corporation and Canadian architects. The booklets offer a wide variety of house types and plans which have been designed especially to meet Canadian requirements. The companion booklet is: small house designs two-storey and 1 1/2 -storey houses. A complete set of working drawings for each house illustrated may be purchased from Central Mortgage and Housing Corporation for \$10.00, plus municipal and provincial taxes where applicable. Drawings should be ordered by house design number from the nearest regional, branch or loans office of the Corporation. Mail orders for drawings should be accompanied by a money order or cheque payable to Central Mortgage and Housing Corporation and cheques must include bank exchange charges. When required, extra copies may be purchased at \$2.50 each, plus taxes." ³



³ Small House Designs, CMHC, 1954

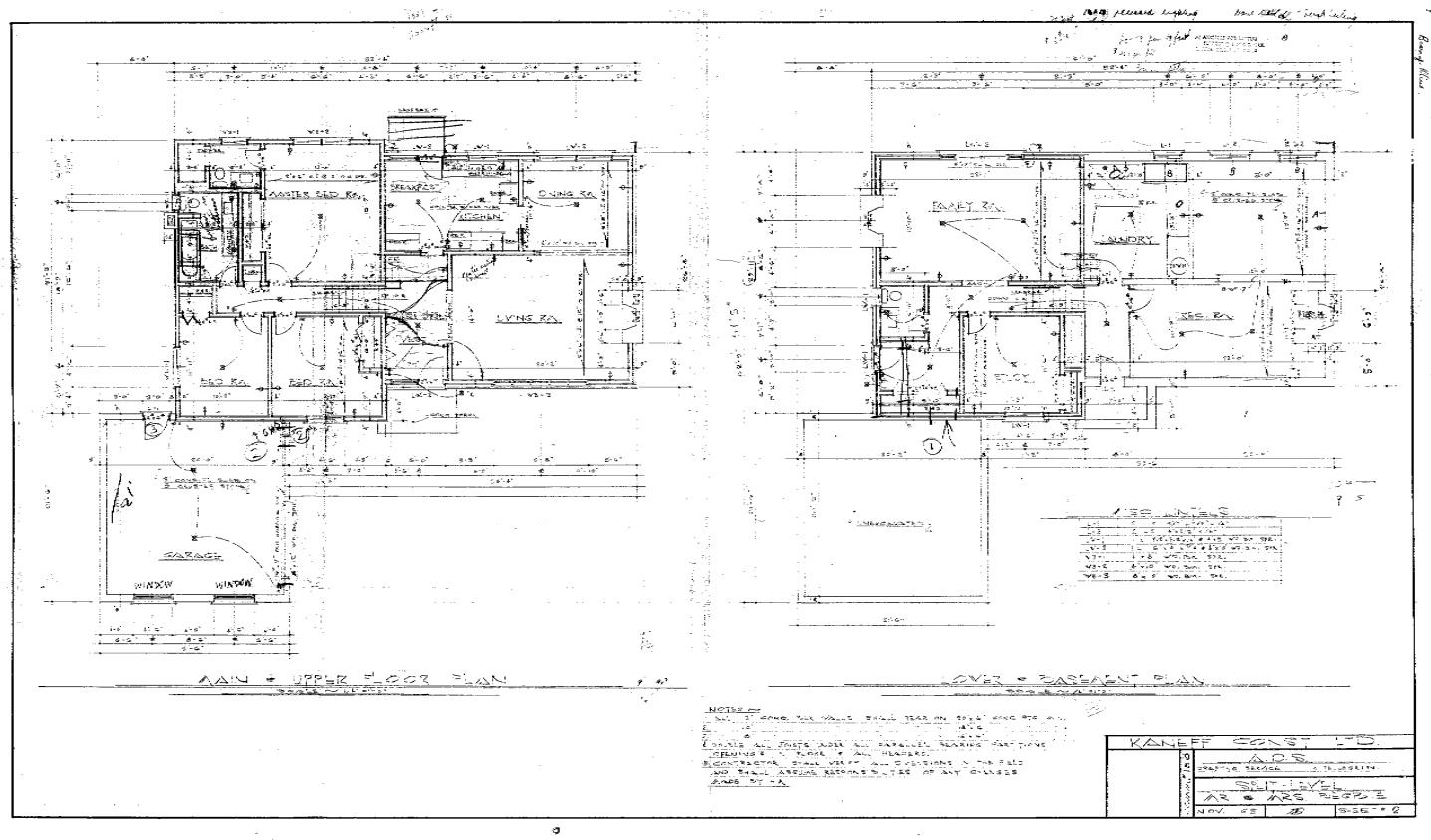


Figure 4: Design style 753, Designed by Venchiarutti & Venchiarutti, Toronto, ON.

The subject dwelling was designed in 1965 by Kaneff Construction Services for Mr. & Mrs. Begbie. The current owner has provided a copy of the plans. His (Iggy Kaneff) first housing development consisted of 27 homes in the Erindale Woodlands area of Mississauga.⁴ However, it is not known if this house is part of this first development. Erindale Woodlands, on the east side of the Credit River south of Burnhamthorpe Road West, opened in 1957 and proposed nearly 800 homes, over 600 apartments and multiple dwelling units, 150 acres (61 hectares) of industrial buildings, a shopping plaza and its own water purification and sewage treatment plant.⁵

⁴ Caledon enterprise.com

⁵ Mississauga, The evolution of a City, February 2004

Figure 5: Exiting floor plans

The house is typical of construction in the 1960's prior to the establishment of the Ontario Building Code in 1975.

The entry level contained the living space, ie kitchen, dining and living room. The second floor, or upper level in this instance, contains three bedrooms and two bathrooms. One bathroom being an ensuite. In the 1960s, having an ensuite bathroom of the master bedroom would have been a luxury, even a 2-piece with a sink and toilet. But, by the late 1980s it was the norm to have an ensuite in most new houses, and with time this room grew to be as large as a bedroom.⁶

⁶ https://www.minto.com/ottawa/new-homes-condos/news/From-2-piece-to-Roman-bath-The-growing-ensuite-in-Minto-designs-60s-90s~1631_1167.html#:~:

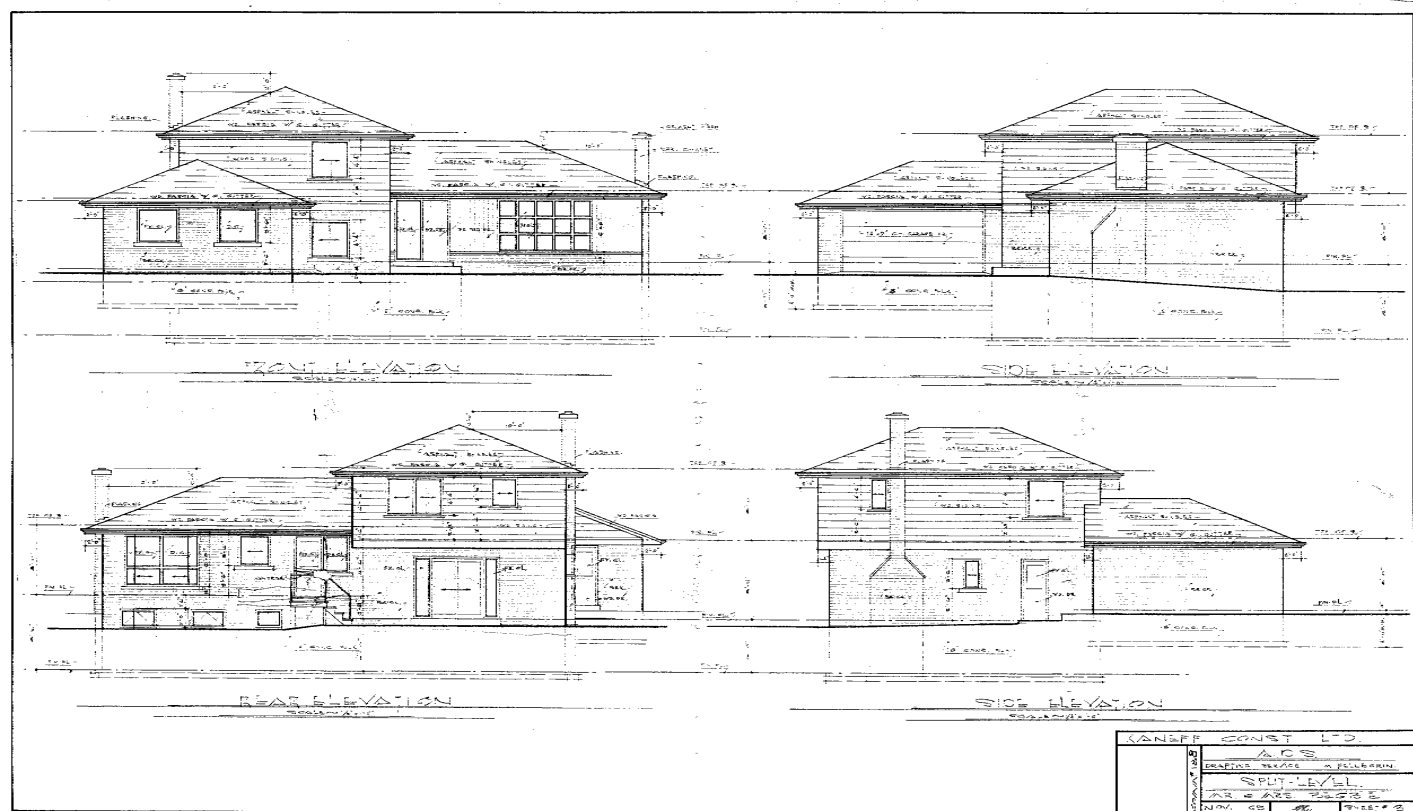


Figure 6: Existing Elevations

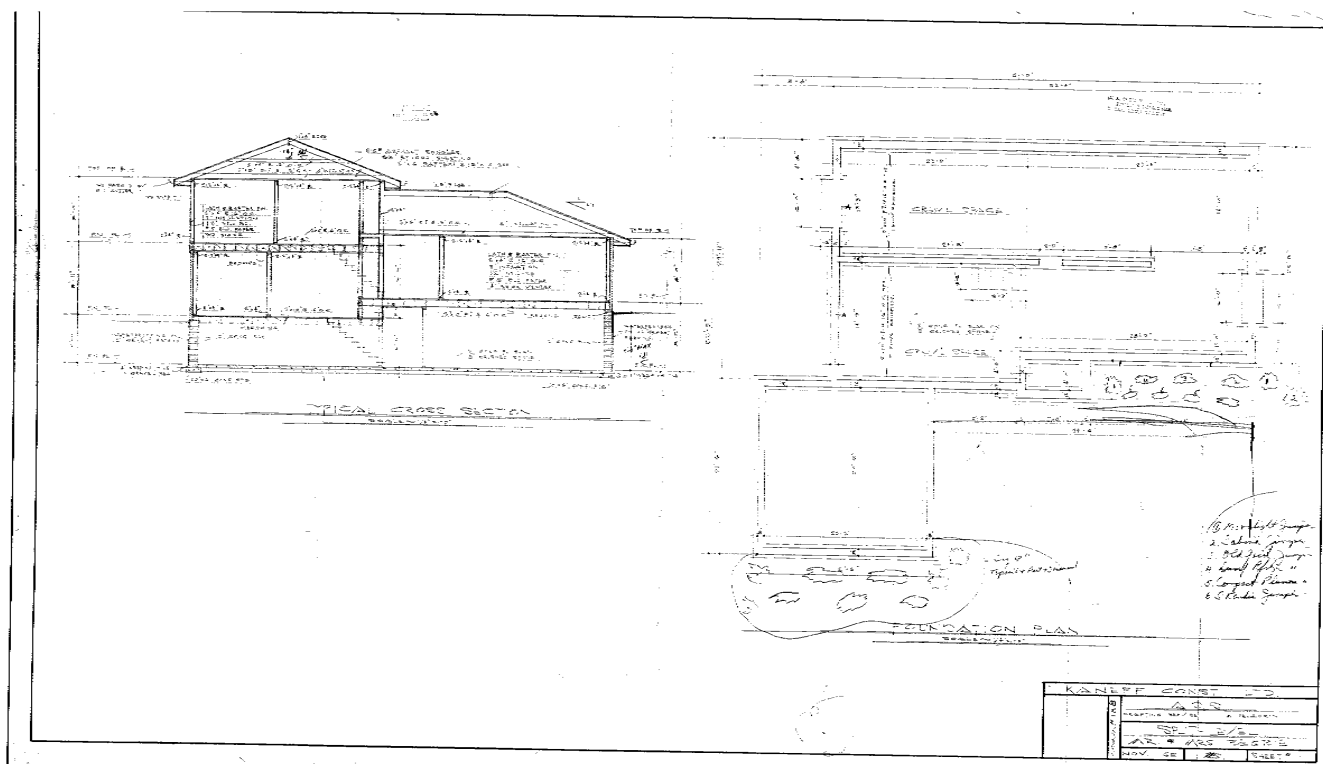


Figure 7: Cross section and Foundation

The home was built on a foundation of 10" concrete block with lath and plaster walls. Homes of this era were on the such of integrating construction and housing innovations. "Equally important demonstrations of new approaches and materials were made with respect to interior finishings, traditionally time consuming and highly skilled work. In the 20 years after World War 2, major changes took place in this phase of construction. Use of component parts, such as prefabricated bathroom and kitchen cabinets made from plywood or various kinds of waferboard, was beginning to appear by the late 1960's and significantly lessened the need for skilled on-site labour. Of equal significance was the replacement of plaster with gypsum drywall. Drywall was installed once the interior partitions were in place, and the joints between the sheets were taped and plastered to provide a smooth surface. This demand skilled labour, although much less so than for lath and plaster. In 1955 plasters had made up about 7 percent of total cost of on-site labour, but by 1969 this had dropped to less than 1 percent.⁷

This home is well constructed and has had upgrades since construction. These include kitchen and bathroom fixtures as well as windows and doors.

⁷ Two Decades of Housing Innovation in Housing Technology

Exterior Photos



Photo 1: Front Elevation

Photo 2: North Elevation





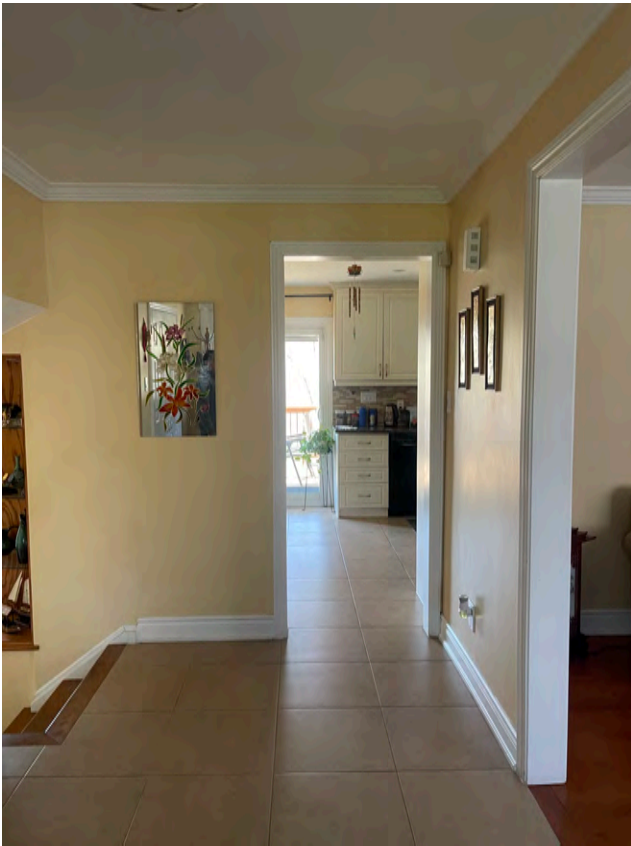
Photo 3: South Elevation



Photos 4 & 5: Rear Elevation



Interior Photos



Photos 5 & 6: Front Entry and Living Room

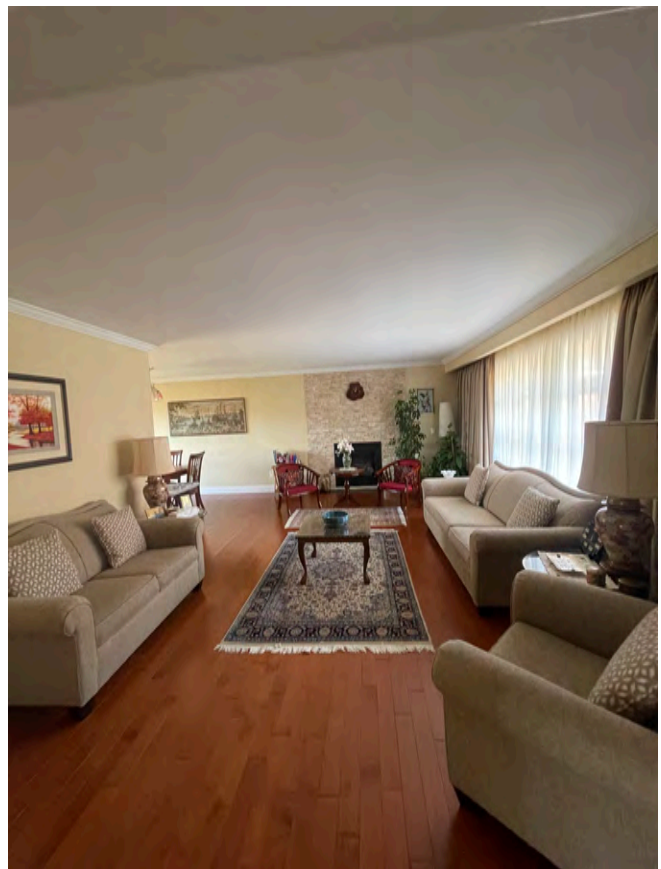




Photo 7: Kitchen

Photo 8: Breakfast area (below)

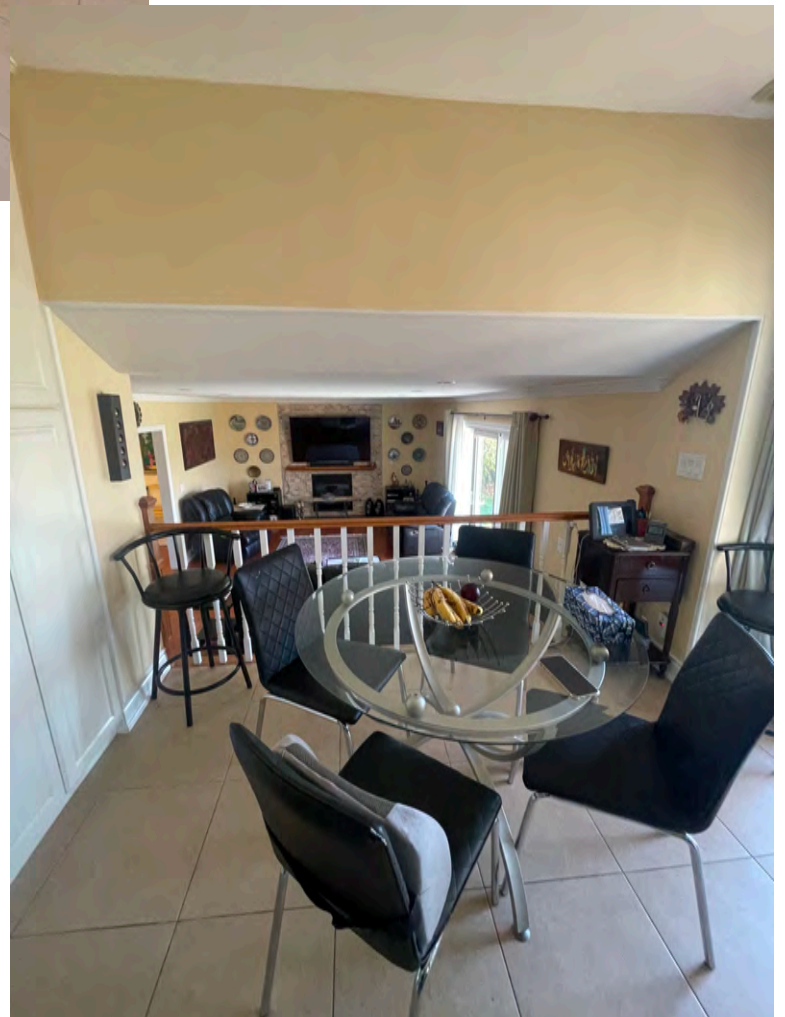




Photo 9: Main Bathroom

Photo 10: Master Bedroom



Proposed Development

The existing owners have lived on the subject property for over 20 years. They love the area and as such, have designed a home to 'age in place' with. The proposed dwelling is a modern design with a low pitch roof. It has been shifted forward on the lot in order to maintain the required setbacks required by the Conservation Authority. Variances for front yard setback to the dwelling and garage face are required. The proposal is for a front yard setback to the dwelling of 6.8m, whereas 9.0m is required. This will be the closest point of the dwelling to the street. A variance for a proposed lot coverage of 37.85% whereas 30% is permitted, is also required. Lot coverage has increased because the buildable area on the lot is reduced by the slope in the rear yard.

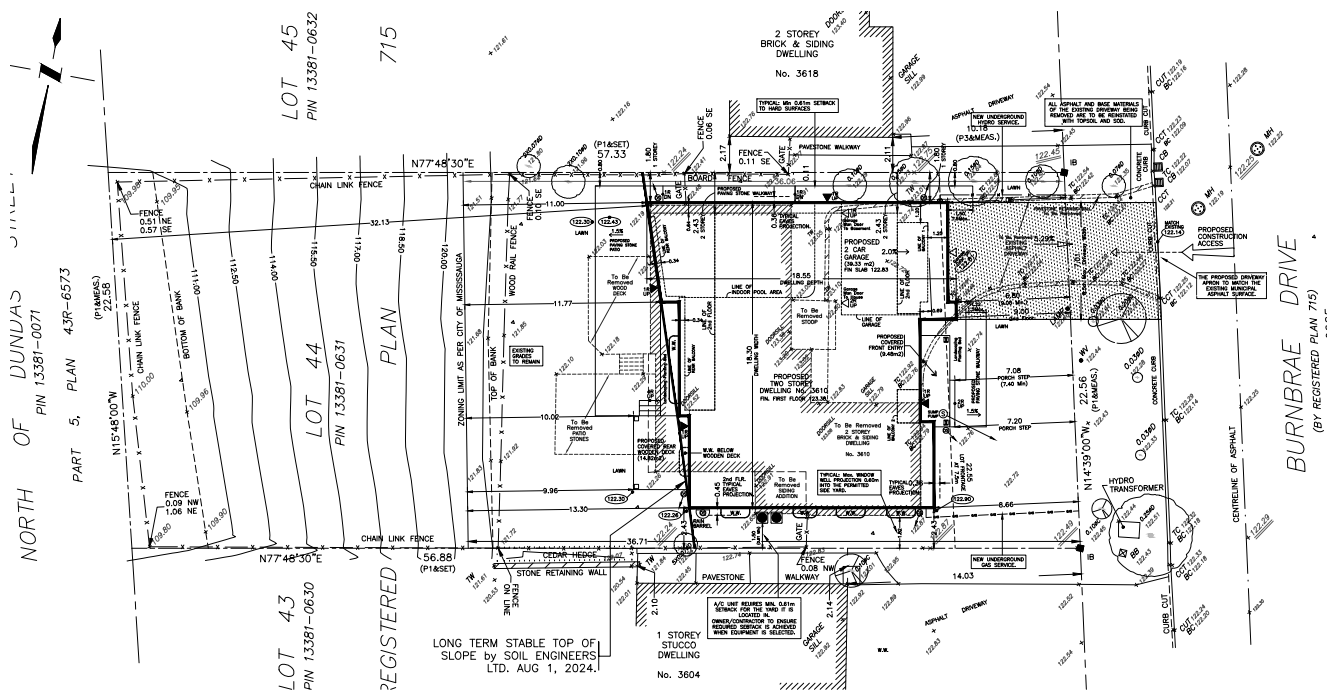
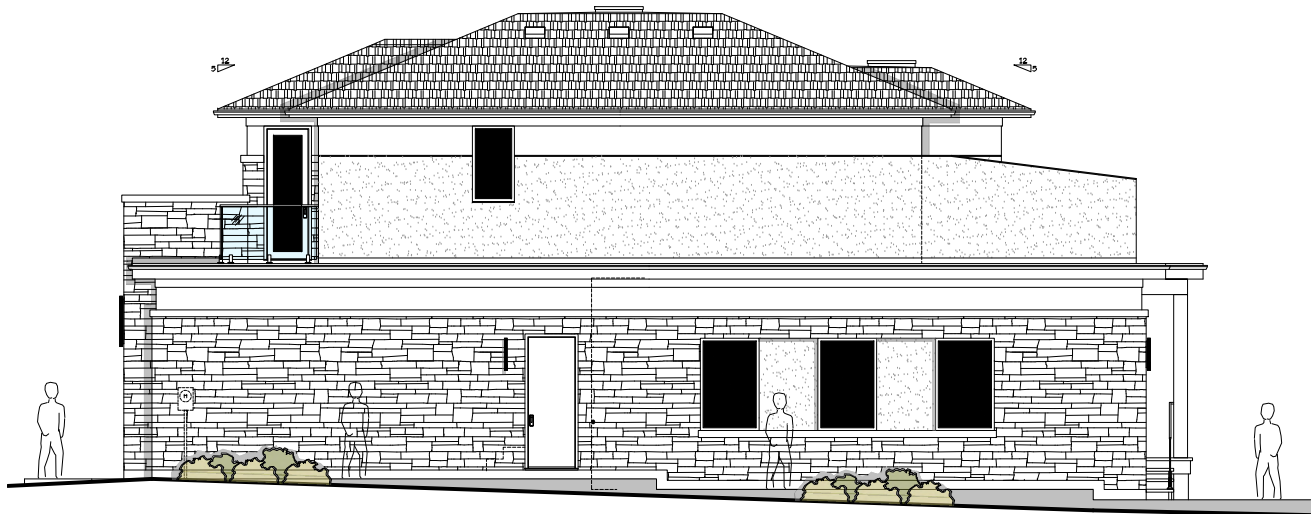


Figure 8: Proposed Site Plan



Figure 9 (above) Front Elevation, Figure 10 (below) Rear Elevation





NORTH ELEVATION

3/16" = 1'-0"

0 2' 4' 6' 8' 10' 12'

Figures 11 & 12: Side Elevations



SOUTH ELEVATION

3/16" = 1'-0"

0 2' 4' 6' 8' 10' 12'

Figure 13: Existing Streetscape

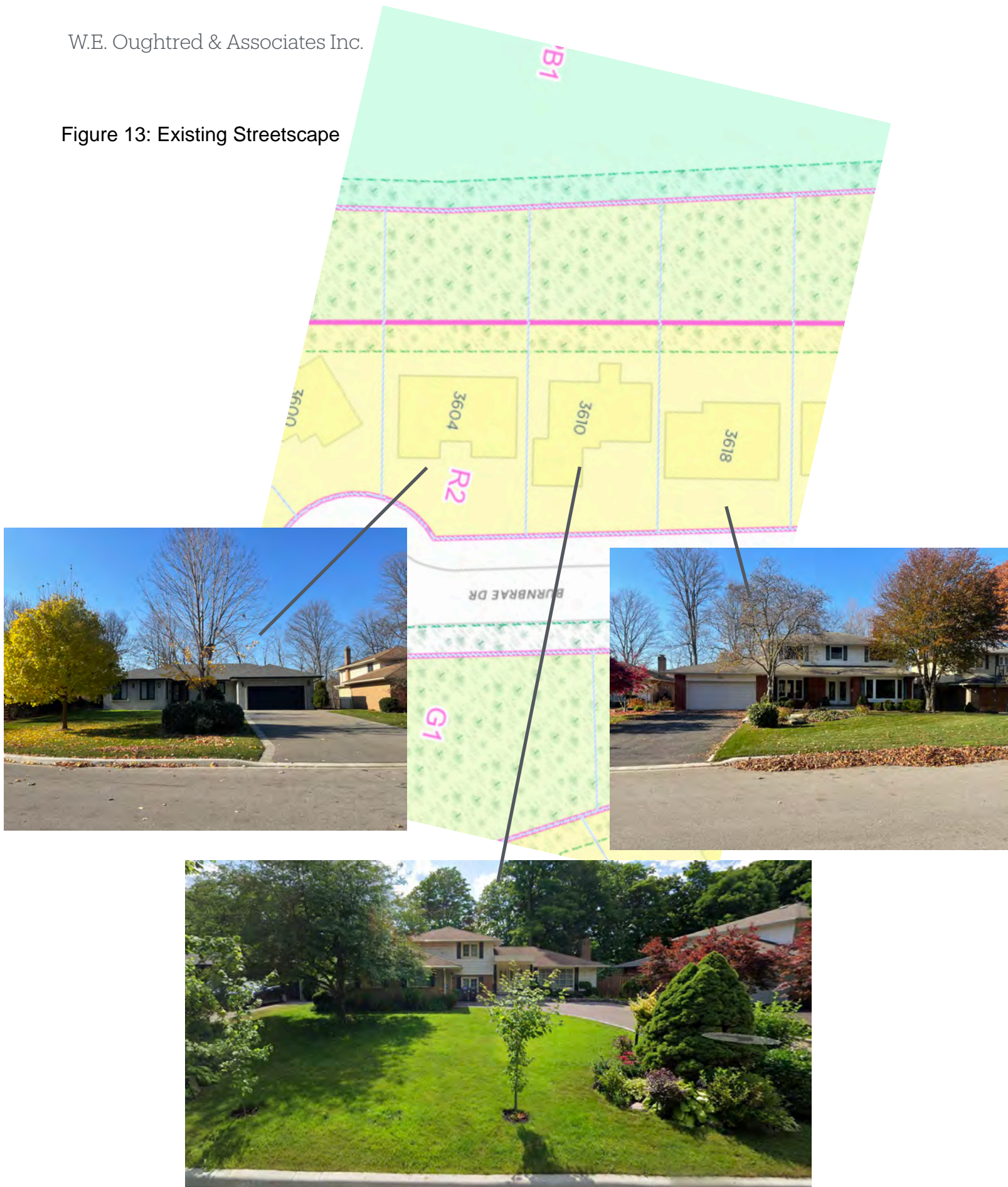


Figure 14: Proposed Streetscape

The proposed dwelling will maintain the residential quality of the neighbourhood. Although it is a new dwelling, many homes in the area have been renovated and or replaced. It is an area that is experiencing redevelopment due to its desirable location.

Evaluation of Heritage Impacts

Provincial, Regional and Local Policies

Policy 2.6.1 of the PPS states that significant built heritage resources and significant cultural landscapes shall be conserved.

Policy 2.6.2 of the PPS states that development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

Policy 2.6.3 of the PPS states that planning authorities shall not permit development and site alterations on adjacent lands to protected heritage property unless the proposed

development and any site alteration is evaluated and that evaluation demonstrates that the heritage attributes of the protected property will be conserved.

Although the Credit River Corridor is not a protected cultural heritage resource, it has been identified as significant and will be conserved. While 3610 Burnbrae Drive is not individually significant, it is part of the significant landscape and any alterations to the property must conserve and enhance the existing cultural heritage landscape and the identified cultural heritage attributes.

The Planning Act, the Growth Plan, 2019 and the Region of Peel Official Plan also contain policies that encourage the conservation of significant and protected heritage properties and archaeological sites and recommends consultation with indigenous communities. It encourages municipalities to establish cultural heritage landscape policies.

The City of Mississauga's Official Plan identifies cultural heritage resources including landscapes, streetscapes and historic corridors. The City maintains a heritage register which includes both built heritage resources and cultural heritage landscapes such as the Credit River Corridor.

Specifically, the Credit River Corridor has been evaluated and determined to have cultural heritage value or interest. As such, a heritage impact assessment is required for any proposed demolition or construction on a subject property within the scenic route.

Evaluation according to Ontario Regulation 09/06

TABLE 1: EVALUATION ACCORDING TO ONTARIO REGULATION 09/06

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	It is a suburban home built in the 1960's.

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
b) Displays a high degree of craftsmanship or artistic merit	NO	While the home is well built, it is typically of the era of construction.
c) Demonstrates a high degree of technical or scientific achievement	NO	It is a side split, frame dwelling and does not demonstrate a high degree of technical merit.
2. Historical or associative value		
a) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	NO	The property is not known to have any direct associations significant to the community.
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture	NO	The home is part of the Credit River Corridor landscape. The home itself does not have any potential to yield information that contributes to an understanding of a community or culture.
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	NO	The home was likely built by Kaneff Construction. A firm who was established at the time of construction and exists still to today.
3. Contextual Value		
a) Is important in defining, maintaining, or supporting the character of an area	YES	The property, not the house has contextual value.
b) Is physically, functionally, visually, or historically linked to its surroundings	YES	The property, not the house has contextual value.
c) Is a landmark	NO	This is a typical home of the era in which it was built.

Cultural Heritage Landscape

The subject property is located in a residential area backing onto the Credit River Corridor. There is no direct access from the subject property to the Credit River Corridor, however, there are pedestrian use trails in the valley below the property.

As outlined in the ASI Report, Conserving Heritage Landscapes: Cultural Heritage Landscape Project, “the Credit River Valley has been identified as the most significant natural landscape and wildlife habitat within the City”.⁸

The proposed redevelopment will maintain a positive aesthetic and visual quality by incorporating the scale of the new structure within the existing landscape features. Mature trees will be maintained at the front of the property. The proposed redevelopment will not substantially alter any existing remnants of the pre-settlement landscape.

The properties together backing onto the Credit River are what contribute to the visual quality of the community, not the property individually. The redevelopment of the subject property will maintain the comprehensive landscape.. The proposed development will maintain the landscape and continue to contribute to the overall visual quality of the community.

The Credit River Corridor is the ecological asset, and the properties within contribute to the overall asset. The proposal maintains the generous rear yards setback to the river and will retain the existing mature trees on the lot. The CVC will not permit development outside of the existing envelope, thus ensuring the maintenance of the ecological asset.

⁸ Conserving Heritage Landscapes: Cultural Heritage Landscape Project

TABLE 2: ANALYSIS OF HERITAGE IMPACTS BASED ON THE GENERAL STANDARDS FOR PRESERVATION, REHABILITATION AND RESTORATION, STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

General Standards	Analysis
Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character defining element.	The property, not the dwelling, has heritage value. The property will be maintained as residential.
Conserve changes to a historic place that, over time, have become character-defining elements in their own right.	Not Applicable
Conserve heritage value by adopting an approach calling for minimal intervention.	
Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.	Not Applicable
Find a use for a historic place that requires minimal or no change to its character-defining elements.	The continued use is residential
Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.	Should mitigation measures be required, they will be undertaken. If deeply buried archaeological resources are discovered during excavation, all work will stop and a licensed archaeologist will be engaged in accordance with Section 48(1) of the Ontario Heritage Act to carry out additional archaeological field work.
Evaluate the existing condition of the character-defining elements to determine the appropriate intervention needed. Respect heritage value when undertaking an intervention.	Not applicable.
Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts where there are surviving prototypes.	Not applicable.
Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.	The mature trees and landscaping on the property will be maintained where possible.

Mitigation Measures

The proposal for 3610 Burnbrae Drive is the demolition of the existing dwelling and the construction of a new home.

The table below identifies potential impacts the proposed new construction poses and includes the mitigation measures to be taken.

TABLE 3: MITIGATION MEASURES

Potential Impact	Identified Impact	Mitigation
Destruction of any, or part of any, significant heritage attributes or features	None	Not required
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	None	Not required
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	None	Not required
A change in land use where the change in use negates the property's cultural heritage value	N/A	Not required
Removal of natural heritage features, including trees	None	Not required
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	None	Not required
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	None	Not required
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.	None	Not required

Alternative Development Considerations

The existing house was constructed in the mid 1960's. It no longer meets the needs of the current owners. The house could be maintained as is, but would not afford the owners the ability to 'age in place', something they very much want to do.

The potential exists to renovate the home, however, this option, does not allow the home to become more energy efficient with a smaller carbon footprint. The home currently heats with electricity and they would like more efficiency in the dwelling.

The new house, with retention of mature trees and landscaping, will maintain its place within the Credit River Corridor cultural heritage landscape.

Conclusions, Recommendations

The subject property contains a one-storey residential dwelling built in the 1960's. It does not meet any of the criteria for Designation under the Ontario Heritage Act. The proposed demolition and construction of a new dwelling will have no impact on the cultural heritage resource, that being the Credit River Corridor. Mitigation measures, as noted above, have been considered and no further action is required.

References

Archives of Ontario, Surveyor General's Office, Part of the Township of Toronto showing The Mississauga Indian Reserve," 19 Apr. 1843, Archives of Ontario, C 277-1-409-2, Folder N-1073.

ASI. (2022). (rep.). *Conserving Heritage Landscapes Cultural Heritage Landscape Project* (Vol. Volume 1). Retrieved from <https://www.mississauga.ca/wp-content/uploads/2022/02/25094310/Conserving-Heritage-Landscapes-Volume-1.pdf>

Ministry of Culture, Ontario Heritage Toolkit Designating Heritage Properties (2006). Queen's Printer for Ontario.

Parks Canada. Standards and guidelines for the Conservation of Historic Places in Canada: A Federal, provincial and territorial collaboration (Second). (2010). .Parks Canada.

Peat Marwick and Partners, Mississauga, Urban Development & Transportation Study, September, 1974

REPORT 2 - 2025

To: CHAIR AND MEMBERS OF THE HERITAGE ADVISORY COMMITTEE

The Meadowvale Village Heritage Conservation District Subcommittee presents its second report for 2025 and recommends:

MVHCD-0003-2025

That the request to alter the Part V heritage designated property at 1059 Old Derry Road (Ward 11), as per the Corporate Report from the Commissioner of Community Services, dated April 14, 2025, be approved.

(MVHCD-0003-2025)

(Ward 11)

REPORT 3 - 2025

To: CHAIR AND MEMBERS OF THE HERITAGE ADVISORY COMMITTEE

The Meadowvale Village Heritage Conservation District Subcommittee presents its third report for 2025 and recommends:

MVHCD-0004-2025

That the memorandum from John Dunlop, Manager, Indigenous Relations, Heritage and Museums dated May 12, 2025 entitled "Alteration of the Part V Heritage Designated Property at 1133 Willow Lane (Ward 11), be approved.

(MVHCD-0004-2025)

(Ward 11)

MVHCD-0005-2025

That the memorandum from John Dunlop, Manager, Indigenous Relations, Heritage and Museums dated May 21, 2025 entitled "7025 Pond Street (Ward 11)", be received.

(MVHCD-0005-2025)

(Ward 11)

REPORT 2 - 2025

To: CHAIR AND MEMBERS OF THE HERITAGE ADVISORY COMMITTEE

The Port Credit Heritage Conservation District Subcommittee presents its second report for 2025 and recommends:

PCHCD-0002-2025

1. That the request to alter 18 John Street South (Ward 1), as per the memorandum from John Dunlop, Manager of Indigenous Relations, Heritage & Museums, dated April 22, 2025, be approved with the following conditions;
2. That the Port Street West elevation be more symmetrical with regards to the roof line;
3. That the parking and curb cut on Port Street West be identified on the site plan; and
4. That if SDL (simulated divided lite) windows are employed, they have clear and proper muntins on both sides of the windows

(PCHCD-0002– 2025

(Ward 1)

City of Mississauga
Memorandum



Date: May 9, 2025
To: Chair and Members of Heritage Advisory Committee
From: John Dunlop, Manager, Museums, Indigenous Relations and Heritage
Meeting date: June 10, 2025
Subject: **Credit River Active Transportation Bridge (Ward 1)**

The City is planning an active transportation bridge over the Credit River, south of the Canadian National Railway line. As the Credit River Corridor is a Cultural Heritage Landscape, a Heritage Impact Assessment has been completed and is attached for the Committee's information.

Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: P. Wubbenhorst, Heritage Planner

City of Mississauga

Heritage Impact Assessment: New Credit River Active Transportation Bridge

Prepared by:

AECOM Canada ULC
105 Commerce Valley Drive West, 7th Floor
Markham, ON L3T 7W3
Canada

T: 905.886.7022
F: 905.886.9494
www.aecom.com

Prepared for:

City of Mississauga

Date: May 2025

Project #: 60710388

Statement of Qualifications and Limitations

The attached Report (the “Report”) has been prepared by AECOM Canada ULC (“AECOM”) for the benefit of the Client (“Client”) in accordance with the agreement between AECOM and Client, including the scope of work detailed therein (the “Agreement”).

The information, data, recommendations, and conclusions contained in the Report (collectively, the “Information”):

- is subject to the scope, schedule, and other constraints and limitations in the Agreement and the qualifications contained in the Report (the “Limitations”);
- represents AECOM's professional judgment in light of the Limitations and industry standards for the preparation of similar reports;
- may be based on information provided to AECOM which has not been independently verified;
- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
- must be read as a whole and sections thereof should not be read out of such context;
- was prepared for the specific purposes described in the Report and the Agreement; and
- in the case of subsurface, environmental or geotechnical conditions, may be based on limited testing and on the assumption that such conditions are uniform and not variable either geographically or over time.

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Table of Contents

	page
1. Introduction.....	1
1.1 Project Context	1
1.2 Location and Physical Description of the Study Area	2
1.2.1 Credit River Bridge (Lakeshore West Rail Corridor).....	2
1.2.2 Credit River Corridor Cultural Heritage Landscape	2
1.2.3 35 Front Street North – Royal Canadian Legion Branch 82	3
1.3 Present Owner	6
1.4 Current Cultural Heritage Recognition	6
1.5 Methodology	6
1.5.1 Community Engagement.....	7
2. Policy Context.....	9
2.1 Planning Act and Provincial Planning Statement	9
2.2 Ontario Heritage Act	10
2.3 City of Mississauga Official Plan.....	10
2.3.1 Port Credit Local Area Plan.....	11
2.4 City of Mississauga Cultural Heritage Landscapes Inventory	11
3. Statement of Significance - Credit River Corridor.....	13
4. Assessment of Existing Conditions	17
4.1 Introduction	17
4.2 Description of the Study Area and Surrounding Context	17
4.2.1 Credit River Bridge (Lakeshore West Rail Corridor).....	17
4.2.2 Credit River Cultural Heritage Landscape	19
4.2.3 35 Front Street North – Royal Canadian Legion Branch 82	21
5. Impact Assessment	23
5.1 Description of the Proposed Project	23
5.2 Assessment of Impacts.....	24
5.2.1 Screening for Potential Impacts	24
5.2.2 Assessment of Potential Impacts on the Study Area.....	25
6. Commemoration	31

7.	Summary Statement and Mitigation Measures	33
7.1	Summary Statement	33
7.2	Mitigation Measures	33
7.2.1	Credit River Bridge (Lakeshore West Rail Corridor).....	33
7.2.1.1	Direct or Indirect Obstruction of Views	33
7.2.2	Credit River Corridor CHL	34
7.2.2.1	Destruction, Removal or Relocation.....	34
7.2.2.2	Direct or Indirect Obstruction of Significant Views.....	34
7.2.3	35 Front Street North – Royal Canadian Legion Branch 82	35
7.3	Recommendations	35
8.	Sources	36

List of Figures

Figure 1:	Location of the Study Area.....	4
Figure 2:	Location of the Study Area on Aerial Photography	5

List of Tables

Table 1:	Results of the Community Engagement.....	7
Table 2:	Impact Assessment – Credit River Bridge (Lakeshore West Rail Corridor).....	26
Table 3:	Impact Assessment – Credit River Corridor CHL.....	27
Table 4:	Impact Assessment – 35 Front Street North	29

Appendices

Appendix A. Select Drawings – 90% Detailed Design

Appendix B. Key Qualifications

Appendix C. Metrolinx Heritage Committee Decision Form and Metrolinx Interim Heritage Committee – Statement of Cultural Heritage Value

1. Introduction

1.1 Project Context

AECOM was retained by the City of Mississauga to conduct a Heritage Impact Assessment (HIA) for the proposed Credit River Active Transportation (AT) Bridge as part of the AECOM's services for the Detailed Design of the new bridge. The new AT bridge is being constructed as part of the part of the overall Lakeshore Road Transportation Master Plan (TMP) and Implementation Strategy (2019) that was carried out under the Municipal Class Environmental Assessment (EA) process. The TMP (2019) identified the preferred alternative for an active transportation bridge crossing the Credit River linking the east and west side of the river south of the existing railway crossing generally to connect the Front Street and Queen Street rights-of-way.

In January 2023, ASI completed the *Cultural Heritage Report: Existing Condition and Preliminary Impact Assessment for the Lakeshore Transportation Studies New Credit River Active Transportation (AT) Bridge Study* (CHR) (ASI, January 2023), which presented an inventory of known and potential building heritage resources (BHRs) and cultural heritage landscapes (CHLs), identify existing conditions of the project study area, provide a preliminary impact assessment, and propose appropriate recommendations. The CHR made the below recommendations, which directly resulted in the production of this HIA.

In January 2023, ASI finalized the "Cultural Heritage Report: Existing Condition and Preliminary Impact Assessment" for the Lakeshore Transportation Studies New Credit River Active Transportation (AT) Bridge Study (referred to as CHR) (ASI, January 2023). This document encompassed an inventory of both known and potential Building Heritage Resources (BHRs) and Cultural Heritage Landscapes (CHLs). It also identified existing conditions of the project study area, provided a preliminary impact assessment, and proposed appropriate recommendations. It is important to note that the recommendations put forth in the CHR directly led to the creation of this HIA. The pertinent recommendations can be found below:

- Complete an HIA per the Standards and Guidelines for Conservation of Provincial Heritage Properties (Ministry of Tourism, Culture and Sport, 2010) for the Credit River Bridge (Lakeshore West Rail Corridor), which is a Metrolinx Provincial Heritage Property of Provincial Significance
- Complete an HIA per the City of Mississauga Official Plan clause 7.4.1.10 for 35 Front Street North (BHR 2). *However, given that no structures or apparent landscape features of significant CHVI are anticipated to be impacted on the property, it is recommended that the City consider waiving the requirement of a HIA in this case in favour of suitable mitigation measures including post-construction rehabilitation which could include*

sympathetic plantings where required.

1.2 Location and Physical Description of the Study Area

The Study Area (**Figure 1** and **Figure 2**) for the proposed New Credit River AT Bridge is situated south of the existing GO rail bridge and spans from the intersection of Mississauga Road and Front Street North to Memorial Park, crossing the Credit River. This Study Area represents the Total Impact Area upon which potential impacts from the Project were assessed.

Within this Study Area, as identified in the *Cultural Heritage Report: Existing Condition and Preliminary Impact Assessment for the Lakeshore Transportation Studies New Credit River Active Transportation (AT) Bridge Study* (CHR) (ASI, January 2023) three properties have been recognized as having the potential for indirect impacts. These properties are the:

- Port Credit Railway Bridge (identified as BHR 1 within the CHR)
- 35 Front Street North (identified as BHR 2 within the CHR)
- Credit River Corridor Cultural Heritage Landscape (identified as CHL 2 within the CHR)

Based on the findings of the CHR, these properties, namely the Credit River Bridge (Lakeshore West Rail Corridor), 35 Front Street North, and the Credit River Corridor Cultural Heritage Landscape, will be the sole subjects of assessment for potential indirect or direct impacts within this HIA. Each of these properties will be briefly described below.

1.2.1 Credit River Bridge (Lakeshore West Rail Corridor)

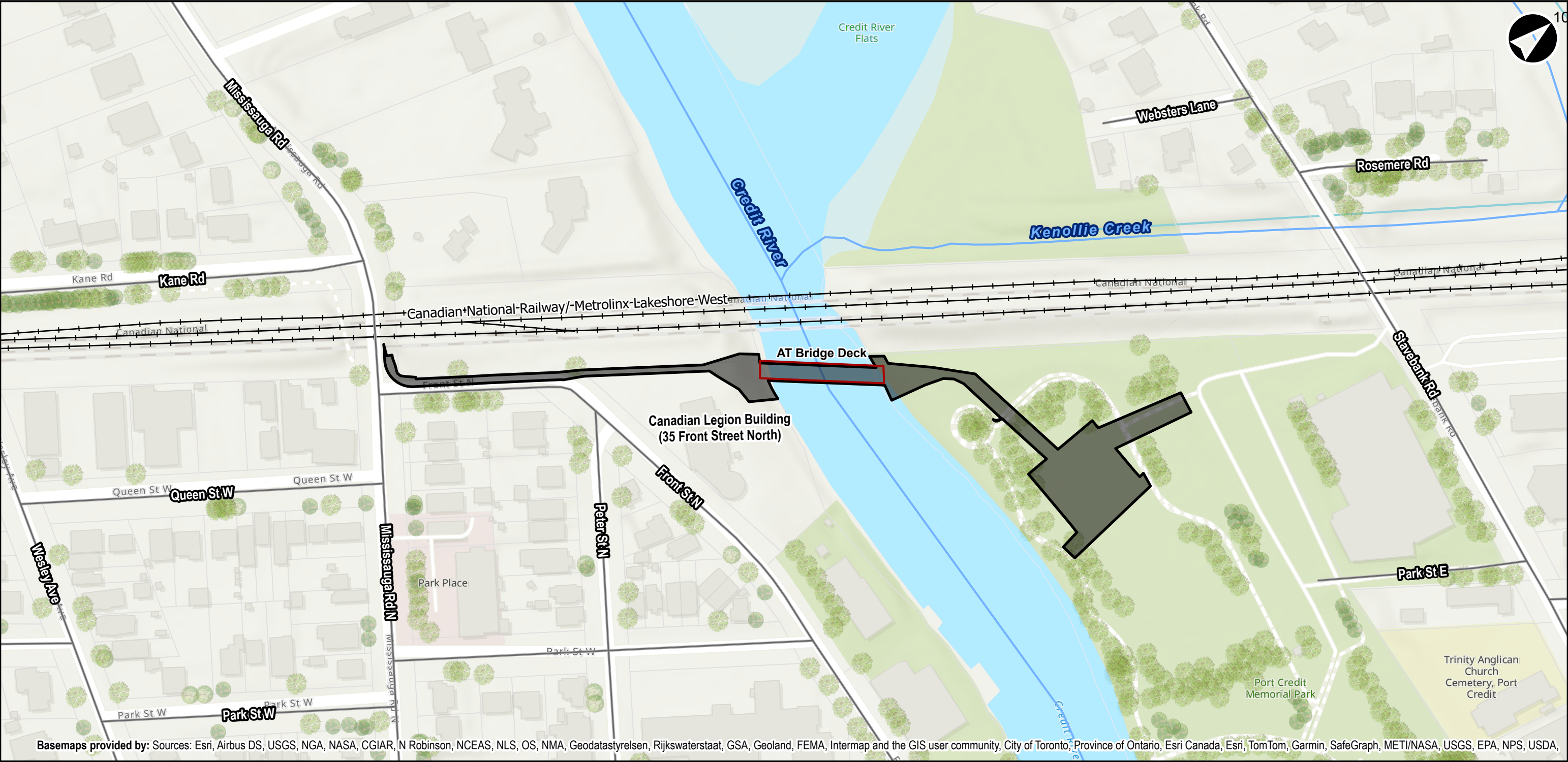
The Credit River Bridge is located at Mile 13.27 along the Lakeshore West Rail Corridor, where it spans the Credit River between Stavebank Road and Mississauga Road. The known heritage attributes include the three-span railway bridge with a central inverted bowstring arch deck truss with steel beam approach spans on either side. This bridge was erected in the year 1903.

1.2.2 Credit River Corridor Cultural Heritage Landscape

The Credit River Corridor Cultural Landscape encompasses the stretch of the Credit River extending from Port Credit to the northernmost border of Mississauga. This unique landscape forms a central green oasis within the heart of Mississauga, characterized by a diverse topography that ranges from steeply sloping valley walls to expansive floodplains. The known heritage attributes include the river's role as a transportation corridor, as a hunting, fishing, and gathering area, and for influencing settlement patterns by Indigenous peoples for thousands of years. Within the City of Mississauga, the Credit River stands as the most prominent natural landscape, providing crucial wildlife habitat and leaving an indelible mark on Mississauga's history and developmental trajectory (ASI, Final January 2022).

1.2.3 35 Front Street North – Royal Canadian Legion Branch 82

Located within 35 Front Street North is the Royal Canadian Legion Branch 82 building. The building is located on the northern side of Front Street North, situated to the northeast of the intersection of Front Street North and Peter Street North. The potential heritage attributes include the multi-storey building designed by in the Mid-Century Modern Ontario architectural style by Denis Bowman and built by Milton Townsend contractors in 1966 (Anonymous, 1966). The building sits on the banks of the Credit River.



Basemaps provided by: Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, City of Toronto, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, METI/NASA, USGS, EPA, NPS, USDA,

AT Bridge Deck

Total Impact Area (Study Area)

General Features

Minor Road

Railway

Watercourse

Water Body

Mississauga

Queen Elizabeth Way

Lakeshore Rd W

Dundas St W

Map Extents

Port Credit Active Transportation Bridge

Location of the Study Area

0

50

100

M

NAD 1983 UTM Zone 17N

Data Sources:

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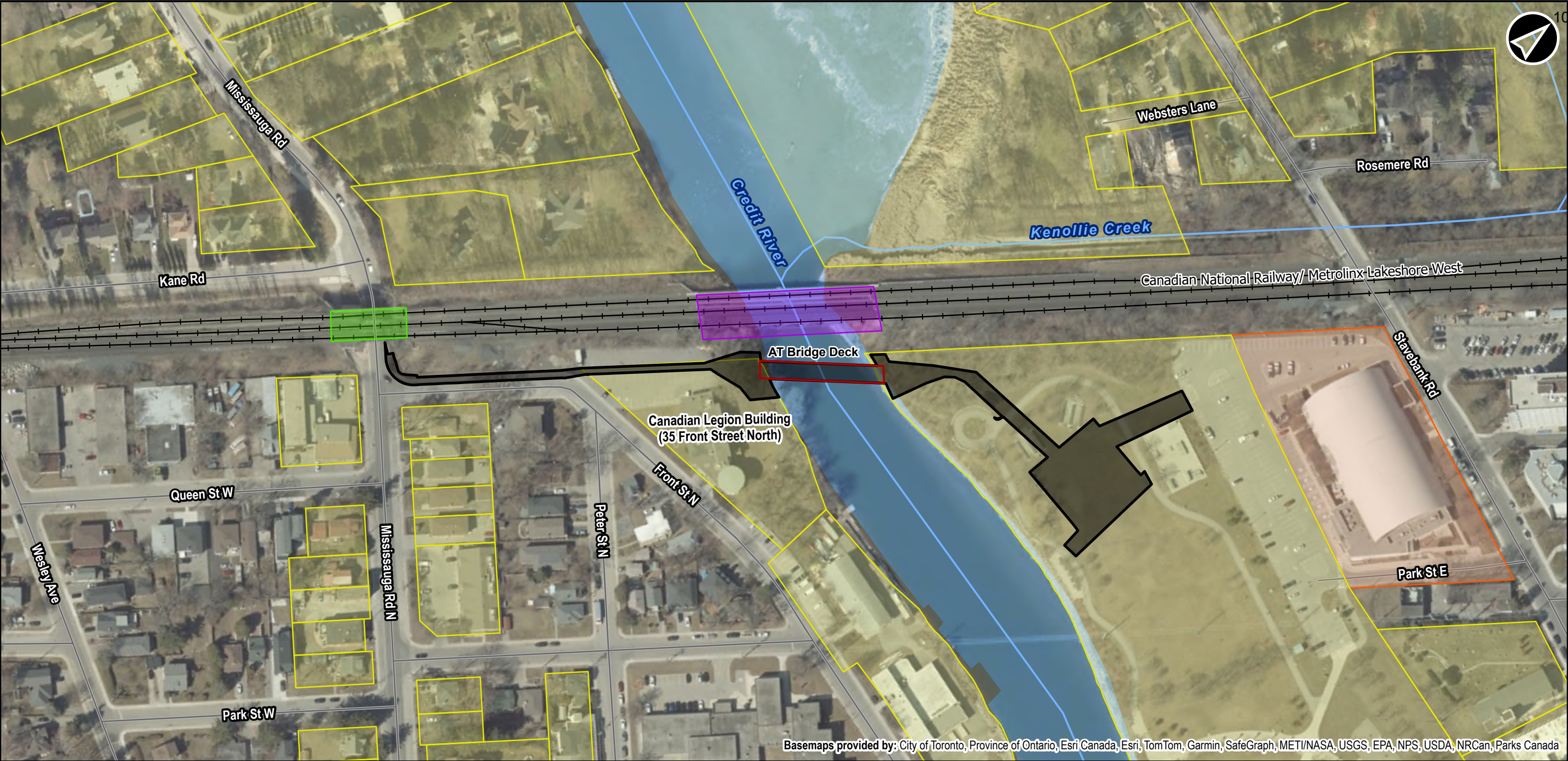
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Figure: 1

Project Location: D:\Projects\60710388_PortCreditATBridgeDesign\01_Reports\HERITAGE\60710388_CulturalHeritage.aprx Layout: MAP-60710388-Study Area_TopMap
Date Saved: 2024-11-27 5:00 PM User: MariesS



Basemaps provided by: City of Toronto, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, METI/NASA, USGS, EPA, NPS, USDA, NRCan, Parks Canada

Legend

- Total Impact Area (Study Area)
- AT Bridge Deck
- Heritage Register (City of Mississauga)**
 - Designated (under Part IV of the Ontario Heritage Act)
 - Listed (Mississauga Heritage Register)
 - Metrolinx Provincial Heritage Property of Provincial Significance
 - Metrolinx Heritage Property

General Features

- Minor Road
- Railway
- Watercourse
- Water Body

Map Extents

Port Credit Active Transportation Bridge

Location of the Study Area on a Aerial Photograph

050100

M

NAD 1983 CSRS UTM Zone 17N

Data Sources:

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Figure: 2

Project Location: D:\Projects\60710388_PortCreditATBridgeDesign\01_Reports\HERITAGE\60710388_CulturalHeritage.aprx Layout: MAP-60710388-Study Area_AerialMap Date Saved: 2024-11-27 1:01 PM User: Maries

1.3 Present Owner

The Credit River Bridge (Lakeshore West Rail Corridor) is owned by Metrolinx. 35 Front Street North is owned by a private owner. The Credit River Corridor and its adjacent lands are protected, restored and managed by Credit Valley Conservation.

1.4 Current Cultural Heritage Recognition

Based on the Metrolinx Heritage Committee Decision Form, the Credit River Bridge (Lakeshore West Rail Corridor) is a Metrolinx Heritage Property of Provincial Significance (PHPPS).

The Credit River Corridor was identified in the 2005 Cultural Landscape Inventory (The Landplan Collaborative Ltd. et al., 2005) for its landscape environment, historical associations, historical or archaeological interest, outstanding features or interest, and significant ecological interest (ASI, 2022). The land identified as part of the Credit River Corridor in the 2005 Cultural Heritage Landscape Inventory is currently listed on the City of Mississauga's Heritage Register. Additionally, 35 Front Street North is Listed on the City of Mississauga's Heritage Register. No Statement of Cultural Heritage Value has been prepared for this property.

1.5 Methodology

This HIA adheres to the guidelines set out in the Ministry of Citizenship and Multiculturalism (MCM) InfoSheet #5 Heritage Impact Assessment and Conservation Plans as part of the Ontario Heritage Tool Kit (2006) and the City of Mississauga Heritage Impact Assessment Terms of Reference. The HIA will assess the proposed changes to Study Area and evaluate the impact on the cultural heritage value of the surrounding area. The HIA will propose mitigation options and strategies if required to mitigate and limit any negative impacts to the potential heritage attributes of the Credit River Bridge (Lakeshore West Rail Corridor), 35 Front Street North, and the Credit River Corridor Cultural Heritage Landscape (CHL) (areas of avoidance, design measures, construction buffering, commemoration, etc.)

For the purpose of this HIA, AECOM undertook the following key tasks:

- Reviewed appropriate background documents including the:
 - *Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment for the Lakeshore Transportation Studies New Credit River Active Transportation (AT) Bridge Study* (ASI, January 2023);
 - *Metrolinx Heritage Committee – Decision Form and Statement of Cultural Heritage Value* for the Credit River Bridge (Lakeshore West Rail Corridor), Mississauga;
- Consulted with the City of Mississauga Heritage Planner to request previous reports;

- Conducted a field review to document the existing conditions of the Study Area from the public right-of-way, on September 27, 2023;
- Identified and prepared a description of the proposed plan for the new AT Bridge;
- Assess the impacts of the proposed new AT Bridge, based on the draft 90% Detailed Design, on the cultural heritage value and heritage attributes of the Credit River Corridor, the Credit River Bridge (Lakeshore West Rail Corridor), and 35 Front Street North;
- Prepared mitigation options and mitigation measures with recommendations to avoid or reduce any negative impacts to the Study Area; and
- Prepared the Heritage Impact Assessment report.

This report was completed by a team of AECOM's Heritage staff including Liam Ryan, MES, MCIP, RPP, CAHP (Cultural Planner II); Adria Grant, MA, CAHP (Associate Vice President, Environmental); and Samantha Markham, MES (Cultural Resources Manager).

1.5.1 Community Engagement

Below includes a summary of the engagement activities and feedback undertaken for the development of this HIA. The following stakeholders were contacted with inquiries regarding the background of the subject property (**Table 1**).

Table 1: Results of the Community Engagement

Contact	Contact Information	Date	Notes
John Dunlop, Manager, Indigenous Relations	john.dunlop@mississauga.ca	2023-09-13	AECOM's Cultural Heritage Lead and Design Team attended a Microsoft Teams meeting with John Dunlop. The discussion included the development of commemoration ideas to be presented in the HIA. John suggested incorporating the Two-Row Wampum into the bridge design, or a Moccasin Identifier under the initiative founded by Carolyn King in partnership with the Mississaugas of the Credit First Nation and the Greenbelt Foundation. These commemoration ideas are presented in Section 6 of this HIA.
Paula Wubbenhorst / City of Mississauga / Heritage Planner	Paula.Wubbenhorst@mississauga.ca	2023-09-29	AECOM reached out via email to Paula Wubbenhorst to inquire whether the City of Mississauga had access to any prior reports regarding the "Credit River Bridge (Lakeshore West Rail Corridor)" that could potentially indicate its designation as a Provincial Heritage Property of Provincial Significance or contain documentation detailing a Statement of Significance and Heritage Attributes.

Contact	Contact Information	Date	Notes
		2023-09-29	Paula Wubbenhorst was unable to provide AECOM with any reports regarding the "Port Credit Railway Bridge" that could potentially indicate its designation as a Provincial Heritage Property of Provincial Significance or contain documentation detailing a Statement of Significance and Heritage Attributes.

2. Policy Context

The authority to request a Heritage Impact Assessment arises from the *Ontario Heritage Act*, Section 2(d) of the *Planning Act*, and the Provincial Planning Statement (2024).

2.1 Planning Act and Provincial Planning Statement

The *Planning Act* (1990) and the associated Provincial Planning Statement (2024) provide a legislative framework for land use planning in Ontario. Both documents identify matters of provincial interest, which include the conservation of significant features of architectural, cultural, historical, archaeological, or scientific interest. The *Planning Act* requires that all decisions affecting land use planning matters “shall be consistent with” the Provincial Planning Statement. In general, the Provincial Planning Statement recognizes that Ontario’s long-term prosperity, environmental health, and social well-being depend on protecting natural heritage, water, agricultural, mineral, cultural heritage, and archaeological resources for their economic, environmental, and social benefits.

In Section 4.6 of the 2024 Provincial Planning Statement, Cultural Heritage and Archaeology, Policy 1 states that “Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.” The 2024 Provincial Planning Statement states that conserved “means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments.”

To conserve a cultural heritage resource, a municipality or approval authority may require a heritage impact assessment and/or a conservation plan to guide the approval, modification, or denial of a proposed development or site alteration that affects a cultural heritage resource. Using tools such as heritage impact assessments, municipalities and approval authorities can further enhance their own heritage preservation objectives.

Furthermore, Policy 3 in Section 4.6 of the 2024 Provincial Planning Statement states “Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.” Pursuant to Policy 4 in Section 4.6 of the 2024 Provincial Planning Statement, planning authorities are encouraged to develop and implement proactive strategies for conserving significant built heritage resources and cultural heritage landscapes.

2.2 Ontario Heritage Act

The *Ontario Heritage Act* enables municipalities and the province to designate individual properties and/or districts as being of cultural heritage value or interest. The province or municipality may also “list” a property or include a property on a municipal register that has not been designated but is believed to be of cultural heritage value or interest. *Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest* (O. Reg. 9/06) under the *Ontario Heritage Act* provides criteria for determining cultural heritage value or interest. If a property meets one or more of the criteria it may be designated under Section 29 of the *Ontario Heritage Act*.

Under section 27(9) of the *Ontario Heritage Act* it is stated that:

If a property that has not been designated under this Part has been included in the register under subsection (3), the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days notice in writing of the owner’s intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure.

2.3 City of Mississauga Official Plan

The *Mississauga Official Plan* (March 3, 2023) is the document which guides the growth and development of the city, as required by the *Planning Act*. The plans and policies of the Official Plan are intended to be achieved over the course of twenty-five years, by 2031. The Official Plan provides the basis for land use and urban design decisions in the City. Its policies address the important parts of city-building transportation, housing, culture and heritage, the environment, and the economy.

Section 7.5 of the Official Plan [pertains to Heritage Planning in the City. Under Section 7.5, The following guidelines and policies are applicable and relevant for the Study Area and the potential development therein:

7.5.1.1 The heritage policies are based on two principles: a. heritage planning will be an integral part of the planning process; and b. cultural heritage resources of significant value will be identified, protected, and preserved.

7.5.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.

7.5.1.3 Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.

7.5.1.9 Character Area policies may identify means of protecting cultural heritage resources of major significance by prohibiting uses or development that would have a

deleterious effect on the cultural heritage resource, and encouraging uses and development that preserve, maintain and enhance the cultural heritage resource.

*7.5.1.10 Applications for development involving cultural heritage resources will be required to include a **Heritage Impact Assessment** prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.*

*7.5.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a **Heritage Impact Assessment**, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.*

7.5.1.13 Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.

7.5.1.17 Public works will be undertaken in a way that minimizes detrimental impacts on cultural heritage resources.

7.5.1.18 Mississauga recognizes the Credit River and Etobicoke Creek valleys as heritage corridors with both prehistoric and historical significance.

7.5.2.2 Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This documentation may be in the form of a Heritage Impact Assessment.

7.5.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

2.3.1 Port Credit Local Area Plan

In addition, the Study Area is located within the Port Credit Local Area Plan. The Local Area Plan provides additional policies for the management of land in the south-central area of the City of Mississauga. Cultural and heritage resources located within the boundaries of the Local Area Plan include heritage buildings, the Old Port Credit Village Heritage Conservation District, and cultural landscapes that include: Port Credit Harbour, Port Credit Pier, the CN Bridge over the Credit River, Credit River Corridor and Mississauga Road Scenic Route. Section 8.0 of the Local Area Plan states that:

Cultural resources such as heritage buildings and landscapes associated with the Credit River and Lake Ontario, which help retain a connection to the past

2.4 City of Mississauga Cultural Heritage Landscapes Inventory

In 2005, the City of Mississauga adopted its *Cultural Landscape Inventory*. This Inventory was based on a study prepared by The Landplan Collaborative Ltd. in association with Goldsmith

Borgal and Company Ltd. Architects (G.B.C.A.), North South Environmental Inc., and Geodata Resources Inc. The study was initiated by the Community Services Department of the City of Mississauga, and analyzed landscapes within the City of Mississauga using the UNESCO definition of cultural landscapes:

Cultural landscapes represent the combined works of nature and of man... They are illustrative of the evolution of human society and settlement over time, under the influence of the physical constraints and/or opportunities presented by their natural environment and of successive social, economic and cultural forces, both external and internal.

The Inventory identified a total of 39 cultural landscapes and 22 cultural features, which encompassed thousands of individual properties within the City. Following the adoption of the Inventory, these properties were added to the City of Mississauga's Heritage Register as non-designated ("listed") properties (if they were not already listed or designated by the City).

3. Statement of Significance - Credit River Corridor

The following represents the full Statement of Significance pertaining to the Credit River Corridor, the geographical area within which the Study Area is situated. This Statement of Significance is an unaltered excerpt extracted from the *Conserving Heritage Landscapes: Cultural Heritage Landscape Project – Volume 3* (ASI, Final January 2022).

Cultural Heritage Value

The Credit River Corridor has cultural heritage value as a cultural heritage landscape due to its physical value, historical and associative value, and contextual value.

The Credit River Corridor has physical value as a representative and well-preserved example of a natural cultural heritage landscape. The greenspace extends through the core of the City of Mississauga and contains one of the few remaining natural ecosystems in the city. The Credit River Valley has been identified as the most significant natural landscape and wildlife habitat within the city. The Credit River also has physical value for aesthetic and scenic reasons. In some areas of the corridor there are scenic views of towering slopes from the valley floor, and views of the lush valley. Trees and the natural landscape throughout the Credit River Valley add to the scenic qualities of this landscape. The Q.E.W. Credit River Bridge is an unusual and unique example of an inverted bowstring arch deck truss bridge and features multiple types of connections, unusual among the construction of steel bridges.¹

The Credit River Corridor has historical and associative value due to its direct associations with Indigenous and European land use and settlement activities. The Credit River played a major role in dictating both pre-contact and European settlement patterns. The abundance of fish in the Credit River provided a key component of Indigenous and early European settlers' diets, as well as a source of recreation, as settlement followed. The Credit River also provided a valuable transportation source for early communities and an energy source, first for saw and grist mills and later for steam and hydroelectric projects. The Credit River Corridor also has historical and associative value due to its contributions to an understanding of a community or culture as it has played and continues to play a significant role in the Mississaugas of the Credit First Nation community with fishing, hunting, gathering, and spiritual activities. The Q.E.W. Credit River

¹ The Statement of Significance (ASI, 2022) mistakenly identifies the Metrolinx Credit River Bridge (Lakeshore West Rail Corridor) as the Q.E.W. Credit River Bridge.

Bridge² is considered to be a notable example of a bridge designed by Joseph Hobson, Chief Engineer of the Grand Truck Railroad and built by the Canadian Bridge Co. Ltd., given its craftsmanship, technical achievement, and unusual and unique design.

The Credit River Corridor also has contextual value as a cultural heritage landscape that is important in defining the character of the area. The Credit River remains a core of greenspace through the heart of Mississauga and plays a large role as a passive recreational area for the city. Recommendations that protect the character of the valley have been implemented to ensure long-term protection and maintenance of the scenic qualities of the Valley. The Credit River is historically, physically, functionally, and visually linked to its surroundings. Within the City of Mississauga, the Credit River flows for approximately 24 kilometres (km) and has shaped the land, both physically and culturally, for the past 10,000 years. The Credit River is considered a landmark in the community. The 1979 Project Planning study highlighted the fact that the valley is the most significant natural landscape and wildlife habitat in the City of Mississauga. There is public consensus on the importance of protecting this ecosystem.

Community Value

The Credit River Corridor is valued as a cultural heritage landscape due to its community value. The river is a landmark in the community; a greenspace core that contrasts the dense development that characterizes the city. The community exhibits pride and stewardship of the Credit River Valley. Commemorative plaques, designation of properties under Part IV of the *Ontario Heritage Act*, heritage bridge designations, and the establishment of the Credit Valley Conservation in the mid-twentieth century signify the importance of the Credit River to the members of the community. The Credit River Valley is a large expanse of public space, used for various recreation and public events. The Credit River has played a significant role in the lives of the Mississaugas of the Credit First Nation community. Hunting, fishing, gathering, and spiritual activities continue to be carried out by band members today. The river valley is written about in many local history books and tourism in the area draws people to the parks and recreation areas along the Credit River. Finally, planning policies (The Credit River Parks Strategy and The Credit Valley Conservation Strategic Plan) and projects (The Credit Valley Trail) speak to the importance of maintaining the character and setting of the Credit River Corridor.

Historical Integrity

The Credit River Corridor is valued as a cultural heritage landscape due to its historical integrity. The diverse ecosystem found in the Credit River Valley is the only naturally remaining example of this once vast environment. The cultural relationship of the river and the valley with local First

² See footnote above.

Nations community has been continuous through time. Some band members continue to carry out fishing, hunting, gathering, and spiritual activities today. The natural features and relationships of the Credit River Valley have remained intact since the retreat of the glaciers.

The steep valley walls, benches, and alluvial terraces are the result of thousands of years of erosion and fluvial activities. There are 8 identified viewpoints and 13 overlook points along the corridor. To date 15 archaeological sites are recorded along the Credit River, including the ruins of the Timothy Street Mill, in Streetsville. Also in Streetsville are the ruins of the Hyde Mill which are designated under Part IV of the *Ontario Heritage Act*.

Cultural Heritage Attributes

- The steep valley walls, benches, and alluvial terraces of the Credit River Valley;
- The meandering river and meander belt;
- The scenic quality of the natural environment, including the river and vegetation of the Valley;
- Existing city and community parks;
- Feature sites, identified in the Credit River Parks Strategy:
 - Sanford Farm
 - Former Harris Lands
 - Credit Meadows
 - Streetsville Memorial Park
 - Former Pinchin Lands
 - Riverwood (including the Oak Savannah)
 - Erindale Park;
- Bridging points:
 - Queen Elizabeth Way Bridge over Credit River³
 - Canadian National Bridge over Credit River;
- Existing trail systems;
- Public access to the river;
- Known and potential archaeological sites and ruins;
- Port Credit Pier;
- Wetlands;
- Geological formations, in particular north and south of Dundas Street along the Credit River;
- Port Credit Lighthouse;
- Identified viewpoints:
 - Derry Road West

³ It is believed that this should be the Metrolinx Credit River Bridge (Lakeshore West Rail Corridor).

- Along the trails east of Glamorgan Way
- West side of Mississauga Road, north of Britannia Road West
- Britannia Road West
- Streetsville Cemetery
- Eglinton Avenue West
- Burnhamthorpe Road West
- Dundas Street West Bridge, east of Mississauga Road;
- Identified overlooks:
 - Along Creditview Road, south of Highway 401
 - Four within the Credit Meadows Park
 - One on each east and west bank at Streetsville Cemetery
 - Former Pinchin Lands, north of Highway 403
 - Two within the Riverwood Conservatory, south of Highway 403 and north of Burnhamthorpe Road
 - Two within Erindale Park, on the north and south banks
 - Queen Elizabeth Way, looking north;
- Potential overlooks:
 - Old Derry Road Bridge
 - Barbertown Road Bridge
 - Pedestrian bridge along the trails that intersect with Creditview Road, south of Highway 401
 - Credit River Bridge (Lakeshore West Rail Corridor)
 - Lakeshore Road Bridge
 - Waterfront Trail Bridge.

4. Assessment of Existing Conditions

4.1 Introduction

On September 27, 2023, an on-site field review was carried out by AECOM's Cultural Heritage Specialists. This field review was conducted to document the existing conditions within the Study Area. AECOM completed the field review from the public right-of-way on Lakeshore Road, and from Port Credit Memorial Park and adjacent parkland on the west side of the Credit River. In addition, permission to enter the parking area and east lawn of the Royal Canadian Legion at 35 Front Street North was granted for the duration of the field review. The field review focused on the Credit River Bridge (Lakeshore West Rail Corridor), 35 Front Street North, the Credit River Corridor Cultural Heritage Landscape and the surrounding landscape. These resources were selected due to their known/potential heritage significance and their susceptibility to potential project-related impacts. Photographs of Study Area and its adjacent landscape are located in the subsequent sections for reference.

4.2 Description of the Study Area and Surrounding Context

4.2.1 Credit River Bridge (Lakeshore West Rail Corridor)

The Credit River Bridge (Lakeshore West Rail Corridor) carries the eastbound and westbound tracks of the Metrolinx Lakeshore West Rail Corridor across the Credit River. The bridge is approximately 80 metres in length and consists of a single main span with single approach spans on each end. The main span of the bridge is constructed of riveted steel with a Warren Truss configuration. It is approximately 50 metres in length, with an unusual polygonal bottom chord which has been referred to as an inverted bowstring arch (**Photograph 1**, **Photograph 2** and **Photograph 3**). The approach spans are of simple girder/beam construction. The deck is approximately 270 metres long, and 50 metres wide. A metal walkway and railing have been installed on the south side of the bridge deck. The bridge sits on abutments made of rusticated stone blocks (**Photograph 4**). A tightly woven metal fence has been recently installed around the bridge abutments, and they are therefore not easily visible.

The areas surrounding the east and west ends of the bridge are covered with dense vegetation, including mature trees and high grass (**Photograph 5**). The Credit River Bridge (Lakeshore West Rail Corridor) is visible from the Credit River Cultural Heritage Landscape. Views of the bridge can be observed from Port Credit Memorial Park, the parkland on the west side of the Credit River, the north sidewalk of the Lakeshore Road Bridge and the eastern (rear) lawn and dock area of the Royal Canadian Legion at 35 Front Street North.

A newer deck-truss bridge is located on the immediate north side of the Credit River Bridge (Lakeshore West Rail Corridor). This bridge is approximately the same length as the 1903 Credit River Bridge and carries a single track across the Credit River. This bridge is not easily visible from within the Study Area.

Photograph 1: View of the Credit River Bridge (Lakeshore West Rail Corridor), illustrating the Warren Truss configuration and the inverted bowstring arch, looking west (AECOM, 2023)



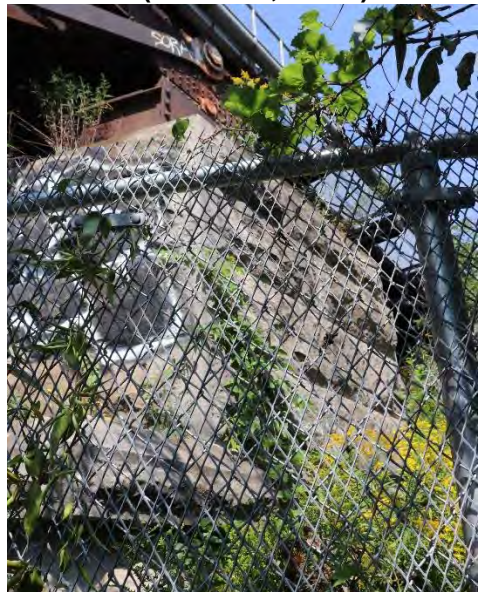
Photograph 2: View of the Credit River Bridge (Lakeshore West Rail Corridor), illustrating the Warren Truss configuration and the inverted bowstring arch, looking southwest (AECOM, 2023)



Photograph 3: View of the Credit River Bridge (Lakeshore West Rail Corridor), illustrating the Warren Truss configuration and the inverted bowstring arch, looking northeast (AECOM, 2023)



Photograph 4: View of the Credit River Bridge illustrating one of the rusticated stone block abutments, looking west (AECOM, 2023)



Photograph 5: View of the Credit River Bridge and Credit River Corridor, illustrating the surrounding dense vegetation, including mature trees and high grass, looking west (AECOM, 2023)



4.2.2 Credit River Cultural Heritage Landscape

The Credit River is approximately 90 km in length, originating in Orangeville, Mono, and Erin. The river flows south through Peel Region and the City of Mississauga into Lake Ontario at Port Credit. Within the Study Area, the Credit River follows a northwest to southeast orientation and is approximately 60 metres in width. The northeast and southwest sides of the Credit River are composed largely of parkland. Port Credit Memorial Park is located on the northeast side of the river. Port Credit Memorial Park is a large, landscaped public park with open lawns and areas of trees punctuated by concrete-surfaced walking paths and public areas (**Photograph 6**). A large gazebo is located in the southwest corner of the park. Along the river's edge, stone blocks and landscaping have been installed to prevent erosion. A series of wooden-decked viewing areas with metal railings and public benches have been installed along the river's edge, as well as several interpretive storyboards which communicate the cultural and natural history of the Credit River. During the field review, one of these panels was noted to have been vandalised.

At the north end of the park, an unmarked trail has been worn into the vegetation, providing access to the river's edge, and the underside of the Credit River Bridge (**Photograph 7**). A second unmarked trail extends to the northeast across the top of the park, roughly paralleling the rail corridor and connecting to the parking lot of the Port Credit Memorial Arena on Stave bank Road (**Photograph 8** and **Photograph 9**). During the time of the field review in September

2023, Port Credit Memorial Park was being used for a music festival and access to the remainder of the park was limited.

The southwest side of the Credit River consists of the Port Credit Legion (which maintains a patio for outdoor events along the river), the Don Rowing Club (which maintains a dock for their rowboats), and the Mississauga Canoe and Paddle Club (which also maintains a dock). Parking is located on Front Street North. As on the northeast side of the Credit River, concrete blocks and landscaping have been installed to prevent erosion.

Photograph 6: View of the Credit River, illustrating the concrete-surfaced walking paths and public areas, looking west (AECOM, 2023)



Photograph 7: View of the unmarked trail that provides access to the river's edge, and the underside of the Credit River Bridge, looking northwest (AECOM, 2023)



Photograph 8: View of the second unmarked trail that parallels the rail corridor and connects to the parking lot of the Port Credit Memorial Arena, looking northeast (AECOM, 2023)



Photograph 9: View of the second unmarked trail that parallels the rail corridor and connects to the parking lot of the Port Credit Memorial Arena, looking southwest (AECOM, 2023)



4.2.3 35 Front Street North – Royal Canadian Legion Branch 82

Royal Canadian Legion Branch 82, also known as the Port Credit Royal Canadian Legion is located at 35 Front Street North, on the northeast side of Front Street between Park Street West and Peter Street North.

The Legion building is a two-and-a-half storey Mid-Century Modern style building constructed in 1966 (**Photograph 10**). The building is constructed into the southwest bank of the Credit River, with northeast side of the building's basement open to ground level. The building features and irregularly-shaped floor plan and a flat roof. The southeast corner of the building is comprised of a twelve-sided, roughly circular wing with a flat roof. The building features significant glazing, consisting of fixed windows set into wood frames. Glazing is punctuated by spandrel panels in white and pale-yellow colour, with blue-painted flashing at the roofline. Additional exterior cladding consists of vertically-oriented strips of dark-stained wooden boards.

At the rear (north) of the property is a large open lawn. This lawn slopes gently downward from the rear of the Legion building to the edge of the Credit River (**Photograph 11** and **Photograph 12**). A floating dock is located on the edge of the river. Unlike other locations within the Study Area, the edge of the river at this location has been left natural, with grass and vegetation to the water's edge. Views of the Credit River and the Credit River Bridge (Lakeshore West Rail Corridor) are visible from the lawn area (**Photograph 12**).

The property is screened from the adjacent property to the southeast by a dense area of mature trees, and from the rail corridor to the northwest by more mature trees.

The western area of the Legion property is comprised of an asphalt-surfaced parking lot (**Photograph 13**). The Lakeshore West Rail corridor runs directly along the northwest edge of the parking lot, and it is in this area that the new trail associated with the AT bridge will pass through. The rail corridor is screened from the parking lot by a black-painted metal fence and a row of vegetation. Looking north from the parking lot, a row of mature trees obscures views of the Credit River Bridge (Lakeshore West Rail Corridor) and the Credit River.

Photograph 10: View of the two-and-a-half storey Mid-Century Modern style Royal Canadian Legion Branch 82 building, looking north (AECOM, 2023)



Photograph 11: A rear view of the Royal Canadian Legion Branch 82 building, illustrating the gently sloping lawn, looking southwest (AECOM, 2023)



Photograph 12: A rear view of the Royal Canadian Legion Branch 82 building, illustrating the gently sloping lawn, the Credit River and the Credit River Bridge, looking west (AECOM, 2023)



Photograph 13: View of the Royal Canadian Legion Branch 82, illustrating the asphalt-surfaced parking lot, looking northeast (AECOM, 2023)



5. Impact Assessment

5.1 Description of the Proposed Project

AECOM was retained by the City of Mississauga to conduct a Heritage Impact Assessment (HIA) for the proposed Credit River Active Transportation (AT) Bridge as part of the AECOM's services for the Detailed Design of the new bridge. The new AT bridge is being constructed as part of the part of the overall Lakeshore Road Transportation Master Plan (TMP) and Implementation Strategy (2019) that was carried out under the Municipal Class Environmental Assessment (EA) process. The TMP (2019) identified the preferred alternative for an active transportation bridge crossing the Credit River linking the east and west side of the river south of the existing railway crossing generally to connect the Front Street and Queen Street rights-of-way.

Based on the evaluation of alternative solutions, the preferred alternative for the new AT Bridge is a signature bridge that would span across the Credit River, connecting the existing multi-use path within Port Credit Memorial Park to Front Street North and includes a new multi-use path along Front Street North and extending to the existing trail starting at the intersection of Mississauga Road with Front Street North. The crossing would facilitate a future direct connection to the Port Credit GO Station, as well as connecting to amenities at Memorial Park and Memorial Arena. The crossing will also ease parking congestion around Memorial Park by making it easier for local residents to walk or cycle to the park and the arena.

The final concept for the bridge was enhanced following the public consultation to improve durability and reduce future maintenance costs. This includes changing the bridge configuration from a true through-truss bridge to a false through-truss integral abutment bridge. This allowed for the elimination of expansion joints and permitted the use of a continuous monolithic deck. This enhancement maintained the original aesthetics of the bridge while protecting the primary support elements and substructure of the bridge from exposure to deicing chemicals. A rendering of the final concept is provided below and a General Arrangement drawing is included in **Appendix A**.

Image 1: Rendering of the proposed New Credit River AT Bridge with the Credit River Bridge (Lakeshore West Rail Corridor) in the background (AECOM, 2024)



5.2 Assessment of Impacts

5.2.1 Screening for Potential Impacts

To assess the potential impacts of the undertaking, identified cultural heritage resources are considered against a range of possible impacts based on the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, InfoSheet #5 Heritage Impact Assessments and Conservation Plans* (MCMI 2006:3) which include, but are not limited to:

- Destruction, removal, or relocation of any, or part of any, significant heritage attributes or features
- Alteration that is not sympathetic, or is incompatible, with the historic fabric or appearance
- Shadows created that alter the appearance of a heritage attribute or change the exposure or visibility of a natural feature or plantings, such as a garden
- Isolation of a heritage attribute from its surrounding environment, context, or a significant relationship

- Direct or indirect obstruction of significant views or vistas from, within, or to a built or natural heritage feature
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource
- Is a landmark.

Positive impacts are those that may positively affect a property by conserving or enhancing its cultural heritage value or interest and/or heritage attributes. Examples of positive impacts may include, but are not limited to:

- Changes or alterations that are consistent with accepted conservation principles, such as those articulated in MCM's *Eight Guiding Principles in the Conservation of Historic Properties*, *Heritage Conservation Principles for Land Use Planning*, Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*;
- Adaptive re-use of a property – alteration of a provincial heritage property to fit new uses or circumstances of the property in a manner that retains its cultural heritage value or interest; or
- Public interpretation or commemoration of the provincial heritage property.

5.2.2 Assessment of Potential Impacts on the Study Area

The impact assessment of the proposed development in **Table 2**, **Table 3** and **Table 4** presents the possible impacts to the Credit River Bridge (Lakeshore West Rail Corridor), 35 Front Street North, and the Credit River Corridor (Cultural Heritage Landscape) based on the preferred alignment. The impact assessment utilizes the *Ontario Heritage Tool Kit*, *Heritage Resources in the Land Use Planning Process*, *InfoSheet #5 Heritage Impact Assessments and Conservation Plans* (MCM 2006:3):

Table 2: Impact Assessment – Credit River Bridge (Lakeshore West Rail Corridor)

Impact	Discussion of Impacts	Potential Mitigation Measures
Destruction, Removal, or Relocation	<p>No direct adverse impact.</p> <p>Based the preferred alignment of the proposed Credit River AT bridge, it is anticipated that none of the heritage attributes associated with the Credit River Bridge will undergo demolition, removal, or relocation.</p>	No mitigation measures required.
Alteration	<p>No indirect adverse impact.</p> <p>Based the preferred alignment of the proposed Credit River AT bridge, it is anticipated that none of the heritage attributes associated with the Credit River Bridge will result in the alteration.</p>	No mitigation measures required.
Shadows	<p>No indirect adverse impact.</p> <p>The preferred alignment will not result in any shadow impacts to the heritage attributes associated with the Credit River Bridge.</p>	No mitigation measures required.
Isolation	<p>No indirect adverse impact.</p> <p>The preferred alignment will not result in any isolation impacts to the heritage attributes associated with the Credit River Bridge.</p>	No mitigation measures required.
Direct or Indirect Obstruction of Significant Views	<p>Potential indirect adverse impact.</p> <p>There are no significant views identified in the Metrolinx Interim Heritage Committee Statement of Cultural Heritage Value as heritage attributes of the Credit River Bridge (Lakeshore West Rail Corridor). However, the overlook from the Credit River Bridge is recognized as a heritage attribute of the Credit River Corridor CHL (see Table 3, below). While it was not identified as a significant view, the project will also obstruct views of the Credit River Bridge from the southeast, such as the view for pedestrians and motorists crossing the Lakeshore Road East Bridge over the Credit River.</p>	Additional Mitigation Required. See Section 7.2.1 .
A Change in Land Use	<p>No indirect adverse impact.</p>	No mitigation measures required.

Impact	Discussion of Impacts	Potential Mitigation Measures
	The preferred alignment will not result in a change in land use of the Credit River Bridge.	
Land Disturbance	No indirect adverse impact. The preferred alignment will not result in any land disturbance associated with the Credit River Bridge.	No mitigation measures required.

Table 3: Impact Assessment – Credit River Corridor CHL

Impact	Discussion of Impacts	Potential Mitigation Measures
Destruction, Removal, or Relocation	Potential direct adverse impact. The Total Impact Area of the proposed Credit River AT bridge will result in the removal of a portion of land (300 m ²) within the Credit River Corridor Cultural Heritage Landscape (CHL). This area of the Credit River Corridor CHL encompasses the alluvial terrace of the Credit Valley, featuring a woodlot of mature trees, low lying vegetation, an unmarked pathway and stone blocks that have been installed to prevent erosion on the water's edge. A total of 300 metres squared (m ²) of land in Memorial Park owned by the City of Mississauga will be changed from woodlot to trail for the proposed AT Bridge. The anticipated conversion of this land will result in the partial destruction of the alluvial terrace and the removal of mature trees and low-lying vegetation. The features of the landscape comprising of the alluvial terrace and associated vegetation within the Credit River Valley that provide a scenic quality to the natural environment (i.e. mature trees and low lying vegetation) and are recognized as heritage attributes of the Credit River Corridor CHL. Therefore, the destruction or removal of a portion of these heritage attributes results in an adverse direct impact. However, it's important to note that this impact does not entail the complete removal or destruction of the heritage attributes within the Credit River CHL.	Additional Mitigation Required. See Section 7.2.2.
Alteration	No direct adverse impact.	No mitigation measures required.

Impact	Discussion of Impacts	Potential Mitigation Measures
	The preferred alignment will not result in any adverse alteration impacts on the heritage attributes associated with the Credit River CHL as the alterations will be sympathetic with the historic fabric and appearance of the landscape.	
Shadows	No indirect adverse impact. The preferred alignment will not result in any shadow impacts on the heritage attributes associated with the Credit River CHL.	No mitigation measures required.
Isolation	No indirect adverse impact. The preferred alignment will not result in any isolation impacts on the heritage attributes associated with the Credit River CHL.	No mitigation measures required.
Direct or Indirect Obstruction of Significant Views	Potential direct adverse impact. Based on the conceptual plan and the preferred alignment of the proposed Credit River AT bridge, it is anticipated that the bridge will result in the partial obstruction the southern view of the Credit River Corridor CHL from the Credit River Bridge (Lakeshore West Rail Corridor). The overlook from the Credit River Bridge is recognized as a heritage attribute of the Credit River CHL and therefore, the partial obstruction of the Credit River CHL from the Credit River Bridge is a potential direct adverse impact.	Additional Mitigation Required. See Section 7.2.2.
A Change in Land Use	No indirect adverse impact. Based on the Total Impact Area, the proposed Credit River AT Bridge will cause a change in land use to the Credit River CHL as a parcel of land (300 m ²) within the Credit River Cultural Heritage Landscape (CHL) will be acquired for the construction of the Credit River AT Bridge. The change in land use is an indirect impact resulting in the destruction or removal of a portion of the alluvial terrace, associated vegetation and woodlot within the Credit River Valley and changing the landscape into a trail for the AT Bridge. Although the land will be used now for the AT Bridge, the acquisition of the land will not change the overall land use of the Credit River CHL. Therefore, the indirect impact is not adverse and does not require mitigation.	No mitigation measures required.
Land Disturbance	No indirect adverse impact.	No mitigation measures required.

Impact	Discussion of Impacts	Potential Mitigation Measures
	Based on the Total Impact Area, the proposed Credit River AT Bridge will cause a change in land use to the Credit River CHL as a parcel of land (300 m ²) within the Credit River Cultural Heritage Landscape (CHL) in Memorial Park will be converted from woodlot to trail as part of the project. While a portion of land will be acquired for the project, the land disturbance, including change in grade that alter soils and drainage patterns will not adversely impact the overall cultural heritage attributes within the Credit River CHL.	

Table 4: Impact Assessment – 35 Front Street North

Impact	Discussion of Impacts	Potential Mitigation Measures
Destruction, Removal, or Relocation	<p>No direct adverse impact.</p> <p>The Total Impact Area of the proposed Credit River AT bridge will require the acquisition of a portion (559 m²) of 35 Front Street North. Of the land that will be acquired, approximately 300 m² currently consists of woodlot and 259 m² consists of an asphalt-surfaced parking lot. Based on the Total Impact Area, it is anticipated that none of the potential heritage buildings or significant landscape features within 35 Front Street North will undergo demolition, removal, or relocation.</p>	No mitigation measures required.
Alteration	<p>No direct adverse impact.</p> <p>The Total Impact Area of the proposed Credit River AT bridge will require the acquisition of a portion (559 m²) of 35 Front Street North. Of the land that will be acquired, approximately 300 m² currently consists of woodlot and 259 m² consists of an asphalt-surfaced parking lot. Based on the Total Impact Area, it is anticipated that none of the potential heritage buildings or significant landscape features within 35 Front Street North will undergo demolition, removal, or relocation.</p>	No mitigation measures required.
Shadows	<p>No indirect adverse impact.</p> <p>The preferred alignment will not result in any shadow impacts on the heritage attributes associated with the potential heritage buildings or significant landscape features within 35 Front Street North.</p>	No mitigation measures required.
Isolation	No indirect adverse impact.	No mitigation measures required.

Impact	Discussion of Impacts	Potential Mitigation Measures
	The preferred alignment will not result in any isolation impacts on the heritage attributes associated with the potential heritage buildings or significant landscape features within 35 Front Street North.	
Direct or Indirect Obstruction of Significant Views	<p>No indirect adverse impact.</p> <p>The preferred alignment will not result in any adverse direct or indirect obstruction of significant views associated with the potential heritage buildings or significant landscape features within 35 Front Street North.</p>	No mitigation measures required.
A Change in Land Use	<p>No direct adverse impact.</p> <p>The Total Impact Area of the proposed Credit River AT bridge will require the acquisition of a portion (559 m²) of 35 Front Street North. Of the land that will be acquired, approximately 300 m² currently consists of woodlot and 259 m² consists of an asphalt-surfaced parking lot. Although this portion of land will be acquired for the proposed Credit River AT Bridge, the acquisition will not impact any of the potential heritage buildings or significant landscape features within 35 Front Street North and will not change the overall land use of the property.</p>	No mitigation measures required.
Land Disturbance	<p>No adverse direct impact.</p> <p>A portion of 35 Front Street North is within the Total Impact Area of the proposed Credit River AT Bridge. A portion (259 m²) of 35 Front Street North which is currently being used as an asphalt-surfaced parking lot will be acquired for the project to accommodate the proposed Credit River AT Bridge. A further portion of 35 Front Street North consisting of woodlot (300 m²) will also be acquired for the project. Being that the Total Impact Area only includes the asphalt-surfaced parking lot and a portion of the woodlot along the Credit River within 35 Front Street North, the acquirement of the property causing a land disturbance does not have an adverse impact on the potential heritage buildings or significant landscape features within 35 Front Street North.</p>	No mitigation measures required.

6. Commemoration

The proposed AT Bridge project presents a unique opportunity to not only provide vital infrastructure but also to commemorate and celebrate the rich Indigenous heritage and history of the surrounding area. As discussions unfold among stakeholders, Indigenous representatives, and our design team, it becomes evident that the bridge holds the potential to serve as a symbol of unity, reconciliation, and cultural pride. In this introduction, we outline a commemoration options that have the potential to integrate Indigenous cultural elements, engage local communities, and ensure authenticity and respect in the portrayal of Indigenous heritage. Through collaborative efforts and careful design considerations, the AT Bridge will not only connect physical landscapes but also bridge cultural divides, fostering a deeper appreciation for the Indigenous peoples who have inhabited and cared for the land for generations.

1. Incorporate Indigenous Cultural Elements:

- Utilize the Two-Row Wampum, which has been adapted by Indigenous communities across Ontario, to symbolize unity and mutual respect. This idea was suggested by Indigenous Relations Manager John Dunlop at the City of Mississauga.
- Develop a theme that resonates with all stakeholders, with a focus on engaging the Six Nations of the Grand River and Mississaugas of the Credit First Nation (MCFN) communities.

2. Relocation of Plaques:

- Consider relocating plaques from Snug Harbour to a lookout point on the bridge, enhancing visibility and accessibility for visitors to appreciate the historical significance of the area.

3. Design Integration:

- Review the proposed truss arch design, ensuring compatibility with commemorative elements such as the Two-Row wampum.
- Incorporate rounded members into the design, if feasible, to accommodate the inclusion of Indigenous symbols.
- Consider etching moccasin patterns onto the concrete abutments and adding plaques on vertical truss members without obstructing the view of the river.

4. Colour Scheme:

- The proposed truss of the AT Bridge should be painted blue to match the blue paint used in Memorial Park and to evoke the waters of Snug Harbour. This colour will

complement the natural landscape of the river and surrounding environment by blending in with the blue sky. By minimizing the visual presence of the proposed truss of the AT Bridge, this colour scheme will also serve to mitigate the obstruction of views to and from the Credit River Bridge.

5. Additional Opportunities:

- Explore the possibility of adding art installations or Indigenous-themed artwork on abutments, visible only from the perspective of canoeists passing underneath.
- Install a lower barrier with a wheelchair view, allowing for the incorporation of Indigenous symbols like the Two-Row Wampum in a non-intrusive manner.
- Consider stamping symbolic imagery or messages into the concrete approaches, further enhancing the cultural significance of the bridge.

By incorporating these elements into the design and construction process, the AT Bridge can serve as a meaningful commemoration of Indigenous heritage and history, fostering a sense of pride and inclusivity within the community.

7. Summary Statement and Mitigation Measures

7.1 Summary Statement

Based on the results of the field review and an analysis of impacts of the proposed undertaking, the Credit River AT bridge project will result in the direct adverse impact to the Credit River Corridor CHL. These impacts include the partial destruction of the alluvial terrace and the removal of mature trees and the associated vegetation within the Credit River Valley, which collectively contribute to the landscape's scenic quality. Both these features have been recognized as a heritage attributes of the Credit River Corridor CHL.

Additionally, the proposed project will indirectly have adverse impacts by partially obstructing southern view of the Credit River Corridor CHL from the Credit River Bridge (Lakeshore West Rail Corridor). The particular overlook from the Credit River Bridge is recognized as a heritage attribute of the Credit River Corridor CHL.

While the Credit River Corridor CHL will be subject to both direct and indirect adverse impacts, neither the Credit River Bridge nor the property located at 35 Front Street North will be adversely impacted by the proposed project.

7.2 Mitigation Measures

7.2.1 Credit River Bridge (Lakeshore West Rail Corridor)

7.2.1.1 Direct or Indirect Obstruction of Views

To mitigate the partial obstruction of views to the Credit River Bridge from the southeast, such as from the Lakeshore Road East Bridge, the proposed truss of the AT Bridge will be designed in a Warren Truss configuration that is complementary to the inverted bowstring arch of the Credit River Bridge. The proposed truss of the AT Bridge will appear to mirror the inverted Warren Truss of the Credit River Bridge when viewed from the southeast, along the Credit River Corridor. The colour scheme described below in **Section 7.2.2.2** will complement the natural landscape and blend in with the blue sky, which will serve to mitigate the obstruction of views from the Credit River Bridge overlooking the Credit River. Furthermore, the construction of the AT Bridge as a pedestrian bridge immediately to the southeast of the Credit River Bridge will also positively impact its cultural heritage value, since it will create a new opportunity for people to view the heritage attributes of the Credit River Bridge up close from a new vantage point.

Therefore, the current draft 90% design of the AT Bridge mitigates any alterations to views of the Credit River to and from the Credit River Bridge and no further mitigation strategies are required.

7.2.2 Credit River Corridor CHL

7.2.2.1 Destruction, Removal or Relocation

To mitigate the partial destruction of the alluvial terrace and the removal of mature trees and low-lying vegetation within the Credit River Valley due to construction activities, comprehensive post-construction landscaping and rehabilitation plans, such as restoration drawings that include new tree plantings, will be implemented in a manner that is sympathetic to the landscape's scenic natural environment. The landscape elements noted above contribute to the scenic quality of the natural environment within the Credit River Corridor CHL. Landscaping and rehabilitation plans to conserve the landscape's natural environment should encompass, but not be limited to, the following components:

- Conducting a thorough assessment of the existing landscape conditions.
- Establishing clear and specific objectives for the rehabilitation efforts.
- Developing preliminary design concepts or proposals for the landscape's restoration.
- Providing specific details regarding the selection and placement of plant species.
- Incorporating plans for hardscape elements as necessary.

Furthermore, to minimize potential adverse impacts on the remaining portions of the Credit River Corridor CHL, it is advisable to create a protective buffer zone along the perimeter of the Study Area (Total Impact Area). The strategy requires the below:

- Establish a no-go-zone (buffer zone) to the remainder of the Credit River CHL. Ensure no equipment transects the no-go-zone. Include the no-go zone in the site plan or similar document for the project;
- Erect temporary construction fencing around the Study Area to safeguard the heritage attributes of the Credit River CHL from potential destruction, removal, or relocation; and
- Remove the temporary protective fencing post-construction.

7.2.2.2 Direct or Indirect Obstruction of Significant Views

To mitigate the partial obstruction of the southeastern view of the Credit River CHL from the overlook of the Credit River Bridge, which is recognized as a heritage attribute of the Credit River Corridor CHL, it is recommended that the proposed truss of the AT Bridge be painted blue (as seen in **Image 1**). This colour will complement the natural landscape of the river and surrounding environment by blending in with the blue sky. In doing so, the colour scheme will

minimize the presence of the proposed truss of the AT Bridge and mitigate the impact on views of the Credit River Corridor CHL from the Credit River Bridge.

The AT Bridge will also include new accessible viewing areas with benches and lookouts to allow the public to observe the southeastern view of the Credit River CHL. This is superior to the views that are being partially obstructed as the views from the Credit River Bridge are not accessible to the public. Views from the window of a passenger train are from a higher elevation and as a result will not be impacted to the degree as that of a person standing on the bridge.

7.2.3 35 Front Street North – Royal Canadian Legion Branch 82

No further heritage requirements for 35 Front Street North, and therefore no mitigation measures were prepared.

7.3 Recommendations

Based on the results of this HIA, the following is recommended:

Credit River Bridge

1. As discussed in **Section 7.2.1**, continue to design the AT Bridge with a steel truss to be complementary and sympathetic to the existing Credit River Bridge but with the use of contemporary technology and materials.

Credit River Corridor CHL

2. As discussed in **Section 7.2.2**, employ measures to protect the natural environment of the Credit River Corridor.
3. Complete a Landscape Plan or Tree Protection Plan to identify the contributing vegetation to the scenic quality of the landscape (i.e. native species). The plan should include a detailed vegetation protection methodology and strategies to mitigate any direct impacts to the vegetation, if necessary.

AT Bridge

4. Consider commemorative options proposed in **Section 6** and incorporate public interpretation and commemoration elements into the design of the truss arch bridge.

General

5. Provide this HIA to the Heritage Planning Unit of the MCM for review. The HIA should also be sent to the City's Heritage Advisory Committee for information or review.

8. Sources

Primary and Secondary Sources:

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Provincial Standards and Resources:

Government of Ontario

2006 O. Reg. 9/06: *Criteria for Determining Cultural Heritage Value or Interest*; made under the *Ontario Heritage Act*. Available online at <https://www.ontario.ca/laws/regulation/060009>

2021 *Ontario Heritage Act*, R.S.O. 1990, c.0.18. Available online at <https://www.ontario.ca/laws/statute/90o18>

2021 *Planning Act*, R.S.O. 1990, c. P.13. Available online at <https://www.ontario.ca/laws/statute/90p13>

- 2024 Provincial Planning Statement. Available online at
<https://www.ontario.ca/files/2024-10/mmah-provincial-planning-statement-en-2024-10-23.pdf>

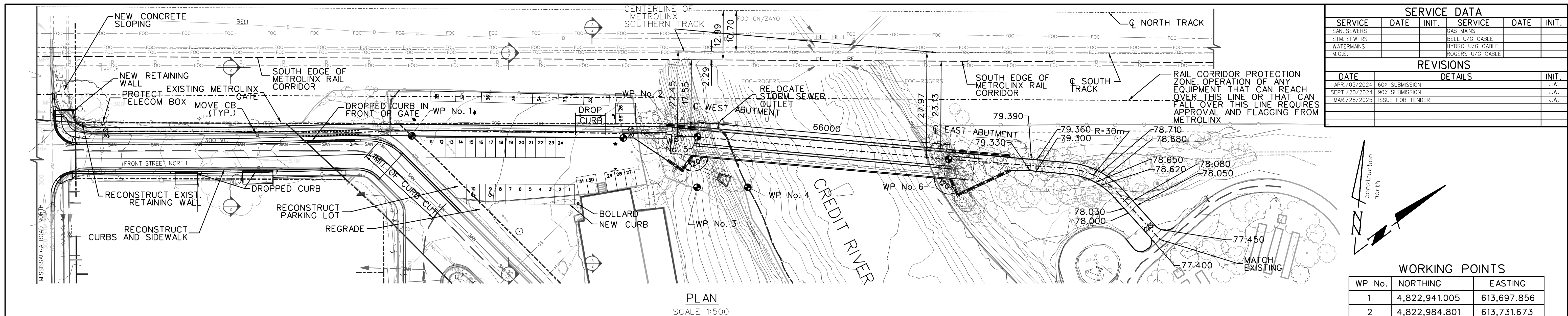
Ministry of Citizenship and Multiculturalism (MCM)

- 2006 *Ontario Heritage Tool Kit*.
http://www.mtc.gov.on.ca/en/heritage/heritage_toolkit.shtml
- 2007 *Heritage Conservation Principles for Land Use Planning*. Available online at:
http://www.mtc.gov.on.ca/en/publications/InfoSheet_Principles_LandUse_Planning.pdf
- 2010: *Standards & Guidelines for the Conservation of Provincial Heritage Properties*
Available online at: http://www.mtc.gov.on.ca/en/heritage/MTCS_Heritage_IE_Process.pdf

Appendix A

Select Drawings – 90% Detailed Design





METROLINX GENERAL NOTES - MILE 13.27 OAKVILLE SUBDIVISION

A. PRIOR TO COMMENCING ANY WORK WITHIN OR THAT CAN FALL WITHIN 10m OF METROLINX RAILWAY CORRIDOR, THE CONTRACTOR SHALL APPLY FOR AND RECEIVE A METROLINX WORK PERMIT;

I) WHEN SUBMITTING THE WORK PERMIT APPLICATION(S), THE CONTRACTOR SHALL ALLOW FOR SUFFICIENT TIME FOR WORK PLAN REVIEW, REVISION, AND COORDINATION WITH METROLINX INTERNAL STAKEHOLDERS;

II) THE CONTRACTOR SHALL CONFORM TO THE METROLINX WORK PERMIT AND SUBMIT ALL REQUESTED AND REQUIRED INFORMATION FOR REVIEW AND ACCEPTANCE FROM AECOM / METROLINX;

B. AT THE DISCRETION OF AECOM / METROLINX, IT MAY BE REQUIRED TO COMPLETE CERTAIN CONSTRUCTION ACTIVITIES OUTSIDE OF RAILWAY SERVICE HOURS (I.E. CERTAIN WORKS MAY BE RESTRICTED TO OVERNIGHT OR WEEKEND HOURS) AS APPLICABLE;

C. THE CONTRACTOR IS REQUIRED TO SUBMIT THE FOLLOWING FOR REVIEW AND ACCEPTANCE FROM AECOM/METROLINX PRIOR TO CONSTRUCTION:

I) DETAILED WORK PLAN METHODOLOGY FOR CONSTRUCTION;

II) METHODOLOGY FOR ANY TEMPORARY EXCAVATION PROTECTION, IF REQUIRED;

III) ANY DE-WATERING SCHEMES OR ADJACENT TO METROLINX RIGHT-OF-WAY, IF REQUIRED;

IV) SHORING PLANS WITH CALCULATIONS, IF REQUIRED;

D. ANY IMPACTS OR DISTURBANCES TO METROLINX PROPERTY SHALL BE DOCUMENTED AND REPORTED TO METROLINX. METROLINX TO REVIEW AND APPROVE ANY PROPOSED REMEDIATION TO IMPACTED OR DISTURBED METROLINX PROPERTY.

E. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE ADEQUATE PROTECTION OF ALL UTILITIES, SERVICES, STRUCTURES, ROADWAYS, RAILWAY TRACKS, ETC. DURING CONSTRUCTION OPERATIONS. CONTRACTOR'S METHOD OF PROTECTION SHALL BE SUBMITTED TO AECOM/METROLINX FOR REVIEW AND ACCEPTANCE BEFORE PROCEEDING WITH WORKS;

F. SPOILS AND / OR DEBRIS SHALL NOT BE DIRECTED TOWARDS OR WITHIN METROLINX RIGHT-OF-WAY;

G. NO MATERIAL/EQUIPMENT/WASTE SHALL BE RESTORED, LEFT AND/OR DISPOSED OF WITHIN THE METROLINX RIGHT-OF-WAY.

H. WORK WITHIN 10m OF METROLINX RAILWAY CORRIDOR SHALL BE PERFORMED UNDER RAILWAY FLAGGING PROTECTION;

I. ANY DISCRETION OF AECOM / METROLINX, CORRIDOR FLAGGING PROTECTION MAY ALSO BE REQUIRED FOR WORK UNDER, OR ADJACENT TO THE METROLINX RIGHT-OF-WAY;

J. THE CONTRACTOR SHALL ADVISE ALL UTILITY COMPANIES IN WRITING OF THE PROPOSED WORK;

I) ANY DAMAGE TO EXISTING UTILITIES SHALL BE PROPERLY REPAIRED AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF AECOM / METROLINX;

K. THE CONTRACTOR SHALL NOT STORE ANY HAZARDOUS MATERIALS WITHIN CLOSE PROXIMITY OF THE METROLINX RIGHT-OF-WAY OR THE BRIDGE STRUCTURE;

L. THE CONTRACTOR SHALL PROVIDE DETAILED PRE-CONSTRUCTION AND POST-CONSTRUCTION PHOTOS OF THE METROLINX RIGHT-OF-WAY FOR METROLINX RECORDS;

M. THE METROLINX RIGHT OF WAY SHALL BE RESTORED TO PRE-EXISTING OR BETTER CONDITIONS AFTER COMPLETION OF THE WORK, AND TO THE SATISFACTION OF AECOM / METROLINX;

N. AS-BUILT DRAWINGS THAT ARE GEOREFERENCED CAD FILE - NAD 83 MTM 10 FORMAT ARE TO BE SUBMITTED TO AECOM / METROLINX NO LATER THAN 30 DAYS AFTER COMPLETION OF CONSTRUCTION;

O. BACKFILLING OF PITS AND TRENCHES WITHIN RAILWAY RIGHT-OF-WAY AND / OR INSIDE THE THEORETICAL RAILWAY LOADING INFLUENCE ZONE SHALL BE COMPACTED TO 98% SPMD D AT 150mm LIFTS WITH GRANULAR B TYPE II MATERIAL;

P. RAILWAY INFRASTRUCTURE SHALL NOT BE DISTURBED / IMPACTED AND SHALL BE SUPPORTED WITH TEMPORARY SUPPORT AT ALL TIMES DURING THE WORK AND UNTIL THE BACKFILLING IS COMPLETED TO RESTORE GROUND SUPPORT;

Q. RAILWAY SIGNAL LOCATES ARE REQUIRED AND SHALL BE OBTAINED PRIOR TO ANY GROUND DISTURBANCE WORKS (I.E. BREAKING OF ANY GROUND TO INCLUDE INSTALLATION OF STAKES / SPIKES, GRADING, STRIPPING, EXCAVATIONS, ETC.) WITHIN THE METROLINX PROPERTY AND / OR 30 FEET FROM THE NEAREST TRACK & 2m FROM METROLINX PROPERTY LINE;

R. LIGHTING ON OR AROUND THE WORK AREA SHALL NOT IMPEDE RAILWAY OPERATIONS, OR IMPACT THE SIGHTLINES / VISIBILITY OF TRAIN CREWS OPERATING;

S. ALL DRAINAGE WITHIN THE ENTIRE PROPOSED WORK SHALL BE DIRECTED AWAY FROM THE METROLINX DRAINAGE DITCHES AND RIGHT-OF-WAY. THE PROJECT AND EXISTING CONSTRUCTION SHALL HAVE NO ADVERSE EFFECTS ON THE EXISTING METROLINX DRAINAGE FACILITIES/DITCHES/GRADING;

T. ANYONE ENTERING METROLINX RIGHT-OF-WAY MUST COMPLETE THE METROLINX PITS TRAINING;

U. SEPARATIONS REQUIREMENTS SHALL BE MET AS PER APPLICABLE STANDARDS;

V. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A PROPOSAL FOR PROTECTIVE MEASURES FOR REVIEW AND ACCEPTANCE FROM AECOM / METROLINX;

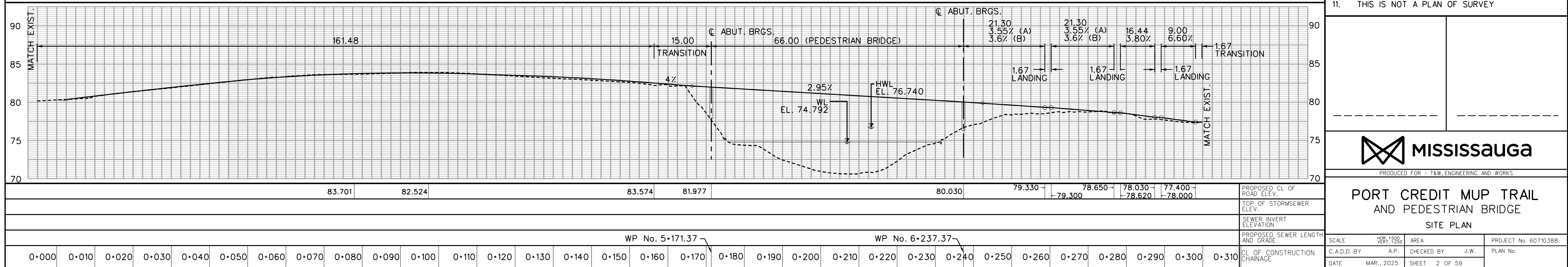
W. NO WATER SHALL BE DIVERTED TOWARDS THE TRACK STRUCTURE OR ONTO METROLINX RIGHT-OF-WAY;

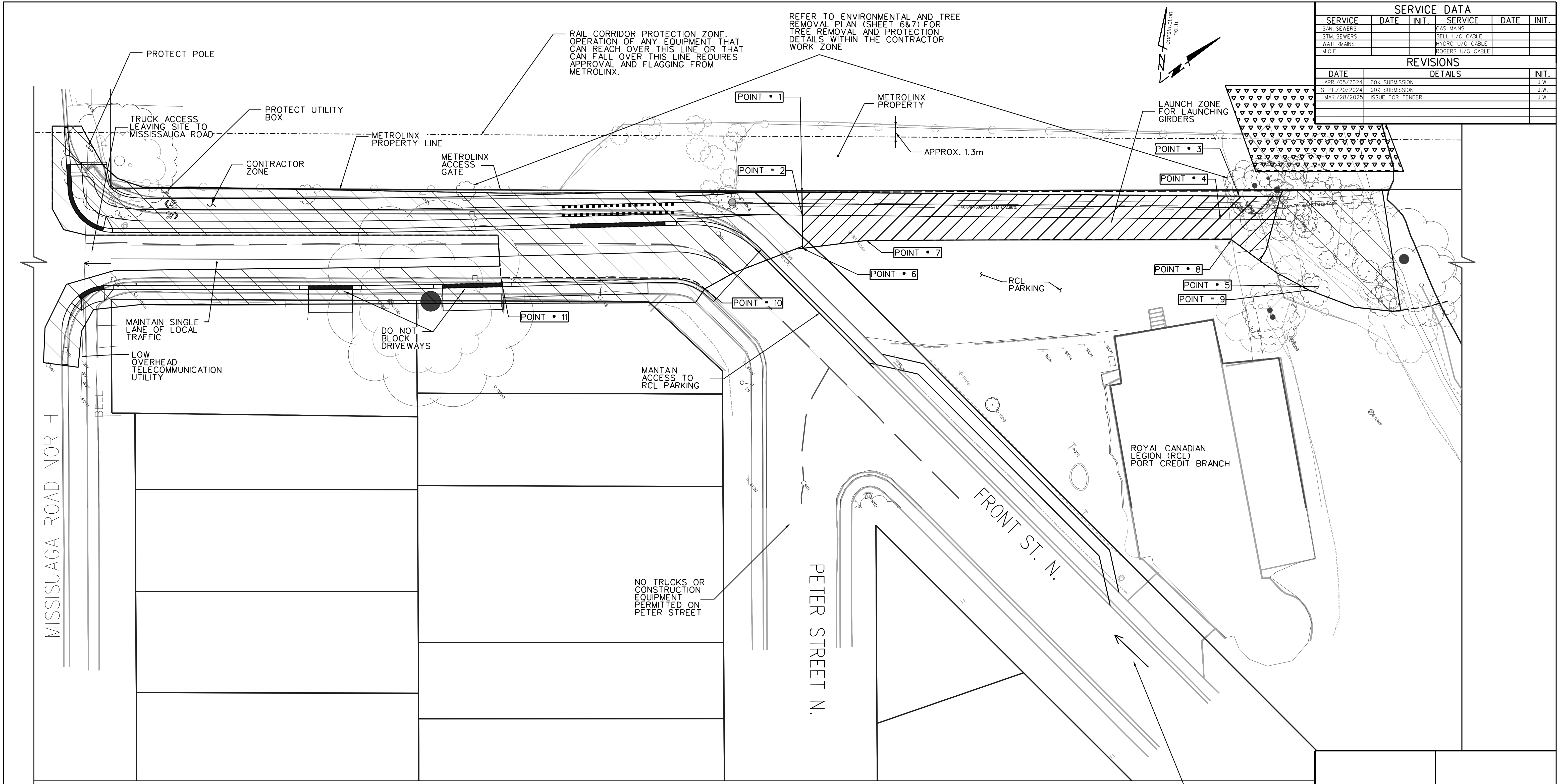
SUGGESTED CONSTRUCTION SEQUENCE:

1. INSTALL ENVIRONMENTAL PROTECTIONS (DOES NOT INCLUDE COFFERDAM).
2. PREPARE SITE, INCLUDING GRUBBING OF STUMPS IN MEMORIAL PARK AND RECONSTRUCTION OF CURB AND GUTTER ON SOUTH SIDE OF FRONT STREET, PLACING GRAVEL WORKING SURFACE IN MEMORIAL PARK AND CONSTRUCTING ACCESS ROADS IN RCL PARKING LOT AND MEMORIAL PARK.
3. LINE EXISTING STORM SEWER UNDER FRONT STREET.
4. JULY 15 - CONSTRUCT COFFERDAM.
5. CONSTRUCT STORMSEWER OUTLET AND NEW STORMSEWER CONNECTING TO EXISTING SYSTEM.
6. EXCAVATE FOR ABUTMENTS.
7. DRIVE PILES.
8. CONSTRUCT ABUTMENTS.
9. CONSTRUCT TEMPORARY PIERS.
10. ASSEMBLE AND LAUNCH GIRDERS.
11. REMOVE TEMPORARY PIERS.
12. CONSTRUCT CONCRETE DECK.
13. CONSTRUCT MSE WALLS AND BACKFILL ABUTMENTS.
14. ARMOUR RIVERBANK AND COMPLETE FINAL GRADING ALONG RIVERBANK.
15. RECONSTRUCT NORTH SIDE OF FRONT STREET.
16. CONSTRUCT STEEL TRUSS.
17. ERECT BARRIERS.
18. FINAL PAVING.
19. FINAL GRADING AND LANDSCAPING (IN SPRING OF 2026).

GENERAL NOTES

1. ALL DRIVEWAYS ASPHALT UNLESS OTHERWISE NOTED
2. ALL SERVICE LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED ACCURATELY IN FIELD
3. ALL MEASUREMENTS FOR THIS PROJECT ARE IN METRES AND/OR MILLIMETRES UNLESS OTHERWISE INDICATED
4. ALL SINGLE C.B. LATERALS TO BE 250mm Ø CL 65-D ALL OTHERS TO BE 300mm Ø CL 65-D
5. ALL TREES AND SHRUBS NOT MARKED IN THE FIELD FOR REMOVAL, PROTECT
6. ALL SEWERS AND LATERALS TO HAVE CLASS 'B' BEDDING AND SAND COVER BACKFILL UNLESS OTHERWISE INDICATED
7. ALL UTILITY RELOCATION BY OTHERS
8. DURING SEWER CONSTRUCTION, WATERMAINS TO BE PROTECTED TO THE SATISFACTION OF THE PUBLIC WORKS DEPARTMENT OF THE REGIONAL MUNICIPALITY OF PEEL
9. INFORMATION SHOWN HEREON IS FOR USE BY THE CITY OF MISSISSAUGA, TRANSPORTATION AND WORKS DEPARTMENT, AND IS NOT INTENDED FOR USE BY ANY OTHER PARTIES UNLESS EXPRESSED WRITTEN CONSENT IS OBTAINED. MEASUREMENTS SHOWN MUST BE CONFIRMED BY FIELD SURVEY BEFORE USE.
10. PROTECTED BY COPYRIGHT, MAY NOT BE REPRODUCED WITHOUT PERMISSION
11. THIS IS NOT A PLAN OF SURVEY





SERVICE DATA					
SERVICE	DATE	INIT.	SERVICE	DATE	INIT.
SAN. SEWERS			GAS MAINS		
STM. SEWERS			BELL U/G CABLE		
WATERMAINS			HYDRO U/G CABLE		
M.O.E.			ROGERS U/G CABLE		
REVISIONS					
DATE	DETAILS				INIT.
APR./05/2024	60% SUBMISSION				J.W.
SEPT./20/2024	90% SUBMISSION				J.W.
MAR./28/2025	ISSUE FOR TENDER				J.W.

ACCESS NOTES

1. TRUCKS COMING TO SITE TO COME VIA LAKESHORE ST. TO FRONT ST. N.
2. TRUCKS LEAVING SITE TO LEAVE VIA FRONT ST. N. TO MISSISSAUGA RD. AND SOUTH TO LAKESHORE ST.
3. NO TRUCK TRAFFIC IS PERMITTED ON MISSISSAUGA ROAD NORTH OF FRONT STREET.
4. NO TRUCK TRAFFIC PERMITTED 7:50 AM TO 10:00 AM AND 2:30 PM TO 4:00 PM DURING SCHOOL YEAR.
5. DO NOT OCCUPY METROLINX PROPERTY AND MINIMIZE TIME METROLINX ACCESS GATE IS BLOCKED.
6. PROVIDE METROLINX ACCESS TO GATE WITH 7 DAYS NOTICE.
7. ARRANGE FOR METROLINX FLAGGING FOR ANY TALL EQUIPMENT THAT CAN REACH OR FALL OVER RAIL CORRIDOR PROTECTION ZONE
8. RESPECT AND MINIMIZE INTERFERENCE WITH SCHOOL OPERATIONS AT RIVERSIDE PUBLIC SCHOOL (30 JOHN ST NORTH) INCLUDING SCHOOL BUS TRAFFIC AND PARENT DROP OFF/PICK UP.
9. FRONT STREET NORTH WILL BE CLOSED FROM PARK STREET WEST TO JOHN STREET NORTH FROM 6:00 AM ON JUNE 7 UNTIL 5:00 pm ON JUNE 8 FOR THE DRAGON BOAT FESTIVAL. PLAN ROAD ACCESS ACCORDINGLY.
10. INSTALL SIGNAGE AND PROTECT LOW OVERHEAD UTILITY AT INTERSECTION OF FRONT STREET AND MISSISSAUGA ROAD.

POINT •	EASTING	NORTHING
1	613697.295	4822945.203
2	613699.711	4822943.410
3	613732.451	4822990.812
4	613733.338	4822987.014
5	613748.294	4822991.950
6	613703.236	4822940.794
7	613707.493	4822948.163
8	613736.428	4822986.536
9	613747.857	4822990.651
10	613699.716	4822927.326
11	613682.340	4822906.794

PLAN
SCALE 1:250

- LEGEND
- LAUNCH ZONE FOR GIRDERS
 - CONTRACTOR ZONE
 - METROLINX WORK ZONE

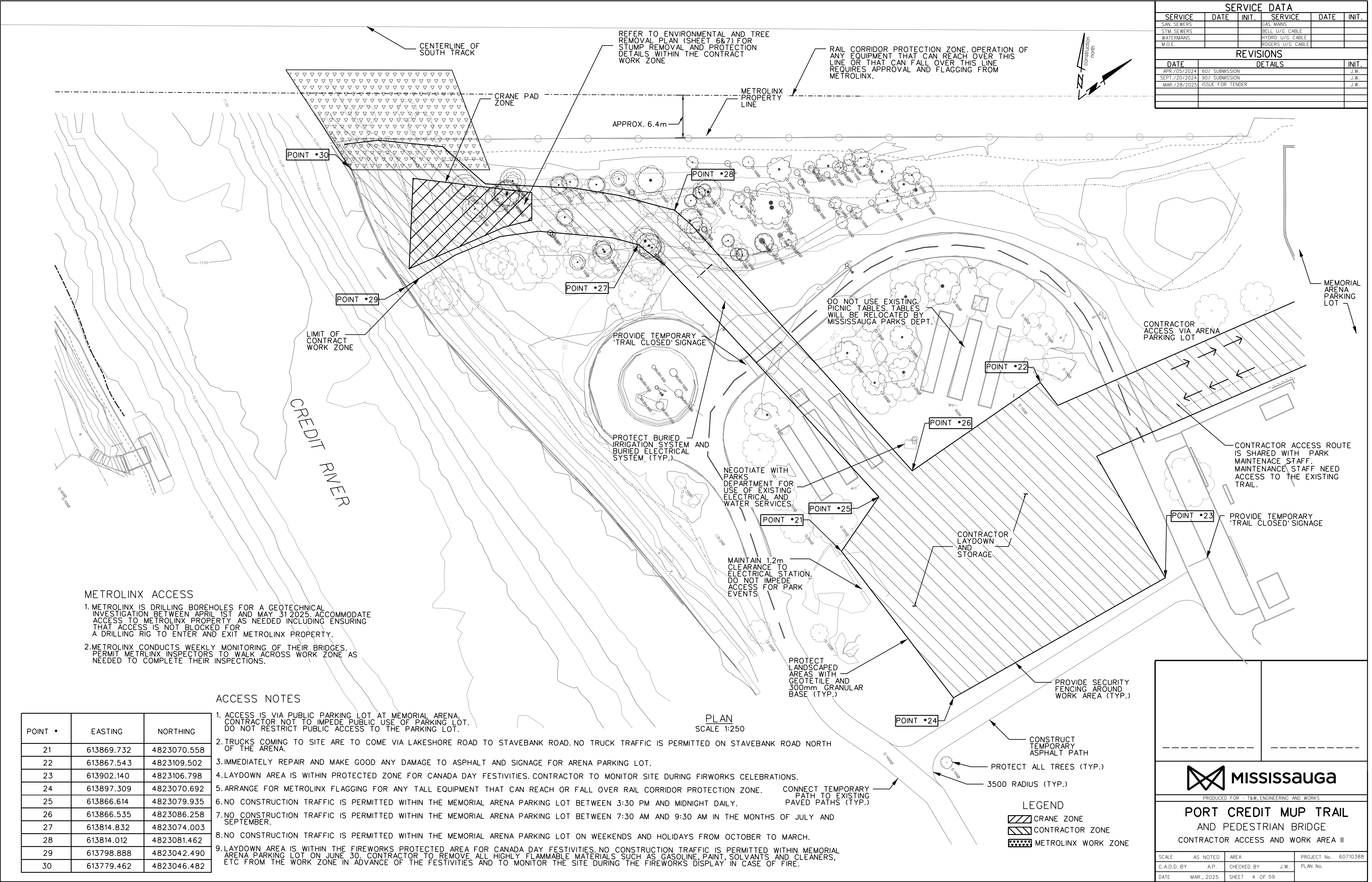
METROLINX ACCESS

1. METROLINX IS DRILLING BOREHOLES FOR A GEOTECHNICAL INVESTIGATION BETWEEN APRIL 1ST AND MAY 31 2025. ACCOMMODATE ACCESS TO METROLINX PROPERTY AS NEEDED INCLUDING ENSURING THAT ACCESS IS NOT BLOCKED FOR A DRILLING RIG TO ENTER AND EXIT METROLINX PROPERTY.
2. METROLINX CONDUCTS WEEKLY MONITORING OF THEIR BRIDGES. PERMIT METRLINX INSPECTORS TO WALK ACROSS WORK ZONE AS NEEDED TO COMPLETE THEIR INSPECTIONS.

PRODUCED FOR - T&W ENGINEERING AND WORKS

PORT CREDIT MUP TRAIL
AND PEDESTRIAN BRIDGE
CONTRACTOR ACCESS AND WORK AREA I

SCALE	AS NOTED	AREA	PROJECT No.	60710388
C.A.D.D. BY	A.P.	CHECKED BY	J.W.	PLAN No.
DATE	MAR., 2025	SHEET	3 OF 59	



SERVICE DATA					
SERVICE	DATE	INIT.	SERVICE	DATE	INIT.
SAN. SEWERS			GAS MAINS		
STM. SEWERS			BELL U/G CABLE		
WATERMAINS			HYDRO U/G CABLE		
M.O.E.			ROGERS U/G CABLE		
REVISIONS					
DATE	DETAILS				INIT.
APR./05/2024	60% SUBMISSION				J.W.
SEPT./20/2024	90% SUBMISSION				J.W.
MAR./28/2025	ISSUE FOR TENDER				J.W.

METROLINX ACCESS

1. METROLINX IS DRILLING BOREHOLES FOR A GEOTECHNICAL INVESTIGATION BETWEEN APRIL 1ST AND MAY 31 2025. ACCOMMODATE ACCESS TO METROLINX PROPERTY AS NEEDED INCLUDING ENSURING THAT ACCESS IS NOT BLOCKED FOR A DRILLING RIG TO ENTER AND EXIT METROLINX PROPERTY.
2. METROLINX CONDUCTS WEEKLY MONITORING OF THEIR BRIDGES. PERMIT METRLINX INSPECTORS TO WALK ACROSS WORK ZONE AS NEEDED TO COMPLETE THEIR INSPECTIONS.

ACCESS NOTES

1. ACCESS IS VIA PUBLIC PARKING LOT AT MEMORIAL ARENA. CONTRACTOR NOT TO IMPEDE PUBLIC USE OF PARKING LOT. DO NOT RESTRICT PUBLIC ACCESS TO THE PARKING LOT.
2. TRUCKS COMING TO SITE ARE TO COME VIA LAKESHORE ROAD TO STAVEBANK ROAD. NO TRUCK TRAFFIC IS PERMITTED ON STAVEBANK ROAD NORTH OF THE ARENA.
3. IMMEDIATELY REPAIR AND MAKE GOOD ANY DAMAGE TO ASPHALT AND SIGNAGE FOR ARENA PARKING LOT.
4. LAYDOWN AREA IS WITHIN PROTECTED ZONE FOR CANADA DAY FESTIVITIES. CONTRACTOR TO MONITOR SITE DURING FIRWORKS CELEBRATIONS.
5. ARRANGE FOR METROLINX FLAGGING FOR ANY TALL EQUIPMENT THAT CAN REACH OR FALL OVER RAIL CORRIDOR PROTECTION ZONE.
6. NO CONSTRUCTION TRAFFIC IS PERMITTED WITHIN THE MEMORIAL ARENA PARKING LOT BETWEEN 3:30 PM AND MIDNIGHT DAILY.
7. NO CONSTRUCTION TRAFFIC IS PERMITTED WITHIN THE MEMORIAL ARENA PARKING LOT BETWEEN 7:30 AM AND 9:30 AM IN THE MONTHS OF JULY AND SEPTEMBER.
8. NO CONSTRUCTION TRAFFIC IS PERMITTED WITHIN THE MEMORIAL ARENA PARKING LOT ON WEEKENDS AND HOLIDAYS FROM OCTOBER TO MARCH.
9. LAYDOWN AREA IS WITHIN THE FIREWORKS PROTECTED AREA FOR CANADA DAY FESTIVITIES. NO CONSTRUCTION TRAFFIC IS PERMITTED WITHIN MEMORIAL ARENA PARKING LOT ON JUNE 30. CONTRACTOR TO REMOVE ALL HIGHLY FLAMMABLE MATERIALS SUCH AS GASOLINE, PAINT, SOLVANTS AND CLEANERS, ETC FROM THE WORK ZONE IN ADVANCE OF THE FESTIVITIES AND TO MONITOR THE SITE DURING THE FIREWORKS DISPLAY IN CASE OF FIRE.

PLAN
SCALE 1:250

LEGEND

- CRANE ZONE
- CONTRACTOR ZONE
- METROLINX WORK ZONE

MISSISSAUGA

PRODUCED FOR - T&W ENGINEERING AND WORKS

PORT CREDIT MUP TRAIL
AND PEDESTRIAN BRIDGE
CONTRACTOR ACCESS AND WORK AREA II

SCALE AS NOTED

AREA

PROJECT No. 60710388

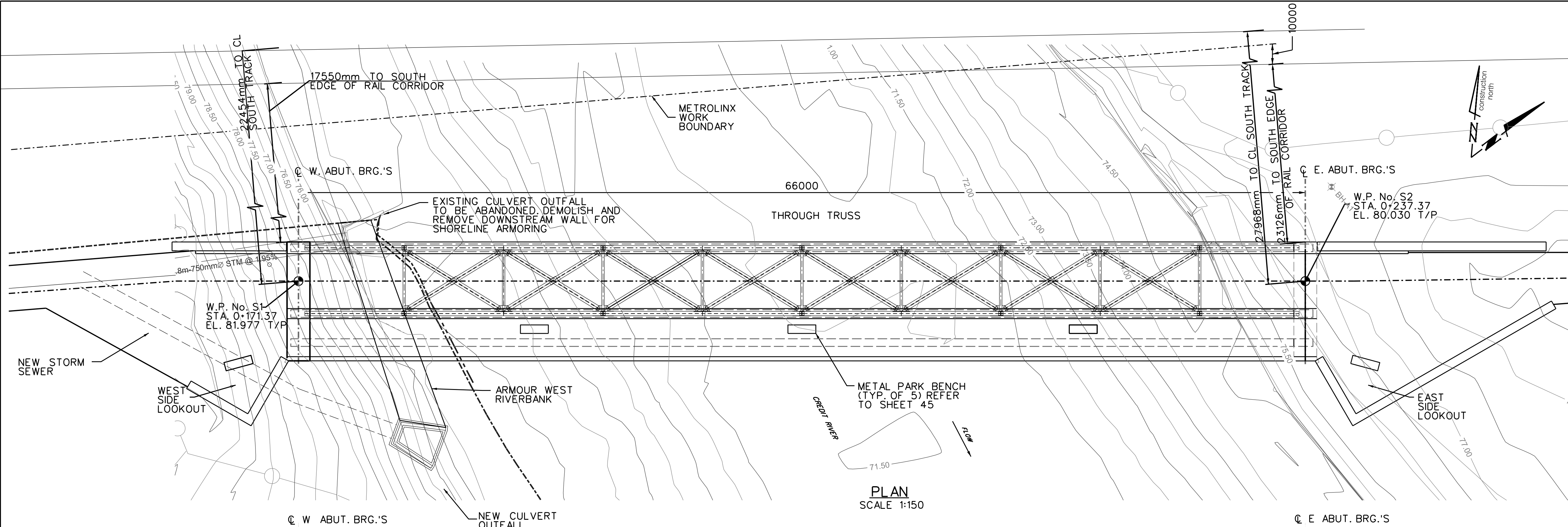
C.A.D.D. BY A.P.

CHECKED BY J.W.

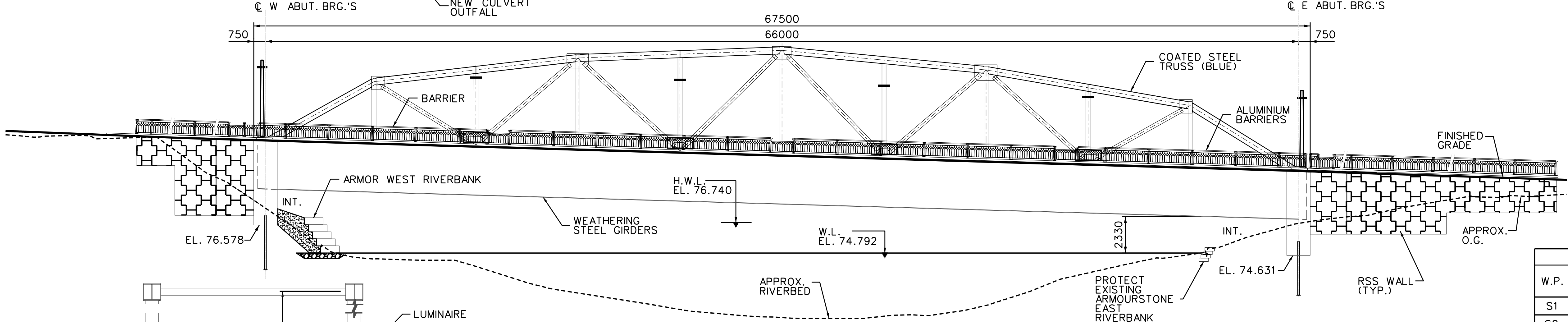
PLAN No.

DATE MAR., 2025

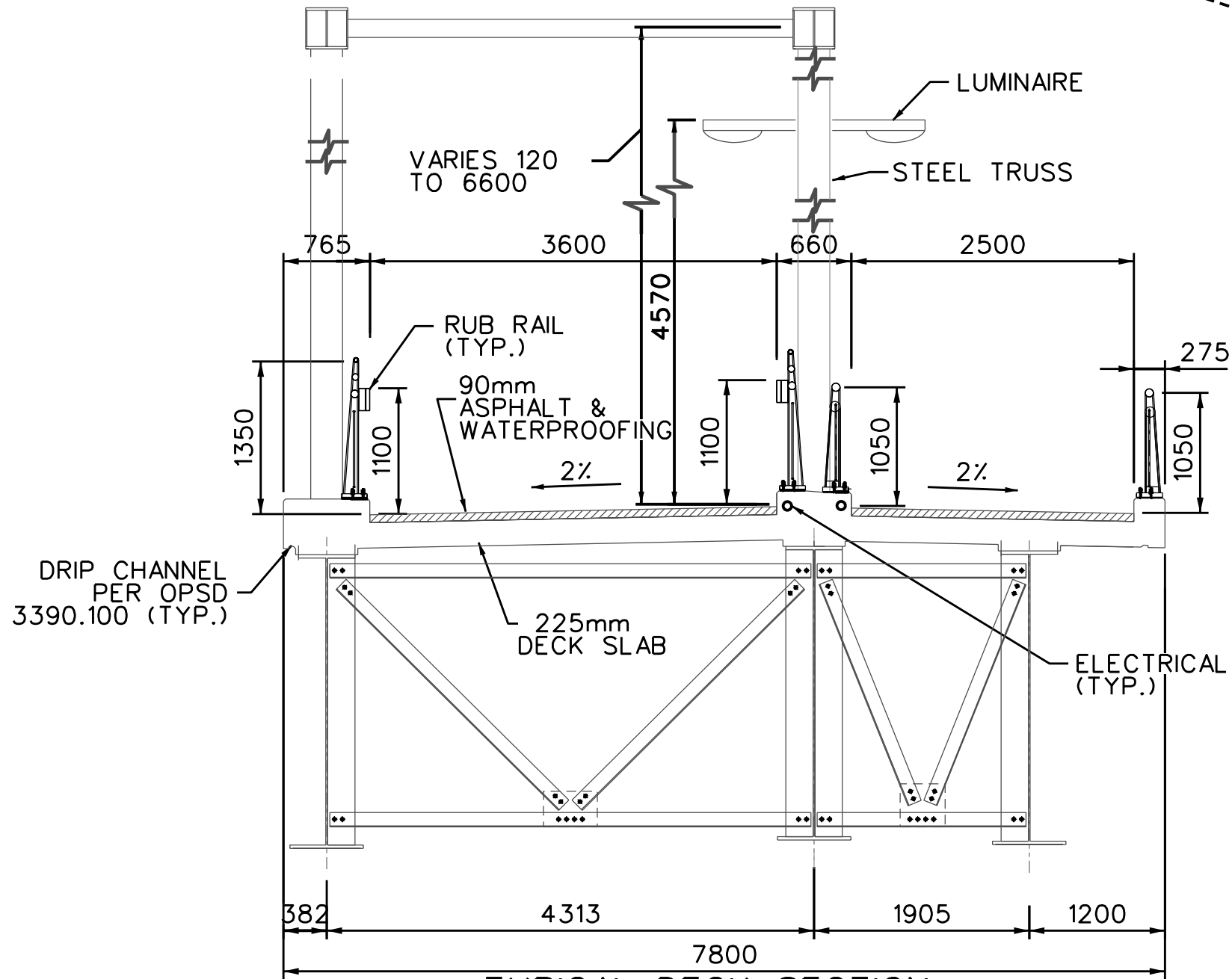
SHEET 4 OF 59



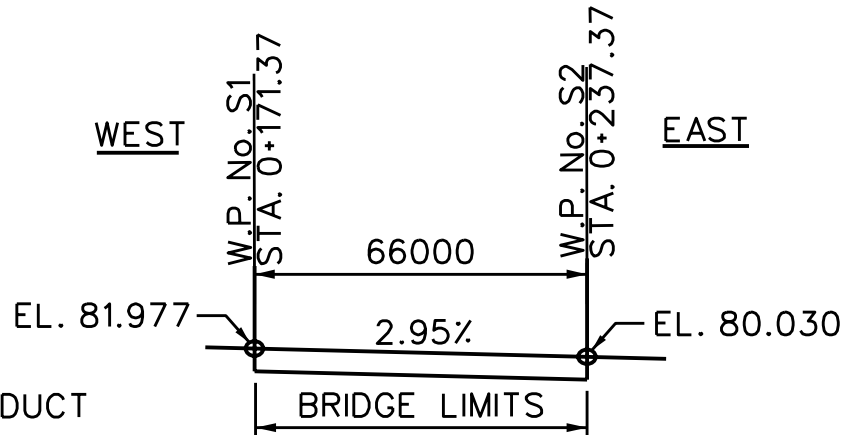
PLAN
SCALE 1:150



ELEVATION
SCALE 1:150



TYPICAL DECK SECTION
SCALE 1:50



PROFILE - PORT CREDIT MUP TRAIL

CONSTRUCTION NOTES:

1. CONTRACTOR TO PROVIDE COPY OF WORKPLAN TO METROLINX. ANY EQUIPMENT THAT CAN REACH OR FALL INTO METROLINX WORK BOUNDARY REQUIRES METROLINX FLAGGING.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DETAILS AND ELEVATIONS THAT ARE RELEVANT TO THE WORK SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE CONTRACT ADMINISTRATOR AND THE PROPOSED ADJUSTMENT OF THE WORK REQUIRED TO MATCH THE EXISTING STRUCTURE SHALL BE SUBMITTED FOR APPROVAL.
3. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE ADEQUATE PROTECTION OF UTILITIES, SERVICES, STRUCTURES, ROADWAYS, WATERCOURSES, ECT. DURING CONSTRUCTION PROCESS.
4. THE CONTRACTOR SHALL ADVISE ALL UTILITY COMPANIES IN WRITING OF HIS PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ANY DAMAGE TO UTILITIES BY THE CONTRACTOR.

CONSTRUCTION NOTES (CONT.):

5. BACKFILL SHALL NOT BE PLACED BEHIND THE ABUTMENTS UNTIL THE DECK HAS REACHED 70% OF ITS SPECIFIED CONCRETE COMPRESSIVE STRENGTH. BACKFILL SHALL BE PLACED SIMULTANEOUSLY BEHIND BOTH ABUTMENTS KEEPING THE HEIGHT OF BACKFILL APPROXIMATELY THE SAME. AT NO TIME SHALL THE DIFFERENCE IN ELEVATIONS BE GREATER THAN 500 mm.
6. CONSTRUCT ABUTMENTS TO THE BEARING SEAT ELEVATIONS. THE CONTRACTOR SHALL SUPPLY TEMPORARY LATERAL BRACING FOR THE ABUTMENTS. FORMWORK AND LATERAL BRACING SHALL NOT BE REMOVED UNTIL THE DECK CONCRETE HAS REACHED 70% OF ITS SPECIFIED 28-DAY STRENGTH.
7. CONTRACTOR'S METHOD OF PROTECTION TO BE SUBMITTED TO CONTRACT ADMINISTRATOR FOR INFORMATION BEFORE PROCEEDING WITH THE WORK.

SERVICE DATA					
SERVICE	DATE	INIT.	SERVICE	DATE	INIT.
SAN. SEWERS			GAS MAINS		
STM. SEWERS			BELL U/G CABLE		
WATERMAINS			HYDRO U/G CABLE		
M.O.E.			ROGERS U/G CABLE		

REVISIONS		
DATE	DETAILS	INIT.
APR/2024	60% SUBMISSION	J.W.
SEPT/2024	90% SUBMISSION	J.W.
MAR/2025	ISSUE FOR TENDER	J.W.

GENERAL NOTES:

- CLASS OF CONCRETE**
1. SPECIFIED 56-DAY COMPRESSIVE STRENGTH 35MPa (EXPOSURE CLASS C-1)
- CONCRETE TO ACHIEVE 30MPa WITHIN 28 DAYS
- CLEAR COVER TO REINFORCING STEEL**
UNDERSIDE OF ABUTMENT 100±25mm
DECK TOP 70±20mm
BOTTOM 40±10mm
REMAINDER 70±20mm UNLESS OTHERWISE NOTED
- REINFORCING STEEL**
1. REINFORCING STEEL SHALL BE GRADE 500W.
2. UNLESS SHOWN OTHERWISE, TENSION LAP SPLICES FOR REINFORCING BARS SHALL BE CLASS B.
3. STAINLESS REINFORCING STEEL SHALL BE TYPE 316LN OR DUPLEX 2205 AND HAVE A MINIMUM YIELD STRENGTH OF 500MPa. UNLESS OTHERWISE SPECIFIED, GRADE III GLASS FIBRE REINFORCED POLYMER BARS MAY BE USED IN LIEU OF STAINLESS STEEL BARS.
4. BAR MARKS WITH PREFIX 'S' DENOTE STAINLESS STEEL BARS.
5. BAR HOOKS SHALL HAVE STANDARD HOOK DIMENSIONS USING MINIMUM BEND DIAMETERS, WHILE STIRRUPS AND TIES SHALL HAVE MINIMUM HOOK DIMENSIONS. ALL HOOKS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL STANDARD DRAWING SST12-1, UNLESS INDICATED OTHERWISE.

MECHANICALLY STABILIZED EARTH (MSE) SYSTEM

MSE WALLS SHALL HAVE THE FOLLOWING ATTRIBUTES:

APPLICATION: RETAINING WALL
GEOMETRY: VERTICAL
PERFORMANCE: HIGH
APPEARANCE: MEDIUM
FINISH: RIBBED

WORKING POINT DATA			
W.P.	STATION	COORDINATES	
		NORTHING	EASTING
S1	0+171.37	4823000.471	613743.149
S2	0+237.37	4823049.346	613787.504

PRODUCED FOR - T&W ENGINEERING AND WORKS

PORT CREDIT MUP TRAIL
AND PEDESTRIAN BRIDGE
GENERAL ARRANGEMENT - PEDESTRIAN BRIDGE

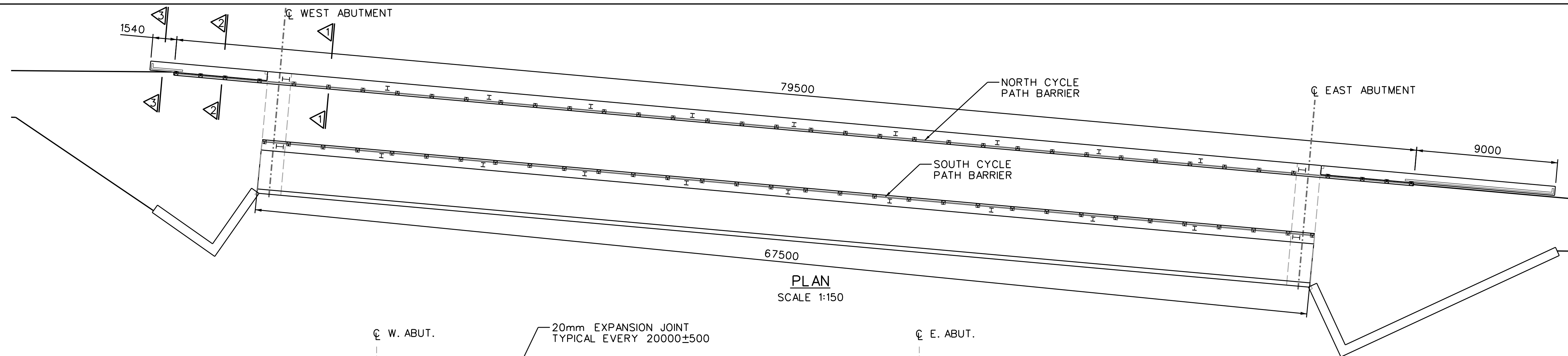
SCALE	AS NOTED	AREA	PROJECT No.	60710388
C.A.D.D. BY	A.P.	CHECKED BY	J.W.	PLAN No.
DATE	MAR., 2025	SHEET	15 OF 59	

SERVICE DATA					
SERVICE	DATE	INIT.	SERVICE	DATE	INIT.
SAN SEWERS			GAS MAINS		
STM SEWERS			BELL U/G CABLE		
WATERMANS			HYDRO U/G CABLE		
M.O.E.			ROGERS U/G CABLE		

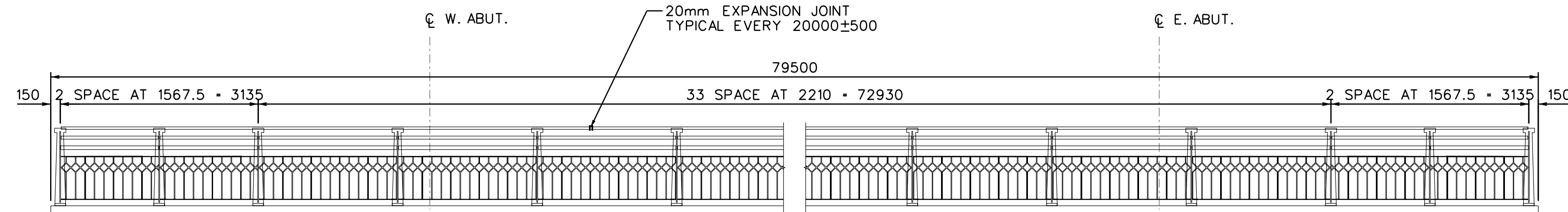
REVISIONS		
DATE	DETAILS	INIT.
APR./05/2024	60% SUBMISSION	J.W.
SEPT./20/2024	90% SUBMISSION	J.W.
MAR./28/2025	ISSUE FOR TENDER	J.W.

NOTES:

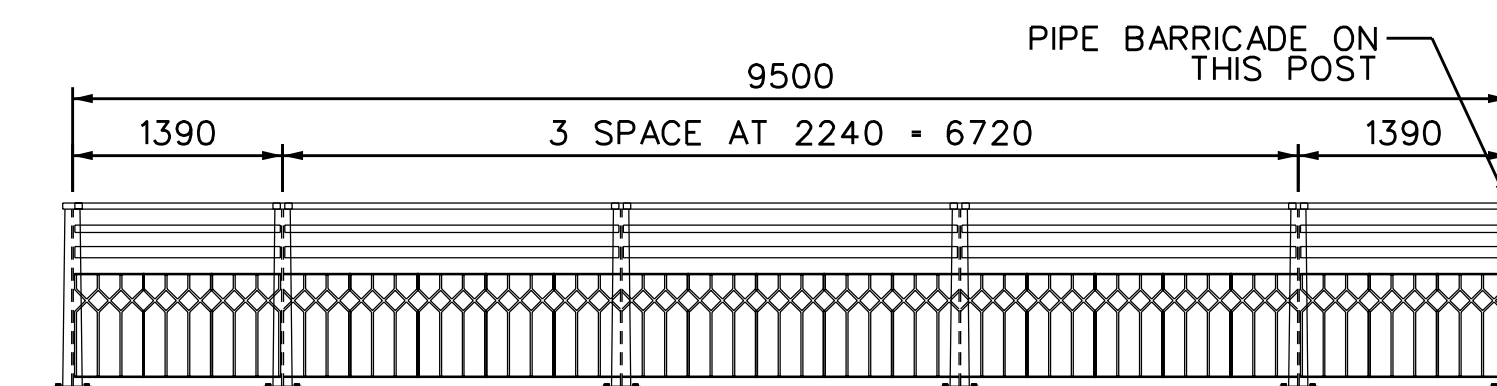
1. ALUMINIUM BARRIERS SHALL BE 6061 ALLOY T-6 HEAT TREATED.
2. STAINLESS STEEL BOLTS WASHER AND NUTS SHALL BE TYPE 304 ACCORDING TO ASTM A314.



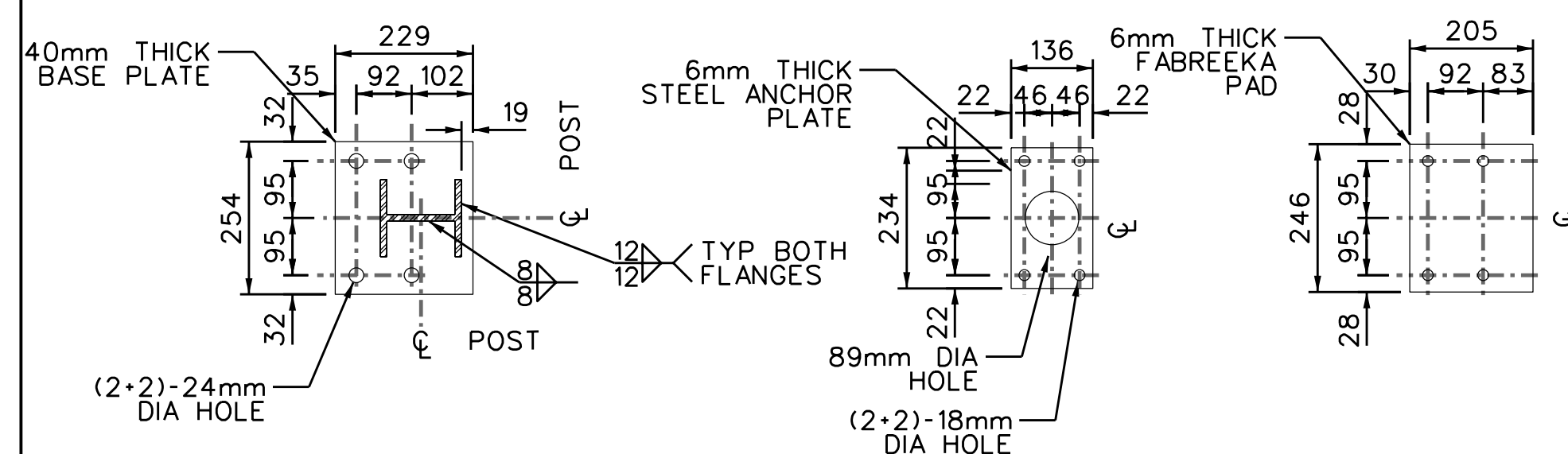
PLAN
SCALE 1:150



NORTH CYCLE PATH BARRIER
SCALE 1:50



NORTHEAST CYCLE PATH BARRIER
SCALE 1:50



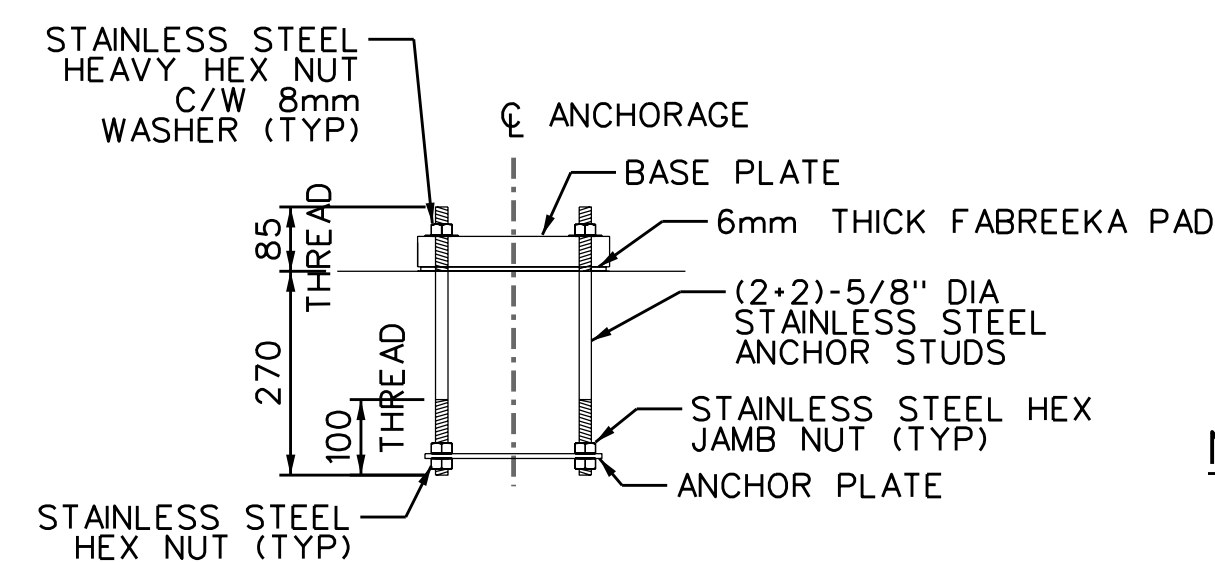
BASE PLATE
SCALE 1:10

ANCHOR PLATE

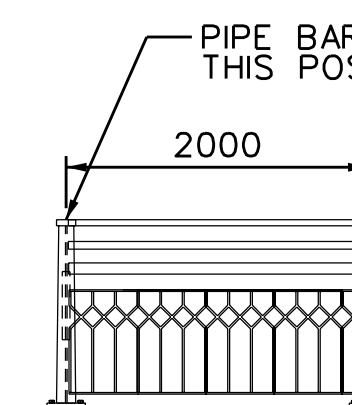
SCALE 1:10

FEBREEKA PAD
SCALE 1:10

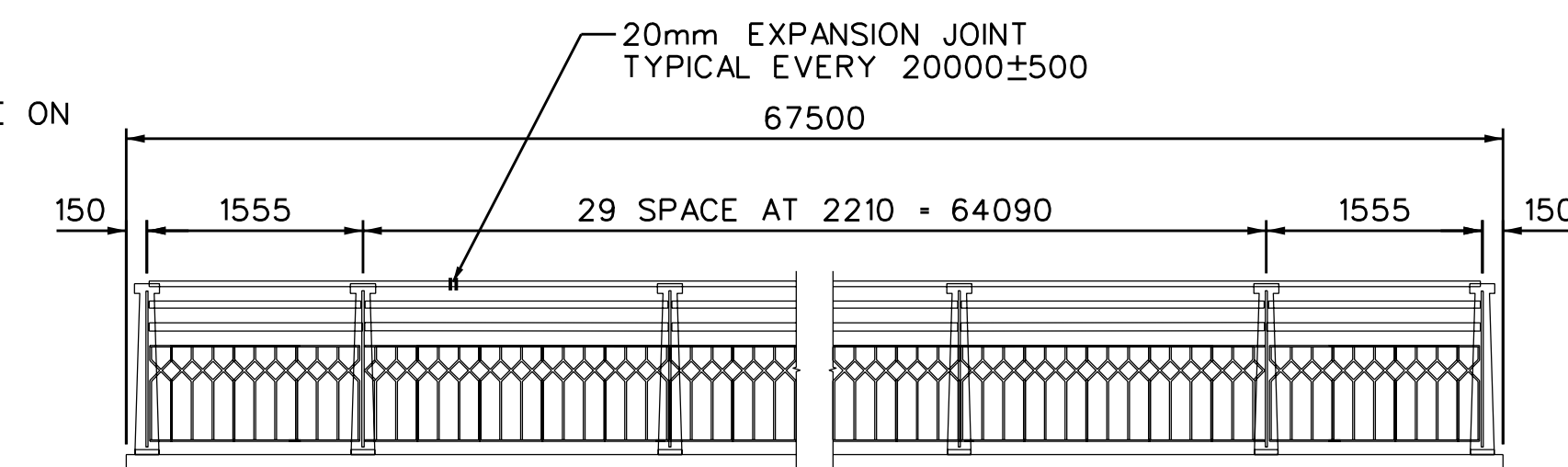
ANCHOR PLATE ON
APPROACH SLAB CURB
SCALE 1:10



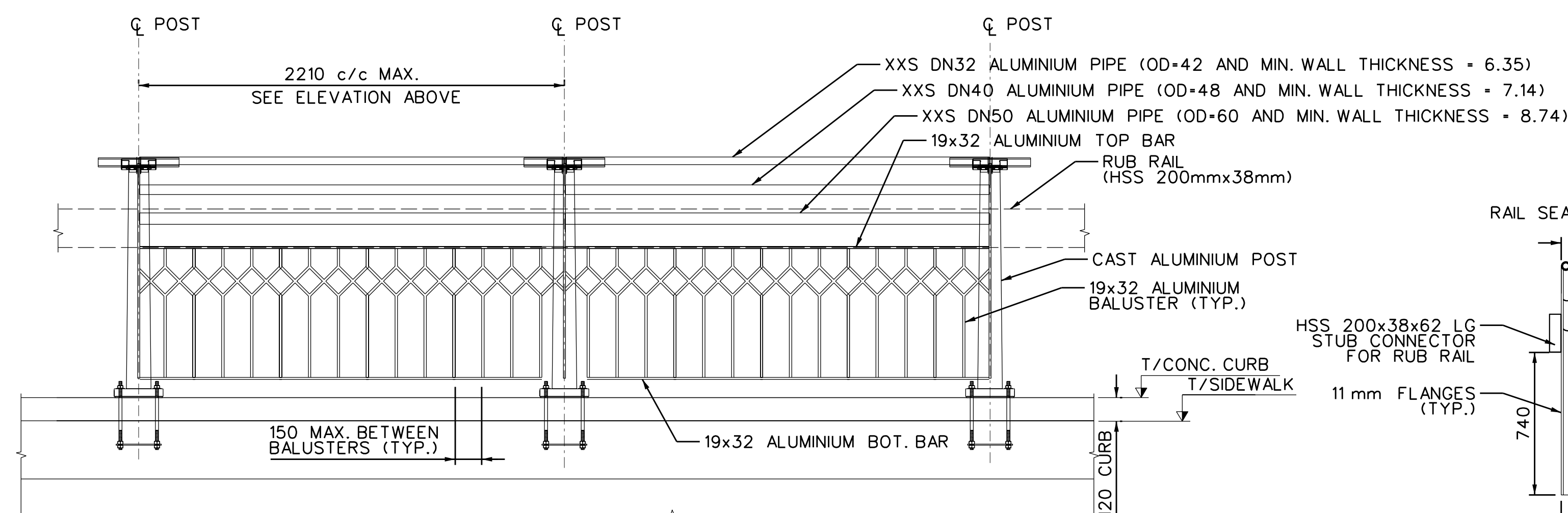
ANCHORAGE ASSEMBLY
SCALE 1:10



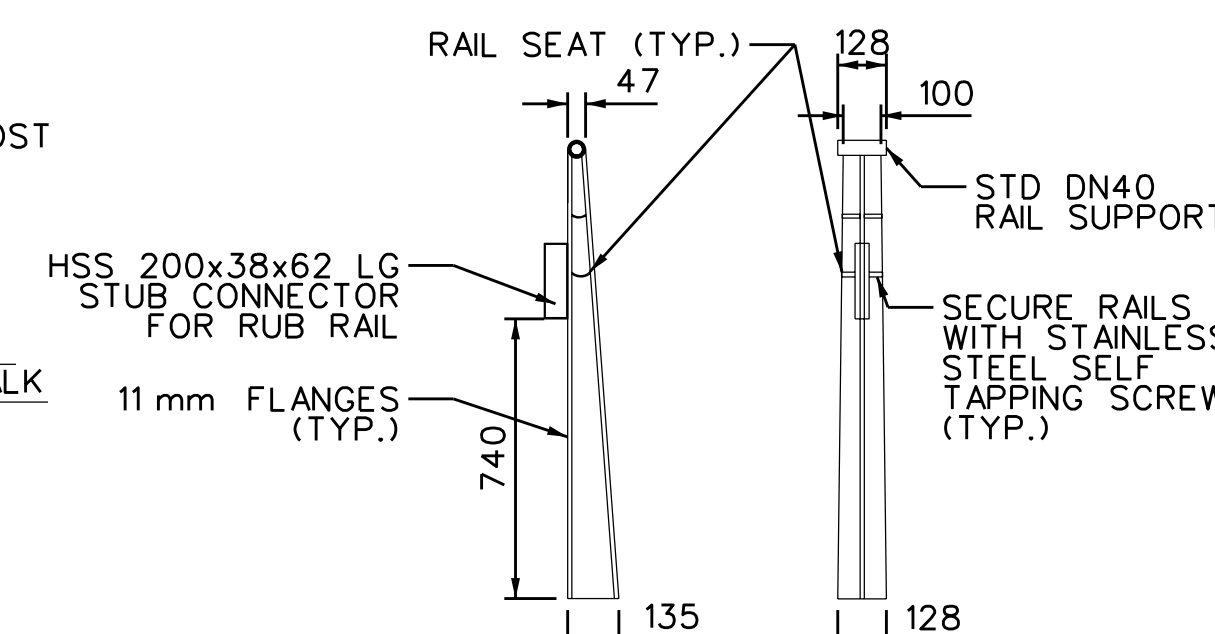
NORTHWEST CYCLE PATH BARRIER
SCALE 1:50



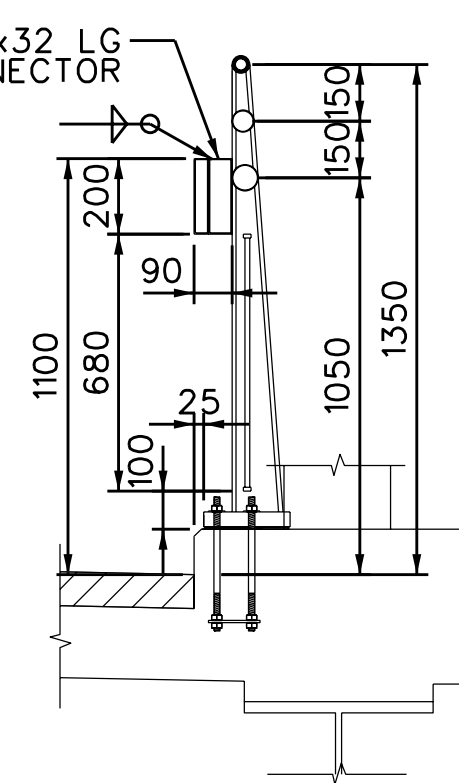
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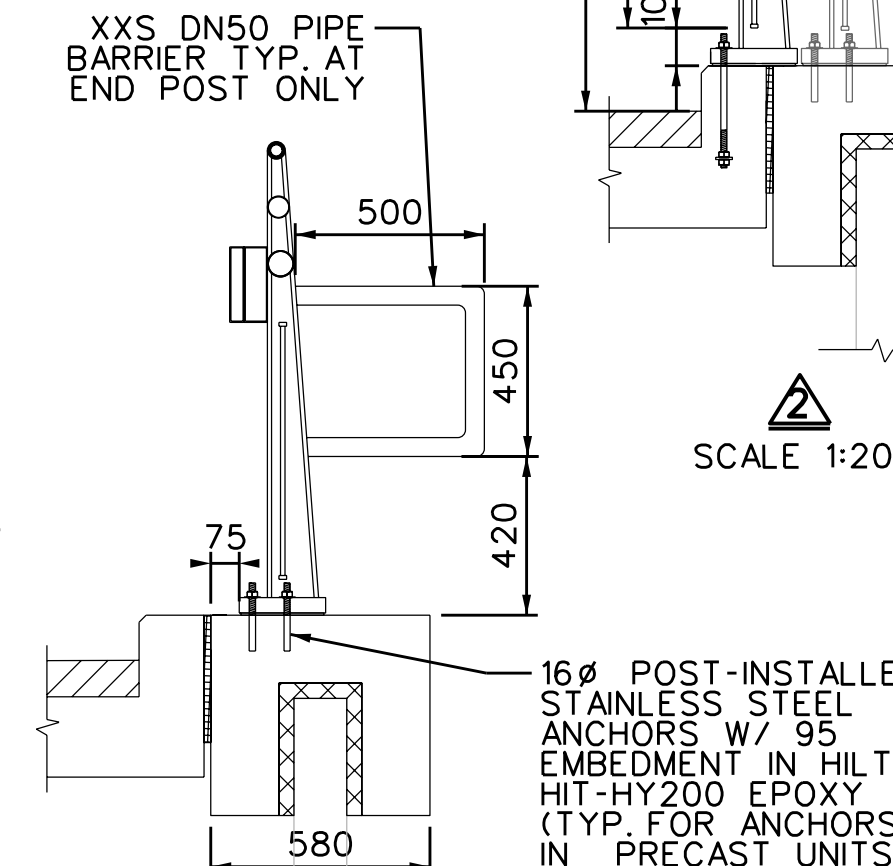
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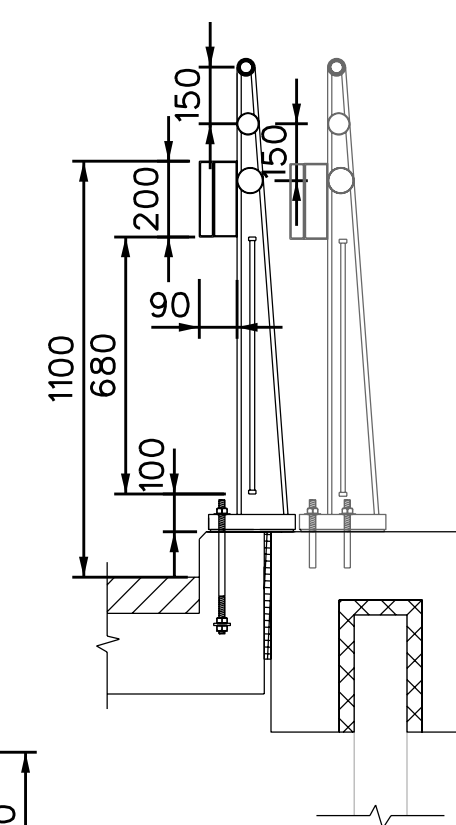
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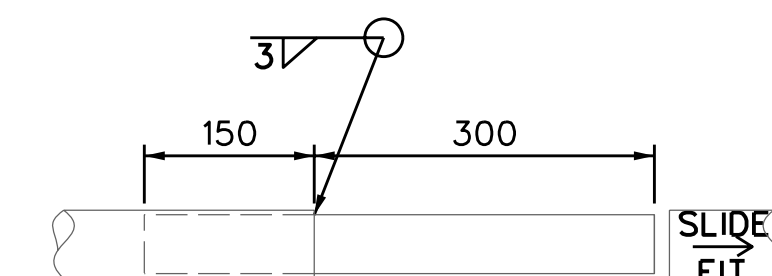
POST DETAIL
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SCALE 1:20



EXPANSION JOINT



PRODUCED FOR - T&W, ENGINEERING AND WORKS

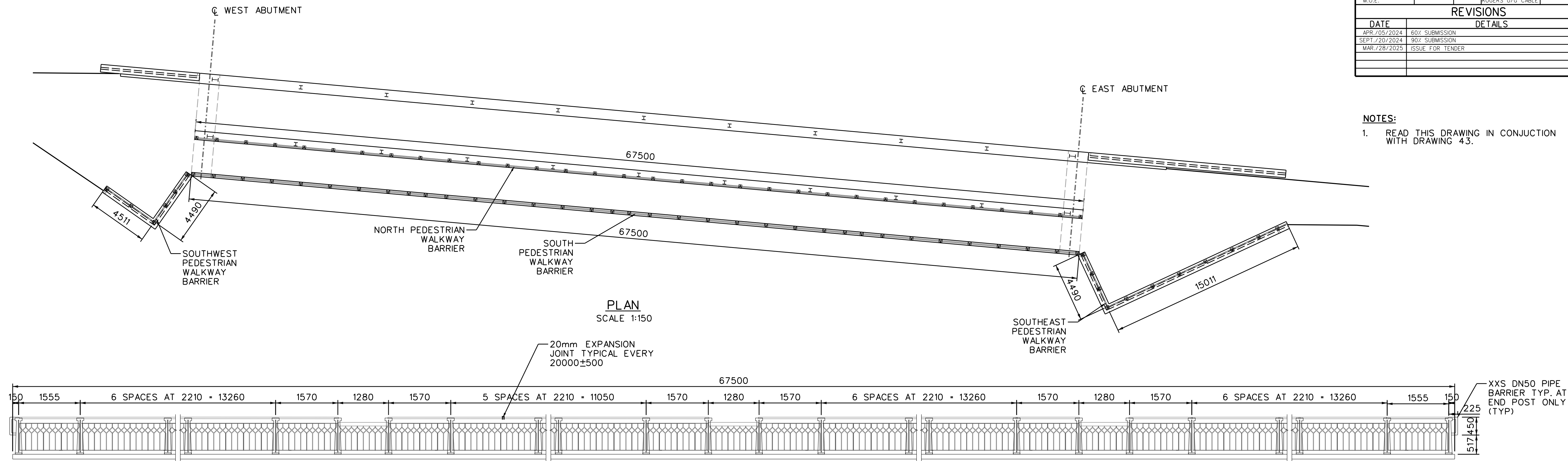
PORT CREDIT MUP TRAIL AND PEDESTRIAN BRIDGE BARRIER DETAILS I

SCALE AS NOTED	AREA	PROJECT No. 60710388
C.A.D.D. BY A.P.	CHECKED BY J.W.	PLAN No.
DATE MAR., 2025	SHEET 43 OF 59	

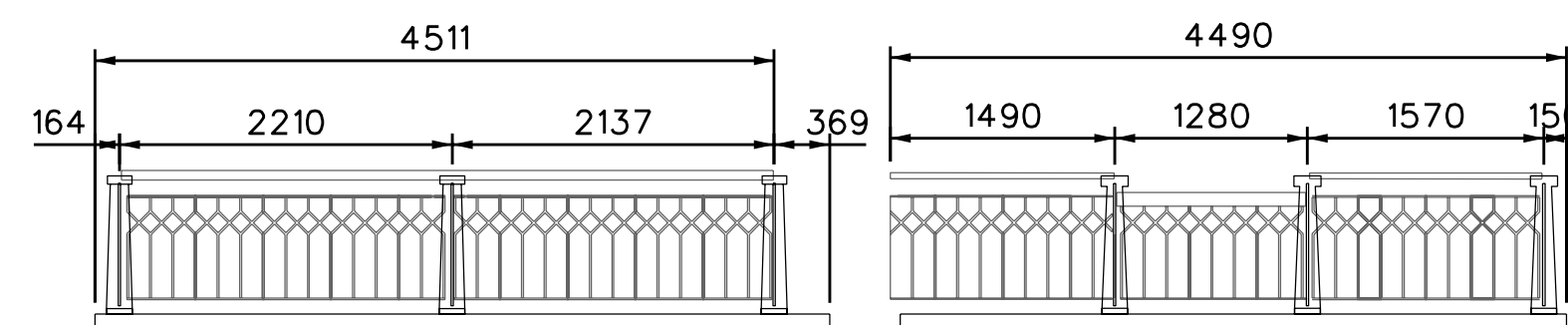
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STM. SEWERS			BELL U/G CABLE		
WATERMAINS			HYDRO U/G CABLE		
M.O.E.			ROGERS U/G CABLE		
REVISIONS					
DATE	DETAILS				INIT.
APR./05/2024	60% SUBMISSION				J.W.
SEPT./20/2024	90% SUBMISSION				J.W.
MAR./28/2025	ISSUE FOR TENDER				J.W.

NOTES:

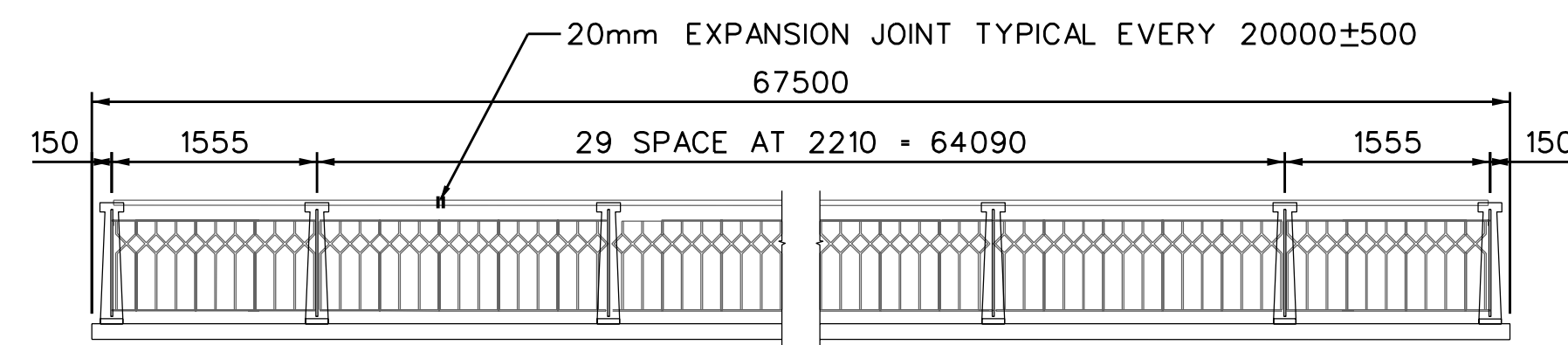
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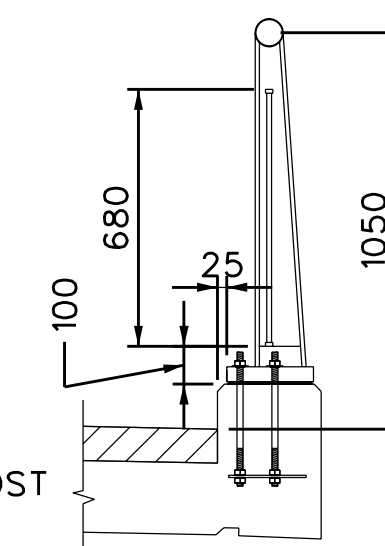
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SCALE 1:50



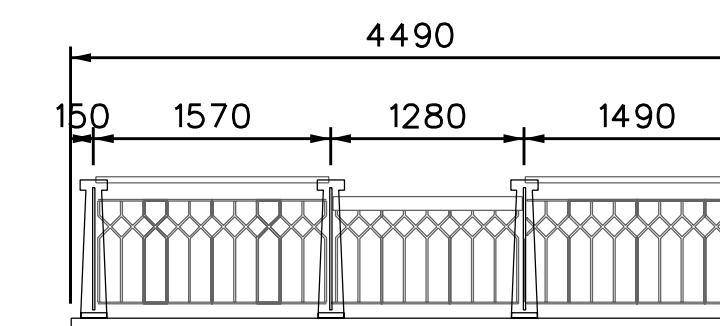
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SCALE 1:50



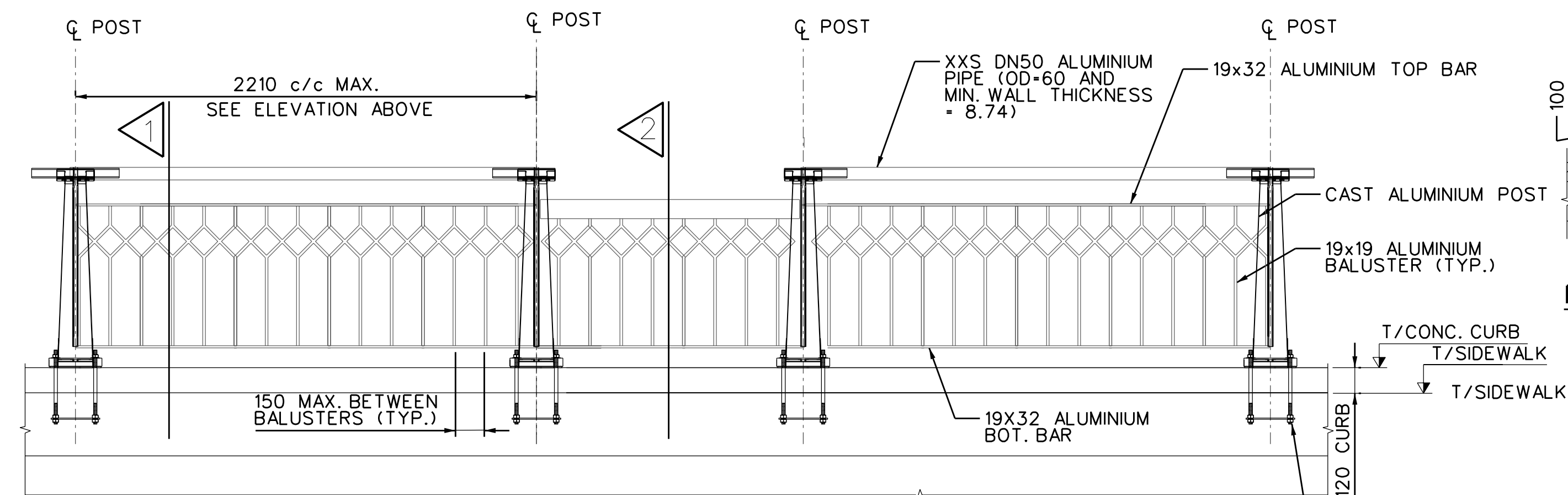
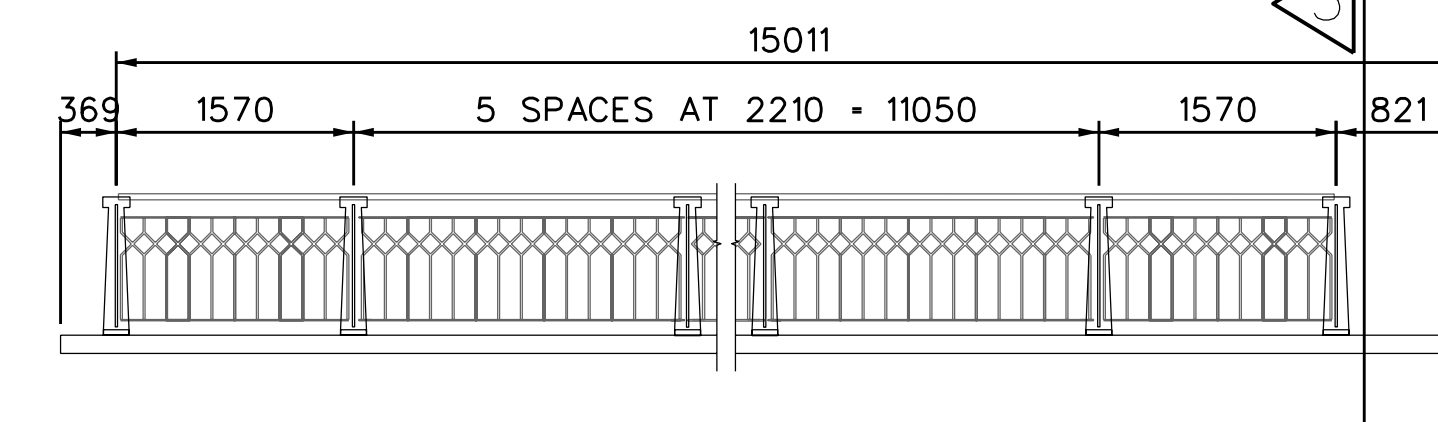
NORTH PEDESTRIAN WALKWAY BARRIER
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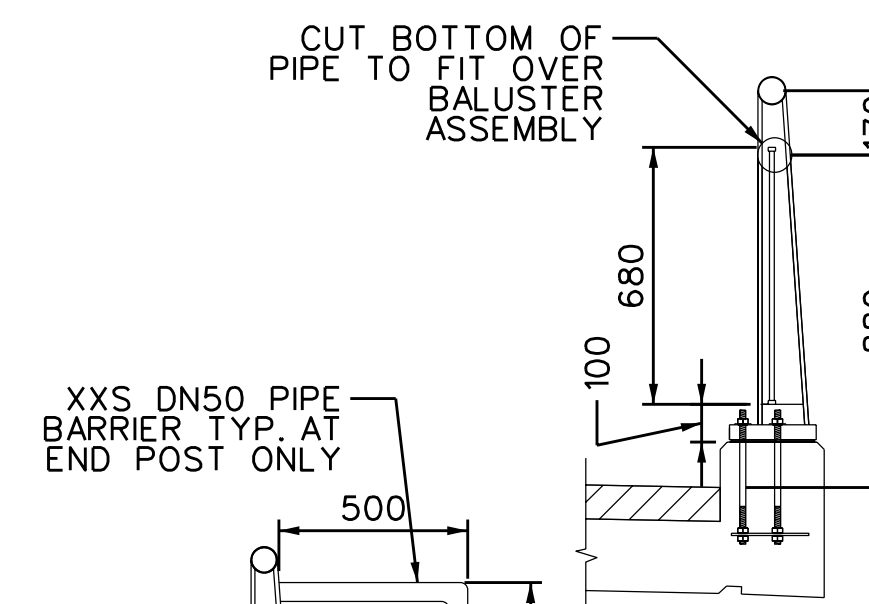
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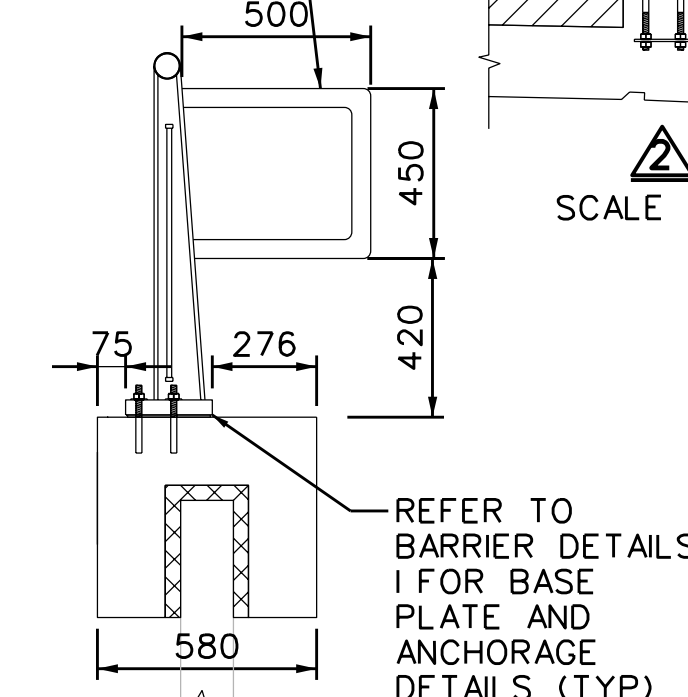
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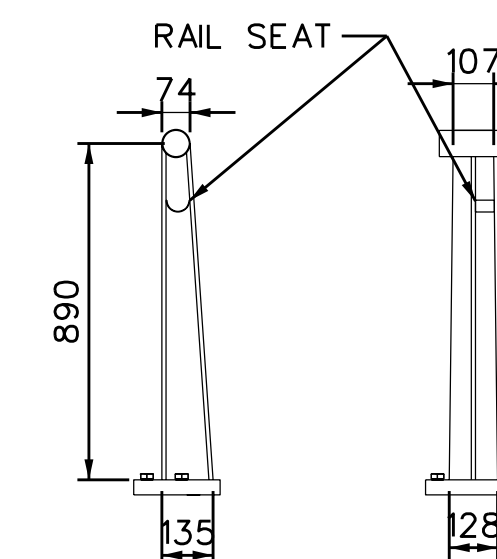
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SCALE 1:20



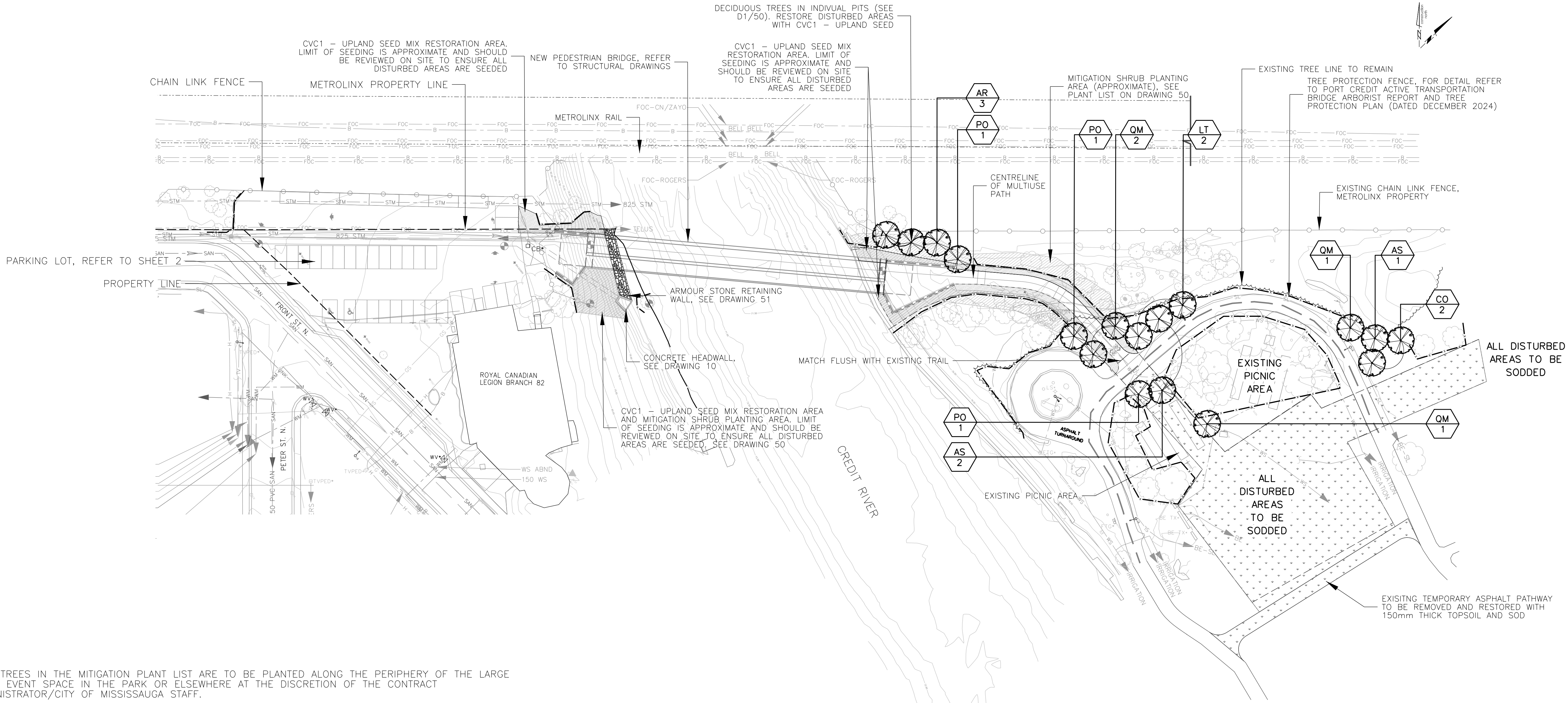

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POST DIMENSIONS
SCALE 1:20

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PRODUCED FOR - T & W, ENGINEERING AND WORKS			
<h2 style="margin: 0;">PORT CREDIT MUP TRAIL AND PEDESTRIAN BRIDGE</h2> <h3 style="margin: 0;">BARRIER DETAILS II</h3>			
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C.A.D.D. BY	A.P.	CHECKED BY	J.W.
DATE	MAR 2025	SHEET	44 OF 59

SERVICE DATA					
SERVICE	DATE	INIT.	SERVICE	DATE	INIT.
SAN. SEWERS			GAS MAINS		
STM. SEWERS			BELL U/G CABLE		
WATERMANS			HYDRO U/G CABLE		
M.O.E.			ROGERS U/G CABLE		
REVISIONS					
DATE	DETAILS				INIT.
MAR/28/2025	ISSUED FOR TENDER				J.S.



- NOTES:
1. THE TREES IN THE MITIGATION PLANT LIST ARE TO BE PLANTED ALONG THE PERIPHERY OF THE LARGE OPEN EVENT SPACE IN THE PARK OR ELSEWHERE AT THE DISCRETION OF THE CONTRACT ADMINISTRATOR/CITY OF MISSISSAUGA STAFF.
 2. MITIGATION SHRUB PLANTINGS SHOULD BE LOCATED WITHIN, BUT NOT LIMITED TO, THE AREAS INDICATED ON THE PLAN. FINAL PLACEMENT IS AT THE DISCRETION OF THE CONTRACT ADMINISTRATOR/CITY OF MISSISSAUGA STAFF.
 3. MAINTAIN A MINIMUM 1.5m SETBACK FROM THE EDGE OF TRAIL FOR ALL MITIGATION SHRUB PLANTINGS TO ENSURE CLEARANCE FOR MAINTENANCE AND TRAIL USERS.
 4. ALL PROPOSED TREE LOCATIONS ARE SUBJECT TO FIELD FIT DUE TO POTENTIAL CONFLICTS.
 5. REFER TO DRAWING SITE RESTORATION II (SHEET 50) FOR PLANT LISTS, SEED MIX, PLANTING DETAIL AND LANDSCAPE NOTES.
 6. REFER TO CIVIL DRAWING SHEET 9 FOR PARKLING LOT AREAS.
 7. ALL DISTURBED AREAS WITHIN FORESTED AREA TO BE RESTORED WITH CVC1 UPLAND SEED MIX; ALL OTHER DISTURBED AREAS TO BE RESTORED WITH SOD UNLESS NOTED OTHERWISE.
 8. ALL TREES AND SHRUBS NOT MARKED IN THE FIELD FOR REMOVAL SHALL BE PROTECTED.
 9. TREE REMOVALS AND PROTECTION AS PER PORT CREDIT ACTIVE TRANSPORTATION BRIDGE ARBORIST REPORT AND TREE PROTECTION PLAN DATED FEBRUARY 2024.
 10. INFORMATION SHOWN HEREON IS FOR USE BY THE CITY OF MISSISSAUGA, TRANSPORTATION AND WORKS DEPARTMENT, AND IS NOT INTENDED FOR USE BY ANY OTHER PARTIES UNLESS EXPRESSED WRITTEN CONSENT IS OBTAINED. MEASUREMENTS SHOWN MUST BE CONFIRMED BY FIELD SURVEY BEFORE USE.
 11. PROTECTED BY COPYRIGHT, MAY NOT BE REPRODUCED WITHOUT PERMISSION.
 12. THIS IS NOT A PLAN OF SURVEY.

- LEGEND
- EXISTING TREE TO REMAIN
 - EXISTING FORESTED AREA
 - METROLINX PROPERTY LIMIT AND CHAIN LINK FENCE
 - TREE PROTECTION FENCING
 - PROPOSED DECIDUOUS TREE
 - PLANT KEY
 - PROPOSED CVC1-UPLAND SEED MIX
 - LIMIT OF DISTURBANCE
 - SOD RESTORATION
 - MITIGATION SHRUB PLANTING

PRODUCED FOR - T&W, ENGINEERING AND WORKS

PORT CREDIT MUP TRAIL
AND PEDESTRIAN BRIDGE
SITE RESTORATION

SCALE	HOR. 1:500	AREA	PROJECT No.
C.A.D.D. BY	R.W.	CHECKED BY	J.B.
DATE	MAR., 2025	SHEET 49 OF 59	PLAN No.

Appendix B

Key Qualifications



Adria Grant, MA, CAHP/ Associate Vice-President, Environment / Senior Report Reviewer.

Adria Grant is a cultural heritage specialist and professional archaeologist who has been active in the field of cultural resource management since 1999, specializing in Stages 1 through 4 archaeological assessments and cultural heritage assessments for provincial and federal government, municipal corporations, and private sector organizations. Adria is an experienced project manager having completed formal project management training through the Project Management Institute (PMI) as well as comprehensive and stringent company specific project management courses during her employment at Golder Associates, Stantec and AECOM. Adria consistently applies the knowledge, tools, and techniques of project management practices to the archaeological field, streamlining processes and procedures to achieve client objectives. Adria has a wealth of experience working with municipal heritage planners in the context of development activities and has the ability to provide sound technical advice to proponents on the heritage process in Ontario.

Adria is a member of the Canadian Association of Heritage Professionals (CAHP), professionally licensed by the Ontario MCM (P131), and the Ontario Association of Professional Archaeologists (APA). In addition to professional memberships Adria actively participates in the Canadian Archaeological Association and Ontario Archaeological Society events and is active and well known within the heritage and archaeological communities. She currently acts as the Technical Lead for Cultural Resources and Heritage Management in Canada, and is the Canadian lead for AECOM's North American cultural resources team.

Liam Ryan, MES, MCIP, RPP, CAHP / Cultural Planner II / Report Writer & Researcher.

Liam Ryan holds a master's degree in Environmental Studies: Planning with a specialization in both urban and regional planning and heritage planning from York University. He is currently a Registered Professional Planners (RPP) and a Professional Member of the Canadian Association of Heritage Professionals (CAHP). As a Heritage Planner at AECOM, Liam provides his expertise on heritage policy reviews for public and private sector clients. He has gained practical experience and managed heritage planning projects including; numerous Heritage Impact Assessments (HIA), Conservation Plans, and assisted in a policy review for a Heritage Conservation District Study, currently underway. Liam, as a dedicated Heritage Planner, has also assisted in Cultural Heritage Evaluation Reports (CHER) and Cultural Heritage Resource Assessments (CHRA) for municipal stakeholders as well as large infrastructure projects for clients such as Metrolinx and the Ontario Ministry of Transportation. He completes all deliverables to the satisfaction of the development proponent, the cultural heritage community, and all stakeholder groups.

Appendix C

**Metrolinx Heritage Committee Decision Form
and Metrolinx Interim Heritage Committee –
Statement of Cultural Heritage Value**



Metrolinx Interim Heritage Committee Decision Form

Property Name: Mississauga Road Bridge (Mile 11.8)

The Metrolinx Heritage Committee has decided that this property:

- ☒ is identified as a Metrolinx Heritage Property; OR
- ☐ is identified as a Metrolinx Heritage Property of Provincial Significance; OR
- ☐ is NOT a Metrolinx Heritage Property

Recommendations and Rationale:

- The Metrolinx Heritage Committee (MHC) agree with the consultant recommendation that the Mississauga Road Bridge (Mile 11.8) is a Metrolinx Heritage Property and meets the criteria outlined in Ontario Regulation 9/06 but not Ontario Regulation 10/06.

The boundaries of the Metrolinx Heritage Property are:

- ☒ the same as the legal property boundaries of the Metrolinx installation; OR
- ☐ new boundaries, as shown in the attached map.

The significant cultural heritage value(s) of the Metrolinx Heritage Property is/are:

- It was determined that the Mississauga Road Bridge (Mile 11.8) meets the criteria contained in Ontario Regulation 09/06.
- It was determined that the Mississauga Road Bridge (Mile 11.8) did not meet the criteria contained in Ontario Regulation 10/06.

The following realty assets contribute to the cultural heritage value(s) of the Metrolinx Heritage Property:

Asset Name	Land parcel
N/A	N/A

The following realty assets DO NOT contribute to the cultural heritage value(s) of the Metrolinx Heritage Property:

Asset Name	Land parcel
N/A	N/A

Attachments:

- ☒ a Statement of Cultural Heritage Value for the Metrolinx Heritage Property.
- ☐ a map showing the boundaries and contributing assets of the Metrolinx Heritage Property.

Evaluators:	
Name	Position and Organization
Rebecca MacDonald, Chair	Manager, Environmental Programs & Assessment, Metrolinx
Michael Wolczyk	Vice President, Technical Resource Management, Office of CEO
Chris Uchiyama	Internal Heritage Specialist
Dan Schneider	External Heritage Specialist
Date of Evaluation: June 5, 2020	



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Metrolinx Heritage Committee Decision Form

Property Name: Credit River Bridge (Lakeshore West Rail Corridor), Toronto:

The Metrolinx Heritage Committee has decided that these four properties:

- ☐ is identified as a Metrolinx Heritage Property; OR
- ☒ is identified as a Metrolinx Heritage Property of Provincial Significance; OR
- ☐ is NOT a Metrolinx Heritage Property

Recommendations and Rationale:

- The Metrolinx Heritage Committee (MHC) agrees with the consultant recommendation that the Credit River Bridge is a Metrolinx Heritage Property of Provincial Significance as it satisfies the criteria outlined in both Ontario Regulation 9/06 and Ontario Regulation 10/06 (By ASI, July 2016).
- The MHC disagrees with the consultant assessment to the following Criterion in Ontario Regulation 9/06 (By ASI, July 2016).
 - Criteria 1.i: “unusual” should not be included in the analysis as it is not part of the criteria.
 - Criteria 2.iii: contradicts with Criterion 1.ii regarding craftsmanship.
- The MHC disagrees with the consultant assessment to the following Criteria in Ontario Regulation 10/06 (By ASI, July 2016).
 - Criteria 3: the analysis should delete the work “unusual” and should only include “unique”. Clarify the statement about featuring both riveted work and pin connections is “unusual”. Many pin connected structures used riveted members.
 - Criteria 7: Assuming the design as noted above is unique, then the design which is attributed to Hobson must reflect an association with him and the railway organization. Comparisons with the St. Clair Tunnel or the International Bridge at Fort Erie are not required by the test for this criteria and must stand on its own.

The boundaries of the Metrolinx Heritage Property are:

- ☒ The same as the legal property boundaries of the Metrolinx installation; OR
- ☐ New boundaries, as shown in the attached map (See Statement of Cultural Heritage Value).

The significant cultural heritage value(s) of the Metrolinx Heritage Property is/are:

- It was determined that Credit River Bridge meets the criteria contained in Ontario Regulation 09/06.
- It was determined that Credit River Bridge meets the criteria contained in Ontario Regulation 10/06.

The following realty assets contribute to the cultural heritage value(s) of the Metrolinx Heritage Property:

Asset Name	Land parcel
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N/A	N/A
The following realty assets DO NOT contribute to the cultural heritage value(s) of the Metrolinx Heritage Property:	
Asset Name	Land parcel
N/A	N/A
Attachments:	
<input checked="" type="checkbox"/> a Statement of Cultural Heritage Value for the Metrolinx Heritage Property <input type="checkbox"/> a map showing the boundaries and contributing assets of the Metrolinx Heritage Property.	
Evaluators:	
Name	Position and Organization
Michael Wolczyk, Chair	Vice President, Corridor Infrastructure, Metrolinx
Don Forbes	Manager, Environmental Programs, Metrolinx
Dan Schneider	External Heritage Specialist
David Cuming	External Heritage Specialist (<i>electronic comments provided</i>)
Walter Kenedi	Head of Bridge Management, MTO (<i>electronic comments provided</i>)
Date of Evaluation: October 13th, 2016	



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Metrolinx Interim Heritage Committee – Statement of Cultural Heritage Value

Property Name: Credit River Bridge (Lakeshore West Rail Corridor), Mississauga

Description of property:

The Credit River Bridge is located at Mile 13.27 of the GO Transit Lakeshore West rail corridor, and is located in the historic village of Port Credit, in the City of Mississauga. The three-span railway bridge was built in 1903 to the designs and specifications of the Grand Trunk Railway Company, and it was constructed by the Canadian Bridge Company Limited of Walkerville, Ontario. The bridge features a central inverted bowstring arch deck truss with steel beam approach spans on either side. It was widened to the north in 2008 to accommodate a third track. The bridge carries three tracks of rail traffic in an east and west direction across the Credit River, between Stavebank Road and Mississauga Road. While rail traffic travels in an east-west direction, it should be noted that at this segment of the rail corridor, the bridge and corridor is on a northeast-southwest alignment, and the Credit River flows northwest to southeast under the bridge. The Credit River Bridge is located within Metrolinx-owned parcel PIN 13456-0580.

It is recommended that Metrolinx/GO Transit proceed with identifying the Credit River Bridge as a Provincial Heritage Property of Provincial Significance.

Cultural Heritage Value:

The Credit River Bridge spans the Credit River, listed as a cultural heritage landscape by the City of Mississauga, in the village of Port Credit. The bridge is a landmark in Port Credit and it contributes significantly to the scenic character of the river and the community. Further, given the age of the bridge, proximity to Port Credit GO Station, and the role of the railway corridor in the community, this bridge retains significant physical, functional, visual and historical links to the Credit River and to Port Credit.

The Credit River Bridge is directly associated with the GTR's program to double track its route from Montreal to Sarnia in the late nineteenth and early twentieth century. The current bridge was built to replace the original wooden railway bridge at this location. This was a significant improvement to railway infrastructure in southern Ontario that contributed to economic and population growth, particularly in the Greater Toronto Area.

The Credit River Bridge is an unusual and unique example of an inverted bowstring arch deck truss bridge and is thought to be one-of-a-kind in Ontario. The low curved chord underneath the bridge gives a sense of floating above the water as it extends over the Credit River, for an unsupported 210 ft (63 m). The unique design, combined with the span of the deck truss, demonstrates that the Credit River Bridge has a high degree of technical achievement. Distinctive features of this style of bridge construction include: combination of pin and riveted connections; heavy duty steel ten panel truss with diagonal members forming a Warren truss configuration; lower curved chord composed of lighter, less robust, steel; and massive eyebar bundles.

The Credit River Bridge was designed by Chief Engineer of the GTR, Joseph Hobson, and fabricated

by the Canadian Bridge Company Limited of Walkerville, in 1903. Given its noted craftsmanship, technical achievement, and unusual and unique design, the Credit River Bridge is considered to be a notable example of a bridge designed by Hobson, the GTR, and the Canadian Bridge Company Limited.

Heritage Attributes:

A list of heritage attributes that contribute to the cultural heritage value of the Credit River Bridge include its:

- Steel and masonry bridge design and construction;
- Stone masonry substructure;
- Three-span scale and dimension, including the 210 ft (63 m) central deck truss span and two steel beam approach spans (30 ft or 9 m each); Unique and unusual steel deck truss centre span with an inverted bowstring arch shape; and
- Combination of pin and riveted connections.

Metrolinx Heritage Property Location:

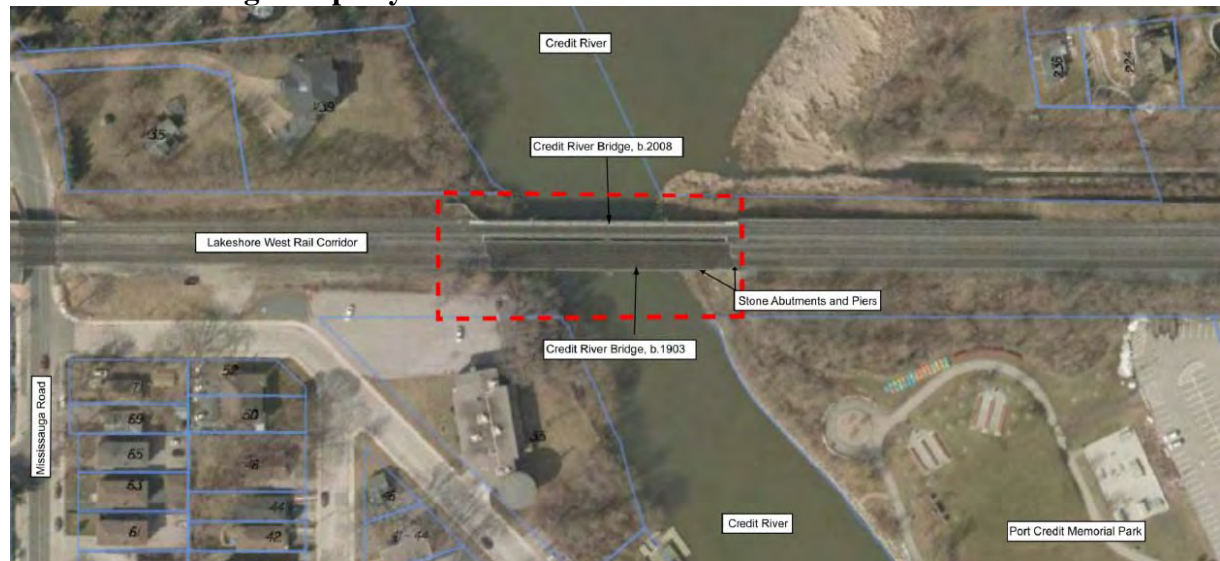


Figure showing the location of the Credit River Bridge.

City of Mississauga Memorandum



Date: May 8, 2025

To: Chair and Members of Heritage Advisory Committee

From: John Dunlop, Manager, Indigenous Relations, Heritage & Museums

Meeting date: June 10, 2025

Subject: **Request to Alter 42 John Street South (Ward 1)**

During the Old Port Credit Village Heritage Conservation District Subcommittee meeting of March 3, 2025 the subcommittee approved the application for 42 John Street to install a two-storey addition on the rear of the property.

The addition required a number of changes including the demolition of a sunroom which was a previous addition to the dwelling.

The addition will be sympathetic with stucco cladding and wood details connected to the rear windows. The new addition will maintain the roof height with gables and walls set to similar pitches.

The carport will also be re-roofed to join the carport with the new addition. Finally, an out-of-character concrete masonry chimney will be removed and the wall repaired to match the existing wood clapboard siding.

The new addition required variances for the rear set back, carport overhang as well as variances to align the existing dwelling with modern zoning. The primary variance is to the rear set back and is required due to irregularities in the lot line. As per Heritage Bylaw 0078-2018 S. 5, the permit for this alteration was issued after the matter was recommended for approval by the Old Port Credit Heritage Conversation District Subcommittee. For further details see Appendix 1.

Heritage Advisory Committee	2025/05/08	2
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Attachments

Appendix 1: Heritage Impact Assessment

Prepared by: Andrew Douglas, Heritage Analyst, Indigenous Relations, Heritage & Museums

42 John Street South

Port Credit, Mississauga, ON L5H 2E6

Heritage Report

For Review by the City of Mississauga Heritage Advisory Committee

Prepared by:

Michael Bootsma OAA

27 November 2024

Revised 31 January 2025

Table of Contents

1. General Information
2. General Requirements
 - 2.1. Site History
 - 2.2. Description of Existing Condition
 - 2.3. Documentation of Existing Conditions
 - 2.4. Outline of Proposed Development
 - 2.4.1. Variances
 - 2.5. Architectural Drawings
 - 2.6. Trees
 - 2.7. Assessment of Alternative Development Options and Mitigation Measures
 - 2.8. Application of Conservation Principles
 - 2.9. Proposed Alterations in Relation to Cultural Heritage and Impact on Streetscape and Sense of Place
3. Summary Statement and Conservation Recommendations
4. Conclusion
5. Qualifications of Author
6. References
7. List of Attached Appendices

1. General Information

Address:	42 John Street South Port Credit, Mississauga, ON L5H 2E6
Historic Place Name:	Peer-Malone Residence
Roll Number:	05-09-0-005-07400-0000
Legal Description:	Plan 300W PT Lots 3, 5
Zoning:	R15-1
Lot Area:	335.7 m ²
Lot Depth:	22.4 m
Heritage Status:	Designated under Part V
HCD Plan Classification:	Contributing

2. General Requirements

2.1. Site History

The Old Port Credit Village Heritage District sits within an area that, until the 18th century, had been inhabited primarily by indigenous peoples. Through a series of treaties between the British Crown and the Mississaugas and colonial settlement expanding beyond successive treaties, the indigenous inhabitants were displaced.

As settlement west of the Credit River intensified, the Crown surveyed the land west of the river for subdivision and sale. Following the change of hands through several parties prior, in 1881 Lot 3 North of Lake Street, was willed by James Peer to Stephen L. Peer et al. In 1897, the plot was divided between Stephen and his brother John Charles Peer. John, a Port Credit mariner and more specifically a stonehooker, received the northern 40', which roughly coincides with the address currently known as 42 John Street South.

Following the partition of Lot 3, John constructed the house that, with subsequent modifications discussed below, stands on the property c. 1897 (Old Port Credit Village Heritage Conservation District Plan 2018).

Subsequent surveys and exchange of lands modified the property to include a portion of Lot 4 North of Lakes Street and a portion of Lot 5 South of Bay Street.

Refer to Appendix A for land registry records.



Figure 1: Satellite view of 42 John Street South within the Port Credit Village neighbourhood. (Google Earth Pro; October 2022)

2.2. Description of Existing Conditions

The subject property includes two existing structures, the residence facing northeast onto John Street South and a storage shed at the rear, southeast corner of the lot.

The residence is a two storey, wood frame, pitched roof structure with a rear, one storey, wood frame, shed roof sunroom. The exterior is uniformly clad in sage green-painted, wood clapboard siding with white painted trim, shutters, and flourishes. The roof is clad in dark grey asphalt shingles. The windows are modern throughout, side hung at the front facade and double-hung at the rear. Refer to Figures 2 through 8 for photos of the existing conditions, taken by the owner in October 2024.

The street-facing facade, set back approximately 2.5m from the front property line and about 6.4m from the sidewalk, is distinguished by a gable end wall and ground floor bay window. The absence of the bay window in a Mississauga Library System "Historic Image Gallery" photo dated to 1980 (refer to Figure 9) and a real estate listing from 1991 (refer to Figure 10) implies that the bay window was built sometime in following years, replacing a former large, central ground floor window.

The primary door to the house, positioned perpendicular to the street, is accessed via a covered porch which was also altered sometime after 1991, with the roof extended to incorporate a carport to the north. The entry foyer opens directly to a breakfast room to the east, a dining & living room to the north, and a central stair leading to the second floor above. The kitchen to the south, sunroom to the west, and stairs leading to the basement, accessed indirectly, occupy the remainder of the ground floor plan.

Three bedrooms and a bathroom are located at the second floor. Laundry and mechanical facilities and a second bathroom are located at the basement. The basement extents are limited to the eastern volume of the house. Shallower foundations are believed to sit below the dining & living room at the north. It is suspected that the sunroom was built some time after 2008 over a previously existing deck (refer to Figure 11).

Interior finishes include hardwood flooring throughout the ground and second floors, Walls and ceilings at the ground floor are plaster. Plaster walls continue at the second floor. Acoustic tile has been installed above the second floor hallway. Wood baseboards, crown moulding , and trim do not appear to be original to the house.

The front yard includes a paved drive at the north leading to the porch and carport, a roughly semi-circular garden plot in front of the primary facade, and a moderately sized spruce tree obscuring the view to the porch and entry. Wood board fences at the rear of the carport at the west and roughly halfway back from the front facade at the southeast separate the front and rear yards. The rear yard is landscaped with a garden plot wrapping the sides of the sunroom and an irregularly shaped flagstone patio.

No known archaeological studies have been performed on the property.

42 John Street South is currently Designated under Part V, is classified under the Old Port Credit Village Heritage Conservation District Plan as Contributing, and is noted as one of 42 properties of historic significance within the district. As per the Old Port Credit Village Heritage Conservation District Property Inventory, 2018 , its heritage attributes include the low-rise form, horizontal siding, and roof line of the house alongside the property's mature tree.

2.3. Documentation of Existing Conditions



Figure 2: 42 John Street South viewed from the east, showing sage green painted clapboard cladding; white trim, shutter, and flourishes; and grey asphalt shingles. (Photo by owner, October 2024)



Figure 3: 42 John Street South viewed perpendicular to the street. The [spruce] tree in the front yard obscures the entry and covered porch and, along with the large maple tree to the north, frames the narrow view corridor to the carport and sideyard beyond. (Photo by owner, October 2024)



Figure 4: 42 John Street South viewed from the north. The entry and covered porch are glimpsed behind the [spruce] tree. (Photo by owner, October 2024)



Figure 5: Rear yard of 42 John Street South viewed from the north. (Photo by owner, October 2024)



Figure 6: Interior view of rear sunroom, showing the existing rear wall of the house with existing swing and sliding doors. (Photo by owner, October 2024)



Figure 7: View of rear wall of the house viewed from the interior looking through the existing swing and sliding doors into the rear sunroom. (Photo by owner, October 2024)



Figure 8: View of hallway at second floor showing rear window. Window opening to be extended to floor to accommodate access to new primary bedroom. (Photo by owner, October 2024)



Figure 9: Photo of 42 John Street South, taken 1980. (Mississauga Library System, Historic Image Gallery).

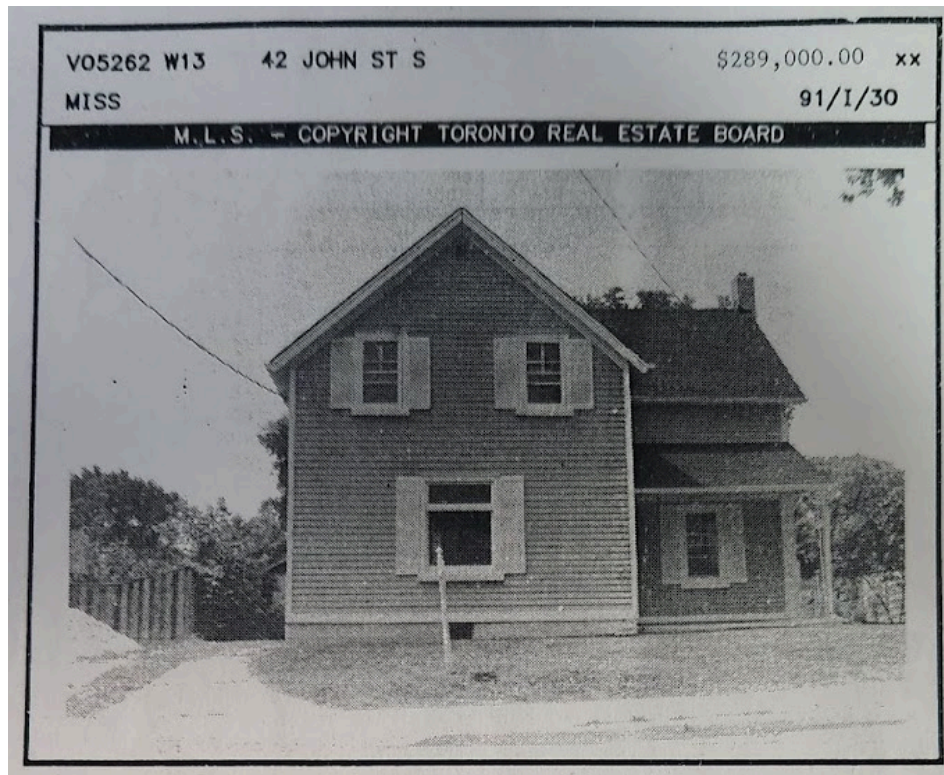


Figure 10: Excerpt of real estate listing of 42 John Street South, by Kingsway National Real Estate Ltd., listed 1991. Currently existing architectural flourishes at the gable peak and at the capitals of the columns supporting the covered porch and carport roof, the timber columns themselves, the bay window, the picket guardrail, and [spruce] tree are all absent at this period of the structure's life. Decorative shutters appear to have been installed sometime between 1980 and the date this photo was taken.



Figure 11: Photo depicting rear deck c. 2008, roughly located in the footprint of the existing sunroom. (Photographer unknown).

Refer also Appendix B, architectural drawing set prepared by Merner Row Design (A01 Site Plan & A02 Existing Plans) and Appendix C, site survey prepared by Tarasick McMillan Kubicki Limited, Ontario Land Surveyor.

2.4. Outline of Proposed Development

The proposed development retains the primary volume of the existing house and limits alterations to the rear of the house and the interior of the basement only.

The existing, non-original sunroom is proposed to be demolished.

The new addition, set on crawlspace foundations, is proposed to provide space for a new family room at the ground floor and a new primary bedroom with ensuite bathroom and walk-in closet at the second floor. The roof of the new volume is configured sympathetically to the existing massing, expressed with gable end walls set at similar pitches (11 1/2:12 existing vs 10:12 & 11 1/2:12 proposed). Eaves at the new addition are aligned with the existing eaves.

An out-of-character concrete masonry chimney is proposed to be removed and the wall repaired to match the existing wood clapboard siding.

The stucco cladding and larger window openings of the new addition subtly distinguish it from the existing house. At the rear west and south elevations of the new addition, wood cladding details extending out from the windows provide further contrast and relief to the facades.

The roof will be clad in asphalt shingles to match the existing.

Alterations to the existing rear wall are limited. Above grade openings into the rear addition sit within existing door and window openings with only a short section of wall at the rear of the ground floor removed to provide access to the new family room.

The entirety of the proposed development is outside of the Greenlands Designation Boundary.

2.4.1. Variances

Minor variances are being sought for a reduced rear yard setback and a greater overhang at the north entry awning as an extension to the existing carport roofline.

The required rear yard setback is 7.5m. The proposed development provides for a greater setback than required for more than 70% of its length but an irregularity in the lot line at the northwest varies the depth of the setback, eventually reducing to 5.2m (Refer to Site Plan A01).

An awning may project into the side yard setback 0.61m. The proposed development includes an extension to the eaves of the existing carport to provide an awning over the north side entry door. The extension results in an awning projection of 0.86m.

There are also a number of existing non-conforming elements that are integral to the existing character of the house. These include an existing reduced setback of the carport from the north side lot line of 0.4m (0.61m required) with an overhang extension of 0.2m; an existing south side lot line setback of 2.2m (3.0m required); and an existing east front yard setback of 2.6m (5.0m required).

2.5. Architectural Drawings

Refer to Appendix B.

2.6. Trees

The proposed development is located at the rear of the property with repair work to be completed at the northwest facade, all set well away from the existing mature tree. Standard construction fencing will be installed around the tree.

2.7. Assessment of Alternative Development Options and Mitigation Measures

Alternatives schemes accommodating the same programme areas as the proposed development would more significantly impact the existing rear facade, windows, and interior layout and/or would begin to significantly encroach on the side yard and carport becoming more visible from the street.

2.8. Application of Conservation Principles

Refer to Section 2.9 below.

2.9. Proposed Alterations in Relation to Cultural Heritage and Impact on Streetscape and Sense of Place

The proposed alterations will have minimal impact on the streetscape and are designed in keeping with the guidelines set out in the HCD.

Proposed addition is limited to the rear of the house. The entirety of the existing house visible from the street (sans CMU chimney) will be retained and restored to match the existing. Views to the rear of the house are constrained by the [spruce] tree at 42 John and the neighbouring maple at 38 John. The existing carport further obscures the view and breaks up the massing of the portion of the addition that will be visible from the street.

The scale and massing of the proposed addition is designed in sympathy with the existing massing aligning the height of the eaves, matching visible roof slopes, and presenting gable end walls at two facades. It steps down in overall height and is clad in stucco to distinguish it from the original clapboard clad house.

3. Summary Statement and Conservation Recommendations

The existing defining heritage attributes of the property (refer to the Old Port Credit Village Heritage Conservation District Property Inventory, 2018) will be maintained and will not be adversely affected by the proposed renovations. No change to the heritage status of the property is recommended.

4. Conclusion

It is the opinion of the author that the proposed design fits well within the Old Port Credit Village HCD guidelines for additions and more than meets the spirit and intent of the HCD Plan. The owners of 42 John Street South have demonstrated consistent and thoughtful care in their maintenance of the property throughout the time their family has lived there. They value the unique heritage qualities of the neighbourhood and the beautiful setting that it has provided for the growth of their family. The modest renovation they are proposing to undertake will allow their family to continue to enjoy and contribute to the thriving community character that the HCD Plan seeks to support.

5. Qualifications of Author

Michael Bootsma, OAA
Architect licensed with the OAA since August 2019.
Certificate of Practice holder since April 2021.

Projects of note include:

71 Front Street West, Toronto: Union Station, 1927

Original Architect: Ross & Macdonald, Hugh G. Jones, John M. Lyle, architect
Designation: National Historic Site; Union Station Heritage Conservation District,
Designated Part V under the Ontario Heritage Act

2009 - Designer with NORR: base building renovations

2016-2019 - Project Lead with PARTISANS: renovations and public area fit-out

955 Lakeshore Boulevard West, Toronto: Ontario Place, 1971

Original Architect: Eberhard Zeidler
Designation: Provincial Heritage Property of Provincial Significance

2017-2019 - Project Lead with PARTISANS: re-opening of Cinesphere; rehabilitation of bridge and ramp structures; proposed rehabilitation of pod structures

357 Bay Street, Toronto: General Accident Insurance Building, 1922

Original Architect: F.S. Baker
Designation: Listed Heritage Building

2019-2021 - Architect and Project Lead with PARTISANS: extensive base building renovations, restoration, and tenant fit-out

2 Old George Place, Toronto, 1964

Original Architect: William G. Grierson
Designation: Designated Part V under the Ontario Heritage Act; unrated; North Rosedale
Heritage Conservation District

2023-present - Sole-practitioner & Architect; extensive home renovations within Heritage Conservation District

6. References

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Heritage Mississauga. *History of Mississauga*. <http://www5.mississauga.ca/rec&parks/websites/museums/pdfs/history_of_mississauga.pdf> Accessed 23 October 2024.

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Ralston, Kelly. *Treaties Week: Provisional Agreement 13-A ("First Purchase" or "Mississauga Purchase")*. Heritage Mississauga, 2021.

<<https://heritagemississauga.com/treaties-week-provisional-agreement-13-a-first-purchase-or-mississauga-purchase/>>. Accessed 23 October 2024.

Walker and Miles. *Historical Atlas of Peel County, Ont.* Toronto, 1877

7. List of Attached Appendices

Appendix A: Land Registry Records

Appendix B: Project Drawings by Merner Row Design

Appendix C: Survey by Tarasick McMillan Kubicki Limited, Ontario Land Surveyor

Appendix A: Land Registry Records

10.2

Date Plan Registered.. 3 Oct. 1927
 Owners..... Crown Survey
 Lots Subdivided Town Plot

Abstract Index
 Répertoire par lot

Lot 3

Plan/Concession 300

Page 1

Lake Street, North Side

West of Credit River



DAY MON YR

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
Entered 127870 32325	B. & S.	11 Aug. 1848	Margaret McLean	Thomas Woods	£5.-	A11
41952	B. & S.	13 Oct. 1851	Thomas Woods	Joshua Pollard	£140.-	A11
2309	B. & S.	2 Jan. 1856	James McLean et ux	Conrad Shook	£112.10/-	A11
6779	B. & S.	23 Apr. 1859	Conrad Shook et ux	Henry Shook	£ 75.-	A11
15096	B. & S.	16 Jan. 1867	Henry Shook et ux	Henry Shook Sr.	\$200.00	A11
15097	B. & S.	16 Jan. 1867	Henry Shook Sr.	James Peer	200.00	A11
3412	Will	12 Aug. 1881	James Peer	S. L. Peer et al.		A11
9468	B. & S.	19 May 1897	John C. Peer, Wm. H. Peer & Agnes M. Peer wife of John C. Peer.	Stephen Lester Peer	266.66	Undivided 2/3
9469	B. & S.	19 May 1897	Stephen L. Peer et ux	John C. Peer	175.00	Nly. 40'
10150	B. & S.	14 Mar 1900	Stephen L. Peer et ux	Chas. Fredk. Block	225.00	A11 except Nly. 40'
11990	B. & S.	15 Jul 1905	Chas. F. Block et ux	Peter Ryan	425.00	A11 except Nly. 40'
12045	B. & S.	19 Oct 1905	Peter Ryan	Susannah Burke	500.00	A11 except Nly. 40'
12672	B. & S.	2 May 1907	Susannah Burke Widow Peter Ryan et ux	Daniel Collins	600.00	A11 except Nly. 40'
12796	B. & S.	12 Oct. 1907	Daniel J. Collins et ux	George Cory	725.00	A11 except Nly. 40'

10317 (88)

FORM 1

Continued on Suite à la page 2

25x10

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Appendix A: Land Registry Records

10.2

Abstract Index
Répertoire par lot

Lot 3

Plan/Concession 300

Page 2

Lake Street North Side West of Credit River



DAY MON YR						
Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM DD AA MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
13802	B. & S.	12 Feb 1910	George Corey et ux	Wm. D. Sutherland & Robert J. Murray	425.00	& C. All except Nly. 40'
14778	B. & S.	30 Jan 1912	Wm. D. Sutherland et al	Jane A. Thompson	1900.00	All except Nly. 40'
300	PLAN	3 Oct 1927	Municipal Survey made under Instructions of Minister of Lands and under Prooves of the Surveys Act.			
32094	Release	25 Sep 1929	Albert E. Block	Mary A. Hill Extrx. of Jane Ann Maud Block Est.	300.00	All except Nly. 40'. Release of devise under Will.
1128	Q.C.	20 Nov. 1942	John C. Peer et ux	Mary A. Hill, exec. Jane A. M. Block: et al	\$1.00 & C	SE 122'
1129	Q.C.	20 Nov. 1942	Mary A. Hill, exec. Jane A. M. Block: et al	John C. Peer	\$1.00 & C	NW. 43'
1130	Grant	20 Nov. 1942	Mary A. Hill, exec. Jane A. M. Block; et al	Edith H. Haney	\$1.00 & C	SE 74' 11" ± & O.L.
1162	Agree't	11 Jan. 1943	Edith H. Haney	Austin L. Hines	\$2000.00	Pti. as in 1130 & O.L. Agree't for sale
1227	Agree't	21 May 1943	Austin L. Hines	George A. Watson	100.00	assigning No. 1162
1593	Grant	27 Dec 1944	Lillian Thomson	Frances Leigh & Stephen Leigh, as joint tenants	\$1200.00	All except N 40'
2017	Grant	29 May 1946	Frances & Stephen Leigh	Eric Jas. Kay	2000.00	All except N 40'
2293	Grant	6 Feb. 1947	Edith H. Haney	Geo. A. Watson	2000.00	SE 74' 11" ± & O.L.
2294	Grant	6 Feb. 1947	Geo. A. Watson et ux	Eric J. Kay	2200.00	SE 74' 11" ± & O.L.

FORM 1 (86)

FORM 1

Continued on/Suite à la page 3

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25x10

Appendix A: Land Registry Records

10.2

Abstract Index Répertoire par lot



2294

Lot 3
Lake Street

Plan/Concession

300

Page 3

DAY MON YR

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bion-fonds/Observations
2421	Grant	19 June 1947	Eric J. Kay et ux	John D. Harvey Elizabeth F. Harrison, as joint tenants	\$4500.00	Part & O.L. as in No. 1130
3871	Grant	26 May 1950	Arthur C. Peer et al Extrs. of John C. Peer Est et al	Agnes M. Smith	\$ 1.00 & C	N.W. 43' & O.L. Treasurer's Consent attached
4168	Grant	22 Nov 1950	Mary A. Hill in her personal capacity & as Extr. Jane A. M. Block, Est.	Mary L. G. L. Thomson	\$ 1.00 & C	All except N. 40'
4170	Grant	22 Nov 1950	Eric J. Kay et ux	Eugene P. Parkinson & Louise Parkinson as joint tenants	\$ 1.00 & C	All except N 40'±: Sly 74' 11"
See Deposit No. 1808						
4254	Grant	30 Dec 1950	John D. Harvey & Elizabeth F. Harvey (John D. signs by Atty)	Muriel Player & Raymond F. Player, as joint tenants	\$ 1.00 & C	Part & O.L. as in No. 1130
5177	Assg. of Agret for Sale	10 Sept 1952	Cornelis D. Looye	John Dykstra & Kay Dykstra as joint tenants	\$1000.00	Pt & O.L. as in 1130
10999	Grant	16 Aug 1960	Muriel Player & Raymond G. Player	John Dykstra & Kay Dykstra as joint tenants	\$ 2.00 & C	Part & O.L. as in No. 1130
11000	Grant	16 Aug 1960	John Dykstra & Kay Dykstra	Clare E. Johnson & Laura D. Johnson, as joint tenants	\$ 1.00 & C	Part & O.L. as in No. 1130

10311 (88) FORM 1

Continued on Suite & 1a page 4

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Abstract Index
Répertoire par lot

Lot 3 Plan/Concession 300 Page 4
Lake Street North Side West of Credit River



Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
13411	Grant	18 Nov 1964	Eugene P. Parkinson & Louise Parkinson	Lillian Fine	\$2.00 & c	Part comm. at E.L. Thence NW 74.92' to p of c. Thence NW 47.06' x SW 66' x SE 46.76' x NE 66' to p of b.
13748	Grant	11 June 1965	Lillian Fine	John McNeil & Emma McNeil, as joint tenants	\$ 2.00 & C	Part as in No. 13411
See Deposit No. 132646 VS (NO. 13748)						
132647 VSGR	Cert	3 Feb. 1970	Treasurers' Consent	John McNeil Estate		Re: No. 13748
132648 VS	Grant	3 Feb. 1970	Emma McNeil	Larry Popovitch	\$ 2.00 & c	Part as in No. 13411 Restriction Dom. Consent attached for John McNeil Estate
176513 VS	Grant	14 July 1971	Larry Popovitch, et ux	James Baker, to uses	2.00 & C	Part as in No. 13411 Subj. to encroachments
245428 VS	Notice of Cond. Sale	12 Jan. 1973	The Elias Rogers Company Limited	Clare E. Johnson & Laura D. Johnson	652.60	re: No. 11000
295587 VS	Grant	27 Dec. 1973	James Baker	Reginald J. Stephens & Alma Stephens, as joint tenants	\$ 2.00 & C	Part as in No. 13411 Subj. to encroachments
302340 VS	Grant	20 Feb. 1974	Reginald J. Stephens & Alma Stephens	John Pope & Henrietta Pope as joint tenants	\$ 2.00 & C	Part as in No. 13411 Subj. to encroachments to N.W.
329023 VS	Assg't of Cond. Sale	10 Sept. 1974	The Elias Rogers Company Limited	Texaco Canada Limited	1.00	Assigning No. 245428 VS

10311 (08)

FORM 1

Continued on Suite à la page... 5

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25x10

Appendix A: Land Registry Records

Abstract Index
Répertoire par lot

329033vs

Lot 3

Plan/Concession

300

Page 5

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
352647VS	Grant	29 May 1975	John Pope & Henrietta Pope	Dianne Moore	\$2.00 & C	Part as in No. 13411 Subj. to encroachments
444244	Grant	26 Aug. 1977	Dianne Moore	Warren Lee & Elizabeth Lee as joint tenants	2.00 & C	Part as in No. 13411 Subj. to encroachments
666645	Grant	DAY MONTH YR 09 12 83	Estate of SMITH, Agnes M.	SMITH, Barry G. JOHNSTON, Carol A.R.		N.W. 43' & O.L.
688410	Grant	26 07 84	LEE, Warren LEE, Elizabeth	PHILLIPS, Michael J. PHILLIPS, Diane B. as JT.		Part as in No. 13411 Subj. to encroachments
701215	Grant	12 12 84	JOHNSTON, Carol A.R.	MICKS, Gordon MICKS, Anne as J.T.		N.W. 43' & O.L. JOHNSTON, Carol A.R. 1/2 interest
701216	Grant	12 12 84	SMITH, Barry G.	MICKS, Gordon MICKS, Anne as J.T.		N.W. 43' & O.L. SMITH, Barry G. 1/2 interest
815749	Grant	31 08 87	MICKS, Gordon MICKS, Anne	MELO, Helder MELO, Maria as J.T.	JC ADLR 13 11 87	Pt. & O.L. Comm. Nly L lot 3. Thence N.W. 7' x N.E. 66' x SE 7' x S.W. 9.76' x S.E. 37.52' x N.E. 73.48' x N.W. 43' to p of c
824098	Grant	06 11 87	MELO, Helder MELO, Maria	467826 ONTARIO INC.		Pt & O.L. as in 815749
860294	Grant	28 08 1988	PHILLIPS, Michael John PHILLIPS, Diane Bernadette	MOORE, Ronald George		Part as in 688410 Comm Ely L thence NW 74.92' x NW 47.06' x SW 66' x

10311 (88)

FORM 1

CONTINUED ON NEXT PAGE

Continued on Suite à la page 6

Appendix A: Land Registry Records

10:2

Abstract Index
Répertoire par lot

Lot 3

Plan/Concession 300

Page 6

Lake Street North Side West of Credit River



YR MON DAY

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
840294	(cont'd)					SE 46.76 x NE 66' to p of c Subject to encroachments
	Deposit	90 07 04	See Deposit No. 943300			Part & OL as in 815749
943301	Grant	90 07 04	WILCOX LANDING INC.	MALONE, Robert MALONE, Rosemary Maude as JT	\$244,000.00	Part & OL as in 815749
943302	Mort	90 07 04	MALONE, Robert MALONE, Rosemary Maude	THE ROYAL BANK OF CANADA	\$100,000.00	Part & OL as in 943301
948716	Q.C. JC ADLR	90 08 31	MICKS, Gordon MICKS, Anne	WILCOX Landing Inc.	2.00	Part & O.L. Comm Nly L lot 3. Thence NW 7' x SW 66' x SE 7' x SW 9.76' x SE 37.52' x NE 73.48' x NW 43' to p of c
951171	Mort	90 09 28	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited	160,182.64	Part & O.L. as in 824098
RO 1023786 D96/08/13	Agreet	92 11 20	MALONE Robert MALONE Rosemary Maude	MARATHON Realty Company Limited		re: 951171 and RO 1023786
RO 1044296 D 96/08/13	Agreet	93 08 03	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited		re: 951171 and RO 1023786
RO 1074392	Agreement	94 09 01	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited		re: 951171

10311 (88)

FORM 1

Continued on/ Suite à la page

25x10

32x10

25x10

Abstract Index
Répertoire par lot



Ontario RO 1074392

Lot 3

NORTH SIDE OF LAKE STREET

Plan/Concession 300

west of credit river

Page 7

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
RO 1096307 <i>D 96/08/13</i>	Agreement	95 08 14	MALONE, Robert MALONE, Rosemary Maude	Marathon Realty Company Limited		Amending Charge 951171
RO 1124272	Charge	96 09 17	MALONE, Robert MALONE, Rosemary Maude	Royal Bank of Canada	75,000.00	Part and O.L. as in 943301
RO 1130568 <i>lo 1130568</i>	Charge	96 12 06	MORRIS, Ronald George	Royal Bank of Canada	103,500.00	Part. as in 860294
RO 1145300	Notice	97 06 23		THE Consumers' Gas Company Ltd.	\$2,895.00	Re: 11000 PC & O.L.

NOTICE

All Document/Instruments
subsequent to

SEP 23 1997

are recorded in the automated abstract
index set out in subsection 21(5) of the
REGISTRY ACT

Appendix A: Land Registry Records

102

Date Plan Registered:.....3 Oct. 1927

Owners:....Crown Survey

Lots Subdivided:....Town Plot

Abstract Index
Répertoire par lot

Lot 5

Plan/Concession

300

Page 1

BAY STREET. S. Side

West of Credit River



DAY MON YR

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
9121	Will	7 May 1896	Emma Peer	John Charles Peer		All Amongst other lands and bequests etc.
10400	B. & S.	16 Feb 1901	Walter C. Hare et al Extrs. Emma Peer Estate	John C. Peer		All
300	PLAN	3 Oct 1927	Municipal Survy Made under the	Instructions of Minister of Lands and under the		Prooves of Surveys Act.
3870	Grant	26 May 1950	Arthur C. Peer et al Surviving Extes of John C. Peer Est et al	Allen G. Peer	\$1.00&C	All Save & Except S Ely 7'. Treasurer's Consent attached.
3871	Grant	26 May 1950	Arthur C. Peer et al Surviving Extes of John C. Peer Est et al	Agnes M. Smith	\$1.00&C	S. Ely 7' & O.L. Treasurer's consent Attached.
45615	PT. D. H.	26 May 1952	Arthur C. Peer	Allen G. Peer	\$1.00	discharging part as in No. 5549 from No. 4823. ADUE LE 12102112
GR21433VS	Grant	27 Sept 1966	Treasurers' Consent	Arthur G. Peer Est.		RE: No. 4823 & O.L. ADUE LE 12102112
74739VS	Grant	5 June 1968	Allen G. Peer et ux	Renoir Investments Limited	\$2.00&C	Part (1) Comm. at Intersection of S E limit of Bay St. with S W limit John St. Thence SE 50' x SW 66' x NW 50' x NE 66' to p of c. (2) Beg. at NL. Thence SE 100' to p of c. Thence SE 58' x SW 66' x NW 58' x NE 66' to p of c.
74740VS	Grant	5 June 1968	Allen G. Peer et ux	Trade-In Homes Limited	\$2.00&C	Part Comm in SW limit John St. 50' SE of Bay St. Thence SW 66' x SE 50' x NE 66' x NW 50' to p of c.

10311 (88)

FORM 1

Continued On Suite à la page 2

25x100

32x100

25x100

Appendix A: Land Registry Records

10:2

Abstract Index
Répertoire par lot

Lot 5

Plan/Concession

300

Page 2

West of Credit River S. Side BAY STREET S. Side



DAY MON YR

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
78738vs	Grant	17 July 1968	Renoir Investments Limited	Peter G. Harris & Jennifer L. Harris Harris as joint tenants	\$2.00 & C	Part as in (2) of No. 74739vs
80898vs	Grant	12 Aug 1968	Trade-In Homes Limited	Melody Leka	2.00 & c	Part as in No. 74790vs
84344vs	Grant	17 Sept 1968	Renoir Investments Limited	Raymond P. Von Adestine & Diane Von Adestine as joint tenants		Part as in No 74739vs pt (1)
258290vs	Grant	27 April 1973	Raymond P. Von Adestine & Diane Von Adestine	Hector LaChapelle to Uses	2,000.00	Part as in (1) of 74739vs
258291vs	MORTGAGE	27 April 1973	Hector La Chapelle	United Trust Company	20,210.00	Part as in (2) of No 74739vs
283305vs	Grant	28 Sept 1973	Peter G. Harris & Jennifer L. Harris	Bernard Moore & Elizabeth Moore as joint tenants	2.00 & C	Part as in (2) of No 74739vs
331042VS	Grant	30 Sept 1974	Hector La Chapelle	Ronald Post to uses	2.00 & C	Part as in (1) of 74739VS except p of c is comm NL.
485332	Mortgage	15 Aug 1978	Bernard Moore & Elizabeth Moore	Victoria and Grey Trust Company	\$38000.00	Part as in (2) of No. 74739VS
666645	Grant	09 12 83	Estate of SMITH, Agnes M.	SMITH Barry G. JOHNSTON, Carol A. R.		S. Ely 7' & O.L.
701215	Grant	12 12 84	JOHNSTON, Carol A. R.	MICKS, Gordon MICKS, Anne as J.T.		SE 7' & O.L. JOHNSTON, Carol A. R. 1/2 interest
701216	Grant	12 12 84	SMITH, Barry G.	MICKS, Gordon MICKS, Anne as J.T.		SE 7' & O.L. SMITH, Barry G. 1/2 interest
730263	Mort	11 10 85	POST, Ronald POST, Carol	THE Toronto-Dominion Bank	13,000.00	pt comm Nly L Thence SE 50' to SW 65' & NW 50' & NE 65' to p of e.
815749	Grant	31 08 87	MICKS, Gordon MICKS, Anne	MELO, Heldon MELO, Marie		pt & O.L. see lot 3 N. Side Lake St. for desc.

10311 (89)

FORM 1

Continued on Suite A la page 3

25x1

32x1

25x1

Appendix A: Land Registry Records

10.2

Abstract Index Répertoire par lot



815749

Lot

5

Plan/Concession

300

Page 3

BAY STREET S. Side

West of Credit River

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
815750	Mort	31-08-87	MELO, Helden MELO, Maria	THE Municipal Savings & Loan Corp.	\$104,500.00	pt & O.L. see Lot 3 H. Side Lake St. for desc.
824098	Grant	06-11-87	MELO, Helden MELO, Maria	467826 Ontario Inc.		Pt & O.L. as in 815749
DEPOSIT		YR MON DAY 90-07-04	See Deposit No. 943300			
943301	Grant	90-07-04	WILCOX LANDING INC.	MALONE, Robert MALONE, Rosemary Maude as JT	\$244,000.00	Part & O.L. as in 815749
943302	Mort	90-07-04	MALONE, Robert MALONE, Rosemary Maude	THE ROYAL BANK OF CANADA	\$100,000.00	part & O.L. as in 815749
948716	QC	90-08-31	MICKS, Gordon MICKS, Anne	WILCOX Landing Inc.	2.00	part & O.L. as in 943301
951171	Mort	90-09-28	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited	169,182.64	part & O.L. Comm Lot 3, S Side of John St. Thence NW 7' x SW 66' x SE 7' x SW 9.76' x SE 37.52' x NE 73.48' x NW 43' to p. of c.
RO-1023786	Agreet	92-11-20	MALONE Robert MALONE Rosemary Maude	MARATHON Realty Company Limited	Nil	Part & O.L. as in 824098.
RO-1044296	Agreet	93-08-03	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited		discharged by RO1121439 96/08/31
						RE 951171
						re. 951171 and RO-1023786

10311 (80)

FORM 1

Continued on Suite à la page

25x10

32x10

25x10

Abstract Index
Répertoire par lotLot 5 Plan/Concession 300 Page 4South Side Bay Street - west of credit river

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
RO 1046324	Transfer	93 08 27	POST, Ronald	SZYMANSKI, Kristof SZYMANSKI, Katrin as JT	184,000.00	Part as in no. 331042vs Planning act statement re; section 50 completed
RO1046325	Charge	93 08 27	SZYMANSKI, Kristof SZYMANSKI, Katrin	London Life Insurance Company	138,000.00	Part as in no. 331042vs
RO 1046326	Asst of Rents	93 08 27	SZYMANSKI, Kristof SZYMANSKI, Katrin	London Life Insurance Company		re: charge no. RO 1046325
RO 1046327	Charge	93 08 27	SZYMANSKI, Kristof SZYMANSKI, Katrin	POST, Ronald	36,800.00	Part as in no. 331042vs
RO 1096307	Agreement	95 08 14	MALONE, Robert MALONE, Rosemary Maude	Marathon Realty Company Limited		Discharged by # RO 1120401 Asst. Dep. Land Reg. 12/6/2. Amending Charge 961171
RO 1116737	Deposit	96 06 14	See Deposit no. RO 1116737			Part as in 283305vs
RO 1116738	Transfer	96 06 14	MOORE, Bernard MOORE, Elisabeth	RUTHERFORD, Susan GAMBLE, Jeffrey as JT	165,000.00	Part as in 283305vs
RO 1120513	Charge	96 07 31	SZYMANSKI, Kristof SZYMANSKI, Katrin	Associates Mortgage Corporation	38,247.00	Part as in 331042vs
RO 1124212 ENTERED 96-10-18 ADL/R	CHARGE	96-09-17	MALONE, ROBERT MALONE, ROSEMARY MAUDE	ROYAL BANK OF CANADA	75,000.00	Part as in no. 943301.
RO1130365	Charge	96 12 05	SZYMANSKI, Kristof SZYMANSKI, Katrin	GALLANT, Henry	30,000.00	Part as in RO1046324

10311 (65)

FORM 1

Continued on Suite 4 to page

Lot 5Plan/Concession 30

Page 5



NOTICE
All Document/Instruments
subsequent to
SEP 23 1997
are received in the automated abstract
index set out in subsection 21(5) of the
REGISTRY ACT

PROPERTY DESCRIPTION:

PT LTS 3 & 4, PL 300 N OF LAKE ST, W OF CREDIT RIVER & PT LT 5, PL 300 S OF BAY ST, W OF CREDIT RIVER AS IN RO943301 ; MISSISSAUGA

PROPERTY REMARKS:

THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) RO943301, WHICH IS (ARE) RECORDED FOR PIN IDENTIFICATION ONLY.

ESTATE/QUALIFIER:

RECENTLY:
PARCELIZED

PIN CREATION DATE:
1997/09/23

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
<div><div><div>**EFFECTIVE 2000/07/29</div><div>**WAS REPLACED WITH THE</div><div>** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **</div><div>THIS ABSTRACT INCLUDES ALL INSTRUMENTS AND DOCUMENTS FROM: 1997/09/23</div><div>FOR THE PREVIOUS ABSTRACT SEE ABSTRACT BOOK</div><div>NOTE: THIS PIN WAS ONCE</div></div><div>RO943301</div></div>	<div><div>2000/07/29</div><div></div><div></div><div></div><div></div><div></div></div> <div>1990/07/04</div>	<div><div>THE NOTATION OF THE</div><div>"PIN CREATION DATE"</div><div></div><div></div><div></div><div>REG PIN 13488-1237.</div></div> <div>TRANSFER</div>	<div><div>"BLOCK IMPLEMENTATION DATE" OF 1997/09/23 ON THIS PIN**</div><div>OF 1997/09/23**</div><div></div><div></div><div></div><div>THIS PROPERTY WAS CONVERTED TO LT ON 1999/03/25 REUSING PIN 13488-1237.</div></div> <div>\$244,000</div>	<div><div></div><div></div><div></div><div></div><div></div><div></div></div> <div></div>	<div><div></div><div></div><div></div><div></div><div></div><div></div></div> <div>MALONE, ROBERT MALONE, ROSEMARY MAUDE</div>	<div><div></div><div></div><div></div><div></div><div></div><div></div></div> <div>C</div>

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



LAND
REGISTRY
OFFICE #43

13488-1237 (LT)

PAGE 1 OF 1
PREPARED FOR owner
ON 2024/10/11 AT 13:28:00

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 3 N/S LAKE ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT; PT LT 4 N/S LAKE ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT; PT LT 5 S/S BAY ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT AS IN R0943301; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13488-2333

PIN CREATION DATE:

1999/03/25

OWNERS' NAMES

CRAWFORD, LINDSAY DANIELLE
BERGSHOEFF, DAVID MATTHEW

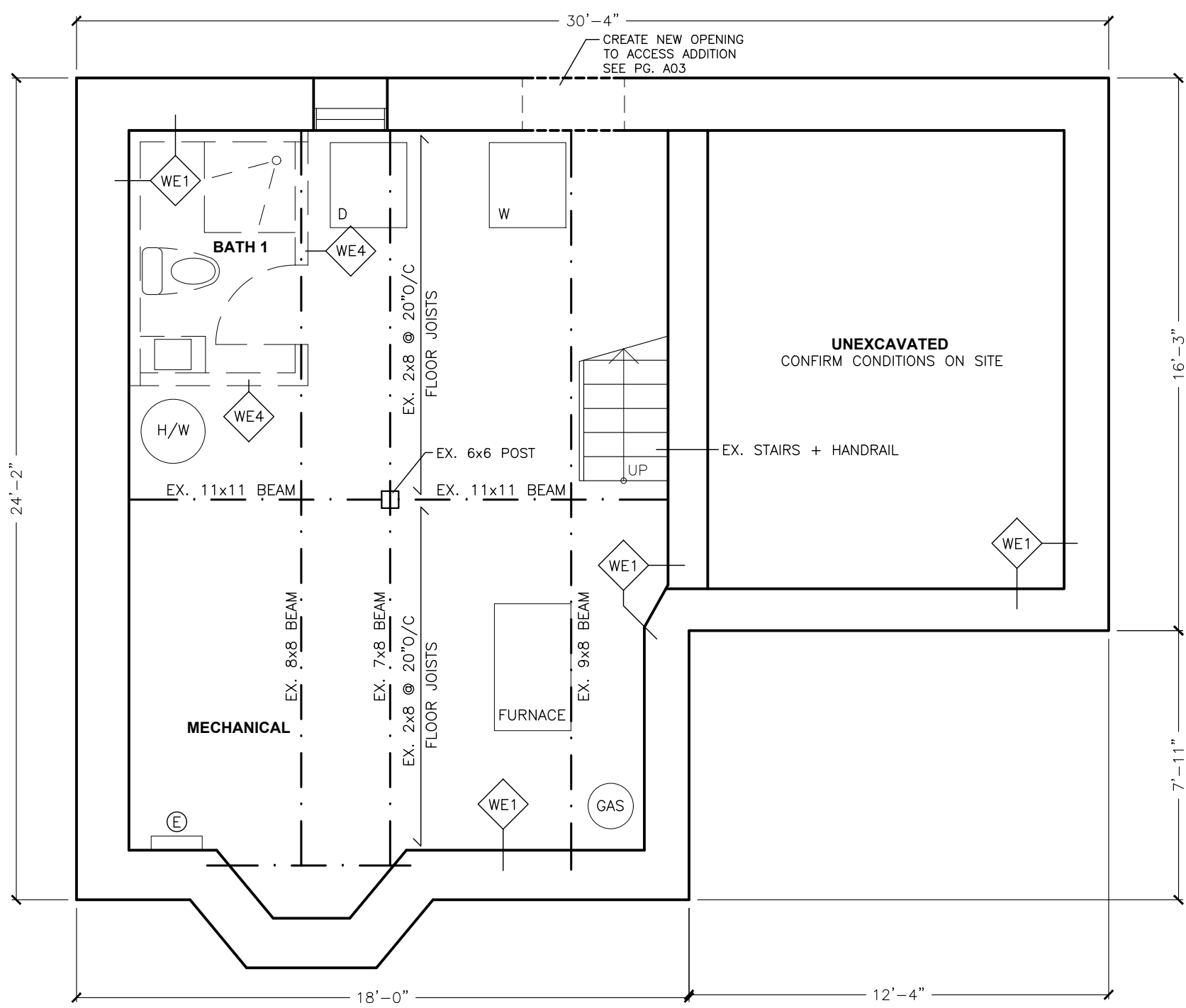
CAPACITY SHARE

JTEN
JTEN

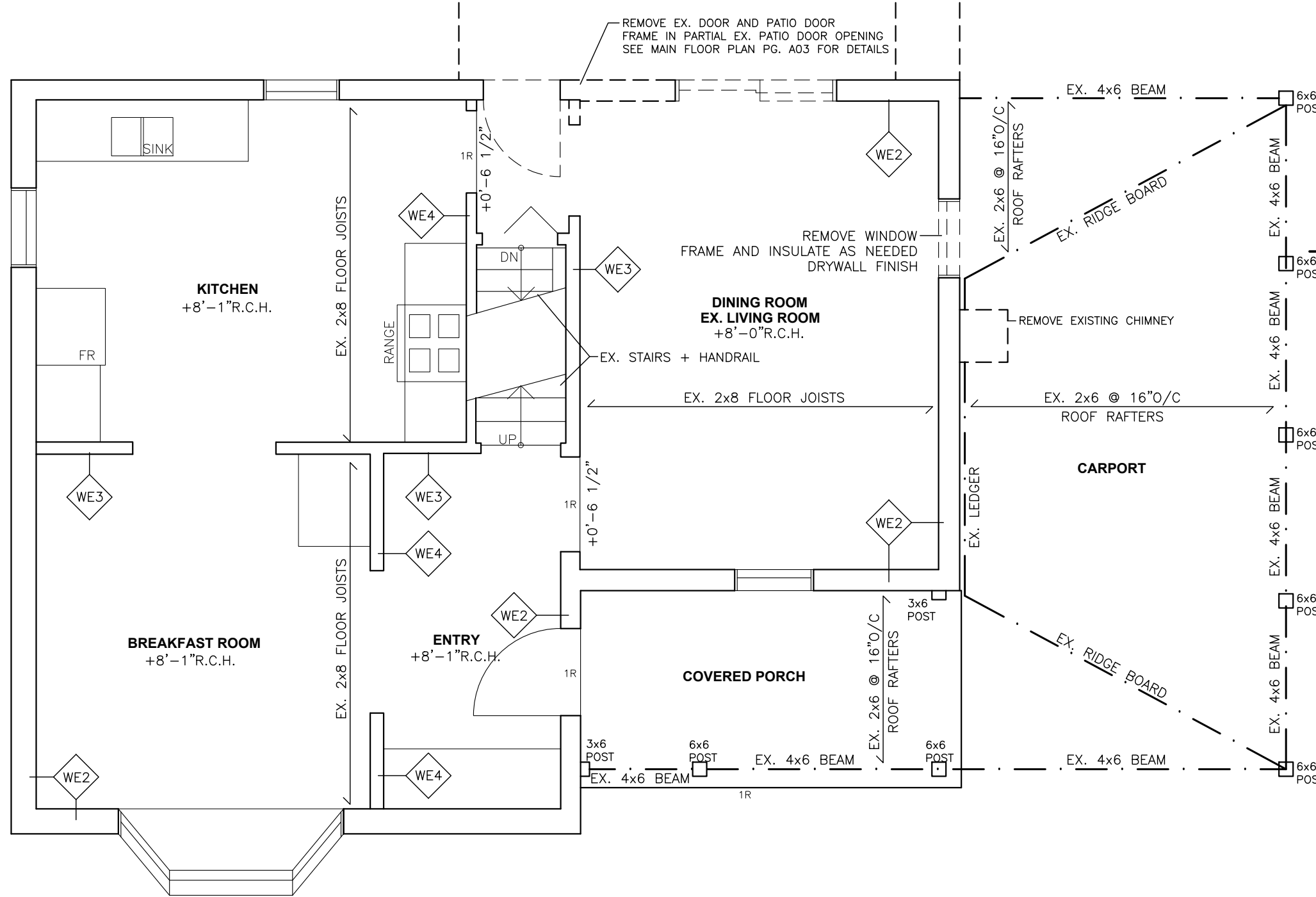
REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
EFFECTIVE	2000/07/29	THE NOTATION OF THE	"BLOCK IMPLEMENTATION DATE" OF 1997/09/23 ON THIS PIN			
WAS REPLACED WITH THE		"PIN CREATION DATE" OF 1999/03/25				
** PRINTOUT		INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **				
**SUBJECT,		ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:				
**		SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES	*			
**		AND ESCHEATS OR FORFEITURE TO THE CROWN.				
**		THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF				
**		IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY				
**		CONVENTION.				
**		ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.				
**DATE OF CONVERSION TO		LAND TITLES: 1999/03/26 **				
PR1912812	2010/10/28	LR'S ORDER		LAND REGISTRAR, LRO NO. 43		C
		REMARKS: AMENDS DESCRIPTION TO REFER TO PT LTS 3 & 4 N/S LAKE ST PC1 AND PT LT 5 S/S BAY ST PC1 AS IN R0943301.				
PR2222954	2012/07/03	TRANSFER		PILON, DANIELLE CATHERINE		C
		REMARKS: PLANNING ACT STATEMENTS				
						C

Current property owner information withheld in compliance with the Freedom of Information and Protection of Privacy Act (R.S.O. 1990, c. F.31)

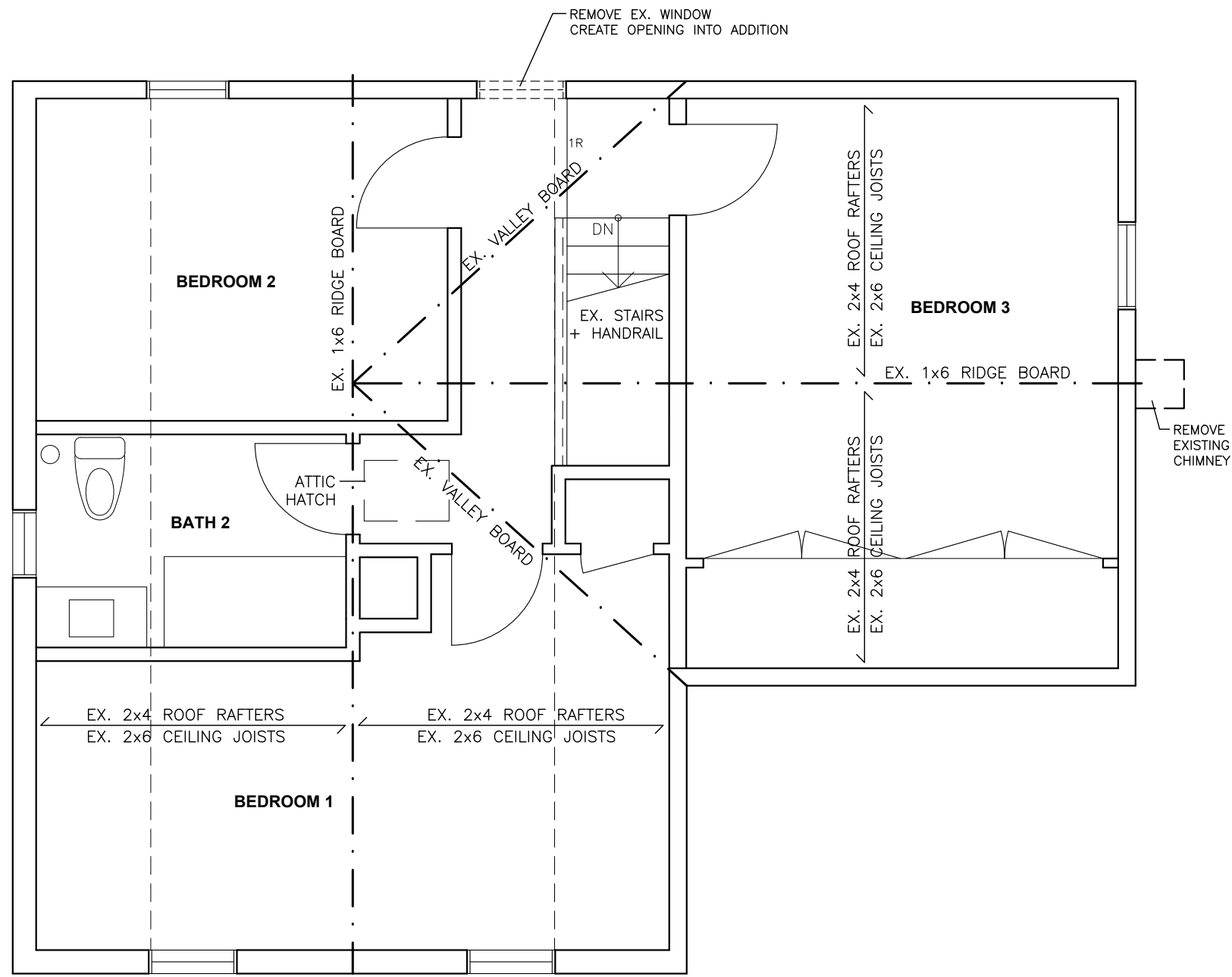
NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
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EXISTING BASEMENT PLAN



EXISTING MAIN FLOOR PLAN



EXISTING SECOND FLOOR PLAN

STRUCTURAL NOTES:

- GENERAL**
- DESIGN LOADS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION.
 - THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESSES AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION.
 - CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS PROVIDED AND REQUIRED TO PERFORM THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO MERNER ROW DESIGN (MRD) IMMEDIATELY TO OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.
 - CONTRACTOR SHALL USE ALL SPECIFIED MATERIALS WITHOUT SUBSTITUTION.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
 - THE CONTRACTOR WILL PROVIDE ALL ACCESSORY ITEMS OR MATERIALS, SUCH AS BRACKETS, CLEATS, UNDERLAYS, OVERLAYS, CONNECTORS, FASTENERS, COVER PLATES, SEALANTS, LUBRICANTS, CLEANERS, BONDING AGENTS, AND SIMILAR ITEMS, WHETHER SPECIFIED OR NOT, SO THAT THE WORK IS COMPLETE AND WILL PERFORM AS REQUIRED.
 - STRUCTURAL REVIEW WAS COMPLETED BASED ON THE INFORMATION AND ROOF/FLOOR FRAMING LAYOUTS AND DESIGNS AVAILABLE AT THE TIME OF THE REVIEW. IF THE ACTUAL DESIGNS RESULT IN ANY DIFFERENT LAYOUTS/POINT LOADS/DIMENSIONS, CONTACT MRD PRIOR TO COMMENCING ANY WORK.
 - ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH ONTARIO BUILDING CODE, PART 9, UNLESS NOTED OTHERWISE.
 - MRD SCOPE IS LIMITED TO STRUCTURAL DESIGN OF ITEMS NOT DESIGNED BY ROOF/FLOOR/TIMBER/SIP FRAMING SUPPLIERS ONLY.

GENERAL FOUNDATION

- ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED BASE OR COMPACTED GRANULAR WITH A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 75kpa (TO BE VERIFIED BY GEO-TECHNICAL ENGINEER PRIOR TO CONSTRUCTION).
- CONCRETE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS:
 - BASEMENT SLABS 20mpa (4-7% AIR)
 - FOOTINGS & FOUNDATION WALLS 20mpa (4-7% AIR)
 - EXTERIOR FLATWORK 32mpa (5-8% AIR)
- CONCRETE COLD WEATHER REQUIREMENTS WHEN AIR TEMPERATURE AT OR BELOW 5 DEGREES CELSIUS:
 - TEMPERATURE OF THE CONCRETE AT ALL SURFACES SHALL BE KEPT AT A MINIMUM OF 10 DEGREES CELSIUS FOR 3 DAYS.
 - NO FROZEN MATERIAL SHALL BE USED IN CONCRETE MIX.
- NO CONCRETE SHALL BE POURED WITHOUT PRIOR REVIEW BY THE BUILDING INSPECTOR.
- DAMP PROOF & WATER PROOF FOUNDATION WALLS & SLABS PER OBC 2012, PART 9 REQUIREMENTS
- REINFORCING STEEL
 - YIELD STRENGTH FOR MAIN BARS: 400mpa
 - YIELD STRENGTH FOR LATERAL TIES & STIRRUPS: 400mpa, CAS SPEC. G30.12
 - ALL SPLICES TO BE LAPPED 24"
 - PROVIDE 3" COVER TO REINFORCING STEEL AGAINST EARTH, 2" ELSEWHERE
- FOUNDATION WALL IS DESIGNED BASED ON THE ASSUMPTION THAT THE BACKFILL WILL BE FREE DRAINING SAND, GRAVEL WITH SILT/CLAY WITH A MAXIMUM EQUIVALENT FLUID DENSITY OF 7200K/M3. IF THE SITE CONDITION VARIES FROM ABOVE ASSUMPTION, INFORM STRUCTURAL ENGINEER IMMEDIATELY TO REVIEW AND SPECIFY REINFORCING STEEL REQUIREMENTS.
- HYDROSTATIC PRESSURE DUE TO WATER BUILD UP HAS NOT BEEN ACCOUNTED FOR IN THE STRUCTURAL DESIGN. IF THIS ASSUMPTION IS NOT VALID DUE TO SITE SPECIFIC CONDITIONS, CONTACT STRUCTURAL ENGINEER FOR INSTRUCTIONS PRIOR TO STARTING ANY WORK.
- PROTECT THE FOUNDATIONS FROM FROST DAMAGE, WHERE NECESSARY, UNTIL PERMANENT CONSTRUCTION PROVIDES SUCH PROTECTION.
- FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL Laterally SUPPORTED AT THE TOP AND BOTTOM.
- THE LINE OF SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10, MAXIMUM STEP 600MM (2'-0").
- ALL EXTERIOR FOOTINGS OR OTHER FOOTINGS EXPOSED TO FREEZING IN THE FINISHED BUILDING SHALL BE FOUNDED AT A MINIMUM OF 1200MM (4'-0") BELOW FINISHED GRADE UNLESS NOTED OTHERWISE. FOOTINGS EXPOSED TO FROST ACTION DURING CONSTRUCTION SHALL BE PROTECTED BY A MINIMUM OF 1200MM (4'-0") OF EARTH OR ITS EQUIVALENT SUFFICIENT TO PREVENT FREEZING, IF NOT BEARING ON BEDROCK.
- IF ACTUAL JOB SITE OR SOIL CONDITIONS VARY FROM THOSE ASSUMED, THEN WRITTEN DIRECTIONS MUST BE OBTAINED FROM THE STRUCTURAL CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- KEEP EXCAVATIONS CONTINUOUSLY DRY BEFORE CONCRETE IS PLACED. IF THE SOIL IS SOFTENED BY WATER, THE EXCAVATION SHALL BE EXTENDED BELOW THE SOFTENED MATERIAL AND THE BOTTOM OF THE FOOTINGS LOWERED TO SUIT.
- DAMP PROOF/WATERPROOF PER OBC 2012, PART 9
- SECURE TO FOOTING WITH 8"x16"xV 15M DOWELS @ 240"/C

GENERAL WOOD FRAMING

- ALL WOOD CONSTRUCTION SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF OBC 2012, PART 9, UNLESS NOTED OTHERWISE.
- ROUGH HARDWARE - BOLTS, NUTS, WASHERS, LAGS, PINS AND SCREWS - ALL TO BE HOT DIP GALVANIZED IF EXPOSED TO EXTERIOR USE.
- ALL FRAMING ANCHORS, JOIST HANGERS, BEAM HANGERS, POST CAPS, POST ANCHORS, BACK-UP CLIPS AND ANGLES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GUIDELINES. UNLESS NOTED OTHERWISE, UTILIZE SIMPSON STRONG TIE (SST) HANGERS & TIES FOR CONNECTIONS.
- SPLICING, NOTCHING AND DRILLING THROUGH MEMBERS IS NOT PERMITTED EXCEPT AS SPECIFIED BY THESE PLANS AND/OR AS APPROVED BY MRD.
- PRE-ENGINEERED PRODUCTS, MANUFACTURED LUMBER OR TIMBER PRODUCTS NOT SPECIFIED HEREIN ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER, MANUFACTURED/ENGINEERED WOOD PRODUCTS DESIGNED BY OTHERS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- ALL MULTI-PLY WOOD MEMBERS SHALL BE BUILT-UP IN ACCORDANCE WITH OBC 2012, PART 9 OR PER MANUFACTURER'S SPECIFICATIONS AND GUIDELINES.
 - ALL LVL'S SHALL MEET OR EXCEED 2.0E, 2900FB.
 - USE APPROPRIATE HURRICANE TIES TO CONNECT ROOF FRAMING TO BEARING WALL (TBD BASED ON FINAL ROOF FRAMING DESIGNS.
 - PROVIDE SQUASH BLOCKS, SOLID BLOCKING AS REQUIRED TO SUPPORT POINT LOADS.
 - WOOD PRESERVATIVES (PRESSURE TREATED): -WHERE REQUIRED TO CONFORM TO CSA STANDARD 080-M, ALL WOOD PRODUCTS BEARING ON CONCRETE OR MASONRY AT OR BELOW GRADE TO BE PRESSURE TREATED OR BE PROTECTED WITH A MINIMUM 0.05 POLYETHYLENE VAPOUR BARRIER, ROLL ROOFING, OR APPROVED EQUIVALENT.
 - LUMBER - UNLESS OTHERWISE NOTED TO BE SPRUCE-PIKE-FIR (SPF), GRADE NO.1 OR 2, CONFORMING TO CSA STANDARD WITH 0141 WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION. LUMBER SHALL BEAR THE GRADING STAMP OF AN AGENCY APPROVED BY THE CANADIAN LUMBER STANDARDS ADMINISTRATION BOARD.

GENERAL CONCRETE MASONRY

- ALL MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARD A371 "MASONRY CONSTRUCTION FOR BUILDINGS"
- REFER ALSO TO GENERAL NOTES, STRUCTURAL DRAWINGS / PLANS AND TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

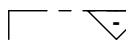
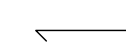
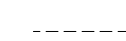
PRODUCTS

- UNLESS NOTED OTHERWISE THE MINIMUM COMPRESSIVE STRENGTH (TESTED FLAT WISE) SHALL BE 20MPA BASED ON GROSS AREA FOR SOLID AND CORED UNITS AND NET AREA FOR HOLLOW UNITS.
- MORTAR TO BE PREPARED BY PROPORTION SPECIFICATION IN ACCORDANCE WITH CSA A179, TYPE "S" FOR ALL MASONRY.
- MASONRY GROUT TO CONFORM TO CSA A179 AND BE PREPARED BY PROPERTY SPECIFICATION:
 - MINIMUM 15MPA COMPRESSIVE STRENGTH AT 28 DAYS.
 - SUMP TO BE 200mm (8") MIN. TO 250mm (10") MAX.
 - GROUT TO BE FINE WHEN MAX. GROUT SPACE IS 50mm (2") OR LESS.
 - TESTING TO BE DONE IN ACCORDANCE WITH CSA A179.
- MASONRY CONNECTORS (TIES, ANCHORS, AND FASTENERS) SHALL CONFORM TO CSA A370 AND BE INSTALLED IN ACCORDANCE WITH CSA A371. SPACING, STRENGTH AND CORROSION PROTECTION OF STRIP TIES, DOVETAIL ANCHORS, BAR ANCHORS, ROD ANCHORS, STRAP ANCHORS, WALL AND PARTITION ANCHORS SHALL COMPLY WITH CSA A370.
- REINFORCING BARS TO CONFORM TO CSA G30.18 - GRADE 400MPA.
- HORIZONTAL JOINT REINFORCEMENT TO BE 240 LADDER-TWIN-MESH, EXTRA HEAVY DUTY REINFORCING BY HOHMANN & BARNARD, INC. OR APPROVED EQUIVALENT (AT EACH COURSE), PROVIDE ALL PREFABRICATED CORNERS AND TEE SECTION.
- JOINT REINFORCING FOR EXTERIOR WALLS, WALLS IN CONTACT WITH SOIL, AND WALLS IN MOIST ENVIRONMENTS SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION TO ASTM A153 - CLASS B2 W/ MIN. ZINC COATING MASS OF 458 G/m2 (1.50OZ/SF).

EXECUTION

- VERTICAL SPACING OF HORIZONTAL JOINT REINFORCING SHALL NOT EXCEED 400mm (16").
- TOLERANCES FOR MASONRY CONSTRUCTION SHALL CONFORM TO CSA A371 UNLESS NOTED OTHERWISE.
- PROVIDE HOT AND COLD WEATHER PROTECTION AS REQUIRED BY CSA A371.

LEGEND:
(SEE NOTES PG. A03)

-  CROSS SECTION
-  STRUCTURAL MEMBER
-  EXISTING STRUCTURE TO BE REMOVED

NOTE:
EXISTING DWELLING TO REMAIN UNCHANGED

MATTHEW BERGSHOEFF
LINDSAY CRAWFORD
42 JOHN ST S.
MISSISSAUGA, ON. L5H 2G4

MATTHEW.BERGSHOEFF
@GMAIL.COM
LINDSAYDCRAWFORD@GMAIL.COM

PHONE: 647-2735482

NOTES:
THE DRAWINGS ARE THE PROPERTY OF MERNER ROW DESIGN. DO NOT REPRODUCE WITHOUT WRITTEN CONSENT.

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO MEET CURRENT REQUIREMENTS OF ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES.

CHECK ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DISCREPANCIES AND CONFIRM CLARIFICATIONS BEFORE COMMENCING WORK.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.

WORKING DRAWINGS DO NOT PROVIDE REQUIREMENTS FOR ALL CONSTRUCTION DETAILS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUPERVISED WORKMANSHIP IN ALL AREAS OF CONSTRUCTION.

ALL WINDOW AND DOOR SIZES ARE OUTSIDE MEASUREMENTS. ROUGH OPENING SIZES SHOULD BE CONFIRMED BEFORE FRAMING.

EXTERIOR DIMENSIONS ARE MEASURED FROM THE OUTSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALL AND OPENINGS.

INTERIOR DIMENSIONS ARE MEASURED FROM THE INSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALLS AND OPENINGS.

MERNER ROW DESIGN

LISA APPS | 647.704.5604
mernerrowdesign@gmail.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

LISA APPS 112545
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

MERNER ROW DESIGN 115433
FIRM NAME BCIN

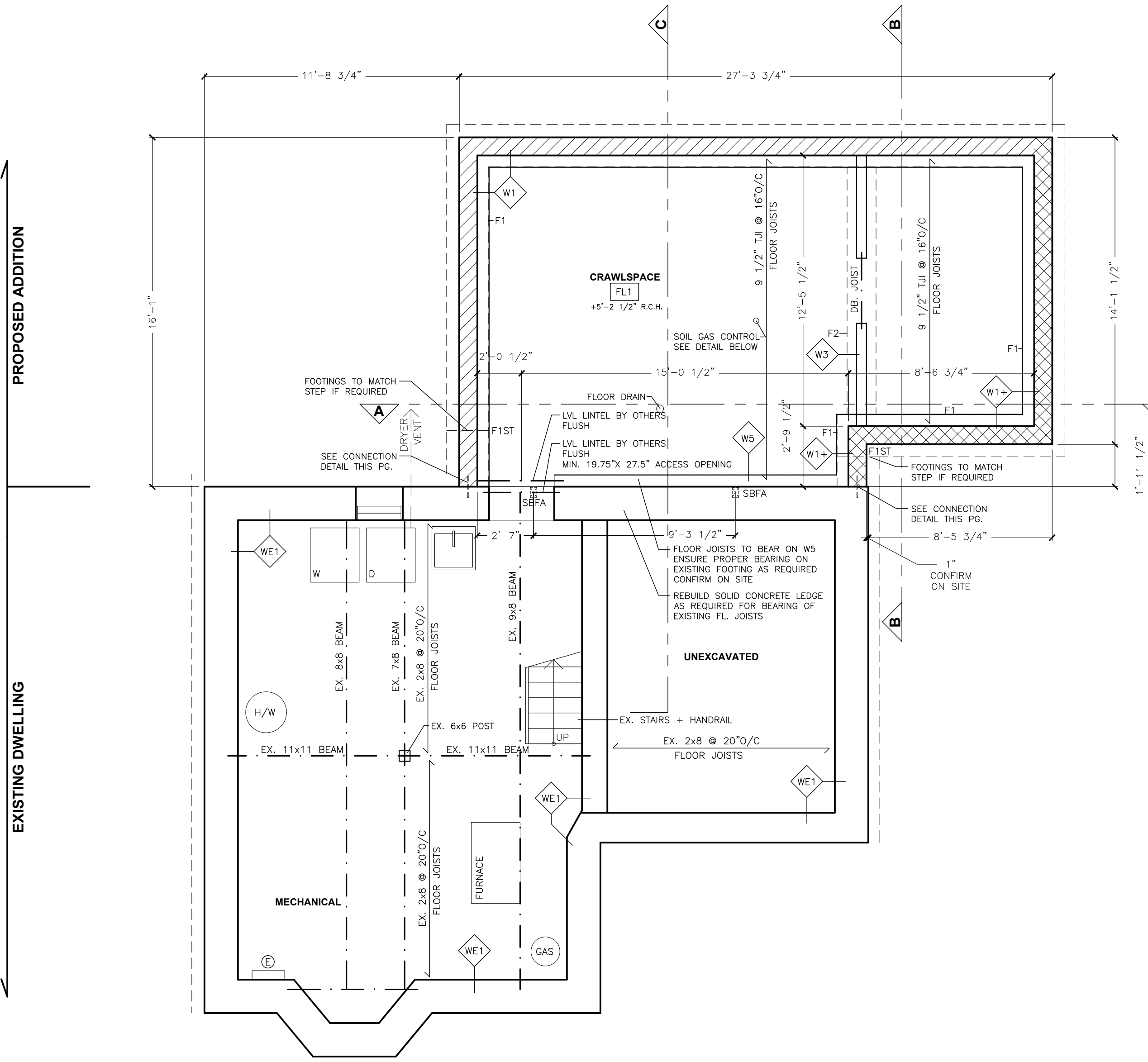
PROPOSED ADDITION

**42 JOHN ST. S.
MISSISSAUGA**

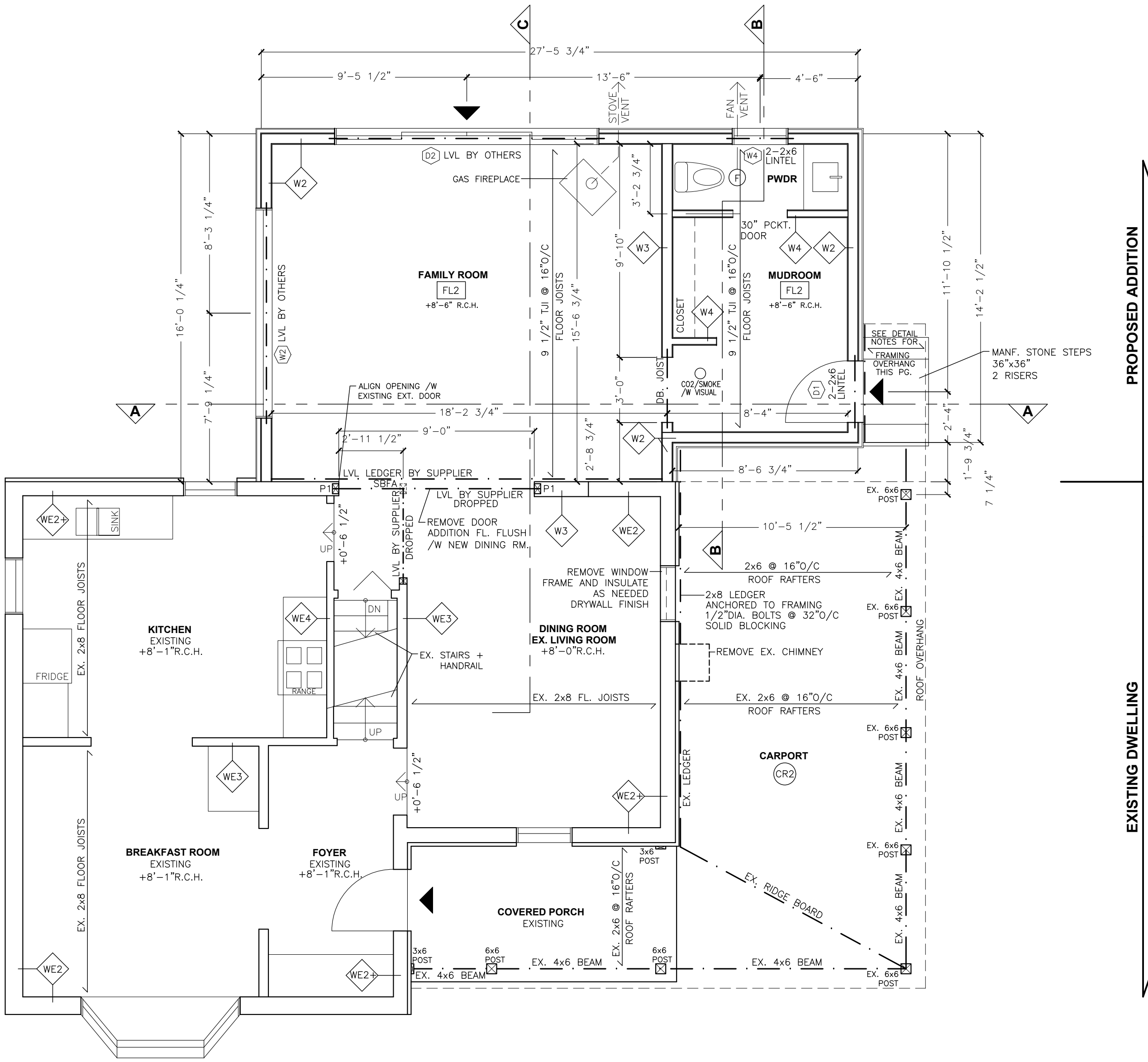
**DEMO PLANS
& ADD. NOTES**

DATE: NOV. 21, 2024 SCALE: 1:50
(1/4" = 1'-0")

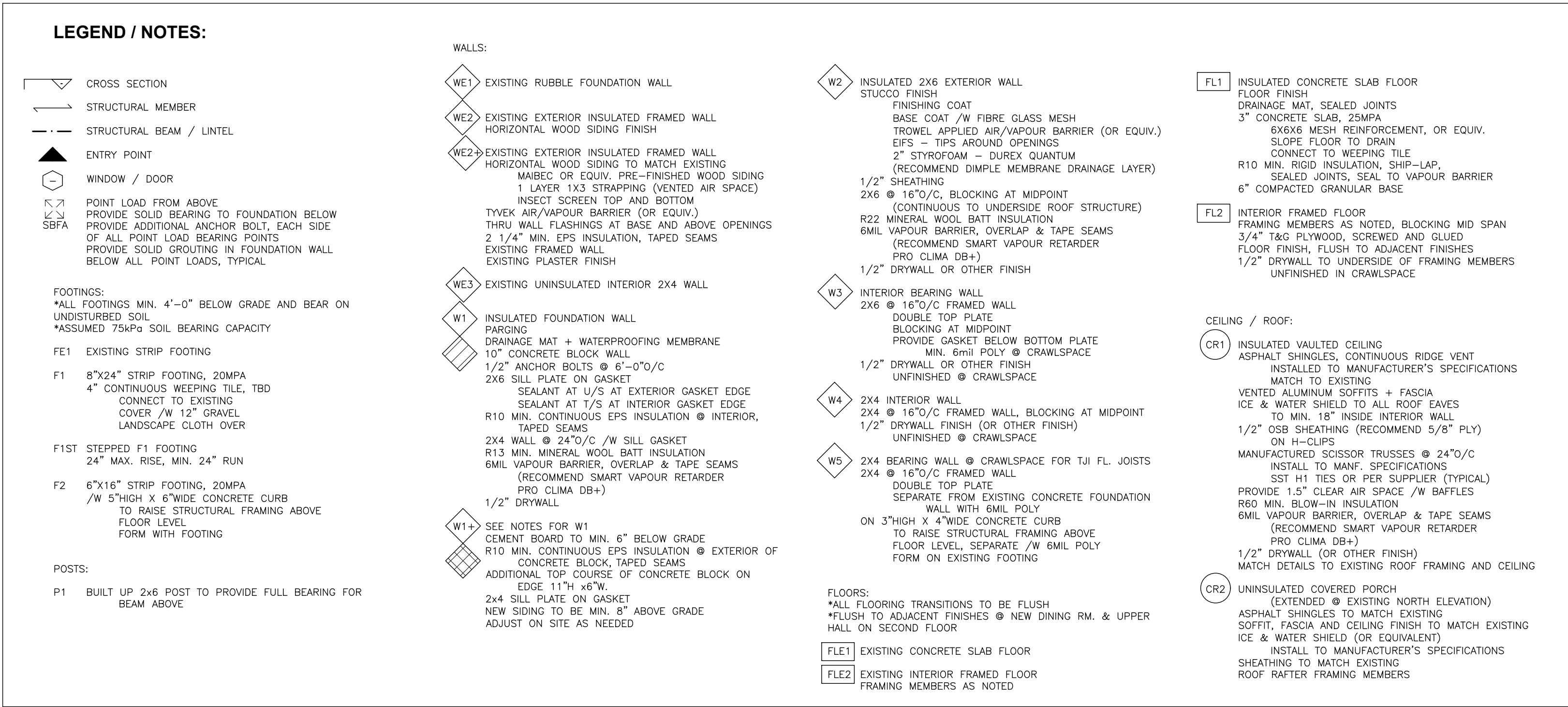
 **A02**



FOUNDATION PLAN



MAIN FLOOR PLAN



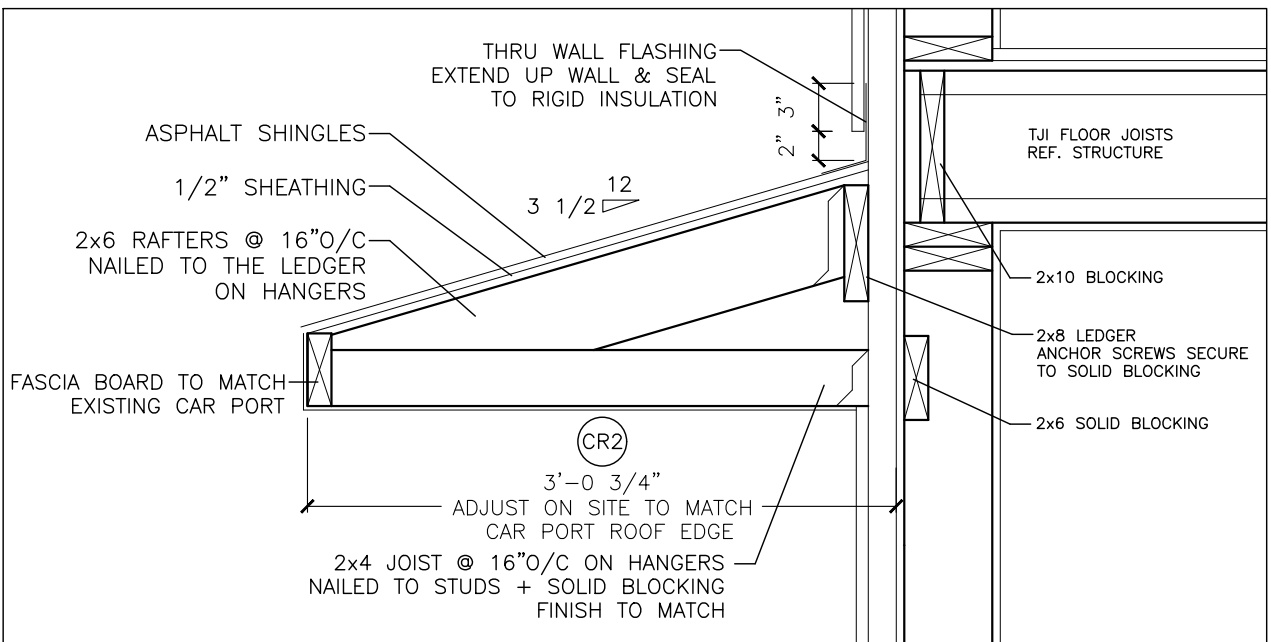
NOTE:

REFER TO TRUSS DETAIL PAGE A06.

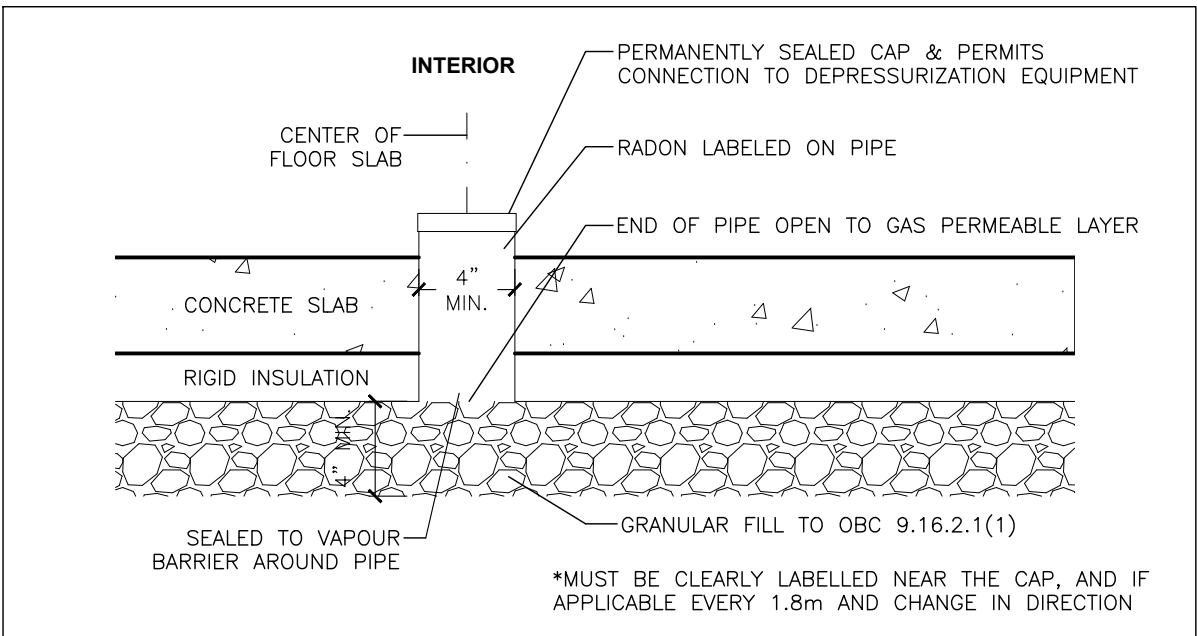
CONTRACTOR TO CONFIRM ALL DIMENSIONS, SOFFIT DETAILS, SITE CONDITIONS AND MAKE ADJUSTMENTS TO TRUSS DESIGN AS NEEDED.

EXTERNAL SURFACE APPLIED WOOD DETAIL PANELS TO SUIT FINAL DESIGN. CONFIRM ON SITE.

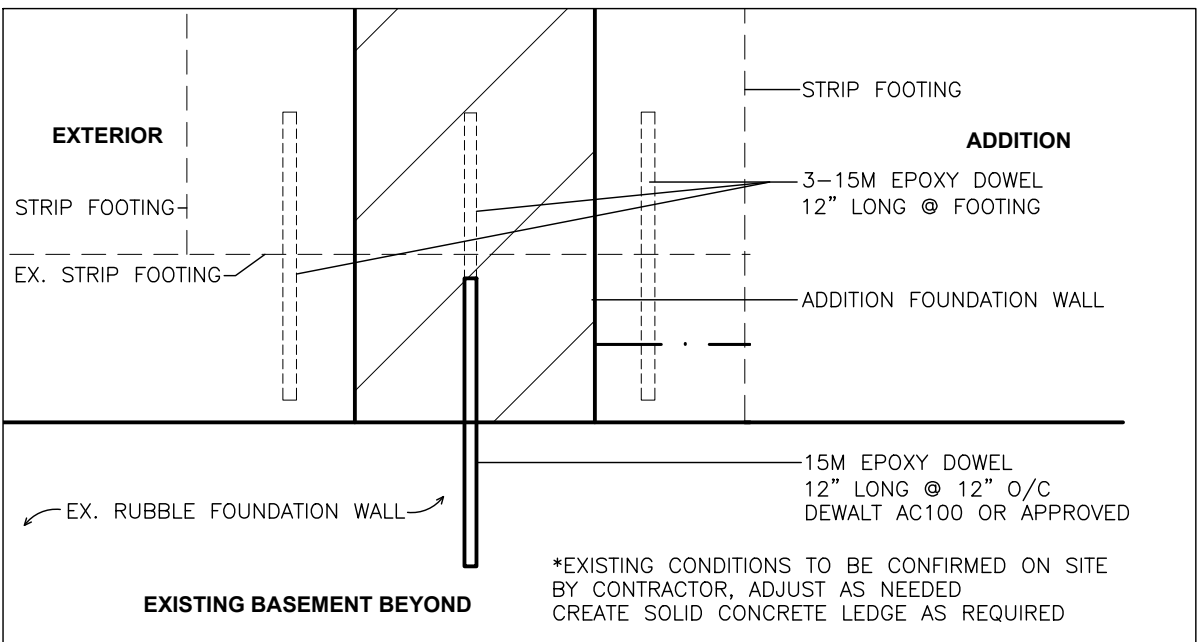
NO CHANGES TO INTERIOR OF EXISTING DWELLING.



OVERHANG FRAMING DETAIL
SCALE: 1" = 1'-0"



SOIL GAS CONTROL DETAIL
SCALE: 1-1/2" = 1'-0"



CONNECTION DETAIL 1
SCALE: 1-1/2" = 1'-0"

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INTERIOR DIMENSIONS ARE MEASURED FROM THE INSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALLS AND OPENINGS.

MERNER ROW DESIGN

LISA APPS | 647.704.5604
mernerrowdesign@gmail.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

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LISA APPS 112545
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

MERNER ROW DESIGN 115433
FIRM NAME BCIN

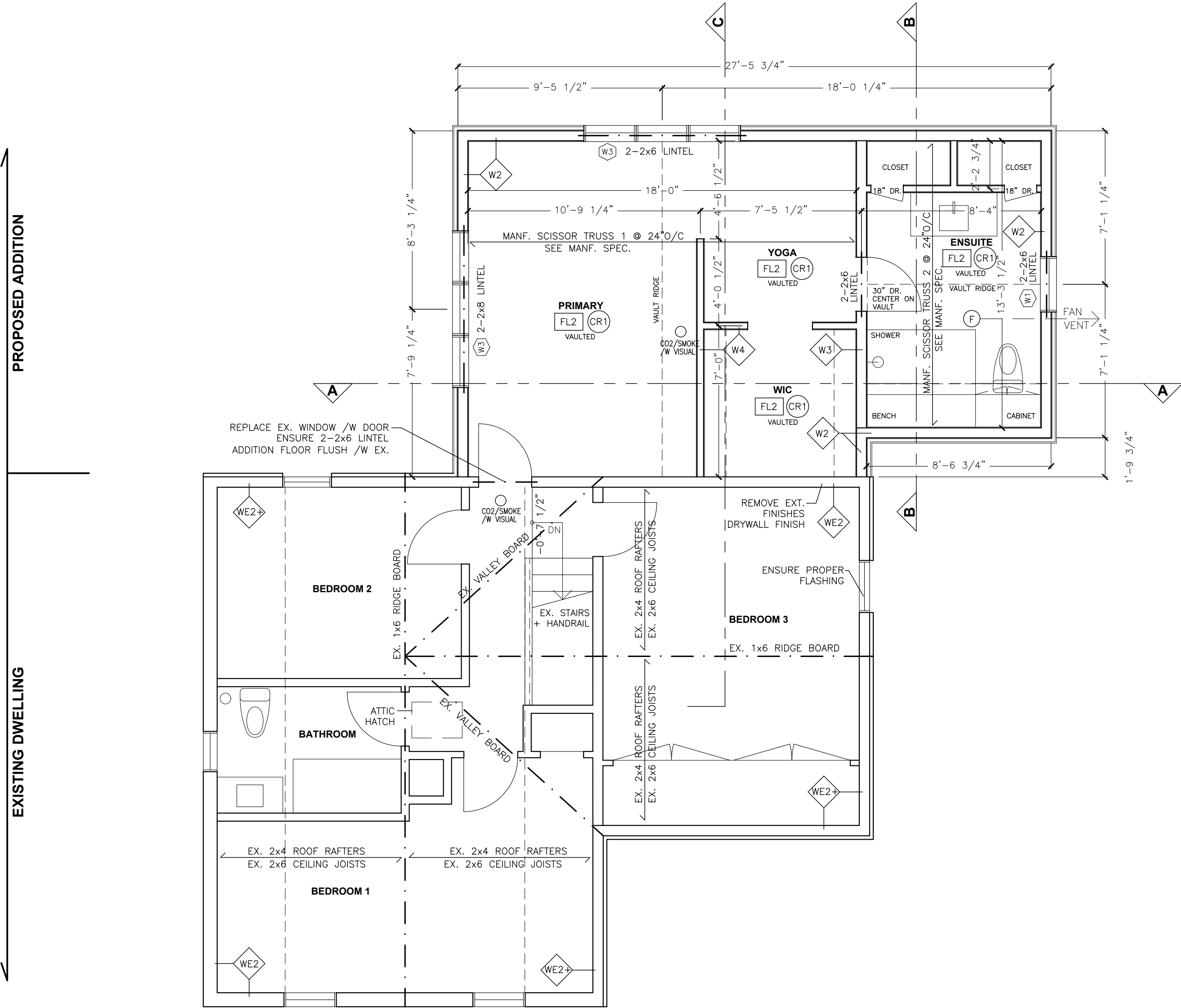
PROPOSED ADDITION

42 JOHN ST. S. MISSISSAUGA

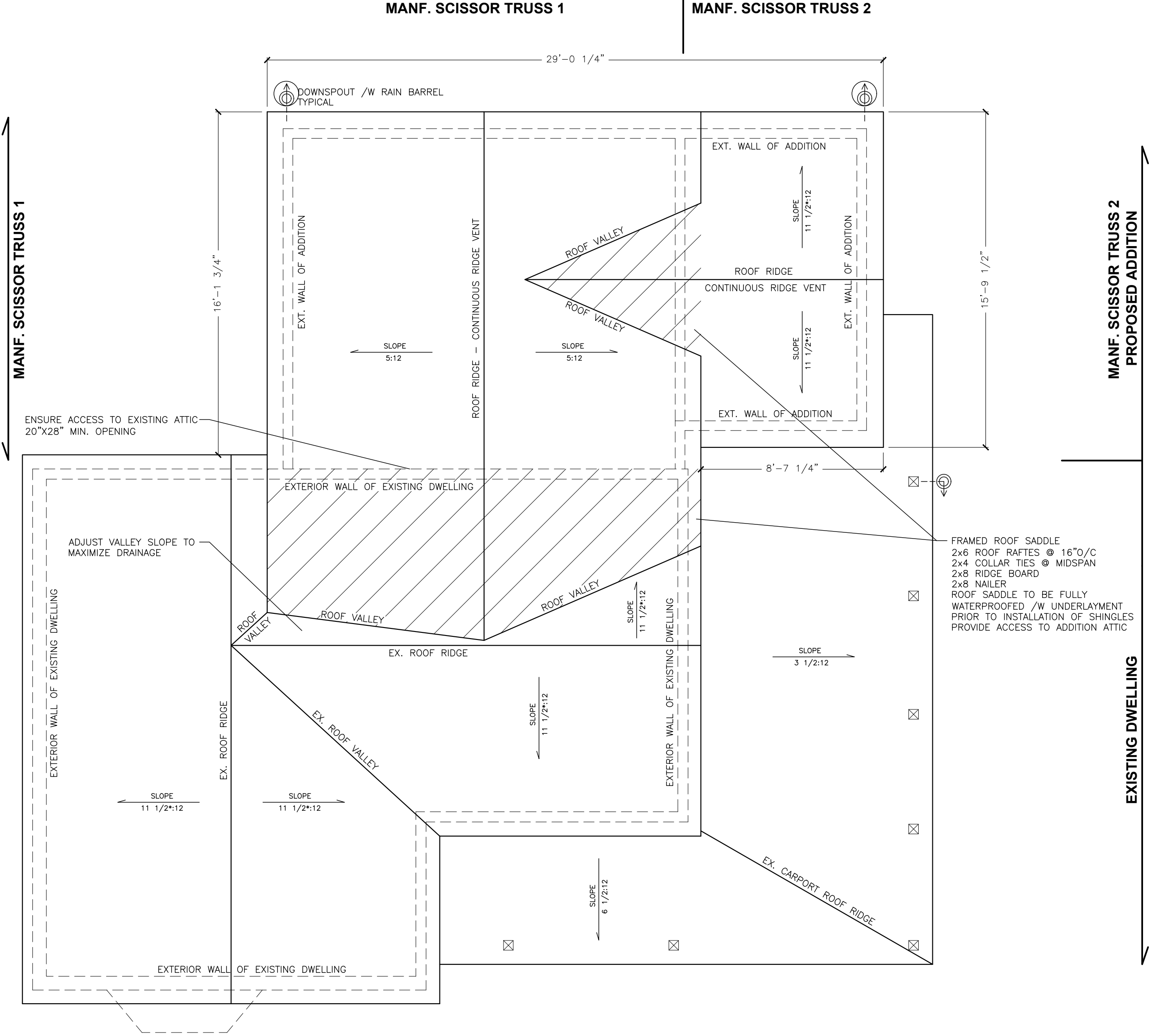
FOUNDATION & MAIN FL. PLANS

DATE: NOV. 21, 2024 SCALE: 1:50 (1/4" = 1'-0")

A03



SECOND FLOOR PLAN



ROOF PLAN

LEGEND / NOTES:

CROSS SECTION

STRUCTURAL MEMBER

STRUCTURAL BEAM / LINTEL

ENTRY POINT

WINDOW / DOOR

POINT LOAD FROM ABOVE
PROVIDE SOLID BEARING TO FOUNDATION BELOW
PROVIDE ADDITIONAL ANCHOR BOLT, EACH SIDE
OF ALL POINT LOAD BEARING POINTS
PROVIDE SOLID GROUTING IN FOUNDATION WALL
BELOW ALL POINT LOADS, TYPICAL

SBFA

WALLS:

W2 INSULATED 2X6 EXTERIOR WALL
STUCCO FINISH
FINISHING COAT
BASE COAT /W FIBRE GLASS MESH
TROWEL APPLIED AIR/VAPOUR BARRIER (OR EQUIV.)
EIFS – TIPS AROUND OPENINGS
2" STYROFOAM – DUREX QUANTUM
(RECOMMEND DIMPLE MEMBRANE DRAINAGE LAYER)

1/2" SHEATHING
2X6 @ 16"O/C, BLOCKING AT MIDPOINT
(CONTINUOUS TO UNDERSIDE ROOF STRUCTURE)
R22 MINERAL WOOL BATT INSULATION
6MIL VAPOUR BARRIER, OVERLAP & TAPE SEAMS
(RECOMMEND SMART VAPOUR RETARDER
PRO CLIMA DB+)

1/2" DRYWALL OR OTHER FINISH

W3 INTERIOR BEARING WALL
2X6 @ 16"O/C FRAMED WALL
DOUBLE TOP PLATE
BLOCKING AT MIDPOINT
PROVIDE GASKET BELOW BOTTOM PLATE
MIN. 6MIL POLY @ CRAWLSPACE

1/2" DRYWALL OR OTHER FINISH
UNFINISHED @ CRAWLSPACE

W4 2X4 INTERIOR WALL
2X4 @ 16"O/C FRAMED WALL, BLOCKING AT MIDPOINT
1/2" DRYWALL FINISH (OR OTHER FINISH)
UNFINISHED @ CRAWLSPACE

FLOORS:

*ALL FLOORING TRANSITIONS TO BE FLUSH
*FLUSH TO ADJACENT FINISHES @ NEW DINING RM. & UPPER
HALL ON SECOND FLOOR

FL2 INTERIOR FRAMED FLOOR
FRAMING MEMBERS AS NOTED, BLOCKING MID SPAN
3/4" T&G PLYWOOD, SCREWED AND GLUED
FLOOR FINISH, FLUSH TO ADJACENT FINISHES
1/2" DRYWALL TO UNDERSIDE OF FRAMING MEMBERS
UNFINISHED IN CRAWLSPACE

CEILING / ROOF:

CR1 INSULATED VAULTED CEILING
ASPHALT SHINGLES, CONTINUOUS RIDGE VENT
INSTALLED TO MANUFACTURER'S SPECIFICATIONS
MATCH TO EXISTING

VENTED ALUMINUM SOFFITS + FASCIA
ICE & WATER SHIELD TO ALL ROOF EAVES
TO MIN. 18" INSIDE INTERIOR WALL
1/2" OSB SHEATHING (RECOMMEND 5/8" PLY)
ON H-CLIPS

MANUFACTURED SCISSOR TRUSSES @ 24"O/C
INSTALL TO MANF. SPECIFICATIONS
SST H1 TIES OR PER SUPPLIER (TYPICAL)

PROVIDE 1.5" CLEAR AIR SPACE /W BAFFLES
R60 MIN. BLOW-IN INSULATION
6MIL VAPOUR BARRIER, OVERLAP & TAPE SEAMS
(RECOMMEND SMART VAPOUR RETARDER
PRO CLIMA DB+)

1/2" DRYWALL (OR OTHER FINISH)
MATCH DETAILS TO EXISTING ROOF FRAMING AND CEILING

NOTE:

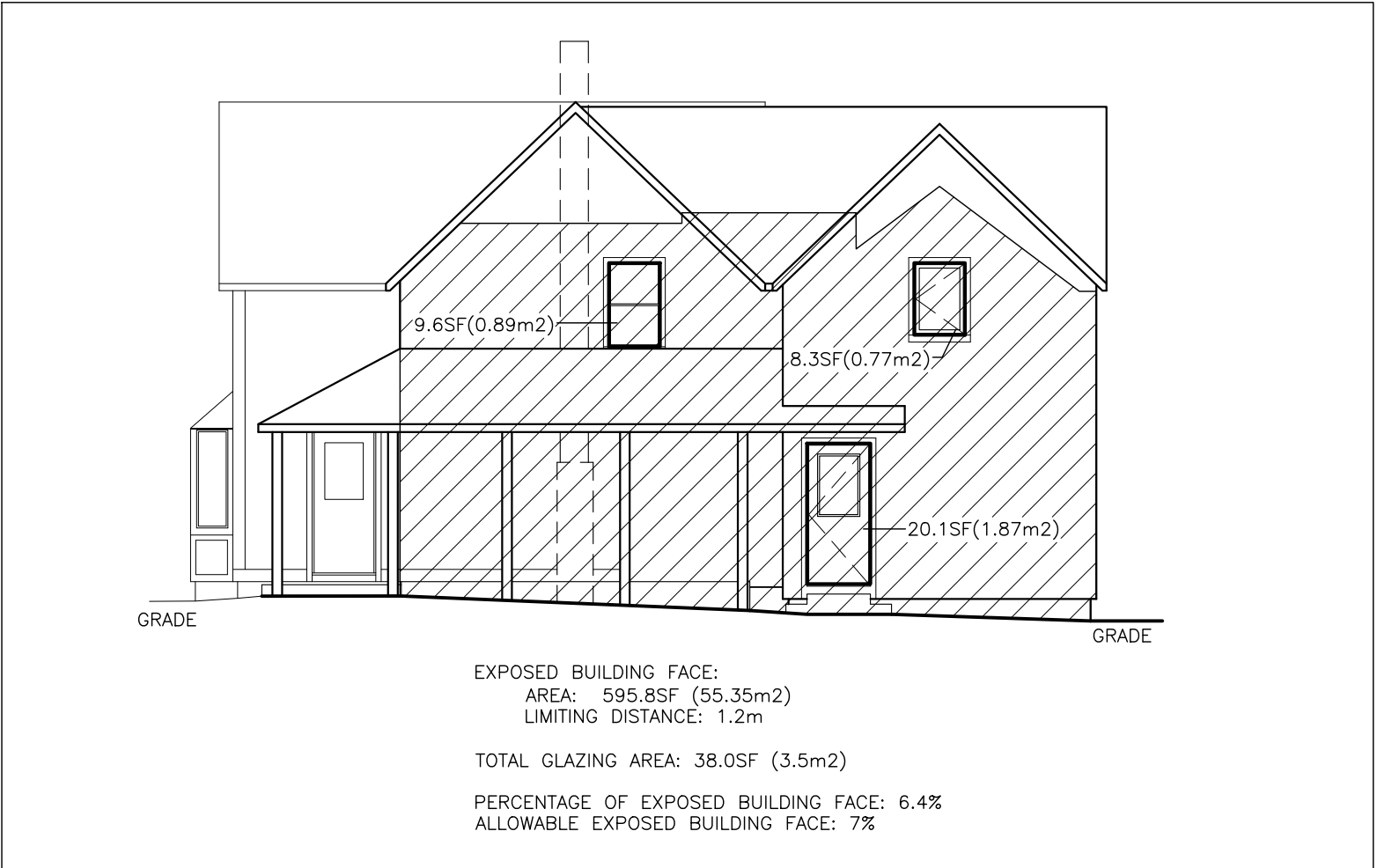
REFER TO TRUSS DETAIL PAGE A06.

CONTRACTOR TO CONFIRM ALL DIMENSIONS,
SOFFIT DETAILS, EX. SLOPE, SITE CONDITIONS
AND MAKE ADJUSTMENTS TO TRUSS DESIGN AS
NEEDED.

EXTERNAL SURFACE APPLIED WOOD DETAIL
PANELS TO SUIT FINAL DESIGN. CONFIRM ON
SITE.

CONTINUOUS RIDGE VENT WHERE NOTED, OR
EQUIVALENT FOR ADEQUATE VENTING.

NO CHANGES TO INTERIOR OF EXISTING
DWELLING.



PERCENTAGE OF GLAZED AREA CALCULATIONS
SCALE: 1/8" = 1'-0" (1:96)

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**MERNER
ROW
DESIGN**
LISA APPS | 647.704.5604
mernerrowdesign@gmail.com

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LISA APPS 112545
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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UNDER 3.2.4.1. OF THE BUILDING CODE

MERNER ROW DESIGN 115433
FIRM NAME BCIN

**PROPOSED
ADDITION**

**42 JOHN ST. S.
MISSISSAUGA**

**FLOOR & ROOF
PLANS**
DATE: NOV. 21, 2024 SCALE: 1:50
(1/4" = 1'-0")

A04



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LISA APPS		112545
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
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MERNER ROW DESIGN	115433
FIRM NAME	BCIN

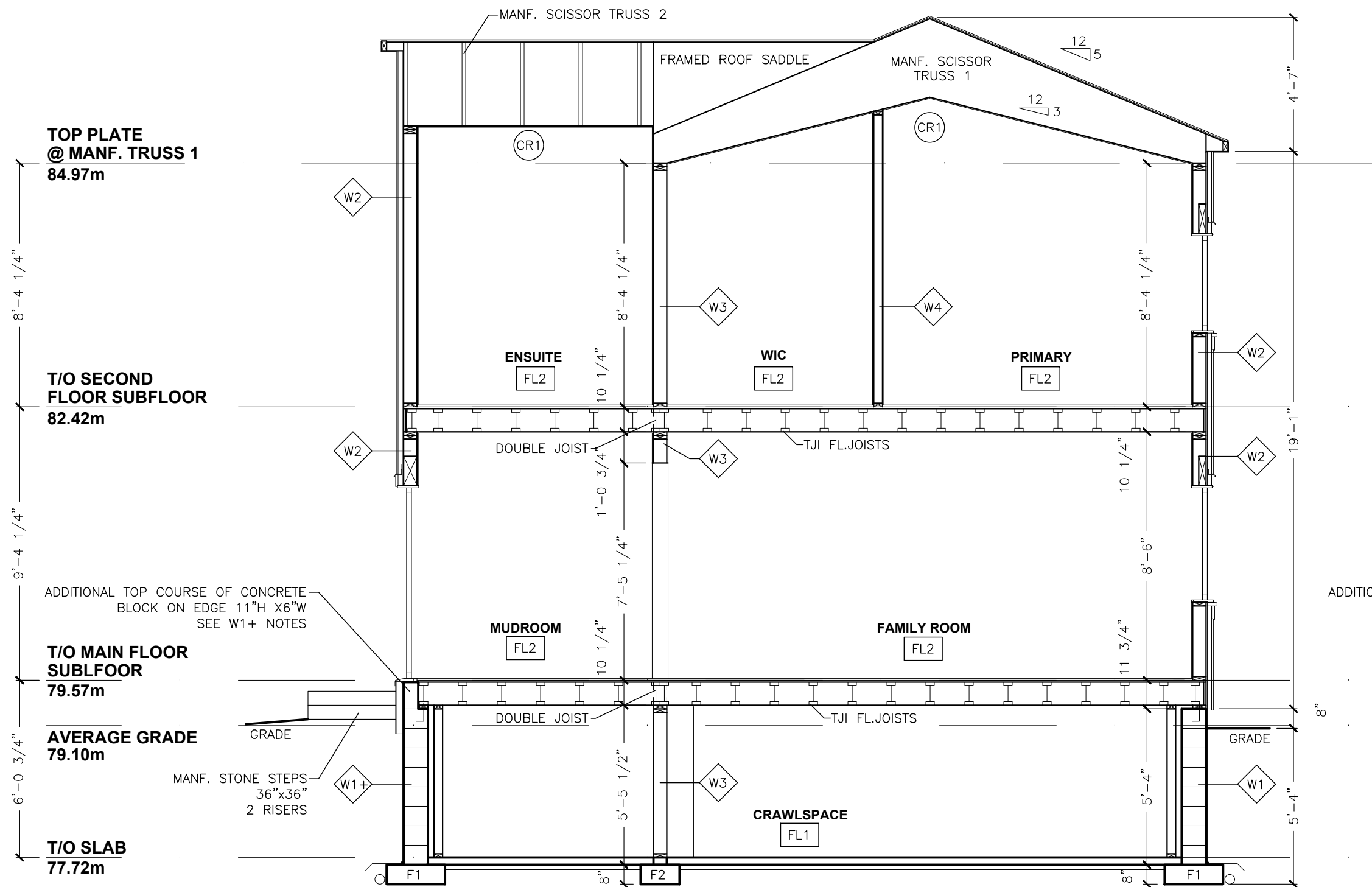
**PROPOSED
ADDITION**

**42 JOHN ST. S.
MISSISSAUGA**

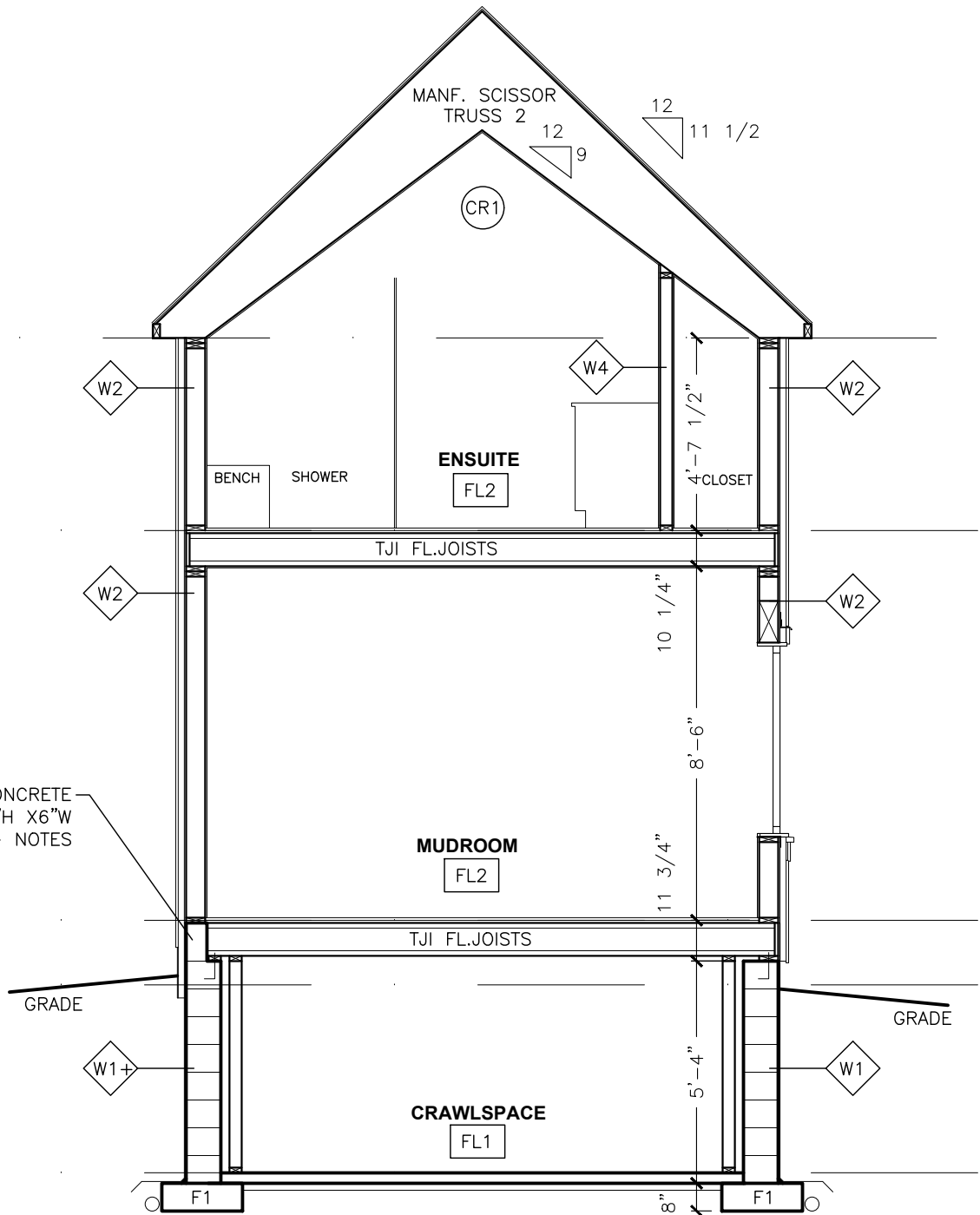
ELEVATIONS

DATE: NOV. 21, 2024 SCALE: 1:50
(1/4" = 1' 0")

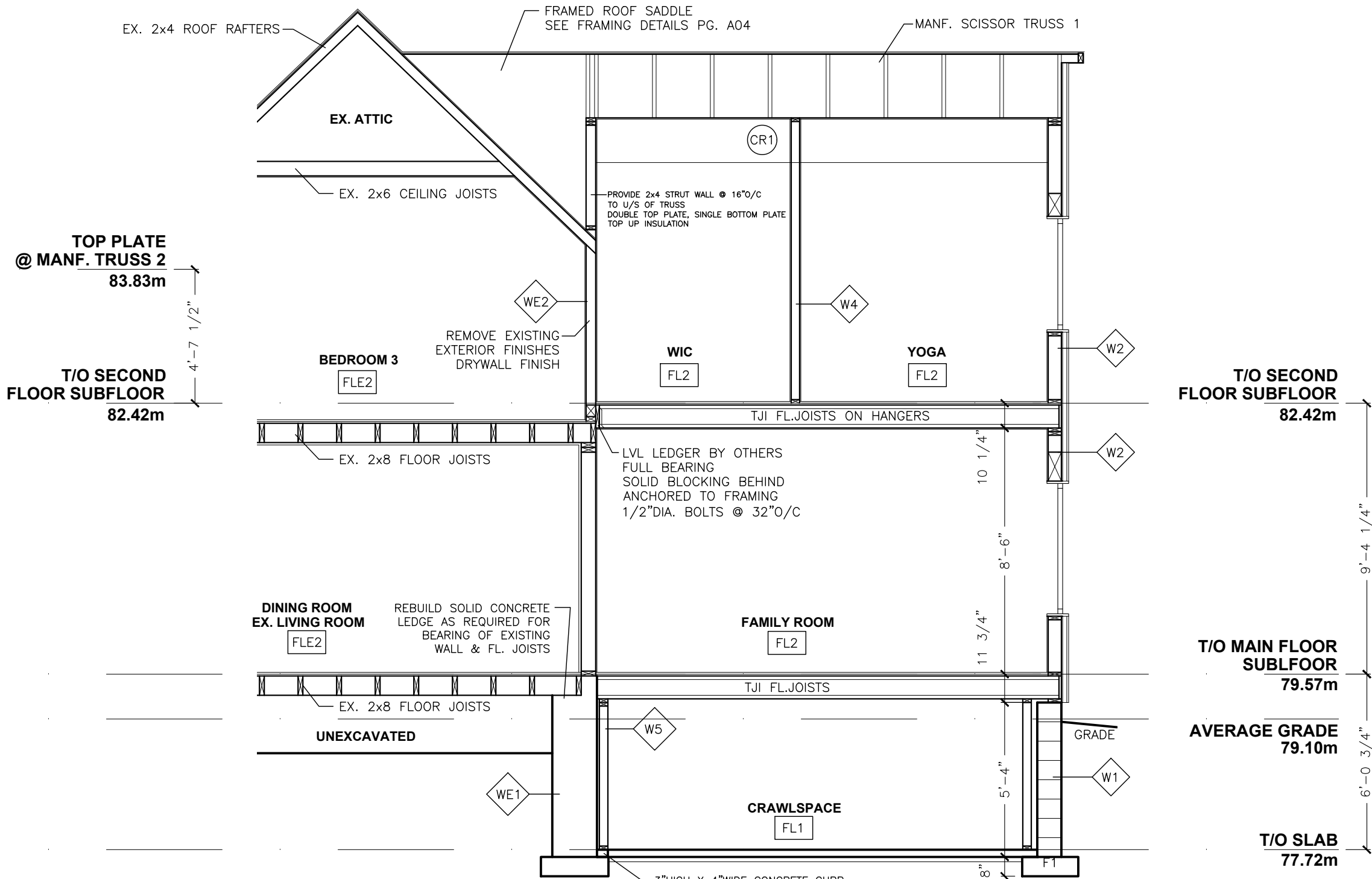
A05



CROSS SECTION A-A



CROSS SECTION B-B

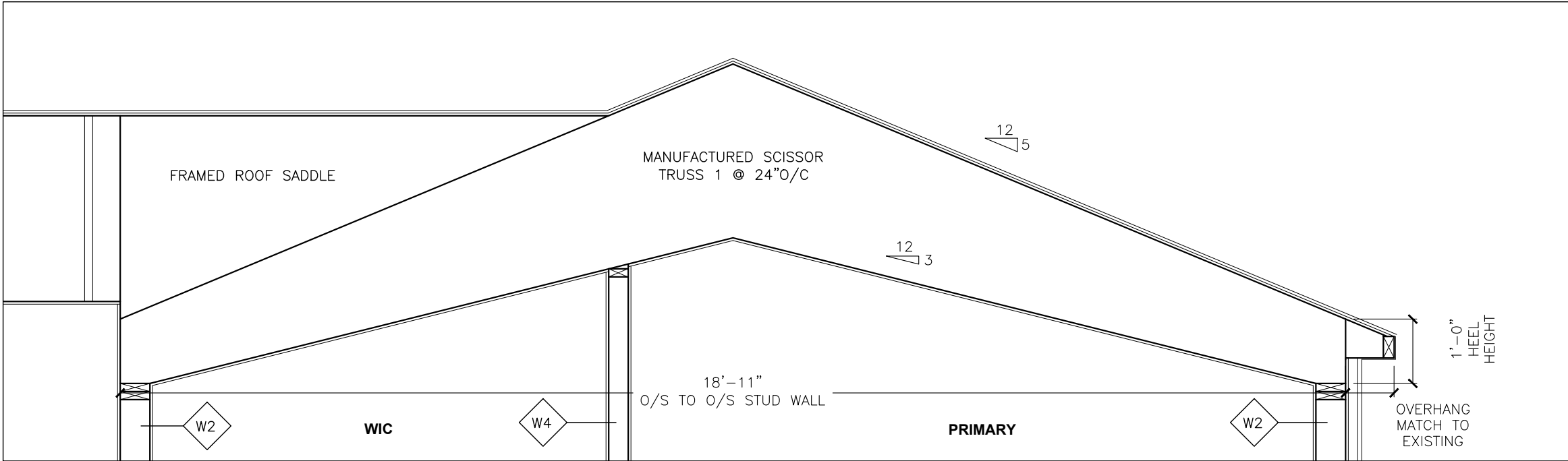


CROSS SECTION C-C

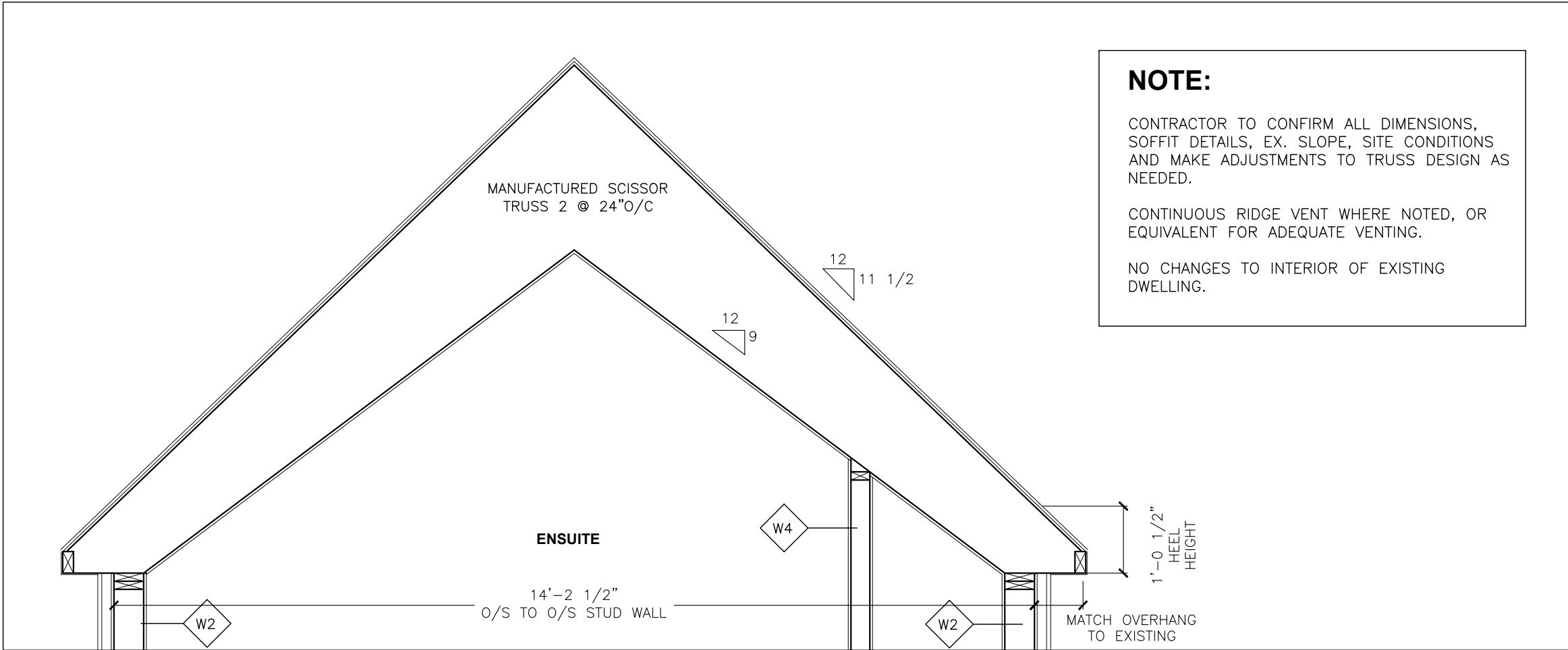
DESCRIPTION	UNIT WIDTH	UNIT HEIGHT	QTY	UNIT GLAZING	SILL HEIGHT
W1 SINGLE PANEL, CASEMENT	29"	41"	1	8.3SF	31"
W2 QUAD PANEL, CASEMENT	116"	48"	1	38.7SF	30"
W3 TRIPLE PANEL, CASEMENT	87"	48"	2	29.0SF	30 3/4"
W4 SINGLE PANEL, CASEMENT	30"	55.5"	1	11.8SF	25 1/2"
D1 ENTRY DOOR, INSULATED HALF GLAZED PANEL	34"	80"	1	20.1SF	N/A
D2 4 PANEL SLIDING DOOR	120"	80"	1	81.1SF	N/A

- * CONFIRM ALL WINDOW AND DOOR SIZES PRIOR TO COMMENCING CONSTRUCTION
- * CONFIRM ROUGH OPENING SIZE /W MANUFACTURER
- * ADJUST WINDOW/DOOR SIZES TO MANUFACTURER STANDARD SIZING TO MINIMIZE COST

EXTERIOR DOOR / WINDOW SCHEDULE



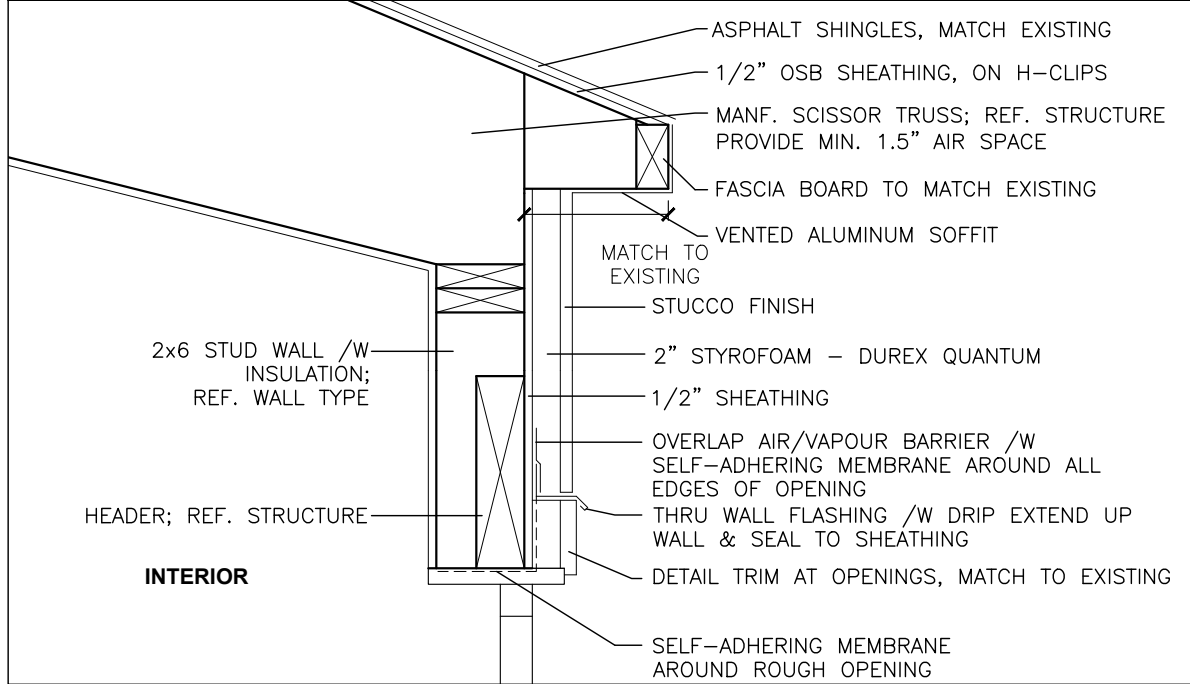
MANUFACTURED SCISSOR TRUSS 1 DETAIL
SCALE: 1/2" = 1'-0"



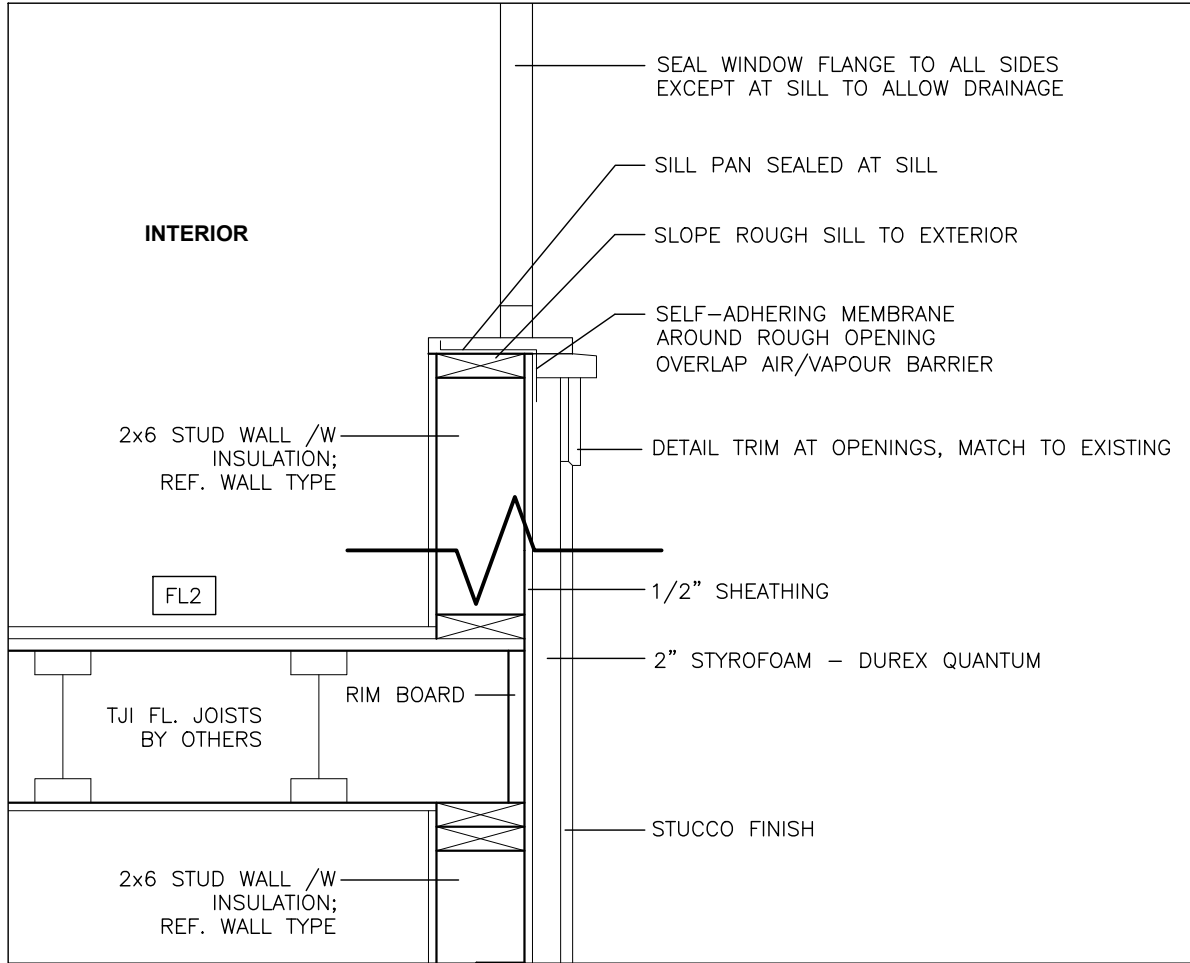
MANUFACTURED SCISSOR TRUSS 2 DETAIL
SCALE: 1/2" = 1'-0"

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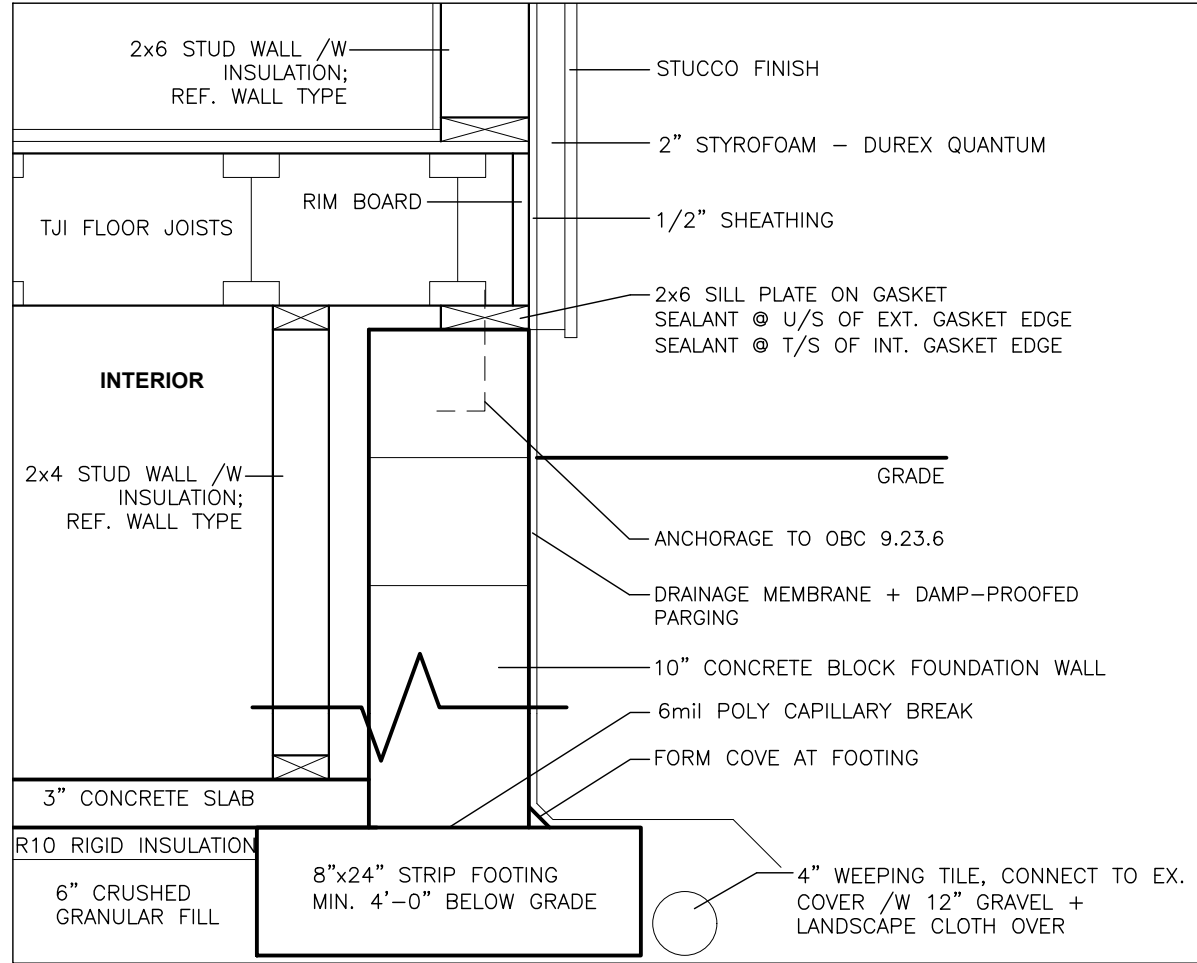
SEE LEGEND / NOTES PG. AO3, AO4



TYPICAL OPENING & OVERHANG DETAIL @ ADDITION
SCALE: 1" = 1'-0"



TYPICAL OPENING SILL DETAIL @ ADDITION
SCALE: 1" = 1'-0"



TYPICAL FOUNDATION DETAIL @ ADDITION
SCALE: 1" = 1'-0"

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MERNER ROW DESIGN | 115433
FIRM NAME | BCIN

PROPOSED ADDITION

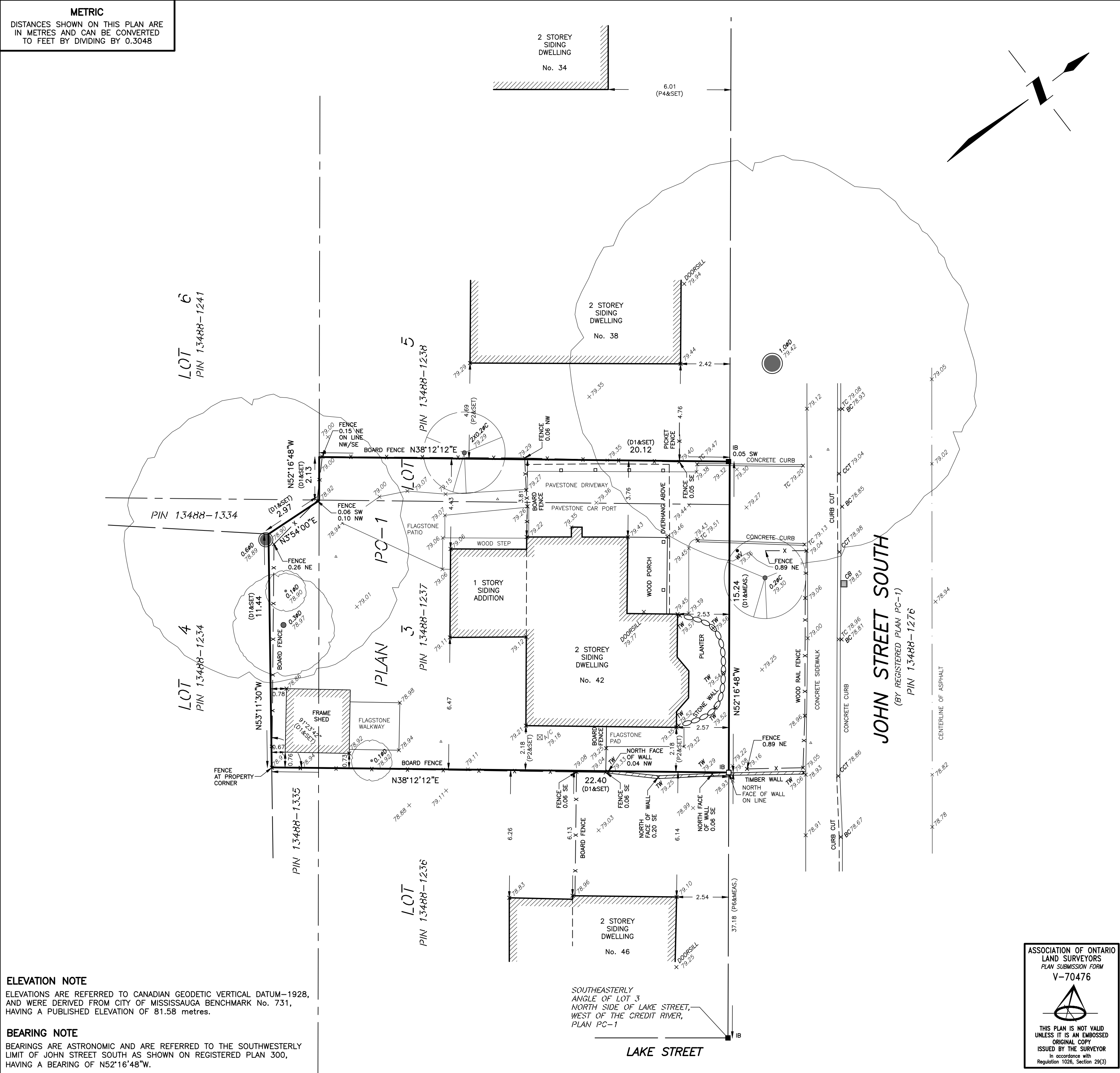
42 JOHN ST. S.
MISSISSAUGA

CROSS SECTIONS & TYP. DETAILS & WINDOW/DOOR SCHEDULE

DATE: NOV. 21, 2024 | SCALE: 1:50 (1/4" = 1'-0")

A06

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048

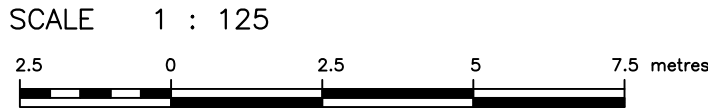


ELEVATION NOTE
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 731, HAVING A PUBLISHED ELEVATION OF 81.58 metres.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHWESTERLY LIMIT OF JOHN STREET SOUTH AS SHOWN ON REGISTERED PLAN 300, HAVING A BEARING OF N52°16'48"W.

SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF
**PART OF LOTS 3 AND 4,
NORTH SIDE OF LAKE STREET,
WEST OF THE CREDIT RIVER,
AND PART OF LOT 5,
SOUTH SIDE OF BAY STREET,
WEST OF THE CREDIT RIVER,
PLAN PC-1** (ALSO SHOWN ON PLAN 300)
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL



TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

© COPYRIGHT, 2024

REPORT SUMMARY

PROPERTY DESCRIPTION: 42 JOHN STREET SOUTH, BEING PART OF LOTS 3 AND 4, NORTH SIDE OF LAKE STREET, WEST OF THE CREDIT RIVER, AND PART OF LOT 5, SOUTH SIDE OF BAY STREET, WEST OF THE CREDIT RIVER, PLAN PC-1 (ALSO SHOWN ON PLAN 300), CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY OF PEEL, PIN 13488-1237.

EASEMENTS/RIGHTS-OF-WAY: NONE REGISTERED ON TITLE

COMMENTS:
1. NOTE LOCATION OF FENCES.
2. NOTE LOCATION OF THE TIMBER WALL ALONG THE SOUTHEASTERLY PROPERTY LIMIT.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB
CCT	DENOTES	CURB CUT
CB	DENOTES	CATCH BASIN
WV	DENOTES	WATER VALVE
TW	DENOTES	TOP OF WALL
P2	DENOTES	DUNNING & TAYLOR LTD., O.L.S., AUGUST 24, 1987
P4	DENOTES	JAMES AND WANDABENSE O.L.S., DEC. 19, 1952
P6	DENOTES	CHRISTOPHER PEAT O.L.S., NOV. 5, 1964
D1	DENOTES	INSTRUMENT R0943301

○ 0.20Ø DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

⊗ 0.20Ø DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR LINDSAY CRAWFORD AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

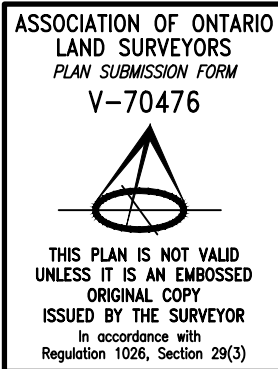
SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON MARCH 21, 2024.

MARCH 28, 2024
DATE

STEFAN JOANNOU
ONTARIO LAND SURVEYOR



TARASICK McMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com

DRAWN BY: K.H.

FILE No. 10050-SRPR-T

City of Mississauga

Memorandum



Date: May 8, 2025

To: Chair and Members of Heritage Advisory Committee

From: John Dunlop, Manager, Indigenous Relations, Heritage & Museums

Meeting date: June 10, 2025

Subject: **Request to Alter 1059 Old Derry Road (Ward 11)**

During the Meadowvale Village Heritage Conservation District Subcommittee meeting of April 29, 2025 the subcommittee approved the application for the alteration of two elements on the property as per Heritage Bylaw 0078-2018 S. 5.

The first alteration is to renovate the basement of the main dwelling into a secondary unit and the second alteration is to turn an existing structure in the rear of the property into an accessory dwelling unit.

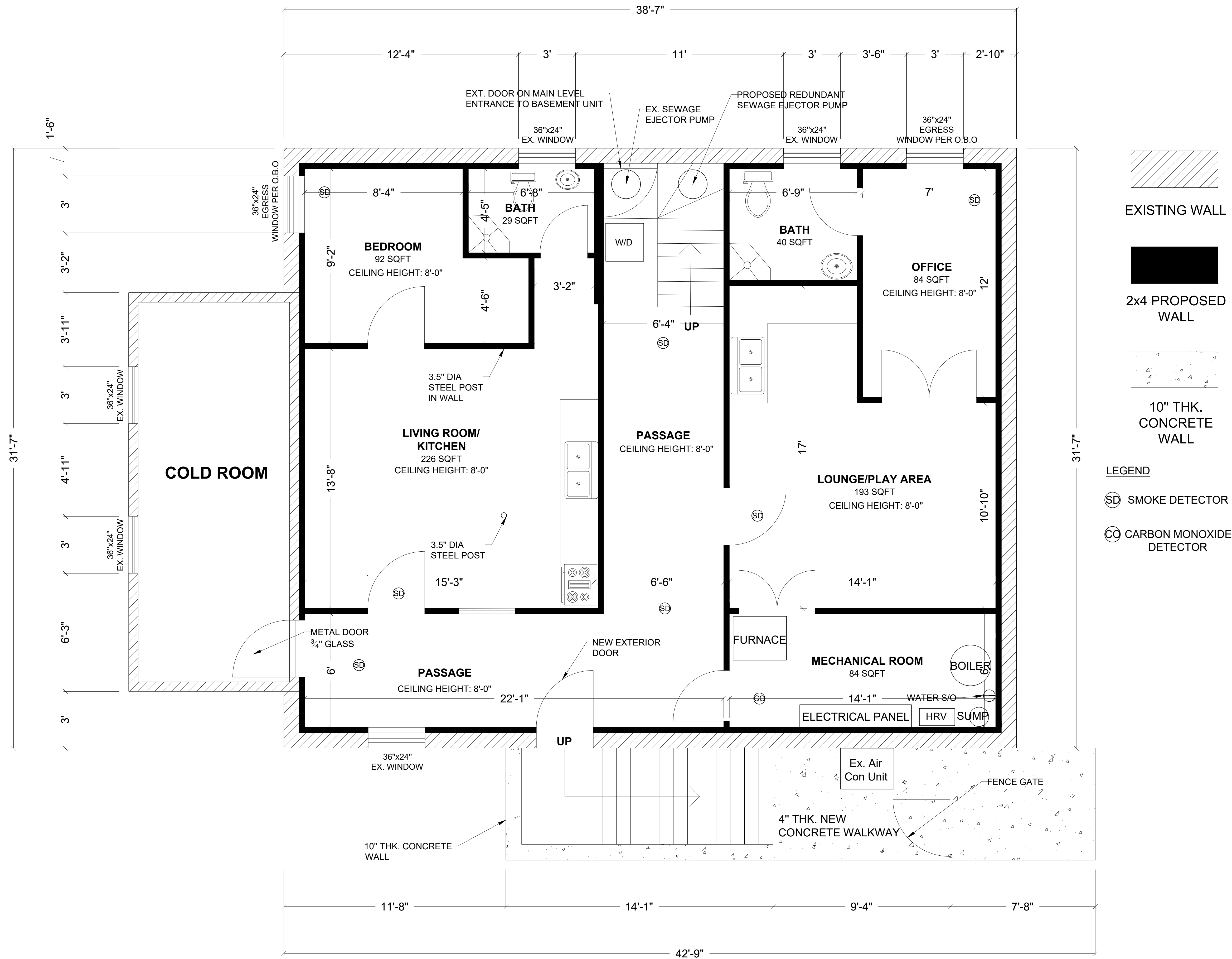
The basement renovation will include the creation of a walk-up entrance on the West side of the building. This basement entrance will be constructed out of concrete with a metal railing. This entrance will be behind an existing fence on the side of the building and not visible from the public realm (Appendix 1).

The second proposed alteration is turning an existing structure at the rear of the property into an accessory dwelling unit. To turn this structure into an additional unit the property owner is proposing to replace an existing window and add two windows to window openings that had previously been covered up (Appendix 2). These windows match the materials used on the main dwelling windows. Two additional windows will be installed below the peak of the roof on the Northwest and Southeast elevations. There will also be a replacement door installed, and a new door added to the rear of the structure. This structure is located in the rear of the property and not visible from the public realm.

Attachments

Appendix 1: Site Plan
Appendix 2: Drawings

Prepared by: Andrew Douglas, Heritage Analyst, Indigenous Relations, Heritage & Museums



PROPOSED BASEMENT FLOOR PLAN

Area: 1279 Sq.ft

PROJECTS:
BASEMENT REMODELING
1059 OLD DERRY ROAD, MISSISSAUGA, ON, CANADA

Revisions:

NO.	DATE	DESCRIPTION

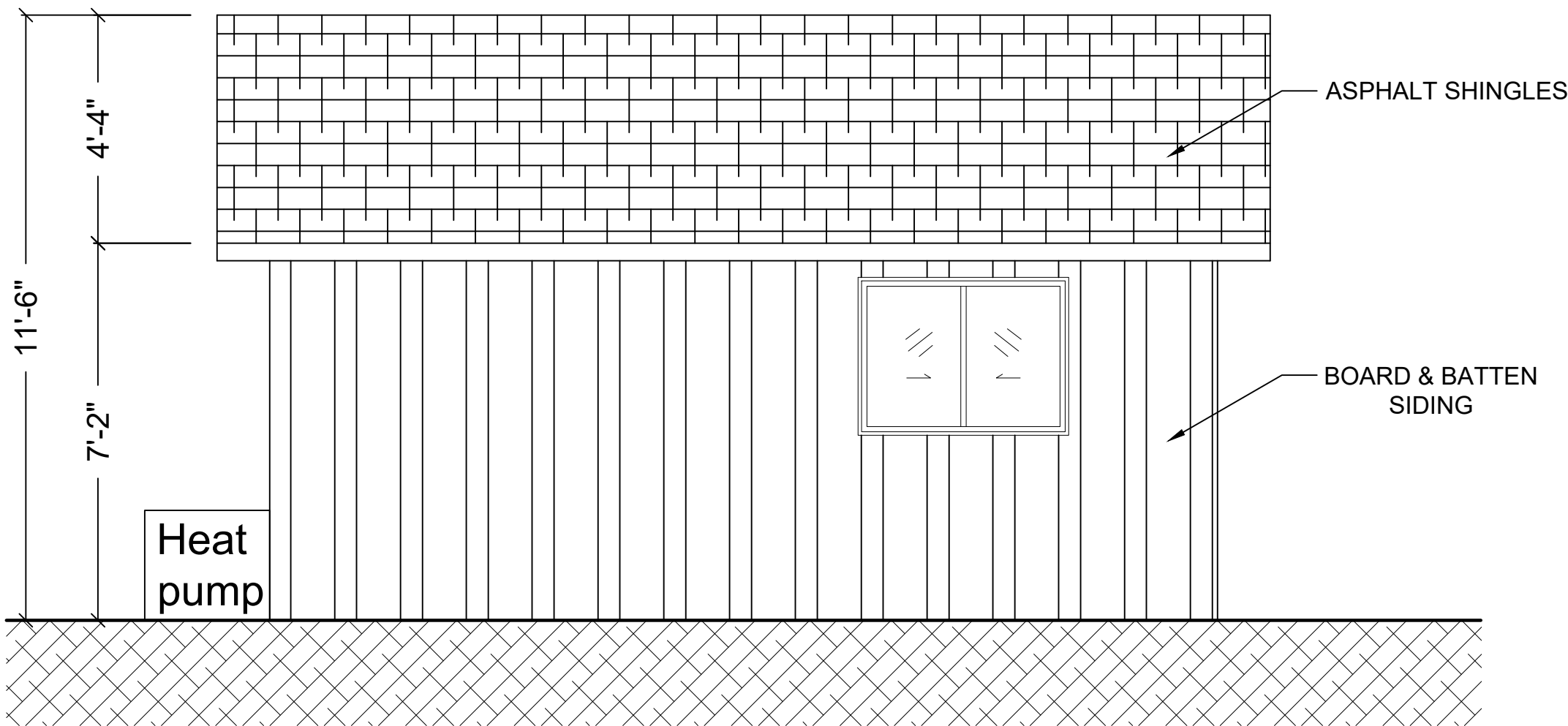
Professional Seal:

03/07/25

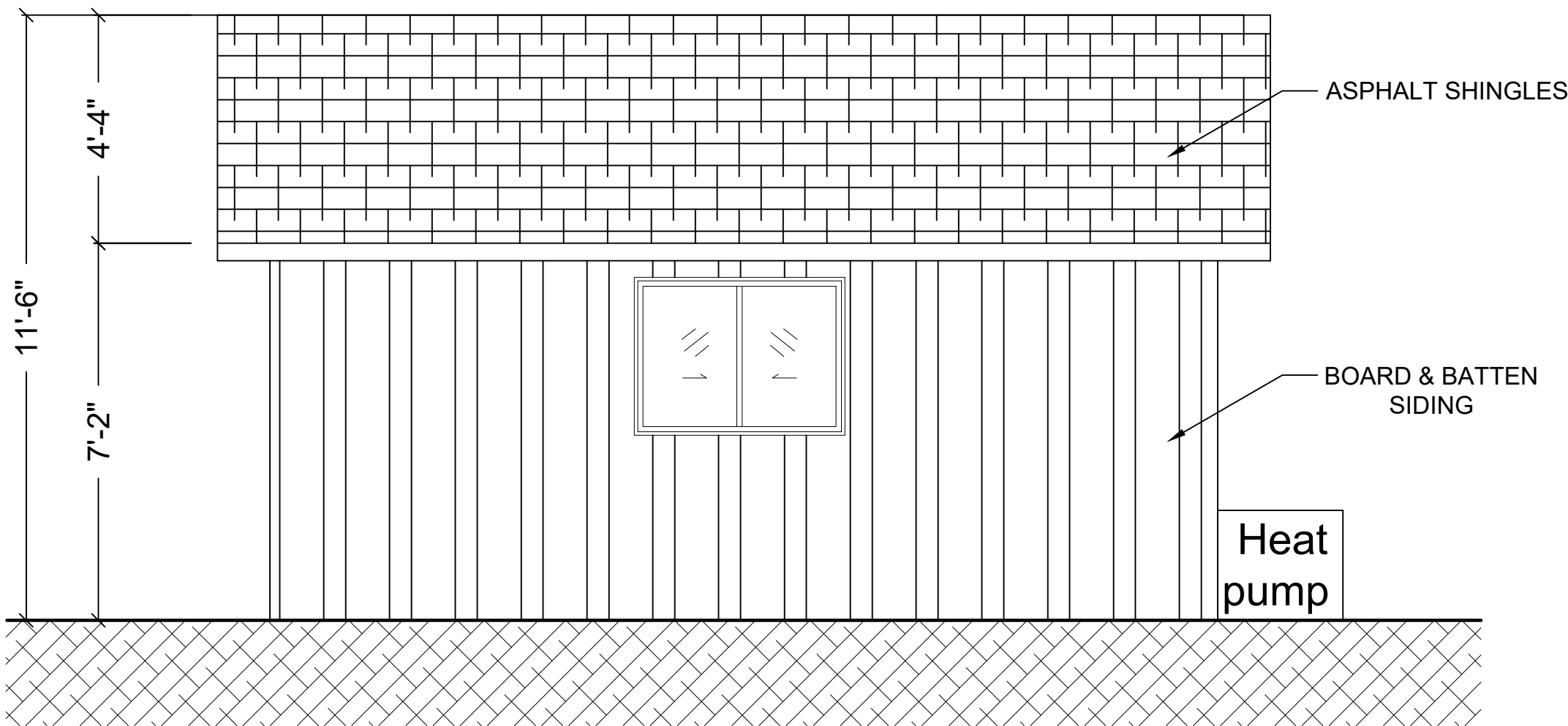
Project No: _____
Designer: _____
Drawn: _____
Checked: _____
Date: _____
Scale: 3/8"=1'-0"

Drawing Title:
**PROPOSED
BASEMENT
FLOOR PLAN**

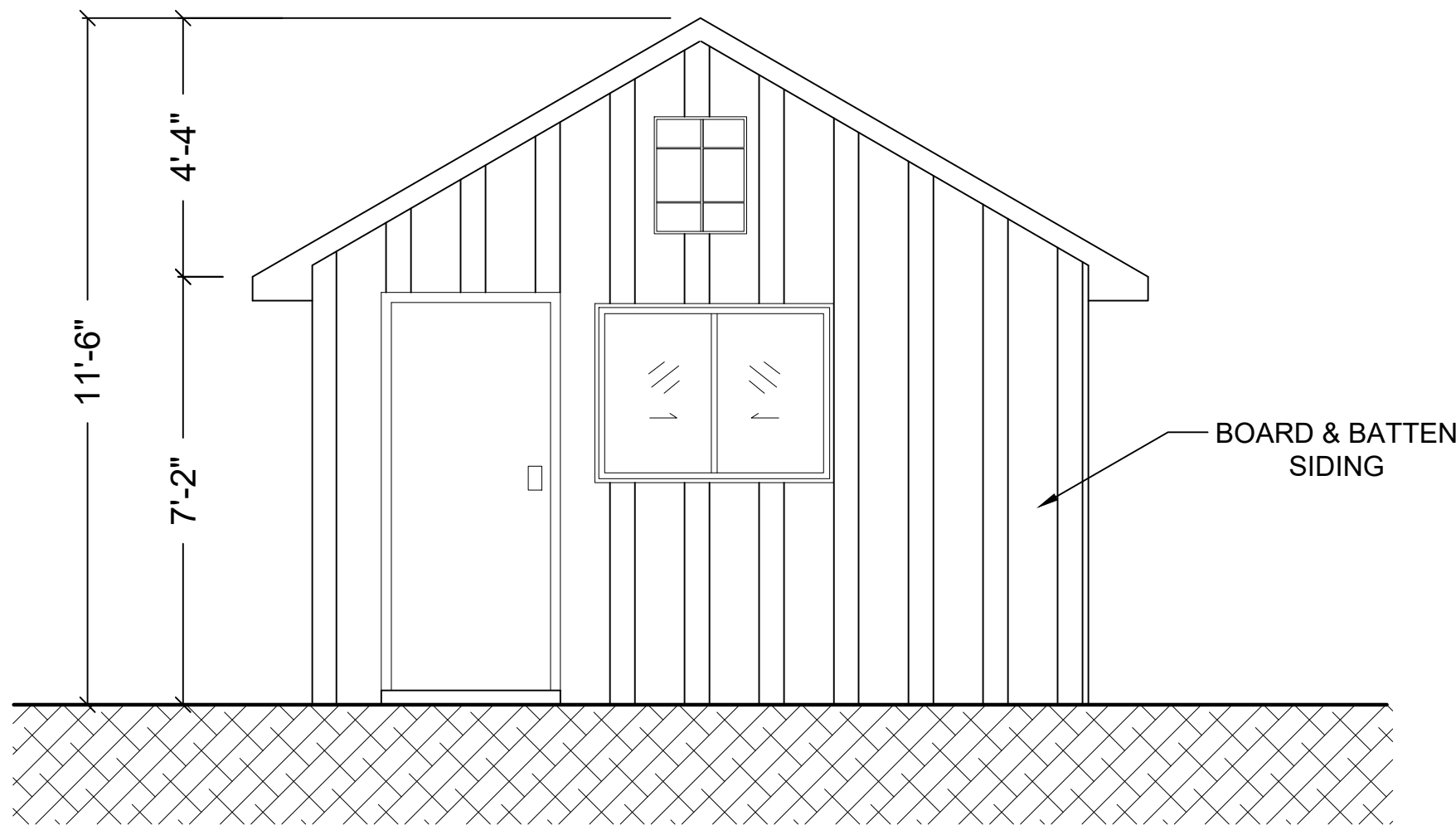
Sheet No:
A03



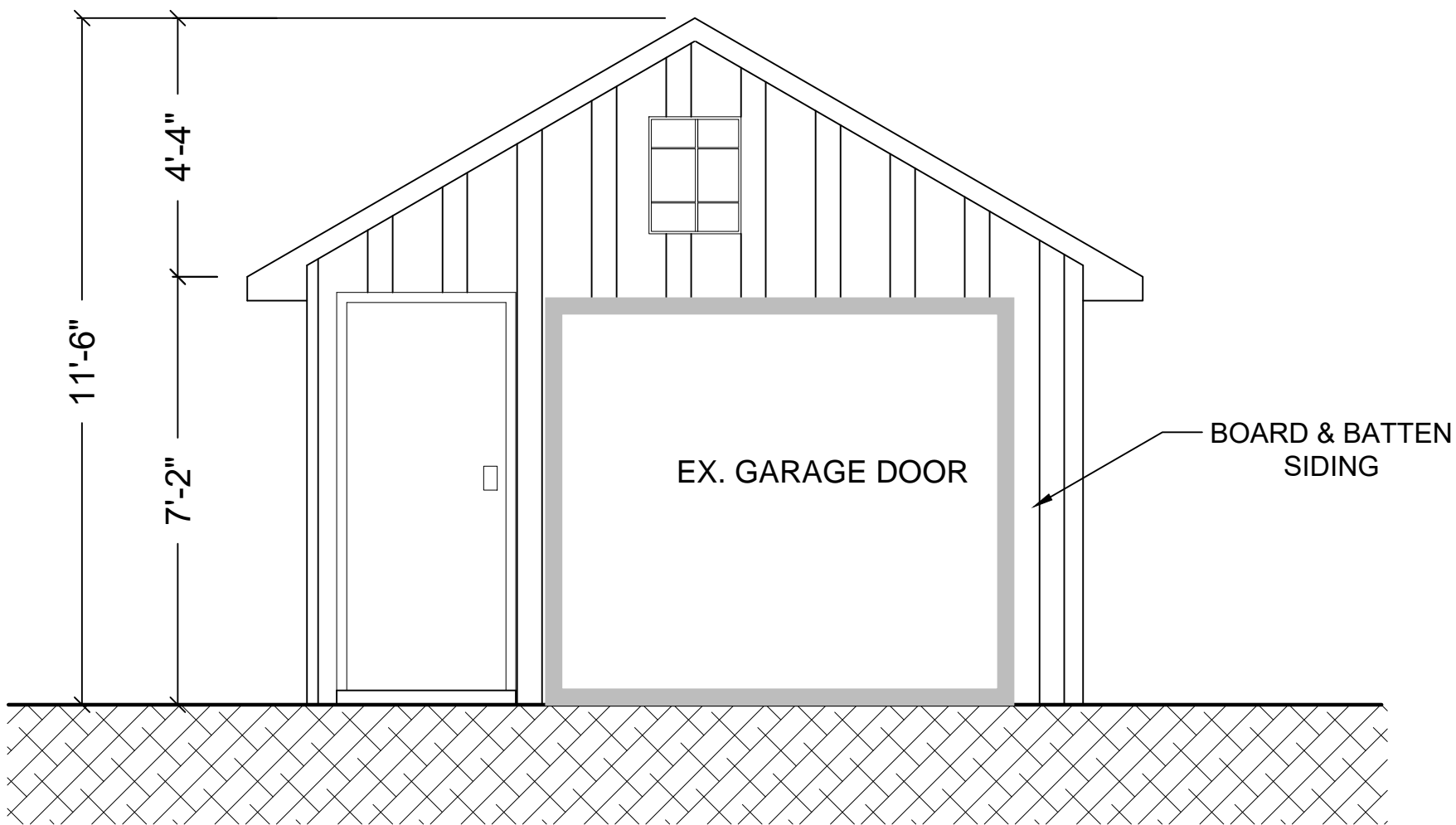
SOUTH WEST ELEVATION



NORTH EAST ELEVATION



NORTH WEST ELEVATION



SOUTH EAST ELEVATION

PROJECTS:
PROPOSED A.D.U
1059 OLD DERRY ROAD, MISSISSAUGA, ON, CANADA

Revisions:

NO.	DATE	DESCRIPTION

Professional Seal:

03/07/25

Project No: _____
Designer: _____
Drawn: _____
Checked: _____
Date: _____
Scale: 3/8"=1'-0" _____

Drawing Title:

ELEVATIONS

Sheet No:

A03

City of Mississauga Memorandum



Date: May 22, 2025

To: Chair and Members of Heritage Advisory Committee

From: Nadia Paladino, Director, Parks, Forestry and Environment

Meeting date: June 10, 2025

Subject: **Mississauga Mural, Celebration Square (Ward 4)**

The City of Mississauga's Public Art team has commissioned a large-scale mural that celebrates Mississauga's history, cultural diversity, natural environment, Indigenous leadership, and name "MISSISSAUGA". The mural is being created by a team of internationally renowned artists who come from diverse backgrounds.

The project was carried out through engagement with the community and with the Mississaugas of the Credit First Nation, from whom the City derives its name.

The mural is titled "Come Together" and will be installed on the interior and exterior of the Amphitheater at Celebration Square, fronting Prince of Wales Drive and Square One Shopping Centre. Details about the artists, their concept and inspiration can be found in Appendix 1.

City Centre Precinct, including City Hall, Hazel McCallion Central Library and Celebration Square, are all listed properties on the City's Heritage Register. While no permit is required for this work, information regarding the mural is presented to the Heritage Advisory Committee for information.

Attachments

Appendix 1: Mississauga Mural Information Package

Prepared by: John Dunlop, Manager, Indigenous Relations, Heritage and Museums

Mississauga Mural

Public Art Plan

May 22, 2025



Project Background

- Mississauga's [public art program](#) commissioned professional artists Que Rock, Alex Bacon, and PERU143 to create a large-scale mural that celebrates Mississauga's history, cultural diversity, natural environment, Indigenous leadership, and name "MISSISSAUGA"
- The artists were selected through a two-stage open call to artists, juried by a panel of arms-length arts professionals, community members, and subject matter experts
- In the first stage, three artists were shortlisted to prepare detailed proposals. In the second stage, the shortlisted artists participated in a public survey and social media campaign, to ensure the mural design was co-created with MCFN and city residents
- MCFN leadership also reviewed and provided feedback on the artwork proposals

Selected Artwork: *Come Together*

- Que Rock (Nipissing First Nation), Alex Bacon and PERU143 are internationally-renowned artists with 20+ years of experience
- Their mural ***Come Together*** will be painted on the stucco walls of the amphitheatre at Mississauga Celebration Square (no paint on the yellow brick)
- The artists chose colours that harmonized well with the yellow brick and other architectural features of Civic Centre
- “The mural calls on all of us, regardless of our differences to *Come Together*, to realize that our fates are interconnected, regardless of where we started, where we are now, and where we want to go” – Que Rock

Selected Artists: Past Work



Artwork Concept

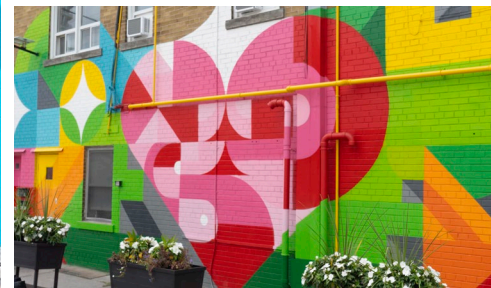
- Inspired by an Anishinaabe peace story, represented throughout the mural imagery and composition
- “This mural is a visual dialogue between the land’s past, its present and future and serves as a reminder that our diverse cultural roots are the foundation upon which Mississauga has blossomed into a city that thrives on unity and inclusivity through diversity.” – Que Rock
- “We hope to inspire conversations about change, the strength that comes from diversity, and the perpetual growth that can come when we invest in relationships and celebrate our interconnectedness.” – Que Rock
- **Note: The following images are renderings; the final artwork may not be exactly the same**

View from Duke of York Blvd:

- “MISSISSAUGA” painted by PERU143 in geometric patterns
- PERU143 is a Peruvian-Canadian artist with work on the International Space Station. His family lives in Mississauga.



Artist: Past Work of Peru143



**View from south parking lot
entrance/walkway to
Celebration Square:**

- Part of Que Rock's portion, honouring the sun and earth and Mississauga's Indigenous history
- Que Rock is an Anishinaabe artist and musician, recently commissioned by the NFL to design a football



**View from north parking lot
entrance/walkway to
Celebration Square:**

- Part of Que Rock's portion, honouring the earth and water and Mississauga's Indigenous history



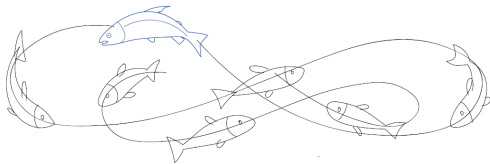
**South wall (around bathrooms),
facing the interior of the
amphitheatre**

- Painted by Que Rock, honouring Mississaugas of the Credit First Nation, Anishinaabe people, the Credit River, and the salmon
- In a public survey, the salmon was one of the top voted animals that Mississauga residents felt represented the city



**North wall (around bathrooms),
facing the interior of the
amphitheatre**

- Painted by Que Rock, honouring the salmon and Indigenous history
- Throughout the composition, salmon swim in an infinite loop, symbolizing past, present and future



Fish swim in an infinite loop

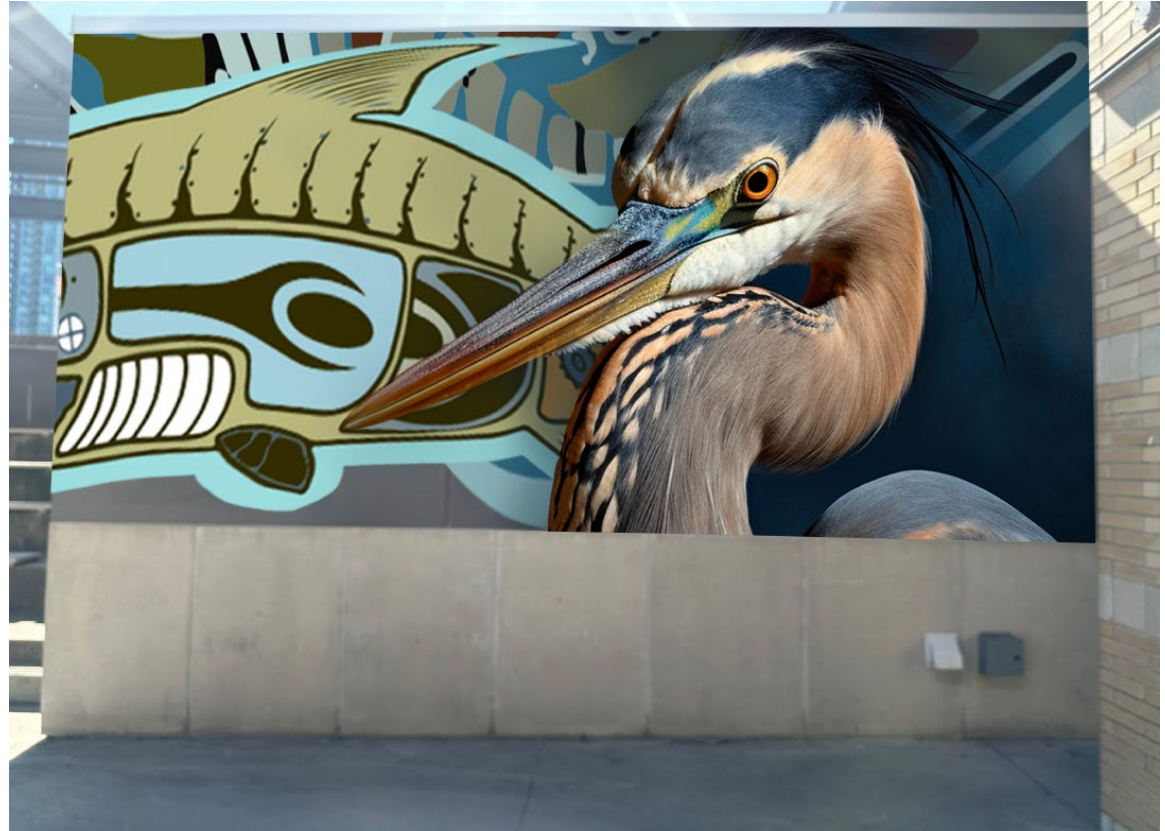


Artist: Past Work of Que Rock



**South wall (around bathrooms),
facing the interior entrance**

- Painted by Alex Bacon
- The heron, known as a water bird, symbolizes Mississauga's identity as a people connected to water
- In a public survey, the heron was one of the top voted animals that Mississauga residents felt represented the city
- Alex Bacon regularly travels around the world and is widely considered one of the most technically skilled muralists in Canada



**North wall (around bathrooms),
facing someone walking into the
amphitheatre**

- Painted by Alex Bacon
- The coyote, painted with a glass-like sheen, looks towards the future
- In a public survey, the coyote was one of the top voted animals that Mississauga residents felt represented the city
- The coyote is also connected to Anishinaabe mythology



Artist: Past Work of Alex Bacon



Next Steps

- Stucco repair – May 2025
- Mural painting – June 8-June 20, 2025 (pending weather)
- Artwork may be completed in time for celebration during National Indigenous Peoples Day – June 21, 2025
- Artwork lifespan – the artwork is part of the City's temporary collection, so it will be painted over once its lifespan is over

City of Mississauga

Memorandum



Date: May 22, 2025

To: Chair and Members of Heritage Advisory Committee

From: Nadia Paladino, Director, Parks, Forestry and Environment

Meeting date: June 10, 2025

Subject: **Revised Ontario Heritage Tool Kit**

The Province of Ontario has published a revised Ontario Heritage Tool Kit. The tool kit is a set of guidance documents meant to inform how to interpret the actions undertaken through the Ontario Heritage Act as well as best practice approaches to conservation of heritage resources. The tool kit provides information for Heritage Advisory Committees, Designations, HCDs, Places of Worship as well as provincial-level standards for heritage properties.

The tool kit was last published in 2006 and the revised version includes updates which reflect the change from the following legislation:

- Bill 108 (More Homes, More Choice Act, 2019)
- regulatory changes to O. Reg. 9/06 and O. Reg 385/21
- Bill 23 (The More Homes Built Faster Act, 2022)
- Bill 139 (Less Red Tape, More Common Sense Act, 2023) and
- Bill 200 (The Homeowner Protection Act, 2024).

The revised tool kit is available as an online document at: <https://www.ontario.ca/page/ontario-heritage-tool-kit>.

Prepared by: John Dunlop, Manager, Indigenous Relations, Heritage and Museums