

TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEFORE THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT.
- NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE FENCING. NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
- THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED.
- WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE.
- WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION.
- WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE THE APPEARANCE OF THE TREES.
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE CITY OF MISSISSAUGA.
- HOARDING MUST BE INSPECTED PRIOR TO THE REMOVAL OF ANY TREE PROTECTION HOARDING FROM THE SITE.
- (A) THE TREE PROTECTION MEASURES RECOMMENDED IN THE ARBORIST REPORT PREPARED BY WELVYN CONSULTING DATED OCTOBER 15, 2015 ARE TO BE FOLLOWED.
- (B) THE CONSULTING ARBORIST IS TO BE INVOLVED AT THE FOLLOWING STAGES OF CONSTRUCTION:
 - UPON INSTALLATION OF PROTECTIVE HOARDING;
 - DURING REMOVAL OF TREES;
 - PERIODICALLY DURING CONSTRUCTION TO ENSURE THAT HOARDING REMAINS IN PLACE AND NO DAMAGE OCCURS TO TREES TO BE PRESERVE;
 - UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- NO OPENING TRENCHING WILL BE PERMITTED WITHIN THE TREE PRESERVATION AREA.
- SUBJECT TO THE MIGRATORY BIRDS CONVENTION ACT, ANY POTENTIALLY DESTRUCTIVE OR OR DISRUPTIVE ACTIVITY SUCH AS VEGETATION CLEARING SHOULD BE AVOIDED BETWEEN APRIL AND AUGUST.

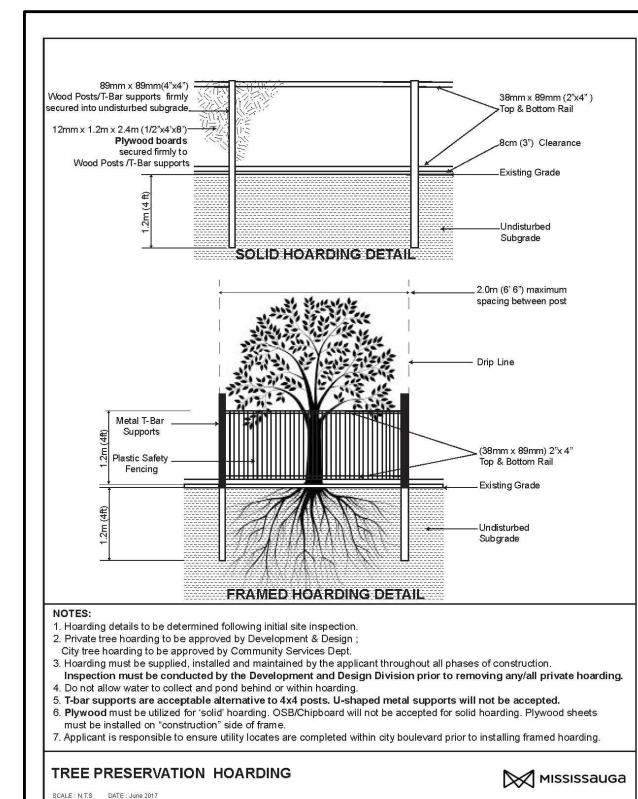
COMMUNITY SERVICES NOTES TO CONTRACTORS

- NO GRADING, STRUCTURES, RETAINING WALLS CONSTRUCTION OR SITE/CONSTRUCTION ACCESS ARE PERMITTED ON OR FROM THE ADJACENT MUNICIPAL GREENBELT.
- THE PLACEMENT OF UNAPPROVED MATERIALS OR STRUCTURES WITHIN THE GREENBELT BUFFER IS NOT PERMITTED BY COMMUNITY SERVICES AT ANY STAGE OF DEVELOPMENT. THIS INCLUDES, BUT IS NOT LIMITED TO, TOPSOIL, STOCKPILING, CONSTRUCTION TRAILERS, AND VEHICLES, CONSTRUCTION MATERIALS, AND DEBRIS, SALES/PROMOTIONAL TRAILERS AND SIGNAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PARK AND TREE PRESERVATION HOARDING IN AN APPROVED AND FUNCTIONING CONDITION AS REQUIRED BY THE PLANNING AND BUILDING AND THE COMMUNITY SERVICES DEPARTMENTS THROUGH ALL PHASES OF CONSTRUCTION.
- UPON WRITTEN NOTICE BY THE COMMUNITY SERVICES DEPARTMENT THE CONTRACTOR SHALL REMOVE, WITHIN 14 DAYS ANY CONSTRUCTION RELATED DEBRIS OR LITTER THAT HAS MIGRATED OR HAS THE POTENTIAL TO MIGRATE INTO THE ADJACENT GREENBELT/ GREENBELT BUFFER. SHOULD THE CONTRACTOR / APPLICANT FAIL TO DO SO, ARRANGEMENTS WILL BE MADE TO DRAW ON THE SUBMITTED PARK PROTECTION AND REINSTATEMENT SECURITIES TO FUND THE GREENBELT CLEANUP ACTIVITIES.
- IT IS THE RESPONSIBILITY OF THE APPLICANT TO ARRANGE FOR COMMUNITY SERVICES, PLANNING AND HERITAGE SECTION INSPECTIONS AND APPROVALS AS REQUIRED.
- CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.

AVERAGE GRADE (ZONING BY-LAW N° 225-2007)

FINISHED FIRST FLOOR ELEVATION =	85.60
GRADE ELEVATION 1A =	84.93
GRADE ELEVATION 1B =	85.40
GRADE ELEVATION 2A =	84.12
GRADE ELEVATION 2B =	84.22
GRADE ELEVATION 3A =	79.46
GRADE ELEVATION 3B =	79.92
GRADE ELEVATION 4A =	84.89
GRADE ELEVATION 4B =	85.38
SUM OF GRADE ELEVATIONS =	668.32
DIVIDE BY 8 =	83.54
AVERAGE GRADE =	83.54

WEIGHTED AVERAGE GRADE (● PROPOSED DWELLING) = 83.85



DESIGN DATA - ZONE R1-1

N° 1220 STAVEBANK ROAD, MISSISSAUGA, ONTARIO

- LOT AREA = 991.1 +/- Sq. Metres (750 Sq. Metres MINIMUM).
- LOT FRONTAGE (LOT WIDTH) = 30.48 m @ 7.5 m (22.5 m MINIMUM).
- PROPOSED BUILDING GROSS FLOOR AREA = 348.58 Sq. Metres
- BUILDING AREAS AT GROUND LEVEL:
 - GRAND TOTAL (INCLUDES GARAGE) = 215.40 m²
 - TOTAL FRONT PORCH AREA = 8.85 m²
 - TOTAL PROPOSED GARAGE AREA = 48.89 m²;
 - AREA OF ROOF OVERHANG IN EXCESS OF 0.45m = 40.89 m²;
- LOT COVERAGE = 21.7% (INCLUDES PROPOSED GARAGE) (25% MAXIMUM).
- FRONT YARD SETBACK = 4.75 m (12.00 m MINIMUM).
- REAR YARD SETBACK = 15.4 m (7.50 m MINIMUM).
- SIDEYARD SETBACKS = 4.2 m AND 4.05 m RESPECTIVELY (1.8 m & 4.2 m MINIMUM).
- COMBINED SIDEYARD SETBACKS = 8.25 m (27% OF LOT FRONTAGE = 8.23 m MINIMUM).
- BUILDING HEIGHT (ROOF PEAK FROM AVERAGE GRADE) = 8.91 m. (7.5 m MAXIMUM).
- LOWER EDGE OF EAVES HEIGHT (FROM AVERAGE GRADE) = 8.05 m. (6.4 m MAXIMUM).
- FRONT YARD AREA = 143.0 m²
- LANDSCAPE SOFT AREA = 55.92 m²

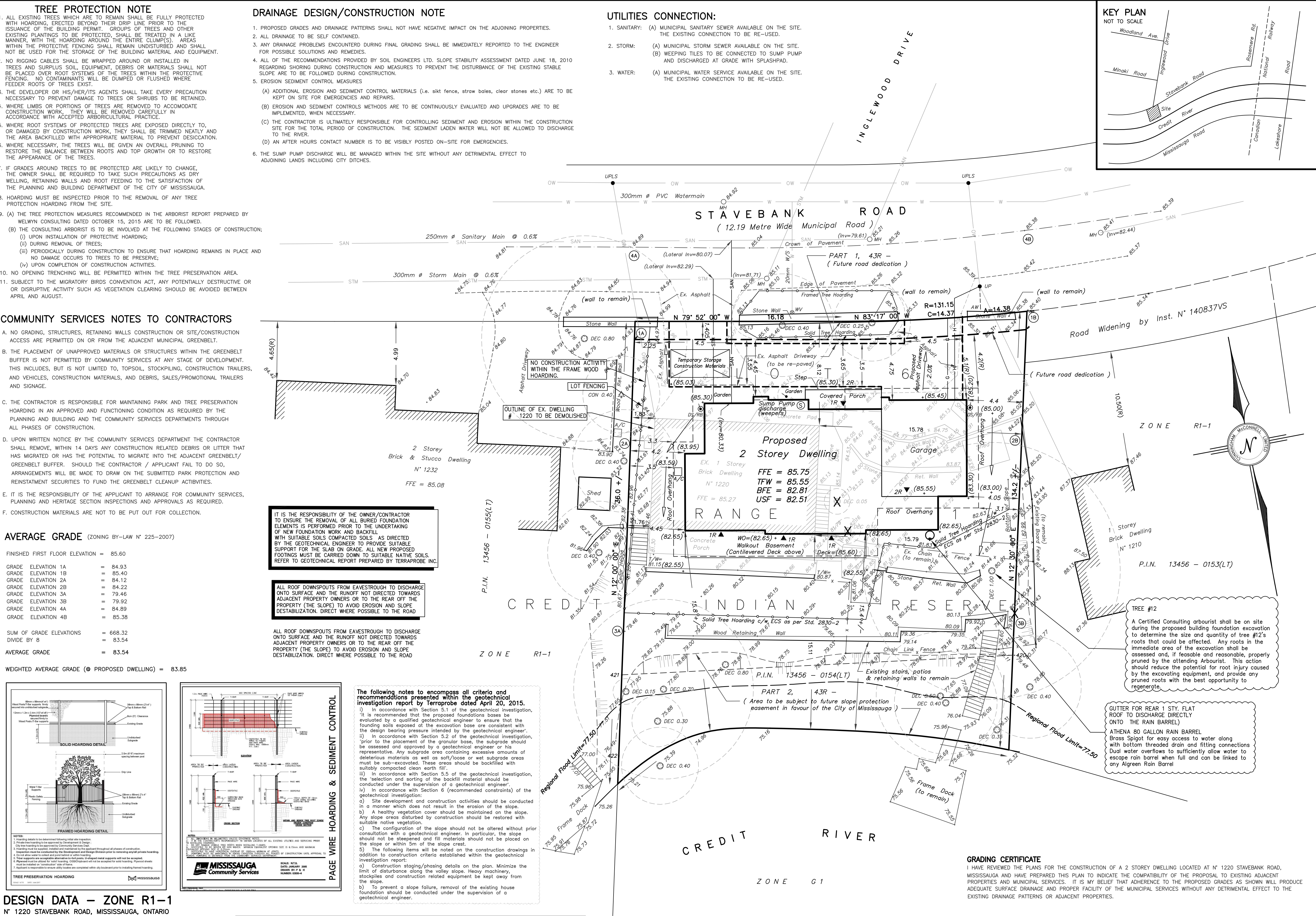
THE GEOTECHNICAL ENGINEER IS TO CONFORM THAT THE DETAILS SPECIFIED WITHIN THE SITE PLAN ARE IN ACCORDANCE WITH DESIGN CRITERIA/RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL INVESTIGATION REPORT BY TERRAPROBE DATE APRIL 20, 2015.

DRAINAGE DESIGN/CONSTRUCTION NOTE

- PROPOSED GRADES AND DRAINAGE PATTERNS SHALL NOT HAVE NEGATIVE IMPACT ON THE ADJOINING PROPERTIES.
- ALL DRAINAGE TO BE SELF CONTAINED.
- ANY DRAINAGE PROBLEMS ENCOUNTERED DURING FINAL GRADING SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR POSSIBLE SOLUTIONS AND REMEDIES.
- ALL OF THE RECOMMENDATIONS PROVIDED BY SOIL ENGINEERS LTD. SLOPE STABILITY ASSESSMENT DATED JUNE 18, 2010 REGARDING SHORING DURING CONSTRUCTION AND MEASURES TO PREVENT THE DISTURBANCE OF THE EXISTING STABLE SLOPE ARE TO BE FOLLOWED DURING CONSTRUCTION.
- EROSION SEDIMENT CONTROL MEASURES
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (i.e. silt fence, straw bales, clear stones etc.) ARE TO BE KEPT ON SITE FOR EMERGENCIES AND REPAIRS.
 - EROSION AND SEDIMENT CONTROLS METHODS ARE TO BE CONTINUOUSLY EVALUATED AND UPGRADES ARE TO BE IMPLEMENTED, WHEN NECESSARY.
 - THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONTROLLING SEDIMENT AND EROSION WITHIN THE CONSTRUCTION SITE FOR THE TOTAL PERIOD OF CONSTRUCTION. THE SEDIMENT LADEN WATER WILL NOT BE ALLOWED TO DISCHARGE TO THE RIVER.
 - AN AFTER HOURS CONTACT NUMBER IS TO BE VISIBLY POSTED ON-SITE FOR EMERGENCIES.
- THE PUMP PUMP DISCHARGE WILL BE MANAGED WITHIN THE SITE WITHOUT ANY DETRIMENTAL EFFECT TO ADJOINING LANDS INCLUDING CITY DITCHES.

UTILITIES CONNECTION:

- SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE. THE EXISTING CONNECTION TO BE RE-USED.
- STORM: (A) MUNICIPAL STORM SEWER AVAILABLE ON THE SITE. (B) WEeping TILES TO BE CONNECTED TO SLUMP PUMP AND DISCHARGED AT GRADE WITH SPLASHPAD.
- WATER: (A) MUNICIPAL WATER SERVICE AVAILABLE ON THE SITE. THE EXISTING CONNECTION TO BE RE-USED.



STANDARD SITE PLAN DEVELOPMENT NOTES

(A) DEVELOPMENT DIVISION, PLANNING AND DEVELOPMENT DEPARTMENT

- I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE PLAN DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE N° SPI 18/063 W1.

Robert D. McConnell
ROBERT D. MCCONNELL, O.L.S.

(B) DESIGN DIVISION, PLANNING AND BUILDING DEPARTMENT

- GRADES TO BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 M IN HEIGHT OR ANY RETAINING WALL LOCATED ON THE PROPERTY LINE TO BE SHOWN ON THE SITE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

(C) TRANSPORTATION AND WORKS DEPARTMENT

- DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE.
- ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR MUNICIPAL SIDEWALK.

(D) OWNER'S CERTIFICATE:

- THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEVELOPMENT AND CONSTRUCTION IN THE LOCKING AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE A CAUSE FOR THE TREE PRESERVATION LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING DEPARTMENT STAFF TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

ERIN LIA WATZINGER

- THE UNDERSIGNED PROPERTY OWNER HEREBY ACKNOWLEDGES AND AGREES THAT THEY ARE RESPONSIBLE FOR BOTH THE INSTALLATION AND MAINTENANCE OF WORKS AS SHOWN ON THE STAMPED APPROVED SITE PLAN AND ASSOCIATED DRAWINGS, IN THE FORM, MANNER AND LOCATION AS SET OUT ON SAID DRAWINGS, WITHOUT ANY CHANGE OR ADDITION. ANY CHANGES TO THE PLANS, INCLUDING NEW DEVELOPMENT OR REDEVELOPMENT ON THE PROPERTY, ARE SUBJECT TO A NEW SITE PLAN APPLICATION AND APPROVAL PROCESS.

IN ACCORDANCE WITH THE PROVISIONS OF SITE PLAN CONTROL BY-LAW 0293-2006 (AS AMENDED), THE CITY OF MISSISSAUGA MAY RECOVER ANY COSTS INCURRED, INCLUDING INTEREST AND ADMINISTRATION EXPENSES, TO PROVIDE, MAINTAIN OR COMPLETE SITE WORKS, IF THE PROPERTY OWNER FAILED TO DO SO, BY DRAWING UPON SECURITIES PROVIDED WITH THE APPROVAL OF THE APPLICATION. IF THERE ARE NO SECURITIES HELD, OR IF THE PORT OF SECURITIES HELD BY THE CITY ARE NOT SUFFICIENT TO COVER THE COSTS INCURRED, THEN THE COSTS INCURRED BY THE CITY WHICH CANNOT BE REIMBURSED OR RECOVERED BY SECURITIES WILL BE ADDED TO THE TAX ROLL OF THE PROPERTY AND WILL BE COLLECTED IN THE SAME MANNER AS TAXES."

(E) GENERAL NOTES

DATE: _____, 2019 _____ ERIN LIA WATZINGER

- THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS AN EASEMENT REGISTERED ON TITLE AFFECTING THE SUBJECT LANDS.
- THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING.
- ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF NOT DIRECTED TOWARDS ADJACENT PROPERTY OWNERS OR THE REAR DIRECT WHERE POSSIBLE TO THE ROAD.
- ROOF DOWNSPOUTS ARE LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS.
- FOUNDATION DRAINS ARE GRAVITY DRAINED AND DISCHARGED TOWARDS THE REAR OF THE PROPERTY.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE CONNECTION AND TO REPORT IT TO THE ENGINEER.
- ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES.
- ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATE WITH TOPSOIL AND SOD TO THE SATISFACTION OF THE CITY OF MISSISSAUGA.
- THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS.
- BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING.
- OUTSIDE FINISHED GRADE TO BE A MINIMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION.
- PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SODDING AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N° 1 NURSURY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPLETED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- DRAINAGE GRADINGS SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 6.0%.
- LAWN AND SVALES SHALL HAVE MINIMUM SLOPE OF 1.5% (PREFERRED 2.0%) AND A MAXIMUM SLOPE OF 6.0%.
- WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
- THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSHRINKABLE BACKFILL MATERIAL AS PER C.M. STD. 2220.03 UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- ALL WATERMANS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL STANDARDS AND SPECIFICATIONS.
- WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING OF 1.2 m FROM THEMSELVES AND OTHER UTILITIES.
- SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER C.M. STD. 02830-2.
- ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATE WITH TOPSOIL AND SOD PRIOR TO RELEASE OF SECURITIES.
- THE CITY'S TRANSPORTATION AND WORKS DEPARTMENT IS TO BE PROVIDED WITH A WRITTEN CONFIRMATION THAT THE EXISTING SEPTIC SYSTEM HAS BEEN DECOMMISSIONED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATIONS.
- THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE RIGHT-OF-WAY. THE APPLICANT IS RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.
- PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

PROJECT CONTACT DATA

- APPLICANT'S NAME: STONEMILL DESIGN / BUILD
- OWNER'S NAME: ERIN LIA WATZINGER
- ADDRESS: 1220 STAVEBANK ROAD, MISSISSAUGA, ONT
- PHONE NUMBER:
- AGENT: CONTEMPOSTUDIO
- ADDRESS: 14 ARNOLD AVENUE, TORONTO, ONTARIO, M6N 4M9
- PHONE: 416-836-1042,

N° 1220 STAVEBANK ROAD,
MISSISSAUGA, ONTARIO
PART OF LOT 6, RANGE 1,
CREDIT INDIAN RESERVE

SITE PLAN
SITE GRADING AND SERVING PLAN

DATE: SEPT. 22, 2021

CVC FILE N° FF 15/139

SCALE 1 : 150

APPLICATION N° SPI 18/063 W1

BOUNDARY NOTE

ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.

ELEVATION NOTE

ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE CITY OF MISSISSAUGA BENCHMARK N° 357, LOCATED ON THE EAST FACE AT THE SOUTH CORNER OF GARAGE OF A RED BRICK HOUSE #1306, ON THE WEST SIDE OF STAVEBANK ROAD, 61m SOUTH OF MINNEOLA ROAD WEST, HAVING AN ELEVATION OF 85.397 METRES.

METRIC NOTE

ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

LEGEND

AB	DENOTES ANCHOR WIRE(S)
BB	DENOTES BELL BOX
CON-0.20	DENOTES DECIDUOUS TREE 0.20 DIA
FB	DENOTES FIRE HYDRANT
GV	DENOTES GAS VALVE
GV	DENOTES GAS MAIN
H-C	DENOTES H/V HYDRO CABLE
LS	DENOTES LIGHT STANDARD (LAMP)
MAN	DENOTES MANHOLE
OW	DENOTES OVER HEAD WIRES(S)
OW	DENOTES SANITARY SEWER
STW	DENOTES STORM SEWER
UP	DENOTES UTILITY POLE/LIGHT STANDARD
UPLS	DENOTES UTILITY POLE/LIGHT STANDARD
UPLS	DENOTES WATER VALVE (KEY)
W	DENOTES W/O WATER MAIN
WB	DENOTES RAIN BARREL

UNDERGROUND SERVICES NOTE

ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE LOCATED FOR THIS PLAN.

THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

SURVEYOR'S NOTE

I CERTIFY THAT:

1. THIS PLAN WAS PREPARED FOR DESIGN PURPOSES ONLY AND IS NOT SUITABLE FOR ANY LEGAL TRANSACTIONS.

2. THE FIELD SURVEY WAS COMPLETED ON THE 12TH DAY OF MAY, 2014.

DATE: JUNE 10, 2014

*Robert D. McConnell*ROBERT D. MCCONNELL
ONTARIO LAND SURVEYOR

CUNNINGHAM McCONNELL LIMITED

ONTARIO LAND SURVEYORS

1200 SPEERS ROAD, UNIT 38
DARVILLE, ONTARIO L6L 2K4
PHONE (905) 845-3497
FAX (905) 845-3519205 MAIN STREET
MILTON, ONTARIO L9T 1N7
PHONE (905) 878-8910
FAX (905) 878-6672

CLIENT: WATZINGER c/o CONTEMPOSTUDIO

O.L.S. FILE N° 18-14

PLAN N° 18-14-1

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