

Amendment to
“Bell Gairdner Heritage Impact Statement”
by ATA Architects Inc. and Dated January 2012

Amendment Prepared by
Paul Dilse, Heritage Planning Consultant

on February 18, 2020

Background and Purpose of Amendment

Known as the Bell Gairdner Estate when Alex Temporale of ATA Architects Inc. wrote the heritage impact statement in 2012 and renamed the Harding Waterfront Estate in 2016, the property contains a wedding banquet hall and conference facility set in a public park. It is located on the Lake Ontario shoreline where Joshua Creek empties. Standing at the foot of Winston Churchill Boulevard and on the border with the Town of Oakville, the property whose municipal address is 2700 Lakeshore Road West holds a commanding position along the Mississauga waterfront.

Two permanent buildings define the site – the house erected in 1937 for Charles Powell Bell, his wife Kathleen Harding and their daughter Daphne and a complementary garage or coach house. Set back from Lakeshore Road West and sited on axis with its central driveway, the house has both a street front and a lake front. The garage, whose large footprint corresponds with the great size of the house, is sited perpendicularly to the house at an ample distance eastward from the house.

Within the last decade, the City has rehabilitated the buildings for contemporary use and improved the grounds. The City conferred heritage designation on the property in 2009, naming it after Charles Bell and Kathleen Harding’s second husband, James Arthur Gairdner. ATA Architects Inc. designed the program of work for which building permits were issued in 2012. The object was to reestablish the buildings’ original character, which had suffered from insensitive alterations and vandalism, as much as possible for their new use as an events facility.

In his heritage impact statement, Alex Temporale recommended adding a 200-person temporary seasonal event tent between the house and garage (coach house) rather than erecting additions to either existing building. His rationale for accommodating additional floor area needed for the wedding and conference facility in a tent was given on page 52 of the assessment report:

“In lieu of constructing an addition to either building, which in case of a conference/banquet facility would be a significant increase in size to either the Coach House or Main House, a multi-faced temporary season tent is proposed. The tent consists of a series of modules which breaks the outdoor venue into a scale appropriate to the two main structures. The location between the two buildings is the optimum location. It links the public area between the two buildings. It retains the courtyard space between the two buildings as the primary gathering space and maintains the façades of the two heritage structures as both visual foci and the backdrop that enhances the experience of the visitors. In addition, the lake view from the tent provides a complementary distant vista. The tent location provides excellent access to the Main House’s rear terrace and the House itself. Support facilities such as the catering kitchen, the Bride’s Room, and a cocktail reception space are within the Main House. Washrooms and storage are allocated to the Coach House. There are no physical changes resulting from this approach other than the filling in of an existing doorway on the south side of the Coach House.”

He continued on page 70:

“The proposed tent structure will be kept between the Main House and Coach House and scaled down into two segments to reduce its mass. It will be separated from both the Main House and Coach House, with no physical connection to either building, so views of the building[s] will not be affected. The sides of the tent will be raised to allow visibility into the site during good weather or when the tent is not in use.

“Under the requirements of Conservation Halton, the location of the new tent structure was restricted as our new structure cannot be built past the top of the ridge line above Joshua Creek. The conditions beyond the ridge are not conducive to construction [so] this was not an issue. A few of the positive attributes about the tent’s location are:

- It is functional, as the tent can use the service provided by the two buildings.
- It has a public presence that allows the guests to be among the buildings so that they may experience them and the views of the property.
- Its proximity to the parking.
- Its location near the Main House and Coach House allows for easier security monitoring of the facilities.

“The current location is the best position at this time but it is not necessarily the permanent location. A better location may arise as the park is developed or future phases of restoration and development of the house and grounds occurs.

“Overall this has little visual impact to the property due to the distance the tent will be set back from Lakeshore Road and its nature of seasonal use. The tent will only be used during the spring and summer so events may be held outside. During the fall and winter the decorative framework that acts as the structure will remain. The alternative approach would be to build an entirely new structure or add to one of the existing buildings to house approximately 200

guests. A temporary tent has much less of a visual and physical impact on the site than a solid, permanent structure would.”

He included a site plan showing a large, six-sided tent sited between the house and garage, resting just behind the top of bank (see Figure 1 in Appendix A to the amendment). Elevations or renderings of the proposed tent were not provided.

Instead of the six-sided modular tent he proposed, a commercially available tent with conical peaks akin to a circus tent was installed in his recommended location. Serving for a number of seasons and having performed its function rather poorly (with water infiltration a problem), it is unusable for the 2020 season. This year’s season begins in April when weddings are already booked.

Pegasus Waterfront Corporation, which entered into agreement with the City in 2019 to operate the facility, has attempted to get approval for a new and better-functioning seasonal tent. Discussions with the City have not been conclusive. Pegasus is proposing a short-term solution – a factory-made, easy-to-assemble tent structure in about the same location as Alex Temporale’s proposed six-sided modular tent (Fig. 2 and 3).

Proposed Structure and Its Impact on the Property’s Heritage Attributes

The proposed “solar system tent structure” is a 3,500-square-foot rectangle placed diagonally between the house and garage, 50 feet across and 70 feet in depth (Fig. 4 and 5). It would rest on the existing concrete pad. Its lightweight frame made of box beam aluminum would form a year-round shell. During spring, summer and fall, the shell would be enclosed by clear or opaque glass panels for the walls and white vinyl panels for the gable roof. The structure’s front-facing gable and rear-facing gable would permit a very tall unimpeded ceiling inside but appear to shelter a single storey on the exterior. The structure would stand ten-feet tall up to the top of the cross beam and another seven feet and eight inches to the roof peak. Figure 6 is a conceptual photographic image showing the proposed tent structure as it would stand between the house and garage.

The proposed structure respects Alex Temporale’s recommended modular structure in its siting and its removable enclosure. Its cross beam and gable roof echo the garage’s front-facing gable. Facing north toward Lakeshore Road West, it reads as a one-storey structure against the house’s apparent two storeys and the garage’s two-storey central block. The extensive use of glass in the proposed structure lightens its visual effect against the solid appearance of the house’s brick elevations and the garage’s mostly wood elevations. In these ways, the proposed structure is satisfactory for the short term: The proposed structure is a reversible intervention.

Ultimately, however, an architecturally elegant solution to accommodate the facility's 200-person capacity will be required.

Recommended Conservation Strategy

It is recommended that the proposed tent structure be accepted as a short-term measure to open the 2020 season and to operate for a maximum duration of ten years. In the intervening years, the design of a preferred long-lasting replacement structure should be incorporated as a component in master planning for the public park.

In designing the preferred long-lasting structure to accommodate 200 guests, the following questions can be posed:

- Is the structure's siting between the house and garage the best place in the park for the structure's use and for its impact on the property's heritage attributes?
- What general shape best harmonizes with the house and garage? Is the six-sided structure proposed in 2012 or the rectangular shape proposed in 2020 better?
- How can the impression of mass be reduced in the structure? Can the structure's street and lake fronts be articulated, for example in wings which are still found on the garage or through low sun rooms such as were once attached to the house? Can gable, flat and shed roofs be combined to break up the structure's profile?
- What early twentieth century materials found on the house and garage originally – brick, wood, Credit Valley stone, metal grillwork, slate – can be mirrored in the twenty-first century structure? How much glazing is appropriate?
- What features in the buildings or on the site today or in the past can be interpreted in the structure's contemporary architecture? How does the study of the early twentieth century design of country estates inform an understanding of the role of the structure in the park?

Summary Statement

The Harding Waterfront Estate is a protected heritage property.

In 2012, a 200-person-capacity seasonal event tent was recommended for placement between the property's house and garage (coach house). Instead of the recommended modular tent structure, a commercially available big-top circus tent was installed. Serving for a number of

seasons and having performed its function rather poorly, it is unusable for the 2020 season. This year's season begins in April when weddings are already booked. A factory-made, easy-to-assemble "solar system tent structure" is proposed to replace the circus tent.

In terms of the proposed structure's impact on the property's heritage attributes, it is satisfactory for the short term. It would be a reversible intervention. It is recommended that the proposed tent structure be accepted as a short-term measure to open the 2020 season and to operate for a maximum duration of ten years. In the intervening years, the design of a preferred long-lasting replacement structure should be incorporated as a component in master planning for the public park.

Fig. 1 Proposed site plan reproduced from Alex Temporale's 2012 heritage impact statement

PROPOSED PAVILION STATS:

STRUCTURE AREA

= +/- 325.16 M (3,500.00 SF)

STRUCTURE HEIGHT

= +/- 5.69 M (17' - 8")

STRUCTURE SETBACK

= MIN 3M TO EXISTING BUILDINGS.

TOP OF BANK SETBACK

= 7.5 M

PROPERTY DETAILS

Address:

2700 LAKESHORE RD W

Legal Description:

CON 4 SDS PT LT 35 - PTS 5 - 7 43R22402

Ward:

2

Councillor:

KAREN RAS

Area:

177380.01 SM

Depth:

M

Frontage:

M

Status:

Registered

Roll Number:

21-05-020-025-06000-0000

Common Name:

HARDING WATERFRONT ESTATE P-389

Property Code:

MUNICIPAL PARK

Site Plan Control

This property is subject to Site Plan Control By-law regulations.

Properties subject to the regulations of the Site Plan Control By-law require that the owner receive site plan approval from the Development and Design Division for any new development on-site or addition. This requirement is necessary prior to the issuance of a building permit. To read more about the Site Plan Approval process please [click here](#).

Zoning Information

The zone(s) for this property are listed below. Please [click here](#) to access our online zoning by-law.

By-law In Force

Zone	Master Bylaw	Enacting Bylaw	OMB Case / File No.	Status
OS2-11	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G1	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G2	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
D	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
E2-108	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G1-14	0225-2007	BL-0179/18	N/A	IN FORCE

Heritage Status

Status:

DESIGNATED UNDER THE TERMS OF THE ONTARIO HERITAGE ACT

Conservation District:

101-2009

Bylaw:

2009-04-08

Inventory Item

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
175	HOLCIM ESTATE	1938	1930	N	

Committee of Adjustment Applications

1 Application(s) found Page: 1 of 1

Address/Description	App Number	App Date	Status
2700 LAKESHORE RD W	A-51/99	1999-01-05	TEMP APPROVAL

The applicants request the Committee to authorize a minor variance to permit the utilization of the existing building for a business office; whereas By-law 5500, as amended, does not make any provisions for such a use in an PB1 zone.

Additional Permitted Uses

10.2.2.14.1	(1)	Temporary Tent and/or Stage
	(2)	Shade Structure

E2-15

LAKESHORE ROAD WEST

OS2-11

G1-14

G1

Greenlands Overlay

Zoning Notation Example:

R4-12 = R4-Exception 12

Zoning Map 04

Schedule "B" To

By-law No. 0225-2007

Revised: 2016 December 31

arch-tech design group inc.

30 INVERNAVAL DRIVE, UNIT 3 BRAMPTON ONTARIO L6T 5K1

T: 905-877-2221 F: 905-899-4245 W: ARCHTECH.CA

KEY PLAN

5

ISSUED FOR CITY REVIEW

20-02-14

3

ISSUED FOR FEASIBILITY REPORT

19-12-12

2

ISSUED FOR REVIEW

19-12-06

1

ISSUED FOR REVIEW

19-12-04

NO.

DESCRIPTION

DATE

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NORTH

STAMP

CLIENT

PEGASUS HOSPITALITY GROUP

2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

PROJECT

SOLAR SYSTEM TENT STRUCTURE

2700 LAKESHORE RD W,

MISSISSAUGA, ON L5J 0B4

DRAWING

OVERALL SITE PLAN

DRAWN

EP

PROJECT NO

19-518

SCALE

1:500

SHEET

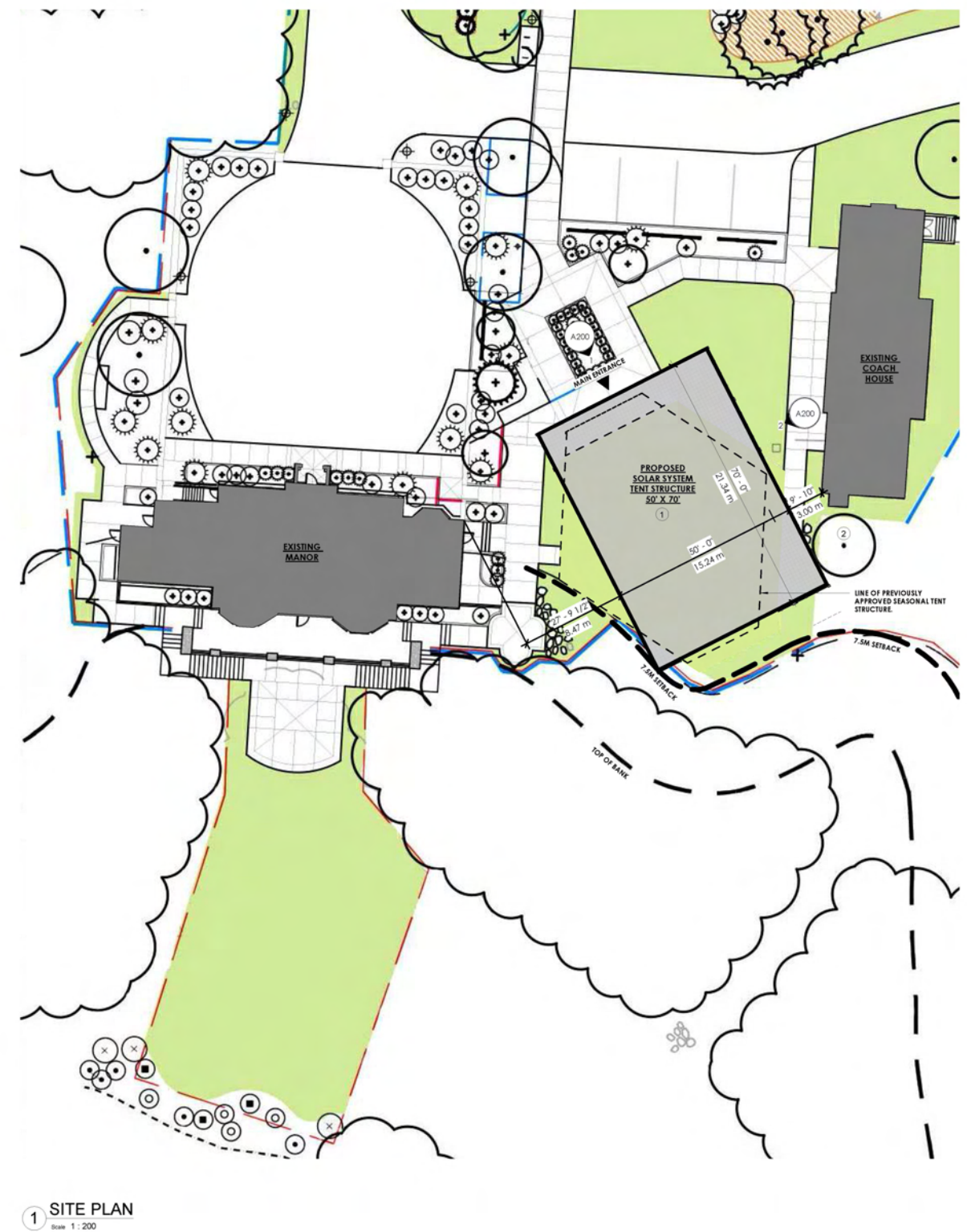
A100

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Fig. 2 Proposed overall site plan prepared by Arch-tech Design Group Inc. for Pegasus Hospitality Group, 14 Feb. 2020.

7



GENERAL NOTES:

- 1. **50'X70' SOLAR SYSTEM TENT STRUCTURE** - BOX BEAM ALUMINUM FRAME CONSTRUCTION WITH WHITE ROOF PANELS, FRAME WOULD REMAIN ALL YEAR. TENT TOP AND WALLS ARE REMOVED DURING WINTER SEASON.
 - COMPRISED OF 15' AND 10' GLASS PANELS
 - BACK SIDE WALL TOWARDS CONSERVATION- VINYL WALL 50'
- RAISED FLOOR** - LEVELED DECK FOR TENTED AREA - CONSTRUCTION IS PRESSURE TREATED WOOD, PLYWOOD TOP SURFACE FINISH, VINYL LAMINATE FLOORING INSTALLED ON TOP - RAISED 12" ABOVE GRADE AT EXISTING CONCRETE PAD ELEVATION AND LEVELED TO THAT HEIGHT (CAN BE REMOVED AT END OF TERM AND KEEPS EVERYTHING ELSE INTACT). FLOORING WOULD BE COVERED DURING THE WINTER SEASON WITH TARP.
- 2. EXISTING TREE TO BE RELOCATED IF REQUIRED. CURRENT SHRUBS TO BE REPLANTED, POTENTIAL FOR TREE TO BE MOVED AND REPLANTED/REPLACED.
- 3.

Table 3.7.4.3.E
Water Closets for Assembly Occupancies
Forming Part of Sentences 3.7.4.3.(5) and 3.14.1.8.(1)

Number of Persons of Each Sex	Minimum Number of Water Closets for Each Sex
1 to 50	2
51 to 70	3
71 to 90	4
91 to 110	5
111 to 140	6
141 to 180	7
181 to 220	8
221 to 260	9
over 260	10 plus 1 for each additional increment of 40 persons of each sex in excess of 260
Column 1	2

- FOR WASHROOM FACILITIES SPECIFIC A TENT AS PER TABLE 3.7.4.3.E - THE MAXIMUM OCCUPANT LOAD FOR THE TENT WILL BE 220 PERSONS WITH THE FOLLOWING CONFIGURATION.
- A. THE EXISTING COACH HOUSE CURRENTLY HAS 3 MALE AND 3 FEMALE WASHROOMS.
 - B. THE EXISTING MAIN HOUSE HAS 3 UNDEFINED OR UNISEX PUBLIC WASHROOMS (1 PER FLOOR) (1 OF WHICH WILL BE CONSIDERED A UNIVERSAL WASHROOM WHICH WILL COUNT AS TWO WASHROOMS.)
 - C. THE MAIN HOUSE ALSO HAS TWO SMALLER WASHROOMS IN BASEMENT THAT WE ASSUME ARE FOR STAFF.
- THEREFORE WE HAVE A TOTAL OF 5 PUBLIC WASHROOMS FOR EACH SEX. THIS ALLOWS A TOTAL OCCUPANT LOAD FOR THE TENT OF 220 PERSONS. ADDING TWO ADDITIONAL PORTABLE WASHROOMS WILL GIVE YOU AN OCCUPANT LOAD OF 280 PERSONS.
- 4. COOKING EQUIPMENT IN THE KITCHEN LOCATED IN THE BASEMENT OF THE EXISTING MAIN HOUSE. THE TENT IS 8.47M (27'9.5") FROM THE MAIN HOUSE (REFER TO DRAWING A101).



5	ISSUED FOR CITY REVIEW	20-02-14
4	ISSUED FOR FEASIBILITY AMENDMENT	19-12-17
3	ISSUED FOR FEASIBILITY REPORT	19-12-12
2	ISSUED FOR REVIEW	19-12-06
1	ISSUED FOR REVIEW	19-12-04
NO.	DESCRIPTION	DATE

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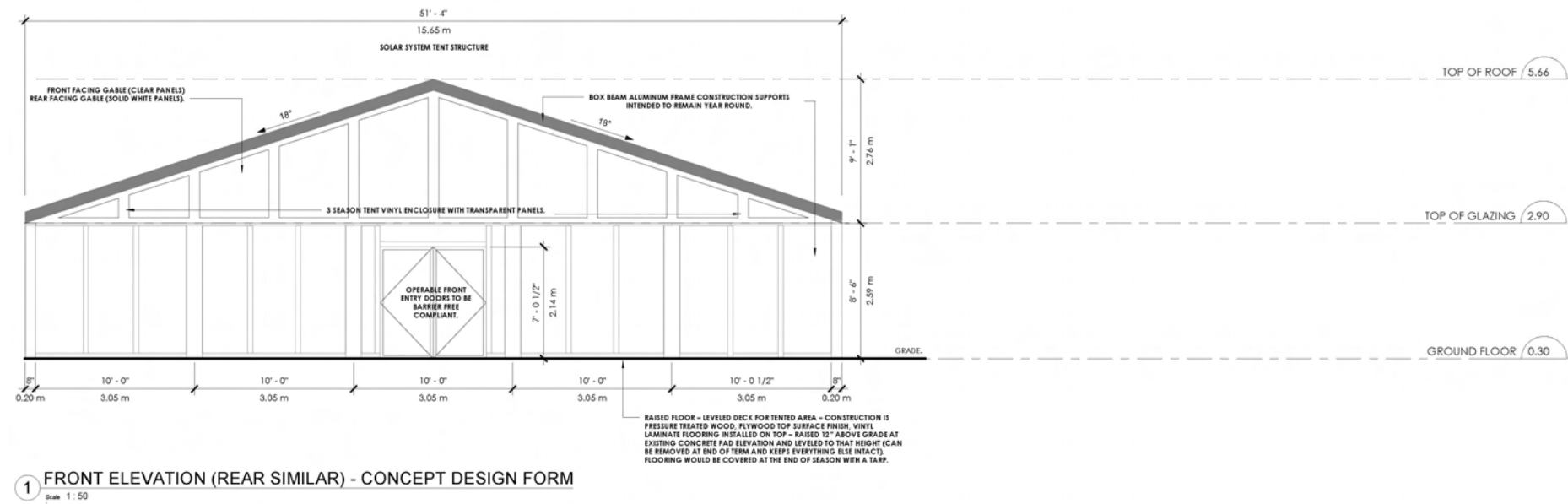
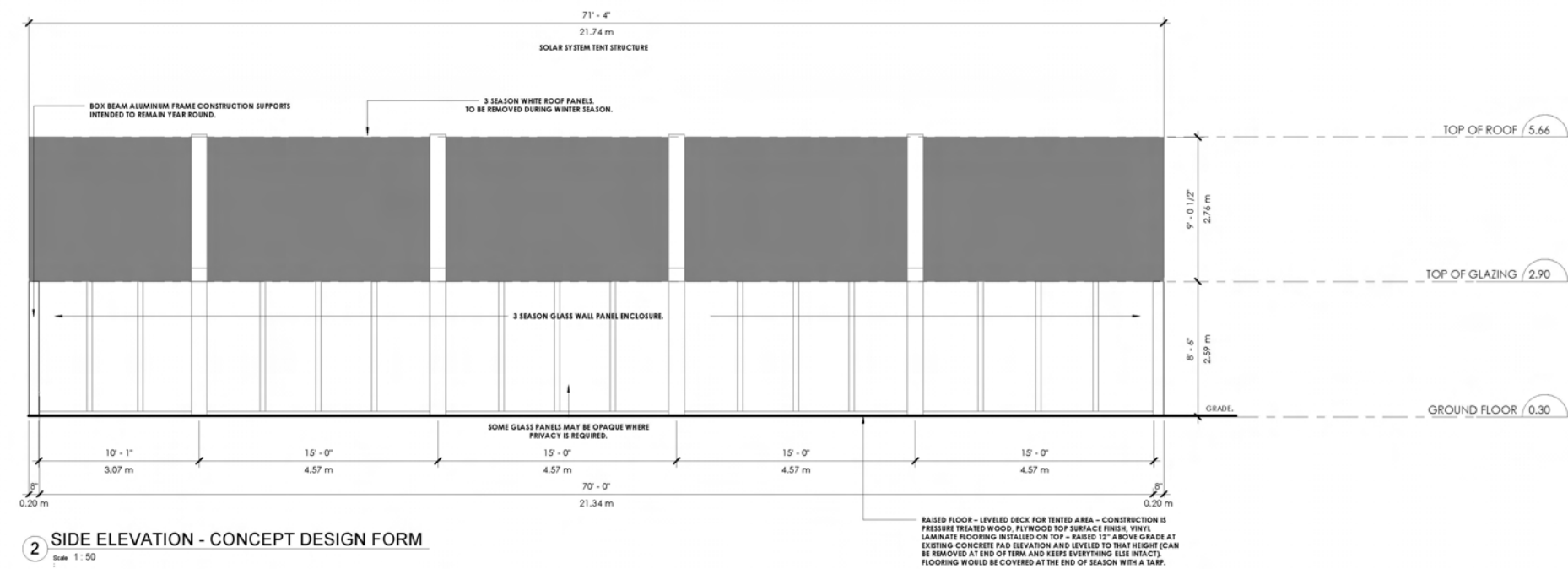
CLIENT: PEGASUS HOSPITALITY GROUP
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

PROJECT: SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING: SITE PLAN

DRAWN: KP PROJECT NO: 19-518
SCALE: AS SHOWN SHEET: A101
CHECKED: MAP

Fig. 3 Site plan detail, 14 Feb. 2020.




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KEY PLAN

5	ISSUED FOR CITY REVIEW	20-02-14
3	ISSUED FOR FEASIBILITY REPORT	19-12-12
2	ISSUED FOR REVIEW	19-12-06
1	ISSUED FOR REVIEW	19-12-04

NO.	DESCRIPTION	DATE
5	ISSUED FOR CITY REVIEW	20-02-14
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2	ISSUED FOR REVIEW	19-12-06
1	ISSUED FOR REVIEW	19-12-04

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CLIENT **PEGASUS HOSPITALITY GROUP**
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

PROJECT **SOLAR SYSTEM TENT STRUCTURE**
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING **BUILDING EXTERIOR ELEVATIONS**

DRAWN: KP PROJECT NO: 19-518
SCALE: 1:50 SHEET: A200
CHECKED: JAMP

Fig. 4 Elevations of proposed solar system tent structure, 14 Feb. 2020.

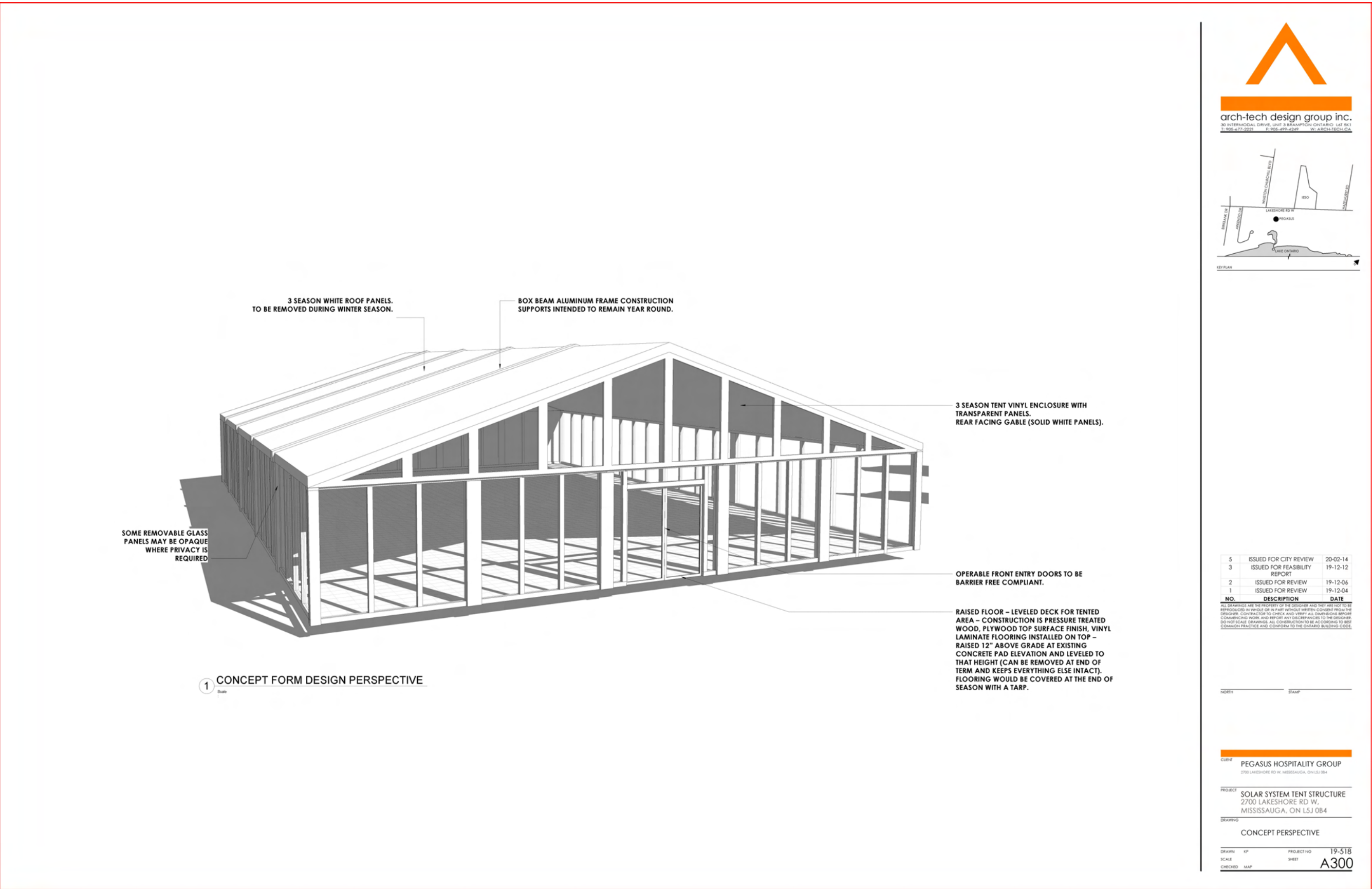




Fig. 5 Conceptual perspective of proposed solar system tent structure, 14 Feb. 2020.





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KEY PLAN

NO.	DESCRIPTION	DATE
5	ISSUED FOR CITY REVIEW	20-02-14

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NORTH

CLIENT
PEGASUS HOSPITALITY GROUP
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

PROJECT
SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING
STREETSCAPE PERSPECTIVE

DRAWN: EP PROJECT NO: 19-518
SCALE: 1:1 SHEET: A400
CHECKED: MAP

Fig.6 Conceptual photographic image

Appendix B: Author's Qualifications

Paul Dilse has specialized in heritage planning and historical study since his graduation from the professional planning school at the University of Waterloo in 1979.

He has written official plan policies on heritage conservation for the former Municipality of Metropolitan Toronto and for the City of Cambridge (his related official plan background study, in which he delineated the boundaries of prospective heritage conservation districts, remained a reference document there for three decades). He has surveyed the entire rural and exurban municipality of the Town of Caledon to compile a comprehensive inventory of built heritage resources located on 1,643 properties. He has assessed the cultural heritage value of two French Canadian Roman Catholic churches in rural Essex County as well as the cultural heritage landscape of the David Dunlap Observatory in Richmond Hill, and successfully defended their designation under the *Ontario Heritage Act* at Conservation Review Board hearings. He has also provided expert witness testimony at the Ontario Municipal Board and its successor the Local Planning Appeal Tribunal, successfully defending the designation of the first heritage conservation district in the Town of Markham, contributing to the positive outcome in favour of retaining a complex of rare garden apartments in the Leaside neighbourhood of Toronto, and ensuring the designation of the second heritage conservation district in the Town of Whitby.

He has produced heritage conservation district plans for the Thornhill-Markham heritage conservation district, Old Port Credit Village in Mississauga, the MacGregor/Albert neighbourhood in Waterloo, Lower Main Street South in Newmarket and Werden's Plan neighbourhood in Whitby. Another study of his – pertaining to the George Street and Area neighbourhood in Cobourg – has supported its designation as a heritage conservation district. He is also the author of a report on the feasibility of establishing heritage conservation districts in downtown Brampton. His knowledge of heritage conservation districts spans 35 years – from the time when he reviewed heritage conservation district plans for the provincial government in the early 1980s to the post-2005 era when amendments to the *Ontario Heritage Act* clarified and strengthened Part V of the Act. As well, he has prepared conservation-based design guidelines for the historic commercial centres of Alliston, Beeton, Tottenham and Picton.

Since 2004 when municipalities in Central and Southwestern Ontario started requesting heritage impact assessments from him, he has completed 59 such reports – 14 for subjects in Mississauga. In addition to the heritage impact assessments, he has described and evaluated many other historic properties, for instance, Delta Collegiate Institute in Hamilton. Its 2014 designation under the *Ontario Heritage Act* was the first in Hamilton in five years.

He has written text for commemorative plaques, including several for the Ontario Heritage Trust, and has planned an extensive program to interpret the history of the Freeport

Sanatorium at the Grand River Hospital in Kitchener. His major work in 2011, a history of the Legislative Building in Queen's Park and a statement on its cultural heritage value, forms part of an historic structure report commissioned by the Legislative Assembly of Ontario. In 2016, he prepared a strategic conservation plan for the Hamilton GO Centre Station, formerly, the Toronto, Hamilton & Buffalo Railway Station. Its historic significance is recognized in the station property's designation under the *Ontario Heritage Act* by the City of Hamilton, a rating as a Provincial Heritage Property of Provincial Significance and designation under the *Heritage Railway Stations Protection Act* by the Historic Sites and Monuments Board of Canada. In 2017, his report in support of the designation of Belfountain Conservation Area under the *Ontario Heritage Act* was adopted by the Town of Caledon.

Paul Dilse is qualified as a planner and historian by the Canadian Association of Heritage Professionals, of which he is a founding member.