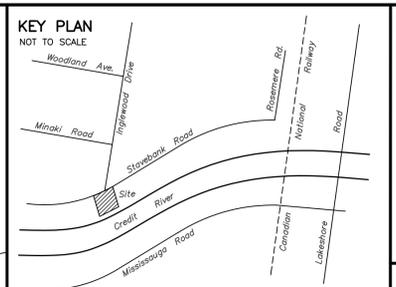


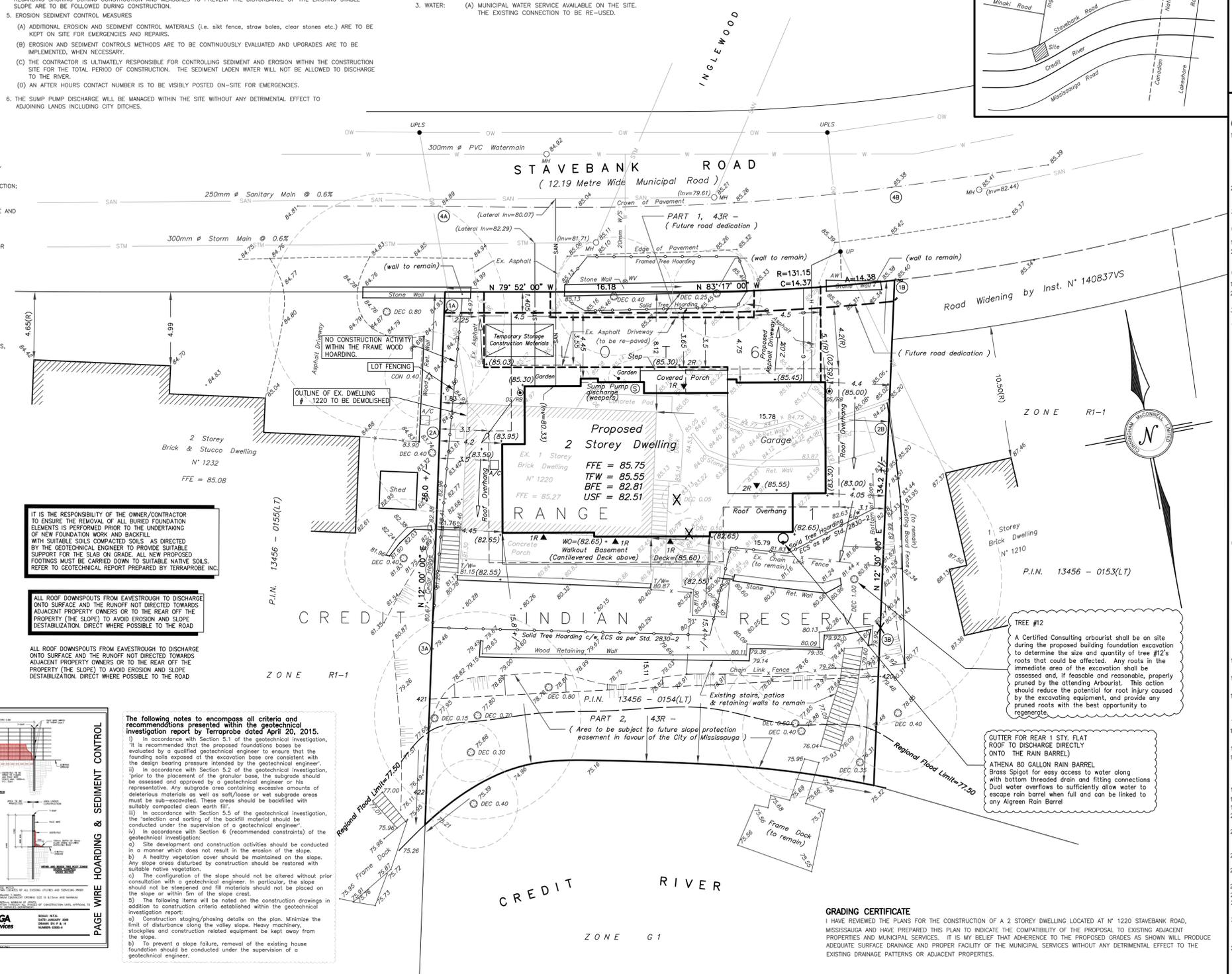
TREE PROTECTION NOTE
1. ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT...

DRAINAGE DESIGN/CONSTRUCTION NOTE
1. PROPOSED GRADES AND DRAINAGE PATTERNS SHALL NOT HAVE NEGATIVE IMPACT ON THE ADJOINING PROPERTIES.
2. ALL DRAINAGE TO BE SELF CONTAINED.

UTILITIES CONNECTION:
1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE. THE EXISTING CONNECTION TO BE RE-USED.
2. STORM: (A) MUNICIPAL STORM SEWER AVAILABLE ON THE SITE. (B) WEeping TILES TO BE CONNECTED TO SLUMP PUMP AND DISCHARGED AT GRADE WITH SPLASHPAD.



COMMUNITY SERVICES NOTES TO CONTRACTORS
A. NO GRADING, STRUCTURES, RETAINING WALLS CONSTRUCTION OR SITE/CONSTRUCTION ACCESS ARE PERMITTED ON OR FROM THE ADJACENT MUNICIPAL GREENBELT.
B. THE PLACEMENT OF UNAPPROVED MATERIALS OR STRUCTURES WITHIN THE GREENBELT BUFFER IS NOT PERMITTED BY COMMUNITY SERVICES AT ANY STAGE OF DEVELOPMENT...

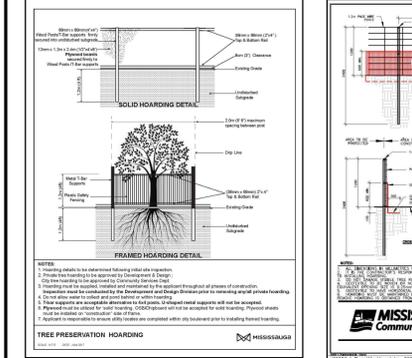


AVERAGE GRADE (ZONING BY-LAW N 225-2007)
FINISHED FIRST FLOOR ELEVATION = 85.60
GRADE ELEVATION 1A = 84.93
GRADE ELEVATION 1B = 85.40
GRADE ELEVATION 2A = 84.12
GRADE ELEVATION 2B = 84.22
GRADE ELEVATION 3A = 79.46
GRADE ELEVATION 3B = 79.92
GRADE ELEVATION 4A = 84.89
GRADE ELEVATION 4B = 85.38

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO ENSURE THE REMOVAL OF ALL BURIED FOUNDATION ELEMENTS IS PERFORMED PRIOR TO THE UNDERTAKING OF NEW FOUNDATION WORK AND BACKFILL WITH SUITABLE SOILS COMPACTED SOILS AS DIRECTED BY THE GEOTECHNICAL ENGINEER TO PROVIDE SUITABLE SUPPORT FOR THE SLAB ON GRADE...

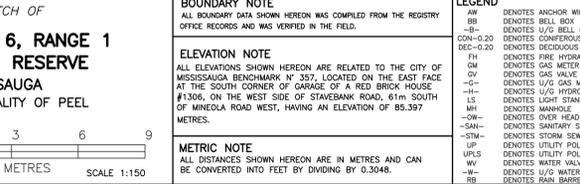
WEIGHTED AVERAGE GRADE (PROPOSED DWELLING) = 83.85
SUM OF GRADE ELEVATIONS = 668.32
DIVIDE BY 8 = 83.54

ALL ROOF DOWNSPUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF NOT DIRECTED TOWARDS ADJACENT PROPERTY OWNERS OR TO THE REAR OFF THE PROPERTY (THE SLOPE) TO AVOID EROSION AND SLOPE DESTABILIZATION, DIRECT WHERE POSSIBLE TO THE ROAD



DESIGN LEGEND
DENOTES PROPOSED GRADE
DENOTES EXISTING GRADE
DENOTES DOOR ENTRANCE
DENOTES DRAINAGE DIRECTION
DENOTES PROPOSED WATER METER
DENOTES PROPOSED SUMP PIT
DENOTES PROPOSED SOLID TREE HOARDING
DENOTES PROPOSED FRAMED TREE HOARDING
DENOTES ROOF LEADER AND ITS DIRECTION

BOUNDARY NOTE
ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.
ELEVATION NOTE
ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE CITY OF MISSISSAUGA BENCHMARK N° 387, LOCATED ON THE EAST FACE AT THE SOUTH CORNER OF GARAGE OF A RED BRICK HOUSE #1306...



GRADING CERTIFICATE
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A 2 STOREY DWELLING LOCATED AT N° 1220 STAVEBANK ROAD, MISSISSAUGA AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES...

LEGEND
DENOTES ANCHOR WIRE(S)
DENOTES BELL BOX
DENOTES 1/2" BELL CABLE
DENOTES CONFEROUS TREE 0.20 DIA
DENOTES DECIDUOUS TREE 0.20 DIA
DENOTES FIRE HYDRANT
DENOTES GAS METER
DENOTES GAS VALVE
DENOTES 1/2" GAS MAIN
DENOTES HYDRO CABLE
DENOTES LIGHT STANDARD (LAMP)
DENOTES MANHOLE
DENOTES OVER HEAD WIRE(S)
DENOTES SANITARY SEWER
DENOTES STORM SEWER
DENOTES UTILITY POLE/LIGHT STANDARD
DENOTES WATER VALVE (KEY)
DENOTES 1/2" WATER MAIN
DENOTES RAIN BARREL

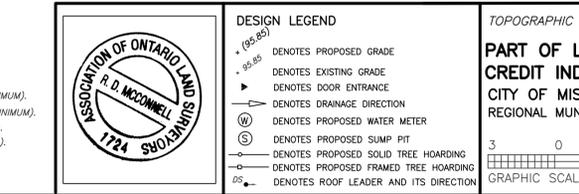
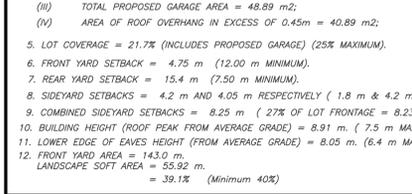
STANDARD SITE PLAN DEVELOPMENT NOTES

- (A) DEVELOPMENT DIVISION, PLANNING AND DEVELOPMENT DEPARTMENT
1. I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE PLAN DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE N° SPI 18/063 W1.
2. THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION, PLANNING AND BUILDING DEPARTMENT AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA.
3. ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.
(B) DESIGN DIVISION, PLANNING AND BUILDING DEPARTMENT
1. GRADES TO BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
2. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 M IN HEIGHT OR ANY RETAINING WALL LOCATED ON THE PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
(C) TRANSPORTATION AND WORKS DEPARTMENT
1. DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
2. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
3. ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR MUNICIPAL SIDEWALK.
(D) OWNER'S CERTIFICATE:
16. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE A CAUSE FOR THE TREE PRESERVATION LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING DEPARTMENT STAFF TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
17. THE UNDERSIGNED PROPERTY OWNER HEREBY ACKNOWLEDGES AND AGREES THAT THEY ARE RESPONSIBLE FOR BOTH THE INSTALLATION AND MAINTENANCE OF WORKS AS SHOWN ON THE STAMPED APPROVED SITE PLAN AND ASSOCIATED DRAWINGS, IN THE FORM, MANNER AND LOCATION AS SET OUT ON SAID DRAWINGS, WITHOUT ANY CHANGE OR ADDITION. ANY CHANGES TO THE PLANS, INCLUDING NEW DEVELOPMENT OR REDEVELOPMENT ON THE PROPERTY, ARE SUBJECT TO A NEW SITE PLAN APPLICATION AND APPROVAL PROCESS.
IN ACCORDANCE WITH THE PROVISIONS OF SITE PLAN CONTROL BY-LAW 0293-2006 (AS AMENDED), THE CITY OF MISSISSAUGA MAY RECOVER ANY COSTS INCURRED, INCLUDING INTEREST AND ADMINISTRATION EXPENSES, TO PROVIDE, MAINTAIN OR COMPLETE SITE WORKS, IF THE PROPERTY OWNER FAILED TO DO SO, BY DRAWING UPON SECURITIES PROVIDED WITH THE APPROVAL OF THE APPLICATION. IF THERE ARE NO SECURITIES HELD BY THE CITY ARE NOT SUFFICIENT TO COVER THE COSTS INCURRED, THEN THE COSTS INCURRED BY THE CITY WHICH CANNOT BE REIMBURSED OR RECOVERED BY SECURITIES WILL BE ADDED TO THE TAX ROLL OF THE PROPERTY AND WILL BE COLLECTED IN THE SAME MANNER AS TAXES.
DATE: 2019 ERIN LIA WATZINGER

DESIGN DATA - ZONE R1-1

- 1. LOT AREA = 991.1 +/- Sq. Metres (750 Sq. Metres MINIMUM)
2. LOT FRONTAGE (LOT WIDTH) = 30.48 m @ 7.5 m (22.5 m MINIMUM)
3. PROPOSED BUILDING GROSS FLOOR AREA = 348.58 Sq. Metres
4. BUILDING AREAS AT GROUND LEVEL:
(i) GRAND TOTAL (INCLUDES GARAGE) = 215.40 m2
(ii) TOTAL FRONT PORCH AREA = 8.85 m2
(iii) TOTAL PROPOSED GARAGE AREA = 48.89 m2;
(iv) AREA OF ROOF OVERHANG IN EXCESS OF 0.45m = 40.89 m2;
5. LOT COVERAGE = 21.7% (INCLUDES PROPOSED GARAGE) (25% MAXIMUM).
6. FRONT YARD SETBACK = 4.75 m (12.00 m MINIMUM).
7. REAR YARD SETBACK = 15.4 m (7.50 m MINIMUM).
8. SIDEYARD SETBACKS = 4.2 m AND 4.05 m RESPECTIVELY (1.8 m & 4.2 m MINIMUM).
9. COMBINED SIDEYARD SETBACKS = 8.25 m (27% OF LOT FRONTAGE = 8.23 m MINIMUM).
10. BUILDING HEIGHT (ROOF PEAK FROM AVERAGE GRADE) = 8.91 m. (7.5 m MAXIMUM).
11. LOWER EDGE OF EAVES HEIGHT (FROM AVERAGE GRADE) = 8.05 m. (6.4 m MAXIMUM).
12. FRONT YARD AREA = 143.0 m2
LANDSCAPE SOFT AREA = 55.92 m2
= 39.1% (Minimum 40%)

THE GEOTECHNICAL ENGINEER IS TO CONFORM TO THE DETAILS SPECIFIED WITHIN THE SITE PLAN ARE IN ACCORDANCE WITH DESIGN CRITERIA/RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL INVESTIGATION REPORT BY TERRAPROBE DATE APRIL 20, 2015.



BOUNDARY NOTE
ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.
ELEVATION NOTE
ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE CITY OF MISSISSAUGA BENCHMARK N° 387, LOCATED ON THE EAST FACE AT THE SOUTH CORNER OF GARAGE OF A RED BRICK HOUSE #1306, ON THE WEST SIDE OF STAVEBANK ROAD, 61m SOUTH OF MINNEOLA ROAD WEST, HAVING AN ELEVATION OF 85.397 METRES.
METRIC NOTE
ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

LEGEND
DENOTES ANCHOR WIRE(S)
DENOTES BELL BOX
DENOTES 1/2" BELL CABLE
DENOTES CONFEROUS TREE 0.20 DIA
DENOTES DECIDUOUS TREE 0.20 DIA
DENOTES FIRE HYDRANT
DENOTES GAS METER
DENOTES GAS VALVE
DENOTES 1/2" GAS MAIN
DENOTES HYDRO CABLE
DENOTES LIGHT STANDARD (LAMP)
DENOTES MANHOLE
DENOTES OVER HEAD WIRE(S)
DENOTES SANITARY SEWER
DENOTES STORM SEWER
DENOTES UTILITY POLE/LIGHT STANDARD
DENOTES WATER VALVE (KEY)
DENOTES 1/2" WATER MAIN
DENOTES RAIN BARREL

PROJECT CONTACT DATA
1. APPLICANT'S NAME: STANEMILL DESIGN / BUILD
2. OWNER'S NAME: ERIN LIA WATZINGER
3. ADDRESS: 1220 STAVEBANK ROAD, MISSISSAUGA, ONT
4. PHONE NUMBER:
5. AGENT: CONTEMPOSTUDIO
6. ADDRESS: 14 ARNOLD AVENUE, TORONTO, ONTARIO, MEN 4M9
7. PHONE: 416-836-1042,
CUNNINGHAM MCCONNELL LIMITED
1200 SPEERS ROAD, UNIT 38, MILTON, ONTARIO L7T 2X4
PHONE (905) 845-3497
FAX (905) 845-3519
CLIENT: WATZINGER c/o CONTEMPOSTUDIO
O.L.S. FILE N° 18-14
PLAN N° 18-14-1
DATE: SEPT. 22, 2021
CVC FILE N° FF 15/139
APPLICATION N° SPI 18/063 W1