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## Port Credit Heritage Conservation District Subcommittee

**Date:** July 7, 2025  
**Time:** 9:30 AM  
**Location:** Online Video Conference

### Members

Councillor Stephen Dasko	Ward 1
Antoine Musiol	Citizen Member (Chair)
Louie Manzo	Citizen Member
Renee Szuhai	Citizen Member
Stuart Garner	Citizen Member
Robert Denhollander	Citizen Member
Robert Doyle	Citizen Member

**To Request to Speak on Agenda Items** - Advance registration is required. To make a Deputation please email Martha Cameron, Legislative Coordinator at [martha.cameron@mississauga.ca](mailto:martha.cameron@mississauga.ca) or call 905-615-3200 ext. 5438 no later than **Thursday, July 3, 2025 before 4:00 PM**.

**Questions for Public Question Period** – To pre-register for Public Question Period, questions may be provided to the Legislative Coordinator at least 24 hours in advance of the meeting. Following the preregistered questions, if time permits, the public may be given the opportunity to ask a question on an agenda item. Virtual participants must pre-register.

**Virtual Participation - Meetings of the Port Credit Heritage Conservation District Subcommittee Advisory Committee will not be streamed or posted.** To speak during the virtual meeting or if you do not have access to the internet, contact the Legislative Coordinator and you will be provided with directions on how to participate. Comments submitted will be considered as public information and entered into the public record.

### Contact

Martha Cameron, Legislative Coordinator, Legislative Services  
905-615-3200 ext. 5438  
Email [martha.cameron@mississauga.ca](mailto:martha.cameron@mississauga.ca)

**NOTE:** To support corporate waste reduction efforts the large appendices in this agenda can be viewed online.

### Find it Online

<http://www.mississauga.ca/portal/cityhall/heritageadvisory>



1. **CALL TO ORDER**

2. **INDIGENOUS LAND STATEMENT**

“We acknowledge the lands which constitute the present-day City of Mississauga as being part of the Treaty and Traditional Territory of the Mississaugas of the Credit First Nation, The Haudenosaunee Confederacy the Huron-Wendat and Wyandotte Nations. We recognize these peoples and their ancestors as peoples who inhabited these lands since time immemorial. The City of Mississauga is home to many global Indigenous Peoples.

As a municipality, the City of Mississauga is actively working towards reconciliation by confronting our past and our present, providing space for Indigenous peoples within their territory, to recognize and uphold their Treaty Rights and to support Indigenous Peoples. We formally recognize the Anishinaabe origins of our name and continue to make Mississauga a safe space for all Indigenous peoples.”

3. **APPROVAL OF AGENDA**

4. **DECLARATION OF CONFLICT OF INTEREST**

5. **MINUTES OF PREVIOUS MEETING**

5.1 Draft Port Credit Heritage Conservation District Subcommittee minutes - May 26, 2025

6. **DEPUTATIONS**

Any member of the public interested in making a deputation to an item listed on the agenda must register by calling 905-615-3200 ext. 5438 or by emailing [martha.cameron@mississauga.ca](mailto:martha.cameron@mississauga.ca) by Thursday, July 3, 2025 before 4:00 PM.

Each Deputation to the Subcommittee is limited to speaking for not more than 10 minutes.

Pursuant to Section 57.1 of the Council Procedure By-law 0044-2022, as amended:

Deputations shall be received and the matter shall be referred to staff for a report, unless there is a resolution or recommendation passed to “receive” the Deputation. After a Deputation is completed, Members shall each have one opportunity to make a preamble statement and ask questions to the Deputant(s) or staff for clarification purposes only, and without debate.

6.1 Cherie Ng, Architect of Cherie Ng Architect Inc., with respect to Clarke Memorial Hall Restoration



7. **PUBLIC QUESTION PERIOD**

**Public Comments:** Members of the Public that have a question about an item listed on the agenda may pre-register by contacting the Legislative Coordinator at least 24 hours in advance of the meeting. Following the registered speakers, if time permits the Chair will acknowledge members of the public who wish to ask a question about an item listed on the agenda. Virtual participants must pre-register.

Pursuant to Section 58 of the Council Procedure By-law 0044-2022, as amended:

The Port Credit Heritage Conservation District Subcommittee may grant permission to a member of the public to ask a question of the Port Credit Heritage Conservation District Subcommittee with the following provisions:

1. Questions may be submitted to the Clerk at least 24 hours prior to the meeting;
2. A person is limited to two (2) questions and must pertain specific item on the current agenda and the speaker will state which item the question is related to;
3. The total speaking time shall be five (5) minutes maximum, per speaker, unless extended by the Mayor or Chair; and
4. Any response not provided at the meeting will be provided in the format of a written response.

8. **MATTERS TO BE CONSIDERED**

8.1 161 Lakeshore Road West (Ward 1)

9. **OTHER BUSINESS**

10. **DATE OF NEXT MEETING**

August 25, 2025 at 9:30 AM

11. **ADJOURNMENT**



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## Port Credit Heritage Conservation District Subcommittee

**Date:** May 26, 2025  
**Time:** 9:30 AM  
**Location:** Online Video Conference

Members Present	Antoine Musiol	Citizen Member (Chair)
	Louie Manzo	Citizen Member
	Renee Szuhai	Citizen Member
	Stuart Garner	Citizen Member
	Robert Denhollander	Citizen Member (arrived at 9:59 AM)
	Robert Doyle	Citizen Member
Members Absent	Councillor Stephen Dasko	Ward 1

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### Staff Present

John Dunlop, Manager, Indigenous Relations, Heritage and Museums  
Paula Wubbenhorst, Heritage Planner  
Martha Cameron, Legislative Coordinator



1. CALL TO ORDER

Antoine Musiol, Chair called the meeting to order at 9:33 AM.

2. INDIGENOUS LAND STATEMENT

Antoine Musiol, Chair recited the Indigenous Land Statement.

3. APPROVAL OF AGENDA

Approved (R. Doyle)

4. DECLARATION OF CONFLICT OF INTEREST - Nil

5. MINUTES OF PREVIOUS MEETING

5.1 Draft Port Credit Heritage Conservation District Subcommittee minutes - March 3, 2025

Approved (S. Garner)

6. DEPUTATIONS

There were no deputations presented.

7. PUBLIC QUESTION PERIOD

There were no questions registered by the public.

8. MATTERS TO BE CONSIDERED

8.1 Request to Alter 18 John Street South (Ward 1)

Subcommittee members spoke to the application and noted concerns with the symmetry of the pitch, proposed parking, window design and divisions of the side lights.

Staff spoke to the concerns of the Subcommittee and permit conditions that would see a redesign on the west Port side elevation.

RECOMMENDATION PCHCD-0003-2025

Moved By S. Garner

1. That the request to alter 18 John Street South (Ward 1), as per the memorandum from John Dunlop, Manager of Indigenous Relations, Heritage & Museums, dated April 22, 2025, be approved with the following conditions;
2. That the Port Street West elevation be more symmetrical with regards to the roof line;
3. That the parking and curb cut on Port Street West be identified on the site plan; and
4. That if SDL (simulated divided lite) windows are employed, they have clear and proper muntins on both sides of the windows.

Approved



9. OTHER BUSINESS

Subcommittee members spoke to the recommendation for 42 John Street and the final materials that were chosen and were advised by staff that wood siding would be used.

Subcommittee members expressed concern with a neighbourhood property and were advised of the involvement of compliance and that further communications would occur with the owner through the appropriate departments. Staff also spoke to the heritage approval process for this property once the intention of the owner is determined.

10. DATE OF NEXT MEETING

July 7, 2025 at 9:30 AM

11. ADJOURNMENT - 10:20 AM

(L. Manzo)

DRAFT



Clarke Memorial Hall **Restoration**  
Port Credit, City of Mississauga

Heritage Building Permit Presentation  
**Port Credit Heritage Conservation District**

July 7 & 22, 2025



# agenda

- Introduction
- Building Description
- Proposed Restoration
  - Stairs
  - Walls
  - Windows
  - Roof
- Conservation Strategy
- Rear Signage
- Discussion | Feedback





## building description



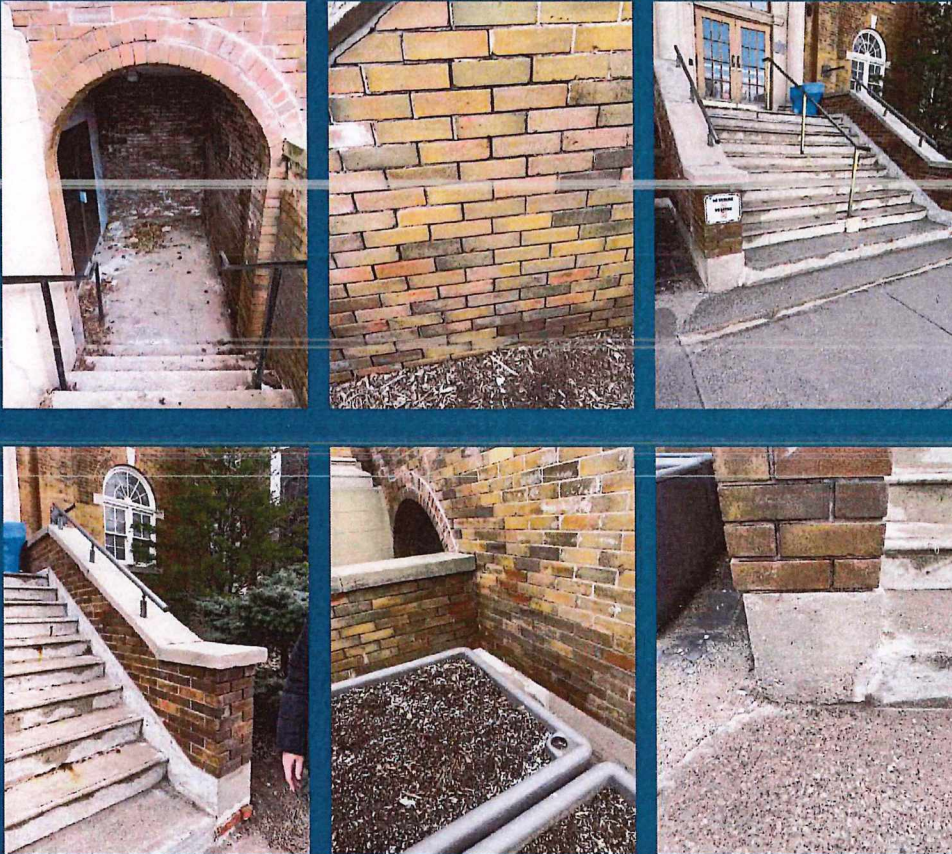
- **Address:** 161 Lakeshore Rd W
- **Built:** 1922
- **Use:** Community Hall
- **Architecture:** Spanish Colonial Revival Style
- **Exterior Elements:**
  - Six Monumental Pilasters and brackets
  - Classical Frontispiece
  - Arched Windows



## proposed restoration

### STAIR

- Replace Front Entrance Stair
  - Not Original; Replaced in the 1990s
  - Existing Stair is Shifting
  - Landing
  - Brick Walls
  - Railings to Meet FADS

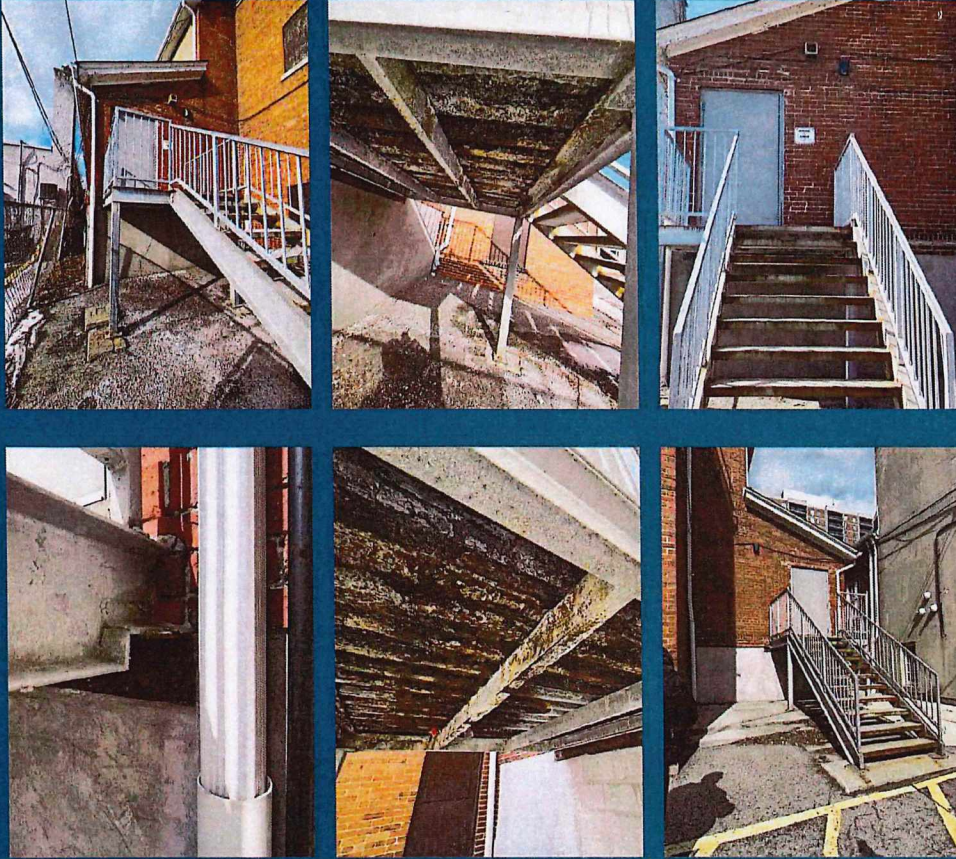




## proposed restoration

### STAIR

- Replace Emergency Stair
  - Rusting
  - Meet FADS





## conservation strategy

### STAIRS

- To be Rebuilt to Match Existing
  - Use the Existing Stair and Landing as a Model to Reproduce the Stair with the Same Materials
  - Existing Columns Supported on Landing to be Maintained and Shored
  - Railing Extended to Meet FADS
  - Bronze Railing same as Existing
  - Stair Risers to be Even to Meet FADS





## proposed restoration

### WALLS

- Repointing
  - Stone Masonry from Grade to Ground Floor
  - Refill Original Filled Window Openings
  - Reinstate Concrete Foundation at Utility Room





## proposed restoration

### WALLS

- Parging and Repairs
  - Remove Parging on above Grade Stone Masonry to Expose Original Stone Masonry
  - Remove and Replace Corroded Window Lintels

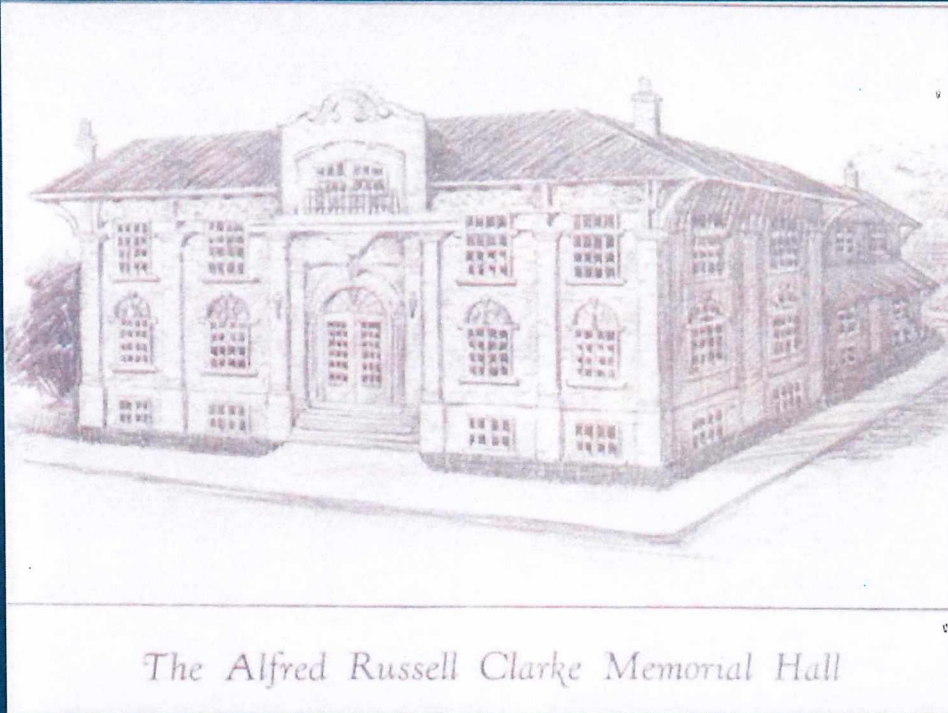




## conservation strategy

### WALLS

- Repair Damaged Exterior Wall
  - Remove Parging to Expose Original Stone
  - Repointing Masonry where Deteriorated
  - Repairs to Match Existing Work as Closely as Possible, both Physically and Visually



*The Alfred Russell Clarke Memorial Hall*



## proposed restoration

### WINDOWS

- Retain and Restore Windows
- Existing Wood Windows Sound and Repairable
- Repaint

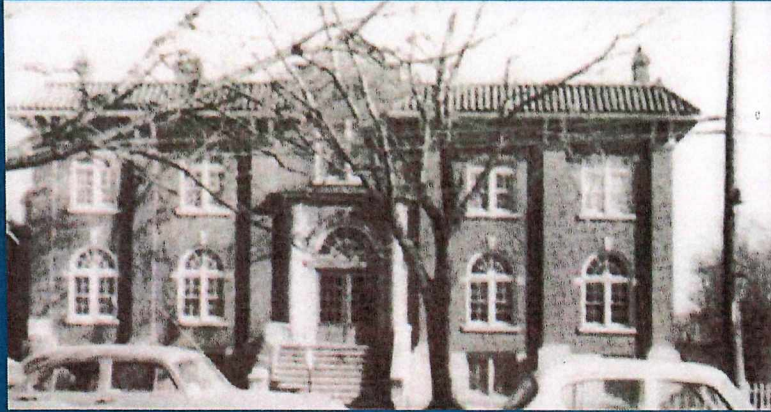




## conservation strategy

### WINDOWS

- To be Restored
  - Remove Dirt, Debris, Deteriorated Paint
  - Selective Repair of Damaged Wood
  - Repaint Wood Frames to Match the Existing
  - Existing Caulking to be Removed, and Re-sealed.
  - Install Wood-Framed Interior Storm Windows on all Fixed Units

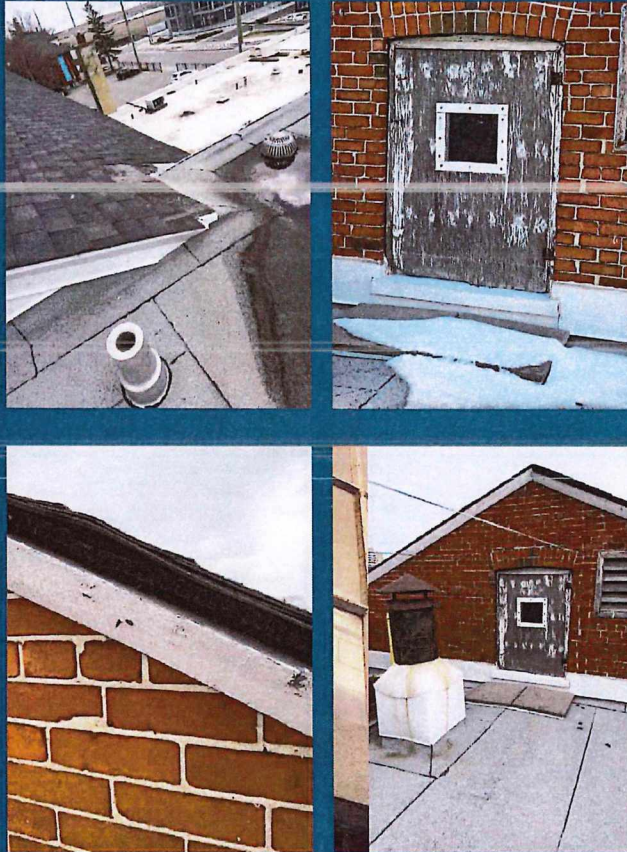




## proposed restoration

### ROOF

- Attic Doors
  - Replace Two Wood Doors
- Roof Fascia and Soffit
  - Repairs Wood Fascia and Soffit





## conservation strategy

### ROOF

- Attic Doors
  - Install Two New Cedar Doors
- Roof Fascia and Soffit
  - Selective Repairs of Existing Wood Fascia and Soffit in Cedar





## rear signage

### SIGNAGE

- Wayfinding
  - Direct Users from Parking Lot to Accessible Entrance
  - Mounted at Mortar Joints
  - Comply with FADS
- Exit Sign
  - Two "Emergency Exit" Signs on Exterior Face of Fire-Exit Doors
  - Comply with FADS





# discussion

Discussion | Feedback



# City of Mississauga

## Memorandum



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Date: June 24, 2025

To: Chair and Members of Port Credit Heritage Conservation District Subcommittee

From: John Dunlop, Manager, Indigenous Relations, Museums and Heritage

Meeting date: July 7, 2025

Subject: **161 Lakeshore Road West (Ward 1)**

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### Recommendation

That the request to alter the property at 161 Lakeshore Road West (Ward 1), as per the memorandum from John Dunlop, Manager of Indigenous Relation, Heritage and Museums, dated June 24, 2025, be approved.

### Background

The subject property is designated under Part V of the Ontario Heritage Act as it forms part of the Old Port Credit Village Heritage Conservation District (HCD). It is considered a contributing property. Changes to the property are subject to the Old Port Credit Village HCD Plan, 2018.

### Comments

The City proposes restoration work to Clarke Hall, including changes to make it more accessible. The proposal is attached as Appendices 1 and 2. The scope of work includes the following:

- brick repointing where needed;
- replicated wood attic doors;
- new wood interior storms;
- restore: windows, window lintels, original foundation, roof fascia and soffits.

All restoration work will be in original material and style. Rear emergency exit stairs would be replaced. The front main entrance stair would be replaced “like-for-like,” with extended bronze railings for accessibility purposes. Final signage is subject to a heritage permit, as per the Old Port Credit Village Heritage Conservation District Plan.



Old Port Credit Village HCD Subcommittee	2025/06/24	2
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**Conclusion**

The proposed restoration work would benefit the building and make it more accessible. As such, it should be approved.

**Attachments**

- Appendix 1: Statement of Work
- Appendix 2: Drawings

Prepared by: P. Wubbenhorst, Heritage Planner



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STATEMENT OF WORK  
**CLARKE MEMORIAL HALL**  
161 LAKESHORE WEST

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*JUNE 2025*

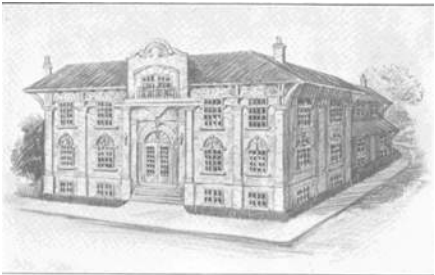






INTRODUCTION

CHERIE NG ARCHITECT INC. (CNA) has been retained by the City of Mississauga to undertake a restoration project at Clarke Memorial Hall, a designated heritage property located at 161 Lakeshore Road West in Port Credit. This Statement of Work has been prepared in support of a Heritage Permit application and outlines the proposed scope of conservation, restoration, and accessibility upgrades.



The Alfred Russell Clarke Memorial Hall

The objective of this project is to respectfully restore key architectural features of Clarke Memorial Hall while ensuring compliance with the City of Mississauga’s Facility Accessibility Design Standards (FADS) and applicable building codes. All interventions will be carried out with sensitivity to the building’s heritage character, prioritizing the conservation of original materials and detailing. Where replacement is necessary, new elements will match the existing in material, profile, and proportion to maintain historical continuity.

The restoration approach emphasizes conservation best practices, including the repair and retention of original features to minimize intervention and preserve the building’s historic appearance. This Heritage Permit application affirms that all design and construction decisions are guided by a commitment to the long-term preservation of Clarke Memorial Hall as a valued cultural asset within the City of Mississauga.

Key Scope of Work:

- Restore all original wood windows by removing dirt, debris, and loose or peeling paint in preparation for repainting. The new paint colour will match the existing.
- Remove the existing parging on the foundation to expose and restore the original building stone.
- Undertake repointing and localized repairs to the exterior masonry and the interior backstage wall.
- Replace the front entrance stair with a like-for-like reconstruction matching the original in material and design. Replace the rear emergency exit stair to meet FADS and OBC accessibility requirements.









SCOPE OF  
WORK

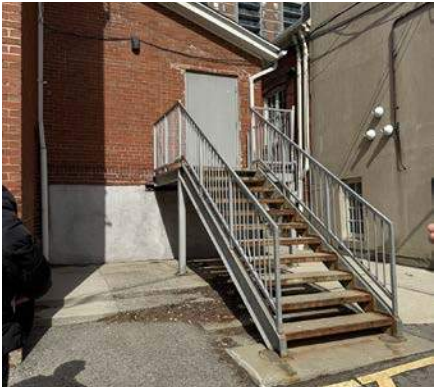




## SCOPE OF WORK



## SCOPE OF WORK



### Front Stair Replacement

- The existing front stair assembly is not original to the building and based on archive drawings was replaced in the 1990s. The stairs are in poor condition and will be removed and replaced with a like-for-like reconstruction. Structural displacement is visible between the stair walls and main stair structure, and the concrete steps are spalling near the railing base due to rusting.
- Efflorescence is present on the brick veneer wall at the basement exit, indicating ongoing moisture penetration.
- The new stair will:
  - Replicate the dimensions, materials, and detailing of the original design.
  - Match the finish, proportions, and alignment of the original stair.
  - Comply with the City of Mississauga's FADS and the current Ontario Building Code.
- Tactile Walking Surface Indicators will be installed at the landing.
- Existing railings will be removed and replaced with new bronze railings that comply with OBC and FADS requirements. The new railings will use the same material and designed to replicate the original profile as closely as possible, while meeting modern safety and accessibility standards to comply with the OBC.
- The new railings are proposed to extend 300mm beyond the beginning and end of the stair. This extension is proposed to accommodate FADS handrail design requirements. The extended railings will improve accessibility by creating additional support as individuals transition from the stairs to a level surface.
- Stair risers will be modified as needed to ensure the bottom landing aligns flush with the adjacent walkway, eliminating the existing trip hazard to comply with FADS.

### Emergency Stair Replacement

- As identified in the Structural Assessment for Clarke Memorial Hall prepared by Rimkus Consulting Group (dated April 2, 2024), the rear emergency exit stairs exhibit severe corrosion in multiple components, including steel angle supports at their connection to the base building. Cross-sectional loss has compromised the structural integrity of the assembly.
- Both rear emergency exit stairs will be removed and replaced with new assemblies that meet current OBC and FADS requirements.
- Tactile Walking Surface Indicators will be installed at all landings to enhance accessibility.
- New stair to look similar to existing and require minimal intervention using existing anchor points to install staircase.

### Storm Windows

- Wood-framed interior storm windows to be installed on fixed





- original wood window units.
- Installation on the exterior is not possible as the existing sills are too shallow to accommodate storm windows. Storm windows to be installed on the interior.
- Custom-fabricated to match the dimensions and profiles of the existing windows. They will be painted to match the existing colour.

Rear Wayfinding Signage

- Wayfinding signage installed to direct individuals from the parking lot to the accessible entrance.
- The signs are to be mounted at mortar joints to avoid damage to original masonry and follow heritage conservation best practices to preserve the integrity of the building envelope.
- Two “Emergency Exit” signs to be installed on the exterior face of both fire-exit doors.
- All signage to comply with FADS guidelines.

Roof Fascia and Soffit Repairs

- Existing fascia and soffits are painted wood.
- Repairs to be carried out using cedar and replacement sections to match original profiles, dimensions, and finishes.



Window Lintels

- Existing lintels are concrete.
- Corroded or deteriorated lintels to be repaired or replaced with like-for-like concrete.
- All new work will match the profile, scale, and appearance of the existing lintels to preserve visual consistency across the façade.

Wood Attic Doors

- Two new attic access doors to be installed using cedar, selected to match the grain and character of the original doors.
- The new doors will replicate the proportions, detailing, and panel configuration of the existing attic doors.





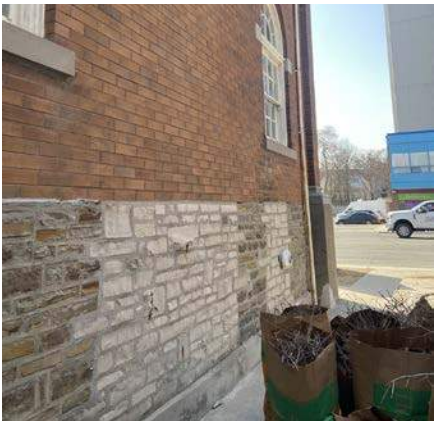
CONCLUSION

The proposed scope of work for Clarke Memorial Hall includes the restoration of original wood windows, removal of parging to expose the original stone foundation, localized repointing and masonry repairs, and the replacement of both the front entrance and rear emergency stairs—which are not original—to meet current building code and accessibility standards. These interventions address structural and accessibility needs while preserving the architectural identity of this designated heritage property.



The conservation strategy emphasizes minimal intervention, the repair and retention of character-defining elements wherever possible, and the use of materials and finishes that physically and visually match the existing building. Where new elements are introduced—such as tactile walking surface indicators and replacement railings—care has been taken to ensure these additions do not detract from the building's heritage character.

The window restoration involves the retention and repair of original wood components, along with the installation of traditional wood exterior storm windows to improve performance while maintaining the building's historic identity. Masonry repairs will be completed using lime-based mortars that match the original in colour, composition, and tooling. Stair replacements and accessibility upgrades are designed to enhance safety and usability while conserving the original design intent.



This Statement of Work has been prepared in support of a Heritage Permit application for Clarke Memorial Hall. The objective is to conserve and enhance the building's historic character while accommodating necessary functional improvements. All proposed work has been developed to guide careful implementation in a manner that respects the cultural significance, architectural context, and long-term conservation of this valued heritage resource.



general notes :

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the misinterpretations of these documents by the Contractor. Upon written application the Architect will provide written / graphic clarification or supplemental information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.

3. Positions of exposed or finished mechanical or electrical devices, fittings and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the Architect.



# CLARKE MEMORIAL HALL RESTORATION

161 LAKESHORE RD W, MISSISSAUGA, ON L5H 1G3

ISSUED FOR HERITAGE PERMIT  
09 JUNE 2025

CHERIE NG ARCHITECT INC.

T. 416.898.1979  
CNG@CHERIENG.COM

BLACKWELL STRUCTURAL ENGINEERS  
STRUCTURAL CONSULTANT

JDX ADVANCE SERVICE INC.  
MECHANICAL AND ELECTRICAL CONSULTANT

## DRAWING LIST

ARCHITECTURAL  
A0.1 LOCATION MAP / DRAWING LIST / GENERAL NOTES / LEGENDS

A1.1 SITE PLAN  
A2.1 BASEMENT FLOOR PLAN – DEMOLITION PLAN  
A2.1a BASEMENT FLOOR PLAN – DEMOLITION PLAN PHOTOS  
A2.2 GROUND FLOOR PLAN – DEMOLITION PLAN PHOTOS  
A2.2a GROUND FLOOR PLAN – RESTORATION PLAN PHOTOS  
A2.3 SECOND FLOOR PLAN – DEMOLITION PLAN  
A2.4 ATTIC – DEMOLITION PLAN  
A2.4a ATTIC – DEMOLITION PLAN PHOTOS  
A2.5 ROOF – DEMOLITION PLAN  
A2.6 BASEMENT FLOOR – ENLARGED DEMOLITION PLAN  
A2.7 GROUND FLOOR – ENLARGED DEMOLITION PLAN  
A2.8 BASEMENT FLOOR – PROPOSED PLAN  
A2.9 GROUND FLOOR – PROPOSED PLAN  
A2.10 GROUND FLOOR – ENLARGED PROPOSED PLAN  
A4.1 NORTH AND SOUTH ELEVATIONS  
A4.2 EAST AND WEST ELEVATIONS  
A4.3 INTERIOR ELEVATIONS  
A5.1 SECTIONS  
A5.2 PROPOSED SECTIONS

STRUCTURAL  
S001 GENERAL NOTES  
S101 BASEMENT PLAN  
S102 GROUND FLOOR PLAN  
S103 ROOF PLAN  
S201 NORTH AND SOUTH ELEVATION  
S202 EAST AND WEST ELEVATION  
S301 SECTIONS AND DETAILS

MECHANICAL  
M100 NOTES, LEGENDS AND SCHEDULES  
M200 HVAC BASEMENT LAYOUTS  
M201 HVAC L1 LAYOUT  
M202 HVAC ROOF LAYOUTS

ELECTRICAL  
E100 NOTES, LEGENDS AND SCHEDULES  
E200 POWER BASEMENT LAYOUTS  
E201 POWER L1 LAYOUT  
E300 SLD

## GENERAL NOTES

GENERAL NOTES & CONDITIONS THAT APPLY TO THE ENTIRE WORK:

- THESE PLANS ARE TAKEN FROM ARCHIVE DRAWINGS AND LIMITED SITE SURVEY INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE TO CONFIRM THE SITE CONDITIONS PRIOR TO SUBMITTING BID.
- ALL DIMENSIONS ARE PER SITE REVIEW AND EXISTING ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES BETWEEN CONDITIONS SHOWN AND SITE CONDITIONS ARE TO BE REPORTED TO ARCHITECT.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THE THIS DRAWING.
- CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE PRIOR TO FABRICATIONS/INSTALLATIONS.
- DRAWINGS ARE NOT TO SCALED.
- LOCATE AND PROTECT ALL UTILITIES.
- CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- PROVIDE SECURE CONTROL OF SURFACE INSTALLATION AND FINISH APPLICATIONS TO PREVENT PERMANENT EFFECTS OF VANDALISM DURING CONSTRUCTION.
- OBTAIN APPROVAL OF LAYOUT PRIOR TO STARTING WORK.
- PROVIDE TEMPORARY CONSTRUCTION FENCE 1.8M HIGH MODULAR METAL FENCE WITH LOCKABLE GATE AS REQUIRED TO SECURE THE WORK ZONE.
- CONTRACTOR IS RESPONSIBLE TO INCLUDE IN HIS SCOPE OF WORK DUST CONTROL FOR POTENTIAL SILICA IN CONCRETE / MORTAR.
- FORMING CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CONSULTANT'S REVIEW PRIOR TO CONCRETE FOOTING WALL INSTALLATION.
- CONTRACTOR TO COORDINATE WITH FOOTING WALL DIMENSIONS PRIOR TO FABRICATION.
- ALL COLOURS AND MATERIALS TO BE REVIEW BY ARCHITECT.
- READ THIS DRAWING IN CONJUNCTION WITH THE COMPLETE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SPRINKLER DOCUMENTATION.
- REPAIR, PATCH & MAKE GOOD ALL EXISTING STRUCTURE AND FINISHES AFFECTED BY CONSTRUCTION.
- ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED.
- PROTECT EXISTING FINISHES TO REMAIN AS INDICATED IN DOCUMENTATION. WHERE DEMOLITION WORK IMPACTS ON THESE FINISHES, PATCH AND MAKE GOOD TO MATCH EXISTING.
- CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB, INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS.
- ANY OPENINGS IN FIRE RATED WALLS, CEILING AND FLOORS TO BE RETURNED TO EQUIVALENT CONDITION PRIOR TO THE OPENING. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS PER SPECIFICATION AND OBC.
- ALL REQUIRED CUTTING & FITTING INCLUDING ELECTRICAL & MECHANICAL TO CONNECT EXISTING WORK WITH THE NEW WORK TO BE PERFORMED AS PART OF THIS CONTRACT TO FINISH THE ENTIRE WORK IN A WORKMANLIKE AND WHOLE CONDITION.
- ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED.
- REFER TO MECHANICAL AND ELECTRICAL DOCUMENTATION FOR SPECIFIC EQUIPMENT TO BE REMOVED. PATCH AND MAKE GOOD ANY DAMAGE CAUSED BY REMOVAL OF MECHANICAL AND ELECTRICAL EQUIPMENT OR BY RELATED DEMOLITION WORK.
- CONDUCT X-RAYS AND PERFORM INSPECTIONS AT AREAS WHERE CUTTING, DRILLING OR SLEEVEING THROUGH EXISTING STRUCTURE IS REQUIRED TO ENSURE EXISTING SERVICES WILL NOT BE DAMAGED. REPAIR AND REINSTATE EXISTING SERVICES IMMEDIATELY IF DAMAGED.
- CONTACT CONSULTANT IMMEDIATELY IF ANY UNKNOWN SERVICES ARE UNCOVERED AND INTERFERE WITH NEW WORK.
- REMOVE ALL FURNISHINGS WITHIN THE EXTENT OF NEW WORK. CO-ORDINATE RELOCATION OR DISPOSAL WITH OWNER. ITEMS TO BE RELOCATED ARE TO BE STORED IN A PROTECTED AREA DURING CONSTRUCTION.
- ALL ITEMS INDICATED IN THE CONTRACT DOCUMENTS AS 'COORDINATION ITEMS' OR ITEMS IDENTIFIED AS N.I.C., INCLUDING BUT NOT LIMITED TO THE EQUIPMENT, SECURITY, DATA CONNECTION, SERVER, AUDIO & VISUAL AND OTHER SPECIALTY ITEMS IDENTIFIED, ARE TO BE SUPPLIED AND INSTALLED BY OTHER PARTIES BUT ALLOWANCES BUT WILL REQUIRE THE COMMON ACTION OR EFFORT OF THE GENERAL CONTRACTOR IN RELATION TO THE OVERALL PROJECT. WITH RESPECT TO ALL COORDINATION ITEMS IDENTIFIED, THE GENERAL CONTRACTOR IS EXPECTED TO:
  - BUILDING ENVELOPE INSPECTIONS
  - STRUCTURAL INSPECTIONS
  - WATERPROOFING MEMBRANE INSPECTIONS
  - CITY'S SECURITY VENDOR
  - CITY'S CORPORATE SECURITY
  - BELL CANADA VOICE AND DATA CONNECTION
  - FIRE DEPARTMENT
  - CITY'S IT DEPARTMENT
- REVIEW ALL ITEMS IDENTIFIED AS 'COORDINATION ITEMS' IN THE DRAWINGS AND COMMUNICATE WITH THE REQUIRED RESPONSIBLE PARTIES OF THE DEVICES THE DETAILED REQUIREMENTS OF EACH ITEM AS IT IMPACTS THE WORK OF GENERAL CONTRACTOR AND AS IT RELATES TO THE OVERALL COMPLETION OF THE PROJECT.
  - A. VERIFY THE EXISTING CONDITION AND ANY LIMITATIONS OF THE DEVICE AS INSTALLED IN THE PROPOSED LOCATION.
  - B. COORDINATE WORK OF OWNER'S OWN FORCE INTO THE OVERALL CONSTRUCTION SEQUENCE.
  - C. PROVIDE ALL REQUIRED ROUGH-INS, RELATED CONSTRUCTIONS AND CONNECTIONS REQUIRED BY THE DEVICES OF OTHERS TO SUIT THE COORDINATION ITEM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
  - D. SCHEDULE AND COORDINATE THE WORK OF OTHERS INTO THE OVERALL CONSTRUCTION SEQUENCE TO AVOID UNNECESSARY DELAY TO THE COMPLETION OF THE OVERALL PROJECT.
  - E. ENSURE THAT THE PROPOSED ITEM IS INSTALLED AS INTENDED AND IS MADE FULLY OPERATIONAL AT THE COMPLETION OF THE WORK.
- CONSULTANT / TOWN WILL APPLY FOR BUILDING PERMIT. CONTRACTOR TO SCHEDULE ALL REQUIRED INSPECTIONS.
- THE BUILDING WILL REMAIN IN OPERATION DURING THE COURSE OF CONSTRUCTION. INTERIOR AND EXTERIOR WORK IS TO OCCUR IN PHASES THROUGHOUT THE BUILDING AND MUST BE COORDINATED WITH THE BUILDING USERS AND OWNERS TO MINIMIZE DISRUPTION TO STAFF AND THE FACILITY OPERATIONS.
- COMPLY WITH THE MOST CURRENT REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT, REGULATION FOR CONSTRUCTION PROJECT.
- BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL PEDESTRIANS AND VEHICLES IN THE WORK AREA. PROVIDE AND INSTALL BARRICADES, SIGNS, GUARDRAILS, ETC AS REQUIRED. AT THE CONCLUSION OF EACH DAY'S WORK, ENSURE THAT ALL PRECAUTIONS NECESSARY FOR THE PROTECTION AND SAFETY OF PEDESTRIANS AND VEHICLES HAVE BEEN TAKEN.
- PROVIDE AND MAINTAIN OVERHEAD PROTECTION AT ALL BUILDING ENTRANCES, EXITS, DOORS AND PATIOS.
- DO NOT BLOCK ANY FIRE EXITS.
- PROVIDE ADEQUATE PROTECTION OF MATERIALS AND WORK FROM DAMAGE AND STAINING BY WEATHER AND OTHER CAUSES. CONTRACTOR SHALL MAKE GOOD ANY DAMAGE.
- CONTRACTOR TO ENSURE ALL WALKWAYS / PATHS TO AND FROM ALL ENTRANCE DOORS ARE FREE OF DEBRIS AND OBSTRUCTIONS AT ALL TIMES DURING THE WORK.
- MAINTAIN AT ALL TIMES CLEAR ACCESS ON DRIVE AISLES ADJACENT TO BUILDING TO THE SITE.
- MOBILIZATION, STORAGE OR ACCESS NOT PERMITTED AT ADJACENT PROPERTY.
- PARKING IS AVAILABLE ON SITE MUST BE COORDINATED WITH TOWN PM.
- ACCESS INTO THE BUILDING AREA IS GENERALLY RESTRICTED. NO ACCESS INSIDE THE BUILDING WITHOUT EXPRESSED WRITTEN CONSENT FROM THE TOWN.
- THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. THE GENERAL CONTRACTOR TO COORDINATE PHASING AS REQUIRED AND MUST BE COORDINATED WITH THE BUILDING USERS AND OWNERS TO MINIMIZE DISRUPTION TO STAFF AND THE FACILITY OPERATIONS.

## MATERIAL ABBREVIATIONS

- ACT-1 24" x 48" SUSPENDED ACOUSTIC TILE CEILING SYSTEM
- ADO AUTOMATIC DOOR OPERATOR
- AL-1 PREFINISHED ALUMINUM
- BB-1 BULLETIN BOARD
- BFM BARRIER-FREE MIRROR
- BFS BARRIER-FREE STAINLESS STEEL SHELF
- BUR BUILT-UP ROOF
- CB-1 CONCRETE BLOCK
- CH COAT HOOK
- CHTA ADULT CHANGE TABLE
- CHTB BABY CHANGE TABLE
- CT-1 CERAMIC TILE COLOUR 1
- CT-2 CERAMIC TILE COLOUR 2
- CT-3 CERAMIC TILE COLOUR 3
- EPX-1 EPOXY FLOORING (BROADCAST)
- HD HAND DRYER
- HM-1 HOLLOW METAL
- HMF-1 HOLLOW METAL FRAME
- HMF-1A THERMALLY BROKEN HOLLOW METAL FRAME
- GB-1 16MM ABUSE-RESISTANT GYPSUM WALL BOARD
- GB-1X 16MM TYPE X GYPSUM WALL BOARD
- GB-2 16MM TILE BACKER BOARD
- GBR-1 L-SHAPED GRAB BAR
- GBR-2 GRAB BAR
- GBR-3 GRAB BAR
- GL-1 19MM STANDARD TEMPERED GLASS
- GL-2 6MM STANDARD TEMPERED GLASS
- GL-3 10MM STANDARD TEMPERED GLASS
- LINO-1 LINOELUM SHEET FLOORING
- MEL-1 MELAMINE COLOUR 1
- MEL-2 MELAMINE COLOUR 2
- ND SANITARY NAPKIN DISPENSER
- PLAM-1 PLASTIC LAMINATE COLOUR #1
- PLAM-2 PLASTIC LAMINATE COLOUR #2
- PLAM-3 PLASTIC LAMINATE COLOUR #3
- PLAM-4 PLASTIC LAMINATE COLOUR #4
- PP-1 SOLD PHENOLIC TOILET PARTITION AND / OR DOOR
- PT-1 PAINT COLOUR 1
- PT-2 PAINT COLOUR 2
- PT-3 PAINT COLOUR 3
- PT-4 PAINT COLOUR 4
- PT-5 PAINT COLOUR 5
- PT-6 PAINT COLOUR 6
- PTD PAPER TOWEL DISPENSER
- POR-1 PORCELAIN TILE TYPE #1
- POR-2 PORCELAIN TILE TYPE #2
- POR-3 PORCELAIN TILE TYPE #3
- PVC-1 PVC EDGING COLOUR 1
- PVC-2 PVC EDGING COLOUR 2
- RB RUBBER SKATE FLOORING
- RB-1 RUBBER BASE TO MATCH EXISTING
- SD SOAP DISPENSER
- SND SANITARY NAPKIN DISPENSER
- SOL-1 SOLID SURFACING COLOUR #1
- SOL-2 SOLID SURFACING COLOUR #2
- SS-1 STAINLESS STEEL BRUSHED FINISH
- SS-2 STAINLESS STEEL POLISHED FINISH
- STL-1 HOT DIPPED GALVANIZED STEEL
- SWF-1 SPRUNG WOOD FLOOR
- TTD-1 TOILET PAPER DISPENSER DOUBLE ROLL
- THR-1 THRESHOLD TRIM: KN CROWER CT-45
- THR-2 THRESHOLD TRIM: SCHLUTER RONDEC E
- THR-3 THRESHOLD TRIM: SCHLUTER RENO-T
- THR-4 THRESHOLD TRIM: SCHLUTER RENO-U
- WAF WOOD ATHLETIC FLOORING
- WD-1 REGULAR PLYWOOD OR WOOD BLOCKING
- WD-2 MEL-1 ON PLYWOOD
- WD-3 MEL-1 ON PLYWOOD
- WD-4 PLAM-1 ON PLYWOOD
- WD-5 PLAM-2 ON PLYWOOD
- WD-6 PLAM-3 ON PLYWOOD
- WD-7 WOOD VENEER PLYWOOD
- WD-8 SOLID WOOD
- WD-9 MDF
- WR WASTE RECEPTACLE

## SYMBOL LEGEND

- DOOR TAG  
DOOR NUMBER
- DOOR TAG  
EXISTING DOOR TO REMAIN
- ROOM  
NO
- ROOM TAG  
ROOM NAME  
ROOM NUMBER
- DRAWING TAG  
DRAWING NUMBER & NAME  
DWG / SCALE SHEET NUMBER & SCALE
- SECTION BUBBLE  
DRAWING NUMBER  
SHEET NUMBER
- CEILING TAG  
CEILING TYPE  
CEILING HEIGHT
- GB
- MATERIAL TAG  
MATERIAL TYPE
- P-3
- WALL/CEILING TAG  
WALL/CEILING TYPE
- ELEVATION TAG  
DRAWING NUMBER  
SHEET NUMBER  
DIRECTION
- ELEV ELEVATION
- ALIGN
- ALIGN WITH ESTABLISHED/  
ADJACENT SURFACE
- NO  
DWG
- DETAIL TAG  
DRAWING NUMBER  
SHEET NUMBER  
AREA DETAILED
- REVISION REFERENCE NUMBER
- MAX – MAXIMUM  
MIN – MINIMUM  
MIR – DESCRIPTION OF MIRROR  
SIM – DESCRIPTION OF SIMILAR  
TYP – DESCRIPTION OF TYPICAL

## MATERIAL LEGEND

- STEEL
- ALUMINUM
- ACOUSTICAL PANELS
- CONCRETE
- CONCRETE BLOCK
- CERAMIC
- PORCELAIN
- CONTINUOUS WOOD  
BLOCKING
- GYPSUM BOARD
- FINISH WOOD
- PLYWOOD
- GLASS
- WOOD VENEER

## STANDARD ABBREVIATIONS

- ADJ ADJUSTABLE
- AFF ABOVE FINISHED FLOOR
- BLDG BUILDING
- BLK BLOCK
- CL CENTRELINE
- CLG CEILING
- CONT CONTINUOUS
- DIA DIAMETER
- DIM DIMENSION
- DWG DRAWING
- ELEV ELEVATOR
- EX/EXIST EXISTING
- FLR FLOOR
- F/O FACE OF
- FRR FIRE RESISTANCE RATING
- FPR FIRE PROTECTION RATING
- HT HEIGHT
- MAX MAXIMUM
- MIN MINIMUM
- NIC OWNER SUPPLIED CONTRACTOR INSTALLED
- NTS NOT TO SCALE
- OC ON CENTRE
- OSCI OWNER SUPPLIED CONTRACTOR INSTALLED
- PL PLATE
- RAD RADIUS
- RCP REFLECTED CEILING PLAN
- REV REVERSE
- RM ROOM
- SIM SIMILAR
- STD STUD
- T&G TONGUE & GROOVE
- T/O TOP OF
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- U/S UNDERSIDE OF
- VIF VERIFY IN FIELD

CLARKE MEMORIAL HALL  
RESTORATION

Address: 161 LAKESHORE RD W, MISSISSAUGA, ON

LOCATION MAP /  
DRAWING LIST /  
GENERAL NOTES /  
LEGENDS

project no. : 2435  
scale : NTS  
date : JUNE 2025

drawing no. :

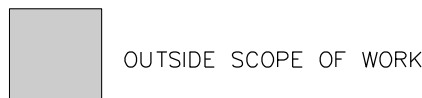
A0.1



general notes :

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DEMOLITION SITE PLAN

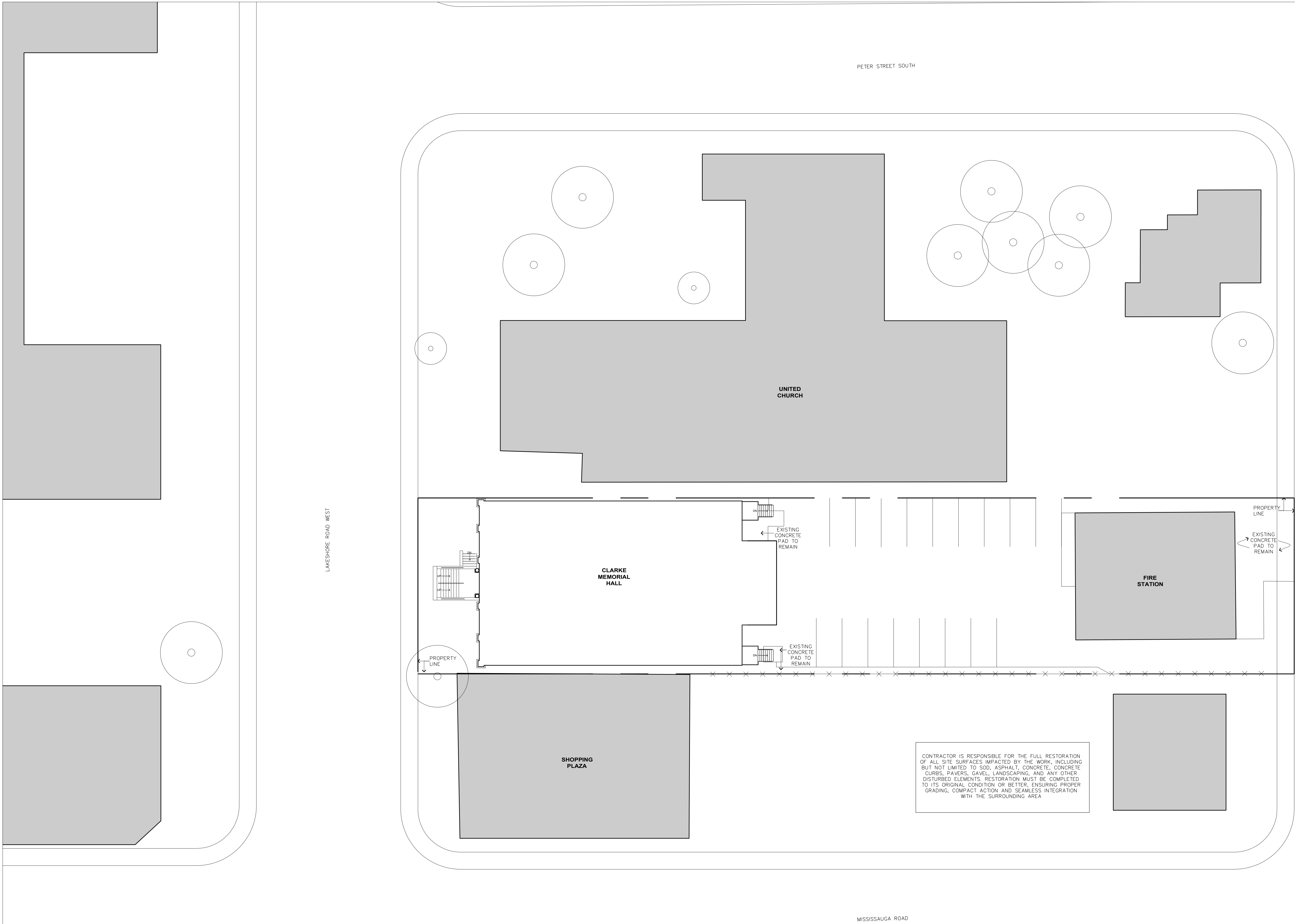


PROPERTY LINE

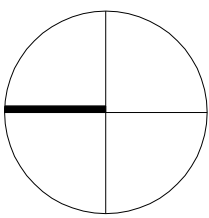
EXISTING CHAIN-LINK FENCE AND POSTS

GENERAL DEMOLITION NOTES:

- A. REFER TO STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- B. ACCOUNT FOR WORKING AROUND EXISTING SERVICES.
- C. ALL STRUCTURAL ELEMENTS TO REMAIN, UNLESS NOTED OTHERWISE.
- D. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES.
- E. PROVIDE DROP CLOTH TO CATCH PAINT AND REMOVE FROM SITE. PROTECT ADJACENT GROUND SURFACE OF BUILDING.



ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKE SHORE RD W. MISSISSAUGA, ON  
SITE PLAN

project no. : 2435  
scale : 1 : 200  
date : JUNE 2025

drawing no. :

A1.1









10 UTILITY ROOM - EAST WALL CONCRETE INFILL  
A2.1a NTS



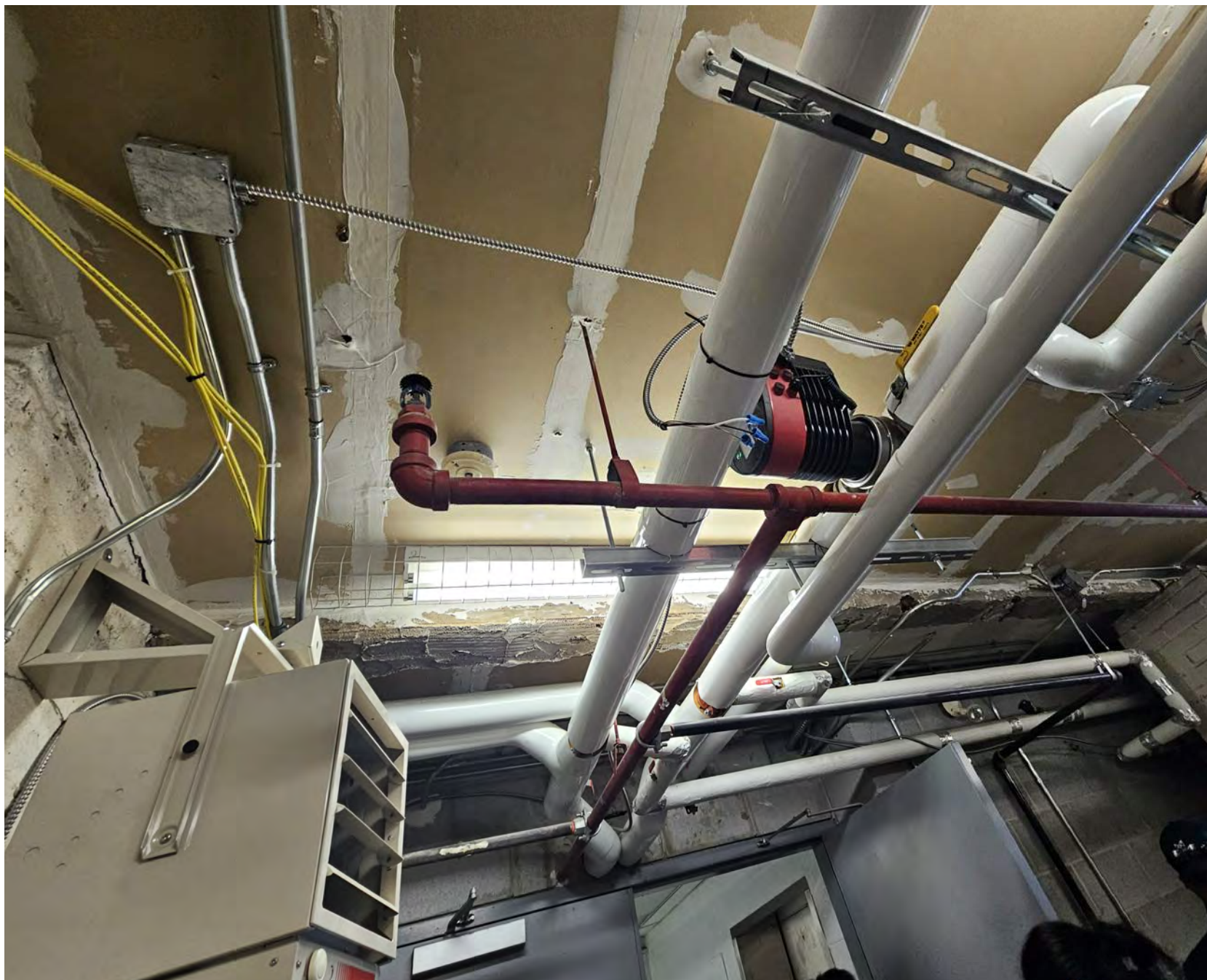
7 UTILITY ROOM - NORTH WEST CORNER  
A2.1a NTS



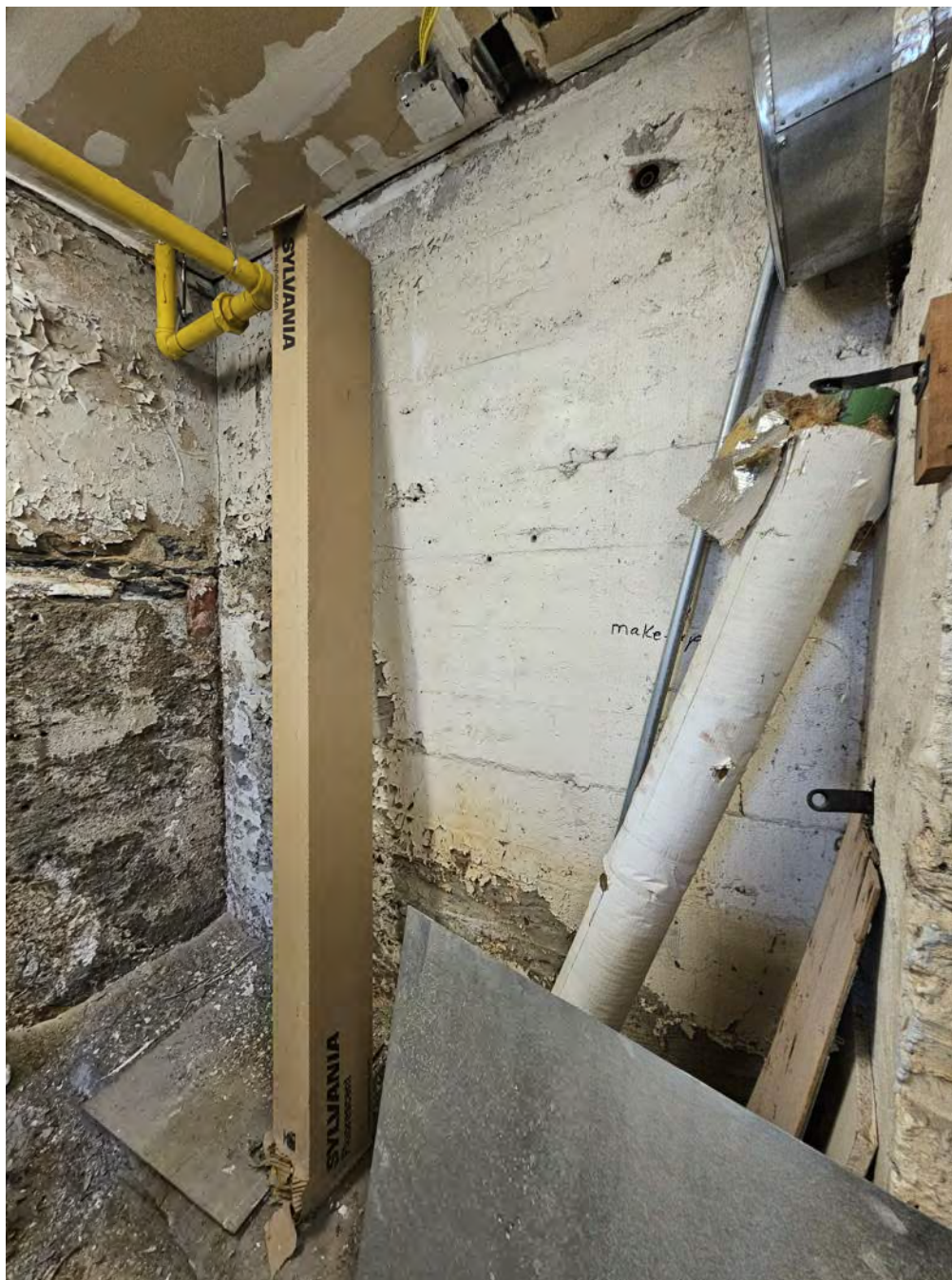
4 UTILITY ROOM - EAST WALL  
A2.1a NTS



1 UTILITY ROOM - NORTH EAST CORNER  
A2.1a NTS



11 UTILITY ROOM - CEILING  
A2.1a NTS



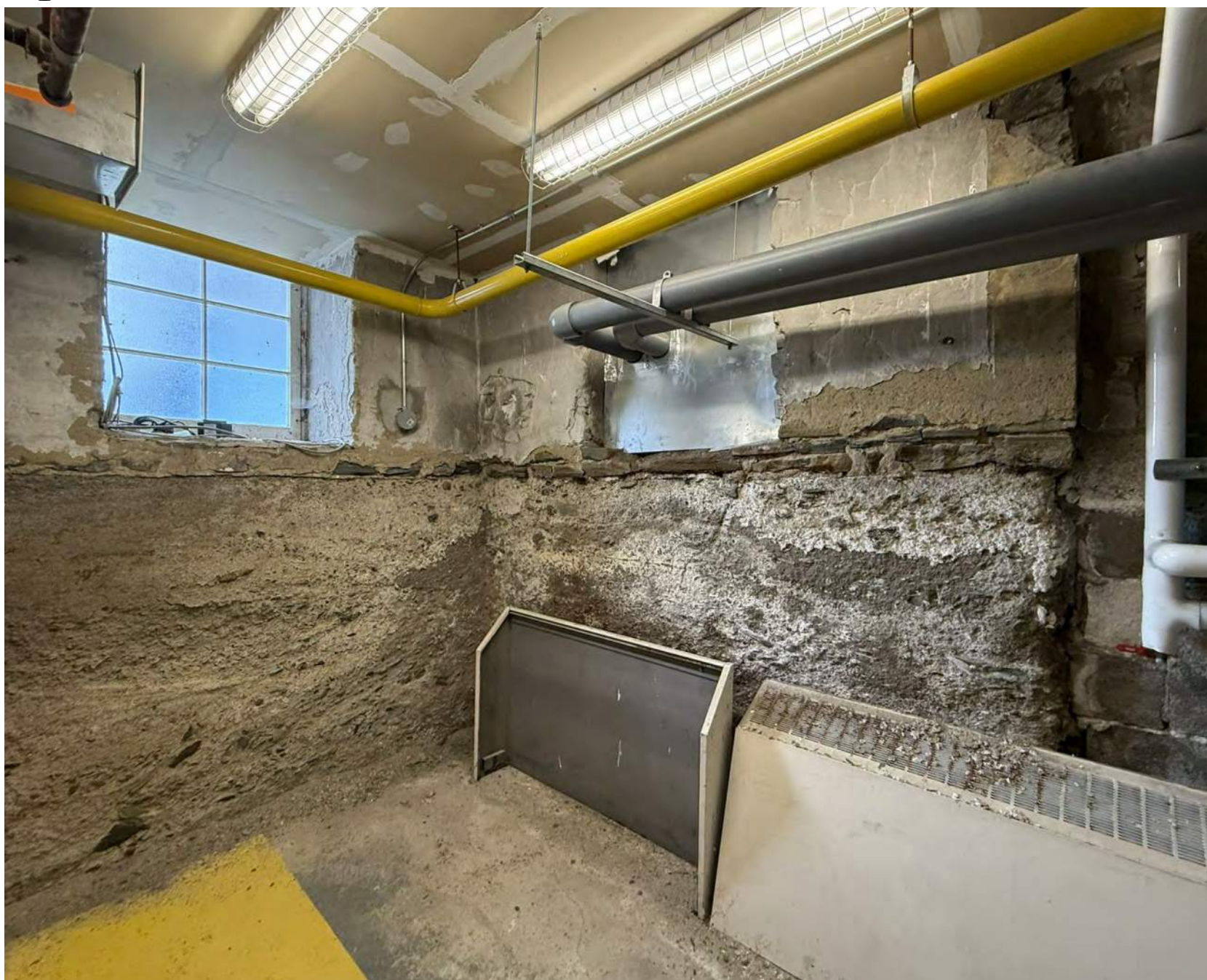
8 UTILITY ROOM - SOUTH EAST CORNER  
A2.1a NTS



5 UTILITY ROOM - EAST WALL  
A2.1a NTS



2 UTILITY ROOM - SOUTH EAST CORNER  
A2.1a NTS



12 UTILITY ROOM - NORTH EAST CORNER  
A2.1a NTS



9 BASEMENT EXTERIOR STAIR  
A2.1a NTS



6 BASEMENT EXTERIOR STAIR CEILING  
A2.1a NTS

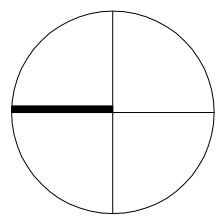


3 BASEMENT EXTERIOR STAIR WALL  
A2.1a NTS

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ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD. W. MISSISSAUGA, ON  
BASEMENT FLOOR -  
DEMOLITION PLAN  
PHOTOS

project no. :	2435
scale :	NTS
date :	JUNE 2025

drawing no. :

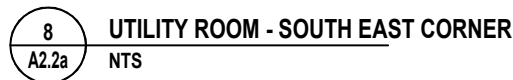






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## GROUND FLOOR - DEMOLITION PLAN PHOTOS

drawing no. :



general notes :

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13 INTERIOR WINDOW SILL  
A2.2b NTS



10 INTERIOR NORTH ELEVATION WINDOW  
A2.2b NTS



7 EAST ELEVATION WINDOWS  
A2.2b NTS



4 EAST ELEVATION WINDOWS  
A2.2b NTS



1 EAST ELEVATION WINDOWS  
A2.2b NTS



13 INTERIOR WINDOW SILL  
A2.2b NTS



11 INTERIOR WINDOW SILL  
A2.2b NTS



8 EAST ELEVATION WINDOWS  
A2.2b NTS



5 WEST ELEVATION WINDOWS  
A2.2b NTS



2 EAST ELEVATION WINDOWS  
A2.2b NTS



12 EAST ELEVATION WINDOWS  
A2.2b NTS



9 INTERIOR WINDOW SILL  
A2.2b NTS

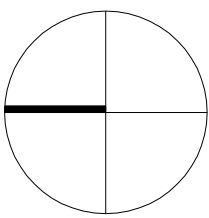


6 EAST ELEVATION WINDOWS  
A2.2b NTS



3 EAST ELEVATION WINDOWS  
A2.2b NTS

ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
GROUND FLOOR -  
RESTORATION PLAN  
PHOTOS

project no. : 2435  
scale : NTS  
date : JUNE 2025




drawing no. :

A2.2b



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 EXISTING PARTITIONS TO REMAIN  
 DEMOLISH EXISTING PARTITIONS AS INDICATED.  
 OUTSIDE SCOPE OF WORK

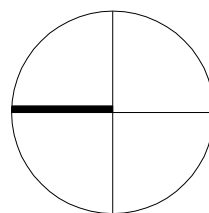
A. ALL FURNITURE AND ITEMS, INCLUDING BUT NOT LIMITED TO CHAIRS, TABLES, STORAGE UNITS, ETC. TO BE REMOVED BY OTHERS AND IS N.I.C. UNLESS OTHERWISE NOTED.

C. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. ALL STRUCTURAL ELEMENTS TO REMAIN, UNLESS NOTED OTHERWISE.

E. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES.

G. CONTRACTOR SHALL REMOVE ALL DEBRIS AND DEMOLITION MATERIALS FROM CLARK MEMORIAL HALL AND SHALL PROPERLY DISPOSE OF THEM IN ACCORDANCE WITH THE AUTHORITIES HAVING JURISDICTION.

ISSUED FOR HERITAGE PERMIT 09 JUNE 2025  
ISSUED FOR 35% CLIENTS REVIEW 30 MAY 2025  
revision date



Address: 161 LAKESHORE RD W, MISSISSAUGA

## SECOND FLOOR - DEMOLITION PLAN

project no. : 2435  
scale : 1 : 50  
date : JUNE 2025

## A2.3

1 CLEAN ALL EXISTING WOOD WINDOW FRAMES TO REMOVE DIRT, DEBRIS, AND LOOSE OR PEELING PAINT. SAND AND PREPARE SURFACES TO RECEIVE NEW PAINT.

2 CAREFULLY REMOVE EXISTING CAULKING AROUND WINDOW PERIMETERS ON BOTH INTERIOR AND EXTERIOR FACES. CLEAN SURFACES AND PREPARE TO RECEIVE NEW SEALANT.

3 INSTALL NEW CONTINUOUS SEALANT AROUND ALL WINDOW PERIMETERS, INTERIOR AND EXTERIOR, TO ENSURE A COMPLETE WEATHER-TIGHT SEAL

4 FILL ALL CRACKS, GAPS, AND MINOR SURFACE DEFECTS IN WOOD FRAME WITH EXTERIOR-GRADE WOOD FILLER AS REQUIRED. APPLY TWO COATS OF PAINT TO ALL PREPARED WOOD SURFACES. MATCH COLOUR TO EXISTING

5 REPAINT ALL BASEMENT WINDOW CAGES. APPLY TWO COATS OF PAINT, MATCH COLOUR TO EXISTING.

6 INSTALL TRADITIONAL VENTED WOOD-FRAMED EXTERIOR STORM WINDOWS AT ALL FIXED WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND ENERGY EFFICIENCY.



general notes :

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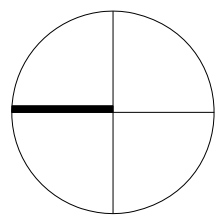
DEMOLITION FLOOR PLAN LEGEND:

- EXISTING PARTITIONS TO REMAIN
- DEMOLISH EXISTING
- PARTITIONS AS INDICATED.
- OUTSIDE SCOPE OF WORK

GENERAL DEMOLITION NOTES:

- ALL FURNITURE AND ITEMS, INCLUDING BUT NOT LIMITED TO CHAIRS, TABLES, STORAGE UNITS, ETC. TO BE REMOVED BY OTHERS AND IS N.I.C. UNLESS OTHERWISE NOTED.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. ALL STRUCTURAL ELEMENTS TO REMAIN, UNLESS NOTED OTHERWISE.
- ACCOUNT FOR WORKING AROUND EXISTING SERVICES.
- PATCH, REPAIR AND REFINISH ALL DAMAGED WALL SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES.
- ALLOW EXTERIOR AND INTERIOR WALL SURFACE TO DRY AT LEAST 72 HOURS BEFORE APPLYING BASE PRIMER AND PAINT.
- CONTRACTOR SHALL REMOVE ALL DEBRIS AND DEMOLITION MATERIALS FROM CLARK MEMORIAL HALL AND SHALL PROPERLY DISPOSE OF THEM IN ACCORDANCE WITH THE AUTHORITIES HAVING JURISDICTION.

ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
ISSUED FOR 30% CLIENT'S REVIEW	30 MAY 2025
revision	date

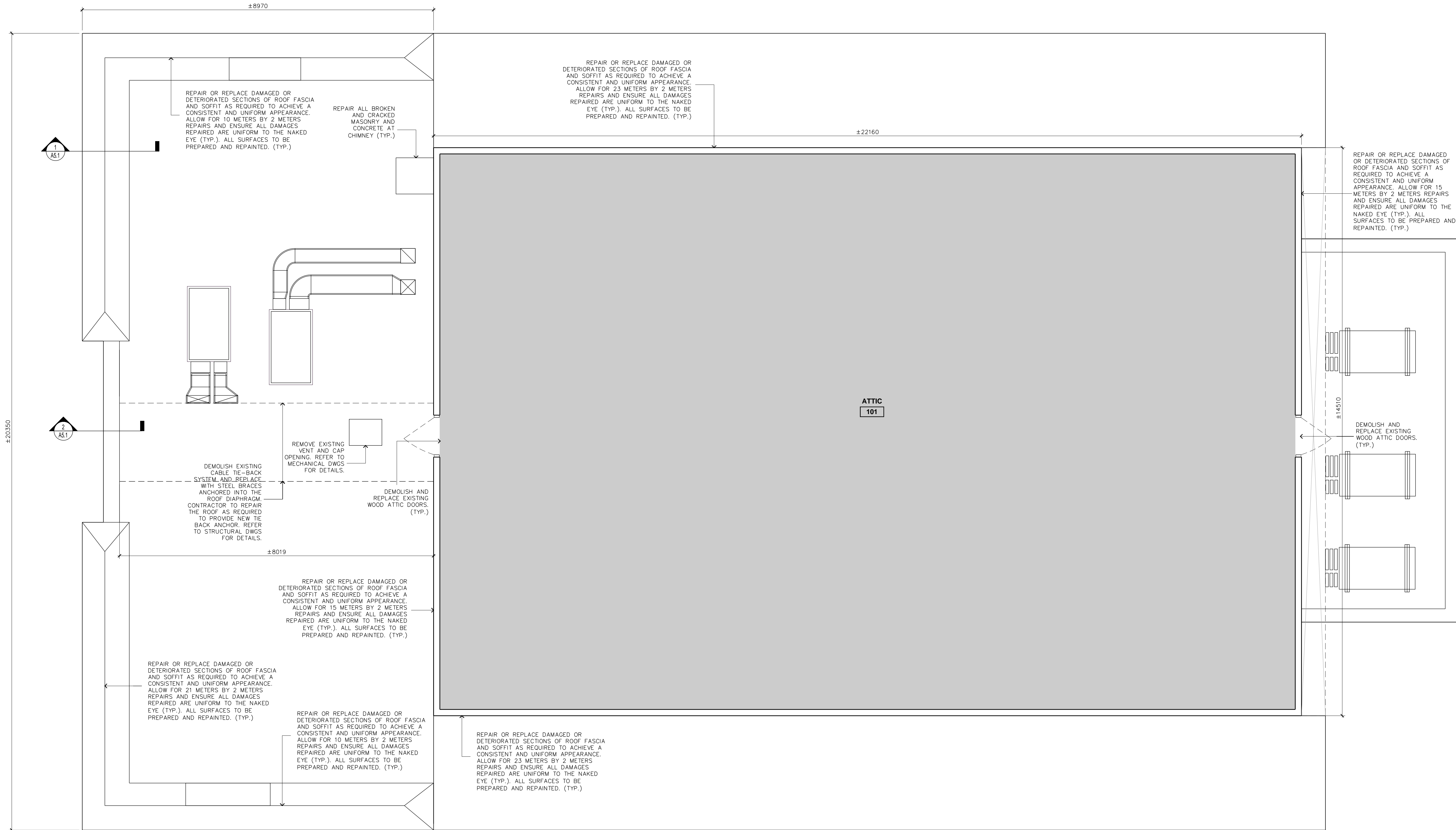


CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W. MISSISSAUGA, ON  
ATTIC -  
DEMOLITION PLAN

project no. : 2436  
scale : 1 : 50  
date : JUNE 2025

drawing no. :

A2.4





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13 FLAT ROOF GUY WIRES  
A2.4a / NTS



10 A-ROOF WEST CORNER  
A2.4a / NTS



7 ATTIC  
A2.4a / NTS



4 CHIMNEY ON WEST SIDE OF ROOF  
A2.4a / NTS



1 ATTIC DOOR  
A2.4a / NTS



14 GUY WIRES  
A2.4a / NTS



11 A-ROOF EAST CORNER  
A2.4a / NTS



8 ATTIC  
A2.4a / NTS



5 CHIMNEY  
A2.4a / NTS



2 CHIMNEY ON EAST SIDE OF ROOF  
A2.4a / NTS



15 GUY WIRES  
A2.4a / NTS



12 A-ROOF FASCIA  
A2.4a / NTS



9 ATTIC ROOF  
A2.4a / NTS

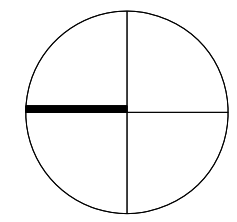


6 CHIMNEY  
A2.4a / NTS



3 ACCESS HATCH AND VENT  
A2.4a / NTS

ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD. W. MISSISSAUGA, ON  
ATTIC -  
DEMOLITION PLAN  
PHOTOS

project no. : 2435  
scale : NTS  
date : JUNE 2025

drawing no. :

A2.4a



general notes :

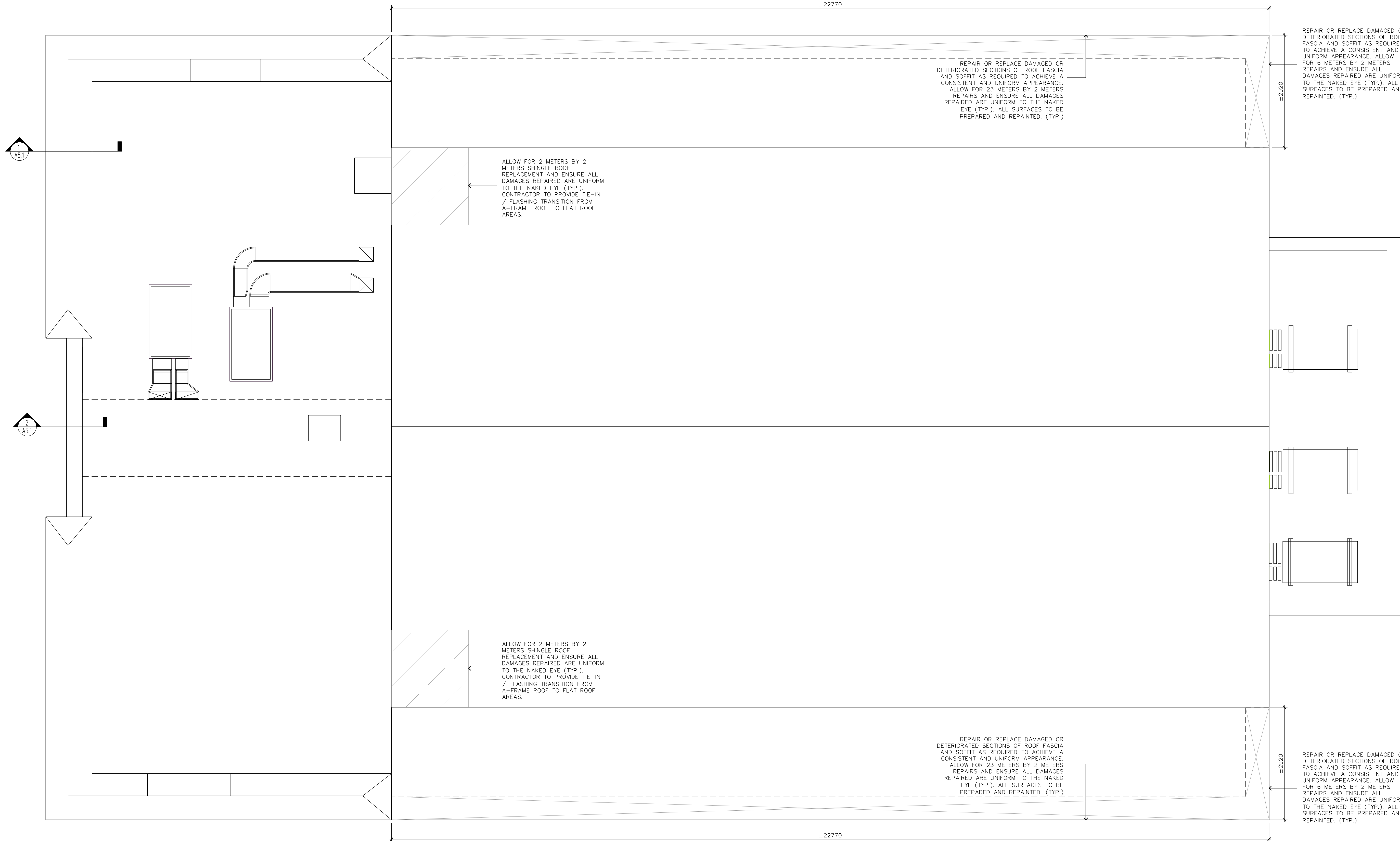
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DEMOLITION FLOOR PLAN LEGEND:

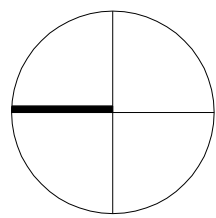
- EXISTING PARTITIONS TO REMAIN
- DEMOLISH EXISTING
- PARTITIONS AS INDICATED.
- OUTSIDE SCOPE OF WORK

GENERAL DEMOLITION NOTES:

- A. ALL FURNITURE AND ITEMS, INCLUDING BUT NOT LIMITED TO CHAIRS, TABLES, STORAGE UNITS, ETC. TO BE REMOVED BY OTHERS AND IS N.I.C. UNLESS OTHERWISE NOTED.
- B. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- C. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. ALL STRUCTURAL ELEMENTS TO REMAIN, UNLESS NOTED OTHERWISE.
- D. ACCOUNT FOR WORKING AROUND EXISTING SERVICES.
- E. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES.
- F. ALLOW EXTERIOR AND INTERIOR WALL SURFACE TO DRY AT LEAST 72 HOURS BEFORE APPLYING BASE PRIMER AND PAINT.
- G. CONTRACTOR SHALL REMOVE ALL DEBRIS AND DEMOLITION MATERIALS FROM CLARK MEMORIAL HALL AND SHALL PROPERLY DISPOSE OF THEM IN ACCORDANCE WITH THE AUTHORITIES HAVING JURISDICTION.



ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
ISSUED FOR 30% CLIENT'S REVIEW	30 MAY 2025
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 101 LAKESHORE RD W MISSISSAUGA, ON  
ROOF -  
DEMOLITION PLAN

project no. : 2435  
scale : 1 : 50  
date : JUNE 2025




drawing no. :

A2.5



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 EXISTING PARTITIONS TO REMAIN  
 DEMOLISH EXISTING PARTITIONS AS INDICATED.  
 OUTSIDE SCOPE OF WORK

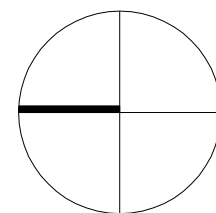
A. ALL FURNITURE AND ITEMS, INCLUDING BUT NOT LIMITED TO CHAIRS, TABLES, STORAGE UNITS, ETC. TO BE REMOVED BY OTHERS AND IS N.I.C. UNLESS OTHERWISE NOTED.

C. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. ALL STRUCTURAL ELEMENTS TO REMAIN, UNLESS NOTED OTHERWISE.

E. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES.

G. CONTRACTOR SHALL REMOVE ALL DEBRIS AND DEMOLITION MATERIALS FROM CLARK MEMORIAL HALL AND SHALL PROPERLY DISPOSE OF THEM IN ACCORDANCE WITH THE AUTHORITIES HAVING JURISDICTION.

ISSUED FOR HERITAGE PERMIT 09 JUNE 2025  
ISSUED FOR 35% CLIENTS REVIEW 30 MAY 2025  
revision date



Address: 161 LAKESHORE RD W, MISSISSAUGA

project no. : 2435  
scale : 1 : 25  
date : JUNE 2025

drawing no. :

## A2.6

ALL LOCATIONS WHERE THE CONCRETE FOUNDATION IS DETERIORATED, REPAIR WORK TO INCLUDE:

- EXCAVATION OF FOUNDATION TO BOTTOM OF WALL ON EXTERIOR
  - ABRASIVE BRUSHING ON CONCRETE FOUNDATION TO REMOVE ALL LOOSE FRIABLE MATERIAL
  - POURING A 150 mm REINFORCED CONCRETE WALL ON BOTH SIDES OF FOUNDATION, TYING THROUGH WALL ON REGULAR PATTERN TO TIE NEW CONCRETE WALLS TOGETHER
  - INSTALLING NEW WATERPROOFING AND DRAINAGE ON EXTERIOR
- STRUCTURAL DWGS FOR DETAILS AND EXTENT OF WORK.

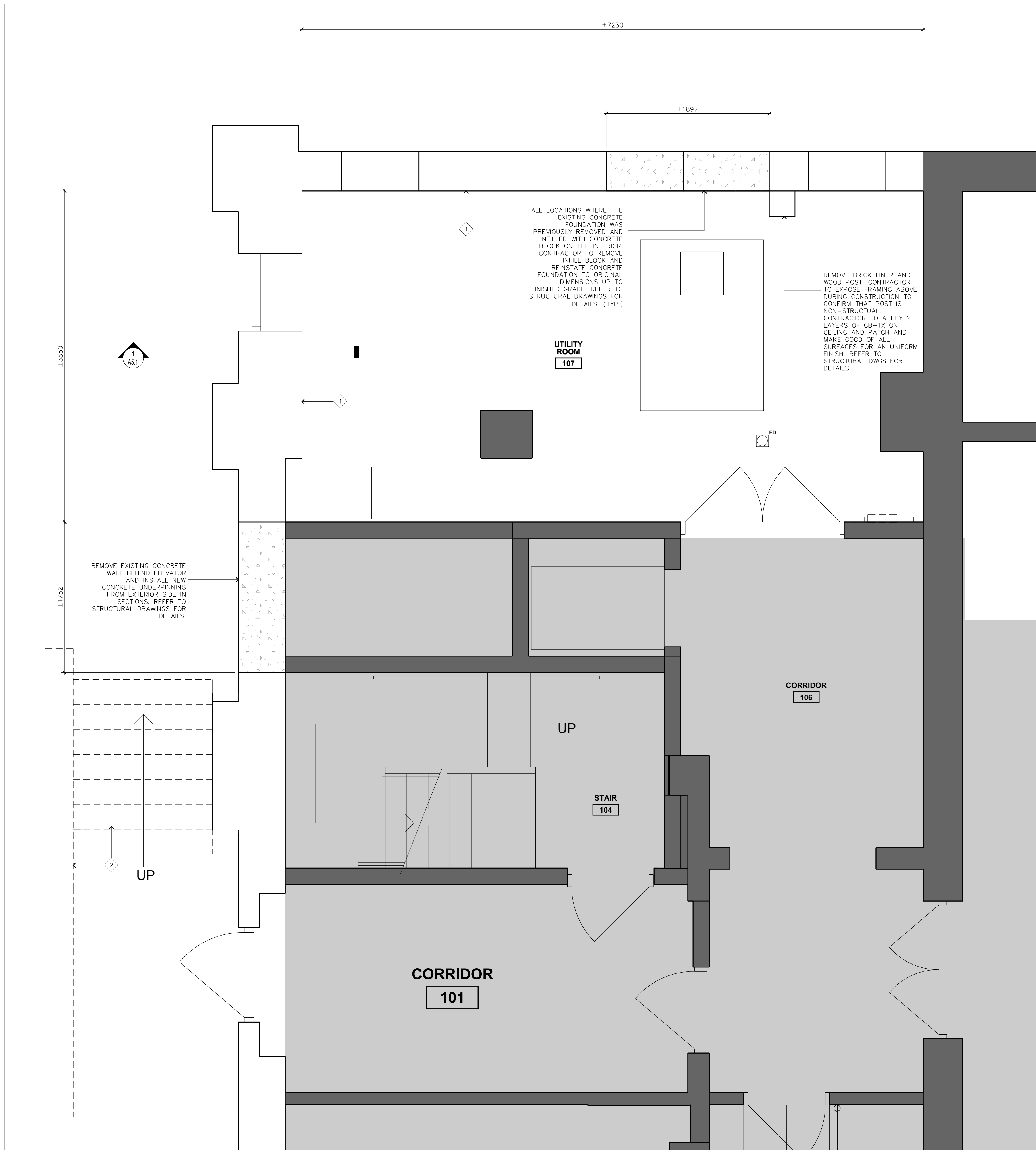
REFER TO STRUCTURAL DWGS FOR DETAILS AND EXTENT OF WORK

DEMOLISH EXISTING PARTITIONS AND STAIRS AS INDICATED. MAKE GOOD ALL RETAINED PORTIONS OF PARTITIONS. PATCH AND MAKE GOOD OF DAMAGED SURFACES.

DEMOLISH AND SALVAGE ALL EXISTING WALL MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO PLAQUES, SIGNAGE, ETC.

ALL EXISTING FURNITURE, ACOUSTIC CEILING PANELS AND ITEMS TO BE COVERED AND PROTECTED FROM DUST, DEBRIS AND DAMAGE DURING THE COURSE OF CONSTRUCTION.

PREPARE WALL TO RECEIVE NEW FINISH. PATCH AND REPAIR ALL DAMAGED WALL SURFACES AS REQUIRED PRIOR TO APPLYING NEW PAINT FINISH.









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EXISTING WALL/PARTITION TO REMAIN

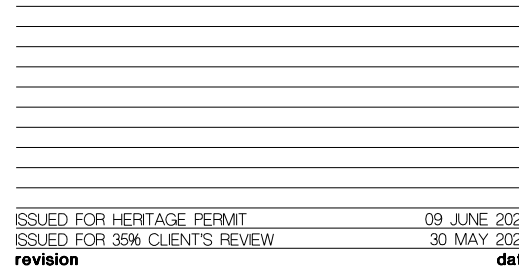
OUTSIDE SCOPE OF WORK

A. PATCH AND MAKE GOOD OF ALL MATERIALS AND SURFACES.

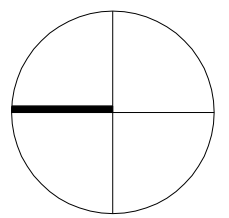
B. CLEARLY CUT AND DEMO EXISTING WALL AND PATCH AND MAKE GOOD OF ALL REMAINING WALLS FOR A SMOOTH UNIFORM FINISH. PROVIDE FULL SIZE CONCRETE BLOCKS INSERTS FOR AN UNIFORM WALL FINISH.

C. PATCH ALL HOLES AT CEILING WITH  
MATCHING ADJACENT MATERIAL

D. PAINT ALL PREVIOUSLY PAINTED SURFACES. TYPICAL FOR ALL INTERIOR AND EXTERIOR SURFACE. ALLOW FOR 6 PAINT COLOURS (4 DARK COLOURS AND 2 LIGHT COLOURS)



ISSUED FOR HERITAGE PERMIT	09 JUNE 202
ISSUED FOR 36% CLIENT'S REVIEW	30 MAY 202
revision	date



# CLARKE MEMORIAL HALL RESTORATION

Address:161 LAKESHORE RD W,MISSISSAUGA,ON

**BASEMENT FLOOR -  
PROPOSED PLAN**

project no. : 2435  
scale : 1 : 50  
date : JUNE 2025

drawing no. :

## A2.8



general notes :

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FLOOR PLAN LEGEND:

- EXISTING WALL/PARTITION TO REMAIN
- OUTSIDE SCOPE OF WORK

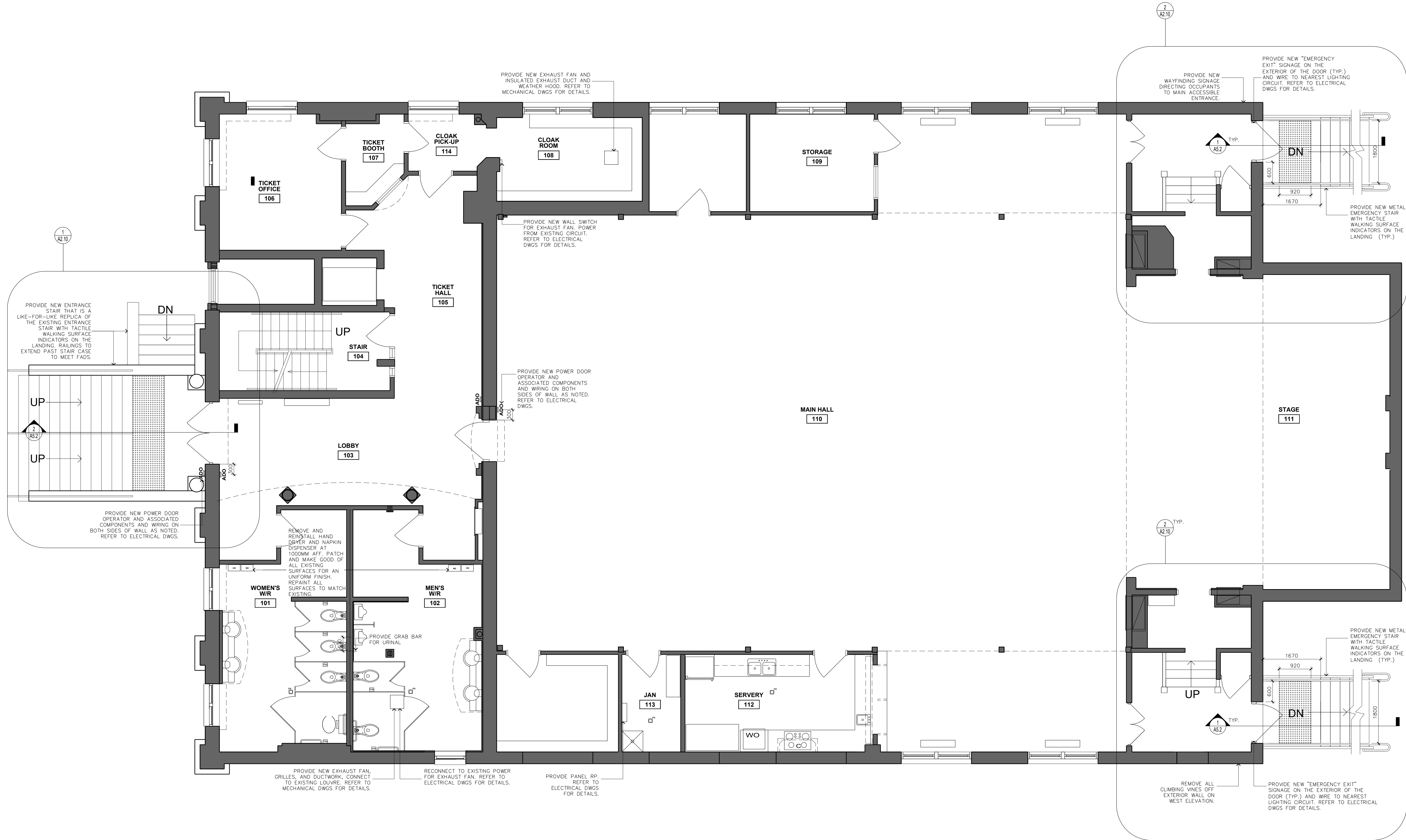
GENERAL FLOOR PLAN NOTES:

A. PATCH AND MAKE GOOD OF ALL MATERIALS AND SURFACES.

B. CLEARLY CUT AND DEMO EXISTING WALLS AND PATCH AND MAKE GOOD OF ALL REMAINING WALLS FOR A SMOOTH UNIFORM FINISH. PROVIDE FULL SIZE CONCRETE BLOCKS INSERTS FOR AN UNIFORM WALL FINISH.

C. PATCH ALL HOLES AT CEILING WITH MATCHING ADJACENT MATERIAL.

D. PAINT ALL PREVIOUSLY PAINTED SURFACES. TYPICAL FOR ALL INTERIOR AND EXTERIOR SURFACE. ALLOW FOR 6 PAINT COLOURS (4 DARK COLOURS AND 2 LIGHT COLOURS)



ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
ISSUED FOR 30% CLIENT'S REVIEW	30 MAY 2025
revision	date

CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
GROUND FLOOR -  
PROPOSED PLAN

project no. : 2435  
scale : 1 : 50  
date : JUNE 2025

drawing no. :

A2.09







general notes :

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- WINDOW RESTORATION NOTES :**
- CLEAN ALL EXISTING WOOD WINDOW FRAMES TO REMOVE DIRT, DEBRIS, AND LOOSE OR PEELING PAINT. SAND AND PREPARE SURFACES TO RECEIVE NEW PAINT.
  - CAREFULLY REMOVE EXISTING CAULKING AROUND WINDOW PERIMETERS ON BOTH INTERIOR AND EXTERIOR FACES. CLEAN SURFACES AND PREPARE TO RECEIVE NEW SEALANT.
  - INSTALL NEW CONTINUOUS SEALANT AROUND ALL WINDOW PERIMETERS, INTERIOR AND EXTERIOR, TO ENSURE A COMPLETE WEATHER-TIGHT SEAL.
  - FILL ALL CRACKS, GAPS, AND MINOR SURFACE DEFECTS IN WOOD FRAMES WITH EXTERIOR-GRADE WOOD FILLER AS REQUIRED. APPLY TWO COATS OF PAINT TO ALL PREPARED WOOD SURFACES. MATCH COLOUR TO EXISTING.
  - REPAINT ALL BASEMENT WINDOW CAGES. APPLY TWO COATS OF PAINT, MATCH COLOUR TO EXISTING.
  - INSTALL TRADITIONAL VENTED WOOD-FRAMED EXTERIOR STORM WINDOWS AT ALL FIXED WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND ENERGY EFFICIENCY.

REPAIR/REPLACE DAMAGED OR DETERIORATED SECTIONS OF ROOF FASCIA AND SOFFIT AS REQUIRED TO ACHIEVE A CONSISTENT AND UNIFORM APPEARANCE. ALL SURFACES TO BE PREPARED AND REPAINTED. (TYP.)

REPAIR/REPLACE DAMAGED OR DETERIORATED SECTIONS OF ROOF FASCIA AND SOFFIT AS REQUIRED TO ACHIEVE A CONSISTENT AND UNIFORM APPEARANCE. ALL SURFACES TO BE PREPARED AND REPAINTED. (TYP.)

REMOVE AND REPLACE CORRODED WINDOW LINTELS THROUGHOUT ALL THREE ORIGINAL BUILDING ELEVATIONS. (TYP.) REFER TO STRUCTURAL DWGS FOR DETAILS.

REMOVE PAVING ON ALL OF THE ABOVE GRADE STONE MASONRY ON NORTH ELEVATION. (TYP.) REFER TO STRUCTURAL DWGS FOR DETAILS.

DISCONNECT AND RECONNECT GAS PIPING AT EXISTING GAS METER AS REQUIRED TO FACILITATE STRUCTURAL REPAIRS. COORDINATE RELOCATION OF INCOMING GAS SERVICES WITH ENBRIDGE. REFER TO MECHANICAL DWGS FOR DETAILS.

PROVIDE NEW ENTRANCE STAIR THAT IS A LIKE-FOR-LIKE REPLICA OF THE EXISTING STAIR

SHORE EXISTING DECORATIVE COLUMN THAT ARE SUPPORTED BY THE LANDING SLAB DURING THE DURATION OF THE WORK. REFER TO STRUCTURAL DWGS FOR DETAILS.

ALLOW FOR REPOINTING / REPAIRS TO EXTERIOR MASONRY ON ALL ELEVATIONS AS REQUIRED

1 NORTH ELEVATION  
A4.1 1:50

REPAIR/REPLACE DAMAGED OR DETERIORATED SECTIONS OF ROOF FASCIA AND SOFFIT AS REQUIRED TO ACHIEVE A CONSISTENT AND UNIFORM APPEARANCE. ALL SURFACES TO BE PREPARED AND REPAINTED. (TYP.)

REPAIR/REPLACE DAMAGED OR DETERIORATED SECTIONS OF ROOF FASCIA AND SOFFIT AS REQUIRED TO ACHIEVE A CONSISTENT AND UNIFORM APPEARANCE. ALL SURFACES TO BE PREPARED AND REPAINTED. (TYP.)

ALLOW FOR 8 METERS BY 3 METERS REPAIR/REPAIRING ON ALL OF THE ABOVE GRADE CONCRETE FOUNDATION WALL. (TYP.).

ALLOW FOR 8 METERS BY 3 METERS REPAIR/REPAIRING ON ALL OF THE ABOVE GRADE CONCRETE FOUNDATION WALL. (TYP.).

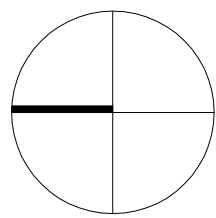
PROVIDE NEW METAL EMERGENCY EXTERIOR STAIRS TO ALLOW FOR PROPER DRAINAGE (TYP.)

PROVIDE NEW METAL EMERGENCY EXTERIOR STAIRS TO ALLOW FOR PROPER DRAINAGE (TYP.)

ALLOW FOR REPOINTING / REPAIRS TO EXTERIOR MASONRY ON ALL ELEVATIONS AS REQUIRED

2 SOUTH ELEVATION  
A4.1 1:50

ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
ISSUED FOR 30% CLIENT'S REVIEW	30 MAY 2025
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
NORTH AND SOUTH  
ELEVATIONS

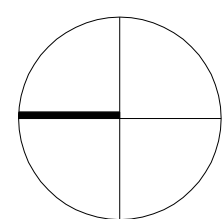
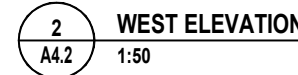
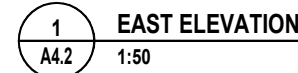
project no. : 2435  
scale : 1 : 50  
date : JUNE 2025

drawing no. :

A4.1



- 1 CLEAN ALL EXISTING WOOD WINDOW FRAMES TO REMOVE DIRT, DEBRIS, AND LOOSE OR PEELING PAINT. SAND AND PREPARE SURFACES TO RECEIVE NEW PAINT.
- 2 CAREFULLY REMOVE EXISTING CAULKING AROUND WINDOW PERIMETERS ON BOTH INTERIOR AND EXTERIOR FACES. CLEAN SURFACES AND PREPARE TO RECEIVE NEW SEALANT.
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- 5 PAINT ALL BASEMENT WINDOW CAGES. APPLY TWO COATS OF PAINT, MATCH COLOUR TO EXISTING.
- 6 INSTALL TRADITIONAL VENTED WOOD-FRAMED EXTERIOR STORM WINDOWS AT ALL FIXED WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND ENERGY EFFICIENCY.



Address:161 LAKESHORE RD W,MISSISSAUGA

project no. : 2435  
scale : 1 : 50  
date : JUNE 2025

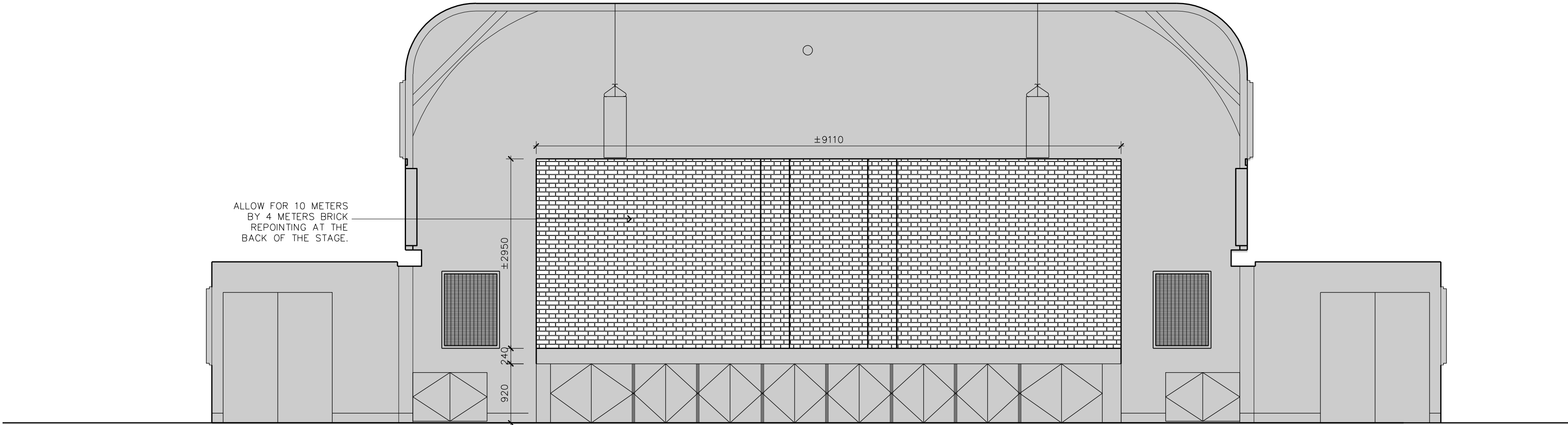


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FLOOR PLAN LEGEND:

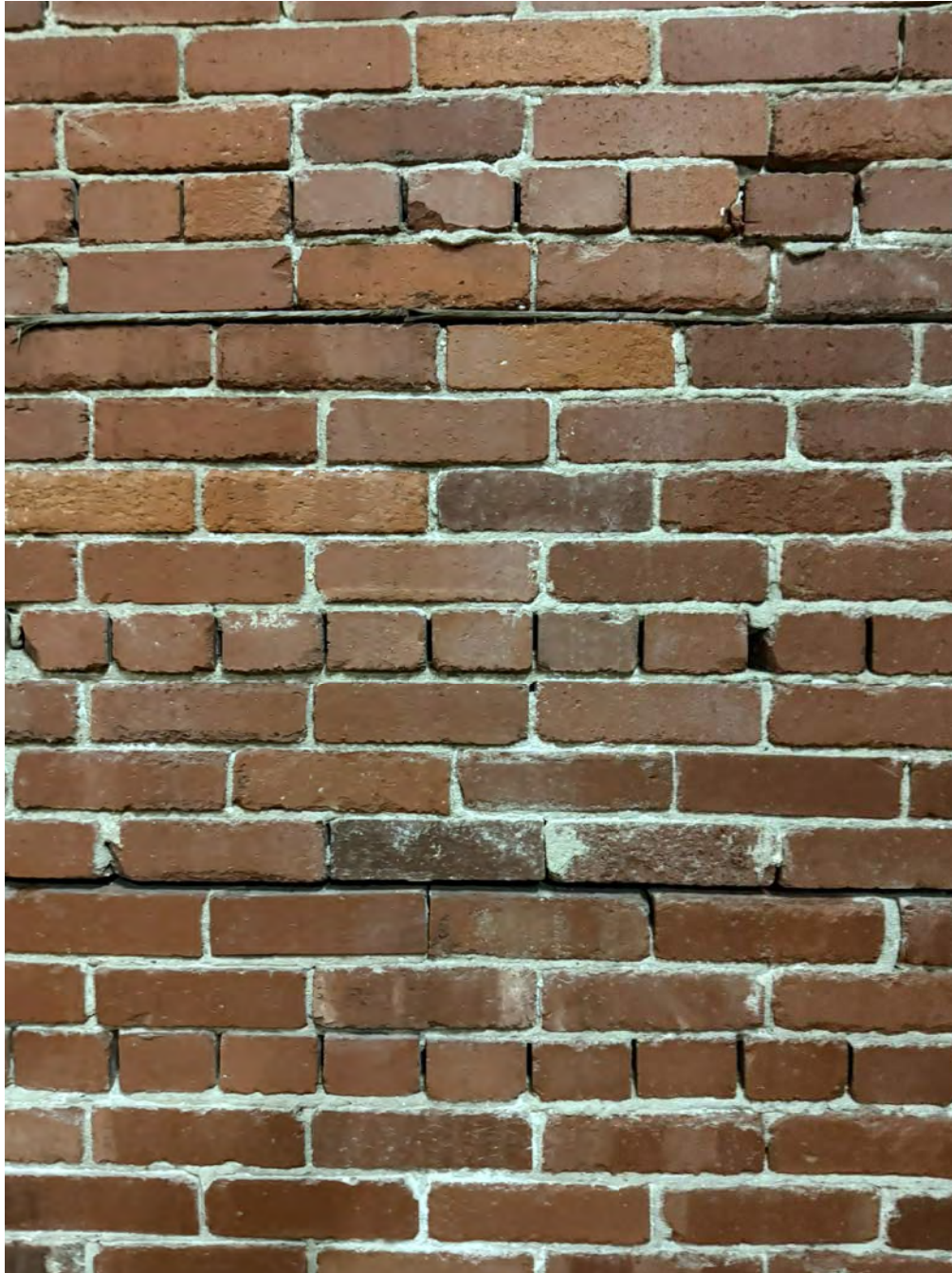
- EXISTING WALL/PARTITION TO REMAIN
- OUTSIDE SCOPE OF WORK



1 INTERIOR ELEVATION - SOUTH STAGE  
A4.3 1:50



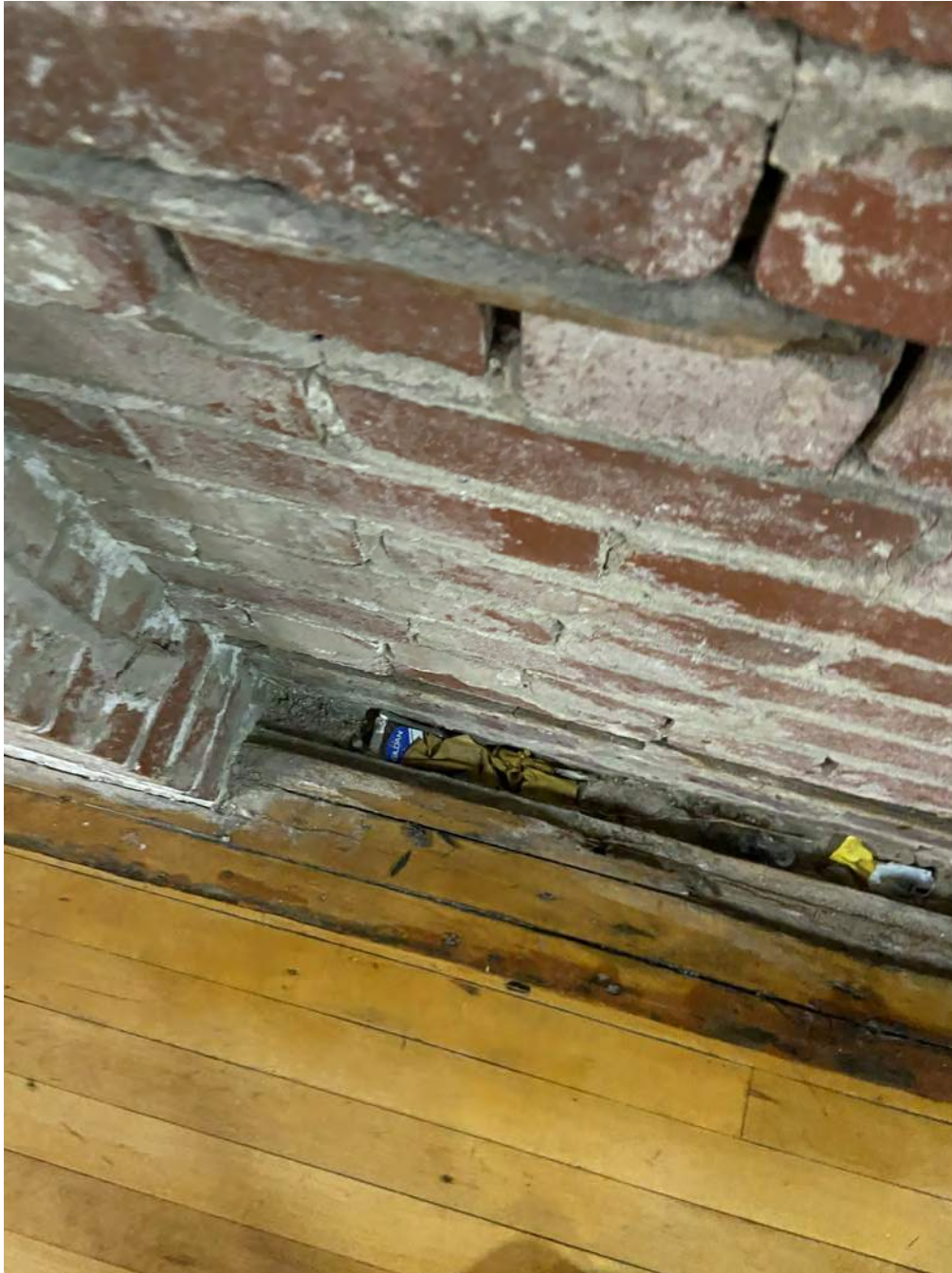
6 STAGE WALL  
A4.3 NTS



5 STAGE WALL MASONRY  
A4.3 NTS



4 STAGE WALL  
A4.3 NTS

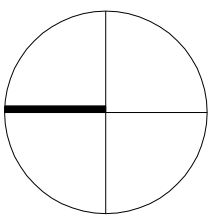


3 STAGE WALL - FLOOR TO WALL  
A4.3 NTS



2 STAGE WALL MASONRY  
A4.3 NTS

ISSUED FOR HERITAGE PERMIT	09 JUNE 2025
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD. W. MISSISSAUGA, ON  
INTERIOR  
ELEVATIONS

project no. : 2435  
scale : 1 : 50  
date : JUNE 2025

drawing no. :

A4.3

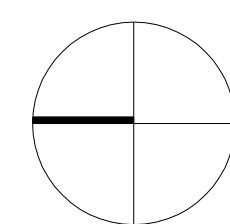


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ISSUED FOR HERITAGE PERMIT 09 JUNE 2025  
ISSUED FOR 35% CLIENTS REVIEW 30 MAY 2025  
revision date



## CLARKE MEMORIAL HALL RESTORATION

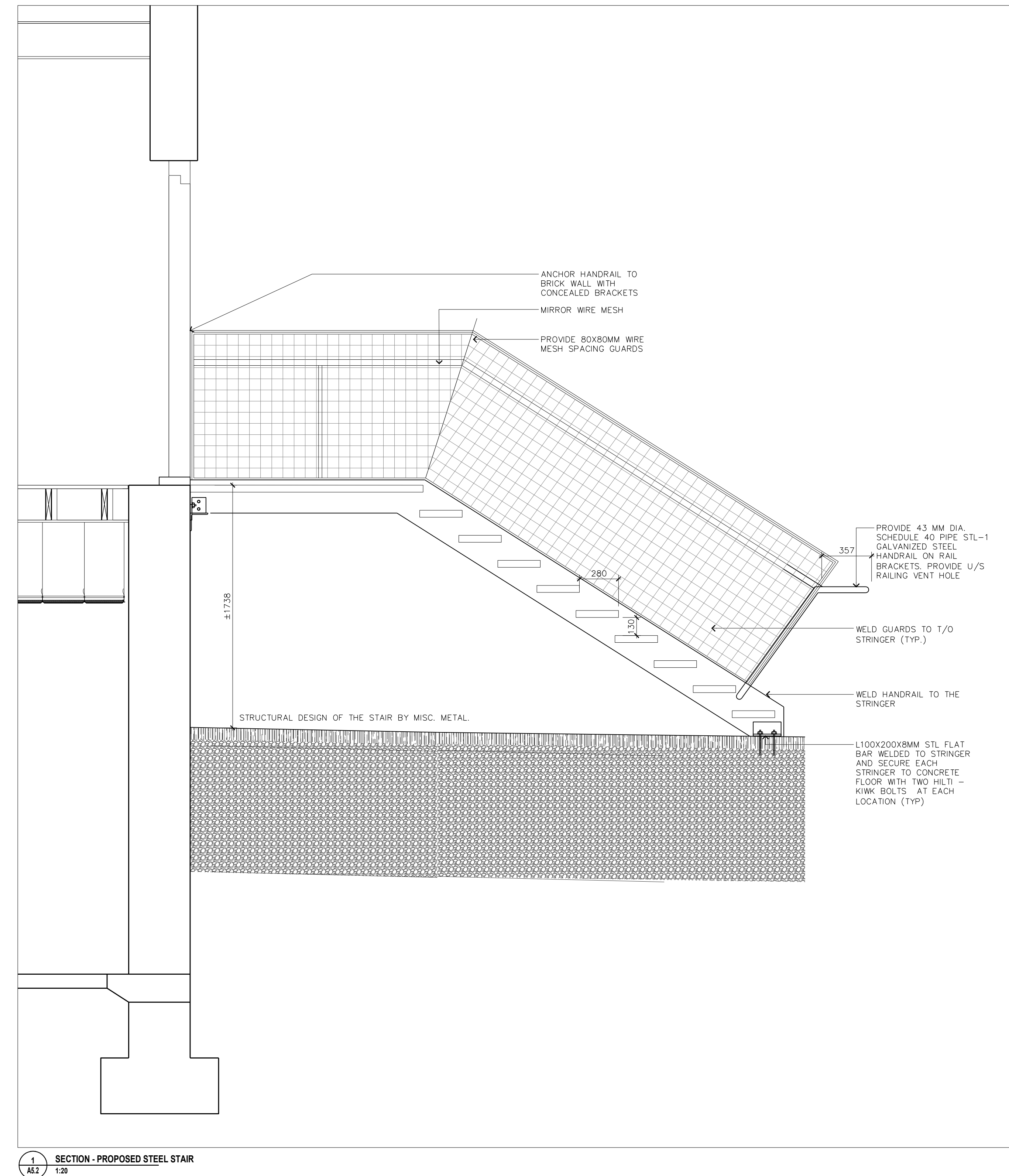
drawing no. :



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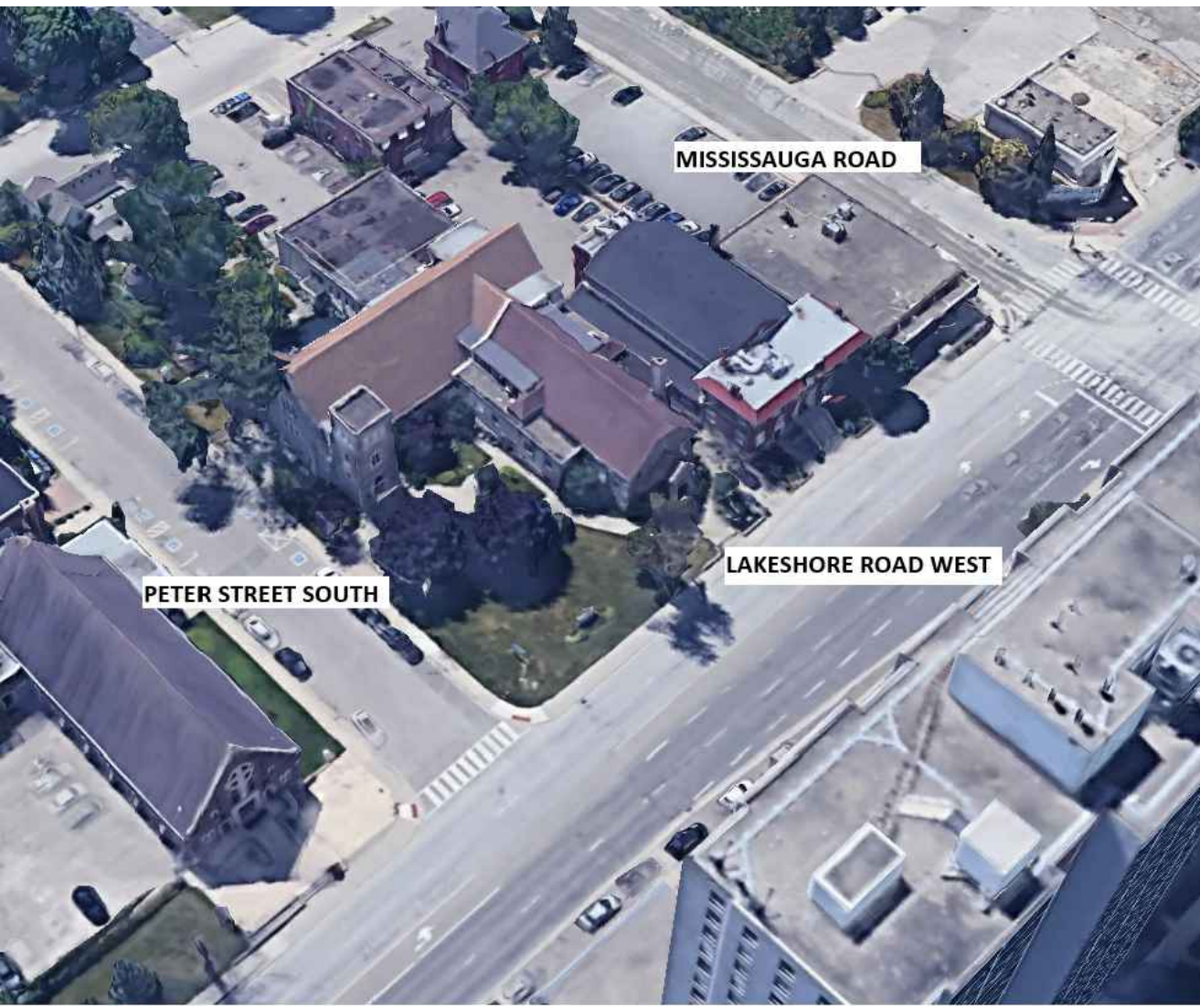
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Blackwell  
Toronto | Waterloo | Victoria | Halifax  
416.593.5300 | blackwell.ca



2 3D AERIAL VIEW  
S001



1 FRONT FACADE VIEW  
S001

**NOTE:**  
THIS SET OF DRAWINGS IS AN EARLY CONCEPT SET - ISSUED FOR HERITAGE PERMIT REVIEW ONLY. NOT FOR CONSTRUCTION.

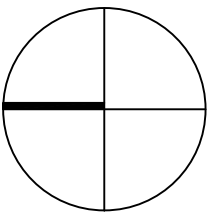
# CLARKE MEMORIAL HALL RESTORATION

Project # 250167

Blackwell

Toronto 416.593.5300 | Waterloo 519.616.0895 |  
Victoria 778.817.1010 | Halifax 902.593.0125 |  
blackwell.ca


01 - Concept Drawings Issued for Heritage Permit June 9, 2025  
revision date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD. W. MISSISSAUGA, ON  
GENERAL NOTES

project no. : 250167  
scale : N/A  
date : APRIL 2025

drawing no. :

S001



general notes :

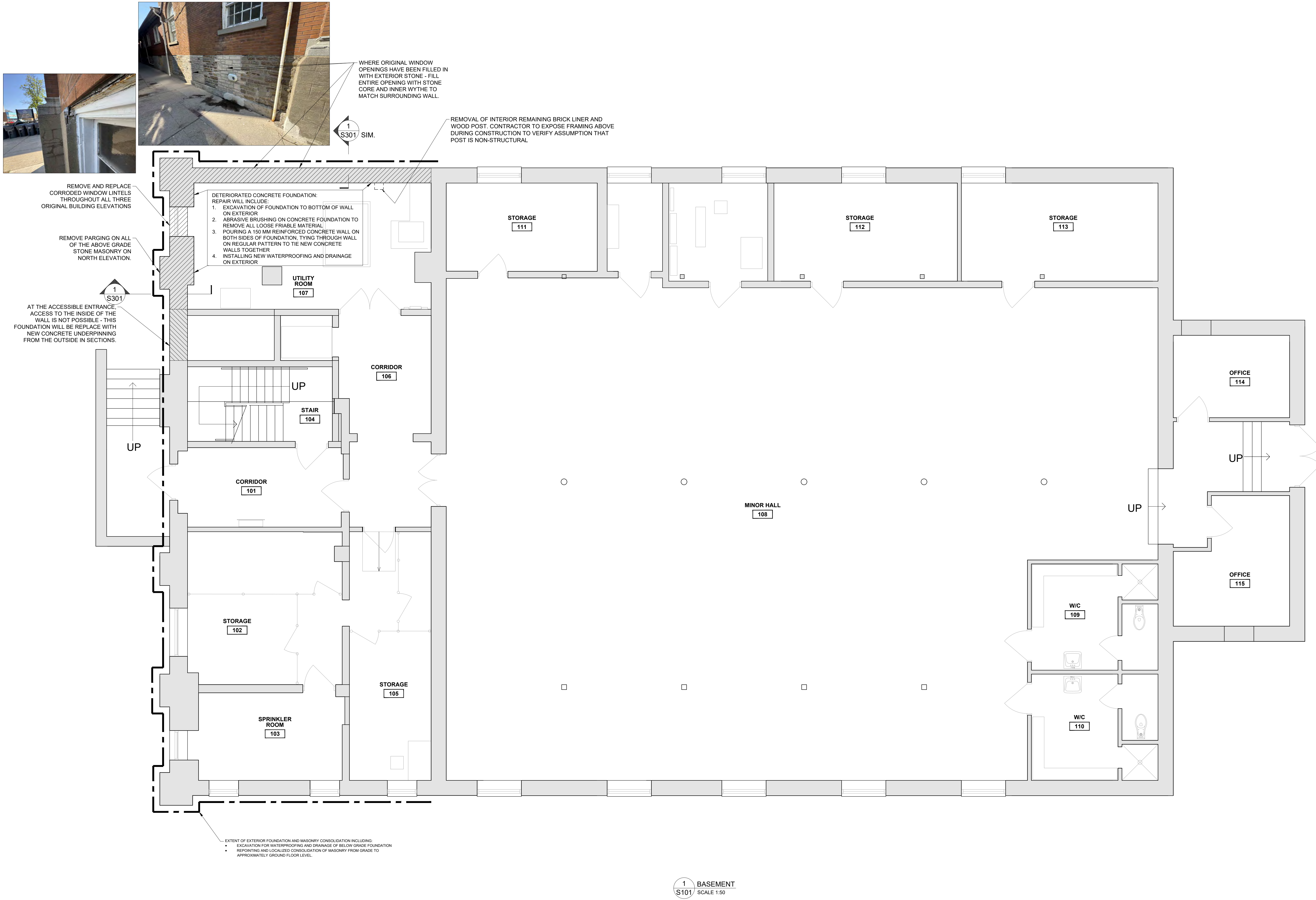
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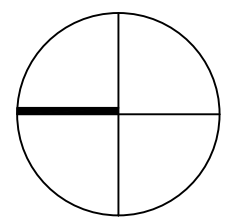
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Blackwell

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01 - Concept Drawings Issued for Heritage Permit	June 9, 2025
Revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
BASEMENT PLAN

project no. : 250167  
scale : N.A.  
date : APRIL 2025

drawing no. :

S101

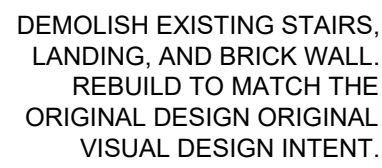
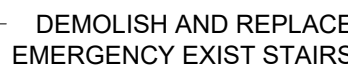
1 BASEMENT  
S101 SCALE 1:50



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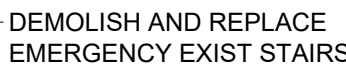
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**416.593.5300 | blackwell.ca**

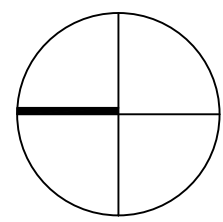


SHORE EXISTING DECORATIVE COLUMNS  
THAT ARE SUPPORTED BY THE LANDING  
SLAB DURING THE DURATION OF THE WORK

1 GROUND FLOOR PLAN  
S102 SCALE 1:50



01 - Concept Drawings Issued for Heritage Permit	June 9, 2025
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
GROUND FLOOR PLAN

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project no. : 250167
scale : N.A
date : APRIL 2025
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drawing no. :

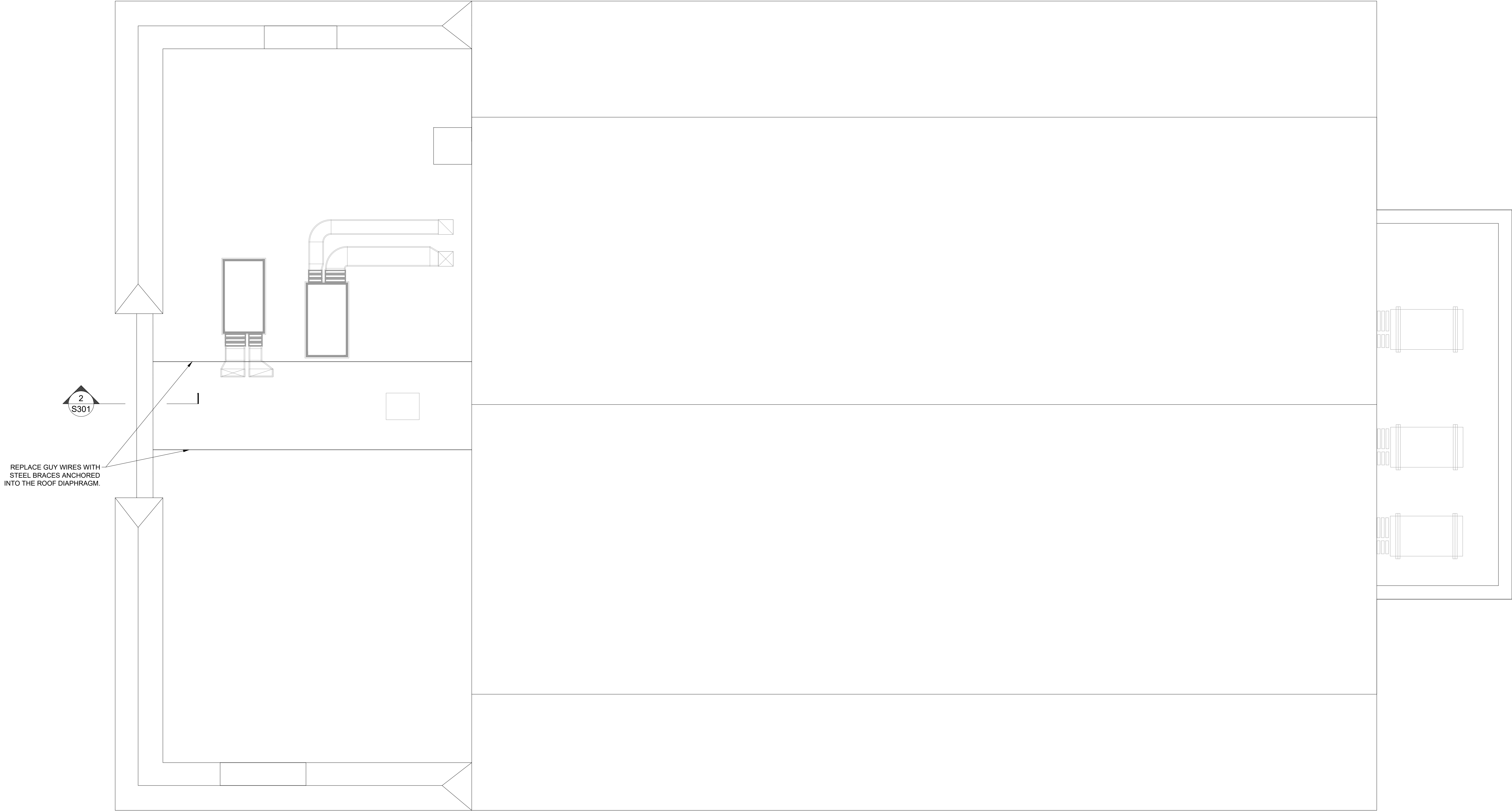
S102



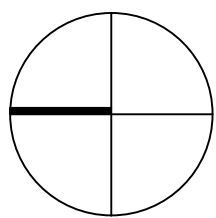
- general notes :
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  - Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
  - Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the Architect.

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416.593.5300 | blackwell.ca



01 - Concept Drawings Issued for Heritage Permit	June 9, 2025
Revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
ROOF PLAN

1 PLAN DETAIL  
S101 SCALE 1:100

project no. : 250167  
scale : N/A  
date : APRIL 2025

drawing no. :

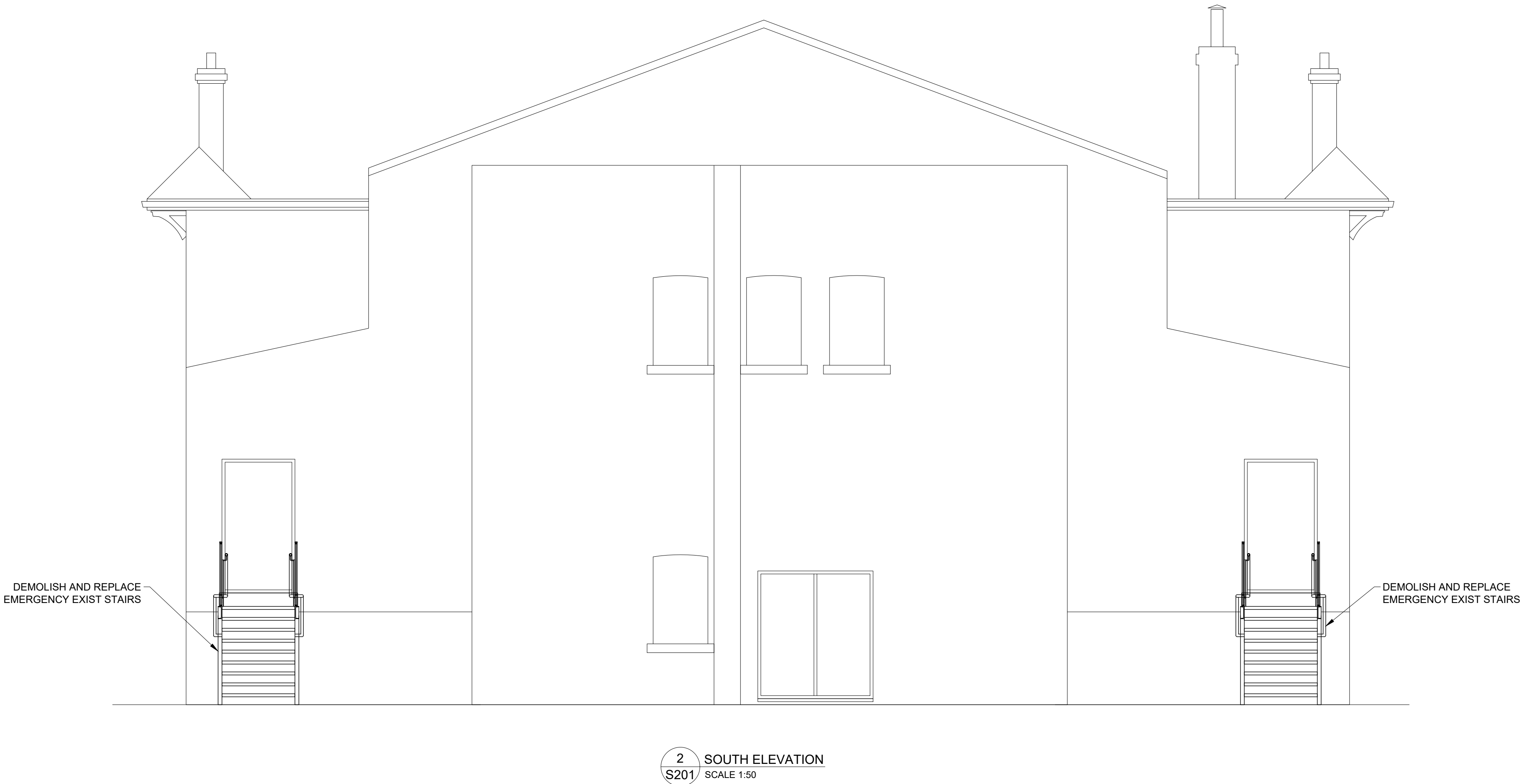
S103



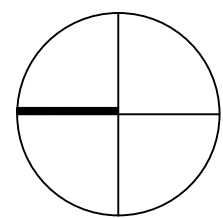
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01 - Concept Drawings Issued for Heritage Permit	June 9, 2025
Revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
NORTH AND SOUTH  
ELEVATION

project no. : 250167  
scale : N/A  
date : APRIL 2025

drawing no. :

S201



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DEMOLISH EXISTING STAIRS,  
LANDING, AND BRICK WALL.  
REBUILD TO MATCH THE  
ORIGINAL DESIGN

WHERE ORIGINAL WINDOW  
OPENINGS HAVE BEEN FILLED IN  
WITH EXTERIOR STONE - FILL  
ENTIRE OPENING WITH STONE  
CORE AND INNER WYTHE TO  
MATCH SURROUNDING WALL.

EXTENT OF REPOINTING AND LOCALIZED CONSOLIDATION OF MASONRY

- REMOVAL OF EXTERIOR HARD POINTING MORTARS THROUGHOUT. DEEP RAKING OUT JOINTS.
- REMOVAL OF STONES THAT FALL OUT AFTER RAKING JOINTS
- SELECT REMOVALS TO EVALUATE CORE WHERE NO STONES COME LOOSE.
- CONSOLIDATION OF ANY DISCOVERED VOID CORE AREAS (ASSUME 75% CORE REBUILDING REQUIRED AROUND BOILER ROOM AND 15% CORE REBUILDING ELSEWHERE)

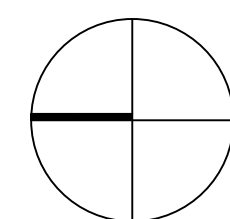
DEMOLISH EXISTING STAIRS,  
LANDING, AND BRICK WALL. REBUILD  
TO MATCH THE ORIGINAL DESIGN/

- EXTENT OF REPOINTING AND LOCALIZED CONSOLIDATION OF MASONRY
- REMOVAL OF EXTERIOR HARD POINTING MORTARS THROUGHOUT. DEEP RAKING OUT JOINTS.
- REMOVAL OF STONES THAT FALL OUT AFTER RAKING JOINTS
- SELECT REMOVALS TO EVALUATE CORE WHERE NO STONES COME LOOSE.
- CONSOLIDATION OF ANY DISCOVERED VOID CORE AREAS (ASSUME 75% CORE REBUILDING REQUIRED AROUND BOILER ROOM AND 15% CORE REBUILDING ELSEWHERE)

1 EAST ELEVATION  
S202 SCALE 1:50

2 WEST ELEVATION  
S202 SCALE 1:50

01 – Concept Drawings issued for Heritage Permit	June 9, 2021
revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
EAST AND WEST  
ELEVATION

```
project no. : 250167
scale : N.A
date : APRIL 2025
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drawing no. :

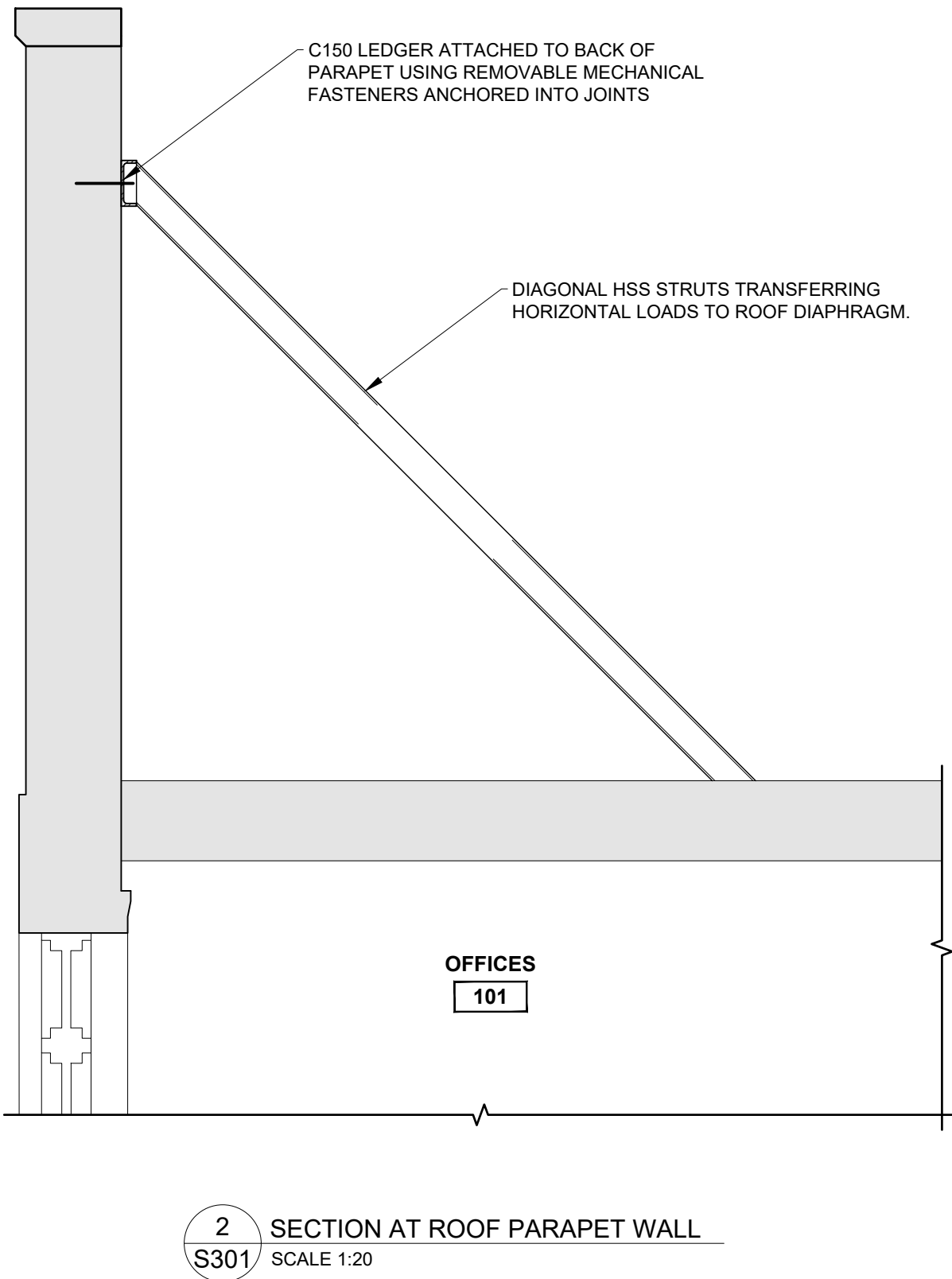
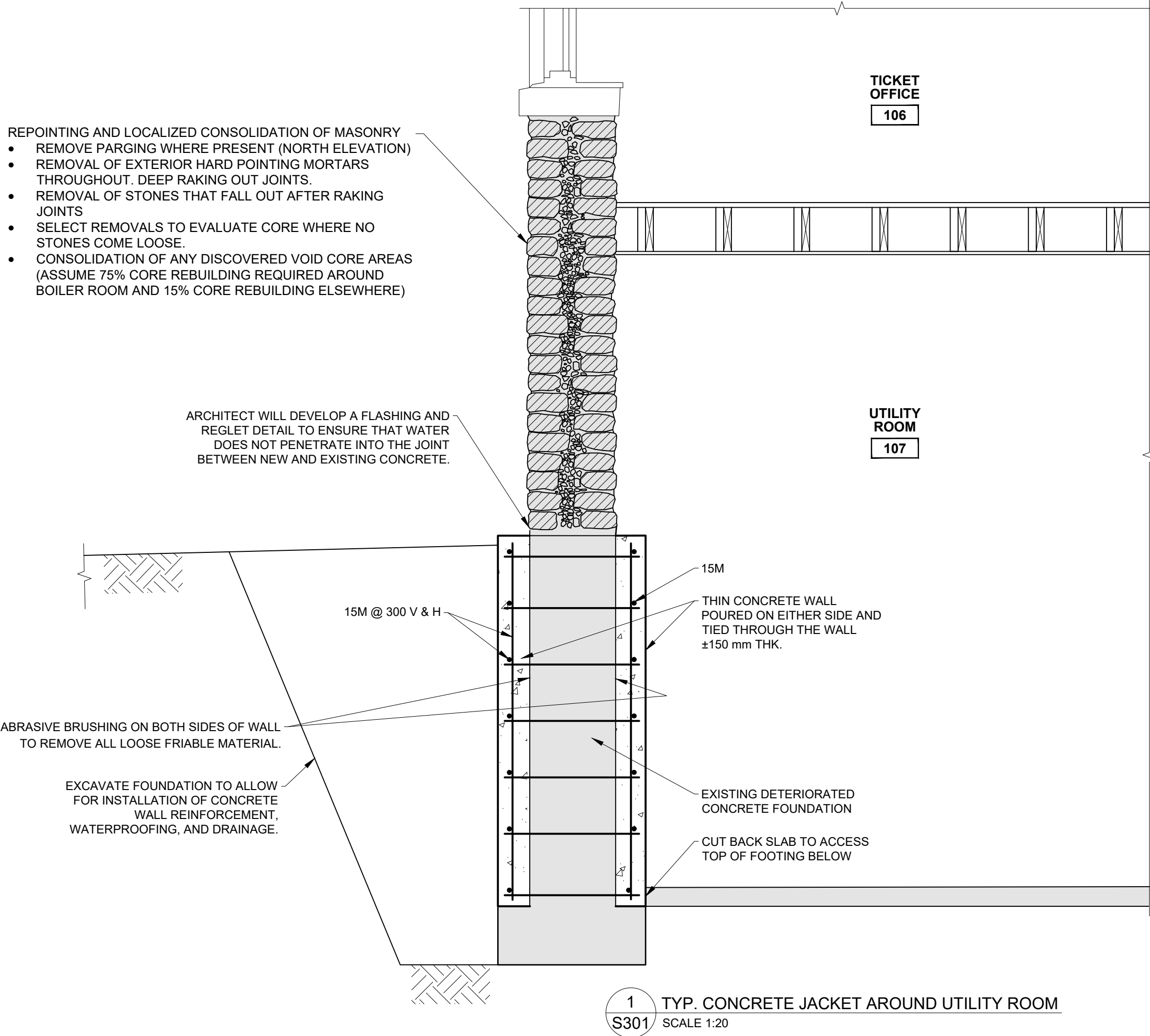
S202



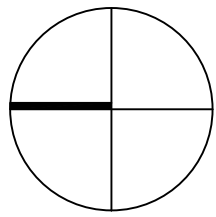
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01 - Concept Drawings Issued for Heritage Permit	June 9, 2025
Revision	date



CLARKE MEMORIAL HALL  
RESTORATION  
Address: 161 LAKESHORE RD W, MISSISSAUGA, ON  
SECTIONS AND DETAILS

project no. : 250167  
scale : N/A  
date : APRIL 2025

drawing no. : S301

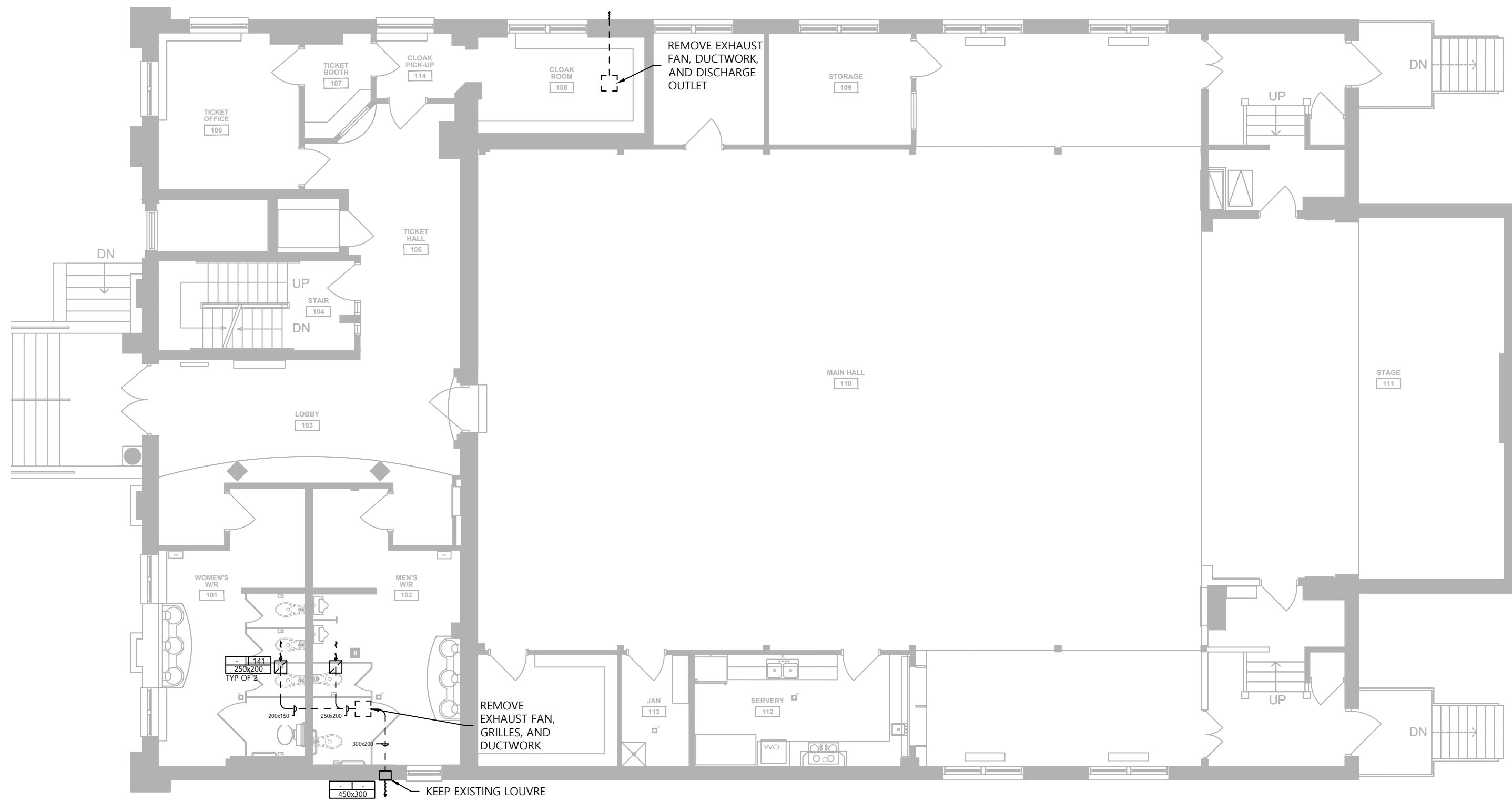






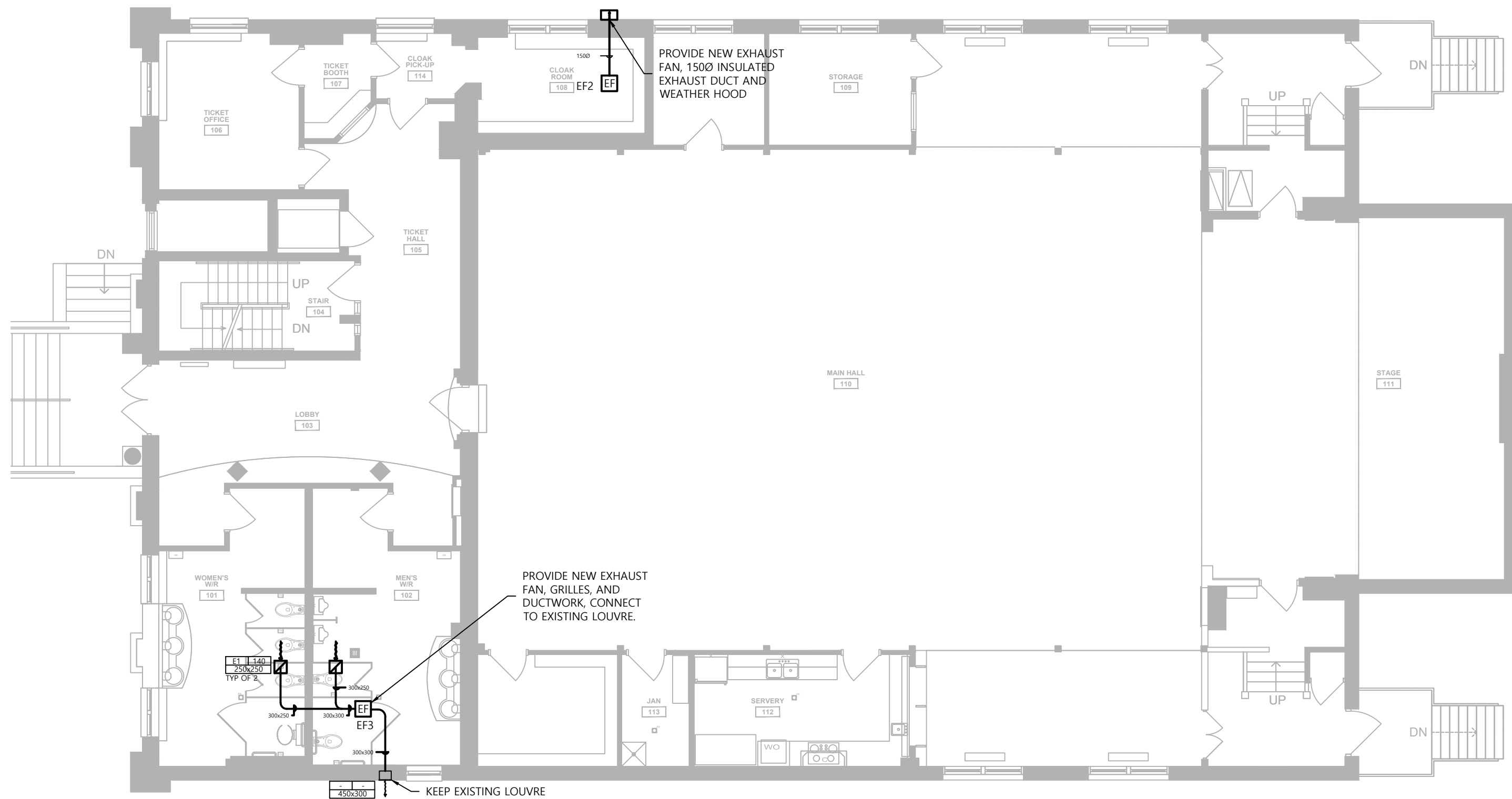






L1 HVAC LAYOUT DEMO

1:100



L1 HVAC LAYOUT RETROFIT

1:100

A	HERITAGE PERMIT	2025-06-09
-	CLIENT REVIEW - 50%	2025-04-08
REV.	DESCRIPTION	DATE



JDX Advance Services Inc.  
687 Barton Street, Suite 106  
Stoney Creek, Ontario  
289-329-0918 | www.JDXadvance.com

CLIENT: **CHERIE NG ARCHITECT INC.**

OWNER: **CITY OF MISSISSAUGA**  
300 CITY CENTRE DRIVE  
MISSISSAUGA, ON L5B 3C1

SEAL	SEAL

DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES

SITE: **CLARKE MEMORIAL HALL**  
161 LAKESHORE RD W  
MISSISSAUGA, ONTARIO L5H 1G3

PROJECT: **CLARKE MEMORIAL HALL RENOVATION**

TITLE: **MECHANICAL**  
HVAC L1 LAYOUTS

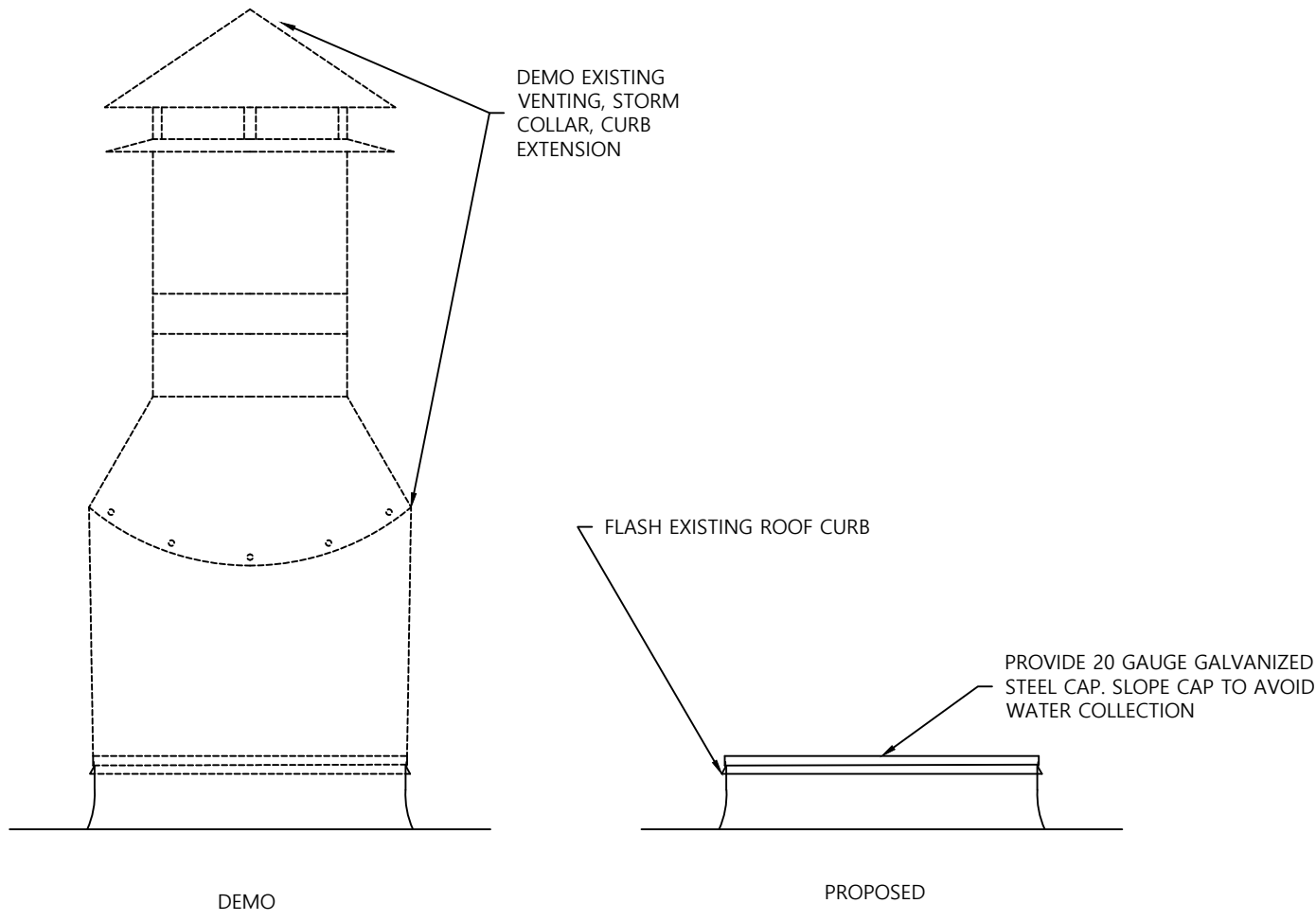
AS STATED	RB	JD
SCALE AT ARCH D:	DRAWN:	CHECKED:
<b>25130</b>	<b>M201</b>	<b>-</b>
PROJECT NO:	DRAWING NO:	REVISION:





ROOF HVAC LAYOUT RETROFIT

1:100



ROOF VENT DETAIL

SCALE: NTS

A	HERITAGE PERMIT	2025-06-09
-	CLIENT REVIEW - 50%	2025-04-08
REV.	DESCRIPTION	DATE



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Stoney Creek, Ontario  
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MISSISSAUGA, ON L5B 3C1

SEAL	SEAL
DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES	

SITE: **CLARKE MEMORIAL HALL**  
161 LAKESHORE RD W  
MISSISSAUGA, ONTARIO L5H 1G3

PROJECT: **CLARKE MEMORIAL HALL RENOVATION**

TITLE: **MECHANICAL**  
HVAC ROOF LAYOUTS

AS STATED	RB	JD
SCALE AT ARCH D:	DRAWN:	CHECKED:
<b>25130</b>	<b>M202</b>	<b>-</b>
PROJECT NO:	DRAWING NO:	REVISION:



- GENERAL ELECTRICAL CONDITIONS
1. CONTRACTOR IS RESPONSIBLE FOR ALL WORK, LABOUR, MATERIALS, TESTING TO DELIVER A COMPLETE AND FUNCTIONAL SYSTEMS, READY FOR OPERATION.
2. PERFORM WORK IN A CLEAN AND WORKMANLIKE MANNER. EXERCISE CARE TO DISRUPTION TO OTHER AREAS OF THE BUILDING WHICH ARE TO REMAIN IN OPERATION. ISOLATE WORK AREAS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA.
3. THE DRAWINGS ARE INTENDED TO BE DIAGRAMMATIC AND ARE DEVELOPED ON THE INDICATED BASIS OF DESIGN EQUIPMENT. ALL ITEMS MAY NOT BE SHOWN OR NOT SHOWN IN THEIR EXACT LOCATION, OR WITH EXACT DIMENSIONS AND DETAILS. THE CONTRACTOR SHALL VERIFY THE ACTUAL DIMENSIONS OF THE EQUIPMENT PROPOSED TO ENSURE THAT THE EQUIPMENT WILL FIT IN THE AVAILABLE SPACE.
4. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. WHERE DISCREPANCIES OCCUR BETWEEN THESE DOCUMENTS AND EXISTING CONDITIONS, REPORT THE CONDITIONS AND/OR ENGINEER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEGUING OF THEIR OWN PROPERTY ON THE JOB SITE. OWNER ASSUMES NO RESPONSIBILITY FOR PROTECTION OF PROPERTIES.
6. PRIOR TO STARTING CONSTRUCTION, DETERMINE EXACT INVERT ELEVATION, SIZE, DEPTH AND LOCATION OF EXISTING UTILITIES WHERE CONNECTIONS ARE TO BE MADE OR INTERSECTIONS OCCUR. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
7. CONSTRUCT WORK TO ALL APPLICABLE CODES, LAWS AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK. CORRECT ANY WORK IN VIOLATION OF ABOVE.
8. INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM MANUFACTURER.
9. PROVIDE AND MAINTAIN TEMPORARY FIRE PROTECTION DURING PERFORMANCE OF THE WORK.
10. INITIAL WORK SO AS TO BE READILY ACCESSIBLE FOR OPERATION, MAINTENANCE AND REPAIR. PROVIDE SLEEVES AND ACCESS DOORS REQUIRED FOR THE SERVICING OF CONCEALED EQUIPMENT.
11. REMOVE AND RELOCATE EXISTING WORK AS REQUIRED. NECESSARY FOR THE PERFORMANCE OF THE GENERAL WORK. ALL EXISTING CONDITIONS MAY NOT BE COMPLETELY DETAILED ON THE DRAWINGS. CONTRACTOR TO SURVEY THE SITE AND INCLUDE ALL CHANGES IN MAKING UP THE WORK PROPOSAL.
12. SEAL ALL OPENINGS AROUND CABLES AND CONDUITS THROUGH PARTITIONS AND WALLS WITH APPROVED FIRESTOPPING MATERIAL. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE AND SMOKE SEAL RATINGS OF PARTITION.
13. CONSTRUCT WORK IN A MANNER SATISFACTORY TO THE OWNER.
14. CLEAN FROM ALL FIXTURES AND EQUIPMENT DUST, DIRT, FINGER-PRINTS, PAINT, GREASE, CONSTRUCTION AND DECONSTRUCTION DEBRIS. CLEAN AND TOUCH UP SURFACES OF SHOP-PAINTED EQUIPMENT SCRATCHED OR MARRED DURING SHIPMENT OR INSTALLATION, TO MATCH ORIGINAL FINISH.
15. COORDINATE WORK OF OTHER TRADES (MECHANICAL, SPRINKLER, STRUCTURAL ETC.). ENSURE THAT PROPER ARRANGEMENTS AND PROVISIONS ARE MADE FOR THIS WORK. COORDINATE ELECTRICAL REQUIREMENTS OF ALL OWNER-SUPPLIED EQUIPMENT PRIOR TO ROUGH-IN PERMITS

1. THE CONTRACTOR SHALL SECURE ALL PERMITS OR APPLICATIONS AND PAY ANY AND ALL FEES.
- EQUIPMENT AND WIRING
1. MATERIALS AND EQUIPMENT: ALL ELECTRICAL PRODUCTS SHALL BE TESTED, CERTIFIED, AND LABELED IN ACCORDANCE WITH A CERTIFICATION PROGRAM ACCREDITED BY THE STANDARDS COUNCIL OF CANADA, CSA, WHERE A PRODUCT IS NOT SO LABELED, PROVIDE WRITTEN APPROVAL BY THE AUTHORITY HAVING JURISDICTION, WHERE CSA CERTIFIED MATERIAL AND/OR EQUIPMENT IS NOT AVAILABLE, OBTAIN SPECIAL APPROVAL FROM AUTHORITY HAVING JURISDICTION.
2. MOTORS, ELECTRIC HEATING, CONTROLS AND DISTRIBUTION DEVICES AND EQUIPMENT TO OPERATE SATISFACTORILY AT 60HZ WITHIN NORMAL OPERATING LIMITS ESTABLISHED BY CAN3-C235 (PREFERRED VOLTAGE LEVELS FOR AC SYSTEMS, 0 TO 50,000V). EQUIPMENT TO OPERATE IN EXTREME OPERATING CONDITIONS ESTABLISHED ABOVE STANDARD AT 40°C AMBIENT WITHOUT DAMAGE TO EQUIPMENT.
3. VERIFY INSTALLATION AND COORDINATION RESPONSIBILITIES RELATED TO MOTORS, EQUIPMENT AND CONTROLS. CONTROL WIRING TO BE PROVIDED BY MECHANICAL CONTRACTORS UNLESS NOTED OTHERWISE.
4. WARNING SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
5. WIRING AND RACEWAYS:
- 5.1. CONDUCTORS TO BE COPPER, MINIMUM SIZE: 12 AWG.
- 5.2. CONDUCTORS SIZED AS NOTED WITH 600V INSULATION IN ACCORDANCE WITH LATEST ELECTRICAL CODE.
- 5.3. ARMoured CABLES (AC90) SHALL ONLY BE USED FOR FINAL CONNECTIONS TO LIGHT FIXTURES IN LENGTH NOT EXCEEDING 8', AND FOR RUNS CONCEALED IN STEEL PARTITIONS. PROVIDE SUFFICIENT JUNCTION BOXES AT CEILING TO MAINTAIN NEAT CEILING SPACE AND KEEP EXPOSED ARMoured CABLES LESS THAN 8' IN LENGTH.
- 5.4. MINIMUM CONDUIT SIZE: 3/4" EMT OR OF TYPE APPROVED FOR INTENDED USE AND AREA INSTALLED.
- 5.5. INSTALL CONDUITS TO CONSERVE HEADROOM IN EXPOSED LOCATIONS AND CAUSE MINIMUM INTERFERENCE IN SPACES THROUGH WHICH THEY PASS
- 5.6. CONCEAL CONDUITS EXCEPT IN UNFINISHED AREAS. RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES.
- 5.7. PROVIDE BOXES AND FITTINGS SUITABLE FOR INTENDED USE AND AREA INSTALLED.
- 5.8. ENSURE LUGS, TERMINALS, SCREWS USED FOR TERMINATION OF WIRING ARE SUITABLE FOR EITHER COPPER OR ALUMINUM CONDUCTORS.
- 5.9. BOND AND GROUND AS REQUIRED TO LATEST EDITION OF ONTARIO ELECTRICAL SAFETY CODE.
6. IDENTIFY ELECTRICAL EQUIPMENT WITH LAMACOID NAMEPLATES (3MM THICK PLASTIC ENGRAVING SHEET, MATE WHITE FINISH FACE, BLACK CORE). WORDING ON NAMEPLATE TO BE APPROVED BY CONSULTANT PRIOR TO MANUFACTURE.
7. COLOUR CODE CONDUITS, BOXES, AND METALLIC SHEATHED CABLES. CODE WITH PLASTIC TAPE OR PAINT - INSIDE BOXES IN AREAS WITH EXPOSED CEILINGS AND IN FINISHED AREAS: AT POINTS WHERE CONDUITS OR CABLES ENTERS WALL, CEILING, OR FLOOR, AND AT 50' INTERVALS: YELLOW FOR 600V; BLUE FOR 208V; RED FOR FIRE ALARM, AND NONE FOR OTHERS.
8. CONFIRM FINISHES OF EQUIPMENT DURING SHOP DRAWING SUBMITTALS.
9. MOUNTING HEIGHT OF EQUIPMENT IS FROM FINISHED FLOOR TO CENTRELINE OF EQUIPMENT UNLESS SPECIFIED OR INDICATED OTHERWISE. CONFIRM ALL HEIGHTS WITH LOCAL INSPECTORS PRIOR TO ROUGH-IN TO ENSURE THEY MEET LOCAL INTERPRETATION OF CODE.
- 9.1. LOCAL SWITCHES: 43"
- 9.2. WALL RECEPTACLES: 12" OR MATCH EXISTING
- 9.3. WALL RECEPTACLES ABOVE TOP OF COUNTERS OR COUNTER SPLASH BACKS: 7"
- 9.4. WALL RECEPTACLES IN MECHANICAL ROOMS: 43"
- 9.5. PANEL BOARDS: AS REQUIRED BY CODE
- 9.6. TELEPHONE AND DATA OUTLETS: 12" OR MATCH EXISTING
- 9.7. OPERATOR PUSHBUTTONS: 43" (CONFIRMED WITH BUILDING INSPECTOR)
- 9.8. THERMOSTATS: 43"
- 9.9. MANUAL PULL STATIONS: 47"
- 9.10. VISUAL SIGNAL DEVICES : TOP OF DEVICE 94" AFF WHERE CEILING HEIGHTS ALLOW, ELSE TOP OF
- 9.11. DEVICE 6" BELOW CEILING (ENTIRE LENS FOR VISUAL SIGNAL COMPONENT MUST BE BETWEEN 79" AND 94" AFF).
- 9.12. END OF LINE RESISTORS: TOP OF DEVICE 70" AFF.
- 9.13. EMERGENCY TELEPHONE HANDSETS: 53-59" AFF CONFIRMED WITH LOCAL BUILDING OFFICIAL.
10. PRIOR TO ROUGH-IN LOCATE ADJACENT OUTLET BOXES 6" APART UNLESS NOTED OTHERWISE (DO NOT SCALE DRAWINGS).
11. COORDINATE WITH ENGINEER. OWNER MAY CHANGE LOCATION OF OUTLETS PRIOR TO INSTALLATION WITH NO CHANGE TO CONTRACT PRICE, PROVIDED DISTANCE DOES NOT EXCEED 10' FROM ORIGINAL LOCATION.
12. MECHANICAL EQUIPMENT CONNECTIONS: PROVIDE CONNECTIONS TO MECHANICAL EQUIPMENT AS PER DRAWINGS
13. PROVIDE CONDUIT ROUGH-IN FOR MECHANICAL CONTROLS AS PER MECHANICAL EQUIPMENT SCHEDULE.
14. COORDINATE MECHANICAL POWER AND CONTROL WIRING REQUIREMENTS PRIOR TO ROUGH-IN.
15. HANGERS AND SUPPORTS: INSTALL FASTENING AND SUPPORTS AS REQUIRED FOR EACH TYPE OF EQUIPMENT, CABLES, AND CONDUITS, IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
- 15.1. SECURE EQUIPMENT TO HOLLOW MASONRY, TILE AND PLASTER SURFACES WITH LEAD ANCHORS

- 15.2. SECURE EQUIPMENT TO POURED CONCRETE WITH EXPANDABLE INSERTS
- 15.3. SECURE EQUIPMENT TO HOLLOW MASONRY WALLS OR SUSPENDED CEILINGS WITH TOGGLE BOLTS
- 15.4. FASTEN EXPOSED CONDUIT OR CABLES TO BUILDING CONSTRUCTION OR SUPPORT SYSTEM USING STRAPS
- 15.5. FOR SURFACE MOUNTING OF TWO OR MORE CONDUITS USE UNISTRUT CHANNELS.
- 15.6. PROVIDE METAL BRACKETS, FRAMES, HANGERS, CLAMPS, AND RELATED TYPES OF SUPPORT STRUCTURES WHERE INDICATED OR AS REQUIRED TO SUPPORT CONDUIT AND CABLE RUNS.
- 15.7. ENSURE ADEQUATE SUPPORT FOR RACEWAYS AND CABLES DROPPED VERTICALLY TO EQUIPMENT WHERE THERE IS NO SUPPORT WALL
- 15.8. DO NOT USE SUPPORTS OR EQUIPMENT INSTALLED FOR OTHER TRADES FOR CONDUIT OR CABLE SUPPORT EXCEPT WITH PERMISSION OF OTHER TRADES AND APPROVAL OF ENGINEER.
16. WIRING DEVICES: INSTALL SWITCHES, RECEPTACLES, WIRING DEVICE, AND COVERS FLUSH AND LEVEL WITH BUILDING LINES. ENSURE THAT OUTLET BOXES ARE CLEAN PRIOR TO INSTALLING DEVICES.
- 16.1. SWITCHES, RECEPTACLES, AND WIRING DEVICES TO BE SPECIFICATION GRADE, DECORA STYLE. DEVICE COLOUR TO BE DETERMINED DURING SHOP DRAWING REVIEW.
- 16.2. COVER PLATES TO BE WHITE. THERMOPLASTIC COVER PLATE TO MATCH DEVICE COLOUR MAY BE SELECTED DURING SHOP DRAWING REVIEW STAGE.
17. LOAD BALANCING: MEASURE PHASE CURRENT TO PANELBOARD WITH NORMAL LOADS (LIGHTING) OPERATING AT TIME OF ACCEPTANCE. ADJUST BRANCH CIRCUIT CONNECTIONS AS REQUIRED TO OBTAIN BEST BALANCE OF CURRENT BETWEEN PHASES AND RECORD CHANGES. MEASURE PHASE VOLTAGES AT
18. LOADS AND ADJUST TRANSFORMER TAPS TO WITHIN 2% OF RATED VOLTAGE OF EQUIPMENT. PROVIDE LOAD BALANCE REPORT AT END OF PROJECT.
19. MEGGER TEST: PROVIDE MEGGER TEST (1000V) OF UNDERGROUND SECONDARY CONDUCTORS PRIOR TO ENERGISING SERVICE. ENGINEER TO WITNESS TESTS.
20. FUSES: PROVIDE CLASS A, TIME DELAY FUSES IN ALL FUSED DISCONNECT SWITCHES. ENSURE CORRECT FUSES FITTED TO PHYSICALLY MATCH MOUNTING DEVICES.
21. PANELBOARDS: MAINS, NUMBER OF CIRCUITS, AND NUMBER AND SIZE OF BRANCH CIRCUIT BREAKERS, WITHSTAND CURRENT, AS INDICED ON PANEL SCHEDULES. PANELBOARDS MUST BE SHIPPED WITH HINGED AND LOCKABLE DOORS. BREAKERS ARE TO BE BOLT-ON THERMAL AND MAGNETIC TRIPPING EXCEPT AS INDICATED OTHERWISE. PROVIDE LOCK-ON DEVICES FOR FIRE ALARM, EMERGENCY, STAIRWAY, AND EXIT CIRCUITS. REFER TO SINGLE-LINE DIAGRAM AND RELATED NOTES FOR ADDITIONAL EQUIPMENT REQUIREMENTS.
22. INSTALL PANEL BOARDS ON G15 PAINTED PLYWOOD BACKBOARDS.
23. DISCONNECT SWITCHES: PROVIDE FUSIBLE HEAVY-DUTY DISCONNECT SWITCHES WITH PROVISION FOR PADLOCKING IN ON-OFF SWITCH POSITION BY THREE LOCKS, AND MECHANICALLY INTERLOCKED DOOR.
24. CONDUCTOR RUNS WITH ANY PORTION OUTDOORS AND/OR UNDERGROUND TO BE RW90. ALL OTHER RUNS RW90.
25. PROVIDE SEPARATE INSULATED BONDING CONDUCTOR IN EACH CONDUIT REGARDLESS OF CONDUIT MATERIAL. SIZE BONDING CONDUCTORS TO OESC.
26. CIRCUIT BREAKERS 400A AND LARGER TO HAVE ADJUSTABLE ISI TRIP SETTINGS.
27. PROVIDE GROUNDING AND BONDING AS REQUIRED BY OESC. ELECTRIC UTILITY, AND EQUIPMENT MANUFACTURERS, INCLUDING BUT NOT LIMITED TO GROUNDING RODS AND GROUNDING ARRAY AT UTILITY TRANSFORMER.
28. PERFORM ARC-FLASH HAZARD ANALYSIS AND PROVIDE ARC-FLASH WARNING LABELS ON ALL ELECTRICAL COMPONENTS RATED 60A OR GREATER. HAZARD ANALYSIS TO BE PERFORMED BY LICENSED PROFESSIONAL ENGINEER IN ONTARIO. SUBMIT ENGINEER'S REPORT.
29. PERFORM PROTECTIVE DEVICE COORDINATION STUDY TO ENSURE COORDINATION BETWEEN PROTECTIVE DEVICES. ANALYSIS TO BE PERFORMED BY LICENSED PROFESSIONAL ENGINEER IN ONTARIO. SUBMIT ENGINEER'S REPORT. ADJUST DEVICE TRIP SETTINGS BASED ON REPORT RESULTS.
30. ELECTRICAL DISTRIBUTION COMPONENTS TO BE FROM ONE OF THE FOLLOWING MANUFACTURERS: EATON, SCHNEIDER, SIEMENS.
31. PROVIDE MINIMUM 3 INCH HIGH CONCRETE HOUSEKEEPING PADS FOR ALL FLOOR MOUNTED ELECTRICAL EQUIPMENT.
32. UTILITY TRANSFORMER AND PRIMARY WIRING BY ELECTRIC UTILITY. CONTRACTOR TO PROVIDE SECONDARY DUCT BANK, SECONDARY CONDUCTORS, TRANSFORMER BASE, AND OTHER ACCESSORIES REQUIRED BY ELECTRIC UTILITY.

EXTERIOR LIGHTING FIXTURE SCHEDULE									
TAG	MOUNTING HEIGHT	DESCRIPTION	LLF	LUMENS	WATTS	CRI	MAKE	MODEL	NOTE
A		LED VAPOR-TIGHT STRIP LIGHT		5200	40	80	BJTAKE	BLVT-4-UN3	

PANEL A							
VOLTAGE (V): 120 / 240				ENCLOSURE TYPE: 42 SLOT			
PHASES: 1 ϕ 3 W				MOUNTING: SURFACE			
MAINS (A): 100 A MCB				PANEL RATING (A): 100 A			
AIC (A): 10000				NOTES: 107 UTILITY ROOM			
CCT NO	DESCRIPTION	TRIP AMPS	POLE	POLE	TRIP AMPS	DESCRIPTION	CCT NO
A-1	EM	15	1				
A-3	EM	15	1	1	15	EM	A-2
A-5	ELEVATOR ROOM GFCI	15	1	1	15	EM	A-4
A-7	ACCESS CONTROL PANEL	15	1	1	20	OUTDOOR RECP	A-6
A-9	PUMPS	15	1	1	15	EXISTING UNLABELLED	A-8
A-11,13	SYSTEM PUMP	20	2	1	20	ALLEY/REAR LIGHTS	A-10
A-11,13	SYSTEM PUMP	20	2	1	15	TEMP HEATER	A-12
A-15,17	EXISTING UNLABELLED	40	2	1	15	TEMP HEATER	A-14
A-15,17	EXISTING UNLABELLED	40	2	1	15	EXTERIOR LIGHTS	A-16
A-19	FMC	15	1	1	15	EXTERIOR LIGHTS	A-18
A-21	FMC	15	1	1	15	TEMP HEATER	A-20
A-23	EMS	15	1	1	15	EXISTING UNLABELLED	A-22
A-25	ELEVATOR PIT LIGHT	15	1	1	15	EXISTING UNLABELLED	A-24
A-27	EXISTING UNLABELLED	20	1	1	20	EXISTING UNLABELLED	A-26
A-29	ELEVATOR PIT GFCI	20	1	1	20	OUTSIDE SIGN (5MA GFI BREAKER)	A-28
A-31	BOILER	20	1	1	15	OUTSIDE RECP	A-30
A-33,35	HTR	20	2	2	20	HTR	A-32,34
A-33,35	HTR	20	2	2	20	HTR	A-32,34
A-37	103 LOBBY PDO	15	1	2	20	HTR	A-36,38
A-39	SPARE	15	1	2	20	HTR	A-36,38
A-41	SPARE	15	1	1	0	SPACE	A-40
				1	0	SPACE	A-42

PANEL RP							
VOLTAGE (V): 120 / 240				ENCLOSURE TYPE: 24 SLOT			
PHASES: 1 ϕ 3 W				MOUNTING: SURFACE			
MAINS (A): 100 A MLO				PANEL RATING (A): 100 A			
AIC (A): 0				NOTES: 113 JANITOR ROOM			
CCT NO	DESCRIPTION	TRIP AMPS	POLE	POLE	TRIP AMPS	DESCRIPTION	CCT NO
RP-1	BLANK	0	1			BLANK	RP-2
RP-3	BLANK	0	1	1	15	WINDOW OPERATOR	RP-4
RP-5	HOOD VENT	15	1	1	15	PLUG #4 BOTTOM	RP-6
RP-7	PLUG #10 BOTTOM	15	1	1	15	PLUG #4 TOP	RP-8
RP-9	PLUG #9 BOTTOM	15	1	1	15	PLUG #2 BOTTOM	RP-10
RP-11	PLUG #9 TOP	15	1	1	15	PLUG #2 TOP	RP-12
RP-13	UNDER BAR LOWER SECTION	15	1	1	15	PLUG #5 BOTTOM	RP-14
RP-15	PLUG #6,7 MICROWAVE	15	1	1	15	PLUG #5 TOP	RP-16
RP-17	PLUG #8 BOTTOM	15	1	1	15	PLUG #3 TOP	RP-18
RP-19	PLUG #8 TOP	15	1	1	15	PLUG #3 BOTTOM	RP-20
RP-21,23	STOVE	40	2	1	20	PLUG #1 TOP	RP-22
RP-21,23	STOVE	40	2	1	20	PLUG #1 BOTOM	RP-24

SECURITY SYMBOLS	
	ELECTRICAL STRIKE
	CARD READER
	DOOR CONTACT
	FIRE DOOR CLOSER
	SECURITY KEYPAD
	WAVE / PUSH TO OPEN
	WAVE / PUSH TO LOCK
	POWER DOOR OPERATOR
	REQUEST TO EXIT
	REQUEST TO EXIT MOTION SENSOR
	ALARM AND TIMER
	MAGNETIC LOCK
	EMERGENCY PANIC STRIP / BUTTON
	SECURITY CAMERA

LIGHTING SYMBOLS LEGEND	
SPACE LIGHTING	
	WALL MOUNTED SINGLE POLE SWITCH
	WALL MOUNTED SINGLE POLE SWITCH W/ 'OCCUPANCY' SENSOR
	WALL MOUNTED SINGLE POLE SWITCH W/ DIMMING

POWER DISTRIBUTION LEGEND	
	120V-15A, 10-2W GROUNDLED DUPLEX RECEPTACLE, WALL MOUNTED
	120V-15A, 10-2W GROUNDLED DUPLEX RECEPTACLE, IN COMMON FLUSH BOX, FLOOR MOUNT UON
	120V-15A, 10-3W GROUNDLED DOUBLE DUPLEX RECEPTACLE, IN COMMON FLUSH BOX, FLOOR MOUNT UON
	120V, AMPACITY PER CIRCUIT, 10-3W GROUNDLED DUPLEX RECEPTACLE, WALL MOUNTED
	208/240V-15A, 10-3W GROUNDLED DUPLEX RECEPTACLE, WALL MOUNTED
	208/240V, AMPACITY PER CIRCUIT, 10-3W GROUNDLED DUPLEX RECEPTACLE, WALL MOUNTED
	POWER DIRECT CONNECTION TO EQUIPMENT AS INDICATED
	POWER PANEL SURFACE MOUNTED
	POWER PANEL RECESSED MOUNTED
	DISTRIBUTION BOARD
	DISCONNECT SWITCH - FUSED, NON-FUSED
	SWITCH, NON-FUSED
	TRANSFER SWITCH
	CIRCUIT BREAKER
	SWITCH, FUSED
	CONDUIT RUN TO PANEL
	ELECTRICAL FEEDER FROM UPSTREAM ELECTRICAL SERVICE

SHEET LIST SCHEDULE	
NUMBER	SHEET TITLE
E100	NOTES, LEGENDS AND SCHEDULES
E200	POWER BASEMENT LAYOUTS
E201	POWER L1 LAYOUTS
E300	SLD

A	HERITAGE PERMIT	2025-06-09
-	CLIENT REVIEW - 50%	2025-04-08
REV	DESCRIPTION	DATE



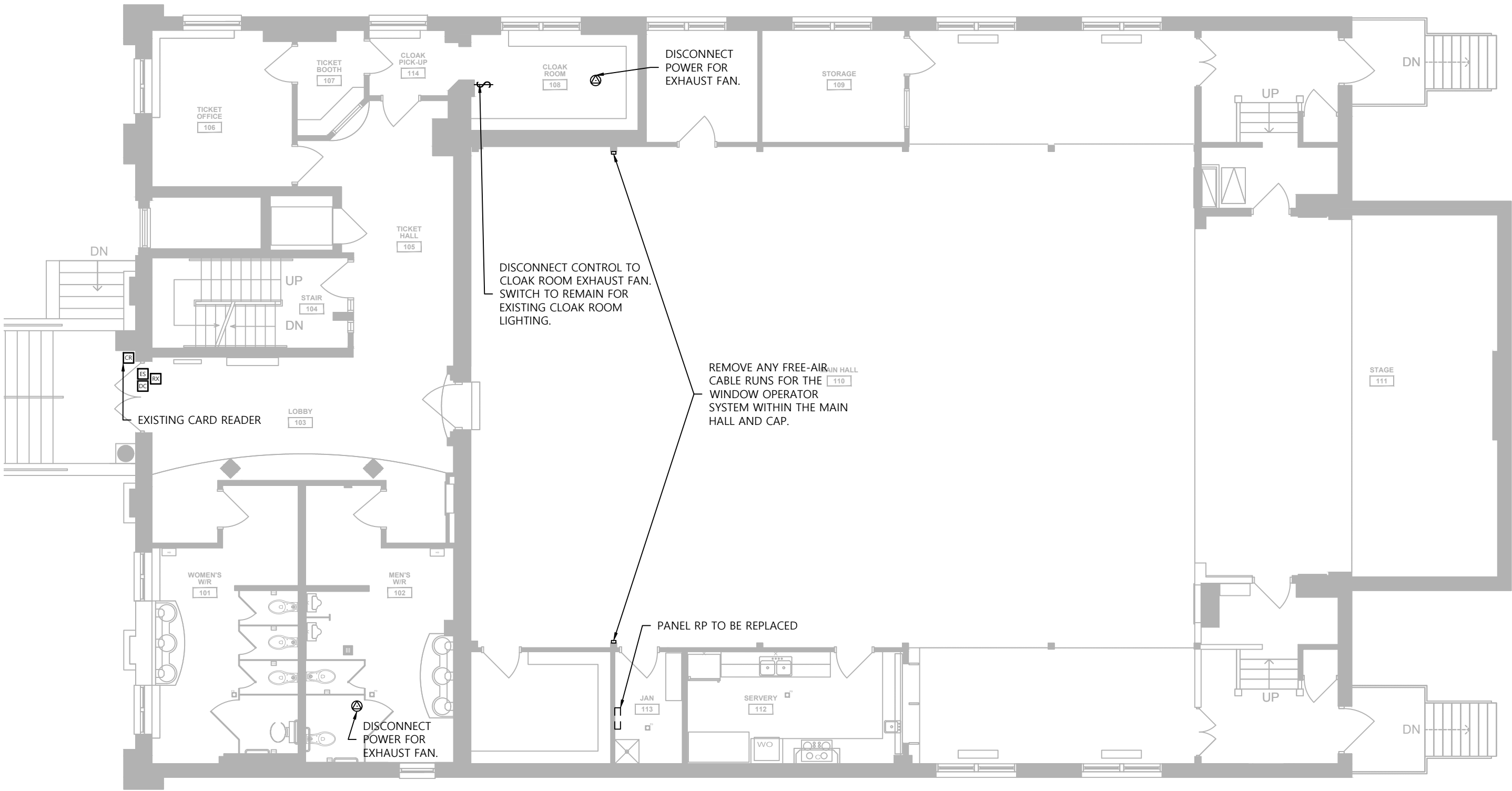
JDX Advance Services Inc.  
687 Barton Street, Suite 106  
Stoney Creek, Ontario  
289-329-0918 | www.JDXAdvance.com

CLIENT: CHERIE NG ARCHITECT INC.		
OWNER: CITY OF MISSISSAUGA 300 CITY CENTRE DRIVE MISSISSAUGA, ON L5B 3C1		
SEAL	SEAL	
DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES		
SITE:	CLARKE MEMORIAL HALL 161 LAKESHORE RD W MISSISSAUGA, ONTARIO L5H 1G3	
PROJECT:	CLARKE MEMORIAL HALL RENOVATION	
TITLE: ELECTRICAL NOTES, LEGENDS AND SCHEDULES		
N/A	RB	JD
SCALE AT ARCH D:	DRAWN:	CHECKED:
25130	E100	-
PROJECT NO:	DRAWING NO:	REVISION:



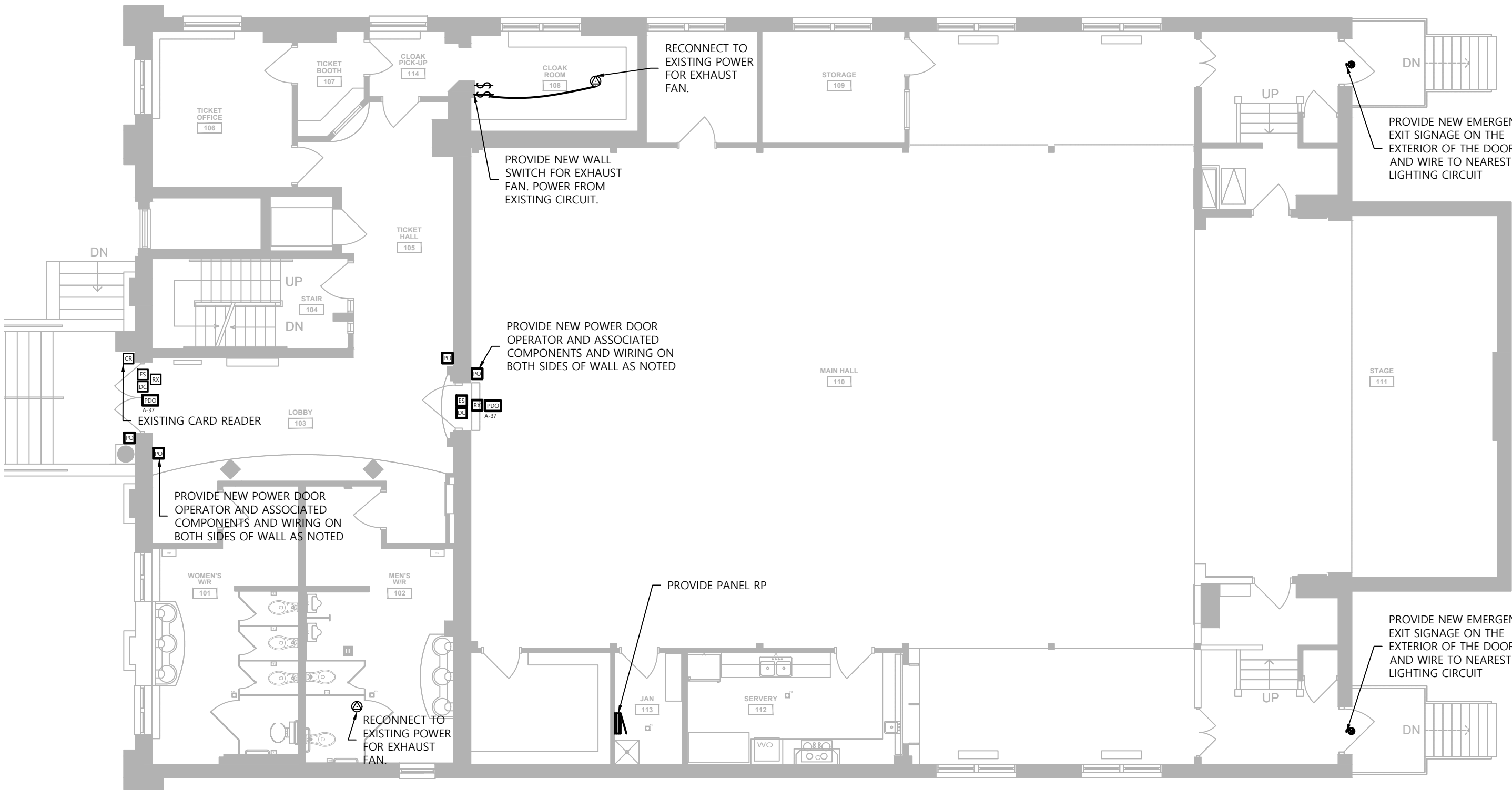






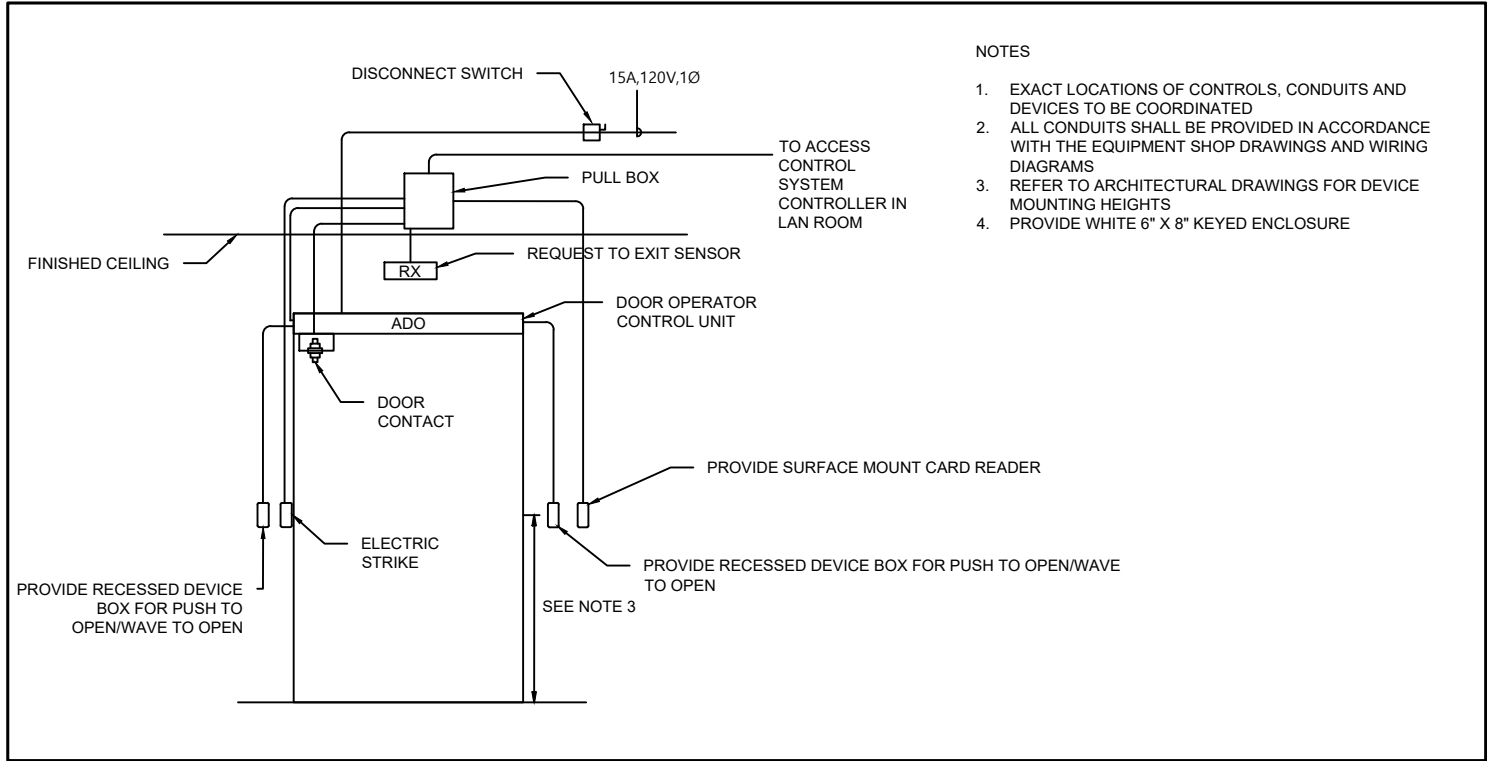
L1 POWER LAYOUT DEMO

1:100



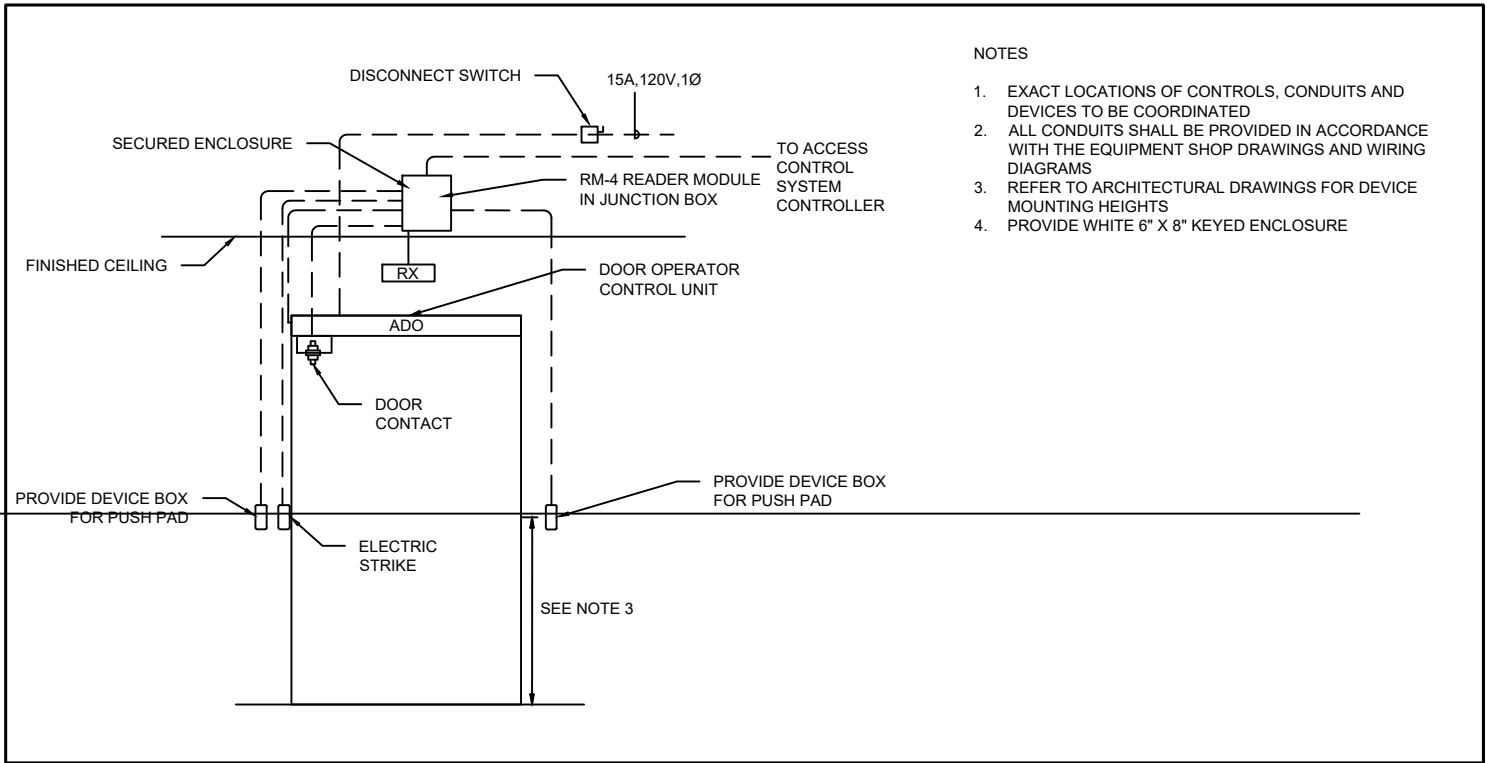
L1 POWER LAYOUT RETROFIT

1:100



AUTOMATIC DOOR WITH PUSH PLATE AND CARD READER OPERATION

SCALE: NTS



AUTOMATIC DOOR WITH PUSH PLATE OPERATION

SCALE: NTS

A	HERITAGE PERMIT	2025-06-09
-	CLIENT REVIEW - 50%	2025-04-08
REV.	DESCRIPTION	DATE



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CLIENT: **CHERIE NG ARCHITECT INC.**

OWNER: **CITY OF MISSISSAUGA**  
300 CITY CENTRE DRIVE  
MISSISSAUGA, ON L5B 3C1

SEAL	SEAL

DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES

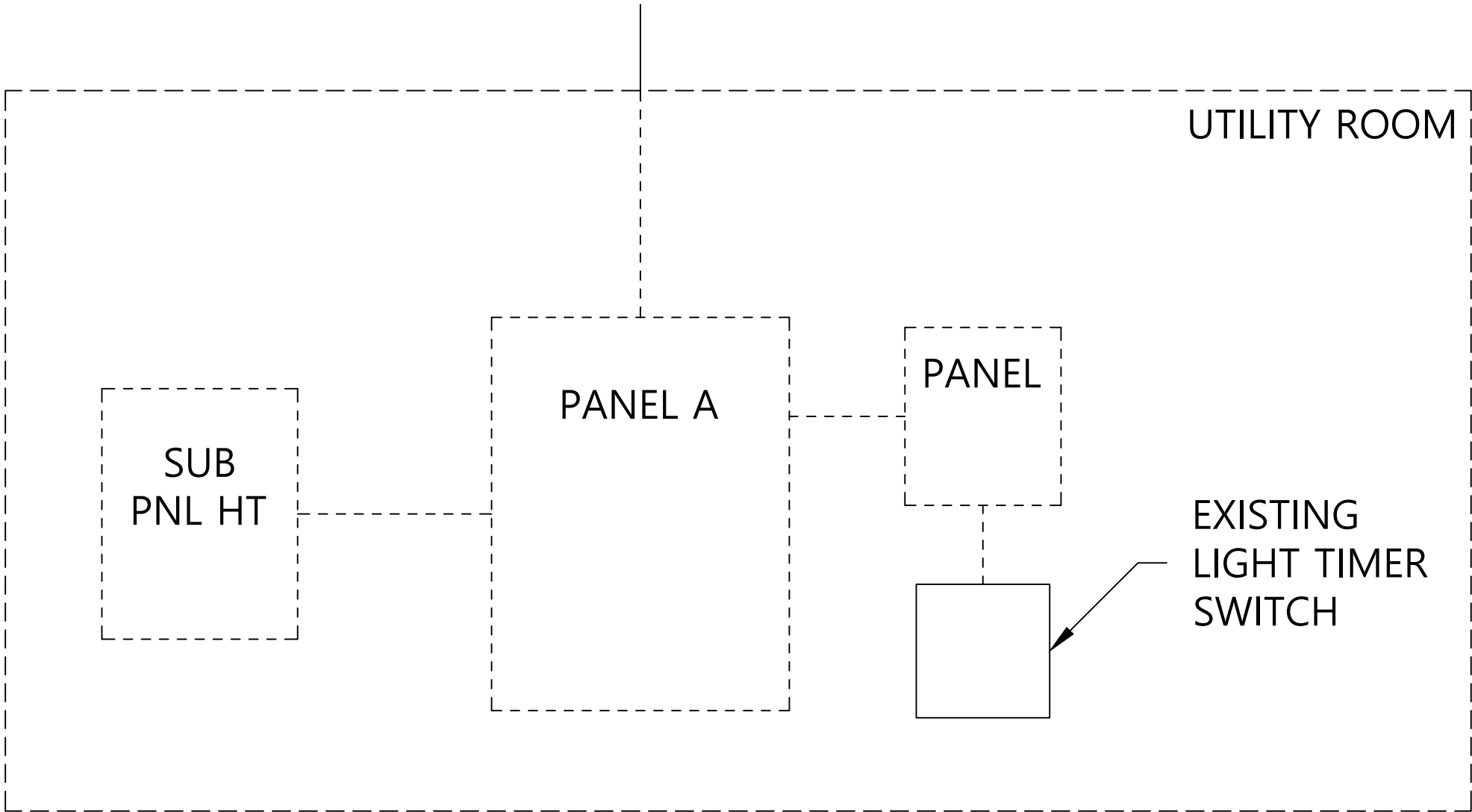
SITE: **CLARKE MEMORIAL HALL**  
161 LAKESHORE RD W  
MISSISSAUGA, ONTARIO L5H 1G3

PROJECT: **CLARKE MEMORIAL HALL RENOVATION**

TITLE: **ELECTRICAL**  
POWER L1 LAYOUTS

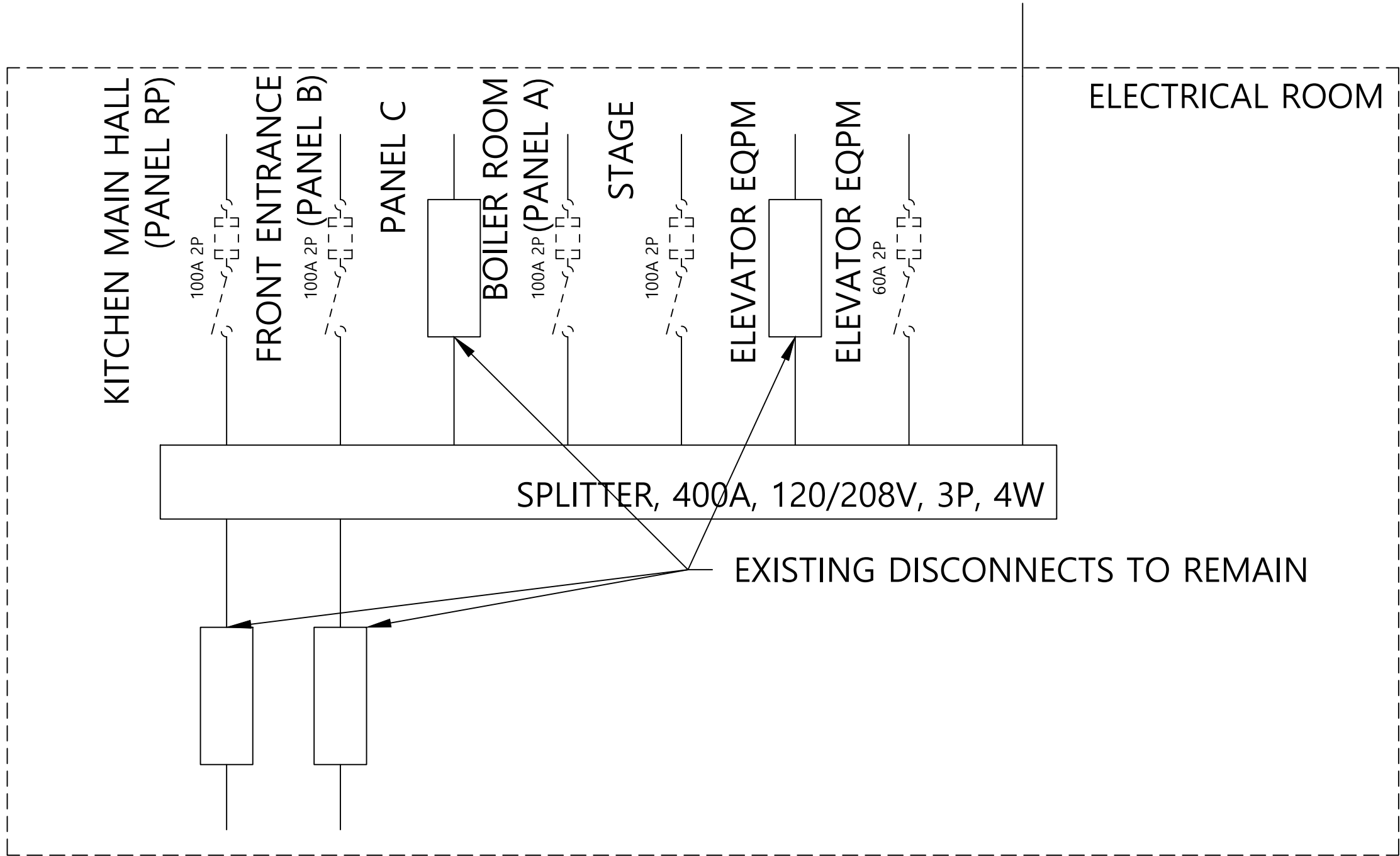
AS STATED	RB	JD
SCALE AT ARCH D:	DRAWN:	CHECKED:
<b>25130</b>	<b>E201</b>	-
PROJECT NO:	DRAWING NO:	REVISION:





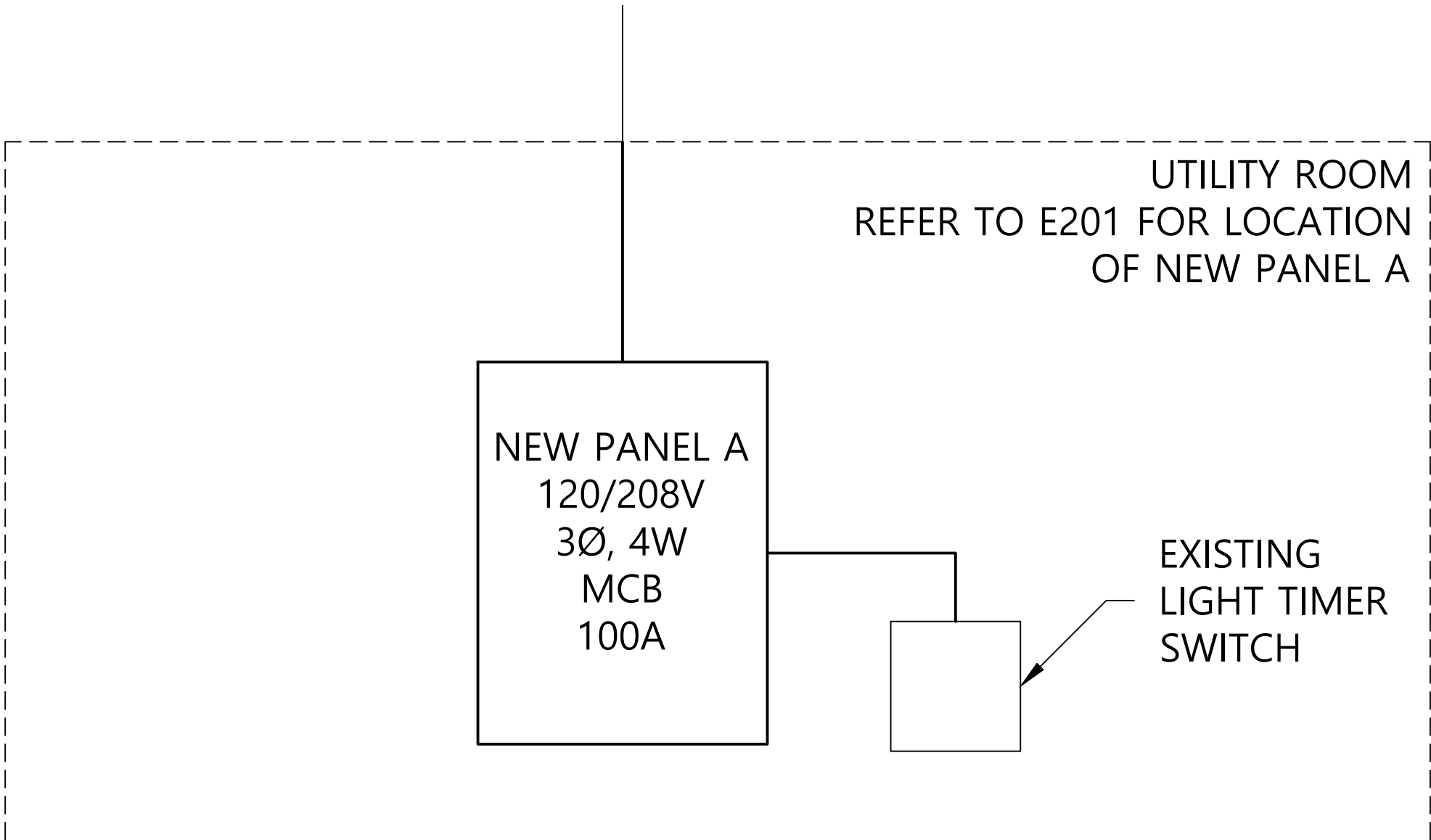
UTILIY ROOM SLD DEMO

NTS



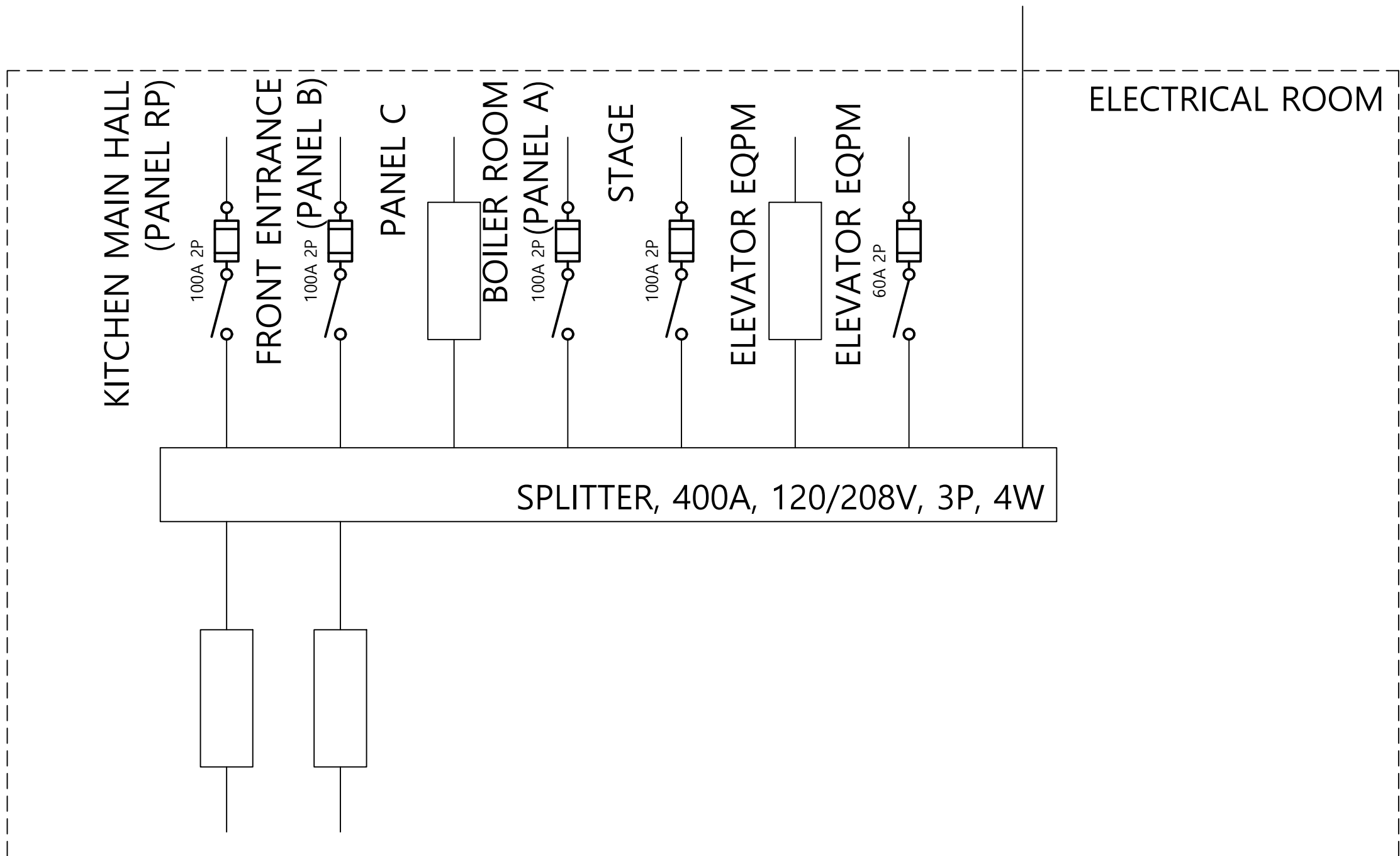
ELECTRICAL ROOM SLD DEMO

NTS



UTILITY ROOM SLD RETROFIT

NTS



ELECTRICAL ROOM SLD RETROFIT

NTS

	HERITAGE PERMIT	2025-06-09
-	CLIENT REVIEW - 50%	2025-04-08
REV.	DESCRIPTION	DATE
<div><div><div><div></div><div>JDX</div><div>ADVANCE</div></div></div><div>JDX Advance Services Inc. 687 Barton Street, Suite 106 Stoney Creek, Ontario 289-329-0918   <a href="http://www.JDXadvance.com">www.JDXadvance.com</a></div></div>		
CLIENT:	CHERIE NG ARCHITECT INC.	
OWNER:	CITY OF MISSISSAUGA 300 CITY CENTRE DRIVE MISSISSAUGA, ON L5B 3C1	
SEAL	SEAL	
DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES		
SITE:	CLARKE MEMORIAL HALL 161 LAKESHORE RD W MISSISSAUGA, ONTARIO L5H 1G3	
PROJECT:	CLARKE MEMORIAL HALL RENOVATION	
TITLE:	ELECTRICAL SLD	
AS STATED	RB	JD
SCALE AT ARCH D:	DRAWN:	CHECKED:
25130	E300	-
PROJECT NO:	DRAWING NO:	REVISION: