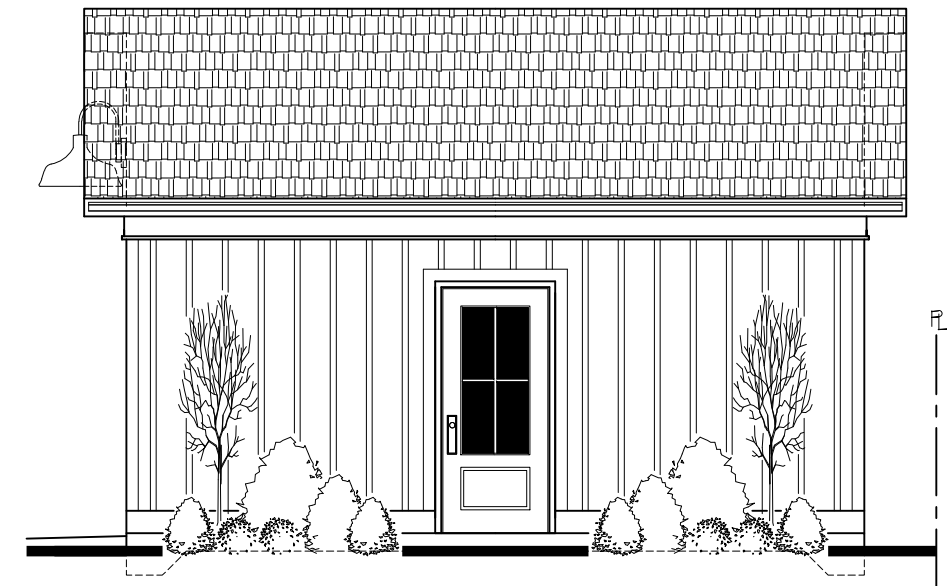
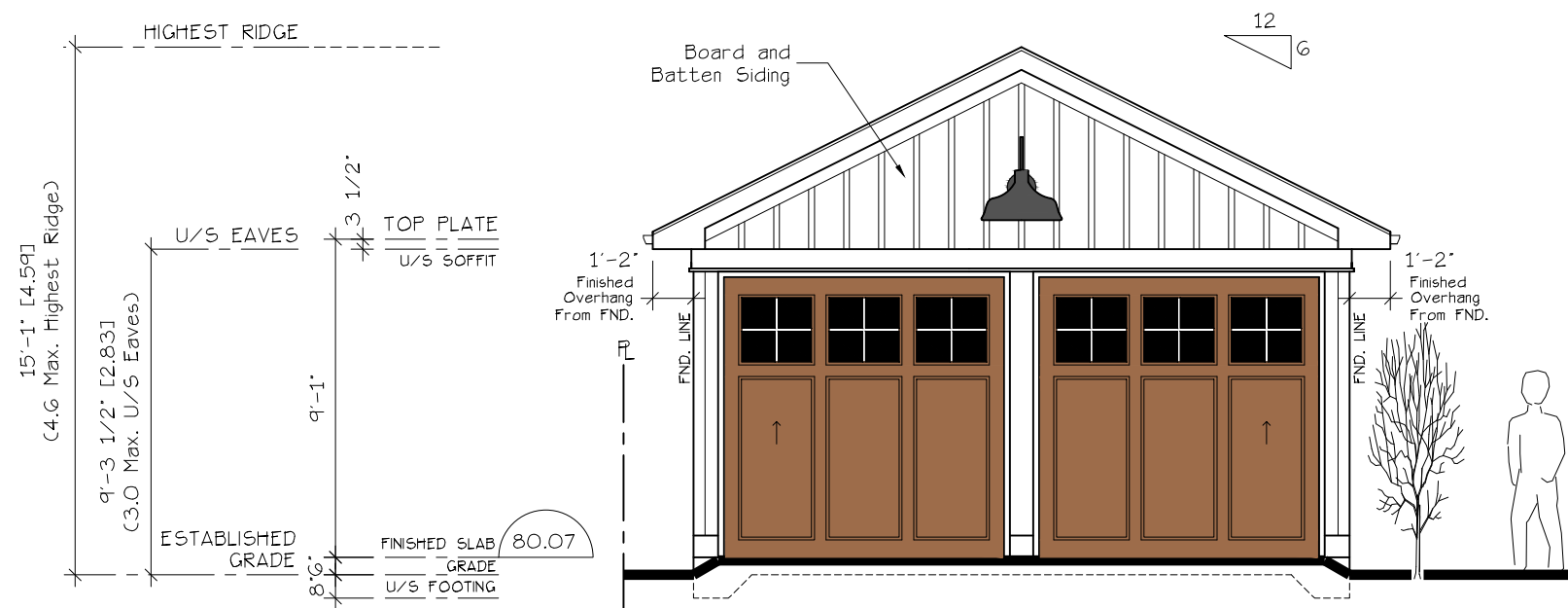


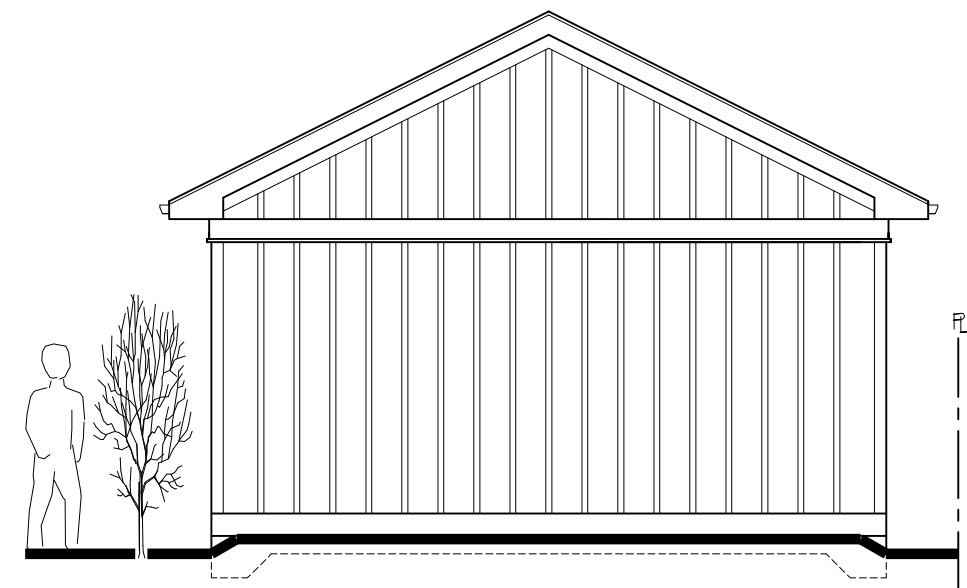
Detached Garage
SOUTH ELEVATION
3/16" = 1'-0"



Detached Garage
NORTH ELEVATION
3/16" = 1'-0"



Detached Garage
EAST ELEVATION
3/16" = 1'-0"



Detached Garage
WEST ELEVATION
3/16" = 1'-0"

Detached Garage
24 JOHN STREET SOUTH, MISSISSAUGA
RESIDENCE

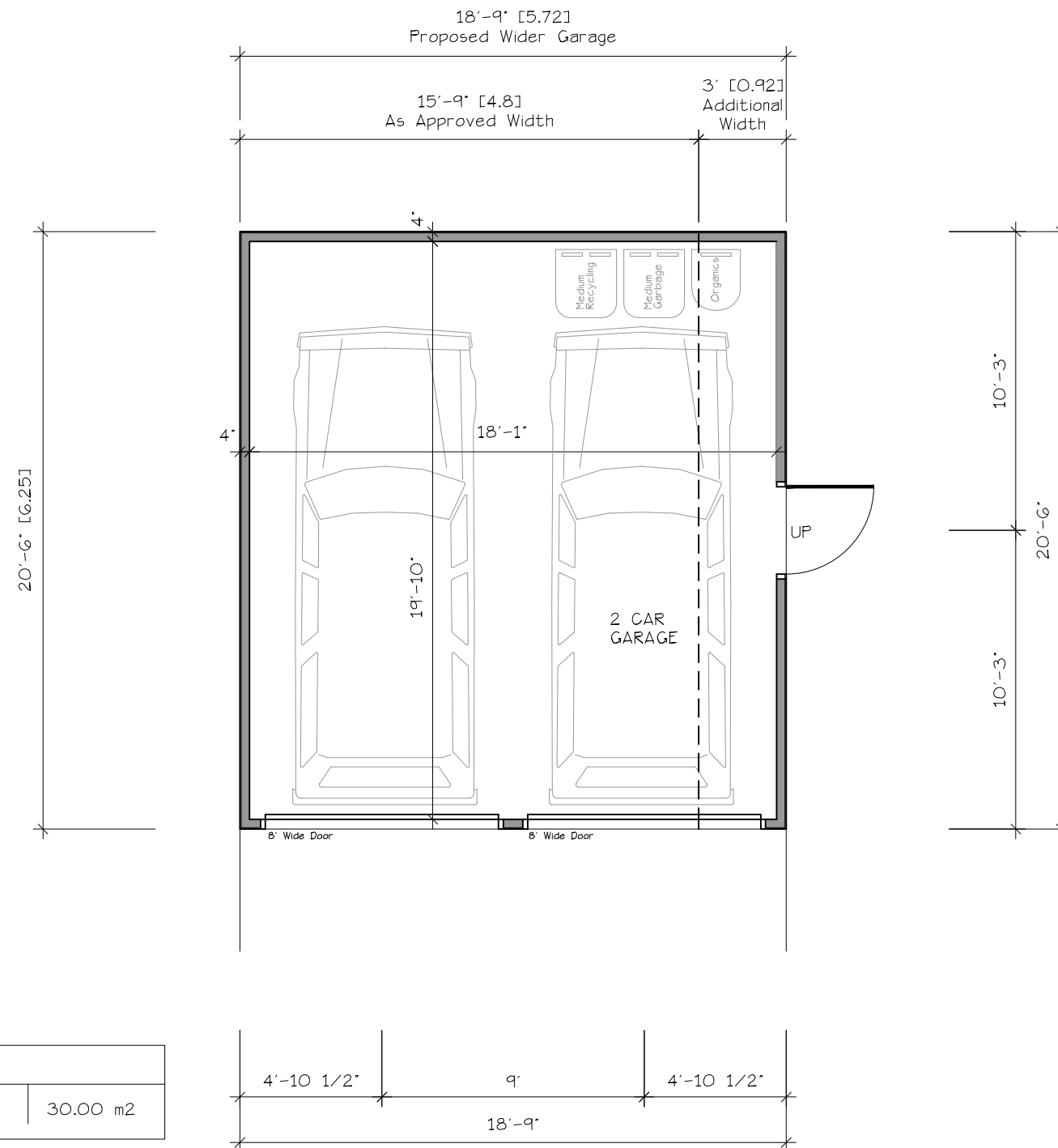
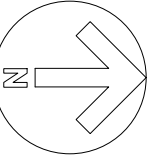
APRIL 15, 2021



NEW AGE DESIGN
ARCHITECTURAL TECHNOLOGISTS

2601 MATHESON BLVD. E.
UNIT FOUR
MISSISSAUGA, ONTARIO, L4W 5A8

Tel: 905-602-0354
info@newagedesign.ca
www.newagedesign.ca



GARAGE AS APPROVED:	
1 1/2 CAR GARAGE	30.00 m ²

PROPOSED GARAGE:	
2 CAR GARAGE	35.75 m ²

Detached Garage
FLOOR PLAN
3/16" = 1'-0"

Detached Garage
24 JOHN STREET SOUTH, MISSISSAUGA
RESIDENCE

APRIL 15, 2021

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CONFORMITY TO SITE PLAN

I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER THE FILE NO. SPI 20-144 W1

DATE: NOVEMBER 5, 2020 SIGNED: 

BUILDING PERMIT REQUIREMENTS

THE CITY OF MISSISSAUGA DEMANDS THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA DEVELOPMENT AND DESIGN DIVISION.

RETAINING WALLS

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

EXISTING TREE PRESERVATION

THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITIONALS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (CONSTRUCTION MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED, OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL CAUSE THE TREE PRESERVATION LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF SITE WORKS.

DATE: NOVEMBER 5, 2020 OWNER'S SIGNATURE: 

SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDINGS THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.

UTILITIES CONNECTION

- SANITARY:
(A) MUNICIPAL SANITARY SEWER IS AVAILABLE ON THE SITE.
- STORM:
(A) MUNICIPAL STORM SEWER IS NOT AVAILABLE ON THE SITE.
- WATER:
(A) SERVICE CONNECTION TO BE 25mm DIA. TYPE "K" SOFT COPPER TUBING UNLESS OTHERWISE NOTED AND AS PER R.P. STD. 1-7-1 AND C.M. STDS. 2115.01 TO 2115.04.

WATERMAINS AND WATER SERVICE

ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 mm (4") DIA. AND LARGER MUST BE DR 18 P.V.C. PIPE MANUFACTURED TO A.W.W.A. SPEC. C900-16 SPEC COMPLETE WITH TRACER WIRE, SIZE 50 mm (2") AND SMALLER MUST BE TYPE "K" SOFT COPPER PIPE PER A.S.T.M. B88-49 SPECIFICATION.

WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7 m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2 m (4') FROM THEMSELVES AND ALL OTHER UTILITIES.

PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 mm (2") OUTLET ON A 100 mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN INTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET IS TO BE 100 mm (4") DIAMETER MINIMUM ON A HYDRANT.

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.

HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7 m (2') AND 0.9 m (3') AND TO HAVE PUMPER NOZZLE.

WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.

WATERMAINS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (12") OVER / 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.

ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.

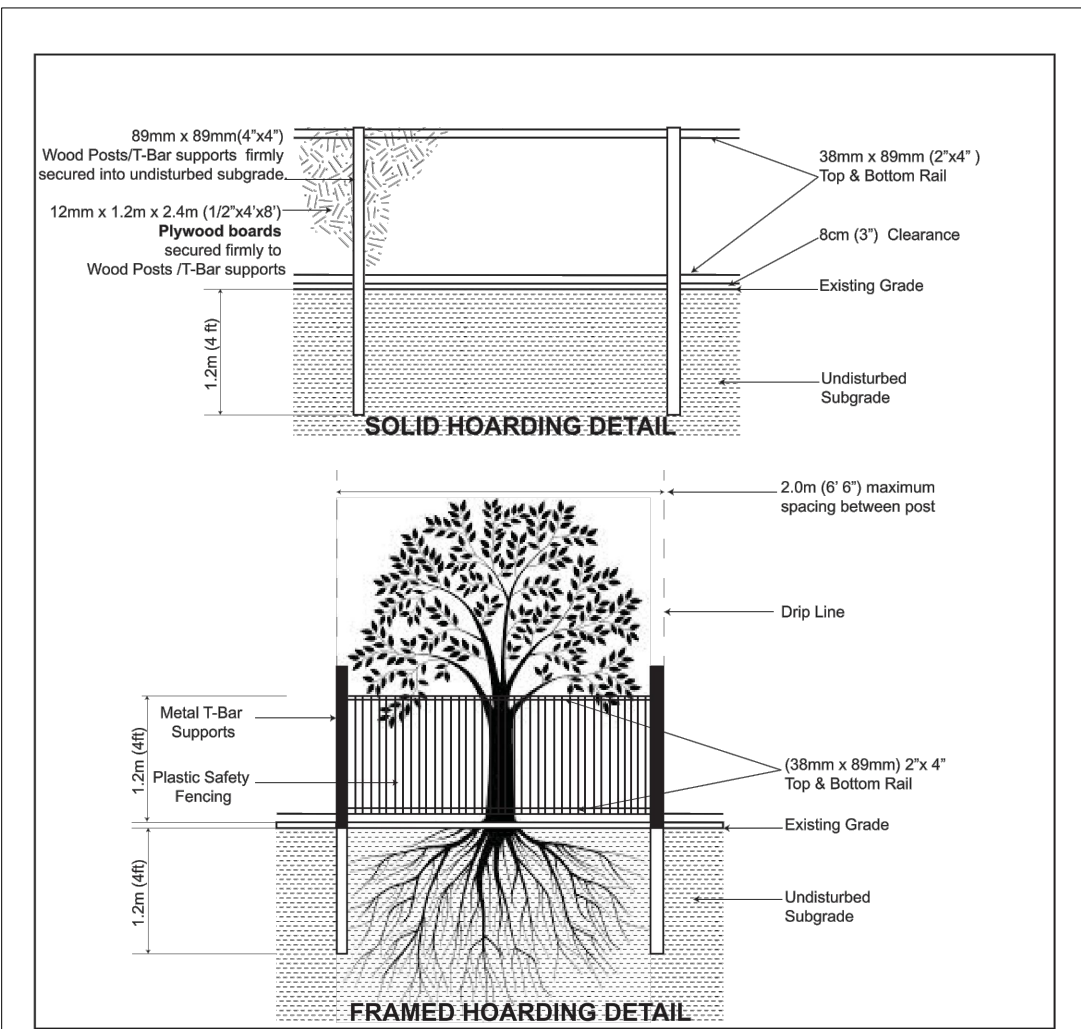
ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.

LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK. WHETHER SHOWN ON THE PLANS OR NOT FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.



- NOTES:**
- Hoarding details to be determined following initial site inspection.
 - Private tree hoarding to be approved by Development & Design.
 - City tree hoarding to be approved by Community Services Dept.
 - Hoarding must be supplied, installed and maintained by the applicant throughout all phases of construction.
 - Inspection must be conducted by the Development and Design Division prior to removing any private hoarding.
 - Do not allow water to collect and pond behind or within hoarding.
 - Fiber supports are acceptable alternative to 4x4 posts. U-shaped metal supports will not be accepted.
 - Plywood must be utilized for solid hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on "construction" side of frame.
 - Applicant is responsible to ensure utility locates are completed within city boulevard prior to installing framed hoarding.

TREE PRESERVATION HOARDING

 MISSISSAUGA

PLAN OF SURVEY WITH TOPOGRAPHY OF PART OF LOTS 5 AND 6, SOUTH SIDE OF PORT STREET, WEST OF CREDIT RIVER, PLAN PC-1 (ALSO SHOWN ON PLAN 300) CITY OF MISSISSAUGA REGIONAL MUNICIPALITY OF PEEL



UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK MACILMILLAN KUBICKI LIMITED OR NEW AGE DESIGN ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK NO. 731, HAVING A PUBLISHED ELEVATION OF 81.58 METRES.

SURVEY INFORMATION

SURVEY INFORMATION IS TAKEN FROM PLAN PREPARED BY TARASICK MACILMILLAN LIMITED, ONTARIO LAND SURVEYORS, DATED AUGUST 26, 2020 FILE #597-SRPR-1

EXISTING WELLS/ SEPTIC SYSTEMS

IF A WELL IS DISCOVERED, IT WILL BE DECOMMISSIONED IN ACCORDANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (FORMERLY 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.

ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED ACCORDING TO ALL APPLICABLE GUIDELINES AND REGULATIONS ORNANCE WITH THE ONTARIO WATER RESOURCES ACT REGULATION 903 (FORMERLY 612/84) AND ANY OTHER APPLICABLE REGULATIONS AND GUIDELINES.

ANY SEPTIC SYSTEM ON SITE WILL BE DECOMMISSIONED AND REMOVED.

DEMOLITION NOTE

ALL EXISTING STRUCTURES CURRENTLY LOCATED ON THE SUBJECT LANDS ARE TO BE DEMOLISHED PRIOR TO ISSUANCE OF BUILDING PERMIT.

RAIN WATER

ALL DOWNSPOUTS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT THE LOCATIONS INDICATED ON THIS PLAN.

PROPOSED SWALES TO HAVE MAXIMUM 1:3 SIDE SLOPES.

SUMP PUMP

SUMP PUMP SHALL DISCHARGE ONTO SPLASH PAD AT GROUND LEVEL AT THE LOCATION INDICATED ON THIS PLAN - AS REQUIRED.

REPORT SUMMARY

PROPERTY DESCRIPTION: 24 JOHN STREET SOUTH, BEING PART OF LOTS 5 AND 6, SOUTH SIDE OF PORT STREET, WEST OF CREDIT RIVER, REGISTERED PLAN PC-1 (SHOWN ON PLAN 300), CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY OF PEEL, PIN 13488-1219

SUBJECT TO EASEMENT; THERE ARE NO EASEMENTS REGISTERED ON TITLE

COMMENTS: NOTE LOCATION OF FENCES.

BEARING NOTE

BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE SOUTHWESTERLY LIMIT OF JOHN STREET SOUTH AS SHOWN ON PLAN PC-1, HAVING A BEARING OF NS2°16'50"W.

CERTIFICATION FOR PROPOSED GRADING

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A TWO STOREY HOUSE LOCATED AT 24 JOHN STREET SOUTH AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

NOVEMBER 23, 2020

DATE

FILE NO. 8597

TARASICK MACILMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS
4181 SLADVIEW PRESENT, UNIT 42
MISSISSAUGA ON L5L 5R2
TEL: (905) 569-8849
FAX: (905) 569-3160

BORYS KUBICKI
ONTARIO LAND SURVEYOR

NOTES

ANY LANDSCAPING WITHIN THE MUNICIPAL BOULEVARD WILL BE SUBJECT TO PRIOR APPROVAL BY THE PUBLIC UTILITIES CO-ORDINATING COMMITTEE.

THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.

ON SITE WASTE COLLECTION WILL BE REQUIRED THROUGH A PRIVATE WASTE HAULER.

AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

ALL PROPOSED CURBING (IF ANY) AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.

ANY EXCESS EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE.

ALL DAMAGED AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.

ALL EXISTING TREES OVER 0.15 m TRUNK DIAMETER WILL NOT BE REMOVED UNLESS OTHERWISE SHOWN.

GRADING AT THE BASE OF EXISTING TREES MUST BE PRESERVED ADJACENT THE CONSTRUCTION ZONE.

ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

PROPOSED GRADES AND DRAINAGE PATTERNS SHALL NOT HAVE NEGATIVE IMPACT ON THE ADJACENT PROPERTIES.

— DIRECT DOWN SPOUTS TO THE FRONT OR REAR.
— DRAINAGE SWALE INVERTS SHALL BE MIN. 0.15 m BELOW THE ADJACENT GRADE ELEVATION.

THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.

PRIOR TO CONSTRUCTION TAKING PLACE FOR ANY HOARDING WITHIN THE MUNICIPAL RIGHT-OF-WAY, P.U.C.C. APPROVAL AND A ROAD OCCUPANCY PERMIT SHALL HAVE BEEN ISSUED.

PRIOR TO ANY CONSTRUCTION TAKING PLACE, STRUCTURALLY CERTIFIED OVERHEAD HOARDING WAY PROTECTION IN ACCORDANCE WITH O.R.E.G. 213/91, SECTION 64 LOCATED WITHIN THE RIGHT-OF-WAY AND/OR PUBLIC LANDS, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED, INSPECTED AND CERTIFIED BY A PROFESSIONAL ENGINEER AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE 4 TO 6 WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.

EASEMENTS

THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

EXTERIOR LIGHTING

ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.

EXISTING GRADES

ALL EXISTING GRADES AROUND THE PERIMETER AND THE EXISTING GRADING PATTERN OF THE SITE SHALL BE MAINTAINED.

THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED.

GRADING

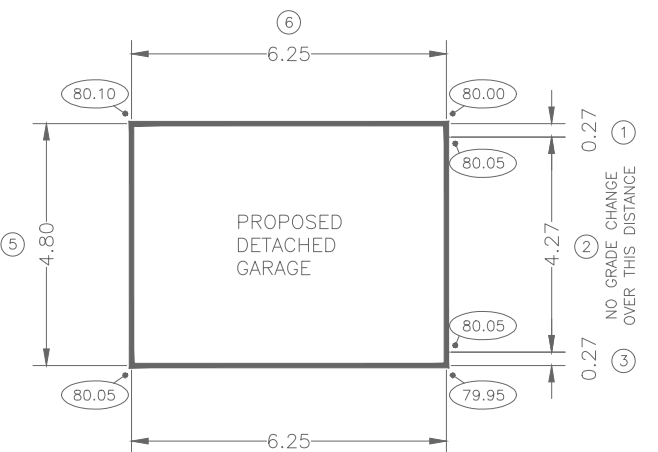
GRADES WILL BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

DRIVEWAY

THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.

ESTABLISHED GRADE CALCULATION

LENGTH	BEGIN ELEV.	END ELEV.	LENGTH (m)	(BL+EL.2/2)XAL
1	80.01	80.05	0.27	21.61
2	80.05	80.05	4.27	341.81
3	80.05	79.95	0.27	21.60
4	79.95	80.05	6.25	500.00
5	80.05	80.10	4.80	384.36
6	80.10	80.00	6.25	500.31
TOTAL:				22.11
Eg =				1769.69
				722.11
				= 80.04



LEGEND:

- IB DENOTES SURVEY MONUMENT FOUND
- RIB DENOTES IRON BAR
- CM DENOTES ROUND IRON BAR
- ON DENOTES CONCRETE MONUMENT
- TC DENOTES TOP OF CURB
- CH DENOTES BOTTOM OF CURB
- CCT DENOTES CURB CUT
- MH DENOTES MANHOLE
- WU DENOTES WOOD UTILITY POLE
- WV DENOTES WATER VALVE
- P1 DENOTES REGISTERED PLAN 300
- D1 DENOTES J. ANDREW SMITH, O.L.S., JUNE 6, 1988
- P2 DENOTES INSTRUMENT R0970301
- DWELLING ENTRANCE
- GARAGE ENTRANCE
- O/H DOORS AND MAIN DOORS
- DOWNSPOUT - DISCHARGE ONTO SPLASH PADS
- RAIN BARREL - CONNECTED TO DOWNSPOUT
- SUMP PUMP
- AREA DRAIN
- WINDOW WELL
- CONSTRUCTION ACCESS AND PATCH OF TRAVEL
- SOLID HOARDING - 12.5mm PLYWOOD (4"x8") SUPPORTED BY METAL 1-BARS AT 2400mm O/C. WITH 50x100mm MIN. TOP AND BOTTOM WOODEN RAILS.
- FRAMED HOARDING - TO BE SNOW FENCING OR PLASTIC SAFETY FENCE SUPPORTED BY METAL 1-BARS AT 2000mm O/C. WITH 25x75mm MIN. TOP AND BOTTOM WOODEN RAILS.
- ATTACHED SILT FABRIC TO HOARDING. (SEDIMENT AND EROSION CONTROL FENCING)
- EXISTING GRADE ELEVATION.
- PROPOSED GRADE ELEVATION.
- DENOTES GRADE MARKING FOR AVERAGE GRADE BY-LAW 225-2007
- DIRECTION OF DRAINAGE
- DIRECTION OF SWALE
- 0.2040 EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER. TREE CANOPIES ARE DRAWN TO SCALE.
- 0.2040 EXISTING CONIFEROUS TREE WITH TRUNK DIAMETER. TREE CANOPIES ARE DRAWN TO SCALE.
- EXISTING TREES TO BE REMOVED PERMIT OR PERMISSION REQUIRED TREES INDICATED ARE GREATER THAN 15cm Dia.
- EXISTING TREES TO BE REMOVED. NO PERMIT OR PERMISSION REQUIRED. TREES INDICATED ARE 15cm DIA. OR LESS. -OR- WITH-IN THE TWO TREES ALLOWED TO BE REMOVED, PER CALENDAR YEAR.
- TREE #00 TREE NUMBER INDICATOR Refer to Aboarded Report
- DENOTES KNOWN VARIANCES.

ZONING

R15-1

STATISTICS:

674.63 m2
0.0674 ha.

DWELLING

PERMITTED G.F.A.:
169 m2 + 2 x Lot Area 303.92 m2

PERMITTED FLOOR AREA:
40% of Lot Area 269.85 m2

LOT WIDTH 16.76 m

DETACHED GARAGE R15-1

PERMITTED FLOOR AREA (exterior) 30.00 m2

PERMITTED FLOOR AREA (exterior) 35.75 m2

PROPOSED COVERAGE:

1st FLOOR 148.64 m2

ONE CAR GARAGE 35.75 m2

COVERED FRONT PORCH 25.82 m2

COVERED SIDE ENTRY 2.97 m2

COVERED REAR PATIO 22.45 m2

TOTAL COVERAGE (34.93%) 235.63 m2

PROPOSED G.F.A.:

1st FLOOR 148.64 m2

2nd FLOOR 103.49 m2

2nd FLOOR DEDUCTIONS (-) 8.67 m2

FOYER OPEN TO BELOW (-) 5.62 m2

ONE CAR GARAGE 35.75 m2

EXTERIOR SIZE 273.59 m2

ONE CAR GARAGE 33.31 m2

INTERIOR SIZE 33.31 m2

PERMITTED SETBACKS:

EAST FRONT YARD 5.00 m

EAST (INCLUDES OF COVERED PORCH) 3.20 m

SOUTH 3.00 m

WEST REAR YARD 7.50 m

NORTH 1.20 m

PROPOSED SETBACKS:

EAST FRONT YARD 6.09 m

EAST (INCLUDES OF COVERED PORCH) 3.38 m

SOUTH 4.18 m

WEST REAR YARD 16.11 m

NORTH 1.20 m

PERMITTED HEIGHT:

HIGHEST RIDGE HEIGHT 9.00 m

U/S EAVE HEIGHT 6.80 m

PROPOSED HEIGHT:

HIGHEST RIDGE HEIGHT 8.94 m

U/S EAVE HEIGHT 6.53 m

PERMITTED DWELLING DEPTH: 20.00 m

PROPOSED DWELLING DEPTH: 14.64 m

AVERAGE GRADE: 79.60

LOT AREA: 674.63 m2

40% MIN. LANDSCAPE SOFT AREA: 269.85 m2

PROPOSED LANDSCAPE SOFT AREA (44.13%) 297.75 m2

APR 15, 2021

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECTURAL TECHNOLOGIST BEFORE PROCEEDING WITH ANY CONSTRUCTION.
- USE ONLY THE LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED - ISSUED FOR CONSTRUCTION -
- ANY CHANGES TO DRAWING AND RELATED SPECIFICATIONS OR ANY PART THEREOF, ARE RESERVED FOR THE ARCHITECTURAL TECHNOLOGIST.

AVERAGE GRADE CALCULATION

GR. 1	CENTER LINE OF ROAD	79.28
GR. 2	INTERSECTION OF FRONT AND SIDE LOT LINES	79.33
GR. 3	FRONT YARD SETBACK	79.47
GR. 4	15m BACK FROM GR.3	79.83
GR. 5	CENTER LINE OF ROAD	79.92
GR. 6	INTERSECTION OF FRONT AND SIDE LOT LINES	79.86
GR. 7	FRONT YARD SETBACK	79.62
GR. 8	15m BACK FROM GR.7	79.92
SUM OF GRADES		636.83

AVERAGE GRADE = 79.60

24 JOHN STREET SOUTH
MISSISSAUGA, ONTARIO

SUSTAINABLE TECHNOLOGY:

- RAIN BARRELS (SEE SITE PLAN FOR LOCATIONS).
- PERMEABLE PAVING WALKWAY.

DETACHED GARAGE

Table 4.1.12.1.