
W.E. OUGHTED & ASSOCIATES INC.



Heritage Impact Assessment

451 Temagami Crescent

December 11, 2020

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Introduction

This Heritage Impact Assessment (HIA) has been prepared by W.E. Oughtred & Associates Inc. as a requirement for obtaining a heritage permit for the demolition of the existing dwelling and the construction of a new home on the subject property. 451 Temagami Crescent is a part of the Credit River Corridor Cultural Landscape within the City of Mississauga Cultural Landscape Inventory.

The Credit River is 58 miles long in total and has a drainage area of 328 square miles. From south of Georgetown to Erindale, the river cuts through the boulder till of the Peel Plain and in some areas exposes the underlying Paleozoic bedrock of shales and sandstones. The River flows through a wide alluvial terrace at Meadowvale where its banks are gentle and tree covered. As it approaches the old Shoreline of glacial Lake Iroquois at Erindale it cuts deeper and deeper into the Peel Plain creating steep valley walls in excess of 75 feet deep. In several locations, such as on the former Bird property north of Burnhamthorpe, intermediate benches were formed as the water levels of the glacial lakes receded. These benches and alluvial terraces provide wonderful natural and recreational settings for trails and other recreational activities. South of the Iroquois shoreline the River cuts through the sands and boulder till off the Iroquois Plain. The last mile of the river is drowned and marshy. The wave action of Lake Ontario continues in its efforts to build a bar across the mouth of the river which is periodically removed by dredging. Despite its size, the River has had significant impact on the settlement of the area. At one time, Erindale had a mill and for a short while a small hydroelectric generating station. At Streetsville, four flour mills operated some of which remain today as modern mills. Two sawmills and a carding mill were built in Meadowvale. The banks of the river continue to be developed for attractive residential neighborhoods, parks and special uses such as the University of Toronto Erindale campus. The river provides the residents of Mississauga with a variety of recreational and educational

opportunities. The Credit River Valley is the most significant natural feature remaining in the City of Mississauga. (excerpts from The Physiography of Southern Ontario)¹

This report was prepared in accordance with the City of Mississauga's Terms of Reference for Heritage Impact Assessments (June 2017). A site inspection was undertaken by W.E. Oughtred & Associates on November 19, 2020, to assess and document the property and its relationship to the neighbourhood.

¹ Landplan Collaborative Ltd. Cultural Landscape Inventory, January 2005

Location and Site Description

451 Temagami Crescent is located south of the QEW, east of Mississauga Road.

Municipal Address: 451 Temagami Crescent

Legal Description: Lot 12, Plan 573

Lot Area: 2,024.15 sm

General Location: South of the QEW,
east of Mississauga Road

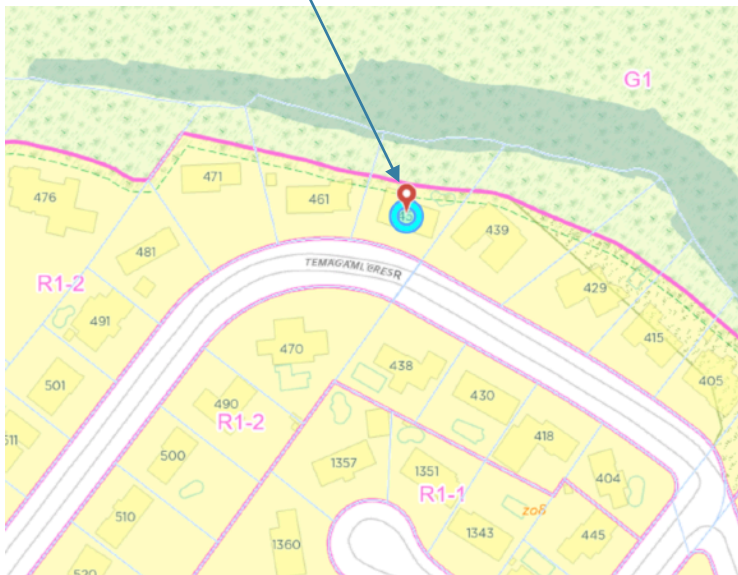
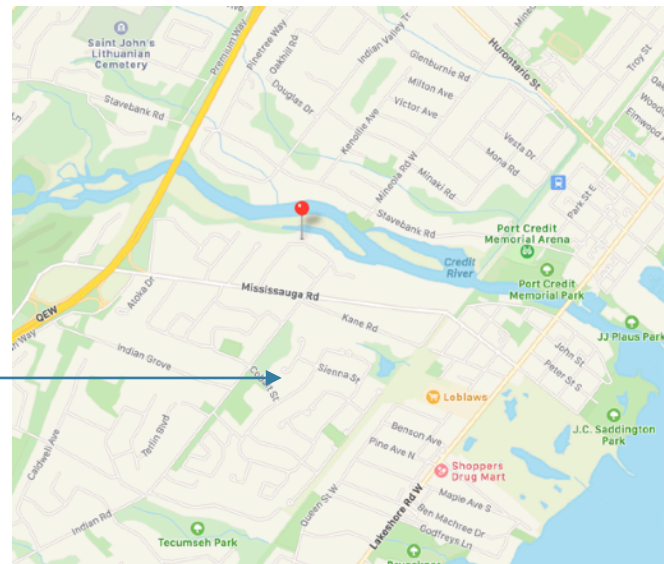
Mississauga ward: 2

Mississauga neighbourhood: Lorne
Park

FIGURE 1: LOCATION MAP

FIGURE 2: DETAILED LOCATION MAP

Subject property



The property is an irregularity pie shaped lot. It has a frontage of 35.42m on Temagami Crescent. The property backs onto the Credit River. The subject property contains a single family detached dwelling and a storage shed. Landscaping features include an in-ground pool and several

Property History

The subject property, Lot 12, Plan 573 was registered on March 14, 1959 when it was owned by HUB Land Developers Limited. The subject property is marked with a star on all of the following images.

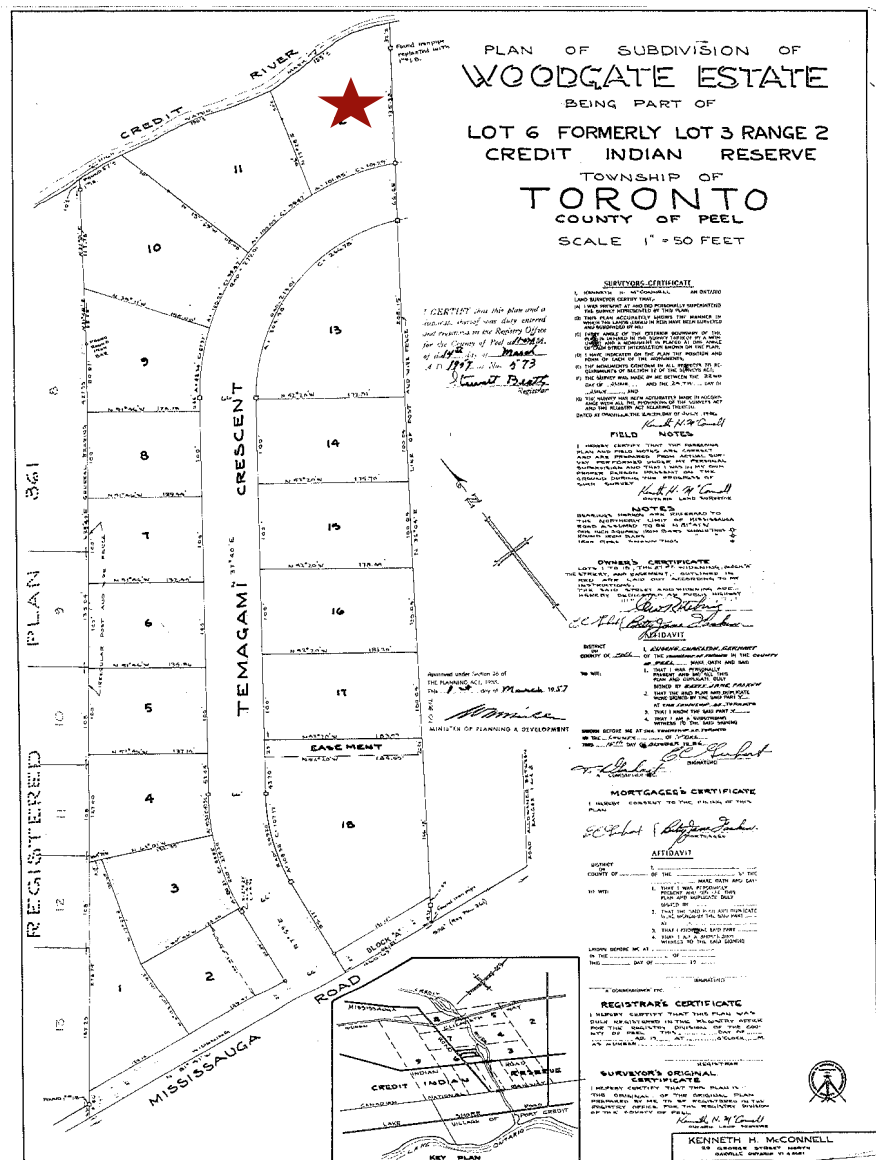


FIGURE 5: PLAN 573, WOODGATE ESTATE

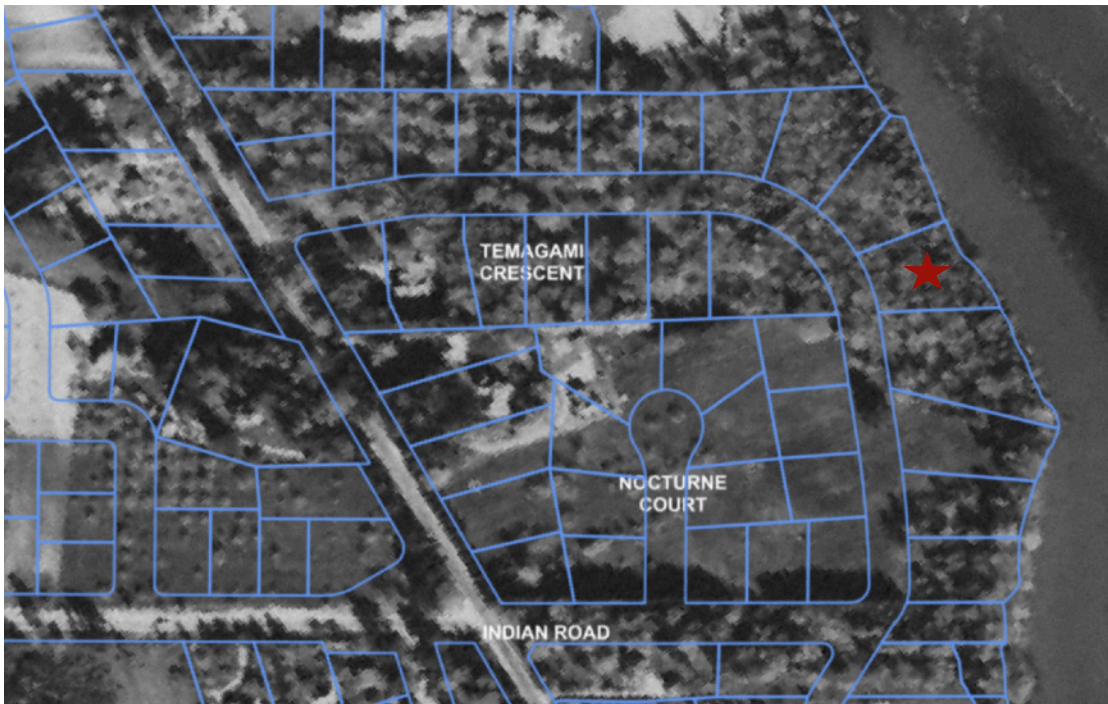


FIGURE 6: 1954 AERIAL PHOTOGRAPHY



FIGURE 7: 1963 AERIAL PHOTOGRAPHY

Aerial photography from the City of Mississauga's website shows that the area south of Arrowhead Road remained relatively undeveloped. The 1963 aerial image is skewed and challenging to interpret (however, it is still included as reference).

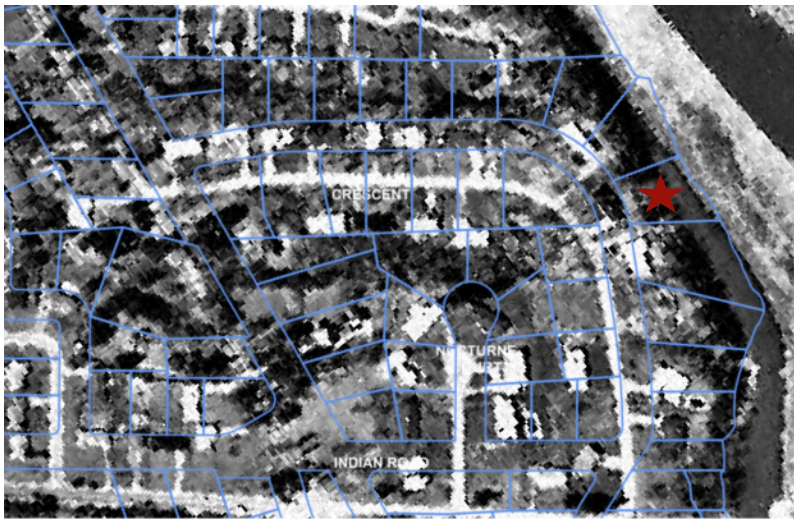


FIGURE 7: 1963 AERIAL PHOTOGRAPHY

FIGURE 8: 1963 AERIAL PHOTOGRAPHY

Aerial photography in 1963 shows the area almost completely developed. Current aerial photography below shows the entire area developed.

**FIGURE 9: 2020 AERIAL PHOTOGRAPHY**

A summary of the title chain from the Crown to the current owners was undertaken by Stephen Nott Conveyancing Services.

DATE	GRANTOR	GRANTEE
July 11, 1854	The Crown	James Cotton
November 17, 1865	Frederick W. Jarvis	Bank of Upper Canada
September 6, 1869	Upper Bank of Canada	John Crickmore
September 20, 1869	John Crickmore	Wm. B. Hunter
September 20, 1869	Wm. B. Hunter	Peel General Mfg. Co.
October 18, 1889	Peel General Mfg. Co	Thomas W. Hector
August 2, 1890	Thomas W. Hector	Robert Spence

DATE	GRANTOR	GRANTEE
July 11, 1854	The Crown	James Cotton
November 17, 1865	Frederick W. Jarvis	Bank of Upper Canada
September 6, 1869	Upper Bank of Canada	John Crickmore
September 20, 1869	John Crickmore	Wm. B. Hunter
September 20, 1869	Wm. B. Hunter	Peel General Mfg. Co.
October 18, 1889	Peel General Mfg. Co	Thomas W. Hector
August 2, 1890	Thomas W. Hector	Robert Spence
July 16, 1909	Robert Spence Estate	John B. Hay
December 10, 1909	John B. Hay	Wm. J. Lind
July 4, 1910	Wm. J. Lind	Ruth W. Cork
February 15, 1916	Ruth W. Cork	John Edgeworth
March 28, 1917	John Edgeworth	Canada Permanent Trust Co.
June 21, 1917	Canada Permanent Trust Co.	Eliza E. Jermyn
February 4, 1925	Eliza Jermyn	Barbara E. Wells
September 10, 1936	Barbara E. Wells	William I. Newmarch
April 6, 1954	William I. Newmarch Estate	Betty J. Fasken
March 14, 1957	Betty J. Fasken	HUB Land Developers Limited.
Plan 573		
May 2, 1958	HUB Land Developers Limited.	Dulcie Developments Limited
September 8, 1959	Dulcie Developments Limited	Roy. W. Pullen, Douglas E. Pullen as Pullen Brothers
June 20, 1961	Roy. W. Pullen, Douglas E. Pullen as Pullen Brothers	Farmont Contractors Limited
March 12, 1962	Farmont Contractors Limited	Allegro Estates Limited
April 30, 1962	Allegro Estates Limited	Alfred & Ella O'Mara

DATE	GRANTOR	GRANTEE
June 19, 1983	Alfred & Ella O'Mara	Paul & Mary Paben
December 10, 1985	Paul & Mary Paben	Susan J. Cowan
June 17, 1991	Susan Cowan	Wayne & Sharon Kennedy
June 30, 1997	Wayne & Sharon Kennedy	Gladys & James McClure
September 23, 2005	Gladys & James McClure	Dale Ouimet and Timothy Neeb
November 4, 2019	Dale Ouimet and Timothy Neeb	Current Owner

Committee of Adjustment Decision A87-488 states that 'Ms. Suzanne Michaud, authorized agent, presented the application explaining that the subject dwelling was constructed in 1961 having a front yard setback of 9.22 m' ²

The assumption can then be made that the home was constructed by the Pullen Brothers as they were the owners from 1959 - 1961. An obituary was located for Douglas Pullen. A date of birth and death was located for Roy Pullen, but no obituary. Roy passed away on October 15th, 2016. Only assumptions can be made with regards to if the Pullen brothers were Farmont Contractors Limited as well. Searches were conducted on both the Pullen Brothers and Farmont Construction; nothing was found aside from the death notices.

Pullen, John Douglas

Retired owner of Pullen Brothers Brothers Construction

² City of Mississauga

Suddenly at Grey Bruce Health Services – Markdale on Sunday, September 15, 2019 at the age of 74. Beloved husband of Sharon..... Condolences may be offered to the family at www.dodsandmcnair.com³

Arguably the first residents of the home were Alfred and Ella O'Marra. Searches on their names reveal that Alfred was a judge. Alfred passed away in 1992, but no obituary could be located. He is buried in Spring Creek Cemetery in Mississauga. An obituary was located for Ella, who passed away in 2013. (Included below)

Ella Margaret O'Marra, beloved wife of 47 years of the late Alfred Joseph Clifford O'Marra, Q.C., passed away peacefully in her 92nd year on Thursday, October 3rd at Oakville Trafalgar Hospital.... Born and raised in Milton, Ontario, Ella experienced a full and active life as a talented legal secretary before marriage, a dedicated and skilled home-maker and hostess for her family in Port Credit, ...Over the years, she enjoyed life with family and friends at the Gravenhurst cottage, on the family boat, North Star, and at the Mississauga Golf and Country Club.

Mrs. O'Marra is resting at the funeral home of Skinner & Middlebrook Ltd, 128 Lakeshore Rd E (1 block west of Hurontario St) Mississauga on Sunday from 2-4 pm and Monday from 6-8 pm. Funeral service in the St Peter's Erindale Anglican Church, 1745 Dundas Street West at Mississauga Road, Mississauga on Tuesday October 8, 2013 at 1 pm. Interment Springcreek Cemetery to follow.⁴

³ DodsandMcNair.com

⁴ <https://memorials.skinnerandmiddlebrook.com/OMarra-Ella/1686738/obituary.php>

Property Building Permits

Below is a listing of all Building Permits associated with the property. Since properties may contain multiple buildings, you may see different addresses than originally requested in your lookup. Building permit data is displayed in order of Application Date with the most recent application appearing first in the list below. If you have any questions about the building permit data displayed below, please contact 311 (905-615-4311 outside City limits) or visit www.mississauga.ca/permits.



App Number	App Date	Address	Description	Scope	Type Description	Issue Date	Status
BP 9ALT 6-3249	2006-11-03	451 TEMAGAMI CRES	ADDTN/ALTER - ROOF CHANGE	ADDITION AND ALTERATI ON	DETACHED DWELLING		WITHHELD

City of Mississauga building records only indicate one building permit for the property, a 2006 permit as noted above.

Existing Site Conditions

The single family detached dwelling situated on the property is a bungalow with a walk-out basement. The dwelling is sided with aluminum and has an angel stone exterior on the lower portions of rear and side elevations. The roof is asphalt shingles. The windows and doors are all relatively new, within the last 15 years. As evidenced in the photos, siding has been replaced, as some windows have decreased in size (reference figure 16).

**FIGURE 10: MAIN
FLOOR PLAN**

EXISTING EXTERIOR PHOTOS**PHOTO 1: PARTIAL FRONT & SIDE ELEVATION****PHOTO 2: FRONT ELEVATION**

PHOTO 3: PANORAMIC REAR ELEVATION



PHOTO 4: PARTIAL REAR ELEVATION



PHOTO 5: PARTIAL REAR ELEVATION



PHOTO 6: PARTIAL WEST ELEVATION



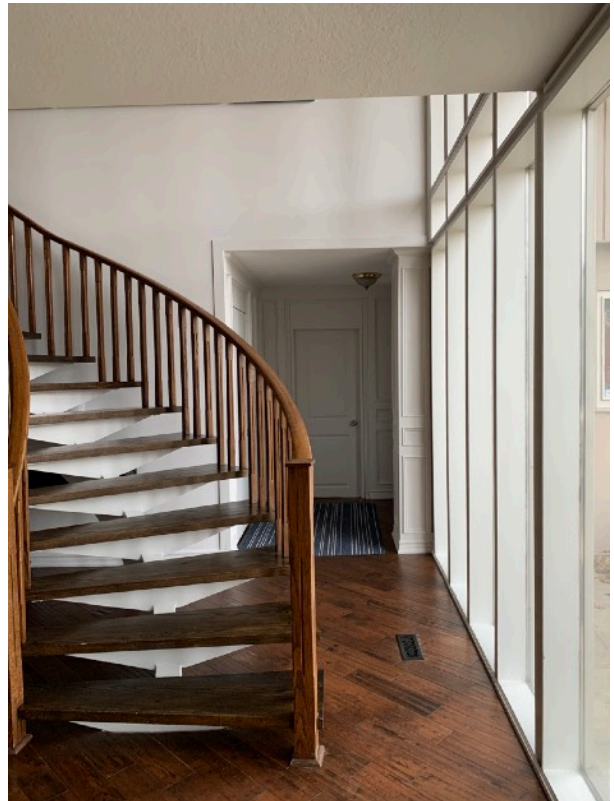
PHOTO 7: WEST ELEVATION



PHOTO 8: EAST ELEVATION



PHOTOS 17 & 18: BASEMENT RECREATION ROOM & BAR



PHOTOS 19 & 20: STAIRCASE

Proposed Development

The dwelling was designed to take full advantage of the ravine river lot and is therefore larger from the rear but is scaled way down at the front to sit within the existing streetscape. The massing of the house is such that the front of the dwelling appears more as a bungalow or 1 ½ storey dwelling. The second floor windows are limited to dormers at the left of the front façade. Most of the front of the home has a sloped roof above the first floor and is only punctuated by the high window in the front entry. The underside of the soffit is less than 11 feet above grade at the front which would be less than most other homes on the street. The gross floor area of the second floor is very small at about 700 square feet so the home is a 1 ½ storey. The architect proposed a darker brick with a dark metal roof and dark windows. The relative scale should be further diminished by this palette. We are also changing the grade of the driveway so that it is a positive slope driveway rather than the existing reverse grade driveway. Raising the driveway should scale the house down more as it will lessen the height of the home from grade along that north side. On the south side the roofs slope back and away from the side yard like a 1 storey hip roof dwelling would. The design incorporates a garage set back from the front elevation and a front entry porch that softens the massing and is in keeping with the Mississauga infill housing guidelines. The footprint of the home is largely within the existing footprint, but also was situated to sit between the huge old oak trees of the property and the existing rear yard pool.⁵

⁵ Geoff Roche, Gren Weis Architect and Associates, December 11, 2020 Email

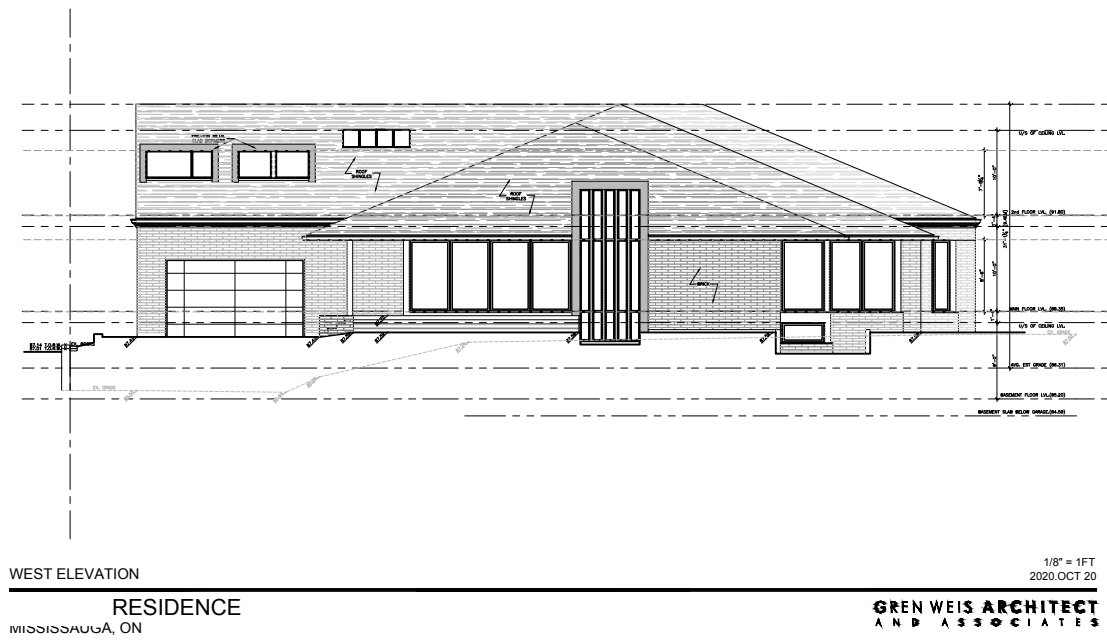
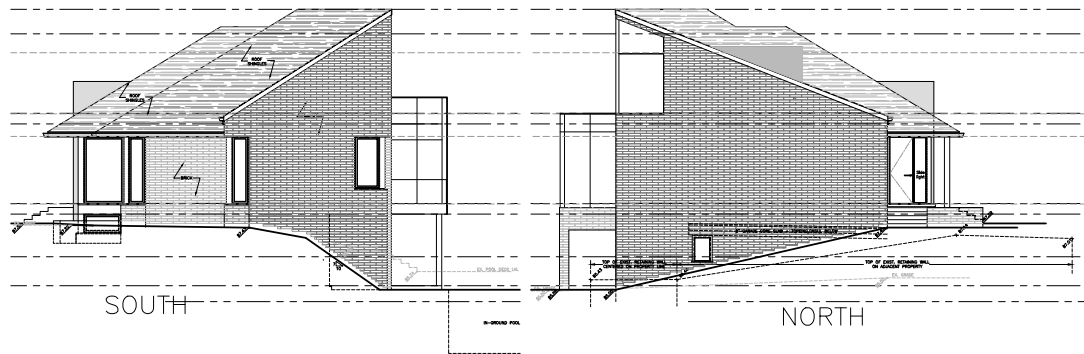


FIGURE 12: FRONT ELEVATION



FIGURE 13: REAR ELEVATION



SOUTH AND NORTH ELEVATIONS

1/8" = 1 FT
2020.OCT.20

RESIDENCE
MISSISSAUGA, ON

GRENNWELLS ARCHITECT
AND ASSOCIATES

FIGURE 14: SIDE ELEVATIONS

FIGURE 15: PROPOSED SITE PLAN

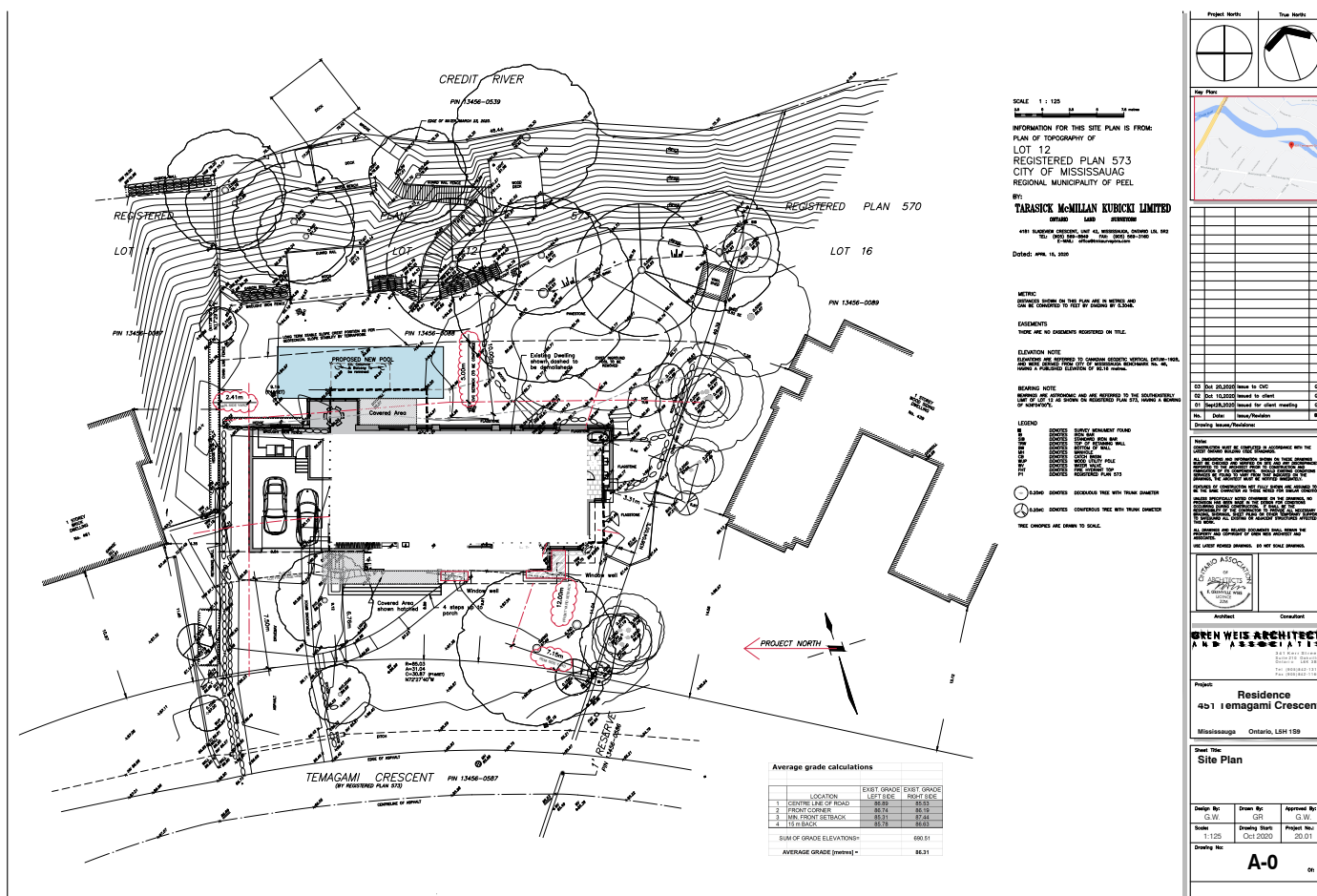


FIGURE 16: EXISTING STREETScape



There is a curve to the street, making the streetscape challenging to accurately depict.



PHOTO 21: 461 TEMAGAMI CRESCENT



PHOTO 22: 439 TEMAGAMI CRESCENT

FIGURE 17: PROPOSED STREETScape



Evaluation according to Ontario Regulation 09/06

TABLE 1: EVALUATION ACCORDING TO ONTARIO REGULATION 09/06

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	It is a suburban home built in the 1960's.
b) Displays a high degree of craftsmanship or artistic merit	NO	While the home is well built, it is typically of the era of construction.
c) Demonstrates a high degree of technical or scientific achievement	NO	It is a bungalow, frame dwelling and does not demonstrate a high degree of technical merit.
2. Historical or associative value		
a) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	NO	The property is not known to have any direct associations significant to the community.

Criteria for Determining Cultural Heritage Value or Interest	Assessment (yes/no)	Rationale
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture	NO	The home is part of the Credit River Corridor landscape. The home itself does not have any potential to yield information that contributes to an understanding of a community or culture.
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	NO	An assumption can be made with regards to the builder, however, there are no records of the company existing today.
3. Contextual Value		
a) Is important in defining, maintaining, or supporting the character of an area	YES	The property, not the house has contextual value.
b) Is physically, functionally, visually, or historically linked to its surroundings	YES	The property, not the house has contextual value.
c) Is a landmark	NO	This is a typical home of the era in which it was built.

Cultural Landscape Inventory Criteria

Each cultural heritage landscape and/or feature includes a checklist of criteria. Within the overall categories of landscape and feature, there are seven sub-types for landscapes: agricultural, historic settlement, industrial, institutional, natural, parks and other urban landscapes, and residential. Credit River Corridor falls within the cultural landscape inventory and is designated as L-NA-2. Within overall landscape sub-type there are four categories, with sixteen sub-criteria. For the purposes of this report, there are eight sub-

criteria identified as pertinent to the conservation of the cultural heritage landscape of The Credit River Corridor.⁶ The proposed development meets these criteria as follows:

LANDSCAPE ENVIRONMENT

Scenic and visual quality

This quality may be both positive (resulting from such factors as a healthy environment or having recognized scenic value) or negative (having been degraded through some former use, such as a quarry or an abandoned, polluted or ruinous manufacturing plant). The identification is based on the consistent character of positive or negative aesthetic and visual quality. Landscapes can be visually attractive because of a special spatial organization, spatial definition, scale or visual integrity.

The proposed redevelopment will maintain a positive aesthetic and visual quality by incorporating the scale of the new structure within the existing landscape features. Mature trees will be maintained at the front of the property.

Natural environment

Natural history interest can include such features as the remnants of glacial moraines, shoreline features of former water courses and lakes, and concentrations of distinct features such as specific forest or vegetation types or geological features. Remnants of original pre-settlement forests would fall into this category.

The proposed redevelopment will not substantially alter any existing remnants of the pre-settlement landscape.

⁶City of Mississauga, Community Services, Cultural Landscape Inventory, Appendix 2: Cultural Landscapes: Matrix, Resource Map & Site Descriptions, L-RES-7. Lorne Park Estates, THE LANDPLAN COLLABORATIVE LTD, January 2005, pp, 13-13 & Appendix 1 & 2.

Landscape design, type and technological interest

This includes complete landscapes that were designed for a specific use or single purpose. These landscapes are characterized by their design intent or urban function i.e. stormwater management. These landscapes are valued in the community by association of use and/or contribution to the visual quality of the community.

The properties together backing onto the Credit River are what contribute to the visual quality of the community, not the property individually. The redevelopment of the subject property will maintain the comprehensive landscape.. The proposed development will maintain the landscape and continue to contribute to the overall visual quality of the community.

HISTORICAL ASSOCIATION

Direct Association with Important Person or Event

Some sites are rather simple or prosaic in nature. However, great events can happen in a field or in a hut. Famous persons may inhabit or major events may happen in unexpected locations. Preservation of such sites is important to the public's understanding of history and of itself.

Although the home was occupied for some time by Judge O'Marra, remarkably, it was his wife who seemed to have more of a notable social presence. However, none of it significant to the development or understanding of Mississauga.

Illustrates an important phase of social or physical development

A site may be evocative or representative of a phase or epoch in the development of the City. Such remnants provide context for an on-going understanding of the development of the community.

The site was developed in the late 1950's, early 60's when the Woodgate Estate subdivision was developed. It is similar to most developments of this era, the only significance being that some of the lots, 3, back on to the Credit River. Thus, probably rendering them a premium lot for purchase.

OTHER

These criteria establish special significance. Historical or archaeological interest - cultural heritage resources associated with pre-historical and historical events. Outstanding features/interest - a one-of-a-kind feature that is set apart from other similar landscapes or features because of its context or some other special quality i.e. the first of its kind or the acknowledged best of its kind. Significant ecological interest - having value for its natural purpose, diversity and educational interest.

The Credit River Corridor is the ecological asset, and the properties within contribute to the overall asset. The proposal maintains the generous rear yards setback to the river and will retain the existing mature trees on the lot. The CVC will not permit development outside of the existing envelope, thus ensuring the maintenance of the ecological asset.

Mitigation Measures

The proposal for 451 Temagami Crescent is the demolition of the existing dwelling and the construction of a new home.

The table below identifies potential impacts the proposed new construction poses and includes the mitigation measures to be taken.

TABLE 2: MITIGATION MEASURES

Potential Impact	Identified Impact	Mitigation
Destruction of any, or part of any, significant heritage attributes or features	None	Not required
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	None	Not required
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	None	Not required
A change in land use where the change in use negates the property's cultural heritage value	N/A	Not required
Removal of natural heritage features, including trees	None	Not required
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	None	Not required
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	None	Not required
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.	None	Not required

Conclusions, Recommendations

The subject property contains a one-storey residential dwelling built in the 1960's. It does not meet any of the criteria for Designation under the Ontario Heritage Act. The proposed demolition and construction of a new dwelling will have no impact on the cultural heritage resource, that being the Credit River Corridor. Mitigation measures, as noted above, have been considered and no further action is required.

ABOUT THE AUTHOR

William Oughtred of W.E. Oughtred & Associates Inc., is a development and land use consultant who has been practicing in the Mississauga and GTA area for over 30 years. Mr. Oughtred has a Bachelor of Arts from McMaster University. Mr. Oughtred is well versed in both Planning and building procedures and the City of Mississauga Zoning By-law and Official Plan.

Mr. Oughtred specializes in infill development projects. His extensive experience has afforded him the opportunity to see the City evolve and be at the forefront of growing trends and patterns in land development in Mississauga. He consults regularly on both heritage and urban design for infill projects.

Heritage Impact Statements and Assessments have been completed for many properties in Mississauga, including, but not limited to the properties listed below.

- ❖ 965 Whittier Crescent
- ❖ 1503 Petrie Way
- ❖ 1470 Pinetree Way
- ❖ 2375 Mississauga Road
- ❖ 943 Whittier Crescent
- ❖ 2417 Mississauga Road
- ❖ 1641 Blythe Road

REFERENCES

www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf
<https://www.mississauga.ca/portal/services/property>
<http://www.mtc.gov.on.ca/en/heritage/heritage.shtml>
[google.com](http://www.google.com)
