

NAME OF PROJECT:
RENOVATION OF
ST MARY STAR OF THE SEA RECTORY

PROJECT LOCATION:
11 PETER STREET SOUTH
MISSISSAUGA, ONTARIO
L5H 2G1

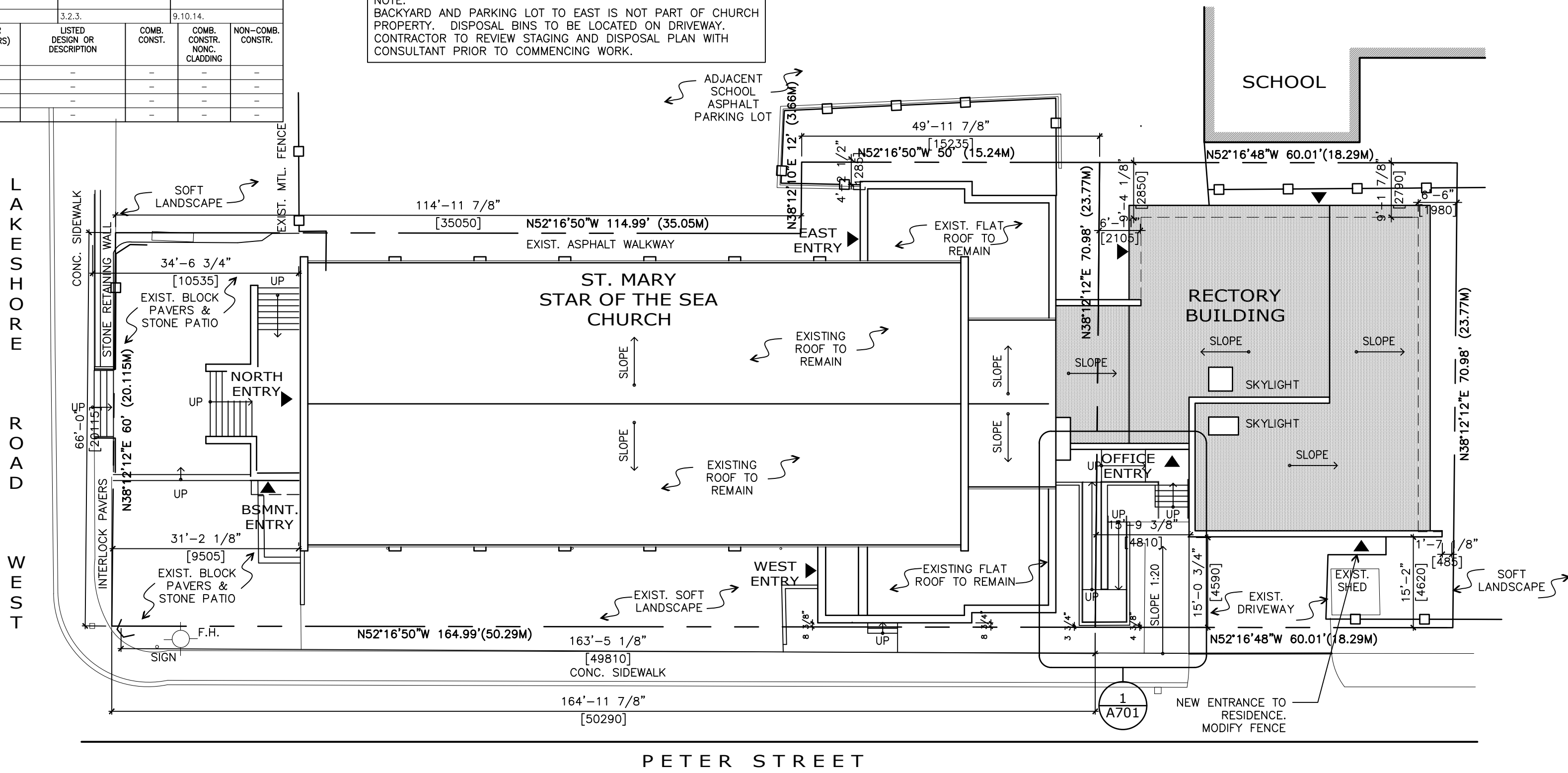


Lynch + Comisso
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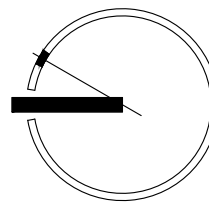
ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 AND 9						O.B.C. REFERENCE				
							References are to Division B unless noted [A] for Division A or [C] for Division C				
1.	PROJECT DESCRIPTION: -- <div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration</div>				<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input checked="" type="checkbox"/> PART 3 1.1.2. [A]	<input checked="" type="checkbox"/> PART 9 1.1.2. [A] & 9.10.1.3.				
2.	MAJOR OCCUPANCY(S) GROUP A DIVISION 2 AND GROUP C RESIDENTIAL				3.1.2.1.(1)			9.10.2.			
3.	BUILDING AREA (m²) Existing: 865.16		New: 1.6		Total: 866.76		1.4.1.2. [A]		1.4.1.2. [A]		
4.	GROSS AREA (m²) Existing: 1120.79		New: -2.81		Total: 1117.98		1.4.1.2. [A]		1.4.1.2. [A]		
5.	NUMBER OF STOREYS Above grade: 2		Below grade: 1				1.4.1.2. [A] & 3.2.1.1.		1.4.1.2. [A] & 9.10.4		
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS 2				3.2.2.10. & 3.2.5.			9.10.20.			
7.	BUILDING CLASSIFICATION GROUP A DIVISION 2 UP TP 2 STOREYS				3.2.2.20.-83			9.10.2.			
8.	SPRINKLER SYSTEM PROPOSED <div><input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input checked="" type="checkbox"/> not required <input type="checkbox"/> in lieu of roof rating</div>				3.2.2.20.-83 3.2.1.5. 3.2.2.17. INDEX			9.10.8.2. INDEX			
9.	STANDPIPE REQUIRED <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.9.			N/A			
10.	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				3.2.4.			9.10.18.			
11.	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				3.2.5.7.			N/A			
12.	HIGH BUILDING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.2.6.			N/A			
13.	PERMITTED CONSTRUCTION <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both ACTUAL CONSTRUCTION <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both				3.2.2.20.-83			9.10.6.			
14.	MEZZANINE(S) AREA (m²) N/A				3.2.1.1.(3)-(8)			9.10.4.1.			
15.	OCCUPANT LOAD BASED ON <input checked="" type="checkbox"/> m²/person <input type="checkbox"/> design of building				3.1.17.			9.9.1.3.			
BASEMENT: OCCUPANCY CHURCH HALL LOAD 444 PERSONS											
1ST FLOOR OCCUPANCY CHURCH NAVE LOAD 586 PERSONS											
2ND FLOOR OCCUPANCY RECTORY LOAD 6 PERSONS											
3RD FLOOR OCCUPANCY - LOAD - PERSONS											
(Additional floor areas continued on last page)											
16.	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (explain) 9.5.2.1 (2)				3.8.			9.5.2.			
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.3.1.2. & 3.3.1.19.			9.10.1.3.(4)			
18.	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)			LISTED DESIGN NO. OR DESCRIPTION (SG-2)		3.2.2.20.-83 & 3.2.1.4.		9.10.8.		
Floors: N/A Hours							9.10.9.				
Roof: 0 Hours											
Mezzanine: N/A Hours											
FRR OF SUPPORTING MEMBERS			LISTED DESIGN NO. OR DESCRIPTION (SG-2)								
Floors: N/A Hours											
Roof: 0 Hours											
Mezzanine: N/A Hours											
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS						3.2.3.		9.10.14.		
	WALL	AREA OF EBF (m²)	L.D. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONSTR. NONC. CLADDING	NON-COMB. CONST.
	NORTH	N/A	-	-	NO CHANGE	-	-	-	-	-	-
	SOUTH	N/A	-	-	NO CHANGE	-	-	-	-	-	-
	EAST	N/A	-	-	NO CHANGE	-	-	-	-	-	-
	WEST	N/A	-	-	NO CHANGE	-	-	-	-	-	-

SITE ANALYSIS								
Municipal Address:		11 Peter Street South						
Zoning Classification:		CR 4						
Site Stats		s.f.	m²					
Lot Area		16376.78	1521.45					
		ft	m					
Lot Frontage		66.00	20.12					
Lot Depth		228.19	69.55					
Gross Floor Area		Allowed		Existing			Proposed	
		s.f.	m²	s.f.	m²	%	s.f.	m²
T [Total]				12064.08	1120.79	73.67	12033.79	1117.98
					Proposed Increase		-2.81	m²
Building Area		Existing		Proposed				
		s.f.	m²	s.f.	m²			
Church Basement*		7021.09	652.28	no change				
Rectory Basement*		620.7	57.66	no change				
Church Ground Floor		6765.55	628.54	no change				
Rectory Ground Floor		2546.96	236.62	2564.23	238.22			
Church Choir Loft		578.76	53.77	no change				
Rectory 2nd Floor		2172.81	201.86	2125.25	197.44			
* basement not included in total								
Total		12064.08	1120.79	12033.79	1117.98			
Setbacks		Required		Required		Proposed		
		ft	m	ft	m	ft	m	
Front Yard (Max)		9.84	3.00	34.56	10.53	no change		
Side Yard (East)		0.00	0.00	3.75	1.14	no change		
Side Yard (West)		0.00	0.00	0.29	0.09	no change		
Rear Yard		14.76	4.50	1.65	0.50	no change		
Building Height		Required		Required		Proposed		
		ft	m	ft	m	ft	m	
Rectory		52.49	16.00	22.8	6.95	no change		
Church		52.49	16.00	47.45	14.46	no change		

NOTE:
BACKYARD AND PARKING LOT TO EAST IS NOT PART OF CHURCH PROPERTY. DISPOSAL BINS TO BE LOCATED ON DRIVEWAY. CONTRACTOR TO REVIEW STAGING AND DISPOSAL PLAN WITH CONSULTANT PRIOR TO COMMENCING WORK.



1 SITE PLAN
SCALE: 1/16"=1'-0"



CONTRACTORS MUST VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCY MUST BE REPORTED TO LYNCH + COMISSO INC. PRIOR TO CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY THE ARCHITECT.

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ISSUANCES:

NO.	DATE	DESCRIPTION
04	HERITAGE	6 APR 2021
03	PERMIT	16 MAR 2021
02	CURRY REVIEW	7 DEC 2020
01	COORDINATION	17 SEPT 2020

CLIENT:

ST MARY STAR OF THE SEA PARISH

PROJECT NAME:

RECTORY RENOVATION

LOCATION:

11 PETER STREET SOUTH
MISSISSAUGA, ON, L5H 2G1

DATE:

SEPTEMBER 2020

DRAWN BY:

JA

CHECKED BY:

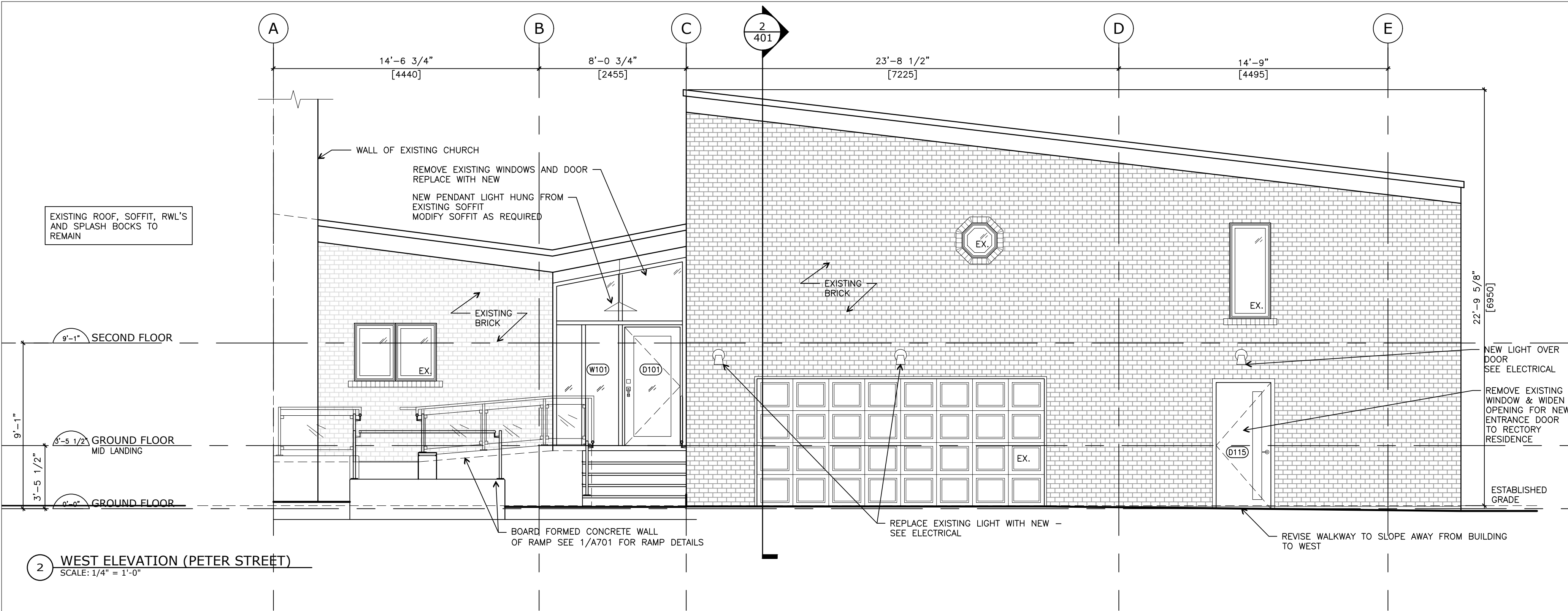
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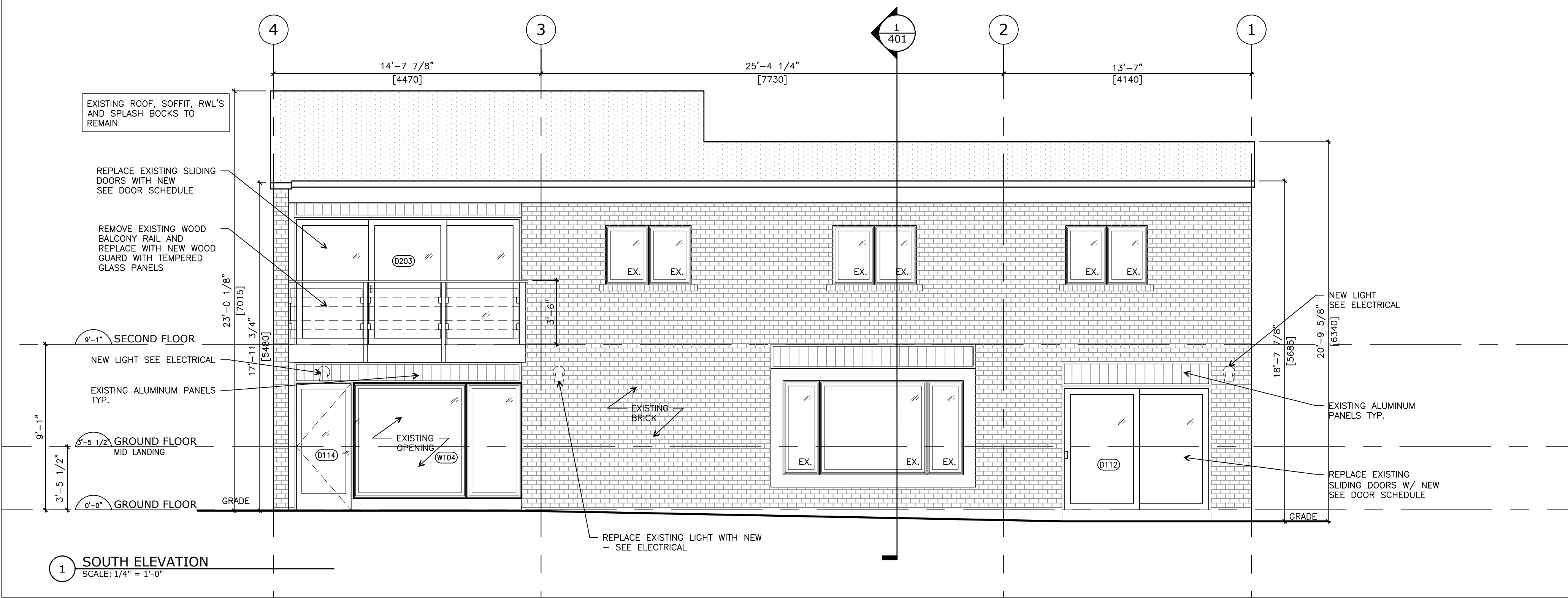
OBC MAXTRIX SITE PLAN

SCALE:

DRAWING #:



2 WEST ELEVATION (PETER STREET)
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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ONTARIO ASSOCIATION
OF
ARCHITECTS

Mary Ellen Lynch Comisso

MARY ELLEN LYNCH COMISSO
LICENCE
5240

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ST MARY STAR OF THE SEA
PARISH

PROJECT NAME:
RECTORY RENOVATION

LOCATION:
111 PETER STREET SOUTH
MISSISSAUGA, ON, L5H 2G1

DATE:
SEPTEMBER 2020

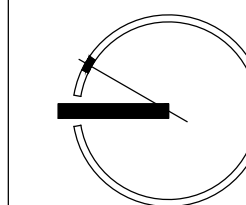
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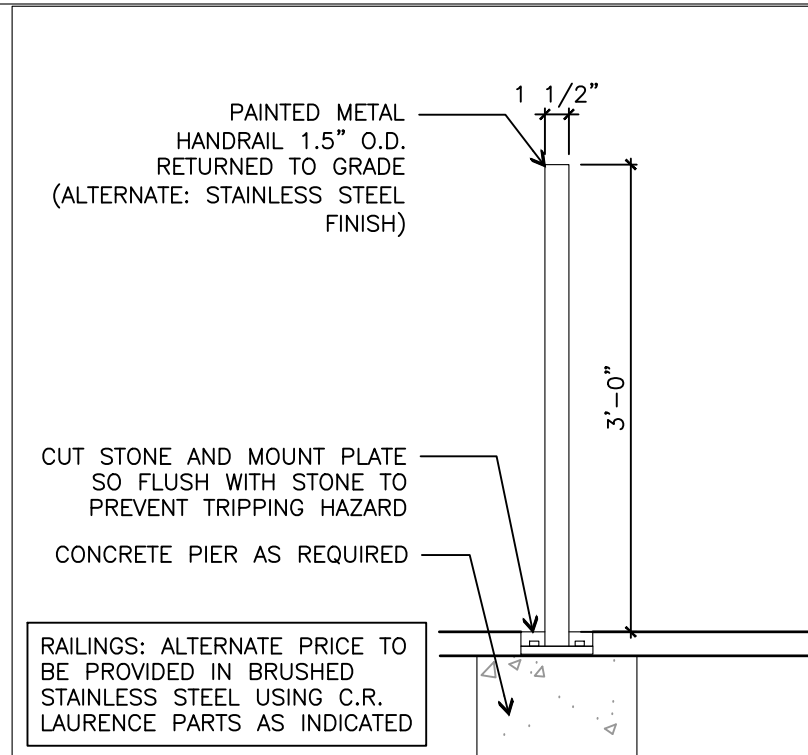
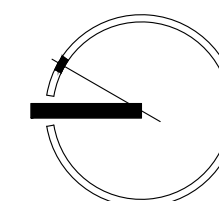
DRAWING NAME:
RECTORY
EXTERIOR
ELEVATIONS

SCALE:
DRAWING #:

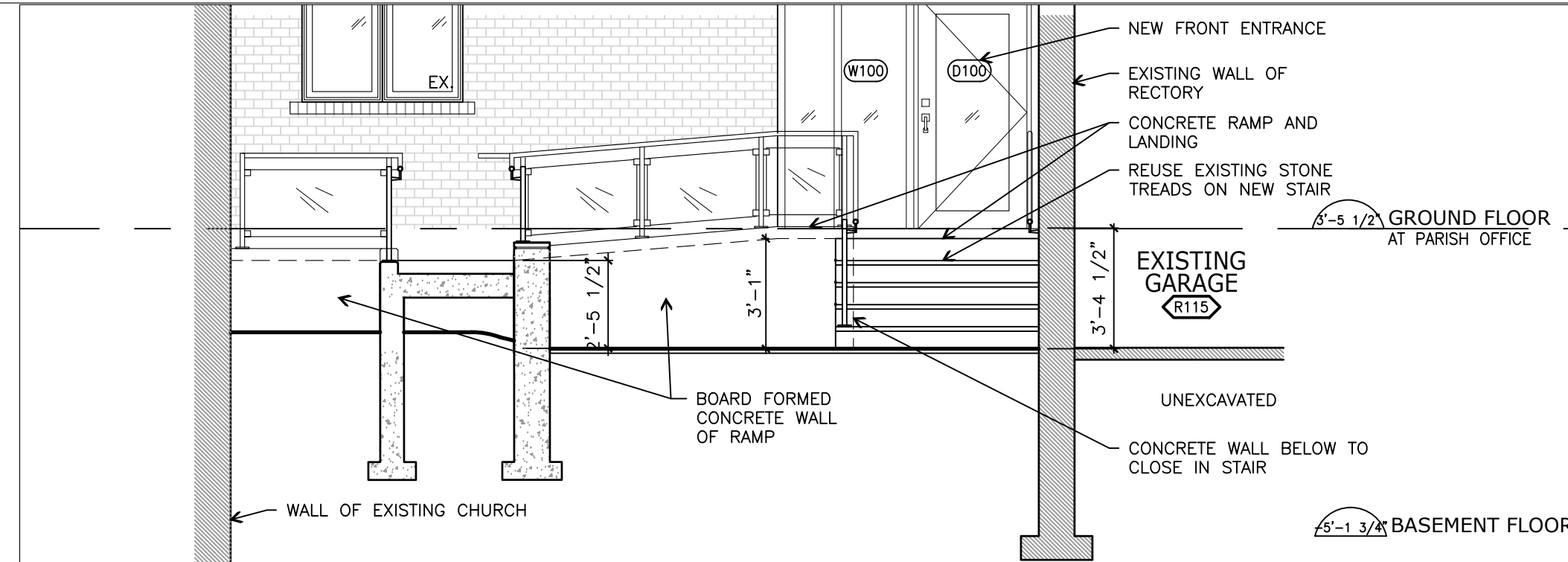
A301

PROJECT No:
2011

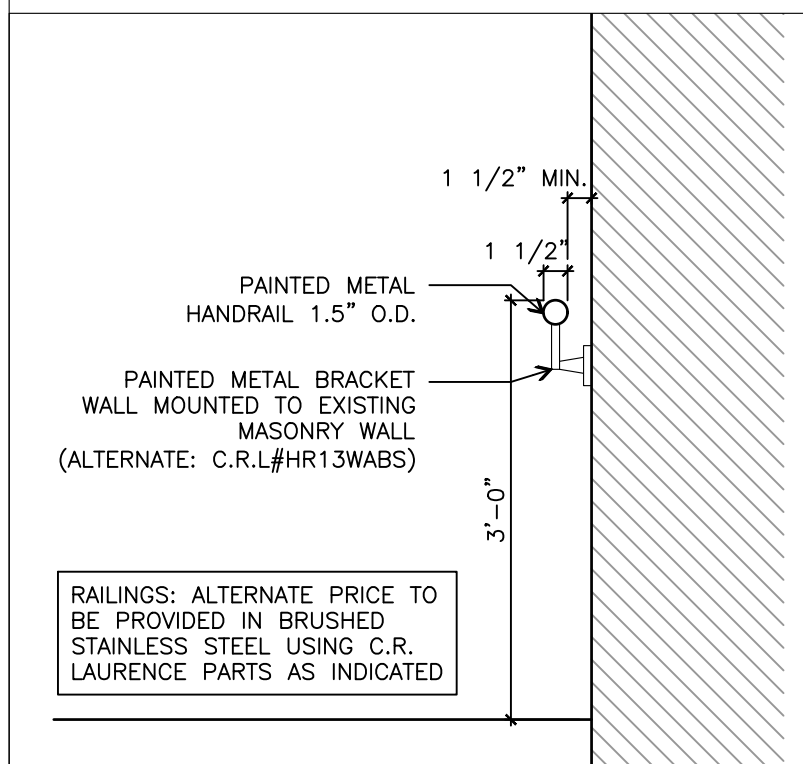




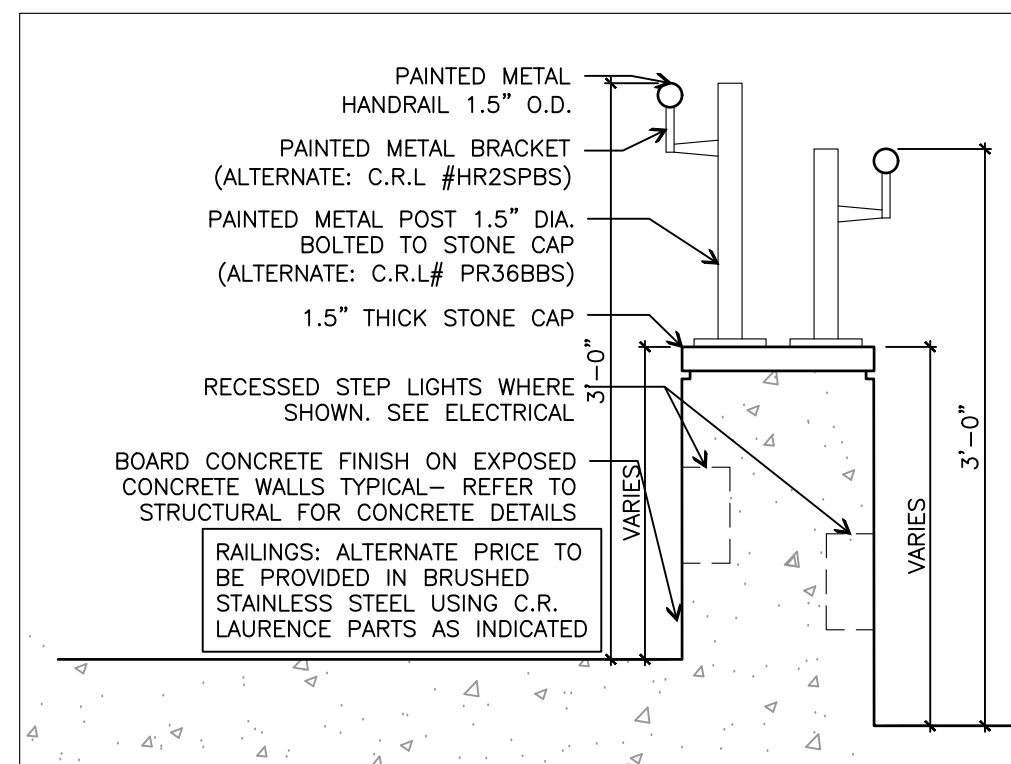
11 TYPICAL HANDRAIL RETURNED TO GRADE
SCALE: 1" = 1'-0"



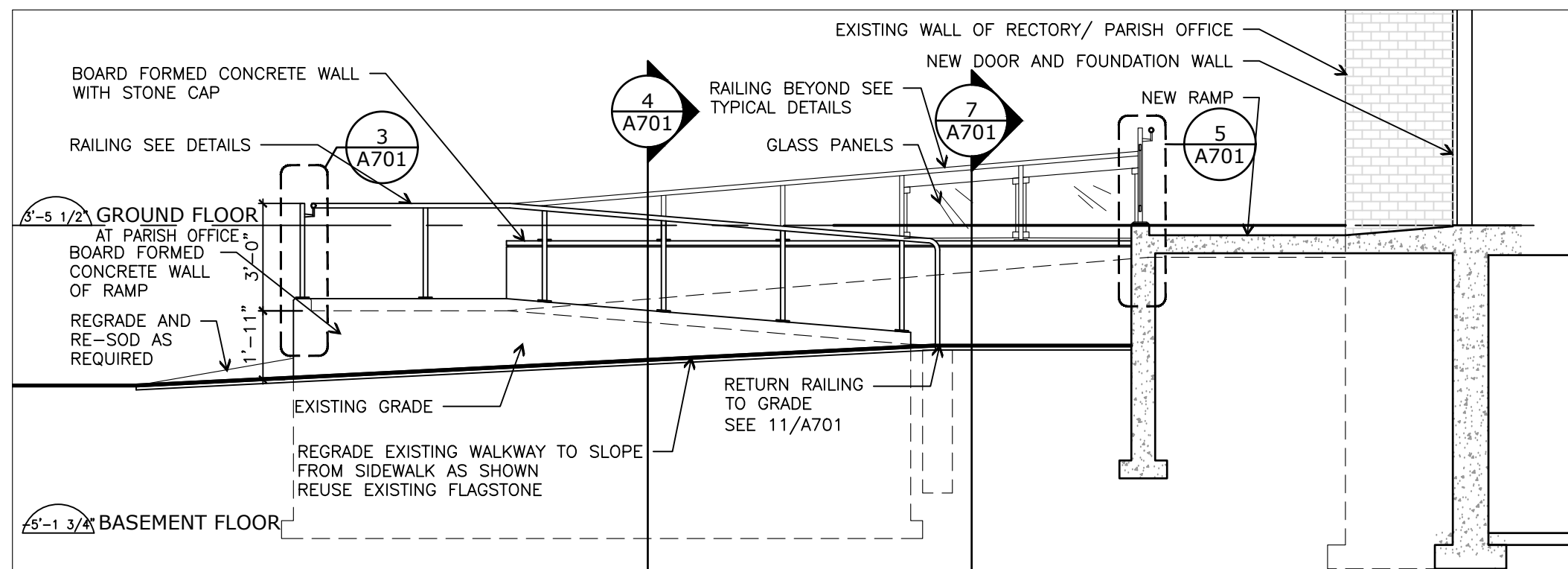
10 EXTERIOR STAIR ELEVATION
SCALE: 1/4" = 1'-0"



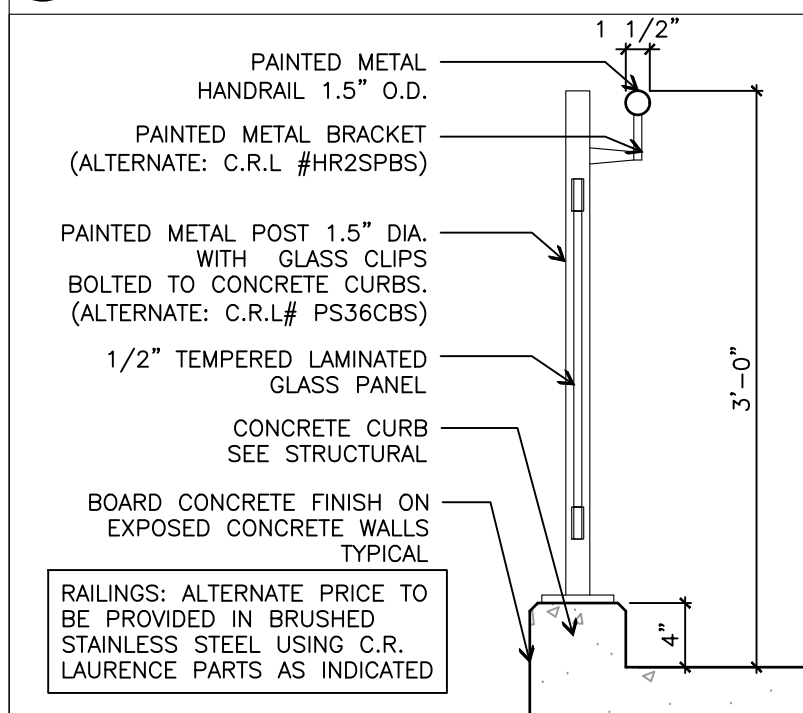
8 TYPICAL WALL MOUNTED HANDRAIL
SCALE: 1" = 1'-0"



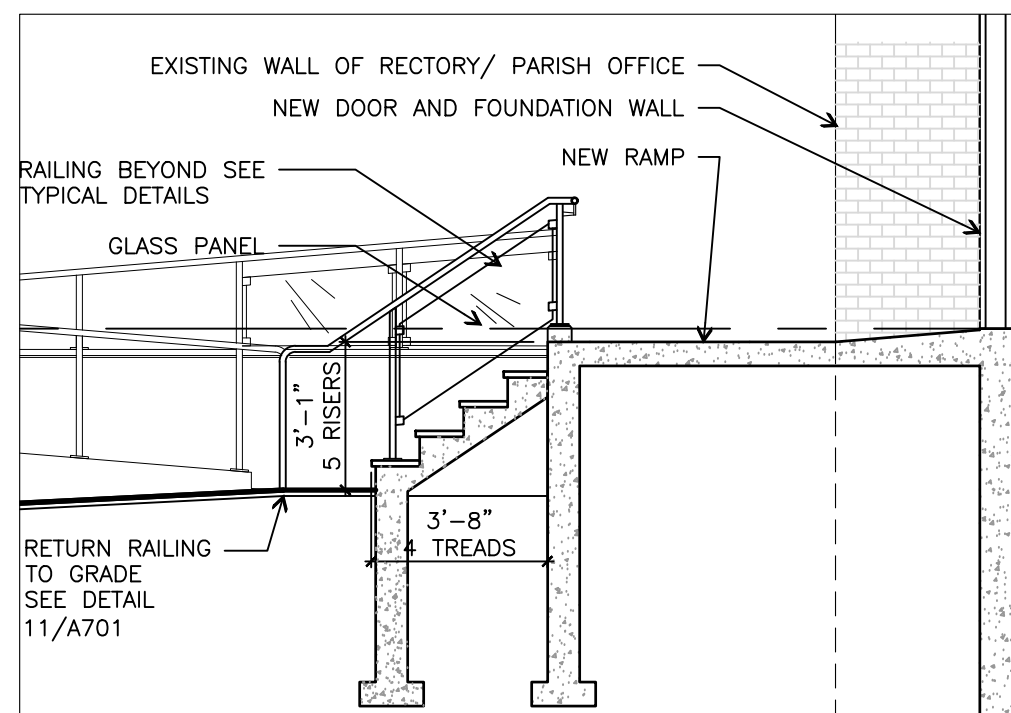
7 EXTERIOR RAMP MIDDLE WALL DETAIL
SCALE: 1" = 1'-0"



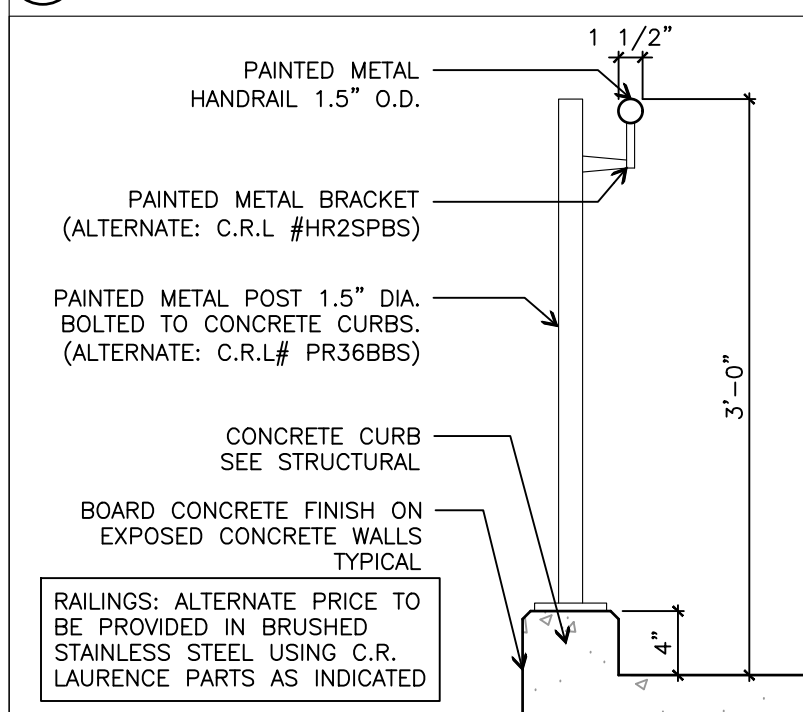
6 EXTERIOR RAMP ELEVATION
SCALE: 1/4" = 1'-0"



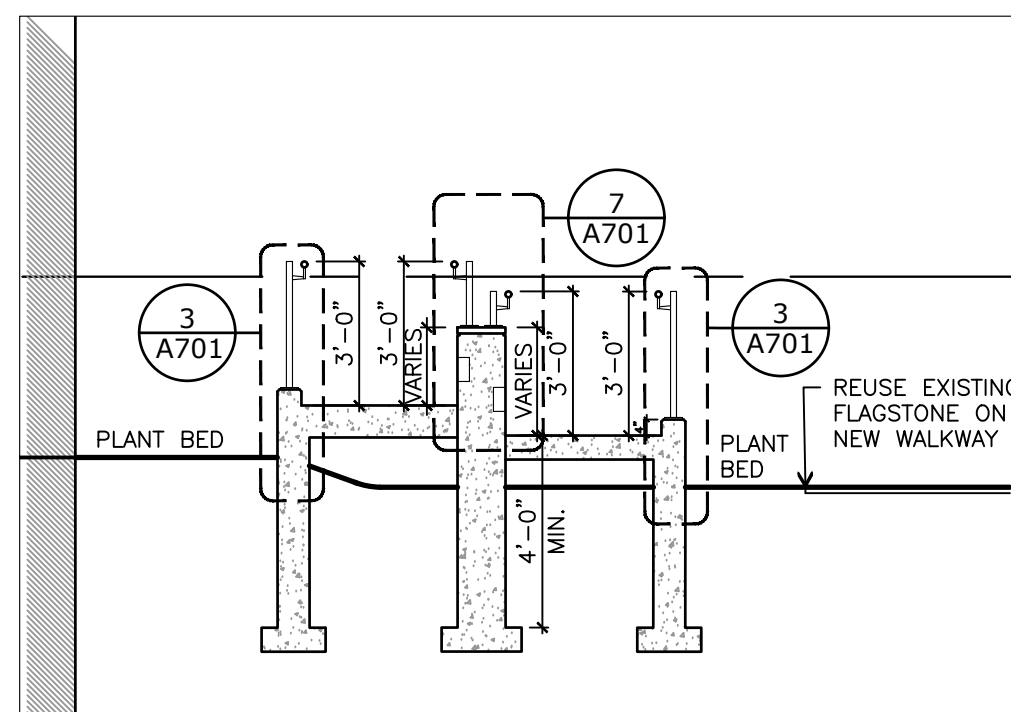
5 TYPICAL HANDRAIL WITH GLASS GUARD
SCALE: 1" = 1'-0"



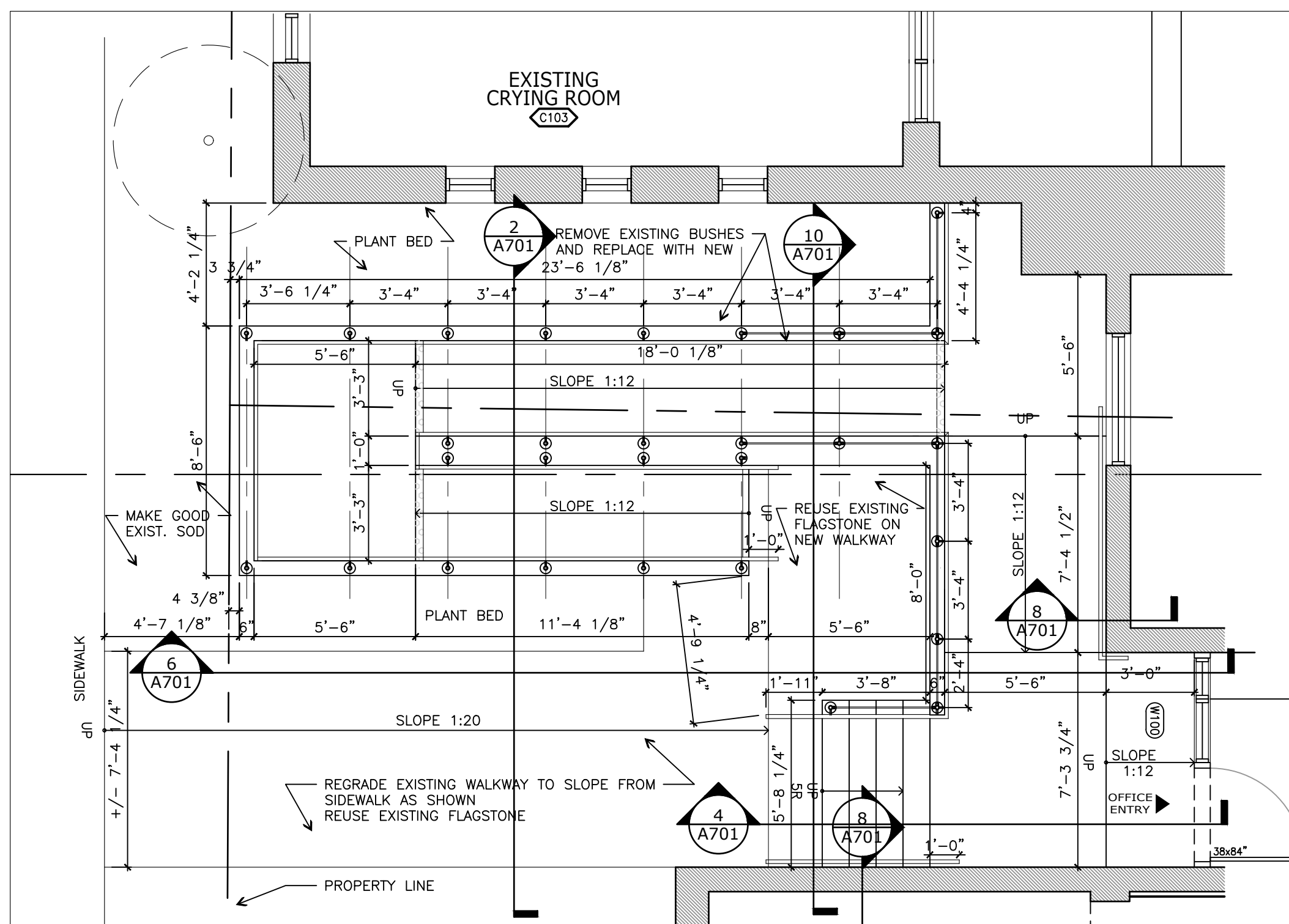
4 EXTERIOR STAIR SECTION
SCALE: 1/4" = 1'-0"



3 TYPICAL RAMP HANDRAIL DETAIL
SCALE: 1" = 1'-0"



2 EXTERIOR RAMP SECTION
SCALE: 1/4" = 1'-0"



1 EXTERIOR RAMP AND STAIR TO OFFICE PLAN
SCALE: 1/4" = 1'-0"

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ISSUANCES:

104 HERITAGE	6 APR 2021
103 PERMIT	17 MAR 2021
102 CURRY REVIEW	1 DEC 2020
101 COORDINATION	17 SEPT 2020

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LOCATION:

11 PETER STREET SOUTH MISSISSAUGA, ON. L5H 2G1

DATE:

SEPTEMBER 2020

DRAWN BY:

JA

CHECKED BY:

MEL

DRAWING NAME:

EXTERIOR RAMP AND STAIR DETAILS

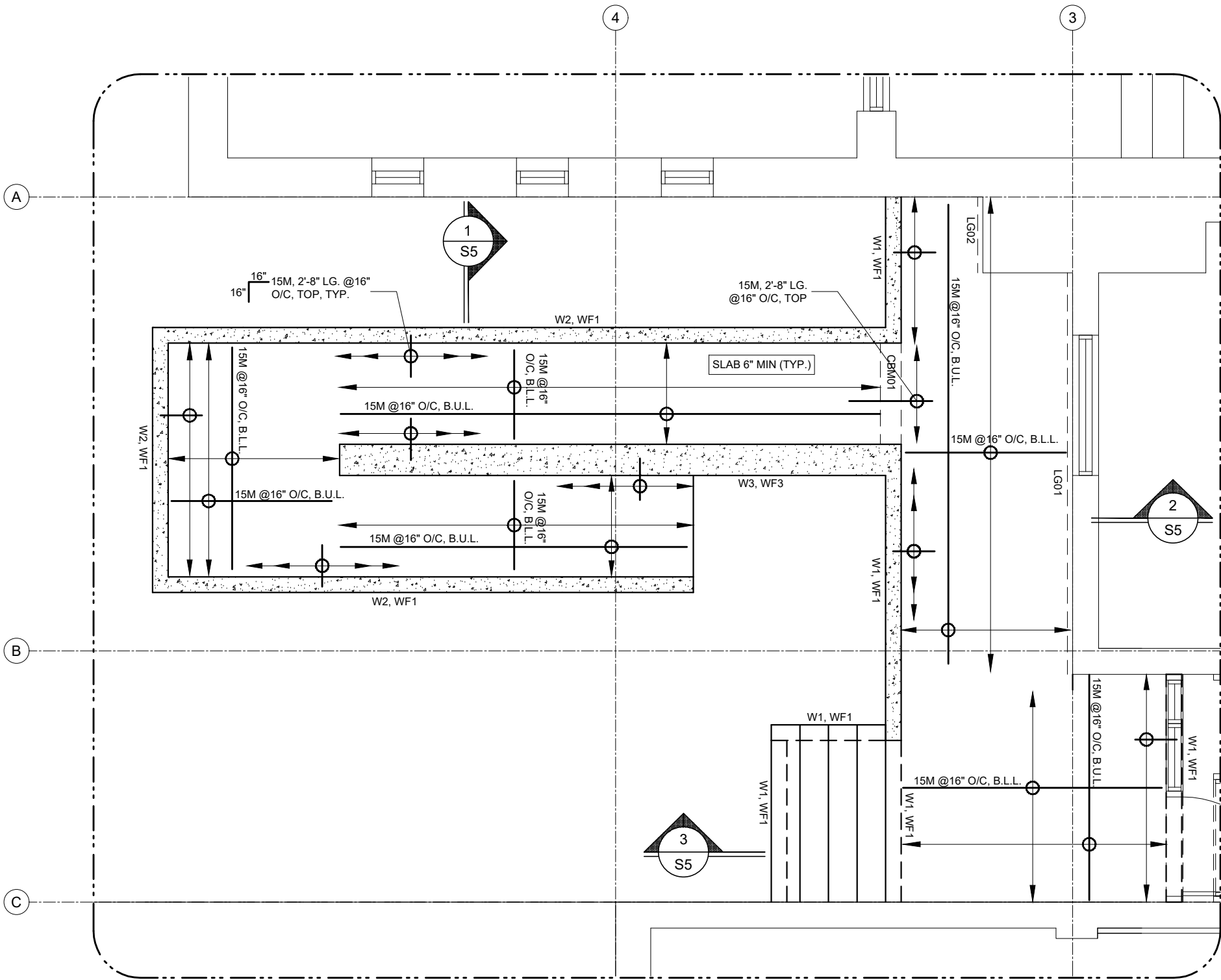
SCALE:

DRAWING #:

A701

PROJECT No:

2011



EXTERIOR RAMP AND STAIR PLAN
SCALE: 1/4"=1'-0"

FOUNDATION NOTES

1. ALL NEW FOOTINGS SHALL BE TAKEN DOWN TO UNDISTURBED SOIL CAPABLE OF SUSTAINING 2500 PSF (120 KPA), SERVICE
2. ALL EXTERIOR FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 1200 BELOW FINISHED GRADE.
3. UNDER THE FOUNDATION, PROVIDE A MINIMUM OF 127 DEEP GRANULAR SUB-GRADE MATERIAL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
4. THE MAXIMUM SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10, AND MAXIMUM STEP OF APPROXIMATELY 600. REFER TO ARCHITECTURAL DRAWING FOR STEPPED FOOTING LOCATIONS.
5. FOOTING AND FOUNDATION WALL CONCRETE, AND ALL CONCRETE EXPOSED TO WEATHER, SHALL HAVE 7% AIR ENTRAINMENT.
6. THE SOIL CONSULTANT'S APPROVAL MUST BE OBTAINED BEFORE PLACING OF CONCRETE FOR THE FOOTINGS.
7. REFER TO THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF THE CONCRETE RAMP, STAIR AND PLATFORM.

CONCRETE RAMP & STAIR LEGEND

- W1 - DENOTES NEW 8" CONC. WALL, REINF. W/ 15M V&H @16" O/C. SEE SECTION FOR REBAR LOCATIONS.
- W2 - DENOTES NEW 8" CONC. WALL W/ 6" CURB ABOVE RAMP, REINF. W/ 15M V&H @16" O/C. SEE SECTION FOR REBAR LOCATIONS.
- W3 - DENOTES NEW 12" CONC. WALL, REINF. W/ 15M V&H @16" O/C, E.F. SEE SECTION FOR REBAR LOCATIONS.
- WF1 - DENOTES NEW 1'-6"x8" DP. WALL FTG., REINF. W/2-15M LONG DIRECTION
- WF3 - DENOTES NEW 1'-10"x8" DP. WALL FTG., REINF. W/3-15M LONG DIRECTION
- CBM01 - DENOTES CONC. BEAM 8"W X 6" D, REINF. W/ 3-15M BOT. BEAM FLUSH WITH SLAB.
- LG01 - DENOTES L4"x4"x1/4" ATTACHED TO EXIST. MASON. WALL W/ 5/8" DIA. A325M THRU BOLTS @ 16" O/C, MAX., C/W BACK PL. 4"x4"x3/8".
- LG02 - DENOTES L4"x4"x1/4" ATTACHED TO EXIST. MASON. WALL W/ 5/8" DIA. X5" EMBED. HILTI HY-270 ANCHORS @12" O/C, MAX.

LEGEND

- B.U.L. - DENOTES BOTTOM UPPER LAYER
- B.L.L. - DENOTES BOTTOM LOWER LAYER
- V & H - DENOTES VERTICAL & HORIZONTAL
- E.F. - DENOTES EACH FACE
- I.F. - DENOTES INSIDE FACE
- E.W. - DENOTES EACH WAY
- LLV - DENOTES LONG LEG VERTICAL

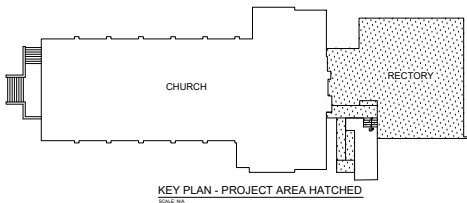
ADDITIONAL NOTES

SEE SHEETS S1 & S2

NOTE:

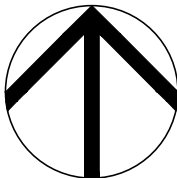
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0	ISSUED FOR PERMIT & TENDER	MARCH 16, 2021
No.	Revision	Date

North Arrow



Project Title
**ST. MARY STAR OF THE SEA PARISH
RECTORY RENOVATION**
11 PETER ST. S., MISSISSAUGA, ON L5H 2G1

Drawing Title
EXTERIOR RAMP AND STAIR PLAN

NORTHERN ENGINEERING DESIGN & FORENSICS
1129-20 Carlton St. Toronto ON M5B 2H5
TELEPHONE: (416)792-6613
Email: reachus@northernengineeringdesignandforensics.com

DESIGNED: N.M.	JOB NO: 010-FE-20
PAGE: S4 OF 5	DATE: OCT. 27, 2020

SCALE: **AS NOTED**



WINDOW SCHEDULE									
WINDOW#	LOCATION		CAT.	mat.	ROUGH OPENING SIZE			TYPE	NOTES
	Rm #	Room Name			Width	Height	Sill Ht.		
W101	R101	EX. PARISH OFFICE LOBBY	NE/CG	WD	VARIABLES	VARIABLES*	6"	A	NEW WINDOW SCREEN W/ DOOR AND TRANSOME WINDOW ABOVE IN EXISTING OPENING
W102	R102	EX. PARISH OFFICE 1	NE/F	VYL	45 1/4"	36 1/2"	43 1/2"	B	NEW FIXED WINDOW IN EXISTING OPENING- SEE ALTERNATE PRICE 1
W103	R107	EX. PARISH OFFICE LOUNGE	NE	WD	18 1/2"	72"	8"	C	NEW DOOR W/ SIDE LIGHT IN EXISTING OPENING
W104	R114	EXISTING LIVING ROOM	NE	WD	100 1/4"	74"	8"	D	NEW WINDOW W/ DOOR AND NEW POST IN EXISTING OPENING
W201	R205	EXISTING BEDROOM 1	NE/C	VYL	58"	63"	16"	F	NEW CASEMENT WINDOW IN EXISTING OPENING

*WINDOW HEIGHT SLOPES SEE WINDOW TYPE DETAILS

WINDOW LEGEND:

AP= ALTERNATE PRICE

N= NEW WINDOW IN NEW OPENING

NE= NEW WINDOW IN EXISTING OPENING

E = EXISTING STAINED GLASS TO BE RESTORED

C= CASEMENT

F= FIXED

FILM= CUSTOM PATTERN ON FILM APPLIED TO NEW WINDOWS

TG= TEMPERED GLASS

GENERAL NOTES:

1 VERIFY DIMENSIONS OF EXISTING WINDOWS ON SITE. VERIFY WALL AND MOUNTING CONDITIONS.

2 REPORT ANY DAMAGE TO WALLS TO CONSULTANT PRIOR TO ORDERING NEW WINDOWS.

3 SUPPLY AND INSTALL FILM PATTERN ON WINDOWS WHERE NOTED IN SCHEDULE.

4 REFER TO WINDOW TYPE DETAILS AND SPECIFICATIONS FOR MORE INFORMATION.

5 PROVIDE TEMPERED GLASS WHERE SHOWN ON ELEVATIONS.

6 SILL HEIGHTS ARE SHOWN FROM FINISHED FLOOR.

7 REFER TO INTERIOR ELEVATIONS FOR FINISH INFORMATION.

8 WOOD WINDOWS TO BE NORWOOD WINDOWS PREFINISHED W/FLEXACRON COATING STANDARD COLOUR

9 VINYL WINDOWS TO BE OSTACO

10 DISTRIBUTER CONTACT FOR NORWOOD & OSTACO WINDOWS JEFF CARINS OF RIDLEY, CELL 416-727-7673

11 REFER TO WINDOW AND DOOR COVERING SCHEDULE ON A1003

3 WINDOW SCHEUDLE

SCALE: N/A

DOOR SCHEDULE														
Door #	Location		Type	DR	FR	CAT.	Size (inch)			Finish ³	Fire Rating	Under Cut ¹	Lock ²	Notes
	Rm #	Room Name		Mat.	Mat.		Width	Height	Thick.					
RECTORY														
D001	R001	EXISTING MECHANICAL	F	HM	HM	N	36"	80"	1 3/4"	PT	Y		Y	45 MIN DOOR ASSEMBLY
D002	R003	EXISTING STORAGE	F	HM	HM	N	36"	80"	1 3/4"	PT	Y		CA	45 MIN DOOR ASSEMBLY
D003	R001	EXISTING MECHANICAL	E											EX. EXTERIOR DOOR- REPLACE HANDLE, DEAD BOLT TO REMAIN ²
D101	R101	EX. PARISH OFFICE LOBBY	A	WD2/G	WD	N	38"	84"	1 3/4"	PT			CA	EXTERIOR DOOR W/ PUSH BUTTON IN NEW CURTAIN WALL
D102	R102	EX. PARISH OFFICE 1	G	SC	WD	N	38"	84"	1 3/4"	PT			Y	NEW DOOR IN EXSITNG WALL. MAKE GOOD WALL AS REQUIRED
D103	R102	EX. PARISH OFFICE 1	G	SC	EX.WC	NE	28"	80"	1 1/2"	PT				EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR ²
D104	R104	EXISTING STAIR TO CHURCH	F	HM	HM	NE	32"	80"	1 3/4"	PT	Y		Y	45 MIN DOOR ASSEMBLY INEXISTNG OPENING
D105	R103	EX. PARISH OFFICE 2	G	WD	WD	N	38"	84"	1 3/4"	PT			Y	NEW DOOR IN EXSITNG WALL. MAKE GOOD WALL AS REQUIRED
D106	R106	BARRIER FREE W/C	G	WD	WD	N	38"	84"	1 3/4"	PT		Y	Y	DOOR W/ BARRIER FREE PUSH BUTTON AND PUSH TO LOCK BUTTON
D107	R107	EX. PARISH OFFICE LOUNGE	C	WD2/G	WD	NE	38"	80"	1 3/4"	PT			Y	EXTERIOR DOOR WITH SIDELIGHT IN EXISTING OPENING
D108	R108	EX. PARISH OFFICE 3	G	SC	EX.WC	NE	32"	80"	1 1/2"	PT				EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR ²
D109	R107	EX. PARISH OFFICE LOUNGE	F	HM	HM	N	36"	80"	1 3/4"	PT	Y		Y	45 MIN DOOR ASSEMBLY
D110	R109	WC	G	WD	WD	N	34"	80"	1 1/2"	PT		Y	Y	
D111	R112	EXISTING BREAKFAST RM	H	F	WD	NE	36"	83"	1 3/4"	PT			Y	EXTERIOR DOOR IN EXISTING OPENING
D112	R112	EXISTING BREAKFAST RM	B	WD2/G	WD	NE	95"	80"	1 1/2"	PT			Y	REPLACE EXISTNG SLIDING DOOR WITH NEW
D113	R113	EXISTING DINING	E											EXISTING DOUBLE DOORS - REPLACE CASING
D114	R114	EXISTING LIVING	D	WD1/G	WD	NE	36"	80"	1 3/4"	PT			Y	EXTERIOR DOOR WITH ADJACENT WINDOW IN EXISTING OPENING
D115	R114	EXISTING LIVING	J	WD2/G	WD	N	38"	80"	1 3/4"	PT			CA	NEW EXTERIOR DOOR IN NEW OPENING IN AN EXISTING WALL
D116	R116	EXISTING STAIR	G	SC	EX.WC	NE	32"	80"	1 1/2"	PT				EXISTING DOOR FRAME TO REMAIN, REPLACE DOOR ²
D117	R117	EXISTING GARAGE	E										Y	EX. DOOR TO GARAGE- REPLACE HANDLE & WEATHERSTRIPPING
D201	R202	LINEN CLOSET	G	SC	EX.WC	NE	32"	80"	1 1/2"	PT				EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR ²
D202	R203	CORRIDOR	G	WD	WD	N	32"	80"	1 1/2"	PT			Y	WIDEN EXISTING OPENING FOR NEW DOOR
D203	R204	EXISTING STUDY 1	L	WD2/G	WD	N	147"	80"	1 1/2"	PT			Y	SLIDING EXTERIOR DOOR IN EXISTING OPENING
D204	R205	EXISTING BEDROOM 1	G	WD	WD	N	36"	80"	1 1/2"	PT				
D205	R205	EXISTING BEDROOM 1	K	WD	WD	N	48"	80"	1 1/2"	PT				DOUBLE DOORS TO CLOSET
D206	R205	EXISTING BEDROOM 1	K	WD	WD	N	48"	80"	1 1/2"	PT				DOUBLE DOORS TO CLOSET
D207	R206	EXISTING BATHROOM 1	G	SC	EX.WC	NE	32"	80"	1 1/2"	PT		Y	Y	EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR ²
D208	R208	BATHROOM 3	G	WD	WD	N	32"	80"	1 1/2"	PT		Y	Y	
D209	R209	LAUNDRY	G	WD	WD	N	36"	80"	1 1/2"	PT				
D210	R210	EXISTING ATTIC	E											EXISTING DOOR TO REMAIN, REPLACE HANDLE ²
D211	R211	EX. BEDROOM 3/ GUEST	G	SC	EX.WC	NE	32"	80"	1 1/2"	PT				EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR ²
D212	R211	EX. BEDROOM 3/ GUEST	E											EXISTING DOOR TO REMAIN, REPLACE HANDLE ²
D213	R212	EXISTING BEDROOM 2	E											EXISTING DOOR TO REMAIN, REPLACE HANDLE ²
D214	R213	BATHROOM 2	G	WD	WD	NE	32"	80"	1 1/2"	PT		Y	Y	NEW DOOR IN EXISTING OPENING, RPLACE CASING
D215	R114	EXISTING STUDY	G	WD	WD	N	34"	80"	1 1/2"	PT				NEW DOOR IN EXISTING WALL
D216	R114	EXISTING STUDY	G	SC	EX.WC	NE	32"	80"	1 1/2"	PT				EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR ²
D217	R115	CHAPEL	G	SC	EX.WC	NE	32"	80"	1 1/2"	PT				EXISTING DOOR FRAME TO REMAIN, PAINT, REPLACE DOOR ²
CHURCH														
DC01	C001	EXISTING SE STAIR										Y		EXISTING DOOR TO REMAIN. REPLACE WEATHERSTRIPPING **
DC02	C006	EXISTING SW STAIR									MS	Y		EXISTING DOOR TO REMAIN. REPLACE WEATHERSTRIPPING **

¹REFER TO MECHANICAL FOR UNDER CUT REQUIREMENTS

³PAINT BOTH SIDES OF DOOR TO MATCH TRIM COLOUR

²REFER TO DOOR HARDWARE SCHEDULE

⁴EXISTING FRAME TO BE RESUED WERE INDICATED

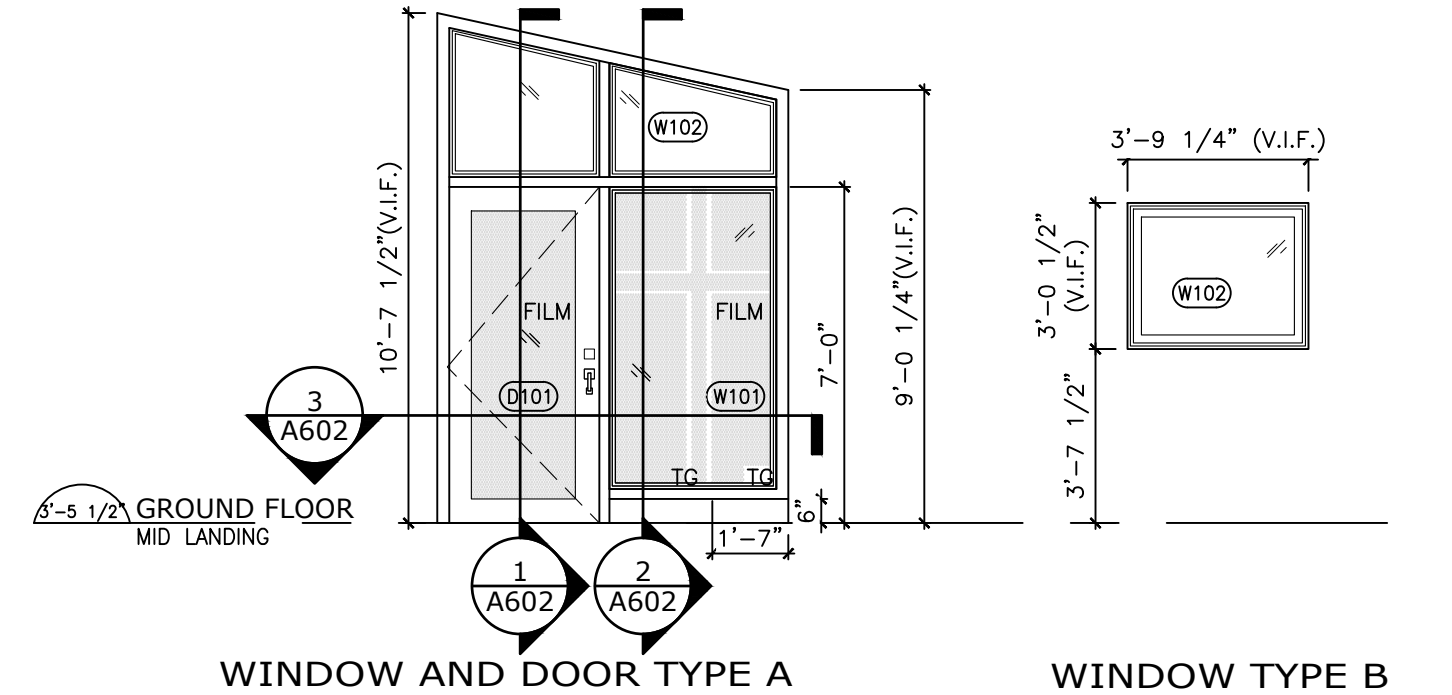
LEGEND:

GENERAL NOTES FOR DOOR SCHEDULE:

E= EXISTING DOOR AND FRAME TO REMAIN	1.	VERIFY ALL DIMENSIONS ON SITE.
N= NEW DOOR AND FRAME IN NEW OPENING	2.	WHERE NEW DOORS AND FRAMES ARE PROPOSED IN EXISTING ROUGH OPENINGS, CONTRACTOR TO VERIFY ROUGH OPENING SIZE ON SITE AND PROPOSED DOOR AND FRAME SIZE. CONTRACTOR TO REPORT AND DISCREPENCIES TO THE CONSULTANT PRIOR TO ORDERING NEW
NE= NEW DOOR AND FRAME IN EXISTING OPENING ⁴		DOOR OPENINGS ARE TO BE LOCATED MINIMUM OF 4" FROM ADJACENT WALLS UNLESS OTHERWISE NOTED
	3.	REFER TO WINDOW SCHEDULE FOR DOORS IN WINDOW SCREENS.
AL= ALUMINUM	4.	REFER TO HARDWARE SCHEDULE
F= EXTERIOR FIBERGLASS DOOR	5.	SUPPLY AND INSTALL FILM TO DOORS WHERE NOTED ON DOOR TYPE.
G= GLASS	6.	UNDER CUT TO BE 3/4" ON DOORS WHERE UNDER CUT IS INDICATED IN DOOR SCHEDULE. REFER TO MECHANICAL
HM= HOLLOW METAL	7.	CARD ACCESS TO BE PROVIDED WHERE INDICATED
SC= SOLID CORE WOOD PANELLED DOOR	8.	WOOD DOOR D115 (WD1) TO BE ROYAL DOOR STYLE #86 IN SOLID OAK WITH ONE THERMAL FROSTED FLAT GLASS
SCG= SOLID CORE WOOD PANELLED DOOR W/ GLAZED LITE	4.	WOOD DOORS (WD2) TO BE NORWOOD WINDOWS PREFINISHED W/FLEXACRON COATING STANDARD COLOUR
SCE= EXTERIOR SOLID CORE WOOD PANELLED DOOR	5.	FIBERGLASS DOORS TO HAVE VINYL CLAD FRAME AND TO BE FROM OSTACO WINDOWS AND DOORS
ST= STAIN FINISH	6.	DISTRIBUTER CONTACT FOR NORWOOD AND OSTACO DOORS JEFF CARINS OF RIDLEY, CELL 416-727-7673
PT= PAINT FINISH	7.	REFER TO WINDOW AND DOOR COVERING SCHEDULE ON A1003
WD= WOOD	8.	
ANO=ANODIZED ALUMINUM		
CA= CARD ACCESS		

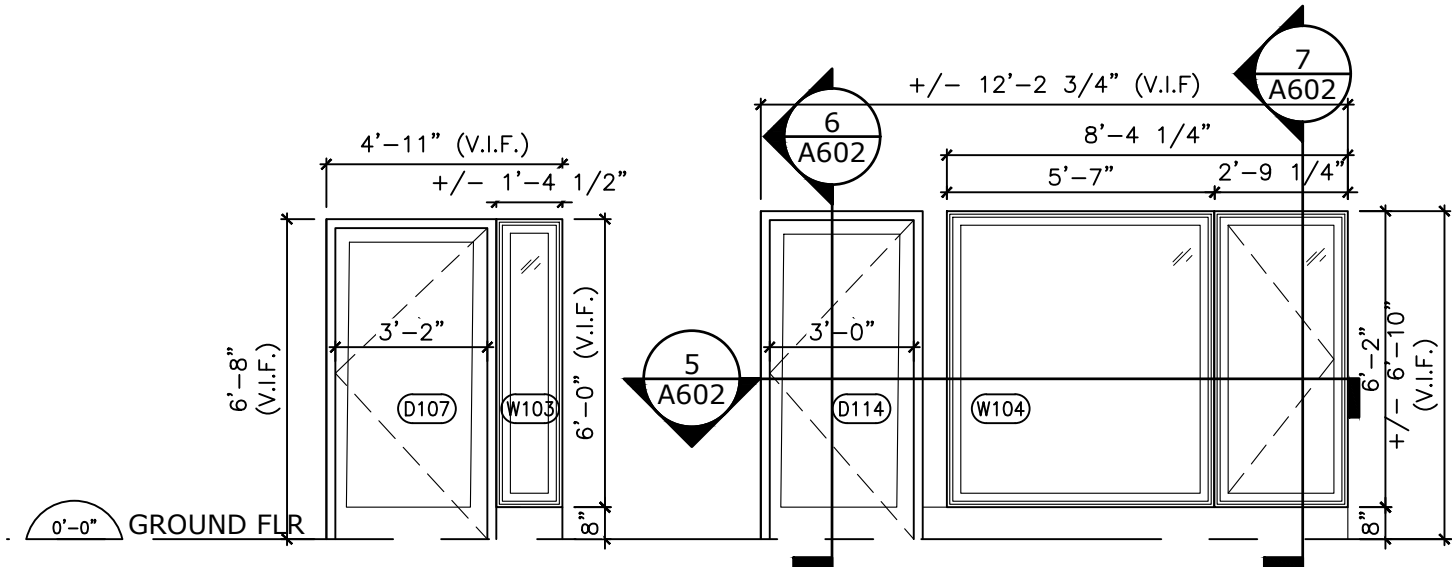
2 DOOR SCHEDULE

SCALE: N/A



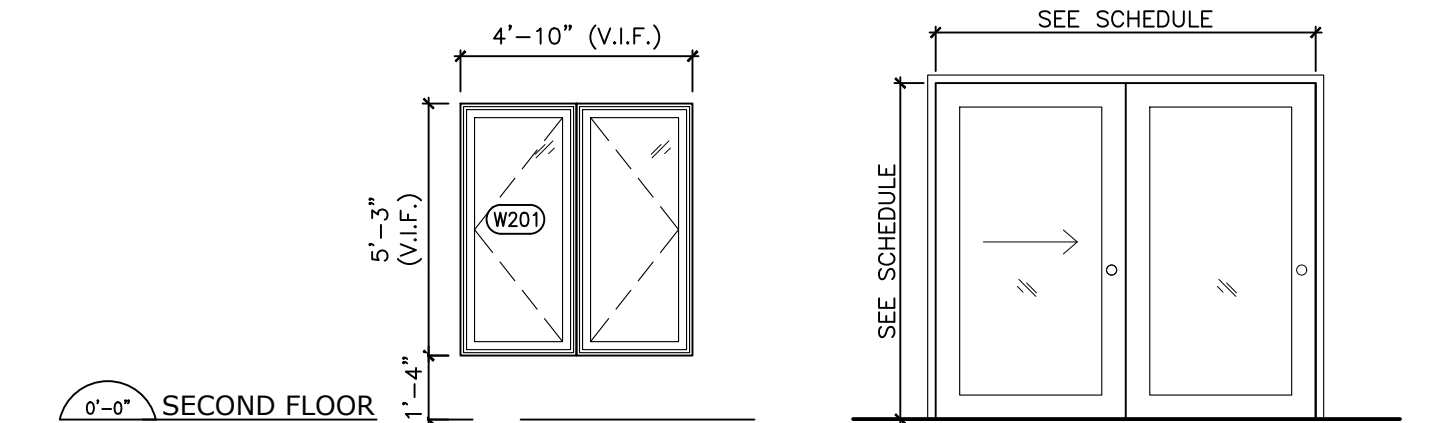
WINDOW AND DOOR TYPE A

WINDOW TYPE B



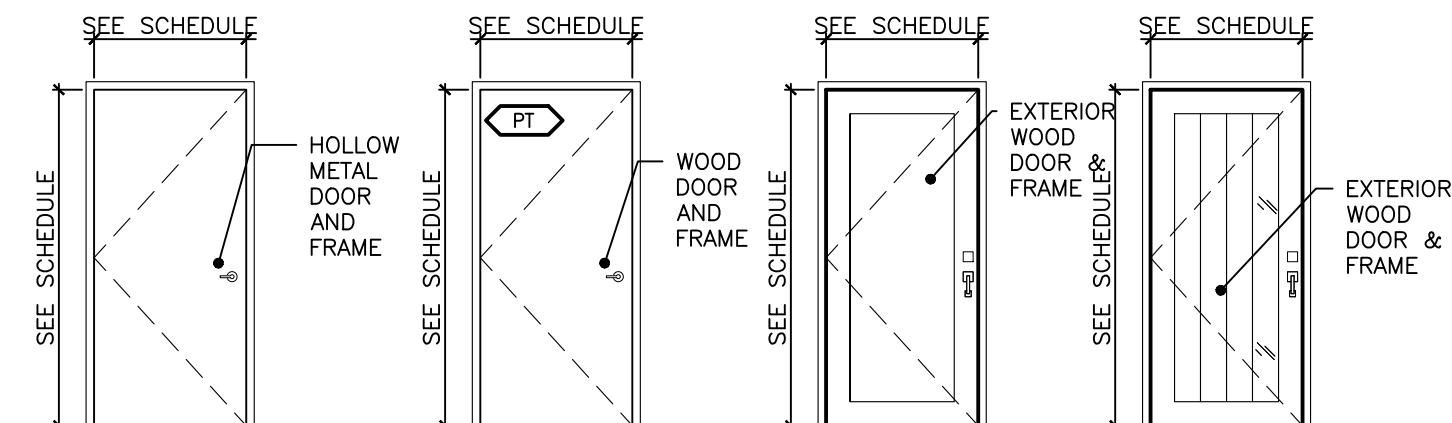
WINDOW & DOOR TYPE C

WINDOW & DOOR TYPE D



WINDOW TYPE F

DOOR TYPE B

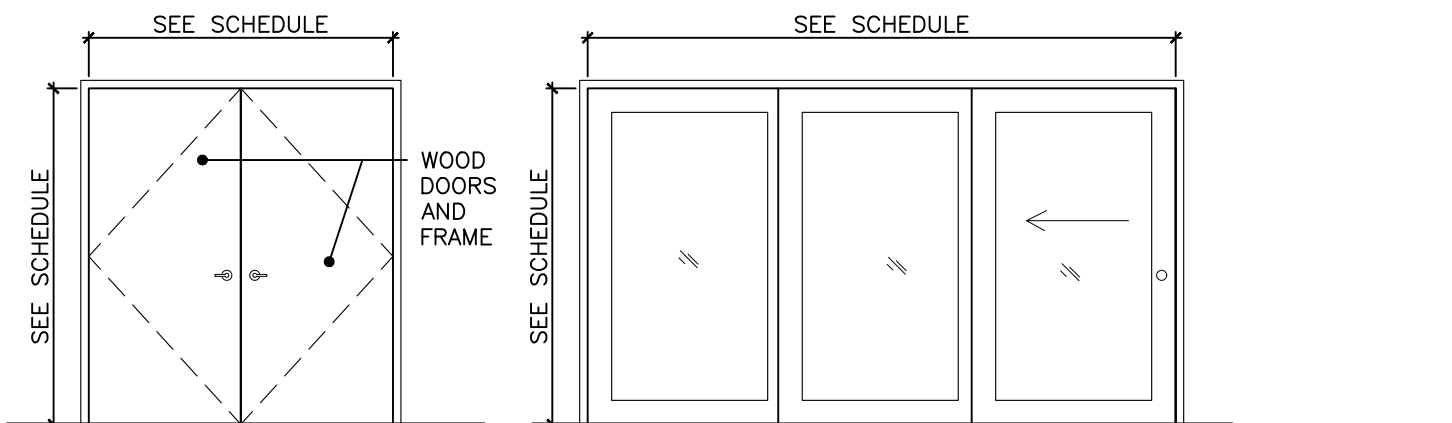


DOOR TYPE F

DOOR TYPE G

DOOR TYPE H

DOOR TYPE J

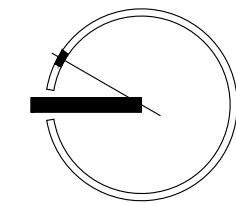


DOOR TYPE K

DOOR TYPE L

1 DOOR AND WINDOW TYPES

SCALE: 1/4" = 1'-0"



CONTRACTORS MUST VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCY MUST BE REPORTED TO LYNCH + COMISSO INC. PRIOR TO CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY THE ARCHITECT.

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DO NOT SCALE DRAWINGS. 01-COORDINATION 17 SEP 2020.

ISSUANCES:

10% TENDER	15 APR 2021
90% PERMIT	16 MAR 2021

CLIENT:

ST MARY STAR OF THE SEA PARISH

PROJECT NAME:

RECTORY RENOVATION

LOCATION:

11 PETER STREET SOUTH

MISSISSAUGA, ON, L5H 2G1

DATE:

SEPTEMBER 2020

DRAWN BY:

JA

DRAWING NAME:

DOOR AND WINDOW SCHEDULES

SCALE:

DRAWING #:

A1001

PROJECT No:

2011