

PROPOSED PAVILION STATS:

STRUCTURE AREA = +/- 325.16 M (3,500.00 SF)
STRUCTURE HEIGHT = +/- 5.69 M (17' - 8")
STRUCTURE SETBACK = MIN 3M TO EXISTING BUILDINGS.
TOP OF BANK SETBACK = 7.5 M

PROPERTY DETAILS

[View Another Property.](#)

Address: 2700 LAKESHORE RD W Ward: 2
Legal Description: CON 4 SDS PT LT 35 - PTS 5 - 7 43R22402 Councillor: KAREN RAS
Roll Number: 21-05-020-025-06000-0000 Area: 177380.01 SM
Common Name: HARDING WATERFRONT ESTATE P-389 Depth: M
Property Code: MUNICIPAL PARK Frontage: M
Status: Registered

Site Plan Control

This property is subject to Site Plan Control By-law regulations.

Properties subject to the regulations of the Site Plan Control By-law require that the owner receive site plan approval from the Development and Design Division for any new development on-site or addition. This requirement is necessary prior to the issuance of a building permit. To read more about the Site Plan Approval process please [click here](#).

Zoning Information

The zone(s) for this property are listed below. Please [click here](#) to access our online zoning by-law.

By-law In Force

Zone	Master Bylaw	Enacting Bylaw	OMB Case / File No.	Status
OS2-11	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G1	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G2	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
D	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
E2-108	0225-2007	BL-0396/09	PL081164 / PL100096	BOARD ORDER
G1-14	0225-2007	BL-0179/18	N/A	IN FORCE

Heritage Status

Status: DESIGNATED UNDER THE TERMS OF THE ONTARIO HERITAGE ACT
Conservation District:
Bylaw: 101-2009
Bylaw Date: 2009-04-08

Inventory Item

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
175	HOLCIM ESTATE	1938	1930	N	

Committee of Adjustment Applications

1 Application(s) found Page: 1 of 1

Address/Description	App Number	App Date	Status
2700 LAKESHORE RD W	A-51/99	1999-01-05	TEMP APPROVAL

The applicants request the Committee to authorize a minor variance to permit the utilization of the existing building for a business office; whereas By-law 5500, as amended, does not make any provisions for such a use in an PB1 zone.

Additional Permitted Uses

10.2.2.14.1	(1)	Temporary Tent and/or Stage
	(2)	Shade Structure



Greenlands Overlay

Zoning Notation Example:
R4-12 = R4-Exception 12

Zoning Map 04

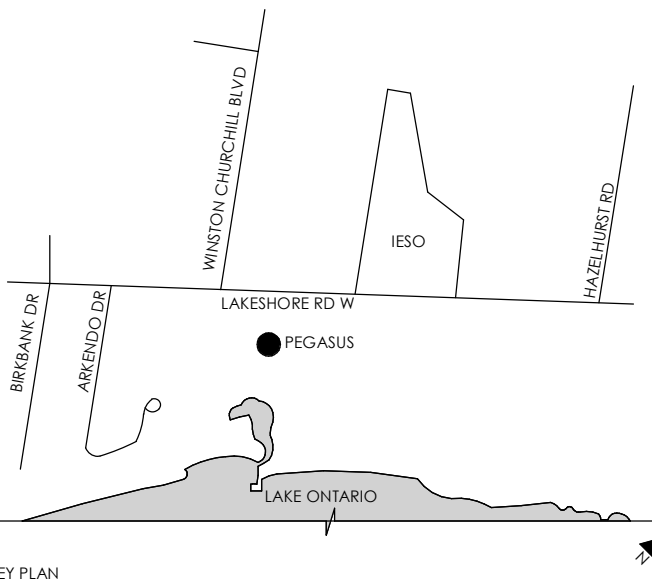
Schedule "B" To
By-law No. 0225-2007
Revised: 2016 December 31

1 OVERALL SITE PLAN

Scale 1 : 500

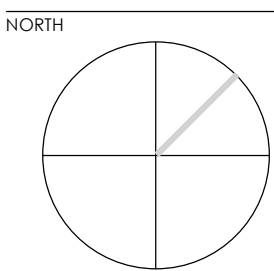


arch-tech design group inc.
30 INTERMODAL DRIVE, UNIT 3 BRAMPTON ONTARIO, L6T 5K1
P: 905-677-2221 F: 905-499-4249 W: ARCH-TECH.CA



5	ISSUED FOR CITY REVIEW	20-02-14
3	ISSUED FOR FEASIBILITY REPORT	19-12-12
2	ISSUED FOR REVIEW	19-12-06
1	ISSUED FOR REVIEW	19-12-04

NO. DESCRIPTION DATE
ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. DO NOT SCALE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

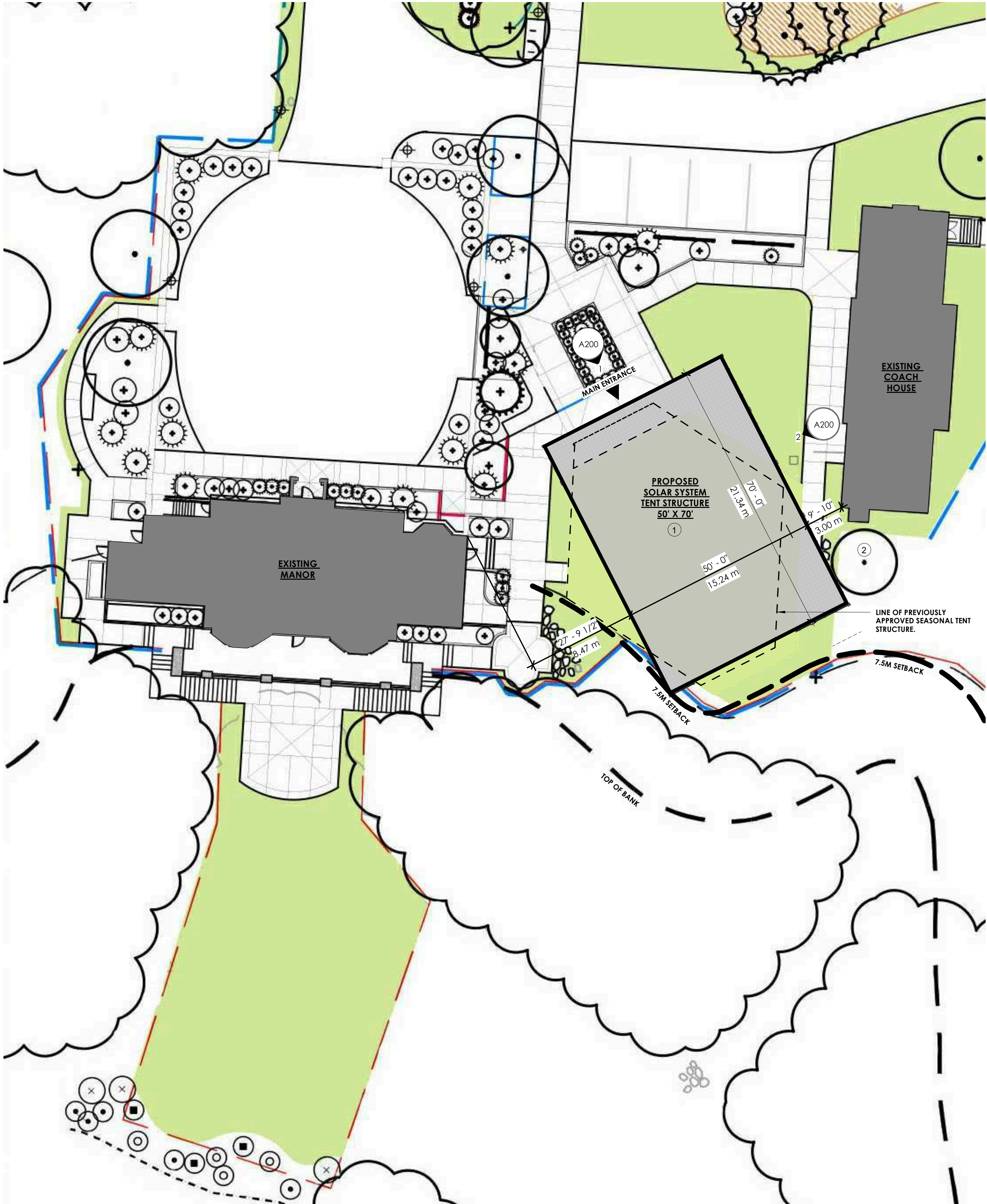


CLIENT PEGASUS HOSPITALITY GROUP
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

PROJECT SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING OVERALL SITE PLAN

DRAWN KP PROJECT NO 19-518
SCALE 1 : 500 SHEET A100
CHECKED MAP



1 SITE PLAN
Scale 1 : 200

GENERAL NOTES:

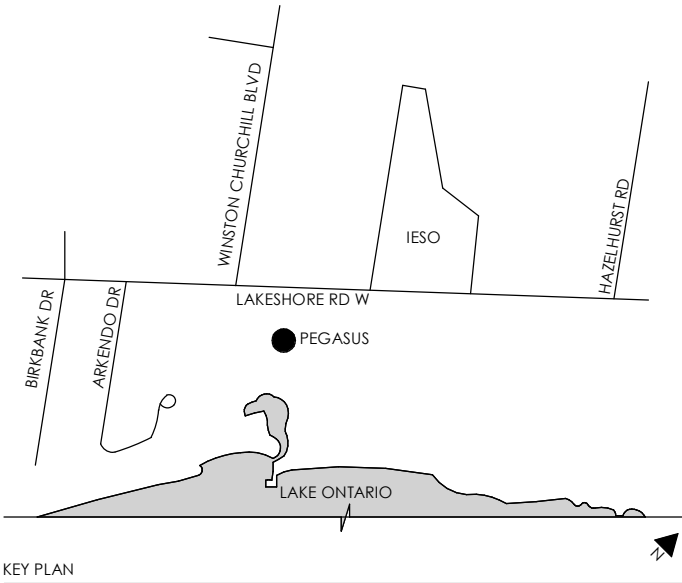
- 50'X70' SOLAR SYSTEM TENT STRUCTURE** - BOX BEAM ALUMINUM FRAME CONSTRUCTION WITH WHITE ROOF PANELS. FRAME WOULD REMAIN ALL YEAR. TENT TOP AND WALLS ARE REMOVED DURING WINTER SEASON.

- COMPRISED OF 15' AND 10' GLASS PANELS
- BACK SIDE WALL TOWARDS CONSERVATION- VINYL WALL 50'

RAISED FLOOR – LEVELED DECK FOR TENTED AREA – CONSTRUCTION IS PRESSURE TREATED WOOD, PLYWOOD TOP SURFACE FINISH. VINYL LAMINATE FLOORING INSTALLED ON TOP – RAISED 12" ABOVE GRADE AT EXISTING CONCRETE PAD ELEVATION AND LEVELED TO THAT HEIGHT (CAN BE REMOVED AT END OF TERM AND KEEPS EVERYTHING ELSE INTACT). FLOORING WOULD BE COVERED DURING THE WINTER SEASON WITH TARP.
- EXISTING TREE TO BE RELOCATED IF REQUIRED.
CURRENT SHRUBS TO BE REPLANTED, POTENTIAL FOR TREE TO BE MOVED AND REPLANTED/REPLACED.

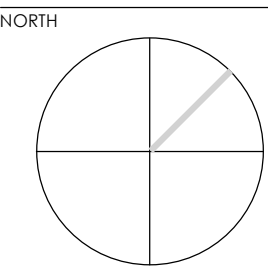


arch-tech design group inc.
30 INTERMODAL DRIVE, UNIT 3 BRAMPTON ONTARIO L6T 5K1
P: 905-677-2221 F: 905-499-4249 W: ARCH-TECH.CA



5	ISSUED FOR CITY REVIEW	20-02-14
4	ISSUED FOR FEASIBILITY AMENDMENT	19-12-17
3	ISSUED FOR FEASIBILITY REPORT	19-12-12
2	ISSUED FOR REVIEW	19-12-06
1	ISSUED FOR REVIEW	19-12-04
NO.	DESCRIPTION	DATE

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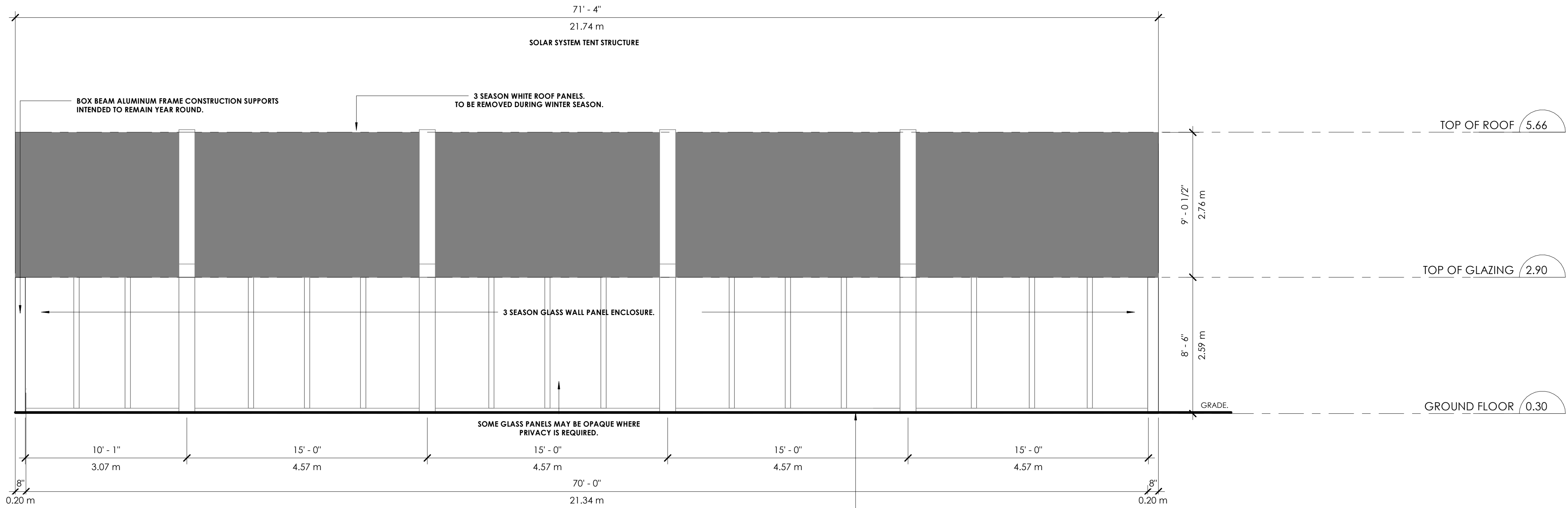


CLIENT PEGASUS HOSPITALITY GROUP
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

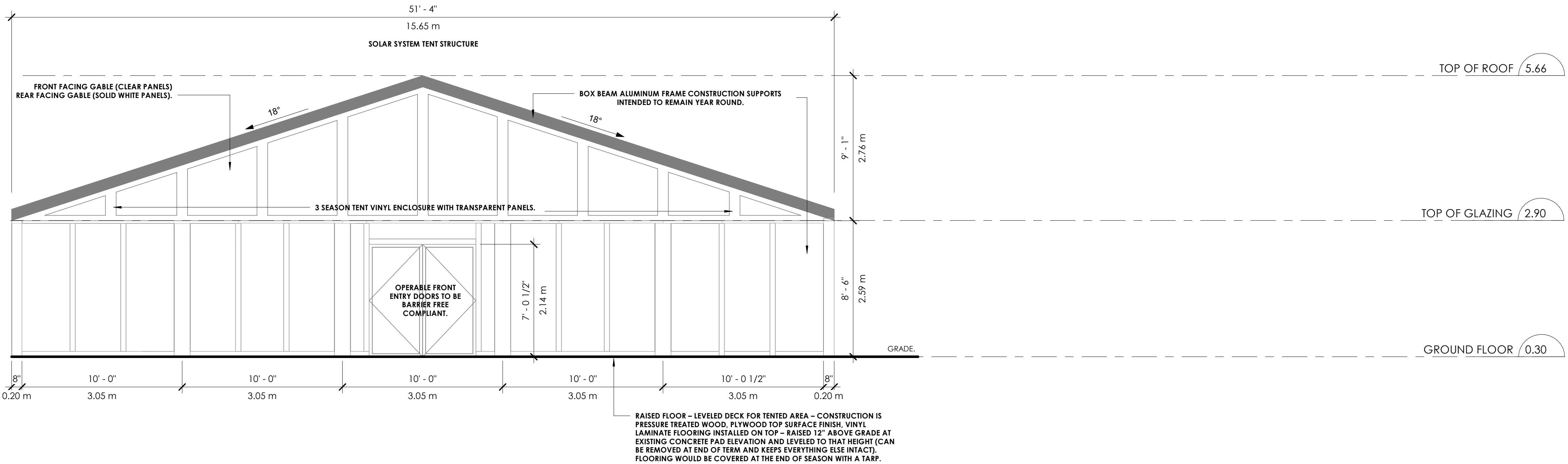
PROJECT SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING SITE PLAN

DRAWN KP PROJECT NO 19-518
SCALE 1 : 200 SHEET
CHECKED MAP A101



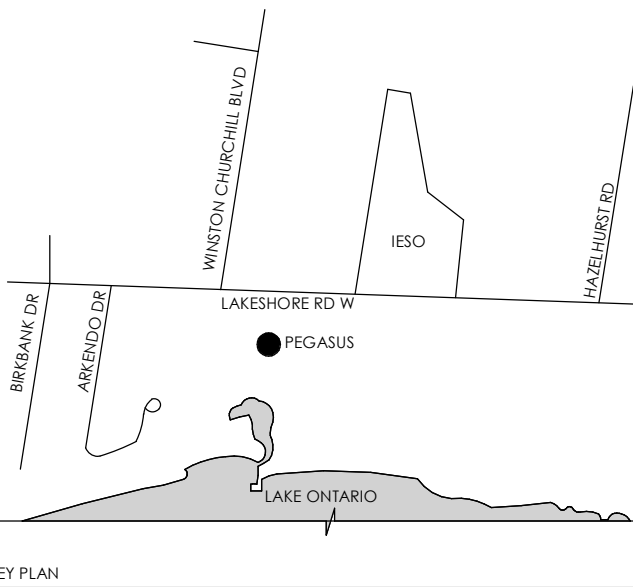
2 SIDE ELEVATION - CONCEPT DESIGN FORM
Scale 1 : 50



1 FRONT ELEVATION (REAR SIMILAR) - CONCEPT DESIGN FORM
Scale 1 : 50



arch-tech design group inc.
30 INTERMODAL DRIVE, UNIT 3 BRAMPTON ONTARIO, L6T 5K1
P: 905-677-2221 F: 905-499-4249 W: ARCH-TECH.CA



5	ISSUED FOR CITY REVIEW	20-02-14
3	ISSUED FOR FEASIBILITY REPORT	19-12-12
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1	ISSUED FOR REVIEW	19-12-04
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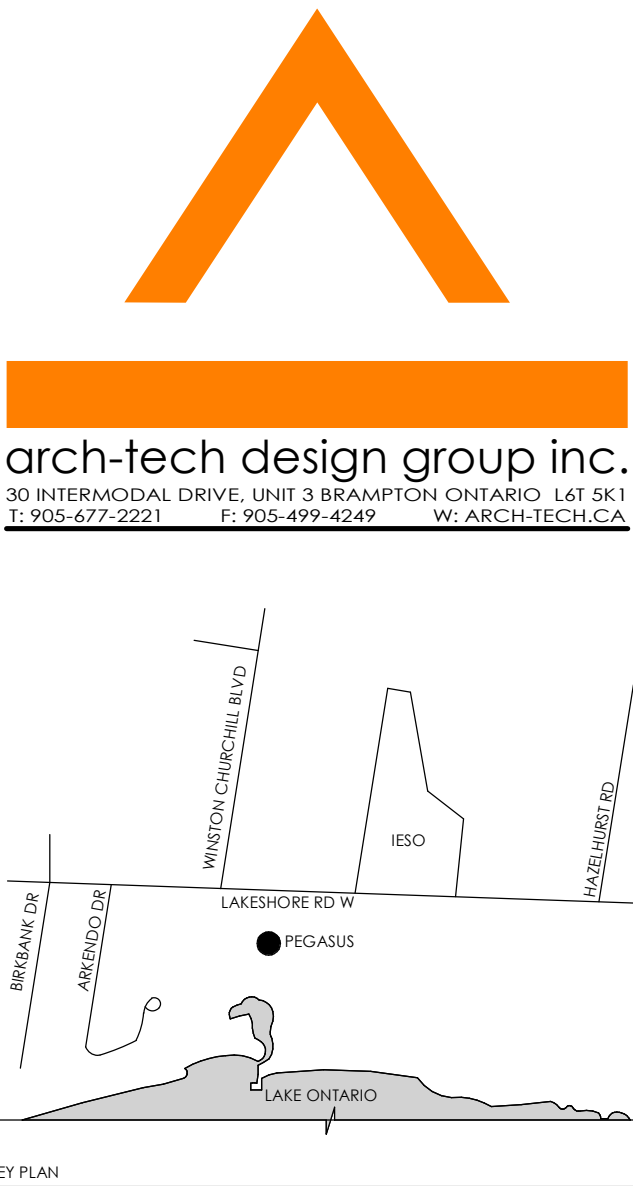
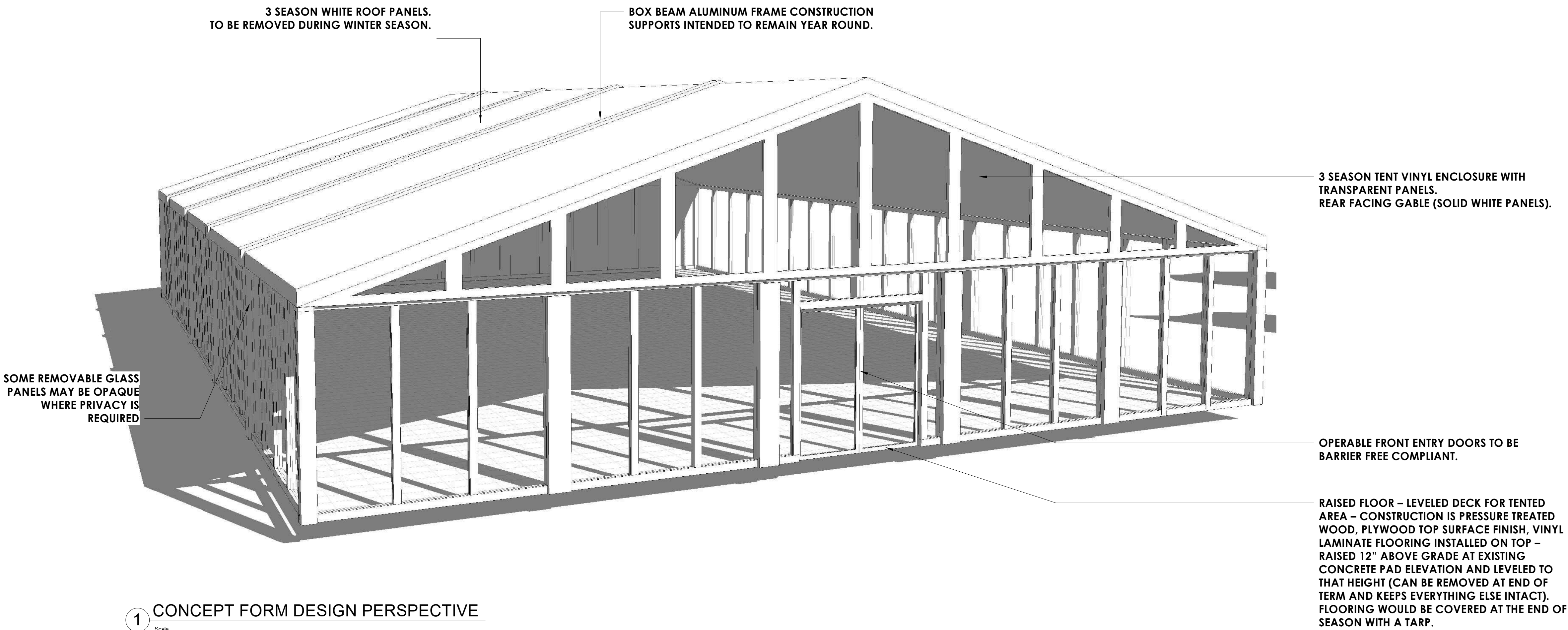
NORTH STAMP

CLIENT PEGASUS HOSPITALITY GROUP
2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4

PROJECT SOLAR SYSTEM TENT STRUCTURE
2700 LAKESHORE RD W,
MISSISSAUGA, ON L5J 0B4

DRAWING BUILDING EXTERIOR
ELEVATIONS

DRAWN KP PROJECT NO 19-518
SCALE 1 : 50 SHEET A200
CHECKED MAP



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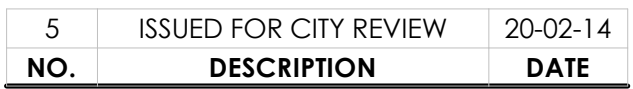
NORTH

STAMP

CLIENT	PEGASUS HOSPITALITY GROUP 2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4		
PROJECT	SOLAR SYSTEM TENT STRUCTURE 2700 LAKESHORE RD W, MISSISSAUGA, ON L5J 0B4		
DRAWING	CONCEPT PERSPECTIVE		
DRAWN	KP	PROJECT NO	19-518
SCALE		SHEET	A300
CHECKED	MAP		



KEY PLAN



NORTH _____ STAMP _____

DRAWING

DRAWN	KP	PROJECT NO	19-518
SCALE	1 : 1	SHEET	A400
CHECKED	MAP		