TREE PROTECTION NOTE

- ALL EXISTING TREES WHICH ARE TO REMAIN SHALL BE FULLY PROTECTED WITH HOARDING, ERECTED BEYOND THEIR DRIP LINE PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED, SHALL BE TREATED IN A LIKE MANNER, WITH THE HOARDING AROUND THE ENTIRE CLUMP(S). AREAS WITHIN THE PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL
- NOT BE USED FOR THE STORAGE OF THE BUILDING MATERIAL AND EQUIPMENT. NO RIGGING CABLES SHALL BE WRAPPED AROUND OR INSTALLED IN TREES AND SURPLUS SOIL, EQUIPMENT, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER ROOT SYSTEMS OF THE TREES WITHIN THE PROTECTIVE

NO CONTAMINANTS WILL BE DUMPED OR FLUSHED WHERE

- FEEDER ROOTS OF TREES EXIST. THE DEVELOPER OR HIS/HER/ITS AGENTS SHALL TAKE EVERY PRECAUTION NECESSARY TO PREVENT DAMAGE TO TREES OR SHRUBS TO BE RETAINED. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMODATE
- CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICE. WHERE ROOT SYSTEMS OF PROTECTED TREES ARE EXPOSED DIRECTLY TO, OR DAMAGED BY CONSTRUCTION WORK, THEY SHALL BE TRIMMED NEATLY AND
- THE AREA BACKFILLED WITH APPROPRIATE MATERIAL TO PREVENT DESICCATION. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THE BALANCE BETWEEN ROOTS AND TOP GROWTH OR TO RESTORE
- IF GRADES AROUND TREES TO BE PROTECTED ARE LIKELY TO CHANGE, THE OWNER SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY

THE APPEARANCE OF THE TREES.

- WELLING, RETAINING WALLS AND ROOT FEEDING TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT OF THE CITY OF MISSISSAUGA. HOARDING MUST BE INSPECTED PRIOR TO THE REMOVAL OF ANY TREE
- PROTECTION HOARDING FROM THE SITE. (A) THE TREE PROTECTION MEASURES RECOMMENDED IN THE ARBORIST REPORT PREPARED BY
- WELWYN CONSULTING DATED OCTOBER 15, 2015 ARE TO BE FOLLOWED. (B) THE CONSULTING ARBORIST IS TO BE INVOLVED AT THE FOLLOWING STAGES OF CONSTRUCTION; (i) UPON INSTALLATION OF PROTECTIVE HOARDING; (ii) DURING REMOVAL OF TREES;
- (iii) PERIODICALLY DURING CONSTRUCTION TO ENSURE THAT HOARDING REMAINS IN PLACE AND NO DAMAGE OCCURS TO TREES TO BE PRESERVE (iv) UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- NO OPENING TRENCHING WILL BE PERMITTED WITHIN THE TREE PRESERVATION AREA. SUBJECT TO THE MIGRATORY BIRDS CONVENTION ACT, ANY POTENTIALLY DESTRUCTIVE OR OR DISRUPTIVE ACTIVITY SUCH AS VEGETATION CLEARING SHOULD BE AVOIDED BETWEEN APRIL AND AUGUST.

COMMUNITY SERVICES NOTES TO CONTRACTORS

- . NO GRADING, STRUCTURES, RETAINING WALLS CONSTRUCTION OR SITE/CONSTRUCTION ACCESS ARE PERMITTED ON OR FROM THE ADJACENT MUNICIPAL GREENBELT.
- AND SIGNAGE.
- HOARDING IN AN APPROVED AND FUNCTIONING CONDITION AS REQUIRED BY THE
- GREENBELT BUFFER. SHOULD THE CONTRACTOR / APPLICANT FAIL TO DO SO, REINSTATMENT SECURITIES TO FUND THE GREENBELT CLEANUP ACTIBVITIES.
- PLANNING AND HERITAGE SECTION INSPECTIONS AND APPROVALS AS REQUIRED.

AVERAGE GRADE (ZONING BY-LAW N° 225-2007)

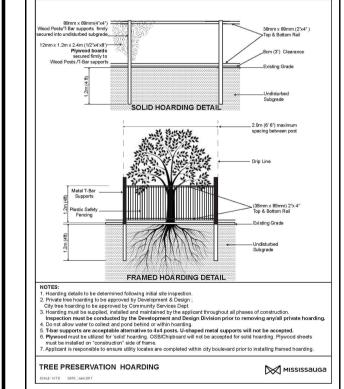
GRADE ELEVATION 1A GRADE ELEVATION 1B

= 84.12 GRADE ELEVATION 2B = 84.22 = 79.46

GRADE ELEVATION 4B SUM OF GRADE ELEVATIONS DIVIDE BY 8

= 83.54 AVERAGE GRADE

WEIGHTED AVERAGE GRADE (@ PROPOSED DWELLING) = 83.85



N° 1220 STAVEBANK ROAD, MISSISSAUGA, ONTARIO

- 1. LOT AREA = 991.1 + /- Sq. Metres (750 Sq. Metres MINIMUM).
- GRAND TOTAL (INCLUDES GARAGE)) = 215.40 m2
- TOTAL FRONT PORCH AREA = 8.85 m2
- TOTAL PROPOSED GARAGE AREA = 48.89 m2;
- AREA OF ROOF OVERHANG IN EXCESS OF 0.45m = 40.89 m2;
- 6. FRONT YARD SETBACK = 4.75 m (12.00 m MINIMUM).
- 8. SIDEYARD SETBACKS = 4.2 m AND 4.05 m RESPECTIVELY (1.8 m & 4.2 m MINIMUM). 10. BUILDING HEIGHT (ROOF PEAK FROM AVERAGE GRADE) = 8.91 m. (7.5 m MAXIMUM).
- 11. LOWER EDGE OF EAVES HEIGHT (FROM AVERAGE GRADE) = 8.05 m. (6.4 m MAXIMUM). 12. FRONT YARD AREA = 143.0 m.
 - = 39.1% (Minimum 40%)

DRAINAGE DESIGN/CONSTRUCTION NOTE

- 1. PROPOSED GRADES AND DRAINAGE PATTERNS SHALL NOT HAVE NEGATIVE IMPACT ON THE ADJOINING PROPERTIES.
- 3. ANY DRAINAGE PROBLEMS ENCOUNTERD DURING FINAL GRADING SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR POSSIBLE SOLUTIONS AND REMEDIES.
- 4. ALL OF THE RECOMMENDATIONS PROVIDED BY SOIL ENGINEERS LTD. SLOPE STABILITY ASSESSMENT DATED JUNE 18, 2010 REGARDING SHORING DURING CONSTRUCTION AND MEASURES TO PREVENT THE DISTURBANCE OF THE EXISTING STABLE SLOPE ARE TO BE FOLLOWED DURING CONSTRUCTION. 5. EROSION SEDIMENT CONTROL MEASURES
- (A) ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (i.e. sikt fence, straw bales, clear stones etc.) ARE TO BE
- (B) EROSION AND SEDIMENT CONTROLS METHODS ARE TO BE CONTINUOUSLY EVALUATED AND UPGRADES ARE TO BE IMPLEMENTED, WHEN NECESSARY.
- (C) THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONTROLLING SEDIMENT AND EROSION WITHIN THE CONSTRUCTION
- (D) AN AFTER HOURS CONTACT NUMBER IS TO BE VISIBLY POSTED ON-SITE FOR EMERGENCIES.
- 6. THE SUMP PUMP DISCHARGE WILL BE MANAGED WITHIN THE SITE WITHOUT ANY DETRIMENTAL EFFECT TO

ADJOINING LANDS INCLUDING CITY DITCHES.

300mm ø PVC Watermain STÄVEBAN/K (12.19 Metre Wide Municipal Road

TFW = 85.55

BFE = 82.81

USF = 82.51

Deck=(85,60

Walkout Basement

Solid Tree Hoarding c/w ECS as per Std. 2830-2

P.I.N. 13456 - 0154(LT)

(Area to be subject to future slope protection

easement in favour of the City of Mississauga)

PART 2, | 43R -

ZONE G1

ALL BOUNDARY DATA SHOWN HEREON WAS COMPILED FROM THE REGISTRY

ALL ELEVATIONS SHOWN HEREON ARE RELATED TO THE CITY OF

MISSISSAUGA BENCHMARK N° 357, LOCATED ON THE EAST FACE AT THE SOUTH CORNER OF GARAGE OF A RED BRICK HOUSE

#1306. ON THE WEST SIDE OF STAVEBANK ROAD. 61m SOUTH

OF MINEOLA ROAD WEST, HAVING AN ELEVATION OF 85.397

ALL DISTANCES SHOWN HEREON ARE IN METRES AND CAN

BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

OFFICE RECORDS AND WAS VERIFIED IN THE FIELD.

ELEVATION NOTE

Wood Retaining

(Cantilevered Deck above)

RO/AD

250mm ø Sanitary Main @ 0.6% (Lateral Inv=80.07) — PART 1. 4.3R -(Future road dedication) (Lateral Inv=82.29) -300mm ø Storm Main @ 0.6% ∠ Ex. Asphal: (wall to remain)+

UTILITIES CONNECTION:

2. STORM:

1. SANITARY: (A) MUNICIPAL SANITARY SEWER AVAILABLE ON THE SITE.

THE EXISTING CONNECTION TO BE RE-USED.

(A) MUNICIPAL STORM SEWER AVAILABLE ON THE SITE.

(B) WEEPING TILES TO BE CONNECTED TO SUMP PUMP

3. THE PLACEMENT OF UNAPPROVED MATERIALS OR STRUCTURES WITHIN THE GREENBELT BUFFER IS NOT PERMITTED BY COMMUNITY SERVICES AT ANY STAGE OF DEVELOPMENT. THIS INCLUDES, BUT IS NOT LIMITED TO, TOPSOIL, STOCKPILING, CONSTRUCTION TRAILERS, AND VEHICLES, CONSTRUCTION MATERIALS, AND DEBRIS, SALES/PROMOTIONAL TRAILERS

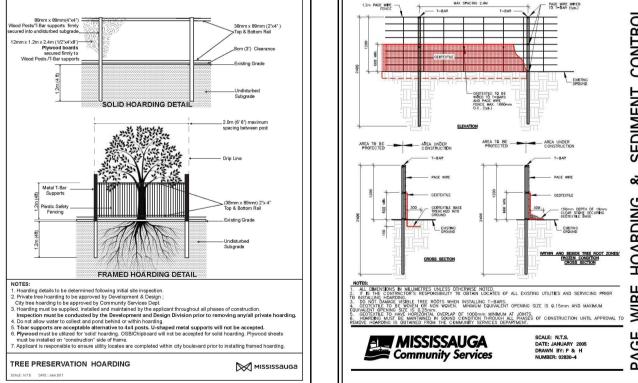
THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PARK AND TREE PRESERVATION PLANNING AND BUILDING AND THE COMMUNITY SERVICES DEPARTMENTS THROUGH ALL PHASES OF CONSTRUCTION.

D. UPON WRITTEN NOTICE BY THE COMMUNITY SERVICES DEPARTMENT THE CONTRACTOR SHALL REMOVE, WITHIN 14 DAYS ANY CONSTRUCTION RELATED DEBRIS OR LITTER THAT HAS MIGRATED OR HAS THE POTENTIAL TO MIGRATE INTO THE ADJACENT GREENBELT/ ARRANGEMENTS WILL BE MADE TO DRAW ON THE SUBMITTED PARK PROTECTION AND

E. IT IS THE RESPONSIBILITY OF THE APPLICANT TO ARRANGE FOR COMMUNITY SERVICES, CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.

FINISHED FIRST FLOOR ELEVATION = 85.60 = 85.40 GRADE ELEVATION 2A GRADE ELEVATION 3A GRADE ELEVATION 3B = 79.92

GRADE ELEVATION 4A = 84.89 = 85.38= 668.32= 83.54



DESIGN DATA - ZONE R1-1

- 2. LOT FRONTAGE (LOT WIDTH) = 30.48 m @ 7.5 m (22.5 m MINIMUM)
- 3. PROPOSED BUILDING GROSS FLOOR AREA = 348.58 Sq. Metres 4. BUILDING AREAS AT GROUND LEVEL:

- 5. LOT COVERAGE = 21.7% (INCLUDES PROPOSED GARAGE) (25% MAXIMUM).
- 7. REAR YARD SETBACK = 15.4 m (7.50 m MINIMUM). 9. COMBINED SIDEYARD SETBACKS = 8.25 m (27% OF LOT FRONTAGE = 8.23 m MINIMUM).
- LANDSCAPE SOFT AREA = 55.92 m.

- 2. ALL DRAINAGE TO BE SELF CONTAINED.
- KEPT ON SITE FOR EMERGENCIES AND REPAIRS.
- SITE FOR THE TOTAL PERIOD OF CONSTRUCTION. THE SEDIMENT LADEN WATER WILL NOT BE ALLOWED TO DISCHARGE TO THE RIVER.

HOARDING.

KEY PLAN NOT TO SCALE Woodland Minaki Roac

AND DISCHARGED AT GRADE WITH SPLASHPAD. (A) MUNICIPAL WATER SERVICE AVAILABLE ON THE SITE. THE EXISTING CONNECTION TO BE RE-USED.

⁵ R=131.15 C = 14.37N 83'17' 00 16.18 っ (DEC 0.80 NO CONSTRUCTION ACTIVITY | WITHIN THE FRAME WOOD | - (Future road dedication , LOT FENCING -

²_{2R} ♥ (85.55)

Roof Overhang

CON 0.40 Covered | Porch OUTLINE OF EX. DWELLING l (85.00) # 1220 TO BE DEMOLISHED 15.78 Proposed 2 Storey ``Garage\` 4.2 Storey Dwelling Brick & Stucco Dwelling DEC 0.40 N° 1232 *FFE* = 85.75

DEC 0.30

SCALE 1:150

IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR ENSURE THE REMOVAL OF ALL BURIED FOUNDATION LEMENTS IS PERFORMED PRIOR TO THE UNDERTAKING NEW FOUNDATION WORK AND BACKFILL ITH SUITABLE SOILS COMPACTED SOILS AS DIRECTED THE GEOTECHNICAL ENGINEER TO PROVIDE SUITABLE SUPPORT FOR THE SLAB ON GRADE, ALL NEW PROPOSED

ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHAR DJACENT PROPERTY OWNERS OR TO THE REAR OFF TH PROPERTY (THE SLOPE) TO AVOID EROSION AND SLOPE ESTABILIZATION. DIRECT WHERE POSSIBLE TO THE ROAD

EFER TO GEOTECHNICAL REPORT PREPARED BY TERRAPROBE INC.

ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF NOT DIRECTED TOWARDS ADJACENT PROPERTY OWNERS OR TO THE REAR OFF THE PROPERTY (THE SLOPE) TO AVOID EROSION AND SLOPE DESTABILIZATION, DIRECT WHERE POSSIBLE TO THE ROAD

CREDZONE R1-1

FFE = 85.08

The following notes to encompass all criteria and recommendations presented within the geotechnica nvestigation report by Terraprobe dated April 20, 2015. In accordance with Section 5.1 of the geotechnical investigation

it is recommended that the proposed foundations bases be evaluated by a aualified aeotechnical engineer to ensure that the ounding soils exposed at the excavation base are consistent with the design bearing pressure intended by the geotechnical engineer" In accordance with Section 5.2 of the geotechnical investigation, prior to the placement of the granular base, the subgrade should be assessed and approved by a geotechnical engineer or his epresentative. Any subgrade area containing excessive amounts of deleterious materials as well as soft/loose or wet subgrade areas must be sub—excavated. These areas should be backfilled with

the "selection and sortina of the backfill material should be conducted under the supervision of a geotechnical engineer". v) In accordance with Section 6 (recommended constraints) of the geotechnical investigation: Site development and construction activities should be conducted a manner which does not result in the erosion of the slope. A healthy vegetation cover should be maintained on the slope ny slope areas disturbed by construction should be restored with

) In accordance with Section 5.5 of the geotechnical investigation,

suitable native vegetation. The configuration of the slope should not be altered without prior nsultation with a geotechnical engineer. In particular, the slope should not be steepened and fill materials should not be placed on the slope or within 5m of the slope crest. The following items will be noted on the construction drawings in addition to construction criteria established within the geotechnical

investigation report: Construction staging/phasing details on the plan. Minimize the imit of disturbance along the valley slope. Heavy machinery, stockpiles and construction related equipment be kept away from To prevent a slope failure, removal of the existing house

DENOTES PROPOSED GRADE

DENOTES EXISTING GRADE

DENOTES DOOR ENTRANCE

DENOTES PROPOSED WATER METER

OPPOSED SOLID TREE HOARDING

---- DENOTES PROPOSED FRAMED TREE HOARDING

 $^{DS}_{ullet}$ Denotes roof leader and its direction

DENOTES PROPOSED SUMP PIT

DENOTES DRAINAGE DIRECTION

CRITERIA/RECOMMENDATIONS MADE WITHIN THE GEOTECHNICAL INVESTIGATION REPORT BY TERRAPROBE DATE APRIL 20.2015.

DESIGN LEGEND

ndation should be conducted under the supervision of a geotechnical engineer. THE GEOTECHNICAL ENGINEER IS TO CONFORM THAT THE DETAILS SPECIFIED WITHIN THE SITE PLAN ARE IN ACCORDANCE WITH DESIGN

TOPOGRAPHIC SKETCH OF

CITY OF MISSISSAUGA

GRAPHIC SCALE - METRES

PART OF LOT 6, RANGE 1

CREDIT INDIAN RESERVE

REGIONAL MUNICIPALITY OF PEEL

escape rain barrel when full and can be linked to any Algreen Rain Barrel RIVER **GRADING CERTIFICATE**

LEGEND

DENOTES ANCHOR WIRE(S)

DEC-0.20 DENOTES DECIDUOUS TREE 0.20 DIA

DENOTES U/G GAS MAIN

DENOTES U/G HYDRO CABLE DENOTES LIGHT STANDARD (LAMP)

DENOTES UTILITY POLE/LIGHT STANDAR

DENOTES MANHOLE
DENOTES OVER HEAD WIRE(S)

DENOTES WATER VALVE (KEY)

DENOTES U/G WATER MAIN

DENOTES SANITARY SEWER

DENOTES STORM SEWER

DENOTES UTILITY POLE

DENOTES GAS METER

DENOTES U/G BELL CABLE

– Existing stairs, patios

& retaining/walls to remain-

DEC 0.40 🔾

76.04

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A 2 STOREY DWELLING LOCATED AT Nº 1220 STAVEBANK ROAD, MISSISSAUGA AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE

DEC 0.40

EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

UNDERGROUND SERVICES NOTE

LOCATED FOR THIS PLAN.

SURVEYOR'S NOTE

I CERTIFY THAT:

OF MAY, 2014.

DATE: JUNE 10, 2014

ONLY UNDERGROUND SERVICES VISIBLE ON THE GROUND WERE

THE USER OF THIS PLAN SHALL CONTACT THE LOCAL UTILITY COMPANIES

ONTARIO LAND SURVEYOR

FOR LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.

R1 - 1

P.I.N. 13456 - 0153(LT)

A Certified Consulting arbourist shall be on site

during the proposed building foundation excavation

to determine the size and quantity of tree #12's

roots that could be affected. Any roots in the

assessed and, if feasable and reasonable, properly

should reduce the potential for root injury caused

regenerate.

pruned by the attending Arbourist. This action

by the excavating equipment, and provide any

pruned roots with the best opportunity to

immediate area of the excavation shall be

ZONE

Brick Dwelling

TREE #12

CUITTER FOR REAR 1 STY FLAT

ROOF TO DISCHARGE DIRECTLY

ATHENA 80 GALLON RAIN BARREL

Brass Spigot for easy access to water along

with bottom threaded drain and fitting connections

Dual water overflows to sufficiently allow water to

ONTO THE RAIN BARREL)

STANDARD SITE PLAN DEVELOPMENT NOTES

A) DEVELOPMENT DIVISION, PLANNING AND DEVELOPMENT DEPARTMENT

HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE PLAN DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE N° SPI 18/063 W1.



THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION, PLANNING AND BUILDING DEPARTMENT AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA. . ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.

(B) DESIGN DIVISION, PLANNING AND BUILDING DEPARTMENT

GRADES TO BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 M IN HEIGHT OR ANY RETAINING WALL LOCATED ON THE PROPERTY

C) TRANSPORTATION AND WORKS DEPARTMENT DRIVEWAYS ON THE MUNICIPAL RIGHT-OF-WAY SHALL BE PAVED BY THE APPLICANT.

AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND

LINE IS TO BE SHOWN ON THE SITE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

A CURB DEPRESSION WILL BE PROVIDED FOR THE ENTRANCE. . ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR MUNICIPAL SIDEWALK.

(D) OWNER'S CERTIFICATE:

1. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE A CAUSE FOR THE TREE PRESERVATION LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING DEPARTMENT STAFF TO BE

CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

ERIN LIA WATZINGER b."THE UNDERSIGNED PROPERTY OWNER HEREBY ACKNOWLEDGES AND AGREES THAT THEY ARE RESPONSIBLE FOR BOTH THE INSTALLATION AND MAINTENANCE OF WORKS AS SHOWN ON THE STAMPED APPROVED SITE PLAN AND ASSOCIATED DRAWINGS, IN THE FORM, MANNER AND LOCATION AS SET OUT ON SAID DRAWINGS, WITHOUT ANY CHANGE OR ADDITION. ANY CHANGES TO THE PLANS, INCLUDING NEW DEVELOPMENT OR REDEVELOPMENT ON THE PROPERTY, ARE SUBJECT TO A NEW SITE PLAN APPLICATION AND APPROVAL PROCESS.

IN ACCORDANCE WITH THE PROVISIONS OF SITE PLAN CONTROL BY-LAW 0293-2006 (AS AMENDED), THE CITY OF MISSISSAUGA MAY RECOVER ANY COSTS INCURRED, INCLUDING INTEREST AND ADMINISTRATION EXPENSES. TO PROVIDE, MAINTAIN OR COMPLETE SITE WORKS, IF THE PROPERTY OWNER FAILED TO DO SO, BY DRAWING UPON SECURITES PROVIDED WITH THE APPROVAL OF THE APPLICATION IF THERE ARE NO SECURITES HELD, OR IF THE AMOUNT OF SECURITES HELD BY THE CITY ARE NOT SUFFICIENT TO COVER THE COSTS INCURRED, THEN THE COSTS INCURRED BY THE CITY WHICH CANNOT BE REIMBURSED OR RECOVERED BY SECURITIES WILL BE ADDED TO THE TAX ROLL OF THE PROPERTY AND WILL BE COLLECTED IN THE SAME MANNER AS TAXES."

(E) GENERAL NOTES ERIN LIA WATZINGER

- . THE EXISTING GRADES SHOWN ON THIS DRAWING ARE TO REMAIN UNCHANGED.
- THERE IS AN EASEMENT REGISTERED ON TITLE AFFECTING THE SUBJECT LANDS. . THE STOCKPILING OF CONSTRUCTION MATERIAL TO BE DONE AT THE FRONT OF THE PROPOSED DWELLING.
- 4. ALL ROOF DOWNSPOUTS FROM EAVESTROUGH TO DISCHARGE ONTO SURFACE AND THE RUNOFF NOT DIRECTED TOWARDS ADJACENT PROPERTY OWNERS OR THE REAR DIRECT WHERE POSSIBLE TO THE ROAD.
- 5. ROOF DOWNSPOUTS ARE LOCATED IN SUCH MANNER AS TO DIRECT DRAINAGE AWAY FROM WALKWAYS, DRIVEWAYS OR PATIO AREAS. 3. FOUNDATION DRAINS ARE GRAVITY DRAINED AND DISCHARGED TOWARDS THE REAR OF THE PROPERTY.
- . PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY IN FIELD THE EXACT SIZE AND INVERTS OF THE EXISTING WATER SERVICE
- CONNECTION AND TO REPORT IT TO THE ENGINEER.
- B. ALL SURPLUS/EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE.
- 9. CONTRACTOR TO MATCH EXISTING GRADES ALONG PROPERTY LINES. D. ALL DISTURBED AREAS WITHIN EXISTING ROAD ALLOWANCE TO BE REINSTATED WITH TOPSOIL AND SOD
- TO THE SATISFACTION OF THE CITY OF MISSISSAUGA. I. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS, IF ANY DISCREPANCIES, THEY MUST BE REPORTED TO THE ENGINEER
- IMMEDIATELY PRIOR TO CONSTRUCTION. 2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION.
- GAS, HYDRO, TELEPHONE OR ANY OTHER UTILITIES THAT MAY EXIST ON THE SITE OR WITHIN THE STREETLINE MUST BE LOCATED BY ITS OWN UTILITIES AND VERIFIED PRIOR TO CONSTRUCTION.
- 3. ALL CONNECTIONS SHALL BE INSTALLED AS PER MUNICIPAL STANDARDS AND SPECIFICATIONS. 4. BUILDER IS TO VERIFY TO THE ENGINEER THAT THE FINAL FOOTING ELEVATION AND TOP OF FOUNDATION WALL ELEVATION ARE IN
- CONFORMITY WITH THE BUILDING CODE AND THE CERTIFIED GRADING PLAN PRIOR TO PROCEEDING. 5. OUTSIDE FINISHED GRADE TO BE A MINIUMUM OF 150 mm BELOW BRICK/STONE VENEER ELEVATION. 3. PRIOR TO ANY SODDING, THE BUILDER IS TO ENSURE TO THE SOIL CONSULTANT AND/OR THE ENGINEER THAT THE LOT HAS BEEN GRADED
- AND TOPSOILED AND SODDED COMPLETELY WITH A MINIMUM DEPTH OF 100 mm OF TOPSOIL AND N° 1 NURSURY SOD AND A MINIMUM DEPTH OF 150 mm CRUSHED STONE TO BE PROVIDED ON THE ENTIRE LENGTH OF EACH DRIVEWAY ON A FIRM SUBGRADE AND THE THE DRIVEWAY TO BE PAVED WITH A MINIMUM COMPACTED DEPTH OF 75 mm OF ASPHALT BETWEEN THE CURB AND THE GARAGE.
- . NO SODDING ON ANY LOT IS PERMITTED UNTIL PRELIMINARY INSPECTION IS DONE BY THE ENGINEER AND THE BUILDER.
- 3. DRIVEWAY GRADES SHOULD BE NOT LESS THAN 2.0% AND NOT GREATER THAN 8.0%. . LAWN AND SWALES SHALL HAVE MINIMUM SLOPE OF 1.5% (PREFERRED 2.0%) AND A MAXIMUM SLOPE OF 6.0%.). WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0 m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6 m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. . THE SERVICE CONNECTION TRENCH THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH
- UNSHRINKABLE BACKFILL MATERIAL AS PER C.M. STD. 2220.03 UNLESS OTHERWISE SPECIFIED PRIOR APPROVAL FOR OTHER BACKFILL MATERIAL HAS BEEN OBTAIN.
- . ALL WATERMAINS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT MUNICIPAL
- STANDARDS AND SPECIFICATIONS. 3. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM DEPTH OF 1.7 m WITH A MINIMUM HORIZONTAL SPACING
- OF 1.2 m FROM THEMSELVES AND OTHER UTILITIES.
- 4. SEDIMENT CONTROL FENCE TO BE INSTALLED AS PER C.M. STD. 02830-2. 5. ALL DAMAGED AND DISTURBED AREAS TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO RELEASE OF SECURITIES. 6. THE CITY'S TRANSPORTATION AND WORKS DEPARTMENT IS TO BE PROVIDED WITH A WRITTEN CONFIRMATION THAT THE EXISTING SEPTIC SYSTEM HAS BEEN DECOMMISSIONED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATIONS.

. THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE

INSTALLATION OF HOARDING WITHIN THE RIGHT-OF-WAY. THE APPLICANT IS RESPONSIBLE FOR THE COST OF ANY UTILITIES

RELOCATIONS NECESSITATED BY THE SITE PLAN. PRIOR TO ANY CONSTRUCTION TAKING PLACE, HOARDING ADJACENT TO EXISTING PROPERTIES TO PROTECT FROM CONSTRUCTION ACTIVITY, AND ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS

FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. PROJECT CONTACT DATA

- APPLICANT'S NAME: STONEMILL DESIGN / BUILD OWNER'S NAME: ERIN LIA WATZINGER
- ADDRESS: 1220 STAVEBANK ROAD, MISSISSAUGA, ONT
- . PHONE NUMBER:

- THIS PLAN WAS PREPARED FOR DESIGN PURPOSE AND IS NOT SUITABLE FOR ANY LEGAL TRANSACT 2. THE FIELD SURVEY WAS COMPLETED ON THE 12th 2014/06/10

CUNNINGHAM McCONNELL LIMITED ONTARIO LAND SURVEYORS

ONTARIO LAND SURVEYOR

J	
200 SPEERS ROAD, UNIT 38	205 MAIN STREET
AKVILLE, ONTARIO L6L 2X4	MILTON, ONTARIO L9T 1N7
HONE (905) 845-3497	PHONE (905) 878-7810
AX (905) 845-3519	FAX (905) 878-6672

ARED FOR DESIGN PURPOSES ONLY	CLIENT: WATZINGER c/o CONTEMPOSTUDIO	2
FOR ANY LEGAL TRANSACTIONS.	O.L.S FILE N° 18-14 PLAN N° 18-14-1	2
AS COMPLETED ON THE 12th DAY	124111 19 11 1	7
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021/09/2 2021/02/2

E N° 18−14	PLAN N° 18-14-1	2015/05/20
/ATZINGER c/o CONTEMPOSTUDIO		2016/01/29
5) 845–3519	FAX (905) 878-6672	2016/12/05
905) 845–3497	PHONE (905) 878-7810	2018/05/15
ONTARIO L6L 2X4	MILION, ONTARIO LET TN7	2019/06/20

REVISED AS PER CITY COMMENTS REVISED FOR COMMITTEE OF ADJUSTMENT 2015/02/10 REVISED FOR CONSERVATION APPROVAL

REVISED AS PER CITY COMMENTS RDM RDM RDM RDM REVISED AS PER CONSERVATION COMMENTS | RDM RDM

N° 1220 STAVEBANK ROAD, MISSISSAUGA, ONTARIO PART OF LOT 6, RANGE 1, CREDIT INDIAN RESERVE

SITE GRADING AND SERVICING PLAN

5. AGENT: CONTEMPOSTUDIO

7. PHONE: 416-836-1042,

6. ADDRESS: 14 ARNOLD AVENUE.

CVC FILE N° FF 15/139

TORONTO, ONTARIO, M6N 4M9

DATE:

OR IN PART WITHOUT THE WRITTEN PERMISSION OF CUNNINGHAM McCONNELL LIMITED.

SUBMITTED FOR CLIENT REVIEW **REVISIONS** INITIAL SCALE 1:150

RDM DATE: SEPT. 22, 2021

APPLICATION N° SPI 18/063 W1