

HERITAGE IMPACT ASSESSMENT



1376 Mississauga Road
Mississauga Road Cultural Landscape

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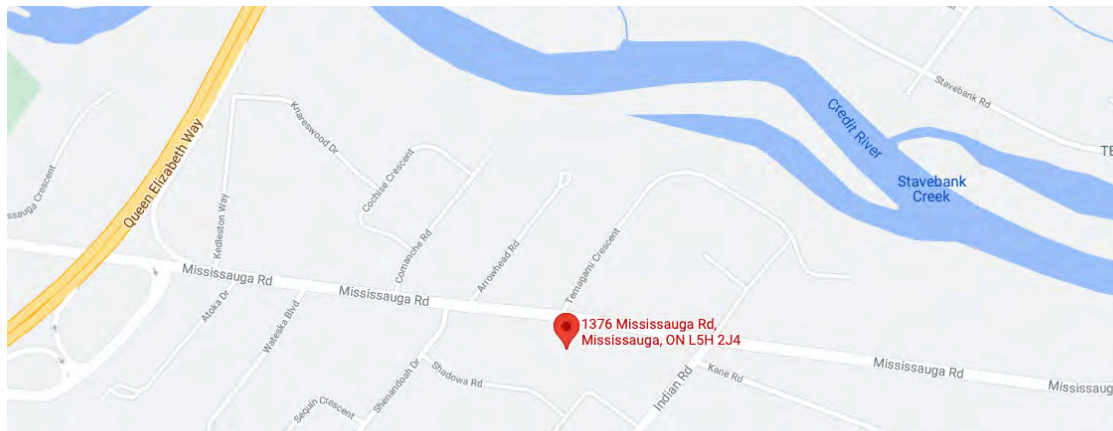
1.0 INTRODUCTION

This impact assessment was undertaken for the property owner as a requirement for obtaining permission to demolish and existing 2-storey dwelling located within the *Mississauga Scenic Route Cultural Landscape* and build a new 2-storey dwelling. This report was prepared in accordance with the City of Mississauga's *Terms of Reference for Cultural Landscape Heritage Impact Assessments* (2016). Historical research and a review of relevant heritage policies was undertaken by the consultant. Site documentation and architectural drawings for the proposed alterations were provided by SIMPL Design Studio and are included in the appendix of this report.

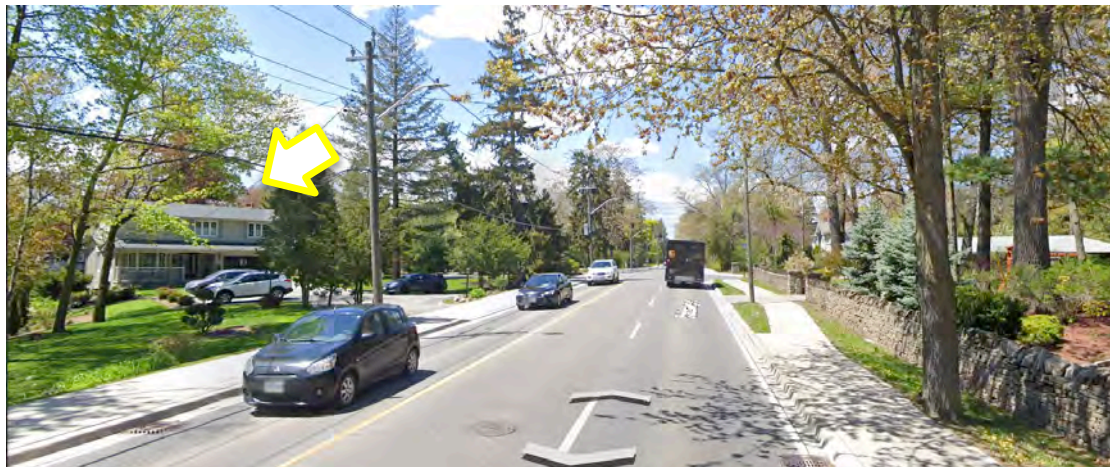
2.0 LOCATION & SITE DESCRIPTION

See Appendix A: Photo Documentation

The subject property is located within the Clarkson-Lorne Park Neighbourhood Character Area. It is situated on the south side of Mississauga Road, between Indian Road and Shenandoah Drive. Mississauga Road is identified in the Mississauga Plan as a major collector road and is also identified as a 'scenic route'. Adjacent properties contain one and two-storey single-detached homes on large lots with mature landscapes including large trees along Mississauga Road.



LOCATION MAP – south side of Mississauga Road, between Indian Road & Shenandoah Drive



STREETSCAPE VIEW – looking west on Mississauga Road, subject property visible on the left

The roughly rectangular lot is irregularly shaped and is just over 0.3 acres in size. The lot contains a single-detached dwelling that is set well back in the lot and oriented towards Mississauga Road. The orientation to the road is lightly skewed and adjacent properties have a similar orientation. The large front yard contains a paved driveway and parking area, lawn and mature trees along the frontage on Mississauga Road. The side yards are narrow and the rear yard is much smaller than the front yard. The dwelling located on the subject property is a 2-storey Raised Ranch style house constructed in the 1960s.



AERIAL PHOTO - 1376 Mississauga Road has a large front yard, narrow side yards and a relatively small back yard.



SUBJECT DWELLING – 2-storey Raised Ranch style house built in the 1960s

3.0 HERITAGE PLANNING CONTEXT

The subject property is located within the *Mississauga Scenic Route Cultural Landscape*, a significant cultural resource that is listed on the *Municipal Heritage Register*.

Cultural Heritage Landscape Inventory

The City of Mississauga adopted the *Cultural Landscape Inventory* in 2005. Properties included in the *Cultural Heritage Inventory* are listed on the City's Heritage Register. Under City policy 7.4.1.12, the City of Mississauga seeks to conserve, record and protect its heritage resources and a *Heritage Impact Assessment* is required for any "construction, development, or property alterations that might adversely affect" those resources. *Heritage Impact Assessments* must be prepared by a qualified heritage consultant according to the City's *Terms of Reference for Cultural Landscape Impact Assessments* (2016). New development is regulated by Official Plan policies and zoning by-laws and is subject to review, including heritage review, under the Site Plan Application process.

F-TC-4: Mississauga Road Scenic Route Cultural Landscape

The subject property is located within the *Mississauga Road Scenic Route Cultural Landscape* (F-TC-4). The *Cultural Heritage Inventory* (2005) provides a general description of the character of this cultural resource and includes a checklist of natural and cultural values associated with it.

The *Mississauga Road Scenic Route Cultural Landscape* is described as follows:

SITE DESCRIPTION

Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south, following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. The road also includes some of the city's most interesting architecture and landscape features, including low stone walls. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage.

The cultural values associated with the *Mississauga Road Scenic Route Cultural Landscape* are:

- Landscape Environment
 - Scenic and visual quality
 - Horticultural interest
 - Landscape Design, Type and Technological Interest
- Historical Associations
 - Illustrates Style, Trend or Pattern
 - Illustrates Important Phase in Mississauga's Social or Physical Development

- Built Environment
 - Consistent Scale of Built Features
- Other
 - Historical and Archaeological Interest

The subject property contains a dwelling that was built in 1980 and is therefore associated with post-WWII suburban development on Mississauga Road.

Site Plan Control

Under policies in the *Mississauga Plan*, properties along the Mississauga Scenic Route are subject to Site Plan Control. The site plan approval process is intended to ensure that the construction of new dwellings, replacement housing and additions retain and complement the Scenic Route's built form character, enhance the area's natural features, maintain mature trees, and contribute to the area's unique qualities.

New Dwellings, Replacement Housing and Additions Urban Design Guidelines (2014)

The *New Dwellings, Replacement Housing and Additions Urban Design Guidelines* provides a general framework and design principles on which the guidelines for Site Plan approval are based.

Mississauga Scenic Route Urban Design Guidelines (2017)

The *Mississauga Scenic Route Urban Design Guidelines* provides specific guidelines for new development located along the route to ensure that it is compatible with, and sensitive to the established character and to minimize undue impacts on adjacent properties.

Adjacent Cultural Heritage Resource: Perrin-Bonner-Bluett Residence (1880s)

The subject property is adjacent to a *Part IV Designated* heritage property located at 1262 Mississauga Road that contains the *Perrin-Bonner-Bluett Residence*, a Gothic Revival style farmhouse that was built in 1888. The significance of this property is described as follows:

Addison Perrin built this structure in 1888. It remained in the Perrin family, passed along via daughters, hence the other names, until 1971. This is a two storey L-shaped plan structure with a three bay facade. There is a one storey addition at the rear of the house. The high pitched gable roof originally had cedar shingles with decorative bands of diamond pattern shingles. This has been recently replaced with a plain cedar shingle roof. Original decorative vergeboard runs beneath the gable and turned finials extend above the gable apex. An original one storey porch covers the main facade from the crook of the L. There are two wall dormers on the main facade. A wall dormer with a gable roof and a decoration carved into the wooden pediment or tympanum and a wall dormer in a gable with the same decorative vergeboard as the gable ends. There is an external chimney on the west facade. Two original interior end chimneys have been removed. A one and a half storey shed in the south west corner of the property was built after 1945 by Mr. and Mrs. Bluett. A wooden water-table rests on a slightly recessed foundation of uncoursed rubble-stone, which has recently been faced with cement. The exterior of the main structure and shed are white painted clapboard. The original porch on the main facade has a hipped cedar roof

supported by chamfered columns and pilasters. A fret sawn pierced decoration runs beneath the porch roof and is accentuated in the corners by fan-like brackets. Turned balusters extend between a molded hand rail and a lower rail that runs above the planked porch floor. Two turned newel posts end the rail on either side of the front door. The rail is a recent addition. The windows are one over one paned sash. Identical one storey bay windows are located on the front of the main (south) facade and the east facade. The original roofs of the bay windows had cedar shingles. All windows of the one storey rear addition have been replaced recently with single glass panels. The doors have been replaced by glass paneled doors with fifteen panes each. The main entrance door has a single sidelight and a segmental transom of leaded coloured glass. The recent one and a half storey shed in the south-west corner has the original front door of the house. The narrow double doors have two round headed windows with recent stained glass. On the north side of the shed, there are two large casement windows above garage doors; a small cupola rests on the gabled roof.

The Perrin-Bonner-Bluett Residence is set in large grounds and has a large side yard adjacent to the subject property that contains a wooded area. The heritage building is therefore physically distanced and visually buffered from the subject property.



The subject property is adjacent to the Perrin-Bonner-Bluett Residence (1888), a *Part IV Designated* heritage property located at 1362 Mississauga Road – the heritage property is buffered by a wooded area between the properties

4.0 HISTORICAL CONTEXT

See Appendix B: Historic Documentation

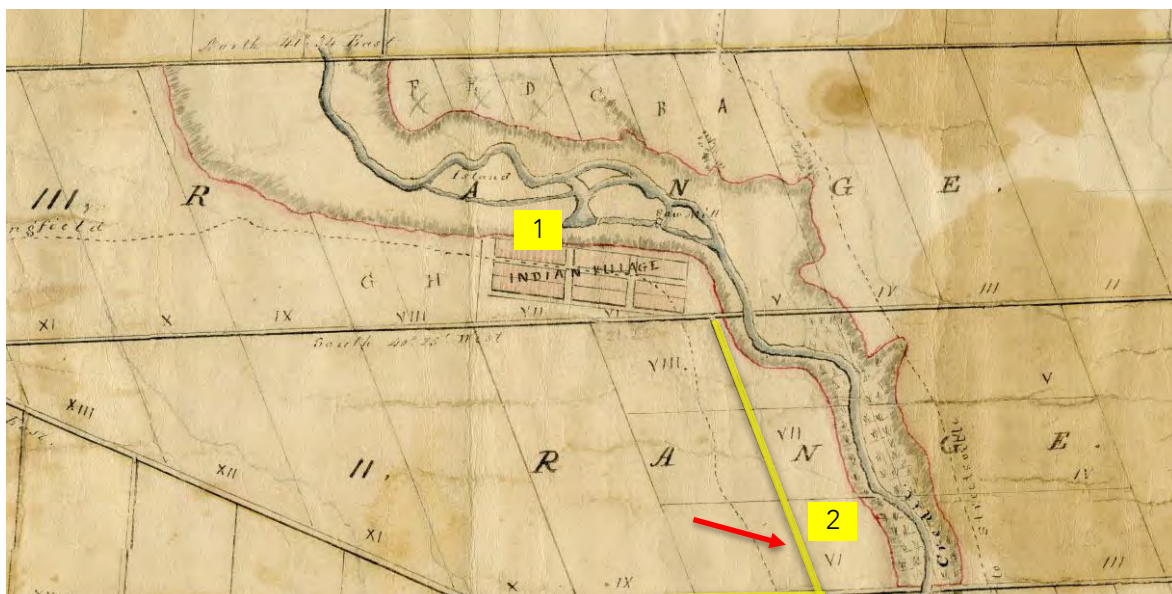
Mississauga Road

Mississauga Road is recognized as a cultural landscape within the City of Mississauga because it is the City's oldest north-south transportation route. The road follows the path of an **aboriginal trail** that lead from fishing grounds at the mouth of the Credit River to farms and hunting grounds located inland to the north. It follows high land on the west bank of the Credit River from Port Credit to Streetsville. These lands were originally reserved for the Mississaugas, but by 1847 they had relocated elsewhere and the land was re-distributed by the Crown and Mississauga Road was extended further north to Brampton.

As the settlements linked by Mississauga Road grew, the cultural landscape made up of **villages and farmsteads** evolved. In the 20th century, changes to this cultural landscape accelerated as urban boundaries expanded and rural areas were transformed by suburban development. Mississauga Road is now a major arterial road continuously lined with development. Some of the built and natural features associated with this **early pioneer road** remain. These features define the character of the Mississauga Scenic Route Cultural Landscape.

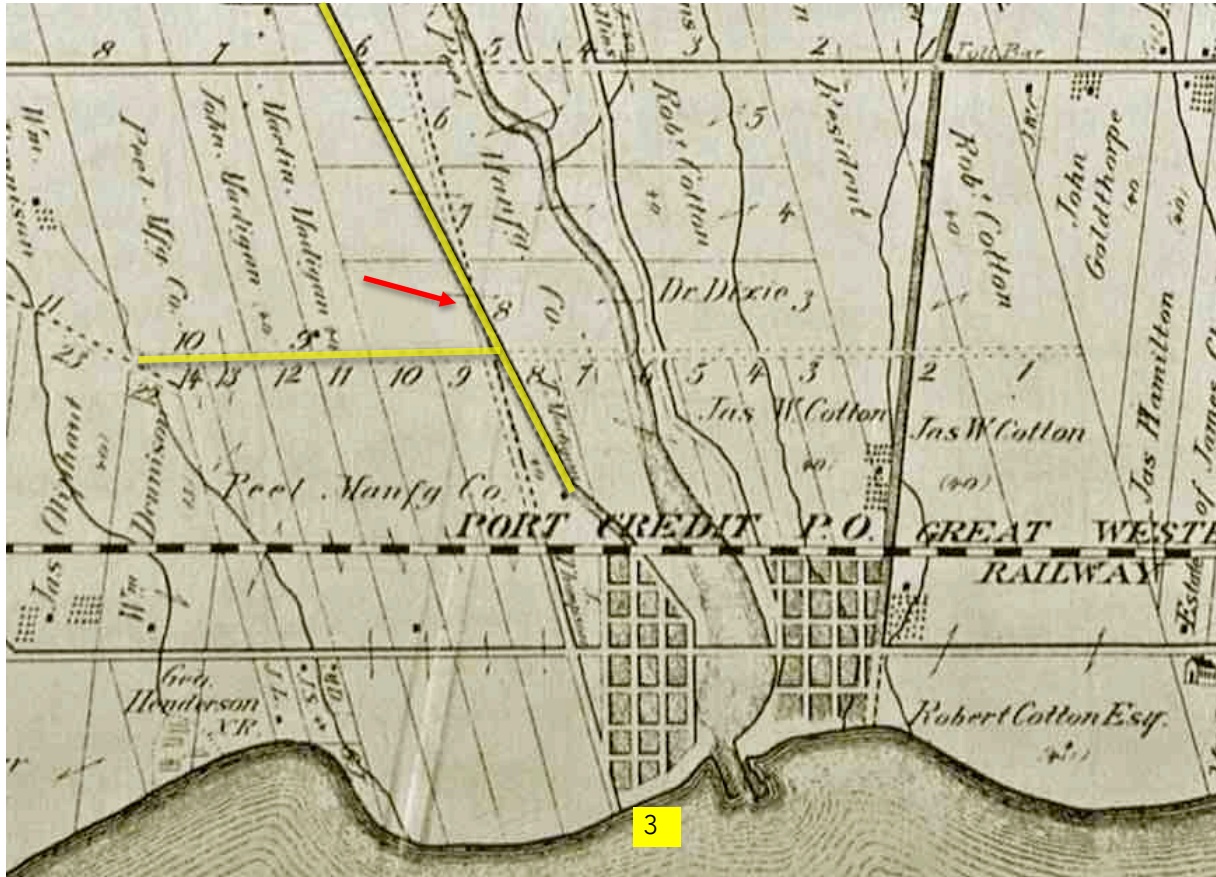
Lot 6, Range II CIR

Historically, the subject property is located in the area that was reserved on either side of the Credit River for the Mississauga. In 1805 the Crown negotiated a large purchase of these lands from the Mississauga and it was surveyed into 200-acre lots for settlement. This area was divided into three 'Ranges' and identified as the **Credit Indian Reserve (CIR)** in land documents. Lots located in the lower portion of the New Survey (1806) were aligned with the Credit River, rather than the shoreline of Lake Ontario, so the lots are slightly skewed in relation to other lots in Toronto Township. By 1847, the Mississauga had relocated elsewhere and the land was re-distributed by the Crown.



1849 MAP – 1. Mississauga village on the Credit River – 2. Lot 6, Range II Credit Indian Reserve

The subject property is located in **Lot 6 in Range II of the Credit Indian Reserve (CIR)**. This lot, along with adjacent lots, was purchased by **Robert Cotton (1809-1885)**, a major landowner in the Toronto Township and one of the founders of Port Credit. Throughout the 19th and early 20th century this land remained agricultural. Historic mapping from 1859 and 1877 does not show any structures in the location of the subject property. By 1877, Robert Cotton had formed the **Peel Manufacturing Company** and Lot 6 was registered under this name.



1877 MAP – 3. Village of Port Credit – Lot 6 on the earlier mapping is identified on this map as Lot 8 – Robert Cotton was the director of the Peel Manufacturing Company that owned Lots 6, 7 & 8 in Range II

Addison Perrin Farmhouse (1888)

In 1888, **Addison Perrin** owned a farmstead on Lot 6 that included the subject property. The Addison Perrin farmhouse is still standing at 1262 Mississauga Road and is now known as the Perrin-Bonner-Bluett Residence, to reflect the name of the original and subsequent owners of the property. In the 20th century, the agricultural land around the house was subdivided for residential development. The portion where the subject property is located was sold in 1958 by Ralph Bonner.

S.B. McLaughlin & Associates (Plan 599, 1958)

In 1958, land records show that **Ralph Bonner** sold land in Lot 6 to **S.B. McLaughlin Associates Ltd.** That same year, McLaughlin Associates registered a plan of subdivision known as **Plan 599** that included the land where the subject property is located. S.B. McLaughlin Associates Ltd. was one of the largest land

developers in Mississauga in the 1960s and 1970s. The company was formed in 1957, built residential subdivisions through the 1960s, and diversified into resorts and commercial development in the 1970s. By 1978 the corporate assets were over \$250 million.

1376 Mississauga Road

The subject property is associated with post-WWII suburban development along Mississauga Road on former agricultural land. The **1954 Aerial Photo** shows the rural character of this section of Mississauga Road beginning to be transformed and there are two new streets off Mississauga Road lined with dwellings. At this time, the area where the subject property is located was still being used as an agricultural field. The **1969 Aerial Photo** shows new subdivisions built on the remaining agricultural lands on either side of Mississauga Road and the subject property has been built by this time. The **1974 Topographical Map** shows the area completely transformed into the current street pattern of residential streets. The subject dwelling was therefore built sometime between 1958, when Plan 599 was Registered and 1969, when it appears on aerial photos.



1954 AERIAL PHOTO - agricultural



1969 AERIAL PHOTO – the subject dwelling appears in this photo



1974 TOPOGRAPHICAL MAP – the modern street layout is established – the subject dwelling was built in the 1960s and is associated with Post-WW II suburban development on either side of Mississauga Road

5.0 CULTURAL HERITAGE VALUE

Mississauga Road Scenic Route Cultural Landscape

The table below evaluates the subject property as a component of the *Mississauga Road Scenic Route Cultural Landscape* according to attributes identified in the City of Mississauga's *Cultural Landscape Inventory* (2005):

CHL INVENTORY - CRITERIA	PROPERTY: 1376 Mississauga Road
LANDSCAPE ENVIRONMENT	
Scenic & visual quality	The subject property does not have unique scenic or visual qualities. It is level with Mississauga Road at the front and slopes along the east side and at the back. There is a shallow wooded gully between the subject property and the adjacent heritage property at 1262 Mississauga Road.
Horticultural interest	Mature trees in the front yard include a mix of deciduous and coniferous trees that is typical of a post-WWII residential property.
Landscape design, type & technological interest	The front yard is a typical suburban yard that contains a lawn, mature trees and vegetation and a paved driveway.
HISTORICAL ASSOCIATIONS	
Illustrates a style, trend or pattern	The subject dwelling is a typical Raised Ranch style suburban house that was built in the 1960s by S.B. McLaughlin Associates Ltd, one the largest residential developers in Mississauga at the time.
Illustrates an important phase in Mississauga's Social or Physical Development	The subject dwelling is associated with suburban development along Mississauga Road in the 1950s & 1960s.
BUILT ENVIRONMENT	
Consistent scale of built features	The subject dwelling is a 2-storey single detached dwelling with a large front yard.
OTHER	
Historical and Archaeological Interest	The subject property is located on land that was sub-divided from the Perrin-Bonner farmstead in 1958 for residential development. Historic mapping indicates that the former land use was agricultural. There are no visible above ground features with historical interest. An archaeological assessment has not been done.

Evaluation According to Ontario Regulation 09/06

According to Subsection 1 (2) of *Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest*, a property may be designated under section 29 of the *Ontario Heritage Act* if it meets one or more of the following criteria:

CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
1. Design of physical value:		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	The property contains a Raised Ranch style dwelling that was built in the 1960s in large numbers across North America.
ii) Displays a high degree of craftsmanship or artistic merit	NO	It is an example of mass-produced suburban housing from the 1960s.
iii) Demonstrates a high degree of technical or scientific achievement	NO	It is a 2-storey frame dwelling with aluminum siding.
2. Historical or associative value		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	NO	It does not have any associations that are significant to a community.
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	NO	It does not have any potential to yield information that contributes to an understanding of the community.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	NO	It does not reflect the work or ideas of an architect, artist, builder, designer or theorist.
3. Contextual Value		
i) Is important in defining, maintaining, or supporting the character of an area	NO	It is a typical residential building in a residential area.
ii) Is physically, functionally, visually, or historically linked to its surroundings	NO	It is associated with post-WWII residential development on former farmland.
iii) Is a landmark	NO	It is a modest private residence.

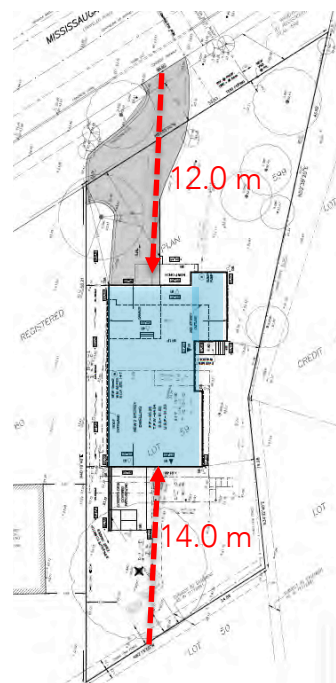
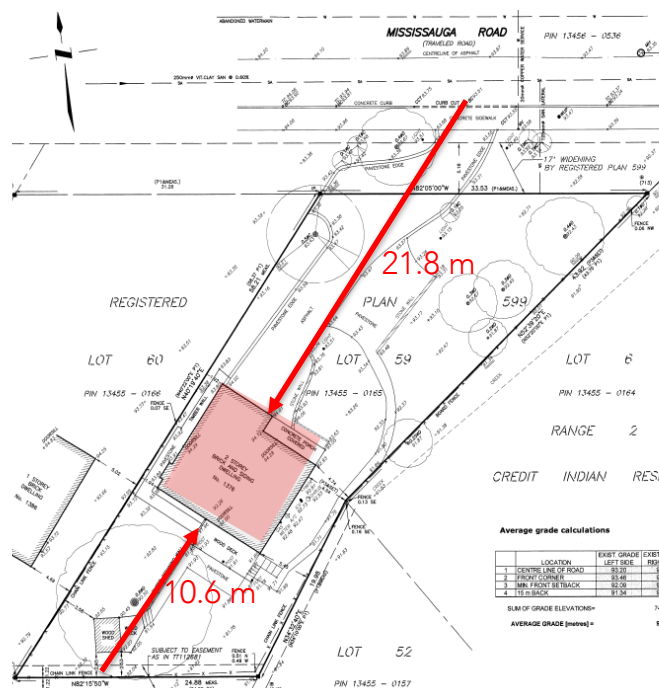
Summary: The subject property does not meet any criteria for Designation under the Ontario Heritage Act.

6.0 PROPOSED DEVELOPMENT

See Appendix C: Architectural Drawings

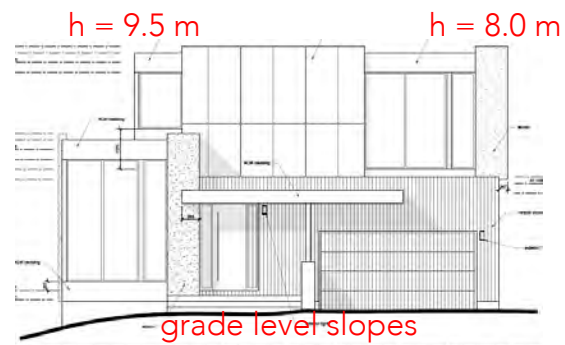
The proposed development includes demolition of the existing 2-storey Raised Ranch style dwelling and construction of a new Modern style dwelling. The new footprint will be approximately twice the size of the existing footprint and the new dwelling will be built closer to Mississauga Road. The placement of the larger dwelling on the lot is constrained by the narrowness of the lot and the fairly shallow back yard.

In order to maintain reasonable setbacks on either side of the house and to create a larger back yard to increase the private amenity space behind the house, the new house will extend into a portion of the existing front yard. A 12.0 m setback will be maintained and there will be no tree removals. The rear yard will be increased from a 10.6 m setback to a 14.0 m setback. Variances will be required for the side yards but there are no heritage concerns because the existing west side yard is already narrow and the east property line splays outward towards Mississauga Road. The adjacent heritage building at 1262 Mississauga Road is not situated close to this property line and is well buffered by a large yards on all sides and trees planted around the perimeter of the property.



Variances will be required for the height and length of the building and for the side yards. These variances are needed because of the narrow shape of the lot and the sloping grade at the back and on the east side. Impacts on heritage resources, including the Mississauga Scenic Route and the adjacent Designated heritage property are negligible. Comments are provided in the charr below: (see next page)

VARIANCE	PRPROPOSED	PERMITTED	HERITAGE COMMENT
Height	TBD, grading not finalized	7.5 m	A variance is required because of the grading of the site that results in greater heights at the back and on the east side. The height of the front elevation is estimated to be approximately 8.0 m on the west side and 9.5 m on the east side. Therefore, the proposed dwelling will be about 8.0 m at the level of Mississauga Road and therefore not considered to be a heritage concern.
Building Length	22.89 m	20.0 m	This is a long narrow lot that can accommodate the proposed building length without requiring variances for the front or back yard setbacks. The back yard setback will exceed the minimum.
East side yard	3.82 m	5.92 m	The existing side yard is non-conforming (4.5 m existing)
West side yard	2.68 m	2.41 m	The existing side yard is non-conforming (1.92 m existing)



FRONT ELEVATION – the roof height at the level of Mississauga Road is approximately 8.0 m

The design of the house is a good example of Modern design. The massing is well articulated with a series of overlapping cubic volumes. The primary cladding materials are wood siding, concrete and stucco and there are large areas of glazing that are framed with aluminum composite panels. The palette is a contrast between dark and light tones, the wood siding, concrete and stucco are light toned and the aluminum window frames are black or dark brown.

The front entrance faces Mississauga Road and has a cantilevered canopy overhead. There are four steps up to the front door and landscaping around the foundation. The garage is integrated into the design and has a wood door that faces Mississauga Road. The existing driveway and hammerhead are being maintained. The renderings shows that the intention is to retain all of the mature trees in the front yard.

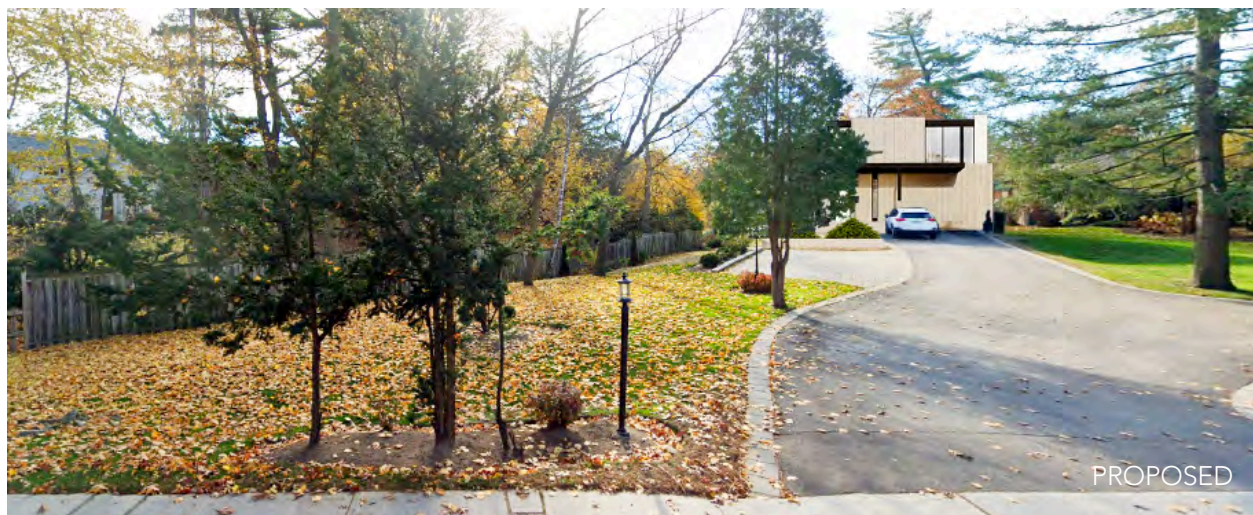


Rear and east side elevation



The east side and rear elevation have the same high quality of design as the main elevation so that the massing is well articulated, through the use of different cladding materials and dramatic contrasts between large areas of wall and large areas of glazing. The site slopes down at the back so the basement level walks out to a covered patio. The renderings show new landscaping in front of the house and in the east side yard consisting of low shrubs, grasses and small specimen trees.

The streetscape provided by SIMPL Design Studio demonstrates that scale of the proposed dwelling is compatible with the scale of adjacent dwellings and the proposed setback allows for ample landscaping in front of the house and retention of existing trees in the front yard. Setbacks on this side of Mississauga Road are very deep and exceed the minimum required under the zoning by-law. The setback of the proposed dwelling exceeds the minimum setback allowed so that it is more contextually appropriate and was revised based on a request from the heritage consultant.



STREETSCAPE – the 2-storey height of the proposed dwelling is compatible with adjacent dwellings and no changes to the frontage on Mississauga Road are proposed – no tree removals are required and the existing driveway and landscaping in the front yard will be retained

7.0 IMPACT ASSESSMENT

Mississauga Road Scenic Route (F-TC-4)

The table below provides an analysis of potential impacts of the proposed development to heritage values associated with the *Mississauga Road Scenic Route Cultural Landscape (F-TC-4)*:

CRITERIA Cultural Landscape Inventory	ANAYLYSIS
LANDSCAPE ENVIRONMENT	
Scenic and visual quality	NO IMPACT <ul style="list-style-type: none"> The existing dwelling has an exceptionally deep setback from Mississauga Road. The new dwelling will be built closer to Mississauga Road but the proposed setback is consistent with the zoning regulations. Existing trees and landscaping will be maintained and the existing driveway will be utilized. There will no negative impacts on the scenic and visual quality of Mississauga Road Scenic Route.
Horticultural Interest	NO IMPACT <ul style="list-style-type: none"> Mature trees in the front yard that contribute to the Mississauga Road Scenic Route are being maintained. Mature trees along the east property line that contribute to the setting of the adjacent Designated heritage property are being maintained.
Landscape design	NO IMPACT <ul style="list-style-type: none"> A portion of the existing front yard is being built on, but the front lawn and mature trees that contribute to the Mississauga Scenic Route are being maintained.
BUILT ENVIRONMENT	
Consistent scale of built features	NO IMPACT <ul style="list-style-type: none"> An existing 2-storey dwelling is being demolished and replaced with a new 2-storey dwelling
HISTORICAL ASSOCIATION	
Illustrates style, trend or pattern	NO IMPACT <ul style="list-style-type: none"> The existing dwelling to be demolished is a Raised Ranch style house that was built in large numbers in the 1960s
Illustrates important phase in Mississauga's social or physical development	NO IMPACT <ul style="list-style-type: none"> The proposed dwelling represents a renewal of the existing housing stock on a lot that was created in 1958.
OTHER	
Historical or archaeological interest	NO IMPACT <ul style="list-style-type: none"> The proposed dwelling will be built in the same location as the existing dwelling.

Ontario Heritage Act

An analysis of potential impacts of the proposed development using criteria from the *Ontario Heritage Toolkit* is required in the City of Mississauga's *Cultural Landscape Heritage Impact Assessment Terms of Reference*. Potential impacts on the *Mississauga Scenic Route Cultural Landscape* and on the adjacent *Part IV Designated* heritage property at 1263 Mississauga Road are assessed in the table below:

NEGATIVE IMPACTS Ontario Heritage Toolkit	ANALYSIS
Destruction of any, or part of any, significant heritage attributes or features	NO IMPACT <ul style="list-style-type: none"> The existing dwelling to be demolished does not meet any criteria for <i>Designation</i> under the <i>Ontario Heritage Act</i>
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	NO IMPACT <ul style="list-style-type: none"> The front setback is being reduced but an appropriate setback is being maintained.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	NOT APPLICABLE
A change in land use where the change in use that negates the property's cultural heritage value	NOT APPLICABLE
Removal of natural heritage features, including trees	NO IMPACT <ul style="list-style-type: none"> The front lawn and mature trees that contribute to the <i>Mississauga Road Scenic Route</i> are being maintained Mature trees along the east property line that contribute to the setting of the adjacent <i>Designated</i> heritage property are being maintained.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	NO IMPACT <ul style="list-style-type: none"> An existing 2-storey dwelling is being replaced with a new 2-storey dwelling, therefore shadowing is not a concern.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	NO IMPACT <ul style="list-style-type: none"> There will be no impact to the treelined character of the <i>Mississauga Road Scenic Route</i> because existing trees and landscaping in the front yard are being maintained and the existing driveway is being utilized. There will be no impact to views to and from the adjacent <i>Designated</i> heritage property because mature trees along the east property line are being maintained

Land disturbances such as a change in grade that alters soils and drainage patterns that adversely affect cultural heritage resources and/or archeological resources.	NO IMPACT <ul style="list-style-type: none"> The proposed dwelling will be built in the same location as an existing dwelling that will be demolished
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Mississauga Scenic Route Urban Design Guidelines

The design of new dwellings on the *Mississauga Road Scenic Route* are guided by the *Mississauga Scenic Route Urban Design Guidelines*. The table below provides comments on the compatibility of the proposed dwelling with the guidelines:

DESIGN PRINCIPLE Mississauga Scenic Route Urban Design Guidelines		COMMENT
2.1	Zoning By-law	<ul style="list-style-type: none"> Variances will be required for the height, building length and both side elevations. These variances are required because of the narrow shape of the lot and the sloping grade along the east side and at the back of the property. There are no heritage concerns with the variances that are being requested.
2.2	40 m Detached Lots	<ul style="list-style-type: none"> No changes to the existing lot boundaries are proposed.
2.3	Direct Vehicular Access	<ul style="list-style-type: none"> No changes to the existing direct vehicular access from Mississauga Road to the garage is proposed.
2.4	Upgraded Building Elevations	<ul style="list-style-type: none"> The proposed dwelling faces and fronts onto Mississauga Road and has a canopy features, walkway connection and enhanced landscaping The elevations have a high level of design with a variety of high quality building materials, building articulation, windows, and visual interest. The flat roof form has variations in height on the main elevation that add to the visual interest.
2.5	Buffer Roads & Reverse Frontage Lots	Not applicable
2.6	Street Pavement Width	Not applicable
2.7	Residential Complementary Built Form	<ul style="list-style-type: none"> The proposed dwelling is 2-storeys high and the scale and massing is similar to adjacent residential buildings. The proposed front yard setback is consistent with the zoning regulations. The proposed dwelling will not be aligned with the adjacent dwellings due to the skewed orientation of houses on this part of Mississauga Road. The existing dwelling on the property is not aligned with the adjacent dwellings. There are no heritage concerns. There will be no change to the west side yard setback. There will be a slight reduction in the east side yard. There are no heritage concerns.

		<ul style="list-style-type: none"> • There will be a slight increase in the rear yard setback • There will be no impact on adjacent neighbours with respect to overshadow or overlook.
2.8	No Projecting Garages	<ul style="list-style-type: none"> • The proposed garage does not project and is flush with the main building façade. • The garage is approximately 50% of the width of the main elevation because this is a narrow lot and the width of the main elevation is constrained. There are no heritage concerns.
2.9	On-site Turn-arounds	<ul style="list-style-type: none"> • The existing single entrance from Mississauga Road will be maintained • The existing driveway and on-site turnaround hammerhead will be maintained
2.10	Tree Preservation	<ul style="list-style-type: none"> • Existing trees will be maintained • New landscaping that will enhance the property is proposed • A 3 m wide landscape buffer will be maintained on all property lines to preserve on-site and adjacent trees
2.11	Landscape, Cultural and Heritage Features	<ul style="list-style-type: none"> • the front lawn and mature trees that contribute to the Mississauga Scenic Route will be maintained
2.12	Utility Location	Not applicable
2.13	Grading and Retaining Walls	<ul style="list-style-type: none"> • The site slopes on the east side and the east side yard is approximately 1.0 m lower than the west side yard. There are existing retaining walls that will be removed. • Detailed information regarding the final grading and new retaining walls (if necessary) will be submitted as part of the regular permit process to ensure that the grading is compatible with the grades of adjacent properties. • If new retaining walls are required, they will be located in the east side yard behind the house, so there are no heritage concerns.
2.14	Enhance Connections	Not applicable

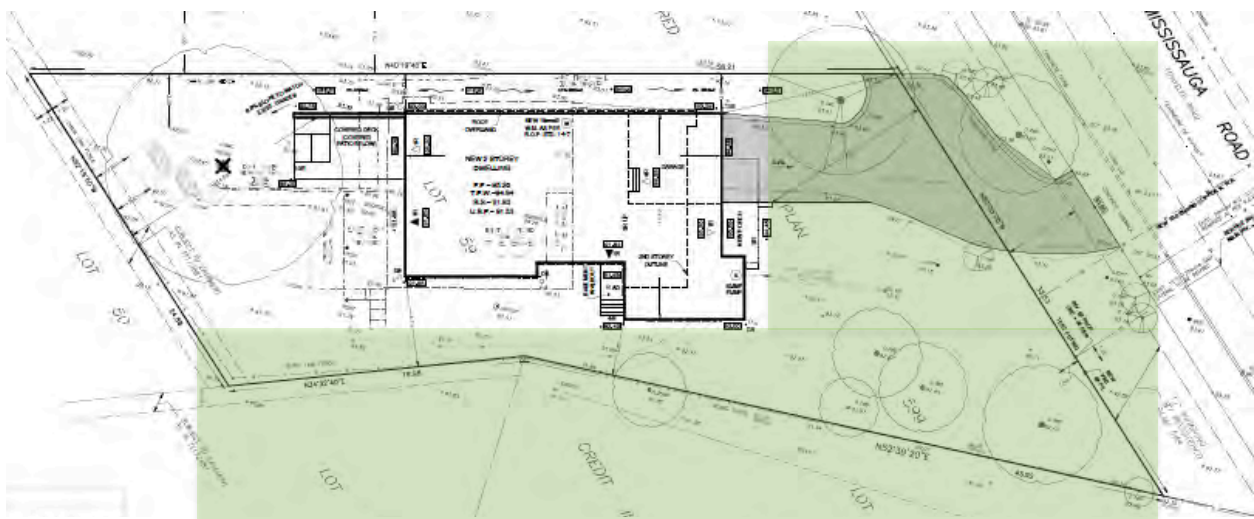
8.0 CONCLUSIONS & RECOMMENDATIONS

The proposal includes demolition of an existing 2-storey residential dwelling built in the 1960s that does not meet any criteria for Designation under the *Ontario Heritage Act* and construction of a new 2-storey dwelling. The scale of the proposed dwelling is compatible with adjacent dwellings on Mississauga Road and will not have negative impacts on the Mississauga Scenic Route. A portion of the front yard will be built on to accommodate the proposed dwelling but no variance for the front setback will be required and no tree removals are proposed. Given the skewed orientation of the adjacent houses, the setback of the proposed dwelling seems appropriate for this location and will not have adverse impacts on the Mississauga Road Scenic Route or on the adjacent Designated heritage property at 1262 Mississauga Road. A generous setback will be maintained, no trees will be removed, and the existing driveway from Mississauga Road will be utilized.

Construction of the proposed dwelling will have no negative impacts on the adjacent Designated heritage property at 1262 Mississauga Road because of the skewed alignment of both properties and because there is a shallow wooded gully between them. Furthermore, the heritage building is situated on the east side of the lot and is physically distanced from the subject property by a large side yard. Therefore, protecting trees on the adjacent Designated heritage property at 1262 Mississauga Road is recommended to maintain the wooded area that provides a visual buffer and contributes to character of that property.

It is therefore recommended the following be provided to heritage staff for review the prior to final site plan approval:

1. **Arborist Report** that includes tree protection measures for existing trees in front of the house that contribute to the Mississauga Road Scenic Route and existing trees along the east property line that screen the adjacent Designated heritage property at 1262 Mississauga Road.



PROPOSED SITE PLAN - maintain and enhance existing trees and landscape in the shaded areas

9.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

10.0 SOURCES

- City of Mississauga, Cultural Landscape Inventory (January 2005).
 -----, Terms of Reference for Cultural Landscape Heritage Impact Assessments
 -----, Mississauga Scenic Route Urban Design Guidelines (2017)
- Dieterman, Frank A. *Mississauga, The First 10,000 Years* (Mississauga, 2002)
- Gibson, Marian M. *In the Footsteps of the Mississaugas* (Mississauga, 2006)
- Ontario Ministry of Tourism & Culture, *Ontario Heritage Tool Kit* (2006)

APPENDIX A: PHOTO DOCUMENTATION



VIEWS FROM MISSISSAUGA ROAD



STREETVIEW - shallow gully & wooded area along the east property line

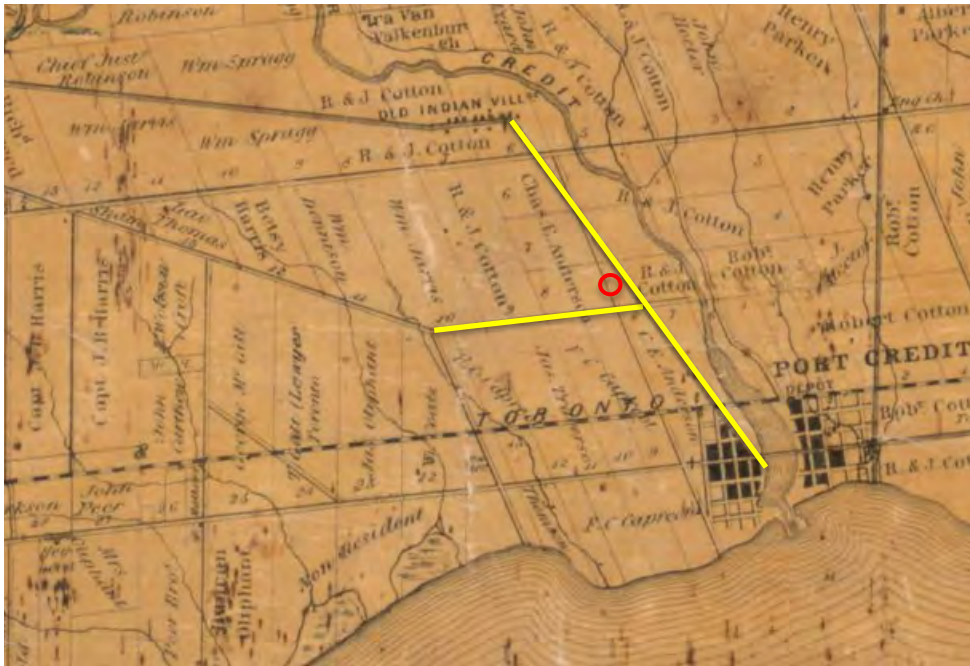


AERIAL VIEW - irregular lot shape



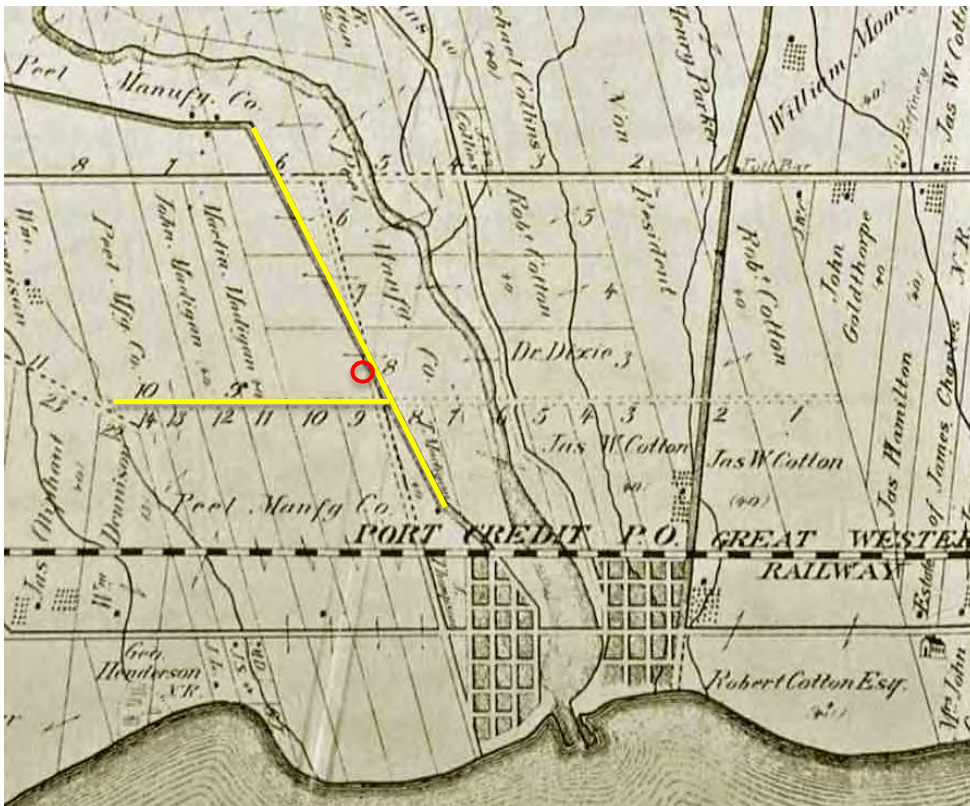
EXISTING DWELLING TO BE DEMOLISHED – 2-storey Raised Ranch style dwelling built c.1960s

APPENDIX B: HISTORIC DOCUMENTATION



1859 TREMIANE MAP – no structures

*Mississauga Road & Indian Road highlighted



1877 COUNTY ATLAS – no structures



1954 AERIAL PHOTO – no structures – agricultural field



1969 AERIAL PHOTO – existing dwelling shown

DATE PLAN REGISTERED 2 June 1958

OWNERS S.B. McLaughlin Assoc. Ltd.

SHEET NO. 1

LOT NO. 59

TOWNSHIP OF TORONTO

STREET Mississauga Rd.

LOTS SUBDIVIDED Pt. 6, R. 2, C.I.R.

PLAN NO. 599

S. HART & CO.
LIMITED
ONE
COLUMBIA
SHEET
NO. N 6574

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
112,681	Easement	24 June 1958	7 Aug. 1958	S.B. McLaughlin Associates Limited	The Bell Telephone Co.	\$1.00 c. near 4 & O.L.	
114,686	Agmt.	27 Jan. 1958	23 Oct. 1958	S.B. McLaughlin Associates Limited, et al.	The Corp. of Imp. Toronto.	\$550.00 per lot. All & O.L.	
123,575	Release	29 Sept. 1959	8 Oct. 1959	The Corp. of the Imp. of Toronto	S.B. McLaughlin Assoc. Ltd. et al.	1100.00	all & O.L. released from No. 114,686
123,995	D.M.	25 Sept. 1959	23 Oct. 1959	Ralph S. Bonner & Harry C. Bonner	S.B. McLaughlin Assoc. Ltd.	\$400.00	all & O.L. discharged from No. 108,879 17/2/76
123,996	Grant.	2 Oct. 1959	23 Oct. 1959	S.B. McLaughlin Associates Limited	Lepins Construction Co. Limited	\$2.00 c.	all & O.L. Restrictions.
123,997	MORTGAGE	2 Oct. 1959	23 Oct. 1959	Lepins Construction Co. Limited	S.B. McLaughlin Associates Limited	\$950.00	all & O.L. 13/1/70
126,128	D.M.	18 Jan. 1960	24 Jan. 1960	Ralph S. Bonner & Harry C. Bonner	S.B. McLaughlin Assoc. Ltd.		discharging No. 108,879
127,761	D.M.	7 Apr. 1960	13 Apr. 1960	S.B. McLaughlin Assoc. Limited	Lepins Construction Co. Limited		discharging No. 123,997 13/1/70
662 BY LAW 11 SEPT 1961 1 DEC 1961 RE SUBDIV CONTROL							
183,734	Grant	4 June 1965	2 Aug. 1965	Lepins Construction Co. Limited	Bernard Rajuvar & Anne Rajuvar as joint tenants	2.00 c. All	
183,735	MORTGAGE	1 June 1965	2 Aug. 1965	Bernard Rajuvar & Anne Rajuvar	Lepins Construction Co. Limited	6,000.00	All 14/6/79
186,404	MORTGAGE	1 Sept. 1965	21 Sept. 1965	Bernard Rajuvar & Anne Rajuvar	The Waterloo Trust and Savings Company	26,000.00	All 14/6/79
189,441	D.M.	18 Nov. 1965	22 Nov. 1965	Lepins Construction Co. Limited	Bernard Rajuvar & Anne Rajuvar		discharging No. 183,735 14/6/79
189,442	D.M.	14 Oct. 1965	22 Nov. 1965	The Waterloo Trust and Savings Company & Anne Rajuvar	Bernard Rajuvar & Anne Rajuvar		discharging No. 186,404 14/6/79
189,443	MORTGAGE	13 Oct. 1965	22 Nov. 1965	Bernard Rajuvar & Anne Rajuvar	The Waterloo Trust and Savings Company	15,000.00	All KNADAR
189,444	Grant	14 Sept. 1965	22 Nov. 1965	Bernard Rajuvar & Anne Rajuvar	David R. McBride	2.00 c. All.	
194,230	MORTGAGE	24 June 1970	2 July 1970	David R. McBride	The Toronto D. Bank		DISCHARGED BY NO. 250,758 KNADAR
302,158 VS	Deposit		18 Feb. 1974	all & O.L.			

DATE PLAN REGISTERED 2 June 1958

OWNERS: S.B. McLaughlin Assoc. Ltd.

TOWNSHIP OF TORONTO

SHEET NO. 1

LOT NO. 59

STREET Mississauga Rd.

LOTS SUBDIVIDED Pt. 6, R. 2, C.I.R.

PLAN NO. 599

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	CONSIDERATION	REMARKS
35075815	D.M.	= =	9 May 1975	Norman A. Best	David R. McBride		Discharging No. 189443 KW002
467416	D.M.	30 Jan 1978	16 Mar 1978	The Canada Trust Company 1796/445	Bernard Rajuvar & Anne Rajuvar		Discharging No. 189443 KW002
554775	MORTGAGE	26 Aug 1980	14 Sept 1980	Eric K. Mackenzie	The Dominion Life Assurance Company	61,000.00	DISCHARGED BY # 730674 ASST. DEP. LAND REG. JK
554776	Grant	25 Aug 1980	14 Sept 1980	David R. McBride & Joan P. McBride	Eric K. Mackenzie Doreen E. Mackenzie as joint tenants	2.00 + c	000.
618047	Grant		01.09.82	MACKENZIE, Eric K. MACKENZIE, Doreen E.	GILFILLAN, Frank GILFILLAN, Dorothy as J.T.	\$ 2.00	All
618048	Grant		01.09.82	GILFILLAN, Frank GILFILLAN, Dorothy	MACKENZIE, Doreen E.	\$ 29,000.00	All Discharged by 731699 Asst. Dep. Land Reg.
426213	MORT.		05.09.85	GILFILLAN, Frank GILFILLAN, Dorothy	ROYAL TRUST Corp. of Canada 839527	20,000.00 Asst. Dep. Land Reg.	All

NOTICE

All Document/Instruments
subsequent to

MAR 18 1997

are recorded in the automated abstract
Index set out in subsection 21(5) of the
REGISTRY ACT

MAR 04 1981

MICROFILMED

SHEET NO. 1
 LOT NO. 6
 CON. NO.
 RANGE NO. 2 C.I.R.

TOWNSHIP OF TORONTO

SHEET NO. 1
 LOT NO. 6
 CON. NO.
 RANGE NO. 2 C.I.R.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
38700	Grant	8 Sep 1939	8 Oct 1938	Josephine Bonner	Ralph Bonner	.61	1 000	L.A.A. 150' frontage on Miss. Road.
45023	D.M.	1924	26 Jan 1943	John Thomson et al exors	Josephine W. Bonner et al			discharge No. 174-27
45251	D.M.	19 Dec 1944	15 Jan 1945	Stephen R. Perrin Edith C. M. Van Wyck, exor. James R. Van Wyck	Josephine W. Bonner			discharge No. 25321 - Lease con. attached
45858	Grant	30 Sep 1945	13 July 1945	Josephine Bonner	Rosa L. Beluett		\$250.00	paid r.s.b.
49390	MURKIN	1 Feb 1947	6 Feb 1947	Wm. J. Burns et al	Grace Smith & Mary E. Burns		\$4000.00	paid r.s.b. sub. H.
49391	D.M.	12 Jan 1947	6 Feb 1947	Wm. J. Burns	Wm. J. Burns			discharge No. 31100
390	By-Law	17 June 1948	25 June 1948	Township of Toronto	Urban Development area under Planning Act 1946			Urban Development area under Planning Act 1946
341	By-Law	14 Aug 1948	27 Aug 1948	Township of Toronto	Urban Development area under Planning Act 1947			Urban Development area under Planning Act 1947
53696	Grant	11 Sept 1948	29 Sept 1948	Josephine W. Bonner	Ralph S. Bonner & Harry E. Bonner	3487 sq ft		Sketch of 1/4 section A. Book Sketch Harry E. Bonner tenants in common. attached Comm. at intersection of Red Unit of Rd. Alice Blvd R. 2nd R. with S. Unit of Lot 6. There N 38° 15' E 150' X W Unit of Mississauga Rd. X N 82° 5' W 262' 7" X S 36° 33' W 185' X S 55° 48' W 170' 6" X N 31° 53' W 207' 3" X N 52° 13' E 167' 1" X N 82° 5' W 207' 3" X S 38° 15' W 207' 6" X 118' 2' S 30° 1' W 138° 3' E 207' 6" X 118' 2' S 30° 1' W 138° 3' E 129' 1" X S 70° 5' E 129' 1" X 2nd R. etc.
55066	D.M.	17 Jan 1949	31 Jan 1949	Grace Smith & Mary E. Burns	William S. Burns			discharge No. 49390
361	Plan	16 Mar 1949	31 Mar 1949	William S. Burns	subdivision of Part of L.			
55165	D.M.	17 Jan 1949	31 Jan 1949	Harrold J. J. J.	Harry E. Bonner			discharge No. 30721
1896	Part	18 Jan 1954	18 Jan 1954	William S. Newmerch	Est. - Grand Concert			Part of L. 37311-37616
79889	Grant	17 Mar 1954	18 Mar 1954	Ralph Bonner	Ralph Bonner & Margie Bonner	.61 ac		Part of L. 37311-37616 Margie Bonner, as joint tenants with Ralph Bonner V. 185 207' 3" X 118' 2' S 30° 1' W 138° 3' E 129' 1" X S 70° 5' E 129' 1" X 2nd R. etc.
81232	Grant	24 Mar 1954	6 Apr 1954	John H. Reid exor. William S. Newmerch et al	Betty J. Lasker			Part of L. 37311-37616 V. 185 207' 3" X 118' 2' S 30° 1' W 138° 3' E 129' 1" X S 70° 5' E 129' 1" X 2nd R. etc.
80052	BY-LAW	1 June 54	9 June 54	Betty J. Lasker et al	William S. Newmerch			Part of L. 37311-37616 V. 185 207' 3" X 118' 2' S 30° 1' W 138° 3' E 129' 1" X S 70° 5' E 129' 1" X 2nd R. etc.
95339	Part	5 Oct 1955	12 Oct 1955	Treas. & Council	William S. Newmerch			Part of L. 37311-37616 V. 185 207' 3" X 118' 2' S 30° 1' W 138° 3' E 129' 1" X S 70° 5' E 129' 1" X 2nd R. etc.
95339	Part	10 Oct 1955	10 Oct 1955	John H. Reid et al	Betty J. Lasker			Part of L. 37311-37616 V. 185 207' 3" X 118' 2' S 30° 1' W 138° 3' E 129' 1" X S 70° 5' E 129' 1" X 2nd R. etc.

SHEET NO. 1

LOT NO. 6

CON. NO.

RANGE NO. 2 C.I.R.

TOWNSHIP OF TORONTO

LOT NO. 8

CON. NO.

RANGE NO. 2 C.I.R.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
100000	Agreat.	12 Oct 1956	31 Oct 1956	Hab. Land Developers Ltd. Corp. of the Limited Betty J. Fasken et al.	The Corp. of the Corp. of Toronto et al.	14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between	100.32 x sw 142.77' x w 351.52' x pfc	re services. Part - comm. N limit of Mississauga rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between
101017	Agreat	14 Nov 1956	14 Dec 1956	H. H. Armstrong Limited	The Corporation of The Township of Toronto	17.45 chs. to sledge of Credit R. x nw 4.40 chs x sw 4.60 chs x nw 16.20 chs x E 7.76 chs x pfc 120'	100.32 x sw 142.77' x w 351.52' x pfc	re services Part - comm. intersection of new side of rd. allec. between R 14.2 with N limit of Springfield Gravel Rd. Thence NE 17.45 chs. to sledge of Credit R. x nw 4.40 chs x sw 4.60 chs x nw 16.20 chs x E 7.76 chs x pfc 120' except Part - Comm. N limit of Miss. rd. 20.48' x w. of N limit of Mississauga rd. allec. between R 14.2 thence NE 18.58' x NW 12' x NW 234' x SW 347.5' x SE 305.8' x pfc
570	Rec. Dep. out	23 Jan 1957	12 Feb 1957	H. H. Armstrong Limited	subdivision Part dot. 6 R 200 chs.	12.00	100.32	Part - Comm. intersection of new side of rd. allec. between R 14.2 with N limit of Springfield Gravel Rd. Thence NE 17.45 chs. to sledge of Credit R. x nw 4.40 chs x sw 4.60 chs x nw 16.20 chs x E 7.76 chs x pfc
101867	Grant	20 Oct 1956	12 Feb 1957	Harold H. Armstrong et al.	H. H. Armstrong Limited	12.00	100.32	Part - Comm. intersection of new side of rd. allec. between R 14.2 with N limit of Springfield Gravel Rd. Thence NE 17.45 chs. to sledge of Credit R. x nw 4.40 chs x sw 4.60 chs x nw 16.20 chs x E 7.76 chs x pfc
102365	Q.C.	3 Oct 1956	14 Mar 1957	Betty J. Fasken Limited	Hab. Land Developers Limited	100.32	100.32	Part - Comm. N limit of Mississauga rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between
102366	Grant	3 Oct 1956	14 Mar 1957	Betty J. Fasken Limited	Hab. Land Developers Limited	100.32	100.32	Part - Comm. N limit of Mississauga rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between
102367	Grant	3 Oct 1956	14 Mar 1957	Betty J. Fasken Limited	Hab. Land Developers Limited	100.32	100.32	Part - Comm. N limit of Mississauga rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between rd. 14.76 chs. w. of rd. allec. between

SHEET NO 2
LOT NO 6
CON. NO
RANGE NO 2 C.I.R.

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SHEET NO. 2
 LOT NO. 6
 CON. NO.
 RANGE NO. 2 C.I.R.

TOWNSHIP OF TORONTO

SHEET NO. 2
 LOT NO. 6
 CON. NO.
 RANGE NO. 2 C.I.R.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
152877	DM	27 Jan 1963	9 Nov 1963	James H. Lindsay	James L. Lindsay			discharging No. 152877
152880	DM	27 Jan 1963	9 Nov 1963	W. A. Lindsay & Robert Lindsay	Alexander & Mary Stuebke			discharging No. 152880
152881	MORTGAGE	25 Jan 1963	19 Nov 1963	Alexander Stuebke & Mary Stuebke	The Incorporated Syndicate of the Owners of the	392 9.00.00		Part as in No. 152881
7097445	Grant	22 Apr 1968	25 Apr 1968	John D. Bradley & Bettie J. Bradley	Roy J. Whitson		2.00 x c.	Part of orig. ad. alle. running through lots 6, 7, 8 & D.L. so in No. 140345 Tog. with up.
17076015	Grant	17 May 1971	25 May 1971	Rose C. Blunt	Elizabeth De Boer		2.00 x c.	Part as in No. 458555 except pgs is defined as 11.19' E. of N.W. 1/4 of lot 6.
330379	MORTGAGE	78 Sept 1973	20 Sept 1973	Elizabeth De Boer	Bank of Montreal		(31.000.00)	except pgs is defined as 11.19' E. of N.W. 1/4 of lot 6.
255578	DM	26 Mar 1973	8 April 1973	Alexander Stuebke of the District of Huron	Alexander Stuebke & Mary Stuebke			discharging 152881
36206145	DM	23 July 1975	7 Aug 1975	Bank of Montreal	Elizabeth De Boer			discharging No. 23037915
38617145	Mortgage	23 March 1976	23 March 1976	John Macdonald & son	Ralph Bonner and Margie Bonner		651.25	Part as in No. 77889
38678645	DM	27 March 1976	27 March 1976	John Macdonald & son	Ralph Bonner and Margie Bonner			discharging No. 38617145
15403362	Grant	17 Aug 1976	26 Aug 1976	Treasurers Consent	Ralph J. Bonner	Est.		re 79889
15406271	Grant	1 Sept 1976	20 Sept 1976	Marjorie Bonner	Parrhena Hubjer	\$200 x c		Part Comm. 20' x NE from NE L lot 6 Plan 599. Thence SE 150' SW 207' 6" x NW 150' x NE 207' 6" x 207' 6" x 207' 6"
15408332	MORTGAGE	2 Sept 1976	7 Oct 1976	Parrhena Hubjer	Bank of Montreal		2.00 x c	Part as in No. 15406271

25x10

32x10

25x10

0000 0000 0405

SHEET NO.

LOT NO.

CON. NO.

RANGE NO.

Mississauga

SHEET NO.

LOT NO.

CON. NO.

RANGE NO. 2.C.1.R

REMARKS
 10/1/78
 NO. 5248

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
425873	REDEMPTION	4 Apr. 1977	5 Apr. 1977	Parthena Hubjer	Zdravko Planina		30,000.00	Part assign no. 504 DISCHARGED BY NO. 463929 U.S. 406 271
462745	MORTGAGE	17 Jan. 1978	30 Jan. 1978	Parthena Hubjer, et al	Community Trust Company		72,000.00	Part assign no. 504 Discharged by # 711423 Asst. Dep. Land Reg.
463929	O.M.	12 Jan. 1978	10 Feb. 1978	Zdravko Planina	Parthena Hubjer			Discharging No. 425873
468770	O.M.	2 Mar. 1978	23 Mar. 1978	Bank of Montreal	Parthena Hubjer & Ronald Hubjer			Discharging No. 463929
487816	MORTGAGE	27 Aug. 1978	31 Aug. 1978	Parthena Hubjer, et al	Zdravko Planina		30,000.00	Part assign no. 504 DISCHARGED BY NO. 54873 No. 504
499559	MORTGAGE	27 Sept. 1978	7 Dec. 1978	Elizabeth Bilac (formerly Elizabeth De Boer)	Bank of Montreal		2,000.00	Part assign no. 504 DISCHARGED BY NO. 54873 No. 504
504447	Mortgage	25 Apr. 1979	26 Apr. 1979	Alejo Prime	Parthena Hubjer, et al		3,873.00	Part assign no. 504 VACATED BY NO. 539671 ADLR UR 96.10.07
568903	Cont. of Action	21 Mar. 1979	21 Mar. 1979	Alejo Prime (P)	Parthena Hubjer & Ronald Hubjer (P)			VACATED BY NO. 539671 ADLR UR 96.10.07
510196	MORTGAGE	14 Mar. 1979	2 Apr. 1979	Alexander Blatnik, and Mary Blatnik	Jet Lower Credit Union Limited		15,000.00	Part assign no. 504 NE 1501.6' x NW 712.4' to p. of Blatnik NW 110' x SW 208' to XSE 110' x NE 208' to p. of (592.000) ADLR UR 96.10.07
539671	Cont. of Action	27 Dec. 1979	15 Jan. 1980	Alejo Prime (P)	Parthena Hubjer and Ronald Hubjer (P)			Part assign no. 504 ADLR UR 96.10.07
568733	O.M.	7 Jan. 1981	15 Jan. 1981	Zdravko Planina	Parthena Hubjer			Discharging 487816
568734	MORTGAGE	12 Jan. 1981	13 Jan. 1981	Parthena Hubjer, et al	Canadian Imperial Bank of Commerce		5,000.00	Part assign no. 504 ADLR UR 96.10.07
659824	Mort	06.10.83		HUBJER, Parthena HUBJER, Ronald 3rd part	THE Toronto Dominion Bank		2,000.00	Part assign no. 504 ADLR UR 96.10.07

25x10

32x10

25x10

0000 0000 0406

 SHEET NO. 4
 LOT NO. 6
 CON. NO.
 RANGE NO. 2 C.P.R.

 SHEET NO. 4
 LOT NO. 6
 CON. NO.
 RANGE NO. 2 C.P.R.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
704292	Mort.	23-01-85	01/11/85	HUBJER, Ruthna	COMMUNITY Trust Co. Ltd.		\$157,000.00	Part as in 406271 vs.
711474	Agmt	18-04-85		THE Ontario Dominion	COMMUNITY Trust Co. Ltd.			merge no. 406271 part paid
	Tabl 971			Same				15-10-892 MR ROLP
714271	Mort	15-02-86		HUBJER Parthena	Leykin Gladwin Leykin Tamara Joint with right of Survivorship		40,000.00	pt. as in 406271 vs.
							74,420	Asst. Dep. Land Reg.
							18.01.90	
760739	Short	18-07-86		DLUTEK, Mylenda DLUTEK, Mary	RYNARD, Barbara			Part as in 110865 (.592 ac)
792230	See Below							
874889	Mort	06-12-88		RYNARD, Barbara	THE Royal Trust Corp. of Canada		\$100,000.00	Part, as in 760739
					Discharged by # 951920 Asst. Dep. Land Reg. 25-10-18			.592 acres
			yr mth day					
892040	Mort	89-04-28		HUBJER Parthena	MENDYK, Fred		98,317.76	part as in 406271
892041	Mort	89-04-28		HUBJER Parthena	COMMUNITY Trust Company Ltd.		700,000.00	part as in 406271
911807	Agreement	89-09-29		RYNARD, Barbara J	CITY OF MISSISSAUGA			part as in no 760739
43R-17476	R-Plan	89-12-19						Pts 1 & 2 -----760739
792230	Mort	87-03-25		HUBJER Parthena	VANSTONE Margery		40,000.00	part as in VS 406271
entered	18-07-20							

25x10

32x10

25x10

Abstract Index
Répertoire par lotLot 6Plan/Concession 2 C.I.R.Page 5

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM DD AA MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
944528	Mort	90 07 18	RYNARD Barbara	Royal Trust Co. of Canada	200,000.00	Part Designated as Pts 1 and 2 on 43R-17476
			Discharged by #266459 Asst. Dep. Land Reg. 09/04/03			
944529	Agreement	90 07 18	VANSTONE Margery	HUBJER Parthena	40,949.94	Re: No. 792230
957931	Grant	90 12 12	RYNARD, Barbara	THE City of Mississauga	2.00	part designated as pt. 1 on 43R-17476
957932	Pr D.M.	90 12 12	ROYAL Trust Corp. of Canada			discharging from 944528 ADL 96 10-07
958460	Mort	90 12 18	HUBJER Parthena	TURKIEWICZ Robert	250,000.00	part as in 406271 vs
961723	Mortgage	91 02 01	RYNARD, Barbara	ROYAL TRUST CORP. OF CANADA	\$250,000.00	Part designated as pt 2 on 43R-17476
				DISCHARGED BY #201100503 ASST. DEP. LAND REG. 09/05/07		
R0985828	Assignment	91 10 01	ROYAL Trust Corp. of Canada	SCOTIA Mortgage Corp. # 201100503		Mort no. 961723
	Deposit	91 12 12	See Deposit No. 992226	ASST. DEP. LAND REG. 09/05/07		re 962292
R0 992227	Grant	91 12 12	COMMUNITY Trust Company Ltd	CHRONDRONIKOLAS George	340,000.00	part as in vs 406271 (power of Sale)
R0 992228	Mort	91 12 12	CHRONDRONIKOLAS George	COMMUNITY Trust Company Ltd	240,000.00	part as in vs 406271
R0 1095657	Charge	95 08 01	RYNARD, Barbara	The Bank of Nova Scotia	\$150,000.00	Discharged by #201100503 Asst. Dep. Land Reg. 09/05/07 Part designated as pt 2 on 43R-17476
43R-21295	Reference Plan	95 11 07				Part 1 - Part as in 170760vs
R0 1104663	Bylaw	95 12 06	The City of Mississauga			a bylaw to designate "Perrin-Bonner-Bluett House" as being of architectural significance -Pt designated as pt 1 on 43R-21295

10321 (88)

FORM 1

Continued on Suite à la page

25x1

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF
LOT 59
REGISTERED PLAN 599
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 200



TARASICK McMILLAN KUBICKI LIMITED
 ONTARIO LAND SURVEYORS

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REPORT SUMMARY

PROPERTY DESCRIPTION: 1376 MISSISSAUGA ROAD, BEING LOT 59, REGISTERED PLAN 599, CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY OF PEEL, PIN 13455-0165

SUBJECT TO EASEMENT IN FAVOUR OF THE BELL TELEPHONE COMPANY OF CANADA AS IN T112681.

COMMENTS: NOTE LOCATION OF FENCES.

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928, AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 46, HAVING A PUBLISHED ELEVATION OF 92.16 metres.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF MISSISSAUGA ROAD AS SHOWN ON REGISTERED PLAN 599, HAVING A BEARING OF N82°05'00"W.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
IP	DENOTES	IRON PIPE
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB
CCT	DENOTES	CURB CUT
MH	DENOTES	MANHOLE
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
HMTR	DENOTES	HYDRO METER
ICV	DENOTES	IRRIGATION CONTROL VALVE
P1	DENOTES	REGISTERED PLAN 599
P2	DENOTES	STAR & TARASICK O.L.S., SEPT. 10, 1965
P3	DENOTES	J.E. WICKEN, O.L.S., DEC. 12, 1970
(OU)	DENOTES	ORIGIN UNKNOWN
(713)	DENOTES	J.E. WICKEN, O.L.S.
(848)	DENOTES	STARR & TARASICK LTD., O.L.S.

0.20φ DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

0.20φ DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR ZAFARUL QURESHI AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY'S ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON AUGUST 11, 2019.

SEPTEMBER 12, 2019

DATE

BORYS KUBICKI
ONTARIO LAND SURVEYOR

TARASICK McMILLAN KUBICKI LIMITED

ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
 TEL: (905) 569-8849 FAX: (905) 569-3160
 E-MAIL: office@tmksurveyors.com

DRAWN BY: H.P.

FILE No. 8257-SRPR-T

MISSISSAUGA ROAD

(TRAVELED ROAD)

CENTRELINE OF ASPHALT

PIN 13456 - 0536

450mm STM

ST

250mm VIT. CLAY SAN @ 0.60%

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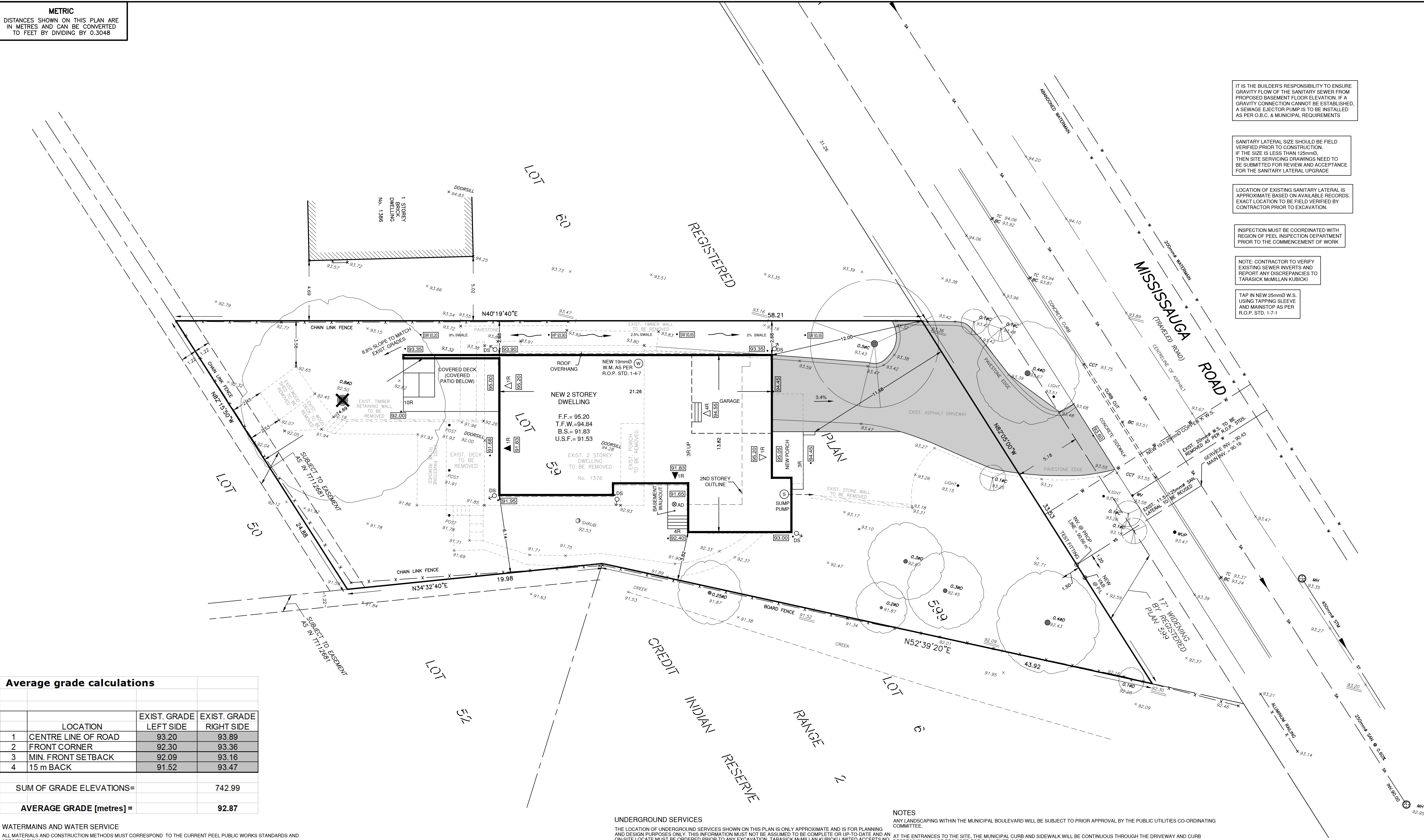
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METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048



Average grade calculations			
	LOCATION	EXIST. GRADE LEFT SIDE	EXIST. GRADE RIGHT SIDE
1	CENTRE LINE OF ROAD	93.20	93.89
2	FRONT CORNER	92.30	93.36
3	MIN. FRONT SETBACK	92.09	93.16
4	15 m BACK	91.52	93.47
SUM OF GRADE ELEVATIONS=		742.99	
AVERAGE GRADE [metres] =		92.87	

WATERMAINS AND WATER SERVICE
ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS
WATERMAIN AND/OR WATER SERVICE MATERIALS 100 mm (4") AND LARGER MUST BE DR 18 P.V.C. PIPE MANUFACTURED TO A.W.W.A. SPEC. C900-16 SPEC COMPLETE WITH TRACER WIRE. SIZE 50 mm (2") AND SMALLER MUST BE TYPE "K" SOFT COPPER PIPE PER A.S.T.M. B88-49 SPECIFICATION.
WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7 m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2 m (4') FROM THEMSELVES AND ALL OTHER UTILITIES.
PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 mm (2") OUTLET ON 100 mm (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100 mm (4") DIAMETER MINIMUM ON A HYDRANT
ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED
HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7 m (2') AND 0.9 m (3') AND TO HAVE PUMPER NOZZLE
WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK. WHERE REQUESTED BY INSPECTOR
WATERMAINS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (12") OVER / 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING
ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS
ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION
LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR
THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK. WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME
THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES. FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION
ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8

UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE, OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE ORDERED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.
CONFORMITY TO SITE PLAN
I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER THE FILE NO. _____
DATE: _____ SIGNED: _____
BUILDING PERMIT DRAWINGS
THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION, PLANNING AND BUILDING DEPARTMENT AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA.
EXISTING TREE PRESERVATION
THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITIONS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED, OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS.
DATE: _____ OWNERS SIGNATURE _____
SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICES INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY.
PRIOR TO ANY CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
ALL EXISTING TREES OVER 0.15 m TRUNK DIAMETER WILL NOT BE REMOVED UNLESS OTHERWISE SHOWN.
ONCE ALL WORKS ARE COMPLETE, THE APPLICANT IS TO CONTACT THE PLANNING AND BUILDING DEPARTMENT, DEVELOPMENT AND DESIGN DIVISION, AT (905) 896-9511 FOR AN INSPECTION PRIOR TO HOARDING REMOVAL.

NOTES
ANY LANDSCAPING WITHIN THE MUNICIPAL BOULEVARD WILL BE SUBJECT TO PRIOR APPROVAL BY THE PUBLIC UTILITIES CO-ORDINATING COMMITTEE.
AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
ALL PROPOSED CURBING (IF ANY) AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
SHOULD ANY WORKS BE REQUIRED WITHIN THE MUNICIPAL RIGHT OF WAY, A ROAD OCCUPANCY PERMIT WILL BE REQUIRED. P.U.C.C. APPROVAL WILL BE REQUIRED. FOR FURTHER INFORMATION, PLEASE CONTACT THE P.U.C.C./PERMIT TECHNOLOGIST, LOCATED AT 3185 MAVIS ROAD.
THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.
ON-SITE WASTE COLLECTION WILL BE REQUIRED THROUGH A PRIVATE WASTE HAULER.
CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.
ANY EXCESS EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE.
ALL DAMAGED AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.
THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRIEGE UPON THE ADJACENT PROPERTIES.
ALL ASPHALT AND BASE MATERIALS OF THE EXISTING DRIVEWAY BEING REMOVED ARE TO BE REINSTATED WITH TOPSOIL AND SOD.
ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS:
A) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE, OR
B) FOR ALL OTHER PROPOSALS INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH O.P.S.D. 360.010.
THE PROPOSED DEVELOPMENT OF THE SUBJECT SITE MAY NEGATIVELY IMPACT THE ROOT ZONE(S) OF NEARBY TREE(S) ON ADJACENT PROPERTY AND ULTIMATELY DAMAGE THE TREE(S). THE OWNER SHOULD TAKE ALL REASONABLE STEPS TO MINIMIZE DISTURBANCE TO THE ADJACENT ROOT ZONE(S) THAT ARE WITHIN THE SUBJECT SITE. THE CITY OF MISSISSAUGA TAKES NO RESPONSIBILITY FOR THE PROTECTION OF TREES ON ADJACENT PROPERTIES.
ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE REINSTATED AT THE APPLICANT'S EXPENSE.
ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO ENSURE THAT ADEQUATE SIGHT DISTANCES ARE AVAILABLE FOR ALL APPROACHING AND EXISTING MOTORISTS AND PEDESTRIANS.
DRIVEWAY ACCESS SHALL MAINTAIN A 1.5m SETBACK FROM ABOVEGROUND FEATURES SUCH AS UTILITIES AND TREES.
ANY ABOVE GROUND UTILITIES LOCATED WITHIN 1.5m OF A PROPOSED ACCESS ARE TO BE RELOCATED AT THE APPLICANT'S EXPENSE.
DECORATIVE PAVING, POOL DECKING, AND OTHER HARD SURFACED LANDSCAPE MATERIAL ARE TO MAINTAIN A MINIMUM SETBACK OF 0.61 m TO THE PROPERTY LINE
SHOULD ANY WORKS BE REQUIRED WITHIN THE MUNICIPAL RIGHT OF WAY, A ROAD OCCUPANCY PERMIT WILL BE REQUIRED. P.U.C.C. APPROVAL WILL BE REQUIRED. FOR FURTHER INFORMATION, PLEASE CONTACT THE P.U.C.C./PERMIT TECHNOLOGIST, LOCATED AT 3185 MAVIS ROAD.

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE GRAVITY FLOW OF THE SANITARY SEWER FROM PROPOSED BASEMENT FLOOR ELEVATION. IF A GRAVITY CONNECTION CANNOT BE ESTABLISHED, A SEWAGE EJECTOR PUMP IS TO BE INSTALLED AS PER O.B.C. & MUNICIPAL REQUIREMENTS

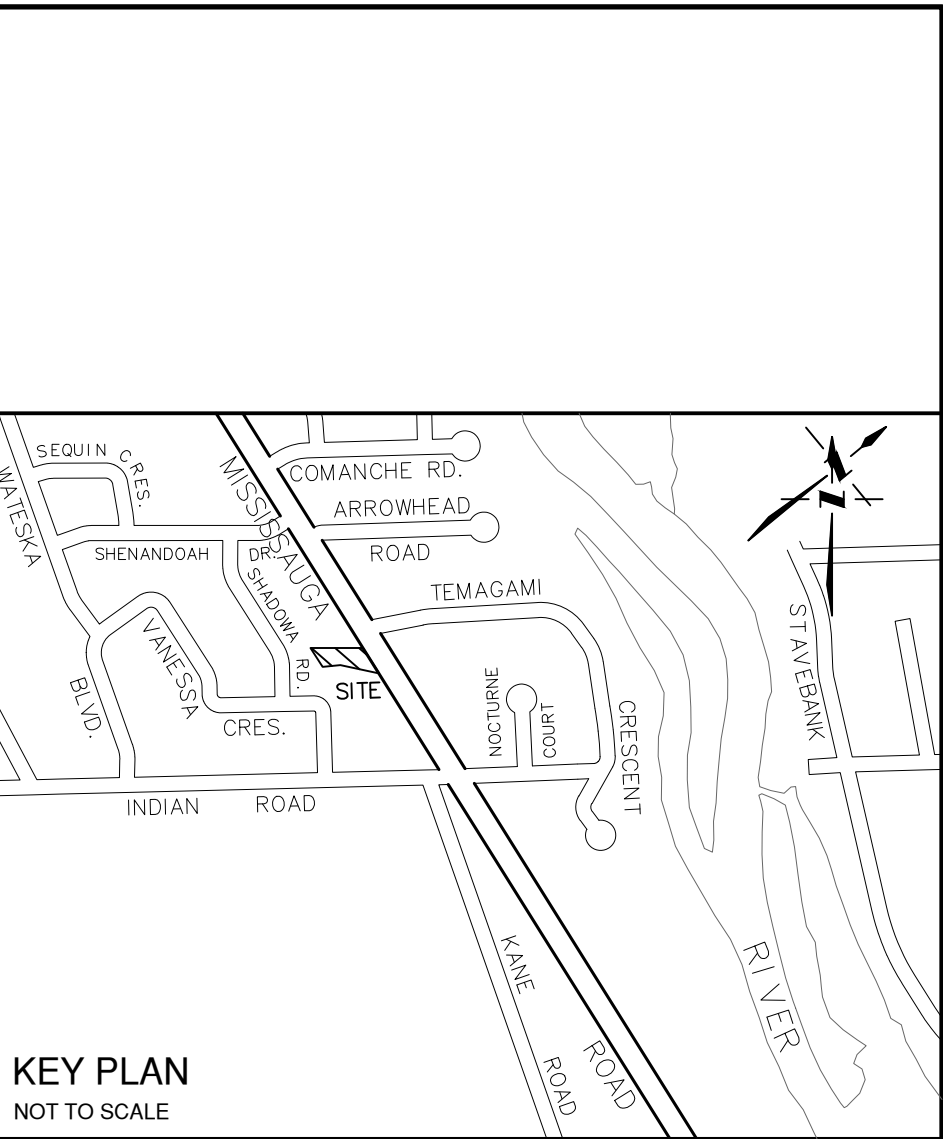
SANITARY LATERAL SIZE SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION. IF THE SIZE IS LESS THAN 125mmØ, THEN SITE SERVICING DRAWINGS NEED TO BE SUBMITTED FOR REVIEW AND ACCEPTANCE FOR THE SANITARY LATERAL UPGRADE

LOCATION OF EXISTING SANITARY LATERAL IS APPROXIMATE BASED ON AVAILABLE RECORDS. EXACT LOCATION TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION.

INSPECTION MUST BE COORDINATED WITH REGION OF PEEL INSPECTION DEPARTMENT PRIOR TO THE COMMENCEMENT OF WORK

NOTE: CONTRACTOR TO VERIFY EXISTING SEWER INVERTS AND REPORT ANY DISCREPANCIES TO TARASICK McMILLAN KUBICKI

TAP IN NEW 25mmØ W.S. USING TAPPING SLEEVE AND MAINSTOP AS PER R.O.P. STD. 1-7-1



LEGAL DESCRIPTION:
LOT 59
REGISTERED PLAN 599
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL

SURVEY INFORMATION
SURVEY INFORMATION IS TAKEN FROM PLAN PREPARED BY TARASICK McMILLAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, SEPTEMBER 12, 2019.

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO CITY OF MISSISSAUGA DATUM AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 46, HAVING A PUBLISHED ELEVATION OF 92.16 metres.

LEGEND

MH	DENOTES	MANHOLE
FH	DENOTES	FIRE HYDRANT
WV	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
WV	DENOTES	ENTRY POINT AT LOWER LEVEL
WV	DENOTES	ENTRY POINT AT GROUND FLOOR
WV	DENOTES	EXISTING SPOT ELEVATION
WV	DENOTES	PROPOSED SPOT ELEVATION
WV	DENOTES	PROPOSED RAINWATER DOWNSPOUT
WV	DENOTES	PROPOSED SUMP PUMP LOCATION AND OUTLET
WV	DENOTES	AREA DRAIN
WV	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER
WV	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
WV	DENOTES	TREE TO BE REMOVED
WV	DENOTES	FRAMED HOARDING
WV	DENOTES	SOLID WOOD HOARDING
WV	DENOTES	DIRECTION AND GRADIENT OF DRAINAGE
WV	DENOTES	DIRECTION OF SWALE

DO NOT SCALE DRAWINGS
1) CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.
2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
3) ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

1	DATE	REVISION

REVISIONS

CERTIFICATION FOR PROPOSED GRADING
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT 1376 MISSISSAUGA ROAD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PROVIDE ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.
DATE: _____ MISSISSAUGA, ONTARIO _____ BORYS KUBICKI, O.L.S.

APPLICANT/ OWNER

FILE: SPI

PROJECT:
PROPOSED 2 STOREY DWELLING
1376 MISSISSAUGA ROAD, MISSISSAUGA

SHEET TITLE:
SITE GRADING PLAN

SCALE: 1:150

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS
4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com

SERVICE TIES
NOT TO SCALE

DRAWN BY: D.H. **FILE No. 8257-SP-2021-08-20**



1376 Mississauga Rd.
Mississauga, Ontario

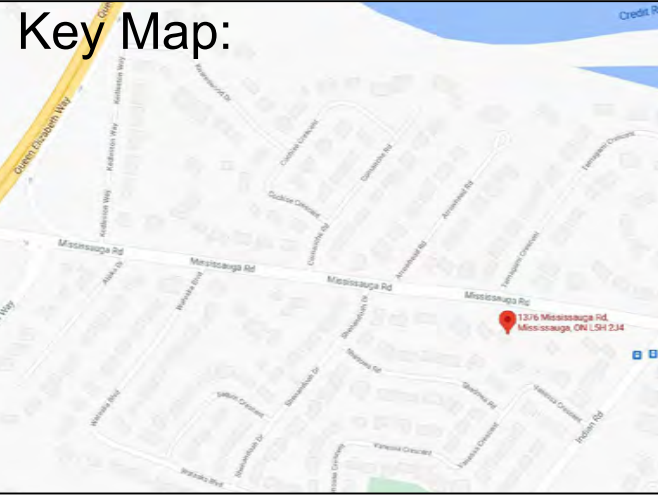
Project Description:

- New Construction



Square Footage:
Basement: 1951.84ft² / 181.33m²
Garage: 429.64ft² / 39.91m²
Main: 2304.47ft² / 214.09m²
Second: 2100.18ft² / 195.11m²
Covered Deck: 355.43ft² / 33.02m²

Architectural Design Firm:
SMPL Design Studio
Address: 15 Colbourne St,
Hamilton, Ontario
Postal: L8R 2G2
Phone: 905-529-7675



DO NOT SCALE DRAWINGS
Note:
1) Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.
2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
3) All works to be in accordance with the Ontario Building Code.

s m p l DESIGN STUDIO
sustainable, modern, practical, livable
Architectural Design Services
www.smpdesignstudio.com

Drawing Submissions:	
Date:	Type:
Jun. 25, 2021	Planning

1376 Mississauga Rd.
Mississauga, Ontario

Reviewed By	JT
Drawn By	SCJ
Plot Date	
Page A1.01	
Cover	

In accordance with subsection 3.2.4. of Division C of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 19618 Firm BCIN: 31829
David Shouldice CBCO MAATO

DO NOT SCALE DRAWINGS

Note:

1) Contractor to check all dimensions, specifications, etc on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.

2) These plans are to remain and the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.

3) All works to be in accordance with the Ontario Building Code.

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DESIGN STUDIO

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Architectural Design Services

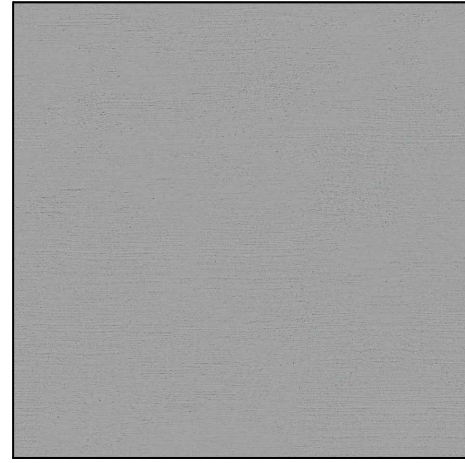
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Drawing Submissions:	
Date:	Type:
Jun. 25, 2021	Planning

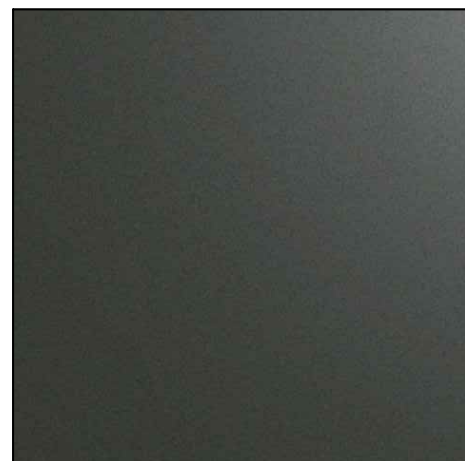
1376 Mississauga Rd.
Mississauga, Ontario

Reviewed By	JT
Drawn By	SCJ
Plot Date	
Page	
A1.01	
Reference Material	

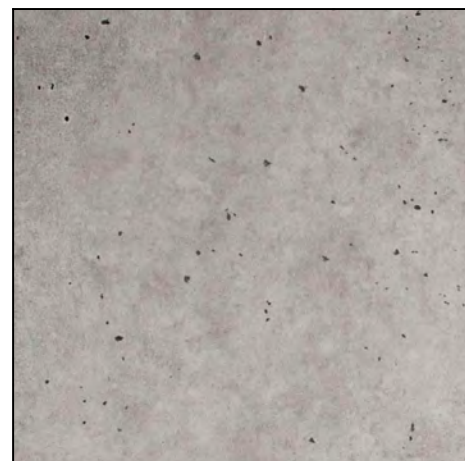
Stucco:



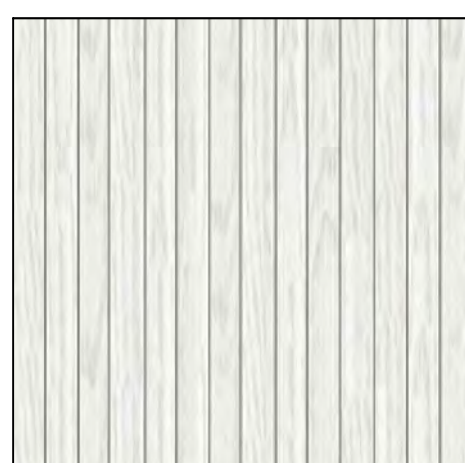
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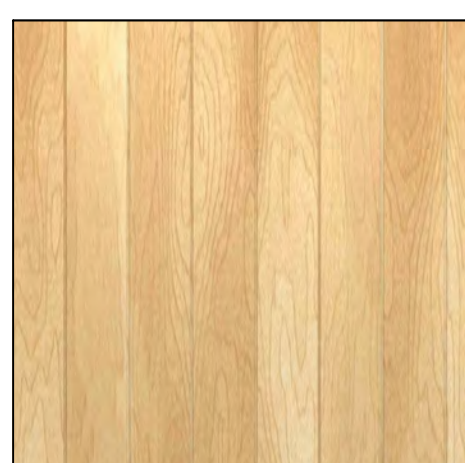
Concrete Panel:



Wood Siding:



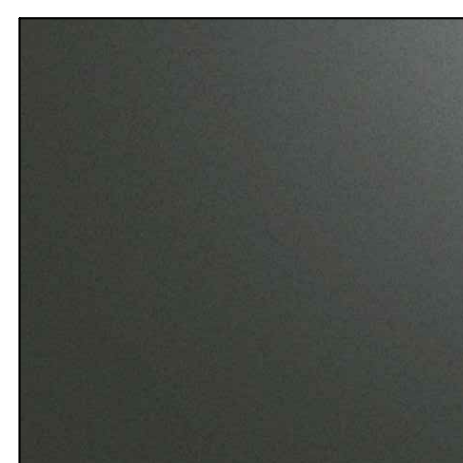
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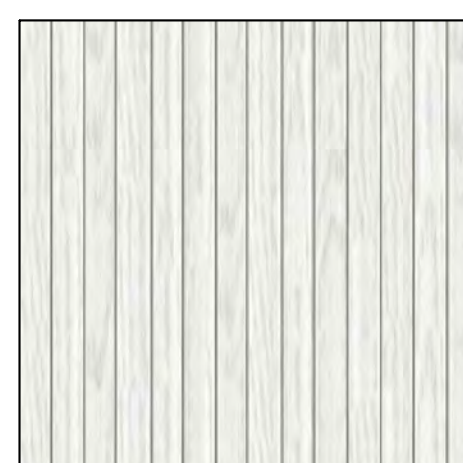
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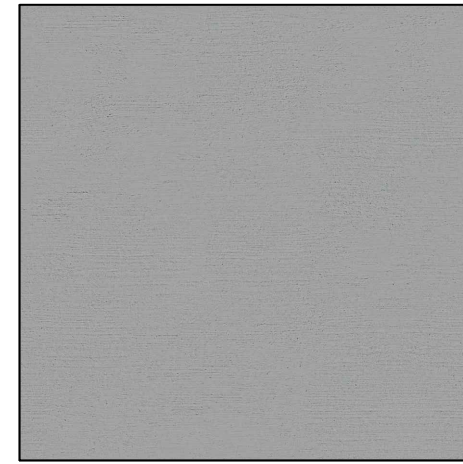
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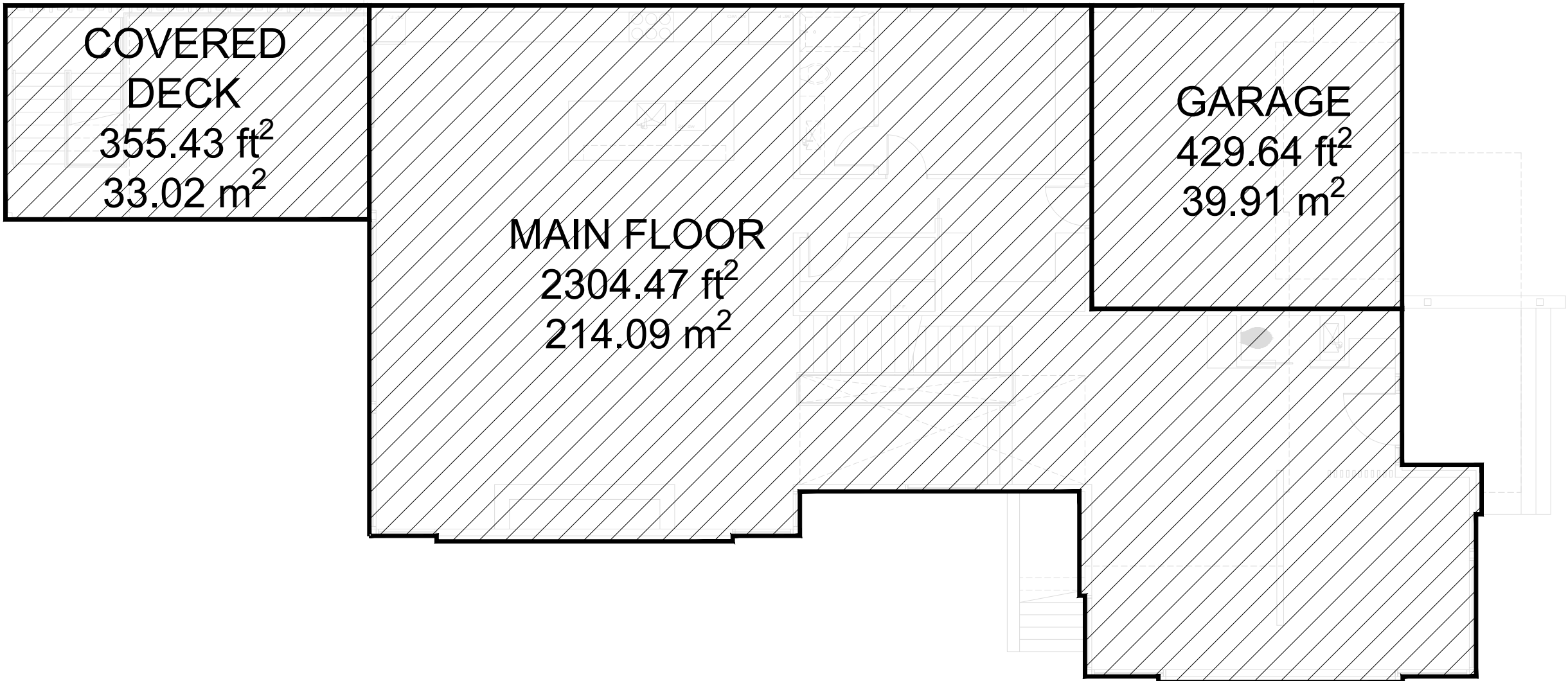
Stucco:



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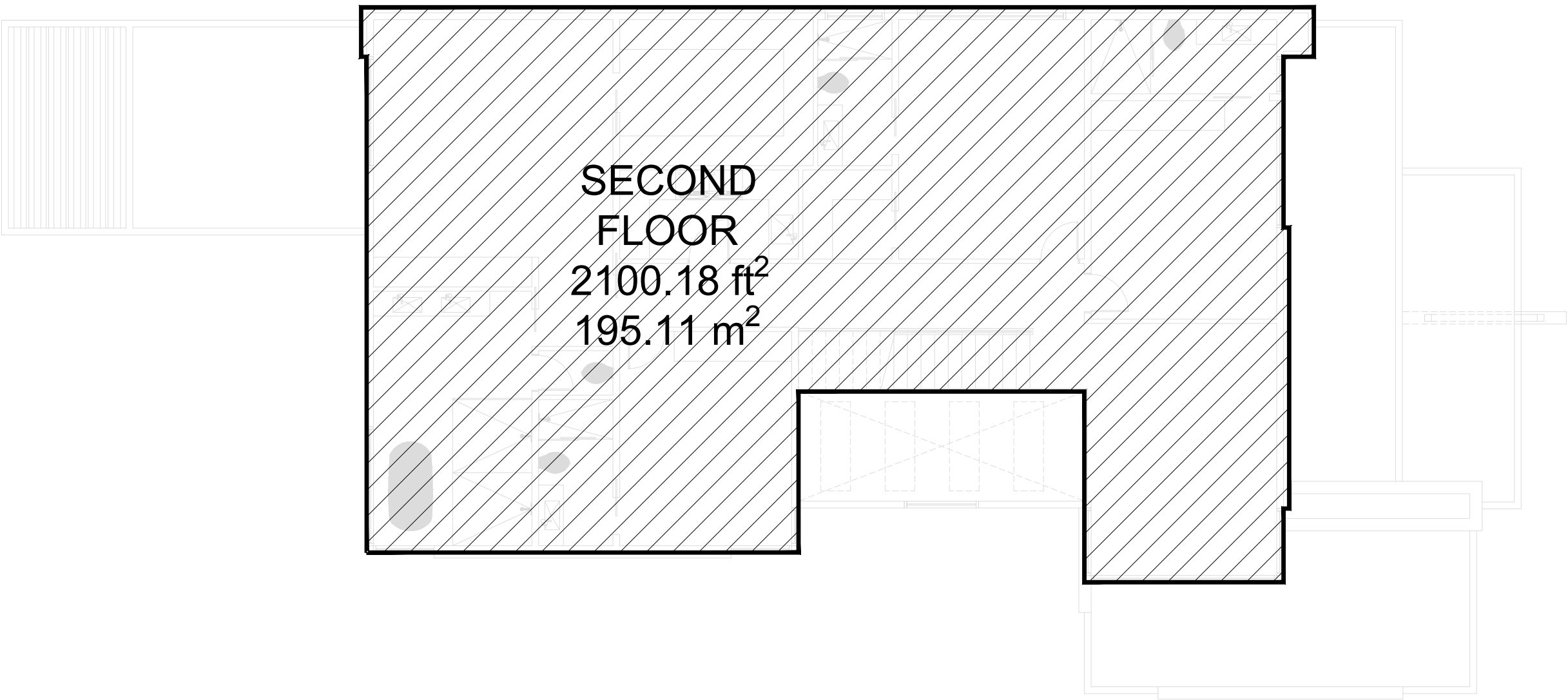
Individual BCIN: 19618 Firm BCIN: 31829

David Shouldice
David Shouldice CBCO MAATO



1
Z1.01

Main Floor Coverage
Scale 1:100



2
Z1.01

Second Floor Coverage
Scale 1:100

DO NOT SCALE DRAWINGS

Note:

1) Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to the engineer and/or designer.

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3) All works to be in accordance with the Ontario Building Code.

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Page
Z1.01

Zoning

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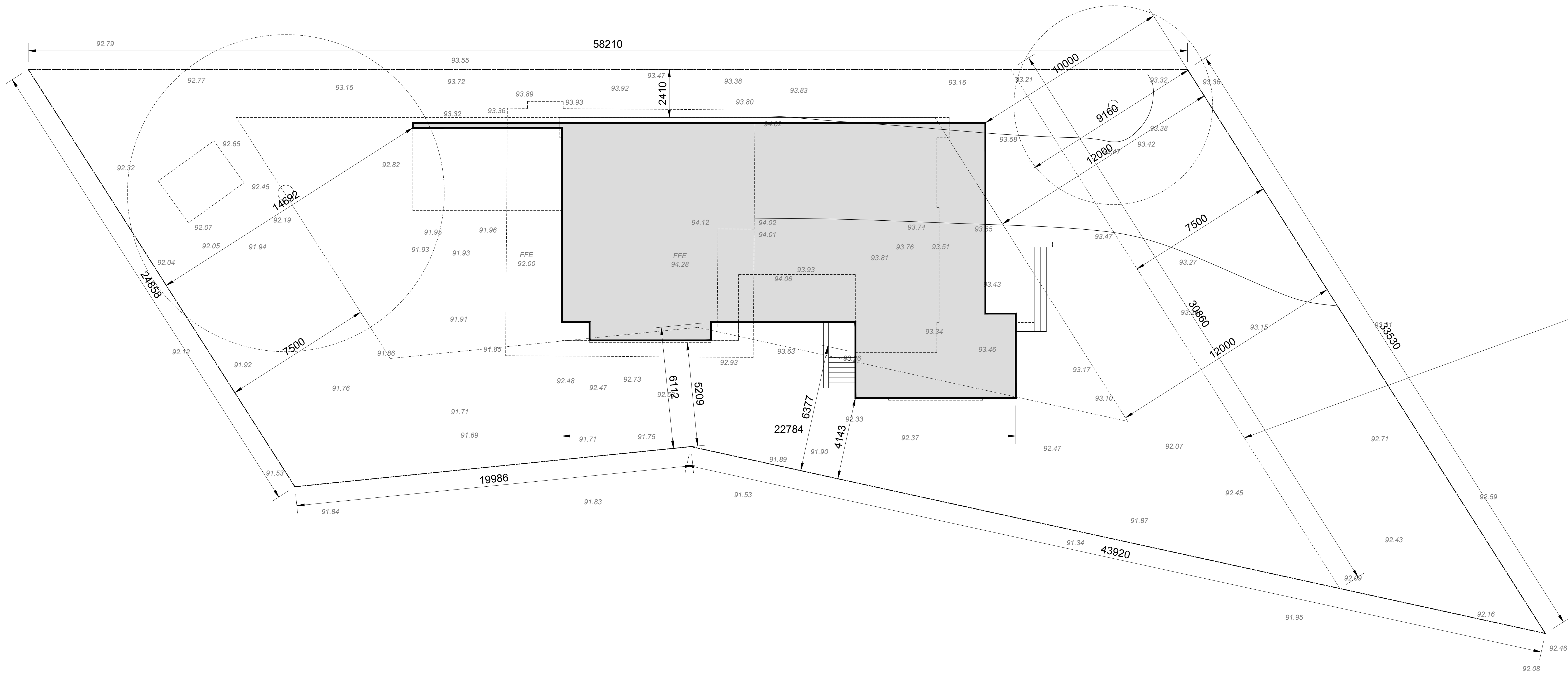
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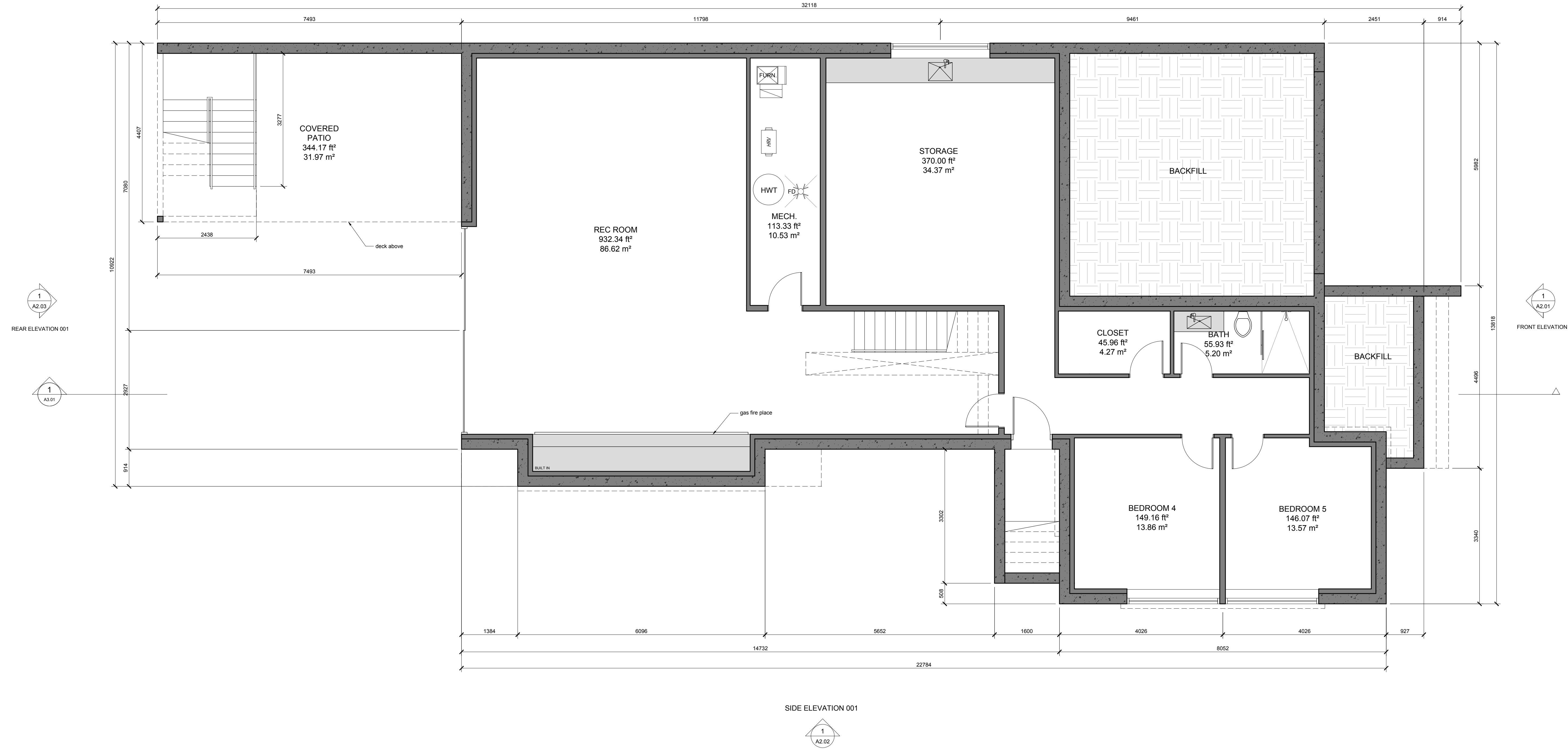
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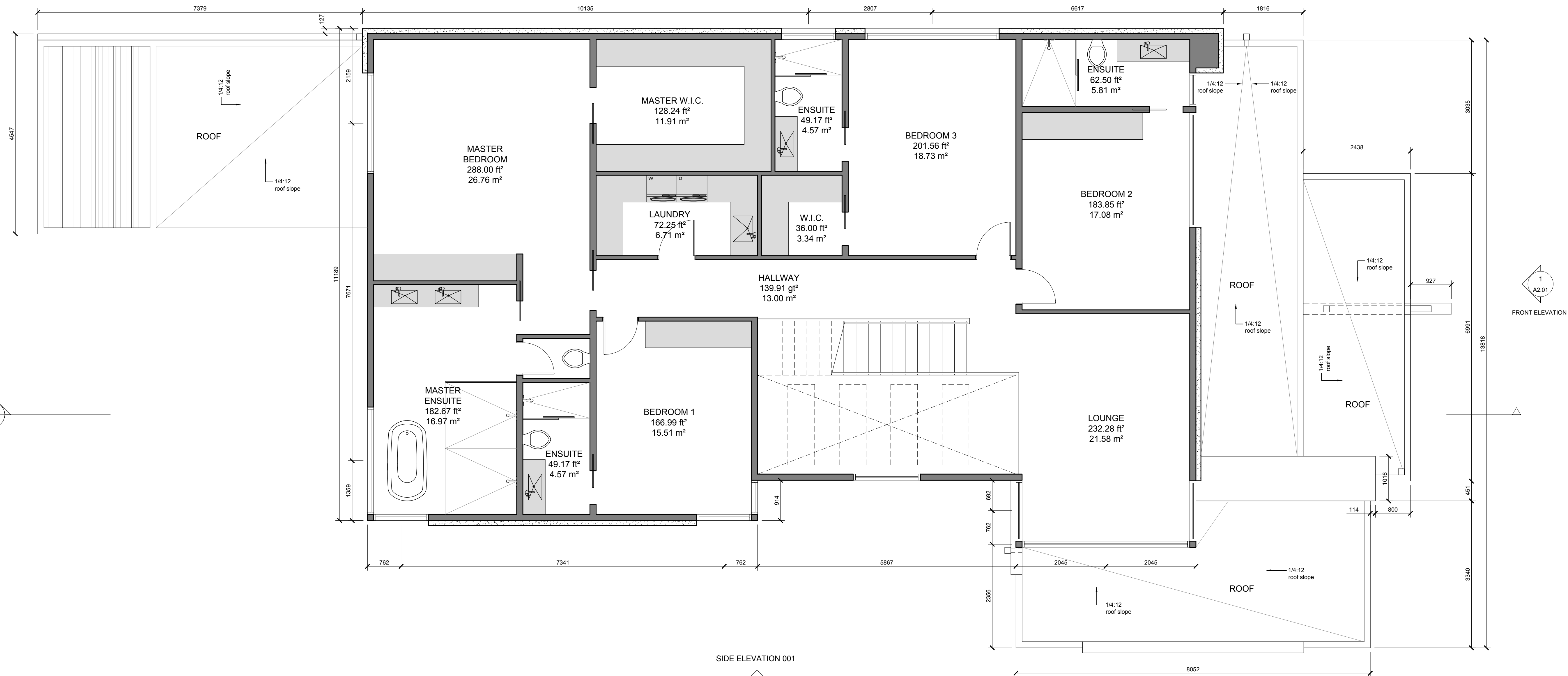
Site Plan



Proposed Site Plan

Scale 1:100





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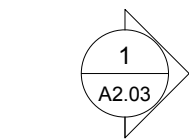
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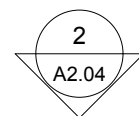
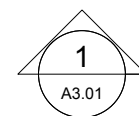
Reviewed By: JT
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A1.03

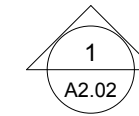
Second Floor Plan



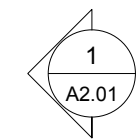
REAR ELEVATION 001



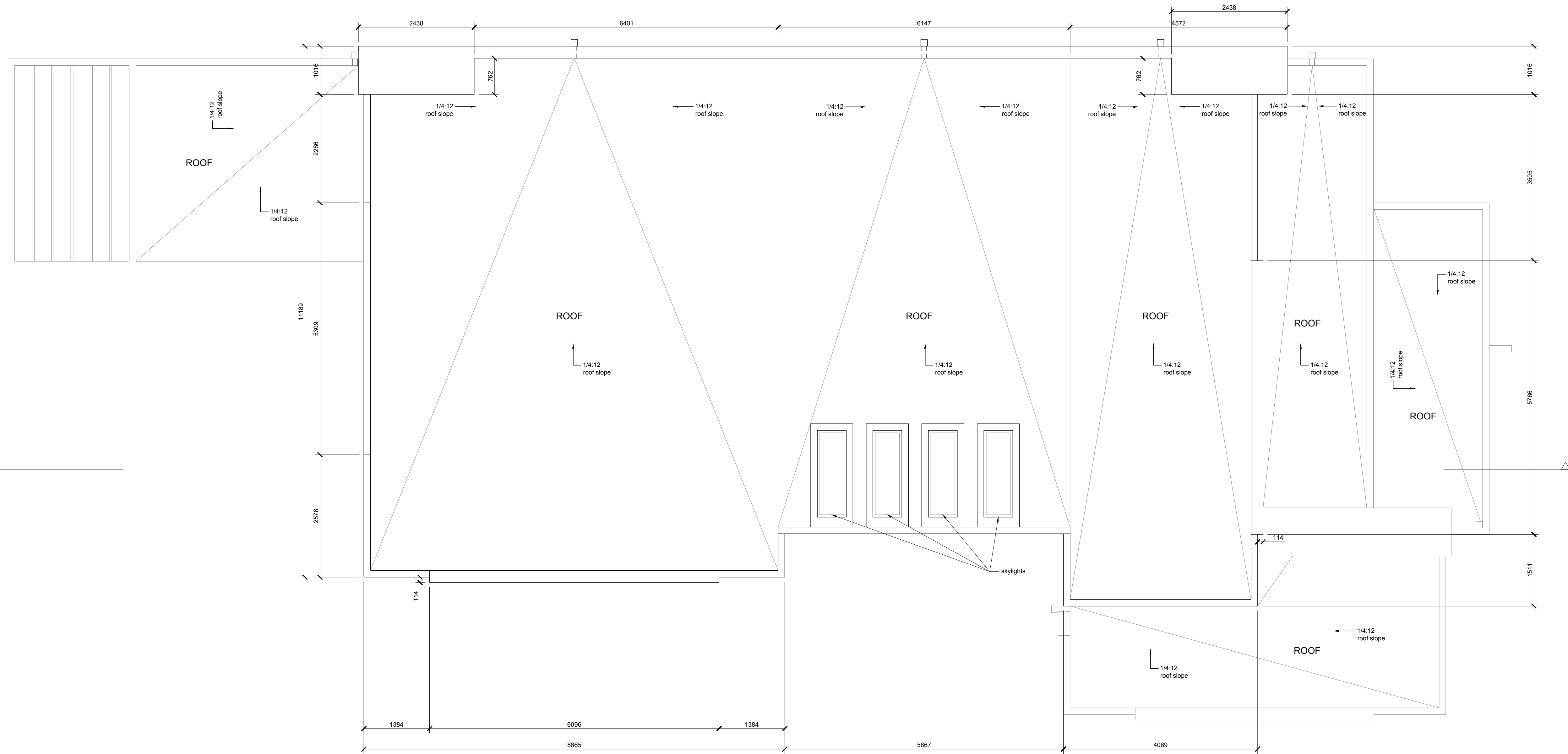
SIDE ELEVATION 002

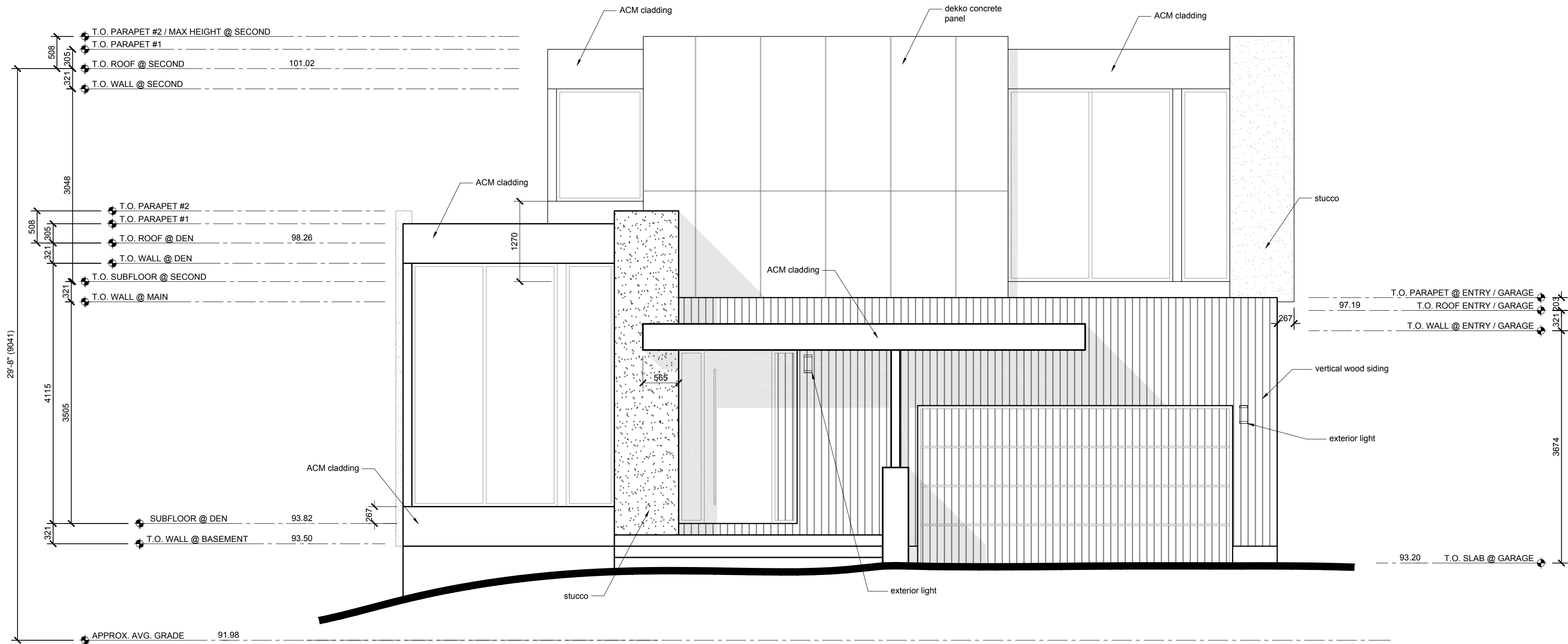


SIDE ELEVATION 001

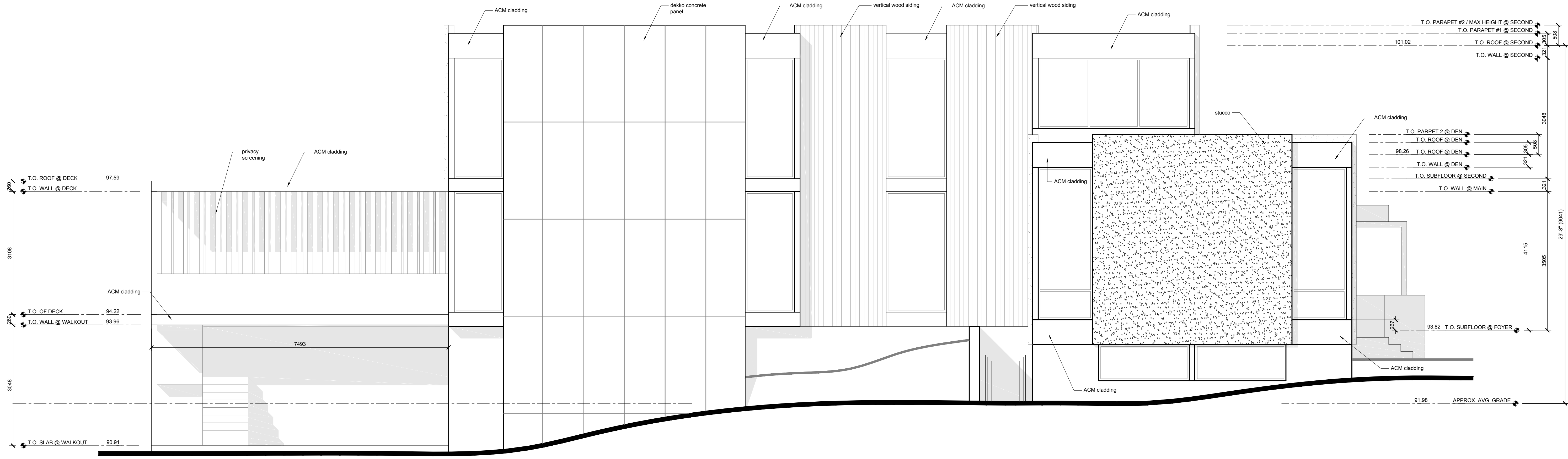


FRONT ELEVATION






Side Elevation 002
Scale 1:50



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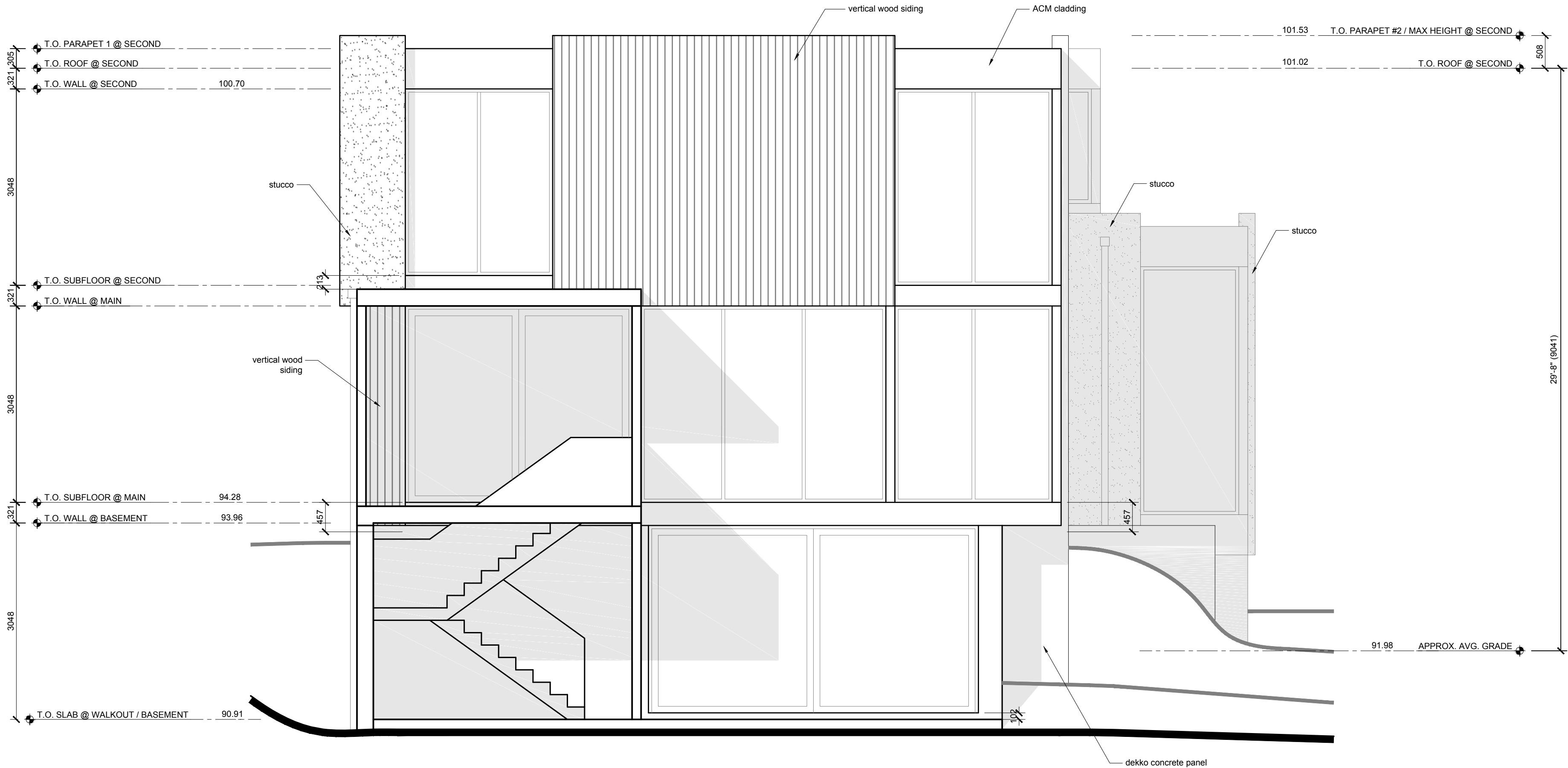
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David Shouldice CBCO MAATO

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Rear Elevation
Scale 1:50



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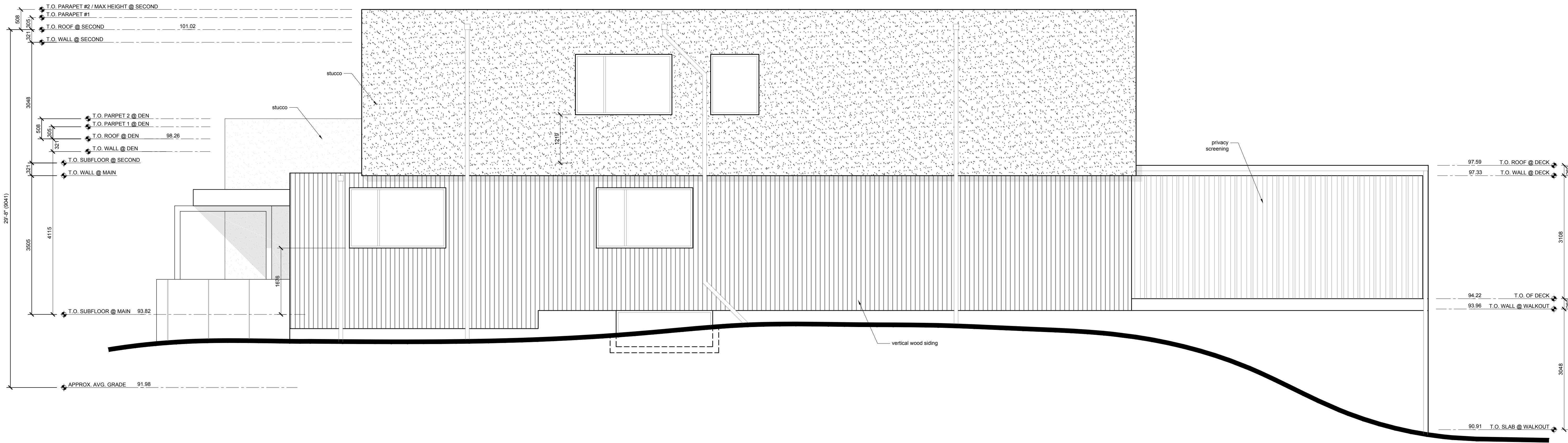
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Page
A2.03

Elevations

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Side Elevation 002
Scale 1:50



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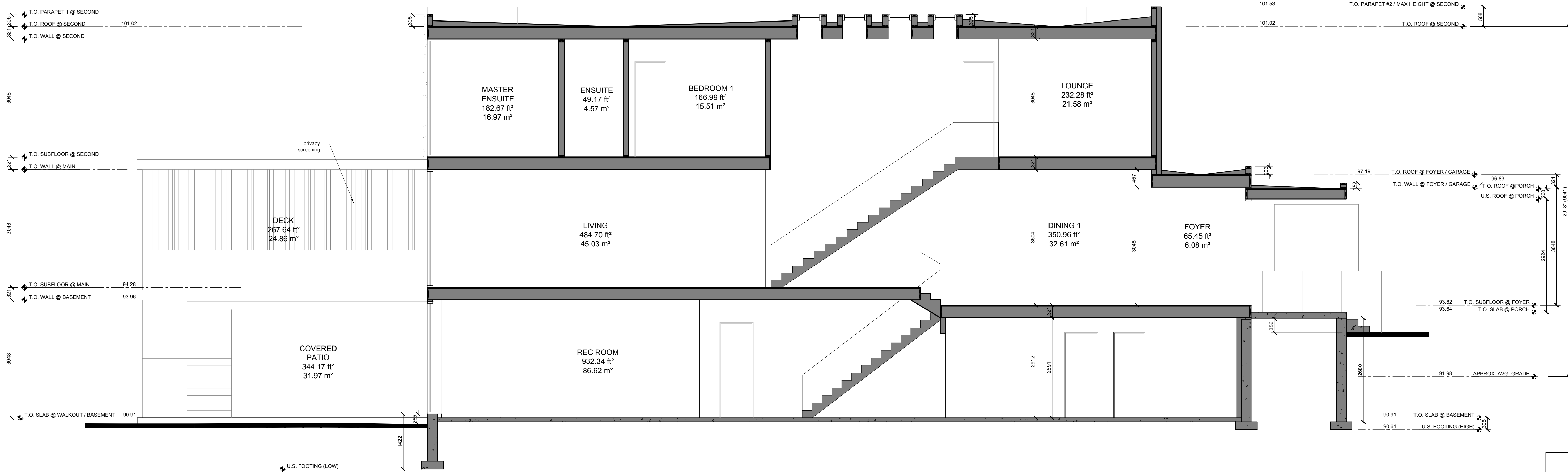
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Building Section 001
Scale 1:50



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Page A3.01	
Building Sections	

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