



# **A Heritage Impact Assessment for 13 Thomas Street, Mississauga, Ontario**

**James Bailey Architect**

**April, 2020**

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*This study has been commissioned by its current owner in support of an application for redeveloping 13 Thomas Street, Streetsville. It specifically addresses the architectural resources of the property which has been designated as being of historical and architectural interest since 1978. We have re-evaluated the house in respect to Ontario Regulation 9/06 made under the Ontario Heritage Act as well as the relationship of the property to the cultural landscape in which it is located. The conclusions represent the independent opinions of the author.*

## 1.0 Design Proposal and Report Objective

13 Thomas Street (often referred to as the Paterson House) has been purchased by a Toronto dentist, Mr. \_\_\_\_\_, with the intent of redeveloping this commercially zoned building into a denture and auditory clinic.

David Peterson, his architect, has proposed an adaptive re-use of what was the private residence of merchant and political personality, Thomas Paterson. To the best of public knowledge it was constructed in 1847 and the rear kitchen wing added twenty-three years later.

The house is located in the commercial core of Streetsville and is included (and listed) as being part of the Streetsville Architectural/Cultural landscape.

The proposed new use requires the demolition of the 1870 kitchen wing and replacing it with a new patient entrance/reception and office area. Access will be from the east where there is presently a parking area (which remains from an earlier commercial use of the house).

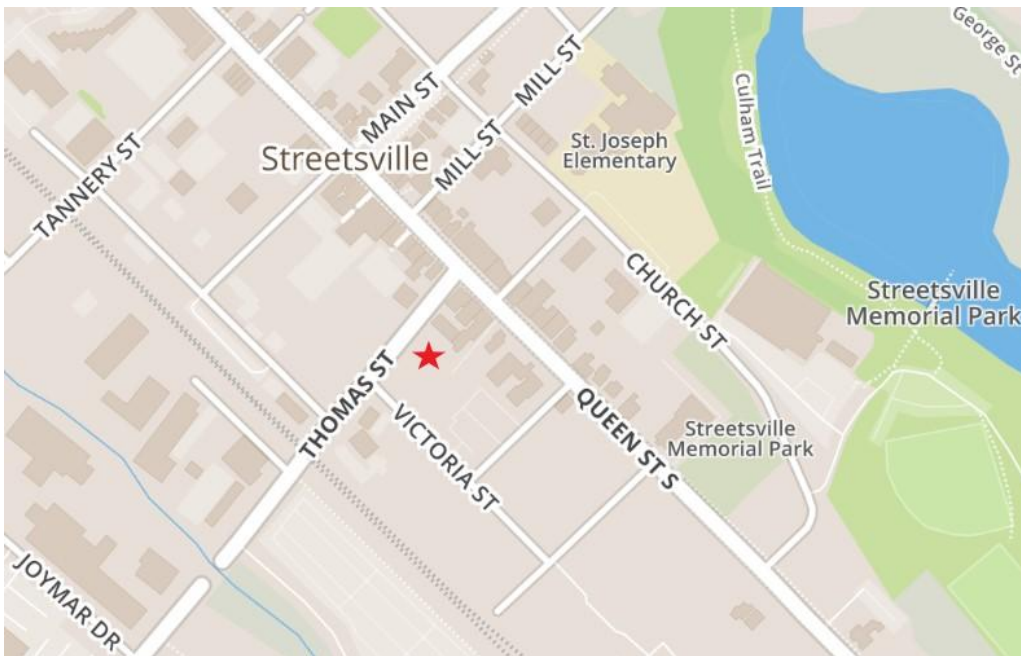
James Bailey Architect has been retained to prepare a Heritage Impact Assessment of this design proposal, required as it proceeds toward Site Plan Approval and ultimately is submitted for a Building Permit.

## 2.0 Location Plan of Subject Property

12 Thomas Street is located in the community of Streetsville (federal riding of Mississauga-Streetsville). Using major north-south and east-west arterials as references, the property sits between Mississauga Road and Erin Mills Parkway and between Eglinton Avenue West and Britannia Road West.







Historically this property was in what was known as Toronto Township. Toronto Township was formed as part of York County, Upper Canada on August 2, 1805 when officials from York (what is now the City of Toronto) purchased 84,000 acres (340 km<sup>2</sup>) of land from the Mississauga for 1,000 pounds. At this time the land was surveyed and much of it was given by the Crown in the form of land grants to Loyalists.

More than a dozen small communities grew in this area, most of which were located near natural resources, waterways for industry and fishing, and routes leading into York. The township became part of Peel County in 1851.

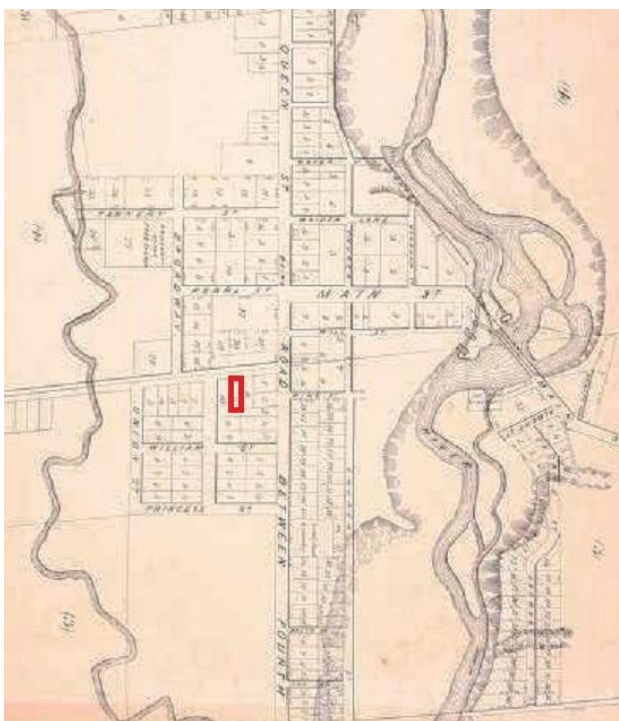
Industry was spurred in this area as a result of the many railway lines which had been constructed through the township. In light of the continued growth seen in this area, the Toronto Township Council was formed in 1873 to oversee the affairs of the various villages that were unincorporated at that time. This Council took on responsibilities for road maintenance, established a police force, and also took on mail delivery service.



A rather unpopular provincial degree in 1968 forced many of the villages which comprised this Township Council to amalgamate, forming the Town of Mississauga. Both Port Credit and Streetsville remained independent towns until Mississauga became a city in 1974 and incorporated these last two communities.



### 3.0 Description of the Property



Thomas Street figures in some of the earliest plans of the village of Streetsville. Located very near the intersection of Queen Street (which we will refer to as running north to south, although it is not that true to cardinal points), and Main Street which is just north of Thomas.

The legal description of the property is PLAN STR 4 PT LOTS 8, 9 BLOCK 1 (tax roll number 21-05-120-005-06500-0000). PIN is 13122-0018.

What one finds in this area today is a combination of buildings of residential and commercial origins. This integration of homes and businesses was not unusual for many small towns in Ontario in the 19<sup>th</sup> century.

Today the central core of Streetsville “retains much of the qualities of a rural farming town” (quoted from THE City of Mississauga citation).

13 Thomas Street and some of the other residences have become business addresses and new developments along neighboring Queen Street have generally respected the scale of existing shop fronts.

### 3.1 Description of the Present House

What we see in 13 Thomas Street is a good example of a late Regency home built by a respected local merchant, Thomas Paterson for his new wife (nee Agnes Savigny). The main mass of the house was constructed in 1847. Paterson became a member of Village Council in 1858. The brick kitchen wing was not added until 1870. This was ten years after the passing of Thomas. In all probability there would have been an earlier “summer kitchen” of simpler construction—likely wood frame.

The main house, as well as addition, are of brick construction sitting on stone foundations. Today there is a basement below the newest addition, and a small area below the main house has been excavated to serve as a furnace room. The foundations seem to have been set low enough to not call for underpinning of these walls in the basement areas.

The main red brick walls rise two stories. We have been told by the Architect of the current renovations, that the walls are solid, triple wythe brick.

A large quarry of red clay lay on the west side of the village, encouraging the use of brick for construction. Another landmark nearby, Timothy Street's (founder of Streetsville) house, was built in 1825 and is one of the oldest brick houses in Peel Region.

While time has caused this period feature to fade, at least the front façade was tuck-pointed which attempted to regularize the perception of the coursing. The brick is quite weathered with some evidence of abrasive cleaning in the past.

The roof is a hip roof with quite a low slope (3.75:12). The eave overhang is quite pronounced. The eave is bracketed by pairs of brackets (six pairs across the main façade).

A distinguishing feature of the home is the substantial brick chimneys that rise above the roof maintaining the symmetry of the façade. These chimneys are carried up from fireplaces in the two front reception rooms.

The façade is a well-balanced composition with a central main entrance door set in a paneled embrasure with typical Regency glazing in the side lights and transom light. At the main level, located to each side of the recessed entrance are French windows. These hinged pairs are paneled up to waist height, over which each has a 6/6 window unit. The French windows are provided with shutters.

Somewhat surprising is that there is no evidence of there ever having been either an outdoor terrace or a veranda which would have been usual, given the French windows.

Lined up over the main entrance door and these two French window units are three matched second floor window units. These are casements unit with 4/4 glazing. Shutters are provided for all windows.

Each of the two lateral sides of the house (we will call them east and west) have two symmetrically placed 12/12 double hung windows serving the main floor, above which are two 6/6 double hung windows. These are all provided with shutters as well as storm windows.

An additional peculiarity of the fenestration is that fact that one window on the west façade—the main floor window nearest the street—is not an actual window, but with shutters closed, seems to have been included over a solid wall in order to maintain the symmetry of that façade.

The chimneys, while strong visual elements above the roof line, do not read on the side wall elevations—that is they do not protrude beyond the alignment of the walls.

The rear (south) kitchen wing is a single storey with a full basement. As was often the case, such a wing would have replaced an earlier, likely wood-frame “summer kitchen”. Our research indicates that the brick kitchen was added in about 1870.

## House Exterior Photographs



**Front Façade (north-west)**



**South-West Façade (parking lot)**





**Rear (south) façade**



**South-East Façade**

## INTERIOR PHOTOGRAPHS

### Main Floor



Easterly Living Room



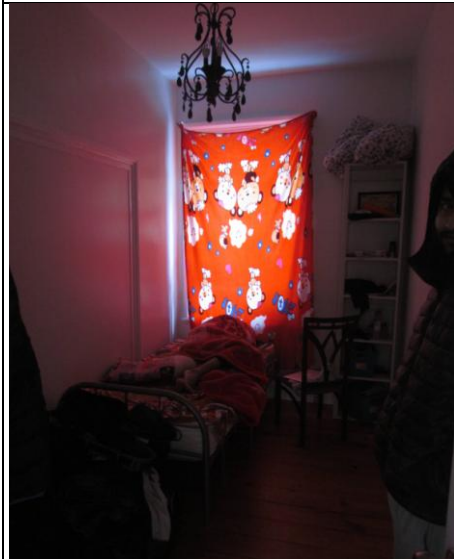
Westerly Living Room



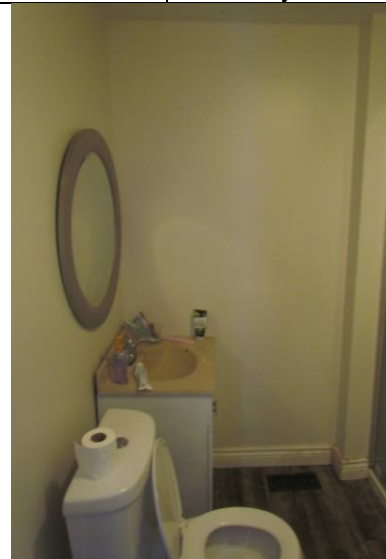
Kitchen



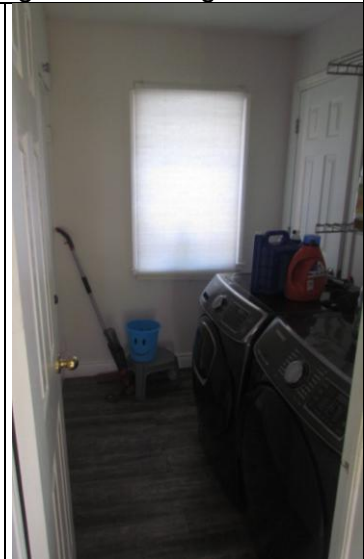
Westerly LR looking toward dining area



Main Floor Bedroom (Bdrm. 1)



Main Floor Bathroom



Laundry



## Second Floor



**South-east Bedroom (Bdrm. 2)**



**North-east Bedroom (Bdrm. 3)**



**North-west Bedroom (Bdrm. 4)**



**Second Floor Bathroom**

## BASEMENT LEVEL



**Furnace Room (under main house)**



**Basement below Kitchen (and Stair)**



## ARCHITECTURAL FEATURES



Recessed Doorway, Sidelites and transom



French windows



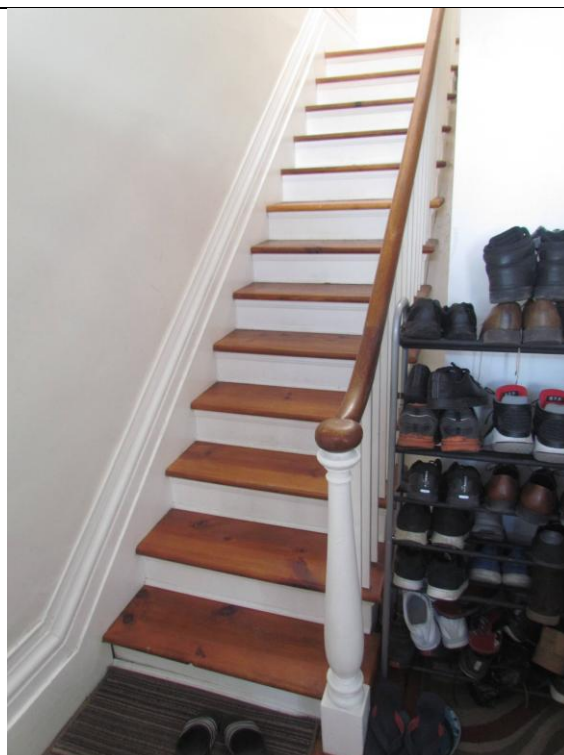
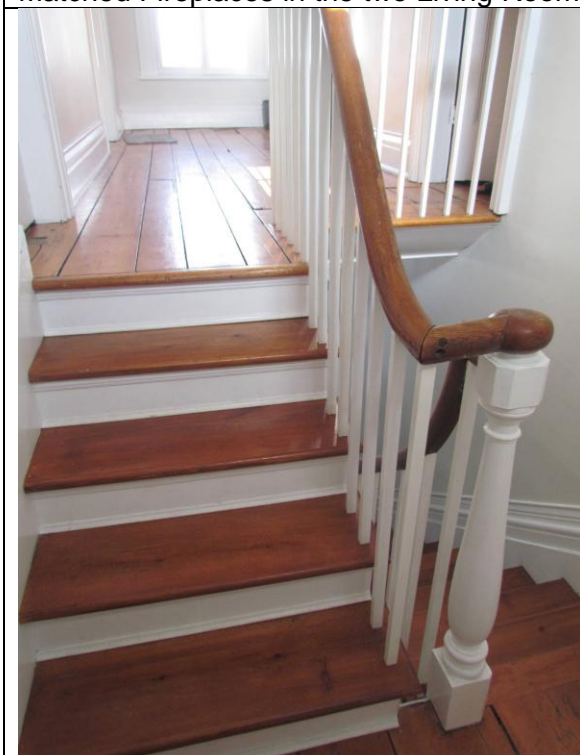
Casement Windows c/w Shutters



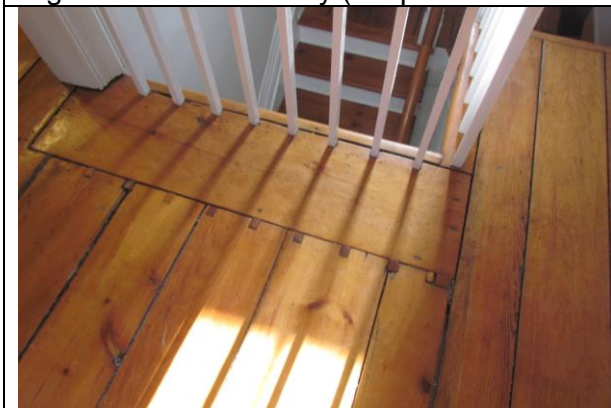
Bracketed Eave and Symmetrical Chimneys



Matched Fireplaces in the two Living Rooms



A grand central stairway (the pickets don't look original, and the treads look replaced)

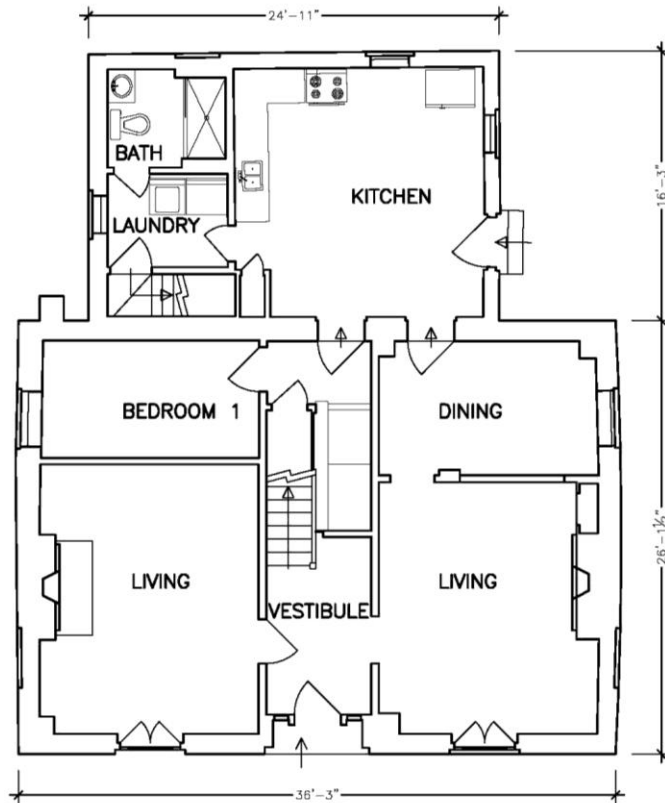


Wide Planked Floors

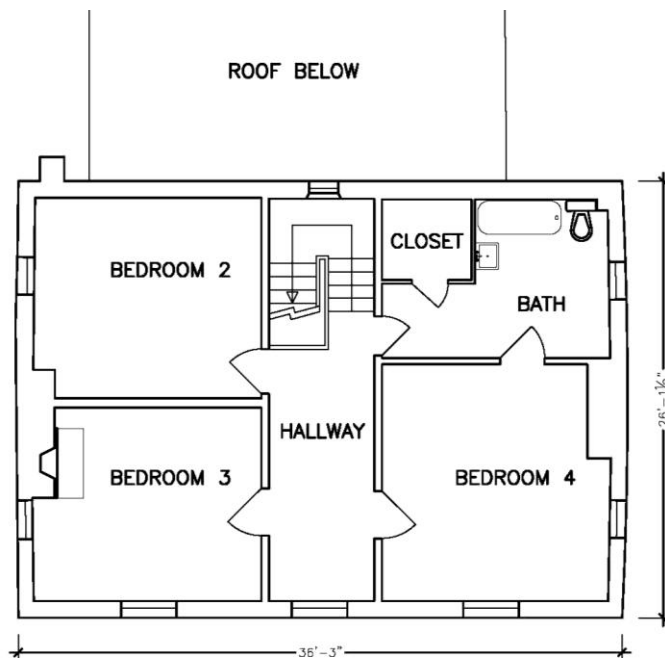


Original baseboards and door trim

### 3.2 Plans of the Existing House

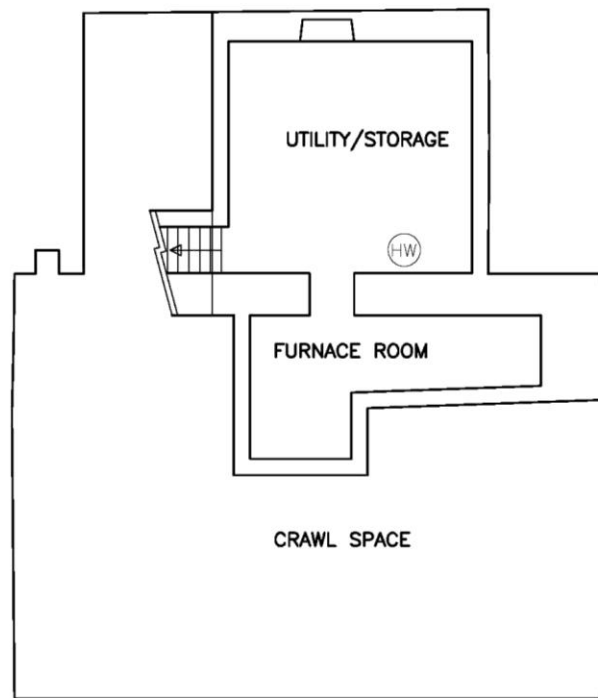


**Existing House: Main Floor Plan**



**Existing House: Second Floor Plan**





**Existing House: Basement**

#### 4.0 Historical Research

The focus of the archival research on this property has been to confirm when the existing house was built and subsequently modified, who has occupied the house and its relationship to the historic village of Streetsville.

Based on sources that are listed in the references listed elsewhere in this study, we have concluded that ownership and/or occupancy of the house has been as follows. *(Items in Italic text are not specific to the house, but to other addresses for assumed occupants.)*

YEAR	OWNER/OCCUPANT	CONNECTION TO COMMUNITY	SOURCE
1828	Kings College	King's college was the predecessor of the University of Toronto. In 1828 operated by the Church of England	Patent of Lot 3, Concession 5
1844	William Cawthra		
1845	James Patterson (1793-1874)	One of the first residents of Streetsville having immigrated from Scotland in 1820. Known as the "Baird of Bonnie Braes"	From William Cawthra, instrument #23518. B.&S. James shows up in Canada West Census as living in Streetsville in 1851.

YEAR	OWNER/OCCUPANT	CONNECTION TO COMMUNITY	SOURCE
1847	Thomas Paterson (1818-?) Reported to have built 13 Thomas Street in the Heritage Citation	Son of James Paterson (1793-1874) and Jane Pigge (1798-1849) A local merchant and ran a Foundry	No record found of Thomas taking ownership
1851	Thomas Paterson (1818- Agnes Blair Paterson, nee Savigny (1819-?) and daughter Agnes J. (1848-?)		1851 Canada West Census.
1859	Thomas Paterson		Tremaine map of Peel Region Also, 1959 Streetsville Assessment
1860	Thomas Paterson	Purchased 13 Thomas Street from his father James	B. & S. on landtitles (perhaps this was to clear up estate matters)
1862	Hugh P. Savigny (1829-Surveyor	Younger brother of Agnes Paterson Appears to take ownership of the house.	Landtitle transcripts appears to take ownership of 3 St. Thomas Street (.25 acres) and 46 Ontario Street
1872	<i>Agnes Paterson (1819-living at 46 Ontario Street. H. Savigny does not appear in transcripts</i>		<i>1872 Streetsville tax assessments</i>
1874	<i>Agnes Paterson (1819-living at 8 Thomas Street</i>		<i>1874 Streetsville tax assessments</i>
1875	Ellen McKindsey	Agnes Paterson (1852- ?) Daughter of David Thomas Paterson, first owner of 13 Thomas Street still resident	1875 Streetsville tax assessments Land title Registry #293 \$1,000
1877	Thomas Doyle (1854-	Tenant, still owned by Agnes Patterson	1877 Streetsville tax assessments
1880	William H. Doyle (1835- )		1880 Streetsville tax assessments
1883	Mrs. Jane McKindsey Sons Lindsay and Bert Minnie (married Frank Morgan) Etta (Storekeeper and School Teacher Lily (spinster)		Letter dated January 10, 1942 from someone who had lived in Streetsville from 1883 addressed to Mr. Clements
1894	Hugh McCaugherty (1827-1913) marries the owner of 13 Thomas Street, Jane McKindsie.(sic)		Streetsville Review of December 1894

YEAR	OWNER/OCCUPANT	CONNECTION TO COMMUNITY	SOURCE
1895	Hugh McCaugherty (1827-1913)		Streetsville Review of August 8, 1895 "Mr. Hugh McCaugherty has greatly improved his residence on Thomas Street by having it Tuckpointed. He is also having it repainted inside and out."
1887	William H. Doyle (finisher)		1887 Streetsville Tax assessments
1901	William H. Davidson (finisher)	Non-resident, living in Cobourg	1901 Streetsville Tax assessments
1902	Richard King (b. 1826) (labourer) indicated to be a tenant	William H. Davidson, the owner has moved to Dexter, Maine	1902 Streetsville Tax assessments
1903	King has moved out and Mrs. Hugh McCaugherty (1830- is noted as living on a half acre comprising Lot 8 and pt. Lot 9 Thomas Street.	William H. Davidson, the owner has moved to Dexter, Maine	1903 Streetsville Tax assessments
1907-1909	Hugh McCaugherty (1830-?) with son, David (1869- ?) and wife Jane		1907 and 1909 Streetsville Tax assessments
1912	Lilian McKindsay (Spinster daughter of Jane McCaugherty (formerly McKindsay)	Purchased from Jane McCaugherty	Land title Registry #1309
1918	Harrison Hisey	from Lilian McKindsay	Land title Registry #1312 \$2,500
1926	A.B. Bruce (1879- ), agent, with wife and two children		1926 Streetsville Tax assessments
1931	Harrison Hisey (1874- ) labourer and Margaret Hisey (1875- )		1931 Streetsville Tax assessments
1942 letter	Lily McKindsey	Spinster daughter of Jane McKinnsey reported to live in the house for three years following her mother's death.	Letter dated January 10, 1942 from someone who had lived in Streetsville from 1883 addressed to Mr. Clements
	Colonel W.W. Pope With son Macaulay Pope		



YEAR	OWNER/OCCUPANT	CONNECTION TO COMMUNITY	SOURCE
1938	Alice M. Pope	Purchased from Harrison Hisey	Land title Registry #1936 \$2,500
1941	William G. Clements	Purchased from Alice M. Pope	Land title Registry #2044 \$3,000
1942	William George Clements (1908- ) Manager Edith Helana Clements (1916-)		1942 Streetsville Tax assessments <i>Pt. 8 + 9 94'</i>
1955	Lenward (?- 1969) and Marian J. Lee	Purchased from William Clements The Lee's ran the Streetsville Funeral Home fronting on Queen Street	Land title Registry #4245
1959	Botsford Trites (1904- ?) <i>electrician</i> and Hattie Isabel Trites (1908-? )	Lenward and Marian J. Lee owners	1959-60 Streetsville Tax assessments
1960	<i>Susan Switzer (1883- ) with daughter Mary Ethel Manning , nee Switzer Switzer (1919-1990) and Hugh A. Manning (1925-2009 ) live at 31 Thomas Street</i>		<i>1959-60 Streetsville tax assessments</i>
1962	Mary Switzer Manning and Hugh Manning	Opening of Manning Antiques at 13 Thomas Street	Streetsville, from Timothy to Hazel (Kathleen A. Hicks) 2008
1966	Hugh Manning	In business with his wife Mary and a past President of the Antique Dealers Association.	Land-titles Transaction 7174
1978	Designation By-law # 635-78	Designation By-law # 635-78	
1997	Hugh Manning and Mary Ethel Manning		Land-titles Transaction PR1225920
2010	Martin William Scott Manifred Sigmond Schneider Hugh Manning estate		Land-titles Transaction PR1857790
2011	On-line Experience Programs Inc.	On-line education? Can't be sure.	Land-titles Transaction PR2741814
2015	Green Elephant Nutrition Centre	Nutritional supplements (but seems to have gone under)	Land-titles Transaction PR2741813
2019	and	Current Owner, commissioning this HIS	Land-titles Transaction PR3474817

## 5.0 Statement of Significance of the Property

Ontario Regulation 9/06 made under the Ontario Heritage Act establishes three criteria for determining Cultural Heritage Value or Interest.

1. The property has **design value or physical value** because it,
  - a) is a rare, unique, representative or early example of a style, type, expression, material or construction method,
  - b) displays a high degree of craftsmanship or artistic merit, or
  - c) demonstrates a high degree of technical or scientific achievement.
2. The property has **historical value or associative value** because it,
  - a) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
  - b) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
  - c) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has **contextual value** because it,
  - a) is important in defining, maintaining or supporting the character of an area,
  - b) is physically, functionally,
  - c) visually or historically linked to its surroundings, or
  - d) is a landmark.

### 5.1 Design or physical value

The current house at 12 Thomas Street represents the home of an early Streetsville business man (merchant and owner of a foundry) and it was clearly built to confirm his position in the community, in addition to pleasing his new bride.

The house has been described in detail in section 3.1 of this report.

It represents a home of Late Regency style, and when it was being recommended for designation in 1973, it was felt that it was an example of this particular style of home in Streetsville—circa 1845—which had not been defaced either inside or out.

Letter from Hugh Manning  
recommending it for designation

13 Thomas St.  
Oct 20, 1973

Streetsville Planning Board  
Streetsville, Ont.  
Gentlemen:

I was unable to attend your public hearing of Oct 16 & as it was the same night as the Library Board meeting.

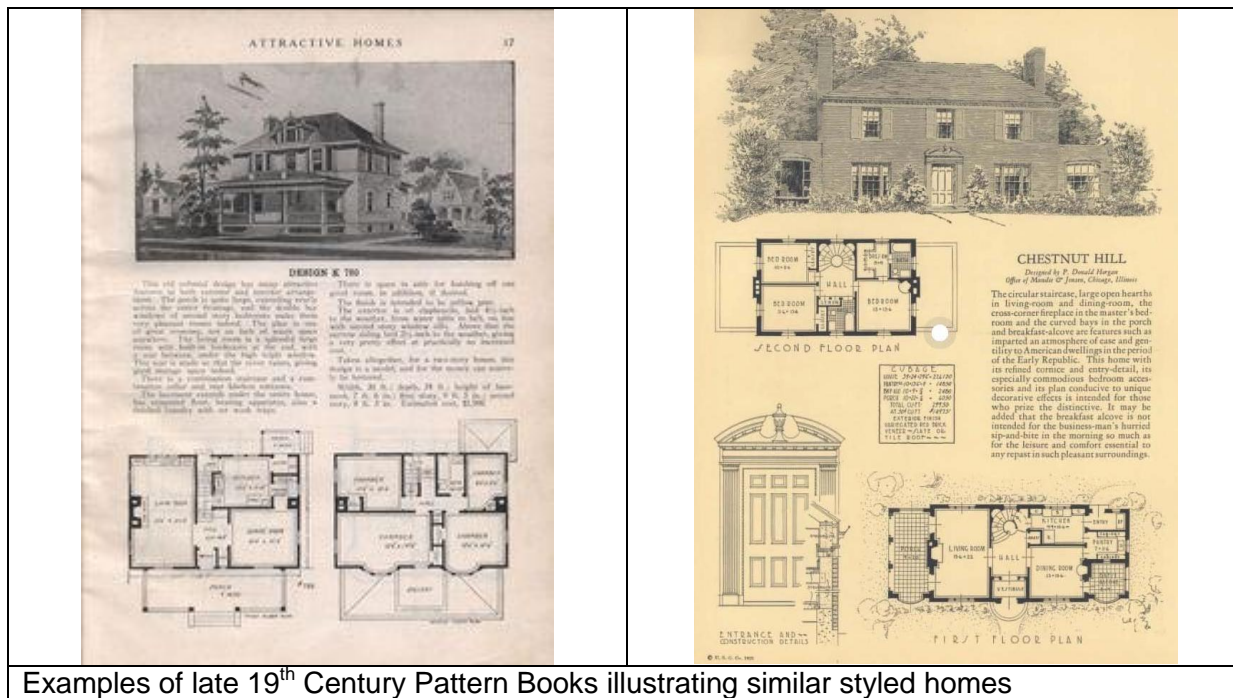
However, on reviewing the list of buildings of historical or architectural interest, I would like to point out that our property at 13 Thomas St. has not been included.

The house is Colonial Regency design - circa 1845 - and is the only home in Streetsville of this type and design. Also it is completely original - nothing has been defaced inside or out. It is on all the buildings inventory lists of the Province and a source of great interest to restoration architects.

I am not bringing this to your attention for any personal gain - but we are most anxious that no preservation legislation is passed - at any level - that this property can be classed as worthy of protection. We have no ulterior motives - monetary or otherwise - the house is our pride and joy and we would co-operate in any way to assure its survival.

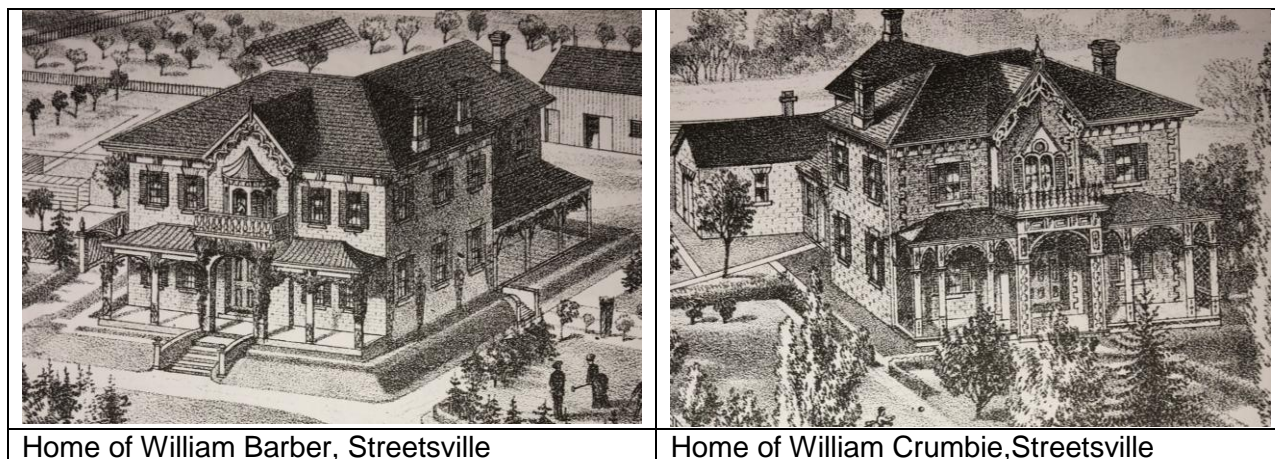
Sincerely  
Hugh Manning

The house is not unique, but such examples are being lost by the year. We cannot be sure how the design evolved. It could well have come from a pattern book. These came out of England and also America. An American architect, Alexander Jackson Davis published a collection which included plans and elevations along with key details. By the early 20<sup>th</sup> century traditional pattern books had been replaced by mail-order catalogues of house plans.



Examples of late 19<sup>th</sup> Century Pattern Books illustrating similar styled homes

A number of precedents existed in the community which may have directed Thomas Patterson toward this particular design. Sketches of these have been included in the 1877 Illustrated Atlas of Peel. One was that of William Barber who ran the local mill. Another was that of William Crumbie. (What is telling is the strong similarity between these two homes).



Home of William Barber, Streetsville

Home of William Crumbie, Streetsville

Whatever the source of the design, it was beautifully crafted by local trades. Our review of the house has identified the floors, a couple of fireplace mantels and a central stairway as

being significant features. There is some question as to how much of the stairway has been rebuilt over time.

On the exterior the recessed entrance, with its glazed transom and sidelights, along with the elegant French windows either side, contribute to the distinctiveness of this home. These features, the three equally spaced windows on the second floor, and the two chimneys present an exceptionally balanced presence on Thomas Street.

#### **DESIGN OR PHYSICAL VALUE**

We are happy that this fine example of a Late Regency style house will be retained as the house is put to a new use. Many homes of this period have either been lost, or have been altered. This has, for the most part, been well maintained with few interventions.

## **5.2 Historical or associative value**

As determined through our research of land title registries, Streetsville tax assessments, other archival records and publications, this house has had quite a number of occupants over the past 175 years.

Most noteworthy are the following families:

### Thomas Paterson (1818-1860) with his wife Agnes Blair Paterson (nee Savigny)

Thomas supposedly had the house built for his bride and most “authorities” have put the date of construction as being between 1845 and 1848 (we have not been able to verify the date of construction). Thomas was the son of James Paterson (1793-1874) who came from Scotland in 1820 and homesteaded lot 4, Concession 5 of Toronto Township, where he became known as Laird of Bonnie Braes.

Thomas Paterson is shown in tax records to be a merchant and also ran a foundry. By virtue of the fact that he was on Streetsville Town Council and also an Elder of St. Andrew’s Presbyterian Church (est. 1821), he was clearly a respected citizen at an early age.

By 1870 Hugh P. Savigny (1829- ?) seems to be the owner although Agnes Paterson remains resident. This is when the brick kitchen wing is reported to have been added.

### Jane McKindsey (1830- ?), and Hugh McCaugherty (1827-1913)

Mrs. Jane McKindsey, a widow, married a widower, Hugh McCaugherty in December of 1894 (Streetsville Review) who then moved in with her (plus her three daughters and two sons) at 13 Thomas Street. (She had been resident in the house since 1883.) It seems that the one spinster daughter, Lily McKindsey stayed on after the death of her mother and step-father.

The house was upgraded at the time of their marriage. The Streetsville Review of August 1895, records: “Mr. Hugh McCaugherty has greatly improved his residence on Thomas Street by having it tuckpointed. He is also having it repainted inside and out.”



## Early 20<sup>th</sup> Century Owners and/or Occupants

During the 1920's and 1930's two shorter term owners included A.B. Bruce (1879- ?), "agent" with his wife and two children (1926 Streetsville Tax Assessments); and Harrison Hisey (1874- ?), "labourer", with his wife, Margaret (1921 Streetsville Tax Assessments).

By the 1940's, a Mr. William George Clements (1908- ? ) is listed along with his wife Edith Helana Clements (1916- ?) as residents of the house in the 1942 Streetsville Tax Assessments, and this is corroborated by a letter dated January 10, 1942 found in the Mary Switzer Manning archives from someone who had lived in Streetsville from 1883.

During the 1950's the home was owned, but not occupied by Lenward and Marian J. Lee, who had (perhaps among others) a Botsford Trites (1904- ?), "electrician" and his wife, Hattie Isabel Trites (1908- ?)

### Mary Ethel (nee Switzer, 1919-1990) and Hugh A. Manning (1925-2009)

This couple are responsible for the condition we find the home in today. They were both extremely interested in history and ran an antique store, for a time at 13 Thomas Street, before it moved to a separate location on Queen Street.

It was through this couple's efforts that the house was first documented and application was made for designation. The designation by-law was passed in 1978.

It should be noted that Hugh Manning was a past present of the Antique Dealers Association. Mary Switzer Manning's archives are now at the Peel Art Gallery Museum and Archives to which their estate made a considerable contributions and there is a court within this complex carrying their names.

#### **HISTORICAL OR ASSOCIATIVE VALUE**

The most important associations are with the original owner, Thomas Paterson along with his family (although he was short-lived and didn't enjoy the home as long as I am sure he planned). More recently Mary and Hugh Manning left their mark on 13 Thomas Street, having occupied it from 1962 to 1997. This couple was instrumental in having the home designated, and while it was this couple's place as business—Manning Antiques—it had the most public exposure during its existence.

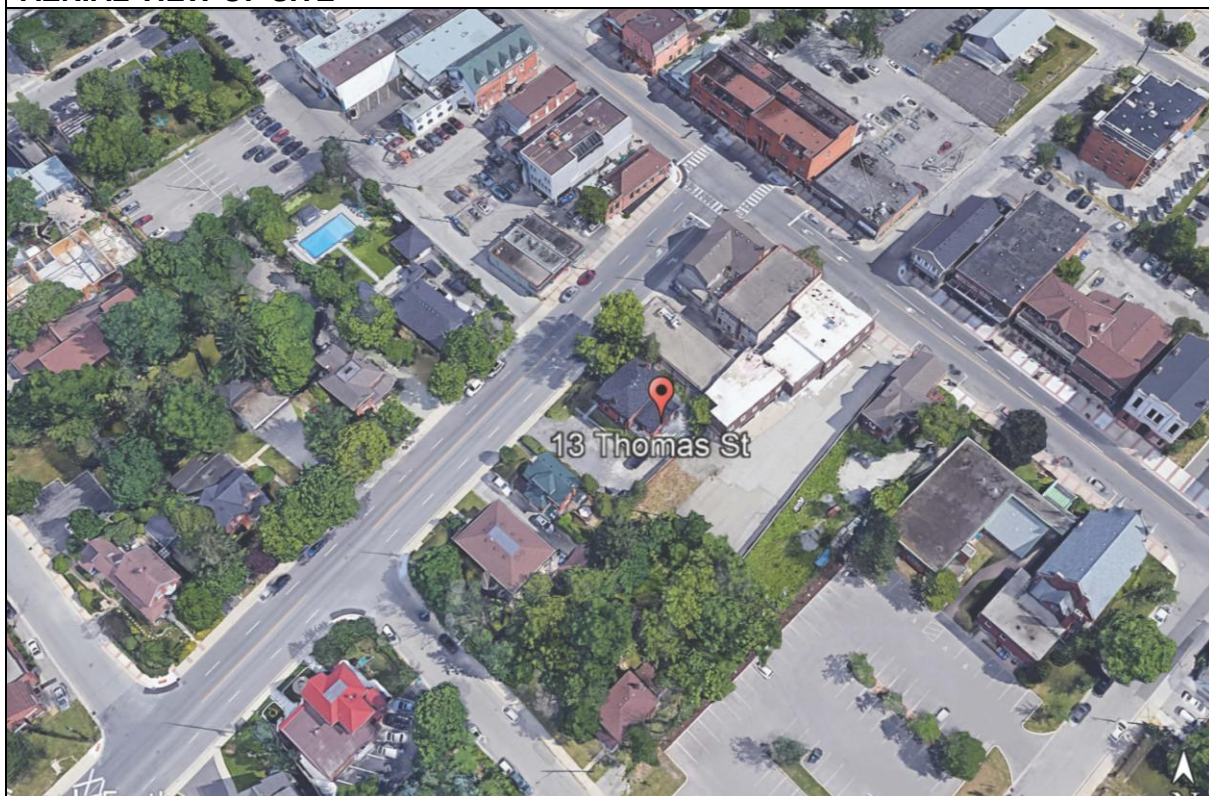
### **5.3 Contextual Value / Landmark Status**

In addition to the designation of 13 Thomas Street on its own merits, it is part of the Streetsville Core Cultural Landscape. The main core of Streetsville retains the scale and character of a rural farming town. New shop fronts which have established along Queen Street have generally been respectful of the scale of established historical precedents and residential areas dating back to the 19<sup>th</sup> century have been characterized by large lots with mature trees.

There are over ninety heritage properties listed, many of which are designated. As stated on the City of Mississauga Property Look-up Site: “Streetsville is recognized as a significant cultural landscape because it retains a portfolio of heritage buildings of a consistent scale and portrays a period landscape of a small village.”

13 Thomas Street complements its context—supports the overall character of its context--- but doesn’t particularly stand out as a landmark.

#### AERIAL VIEW OF SITE



Google Earth view of Thomas Street indicating the location of 13 Thomas Street



11 Thomas Street: Masonic Lodge



19 Thomas Street: Former Douglas Stable



Looking across Thomas Street toward the north-west

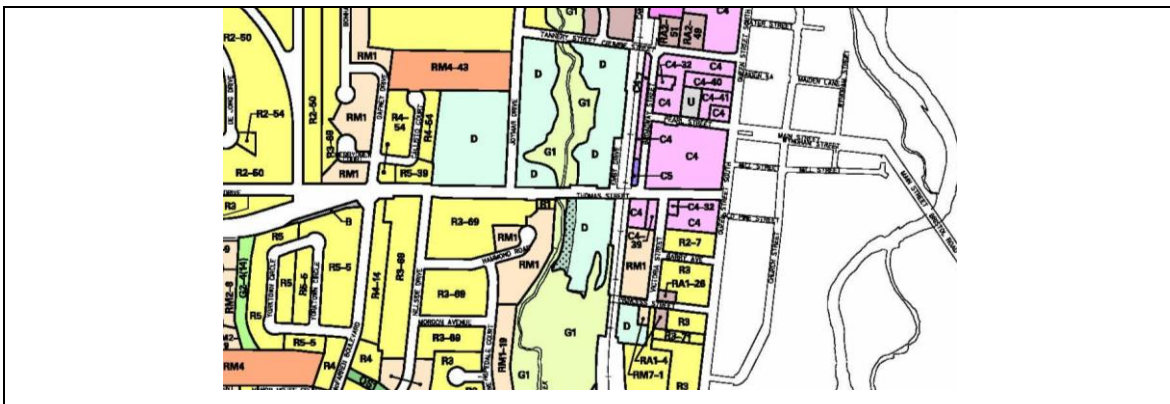
## CONTEXTUAL / LANDMARK STATUS

The Patterson House sits at the frontier between buildings that were decidedly commercial in their character (fronting on Queen Street) and an historically residential neighborhood to the west. The neighborhood is transitional and from an urban design and zoning perspective the block of Thomas Street on which it is located is considered to be a Commercial Strip.

Certainly the proposed new use—a dental and auditory testing clinic—is a perfect fit for the house, with the renovation providing a state-of-the-art facility in the comfort of a gracious home.

## 6.0 Summary of relevant municipal/agency requirements

The current zoning of the lot is C-4. The proposed new use is in full compliance with this zoning.





As part of a designated cultural landscape, development is also controlled by the Ontario Heritage Act, Regulation 9/06, which is addressed by this study.

Over the years, the City of Mississauga has also put a number of regulations and policies that address the character and redevelopment of the area around 13 Thomas Street.

Guidelines on how Streetsville should develop have been outlined in the “Streetsville District Policies, Amendment No. 49 to the Mississauga Plan, November 2012.”

Specific to the property under review is that the block of Thomas street in which the property is located. In these policies both sides of the street are being regarded as “Mainstreet Commercial”—the same as much of Queen Street in the vicinity of St. Thomas.

Thomas street itself is classed as a Major Collector, with a rights-of-way between 20m and 26m.

Section 4.32.3.2 of these policies addresses the Historic Character of the community:

- a. Alterations to heritage structures, including building repairs and additions, and/or alterations to existing vegetation which is part of the character of the heritage resources to be preserved.
- b. Designs for new buildings and additions will enhance the historic character and heritage context of the Streetsville Node through appropriate height, massing, architectural pattern, proportions, set back and general appearance
- c. Commercial signs will reflect the historic village character in the Streetsville Node. Hand painted wooden signs, projecting signs as permitted by municipal by-laws and other signs which reflect the nineteenth or early twentieth century practices will be encouraged.
- d. The established residential character of the areas generally located along Main Street east of Church Street and along Queen Street south....(this does not apply to Church Street).

Section 4.32.3.3 of these policies addresses Mainstreet Commercial Character:

- a. Development with a mix of residential and office uses on upper floors and street-related retail commercial uses in closely spaced storefronts lining the street, will be encouraged along the principal streets in the Streetsville Node to promote an active pedestrian environment.
- b. New buildings will be at least two storeys but not more than three stories in height. Building additions will not be more than three stories in height and will be generally harmonious in style and massing with the buildings to which they are attached.
- c. The apparent height of new buildings will be reduced through massing and design.
- d. New development will be encouraged to reflect the original lot pattern and setback dimensions of surrounding properties. The front setback of new buildings should



match the setback of adjacent buildings so as to create a uniform street wall. Where the building setbacks on either side are not equal, the lesser setback should be used.

- e. Integrated parking opportunities, which may include rear lane access to combined parking areas and the development of private pay parking lots, will be encouraged where appropriate.
- f. Development which enhances the streetscape through landscaping and the provision of pedestrian amenities will be encouraged along the principal streets within the Streetsville Node.

In addition, the Planning and Building Department Development and Design Division has developed Design Guidelines related to developments in Streetsville. These were prepared in 2011. The intent of these guidelines is to “encourage development and change in harmony with the historic pattern of development in Streetsville”. They were developed to assist owners who are required to redevelop or develop properties in compliance with the Urban Design Policies of the “Streetsville District Policies” of the Mississauga Plan.

Many of these guidelines relate to new construction. In this instance we have a home which will have its integrity maintained. Most relevant perhaps is that related to Building Additions.

- Building additions should not compete with or dominate the original structures.
- While copying historic styles is not recommended, the scale, built form character, architectural rhythm, horizontal and materials used in the addition should remain consistent, complimenting both the building and the streetscape.

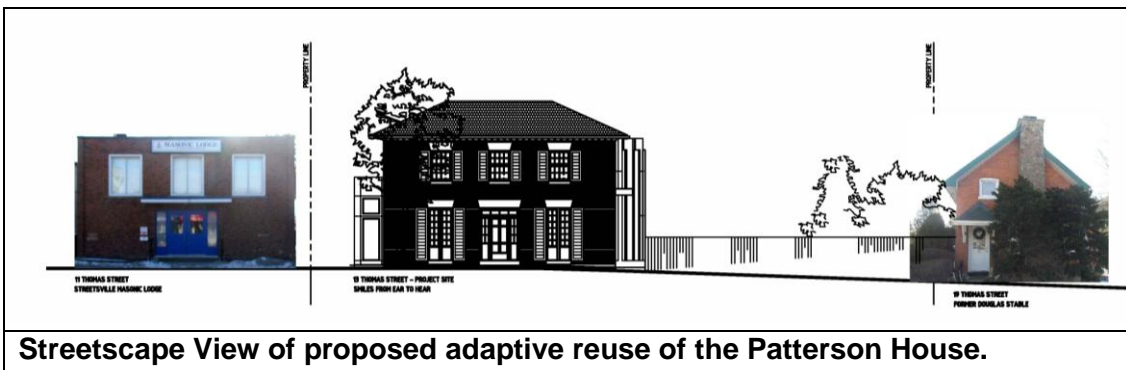
As well as...

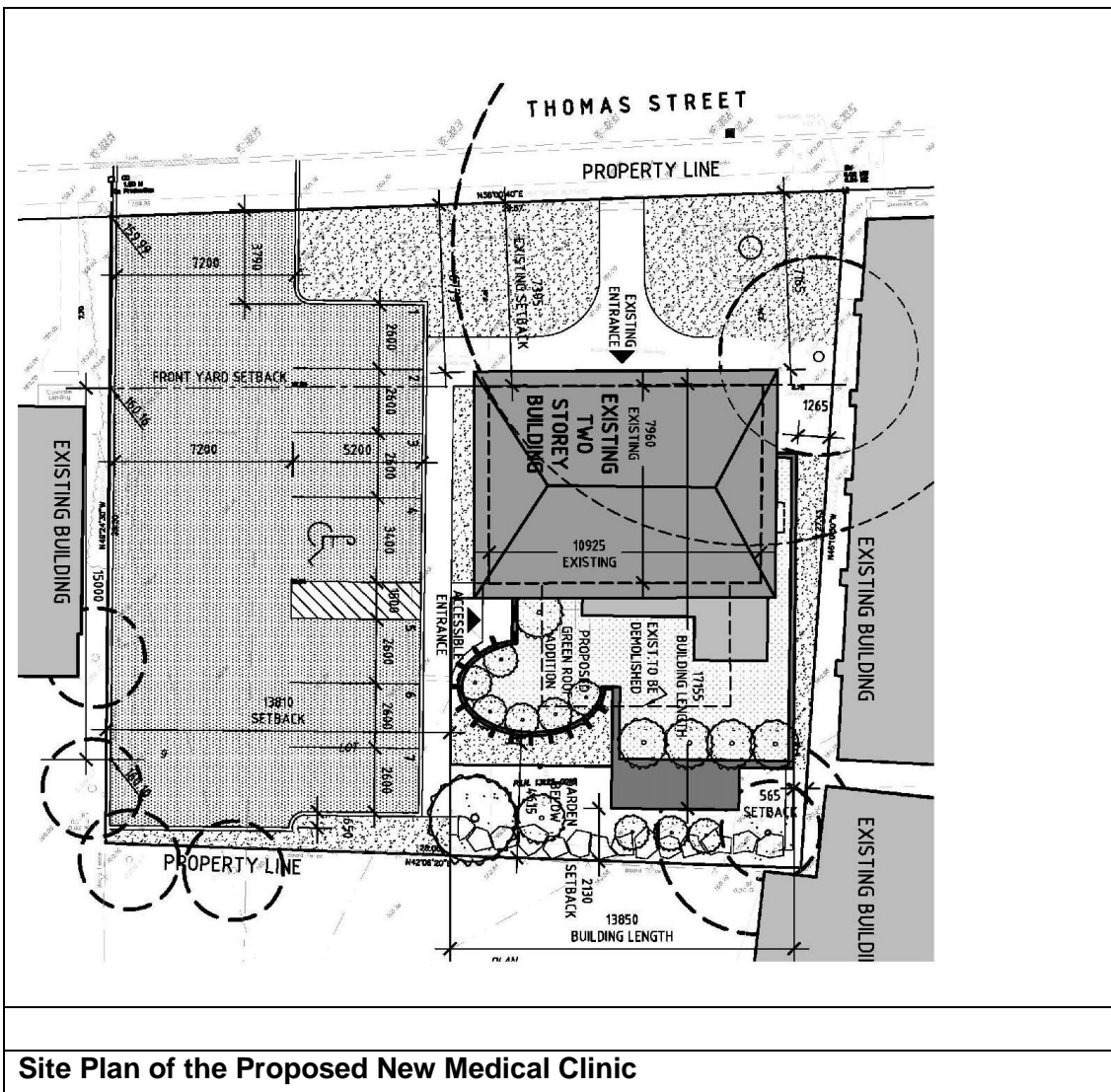
- Parking areas are not permitted between buildings and the principal street line.
- The apparent height of new construction is to be reduced through massing and design.

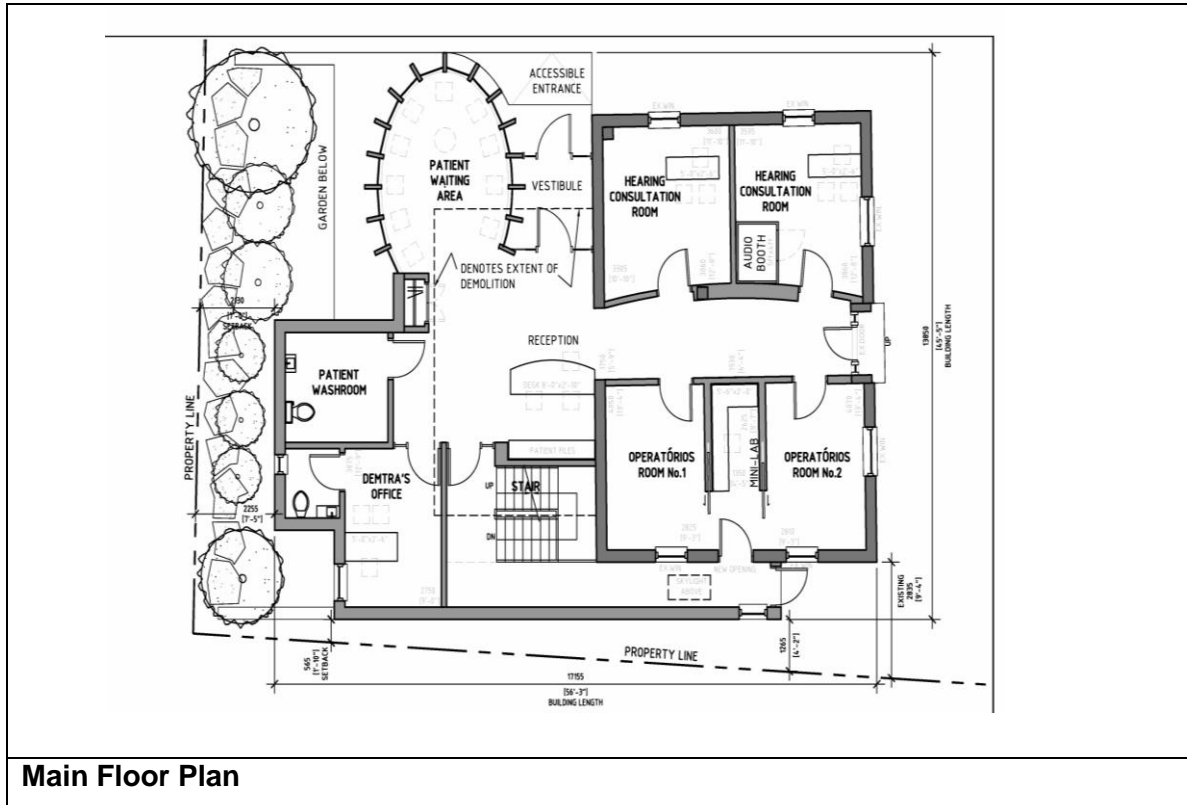
## 7.0 Proposed redevelopment plan

What follows on the following pages is a site plan and elevations of how the owner of 12 Thomas Street (Dr. ) has proposed a redevelopment of this mid-19<sup>th</sup> century home into a medical clinic.

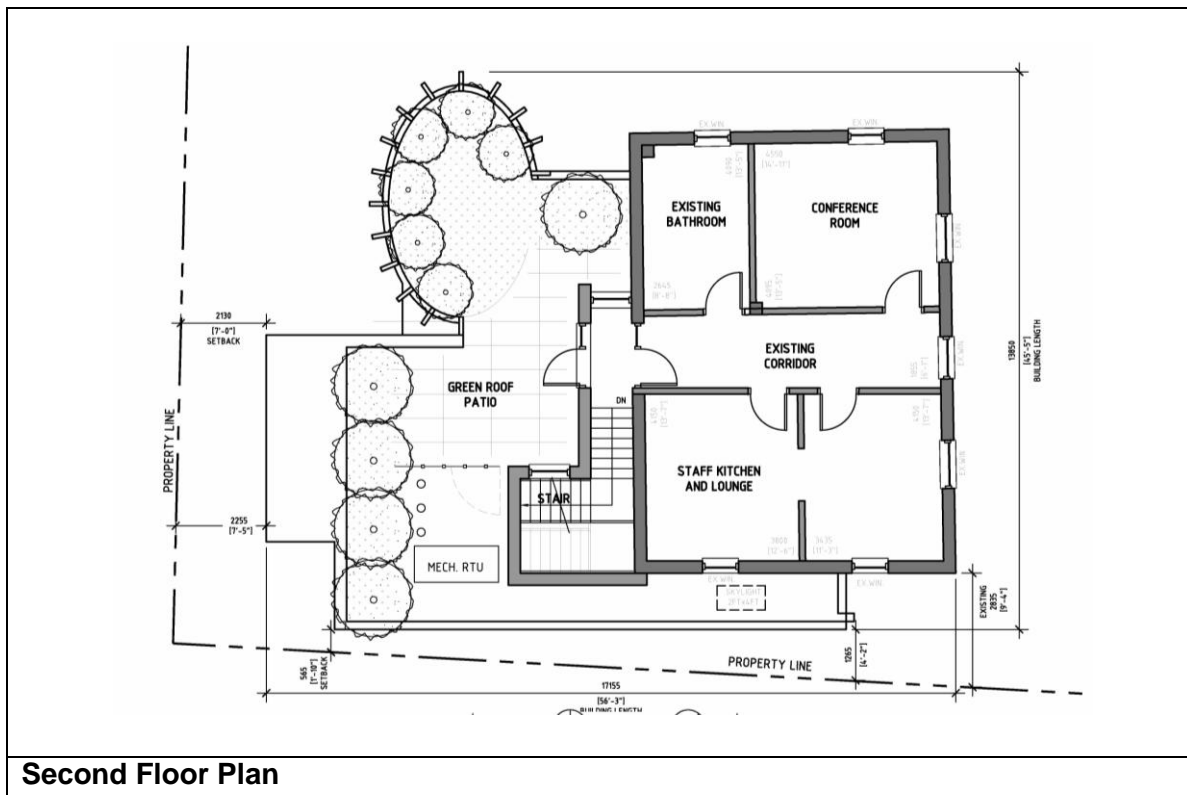
The project is in compliance with the zoning regulations for the property. As can be seen by the Streetscape View of his proposed redevelopment, the impact on the current streetscape is minimal, given that new construction is all at the back of the historic house.





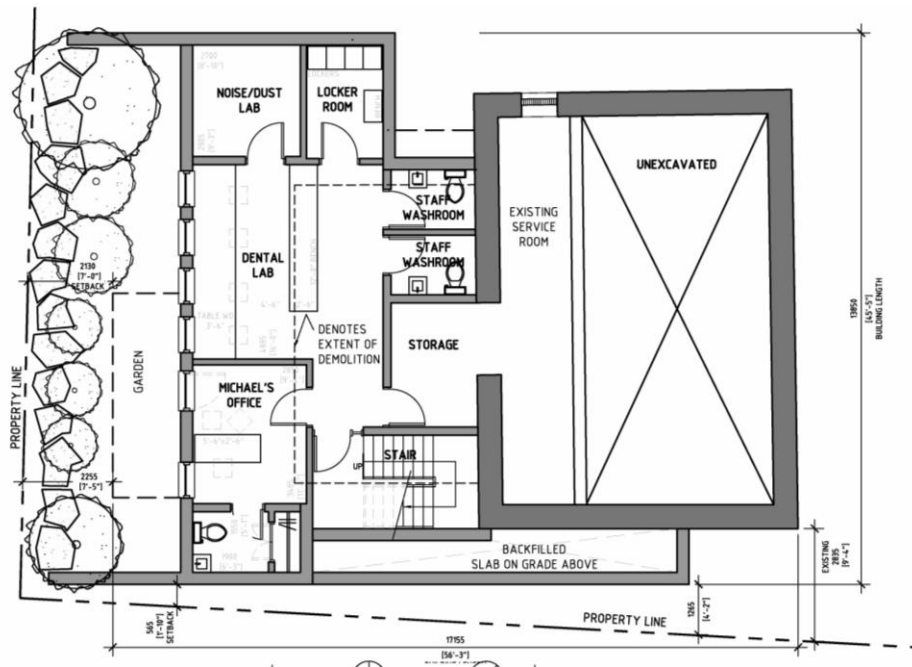


**Main Floor Plan**

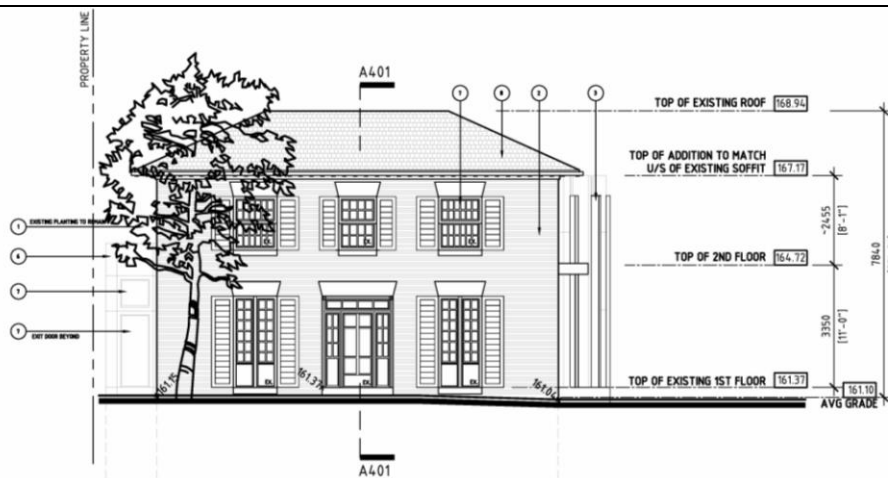


**Second Floor Plan**

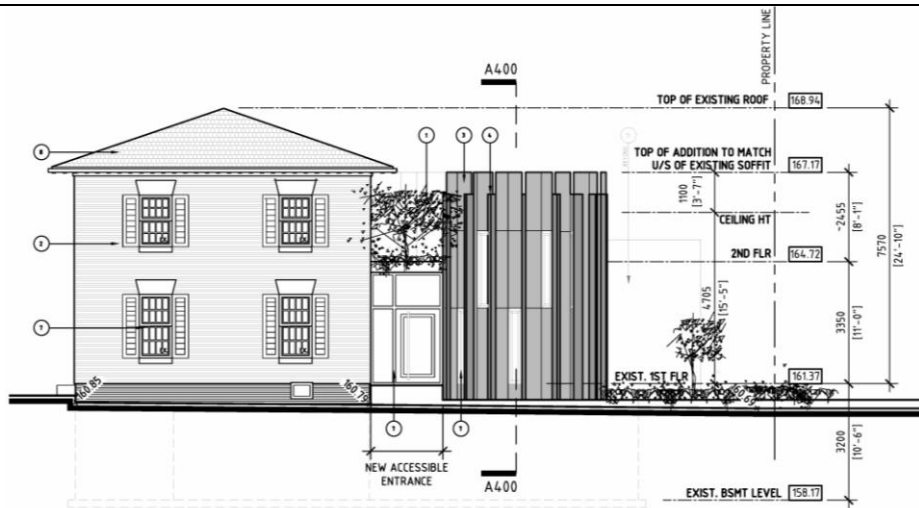




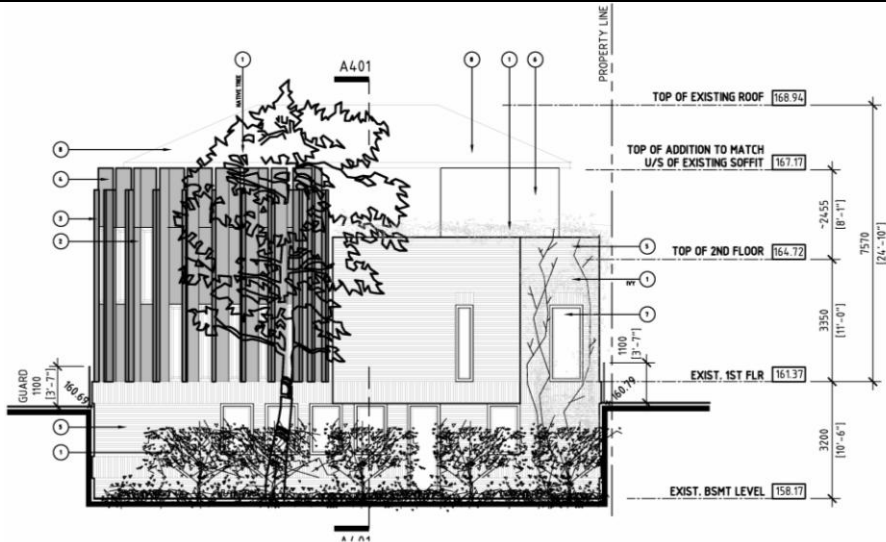
**Basement Floor Plan**



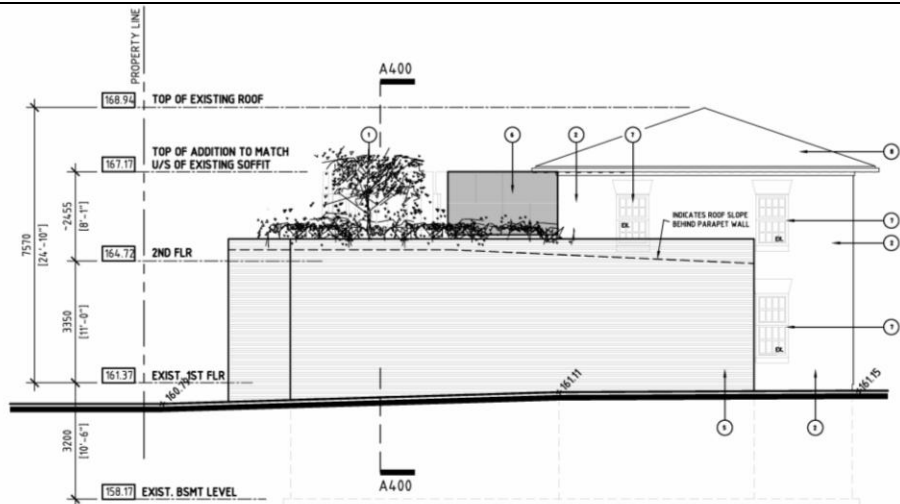
**Front Elevation**



**West Side Elevation**



**Rear Elevation**



**East Side Elevation**

## **8.0 Impact of Proposed Alterations on the Patterson House**

The proposed alterations on the mid-19<sup>th</sup> century Regency style home at 13 Thomas Street will impact both the exterior and interior of this house, which has been recognized for the integrity in which it has been maintained over the years.

13 Thomas Street was formerly a family home, which by virtue of its location in the central business district of Streetsville, is now zoned for commercial use.

The current Owner is proposing that the building become a medical clinic providing a facility for both ear and denture care. Some changes have been proposed to facilitate the functional requirements of the new use.

Arrival of clients will most generally be by private car, and this property provides off-street parking. The proposed architectural proposal for the new clinic, has provided a new entrance, reception and waiting area for patients at the rear of the main house, and to do this, the 1890 kitchen wing will be removed.

As for the original home, the placement of new construction behind it has allowed two (you could even say two and a half) of four building elevations to remain true to their origins. In particular, the street façade (north) of the house will be maintained as is, without any changes to the main entrance. Perhaps we can look forward to the front garden being restored along 19<sup>th</sup> century lines.

The beautifully proportioned and placed windows are an important feature of the style and the owner will be restoring these from what we understand.

The addition is to the back of the historic mass, although there is a service corridor which embraces the east wall of the house, ending well back from the front façade of the house. There is no attempt to imitate the architecture of the Regency home but the addition has respected the materials of the original house—brick and stone—and the Architect has added considerable more floor area without the scale overpowering it.

This has been done by way of putting a large part of the new floor area below grade, and not exceeding one level above grade for the new area.

Viewing the house, which is being adaptively reused for a new commercial occupancy, from the street, the impact of the addition is minimal. A viewer sees the new patient waiting area to the rear of the parking area, and this clearly defines where the new entrance is to be found.

The corridor along the east wall, which links the operatories to the basement laboratory areas and upstairs offices, will be hardly noticeable, given that that elevation of the wall snuggles up against the Streetsville Masonic Temple (which alas, is very unsympathetic to the Patterson House).

The Architect has proposed that the two fireplaces be removed in order to facilitate the new use. With the removal of the fireplaces, the two matching chimneys are shown to be removed. Happily there seems to be the intention of maintaining the beautiful floors and baseboards. The central stairway does not appear in the new design scheme.



## **9.0 Mitigation Measures**

It is our view that the two chimneys are one of the design features of this Late Regency home and the Owner has proposed that these be removed because the two fireplaces represent an impediment to the new use.

We raise the possibility that the fireplaces might be left in place, and if they are not useful for the new activities, they might be “walled in” so that a future owner might be able to restore them.

While there are structural approaches that may allow the chimneys to remain, whether or not the fireplaces below them can be maintained, these solutions are challenging and expensive. It is our observation that the westerly fireplace could, with some difficulty, be retained given the proposed planning. As the two fireplaces are identical, keeping the one would be a kind compromise, and with it the westerly chimney could remain.

Symmetry is such a key feature of this style of architecture, as clearly demonstrated by the well-articulated floor plan of the house, its hip roof and exquisite fenestration. The two chimneys support this symmetry, so to leave one chimney and not the other would be the equivalent of seeing an airplane with one wing.

If it is impossible to retain the easterly fireplace, and if without this fireplace it becomes difficult or impossible to support the easterly chimney, there could be other creative solutions to maintaining visual symmetry. What comes to mind is where an historic massing has been maintained using contemporary materials—either in a literal or a suggestive manner.

Might the easterly chimney either be reconstructed without the weight of the original masonry? Or could a facsimile be created with a contemporary material?

We are of the view that the central stair has been considerably restored over the past 170 years. The treads and pickets are replacements; the handrail most likely original. In spite of it not being original, it seems a shame to lose this historic artifact. What of its materials might be incorporated into your new stairway? A challenge, but that is what drives good architectural solutions.

## **10.0 Recommendation**

Our recommendation is that the scheme presented be allowed to proceed to the building permit stage with full support of Heritage Planning.

The mitigation suggested in section 9.0 should be reviewed with the Architect and Owner to see if there can be some movement in the design.

We feel that many of the essentials of a Regency style home, so in vogue in Streetsville at the time of its construction, have been maintained: the mass of the main house (the kitchen wing was very much ancillary to the principle building), the symmetry of the window and door openings; the beautifully proportioned and crafted windows; the low-pitched, hip roof with its generous, bracketed overhangs.

We have no issues with the 1870 kitchen wing being removed and the tuck-pointing, having been added in 1895 seems to not be original. We are happy that the windows are to be restored along with the shutters.

Alternative approaches to maintaining one or more of the fireplaces have been outlined in section 9.0, recognizing that maintaining the symmetry of the house over-rides.

## **APPENDIX A1       Sources of Information**

City of Mississauga Services Online: Property Information

Government of Ontario Land Registry Office, Peel Region: Land ownership records

“Streetsville, from Timothy to Hazel”, Published by the Mississauga Public Library, Kathleen A. Hicks, 2008

Mary Switzer Manning archives, Peel Art Gallery Museum and Archives

1877 Illustrated Historical Atlas of Peel, edited by Walker and Miles

The City of Mississauga Planning and Building Department Development and Design Division, Design Guidelines related to developments in Streetsville, 2011

Streetsville District Policies, Amendment No. 49 to the Mississauga Plan, November 2012.

Government of Ontario landtitles repository at <https://onland.ca>

Service Ontario Land Registry Office #43

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2003

## **APPENDIX A2        Selected Reference Documents**

- a) Heritage Listing for 12 Thomas Street, Mississauga**
- b) Landtitle transcripts for Parts 8 and 9, Lot 3, Con.5 WHS**
- c) Teranet Land Registry**
- d) Selected documents from the Peel Regional Archives**
- e) Selected documents from the Mary Switzer Manning Archives**

## Property Information

Mississauga's heritage, which extends over 10,000 years, includes archaeological resources, numerous residential, commercial and industrial buildings, views, vistas, ridge lines, scenic routes and a variety of natural heritage properties.

To view details about the inventory item, please click on the INV # link.

Property Details	Zoning Information	Building Permits	Development Applications	Committee of Adjustment	<b>Heritage</b>	Map It
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## PROPERTY HERITAGE DETAILS

▫ [View Another Property](#)

Please visit [www.mississauga.ca/portal/discover/culture-planning-heritage](http://www.mississauga.ca/portal/discover/culture-planning-heritage) for more information.

Address: 13 THOMAS ST  
Legal Description: PLAN STR 4 PT LOTS 8,9 BLK 1  
Roll Number: 21-05-120-005-06500-0000



[Print Friendly Page](#)

## Heritage Status

Status: DESIGNATED UNDER THE TERMS OF THE ONTARIO HERITAGE ACT  
Conservation District:  
Bylaw: 635-78  
Bylaw Date:

## Inventory Item

INV #	Property Name	Constructed	Decade	Demolished	Year Demolished
<a href="#"><u>39</u></a>	THOMAS PATERSON HOUSE	1847	1840	N	

## Designation Statement

The Paterson/Manning House is recommended for designation as a good example of a late Regency townhouse in excellent repair. Of particular interest are the floor length French windows on either side of the main entrance and the door case set in a panelled embrasure with typical Regency glazing in the side lights and transom light.

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[illegible]







\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT LT 8 BLK 1 PL STR4 STREETSVILLE; PT LT 9 BLK 1 PL STR4 STREETSVILLE BOUNDED BY QUEEN ST, THOMAS ST, VICTORIA ST AND WILLIAM ST (AKA BARRY AV) AS IN R01140269, EXCEPT THE EASEMENT THEREIN;; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:  
FEE SIMPLE  
LT CONVERSION QUALIFIED

OWNERS' NAMES

RECENTLY:  
RE-ENTRY FROM 13122-0121

CAPACITY SHARE  
JTEN  
JTEN

PIN CREATION DATE:  
1999/03/08

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
**EFFECTIVE	2000/07/29	THE NOTATION OF THE	"BLOCK IMPLEMENTATION DATE" OF 1996/09/24 ON THIS PIN**			
**WAS REPLACED WITH THE		"PIN CREATION DATE" OF 1999/03/08**				
** PRINTOUT		INCLUDES ALL DOCUMENT TYPES AND	DELETED INSTRUMENTS SINCE 1999/03/08 **			
**SUBJECT,		ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:				
**		SUBSECTION 44 (1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *				
**		AND ESCHEATS OR FORFEITURE TO THE CROWN.				
**		THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF				
**		IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY				
**		CONVENTION.				
**		ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.				
**DATE OF CONVERSION TO		LAND TITLES: 1999/03/09 **				
R0495870	1978/11/07	BYLAW		*** DELETED AGAINST THIS PROPERTY *** MANNING, HUGH	MANNING, HUGH MANNING, MARY ETHEL	C
R01140269	1997/04/25	TRANSFER				
LT2057426	2000/03/27	NOTICE		HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA		C
REMARKS: PEARSON AIRPORT ZONING REGULATION						
PR1225920	2007/03/13	APL OF SURV-LAND		*** COMPLETELY DELETED *** MANNING, MARY ETHEL	MANNING, HUGH	
PR1834033	2010/06/07	TRANSMISSION-LAND		*** COMPLETELY DELETED ***		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



13122-0018 (LT)

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
				MANNING, HUGH	SCOTT, MARTIN WILLIAM SCHNEIDER, MANFRED SIGMUND MANNING, HUGH-ESTATE	
PR1857790	2010/07/13	APL (GENERAL)		*** COMPLETELY DELETED *** SCHNEIDER, MANFRED SIGMUND SCOTT, MARTIN WILLIAM		
PR1963061	2011/02/16	TRANS PERSONAL REP		*** COMPLETELY DELETED *** SCHNEIDER, MANFRED SIGMUND SCOTT, MARTIN WILLIAM	ON-LINE EXPERIENCE PROGRAMS INC.	
		REMARKS: PLANNING ACT STATEMENTS				
PR2654758	2015/01/02	CHARGE		*** COMPLETELY DELETED *** ON-LINE EXPERIENCE PROGRAMS INC.	JONES, DALE MILTHORPE, MURRAY	
PR2741813	2015/07/06	DISCH OF CHARGE		*** COMPLETELY DELETED *** JONES, DALE MILTHORPE, MURRAY	GREEN ELEPHANT NUTRITION CENTRE INC.	
		REMARKS: PR2654758.				
PR2741814	2015/07/06	TRANSFER		*** COMPLETELY DELETED *** ON-LINE EXPERIENCE PROGRAMS INC.	HOME TRUST COMPANY	
		REMARKS: PLANNING ACT STATEMENTS.				
PR2741815	2015/07/06	CHARGE		*** COMPLETELY DELETED *** GREEN ELEPHANT NUTRITION CENTRE INC.	HOME TRUST COMPANY	
PR2741816	2015/07/06	NO ASSGN RENT GEN		*** COMPLETELY DELETED *** GREEN ELEPHANT NUTRITION CENTRE INC.		
		REMARKS: PR2741815.				
PR3473488	2019/04/30	APL (GENERAL)		*** COMPLETELY DELETED *** GREEN ELEPHANT NUTRITION CENTRE INC.		
		REMARKS: RO1140269				
PR3474816	2019/05/01	TRANSFER	\$880,000	GREEN ELEPHANT NUTRITION CENTRE INC.		C
		REMARKS: PLANNING ACT STATEMENTS.				
PR3474817	2019/05/01	CHARGE	\$880,000		ROYAL BANK OF CANADA	C

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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR3481249	2019/05/17	DISCH OF CHARGE		*** COMPLETELY DELETED *** HOME TRUST COMPANY		
REMARKS: PR2741815.						

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St.	Age	Sex	Color	Height	Weight	Measure	Remarks
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45	31	M	Black	5' 10"	150	40	Good
46	32	M	Black	5' 10"	150	40	Good
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51	37	M	Black	5' 10"	150	40	Good
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98	84	M	Black	5' 10"	150	40	Good
99	85	M	Black	5' 10"	150	40	Good
100	86	M	Black	5' 10"	150	40	Good



# 1862 STREETWISE TAX ASSESSMENTS

John H. ed.	Mr.	X	1/5	250	132	Heed John	Heamster	3	30
H. P. Langway	Shos		1/4	1200	133	Langway Hugh P	Langway	3	33
Ala	Shos	4b	1/4	400		Ala	Ala	3	-
Shenston	Guin				134	Landless Richard	L.S.T.	-	-
"	"		1/4		135	Shenston John	W. Maken	3	36
"	"		1/4	800		Ala	Ala	-	-
Mr. Shenston	"		1/4	800	136	Shenston William	W. Smith	3	40
Ala	"		1/2	600	137	Shenston John	Ala	3	21
Shos	Shos		1	1200	138	Shos	C. M. C.	3	38



## PARTICULARS OF TAXABLE PERSONS

## DESCRIPTION OF PROPERTY

NUMBER	NAME AND ADDRESS OF TAXABLE PERSONS	AGE	SEX	STATUS	OCCUPATION	STREET	LOT	NO. OF ACRES	ACTUAL VALUE OF LAND	VALUE OF BUILDING
2120	Saxe, Joseph O'Neill, Garrett	c/o Kennedy, Sweet, Lepofsky & O'Neill 111 Sparks Street OTTAWA	O	NR		Thomas St. Pt.21	16	140	2660	
2121	Muldoon, John H.E. Evelyn	STREETSVILLE 1910 BS 1909 BS	T	Restnt. 8	"	Pt.21	16			
2122	Masonic Temple Inc.	c/o W.F.Hogg, Treas. Streetsville	O				1	50	320	8810
2123	Lee, Lenvard Trites, Botsford Hattie Isabel	1904 BS 1908 BS	T	Electn. Hwife	"	8&9	94	715	2265	
2124	Sparling, Abigail Beatrice Sparling, Norman A. Marjorie G.	1891 BS 1920 BS 1918 BS	O	Widow Trucker Hwife	"	Pt.9	40	285	1970	
2125	Clipperton, Graydon W. Doris Alberts	1912 BS 1919 BS	O	Teacher Hwife	"	Pt.10	66	455	2545	
2126	Switzer, Mrs.F.A. Manning, Mary Ethel Hugh A.	1883 BS 1919 BS 1925 BS	O	Widow Hwife Bus.Mgr.	"	Pt.1	63	380	2520	
2127	Robb, Emma Sylvia James		O	NR	39	"	2	66	395	-
2128	Robb, Emma Sylvia James	1906 BS 1904 BS	O	Hwife Hydro	"	Pt.3	53	250	1250	
2129	Dominion Sash Limited		O		"	Lot 37	6ac.	5700	76980	
2131	Brocklebank, J.A.Hewson Mildred	1901 BS 1906 BS	O	Manufr. Hwife	11 Barry St.	Pt.1;2; 7&8	124	680	2020	

6160 88450  
3160 12570



## Mary Switzer Manning - 1920

**M**ary Switzer was born on November 5, 1919, in Esquesing Township, Halton County, to Frederick and Susan Switzer, descendants of Irish pioneers who had settled there in the 1820s. They moved to Streetsville when Mary was a baby. Mary attended the Streetsville Grammar School and Streetsville High School.

She came by her interest in history at a very early age, as she was born into hardy pioneer stock and had many Irish relatives named Arnott, Grundy, Mason, Rutledge and Thompson, who had farms in Peel and Halton Counties as early as the 1820s. She inherited the Switzer family archives, which set her on the path to becoming an author/historian/archivist. She wrote the history of this interesting family who founded Switzers' Corners. Her main interests were local history, reading and gardening.



◀ The Paterson-Manning House  
(The Mississauga Library System)



PEEL BIOGRAPHY

MANNING, MARY

The Miss. News July 15/98

Streetsville historian

# Link to the past severed with passing of Manning

By TOM MICHIBATA *Peel Bqr.*  
Staff *July 15/98 M.N.*

As a historian, one of Mary Manning's goals was to uncover a photo of the man her cherished village of Streetsville was named for.

"After all the work I have done researching Streetsville's past, that one, finding out what Timothy Street looked like, continues to elude me," Manning told *The News* in the mid-80s.

Sadly, Manning never achieved that goal. But she achieved hundreds of others and the legacy she has left us with will fill the void of history buffs and researchers for decades to come.

Manning, considered Streetsville's definitive expert of events, landmarks and personalities died suddenly and quietly in June.

She is survived by her husband Hugh. The couple had no children. Her age has not been revealed.

Despite her wealth of knowledge, Manning was a classy and humble sort because she didn't flaunt her expertise. In fact, she would always try to downplay her value as a member and official archivist of the Streetsville Historical Society (SHS).

It's no surprise then that the funeral was held with little fanfare at St. Stephen's Anglican Church in Hornby. There were no flowers or visitation.

Manning's efforts haven't gone unheeded, however. She was cited in the 1996 Ontario Heritage Foundation community recognition program, received a Paul Harris Fellowship award from the Streetsville Rotary Club and earlier this year received a heritage award from the Mississauga Heritage Foundation



Mary Manning's legacy will be the historical work she had done on the village of Streetsville.

(MHF).

The Fellowship award is the highest honor given to Rotarians or non-Rotarians who make "significant contributions to the community."

When he presented her with the MHF laurels, president Alex von Gernet called Manning "a real institution in the community."

Manning's accomplishments in preserving Streetsville's past are numerous:

- builder and organizer of its archives.
- she served on the Heritage Advisory Committee from 1975-1986.

- helped found the SHS in 1970 and was a member until her death.

- had six written works — the Streetsville chapter in the Peel County Centennial History, A Village Library Grows, Water Mills in Streetsville, A History of Streetsville, Inns and Hotels of Streetsville 1824-1924 two editions of Street, the Man, the Family, the Village which focuses on the Street family which developed the area which has become the City of Mississauga and prepared a history of the Tipperary Switzers who settled there.

- editor of the Streetsville Cenotaph booklet

- organist at St. Andrew's Church from 1939-1952

- was a librarian, board member and building committee member of the Streetsville Library

- was a member of the Mississauga Architectural Advisory Committee from 1974-1985

"I don't know anybody with more knowledge and dedicated to the preservation of Streetsville than Mary Manning," said long-time SHS member Jean Watt who was a Brownie during the years Manning was a Brownie leader in the 1940's. "Even when she was a Brown Owl (leader), she was a wonderful storyteller. She was a wonderful, super person. We will miss her terribly. She has left a big hole in this society."

Born in Esquesing Township as a descendant from Irish pioneers, Manning lived on Thomas St. for nearly her entire life.

As for the elusive photo of Street, Watt said the least the SHS can do is to continue the search on behalf of Manning.



**Appendix to 1998.035**  
**Mary Manning fonds**  
**File titles and photograph identification**

Note: Files contain textual material unless otherwise indicated. All notes and identification of photographs are taken from Mary Manning's notes in the albums.

**Series 1      Mary Manning records**

**Box 1**

- City of Mississauga L.A.C.A.C. 1985, 1988 (file 1)
- County of Peel Centennial Historical Committee, 1966-1967 (file 2)
- Hugh Manning Antiques, textual records and graphic, 1972-1990 (file 3)
- Manning home, 13 Thomas St. Streetsville, textual records and graphic, 1968-1985 (file 4)
- Mary Switzer Manning and Hugh Manning, correspondence, [1952] - 1977 (file 5)
- Mary Switzer Manning and Hugh Manning, wedding, 1952 (file 6)
- Mary Switzer, autograph albums, valentines, greeting cards, invitations, 1924-1950 (file 7)
- Mary Switzer Manning, awards, certificates of appreciation etc. (file 8)
- Mary Switzer, certificates, 1932-1951 (file 9 and o/s folio)
- Mary Switzer Manning, genealogical charts (file 10)
- Mary Switzer Manning, photographs, c. 1920-1990 (file 11)
- Mary Switzer Manning, Partners in Heritage presentation notes, 1996 (file 12)
- Mary Switzer Manning, presentation notes: social and business scene; Timothy Street; Streetsville Historical Society; election stories; antiques, Streetsville pioneer women (file 13)

**Box 2**

- Mary Switzer, school workbooks, 1926 (file 1)
- Mary Switzer, school work, report cards, 1927-1931 (file 2)
- Peel County Historical Society (file 3)
- Post cards, collected by Mary Manning c. 1910-1930 (file 4)
- Programmes (music and plays) , 1947-1962 (file 5)
- Streetsville Booster, Nov. 6, 1973 (o/s folio)
- Streetsville Brownies and Girl Guides, textual records, music, graphic records 1933-1983 (file 6)
- St. Andrew's and Trinity churches, Streetsville (file 7)



AGNES SAVIGNY PATERSON (THOMPSON)

From The Streetsville Review, Jan. 26, 1899:-

Mrs. Agnes Thompson, relict of the late James Thompson Esq. of Scarboro, who was buried on Saturday, the 21st, came to this country with her parents, Mr. and Mrs. Savigny and family of 11 children, from the neighbourhood of Edinborough, Scotland, in the year 1834. Mrs. Thompson came to Streetsville in the year 1848, the fair young bride of Mr. Thomas Paterson, the eldest son of Mr. James Paterson, familiarly known as the Laird of Bonnie Brae. Her husband was then doing business in the mercantile line in Streetsville. His first store is still standing in the house where Mr. Joseph Drennan now lives. Later he removed to a new brick store on the corner of Mill and Queen Streets, which was burned down some years since, the family home being the home now occupied by Mr. Hugh McCaugherty on Thomas Street. Mr. Paterson died in the year 1860 leaving Mrs. Paterson with four children to mourn the loss of a loving husband and father. Three of these children still survive her, Mrs. Vanevery of Peterboro, Mr. John Hope Paterson of Toronto, and Mr. Hugh Savign Paterson of Winnipeg. She remained a widow for about 17 years until her children were all settled in homes of their own and then in the year 1877 she was again married to Mr. James Thompson her late husband who died Oct. 1894. Since then she has lived alternately with her children being at the home of her eldest son John Hope Paterson in Toronto at the time of her death. Her sickness was somewhat prolonged and quite severe, but on Friday, January 20 she peacefully passed away in the 80th year of her age to receive the reward of a dutiful daughter, a loving and faithful wife, a kind and affectionate mother, a true and trusted friend. For many years, while living in Streetsville, hers was a well known face and form as she took her place in the S. School, in the church, and in the various forms of Christian work that then existed, and there are yet a goodly number who well remember the helpfulness of her gentle smile, her wise council and her Christian courtesy in the various places in which she lived and laboured for her family, her country and her God. And now the writer feels in duty bound to pay his personal tribute to the memory of this dear friend by recalling the time when his wife was lying sick with a dangerous fever, her near relatives being afraid to come to the house. This good woman came to help, saying "Mr. ---, I have come to stay with you until your wife gets better," which she did like a good Samaritan.

"Farewell, farewell, till Eternity's morn,  
We'll find you there mid the sheaves of corn,  
Rejoicing in glory with all the good  
Who have been redeemed by the Saviour's blood."



Mrs Mc Kendzie (widow)  
Boarding house 8800  
6 children

1878

Mrs McKenzie 1000

1870

Agnes Paterson 750  
(6 persons)

1872

"

1875

"

850

1876

John Hope Paterson 850  
(John C Harris, tenant)

1877

Paterson

~~1000~~  
~~500~~

1866

"

900

1863

"

(Hugh Payne Savigny, owner) 1000

~~1859~~

~~John Paterson, German~~

~~800~~

1862

Hugh Payne Savigny

1200

1861

"

(Age 33)



Mr. Clements:

Jan 10/42

Mrs. Church said you would like some history of the house you are living in:

Well, we came to Streetsville 58 years ago today - Jan 10<sup>(1883)</sup> and the following notes are what I know about the place:

Sorry I cannot tell who built the house, but it must have been some time before 1883.

Large Brick House on Thomas St.  
at rear of Royal Hotel. Streetsville

Occupied by following people:-  
From 1883:

Mrs. McKindsey a widow:

She had two sons - Lindsey McKindsey  
and 3 daughters - suggest -

Minnie - married Frank Morgan,

ETTA - a child before birth - now dead:

Billy - nurse - spinster.

Mrs. McKindsey married second time to Hugh McCaughey -  
Lindsey McKindsey is now keeping  
General Store at Lambleth, near London.



2 - McKindsey House

After McCaughentys died, house sold to Harrison Hisey <sup>about 1918</sup> who had three daughters and one son.

Harrison Hisey sold to Col.

W. W. Pope, a widower, who had one son, Macaulay Pope.

Then came Mr. and Mrs. Clements.

Lily McKindsey lived in the old home for 3 years after her mother died - and just before Mr. Hisey moved in.

But McKindsey is running a Drug Store now in Quebec, East of Montreal.



Oct 20, 1973

Stratford Planning Board

Stratford, Ont.

Gentlemen:

I was unable to attend your public hearing of Oct 16th as it was the same night as the Library Board meeting.

However, on reviewing the list of buildings of historic or architectural interest, I would like to point out that our property at 13 Thomas St. has not been included.

The house is Colonial Regency design - circa 1845 - and is the only house in Stratford of this age and design. Also it is completely original - nothing has been defaced - inside or out. It is on all the buildings inventory lists of the Province and a source of great interest to restoration architects.

I am not bringing this to your attention for any personal gain - but we are most anxious that as any preservation legislation is passed - at any level - that this property can be classed as worthy of protection. We have no ulterior motives - monetary or otherwise - the house is our pride and joy and we would co-operate in any way to assure its survival.

Sincerely,  
Hugh Manning





To the Occupant:

May I ask your participation in a nation-wide survey of building?

The survey - the Canadian Inventory of Historic Building - is being made throughout Canada by the National Historic Sites Service of my Department.

This letter comes to you from one of our recorders who is carrying an official Departmental identity card. This person is fully qualified to record our architectural heritage and your assistance is greatly appreciated.

In ten years we hope to record 100,000 buildings built before 1880 in eastern Canada and before 1914 in western Canada.

Part of the record of history, part of our identity as Canadians, is to be found in the places where we live or work.

Across the country, from fishing flats in Newfoundland to log-built Indian villages in British Columbia, buildings, particularly special to each region are to be discovered. This rich variety of building is the architectural heritage of all Canadians.

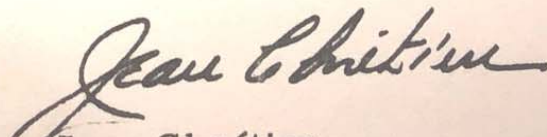
I think you will agree there is an urgency to record these buildings, for while they may be irreplaceable, they are not indestructible.

How can you help?

By giving a few moments of your time to our recorder. No personal information will be required.

Our recorder will be pleased to answer any questions you may have.

If you have further questions, please write to Room 358, Information Services, Department of Indian Affairs and Northern Development, 400 Laurier Avenue West, Ottawa 4.

  
Jean Chrétien



Ottawa, Ontario K1A 0H4  
July 29, 1974.

Mr. & Mrs. Hugh Manning,  
Streetsville,  
Ontario.

Your file    Votre référence

Our file    Notre référence

Re:    Manning House,  
Streetsville, Ontario

Dear Mr. & Mrs. Manning:

Because of the high cost of preservation and restoration, the Canadian Inventory of Historic Building was established to assist the Historic Sites and Monuments Board of Canada in the selection and evaluation of those buildings of Architectural and Historical significance which might best exemplify Canada's Architectural heritage.

Since June 1970, when recording commenced, the Inventory has recorded the exteriors of over 100,000 structures across Canada. This part of the program was called Phase 1 and we are now embarking on the second phase of the program, the recording of the Interiors of those buildings which have been selected from the Phase 1 information. This selection is being carried out with the co-operation of provincial agencies and interested and knowledgeable citizens from all walks of life across Canada. By the time Phase 2 is complete we expect to have recorded between 7,000 and 10,000 buildings and, hopefully, will have included all those structures which have interesting architectural details or features, structure and history.

Without the help of the citizens who own and occupy, or rent, such properties, our task would be impossible and I am writing you now to ask for your assistance in this important undertaking.

If you are the owner of the property with a tenant, it would be particularly helpful if you would advise your tenant of your wishes with regard to our visit so as to avoid any misgivings or misunderstanding on their part.



July 29, 1974

Your property was recorded in Phase 1 of the Inventory and has been selected for Phase 2 recording. In view of the significance of this study of our architectural and social patrimony, we would greatly appreciate your permitting two of our recorders, who are experienced in this field, to visit and record your property at a mutually acceptable time. The investigative process should, in most cases, take only a few hours and we can assure you, without reservation, that every care will be taken to avoid any inconvenience to you.

What the recorders will do is the following:

1. Draw on squared paper a rough plan of the building.
2. Systematically photograph any architectural items which they may find of interest, such as staircases, fireplaces, window and door mouldings, ceiling decoration and so on.
3. Record any historical facts you might be able to provide.

Your presence during this recording process would be preferred and indeed desirable, but if you are unable to be present, some other person known to you and acting on your behalf would be appreciated. Only through this first-hand contact can the full flavour of our fine old houses be appreciated, analysed and placed in their architectural and historical context.

Within the next few weeks our recorders, Gwen Hopkins and Carol Hepburn, will contact you by telephone to arrange for a convenient time for the visit. If you have any questions regarding either the program or the recording process please do not hesitate to ask them to explain. Also, please rest assured that your privacy is respected and we will not photograph any items or areas you do not wish to be recorded.

If you are the owner of the property with a tenant, it would be particularly helpful if you would advise your tenants of your wishes with regard to our visit so as to prevent any misgivings or misunderstanding on their part.



Mr. & Mrs. Hugh Manning - 3 -

July 29, 1974

May I take this opportunity to thank you for the courtesy and co-operation I am sure you will afford the recorders during their forthcoming visit to your property.

A brochure is enclosed for your information concerning the Canadian Inventory of Historic Building.

Yours sincerely,

*Gwen Hopkins & Carol Hepburn*  
*for Don Mackinnon*

Don Mackinnon,  
Phase 2 Co-ordinator,  
Canadian Inventory of  
Historic Building,  
Research Division,  
National Historic Parks  
and Sites Branch,  
Parks Canada.

Encl.

*Mon. 10.30 a.m.*

*Sept. 16*



Mr. and Mrs. Manning

- 2 -

October 30, 1974

May I, in conclusion, extend to you the sincere thanks of all those involved in this program for your patience and assistance in obtaining information which is so essential to an evaluation of Canada's early architectural heritage.

Mr. and Mrs. Manning,  
13 Thomas St.,  
Streetsville, Ontario.

Ottawa, Ontario K1A 0H4  
October 30, 1974.

Your file    Votre référence

Our file    Notre référence

Re: 13 Thomas St.

Dear Mr. and Mrs. Manning:

-- Enclosed please find contact prints of all photographs taken during the recent visit of our recording team to your property.

Whilst every attempt was made to photograph only those items relating to the Architecture, Architectural and structural detail of the building, there might well be one or two photographs containing personal items which you would rather not have included in the Inventory. If this is indeed the case, would you please advise me by return mail and I will take the necessary steps to have the photographs either removed, or classified as personal and not for public use or viewing.

Also, while all the information contained in the Inventory is for research purposes only, it is quite possible that some of the photographs may, at various times in the future, be used in publications or books related to early Canadian architecture or history. You should, therefore, make sure that they contain nothing you would not wish printed or published. Would you, then, be good enough to review the photographs and let us have your comments and approval or otherwise.



Mr. and Mrs. Manning

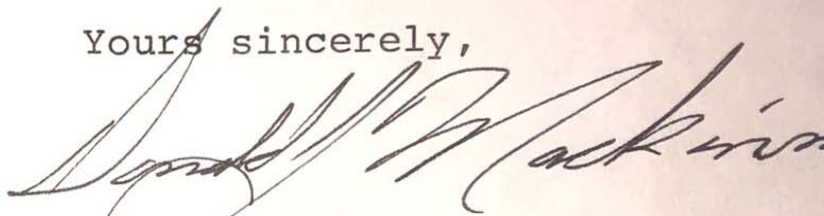
- 2 -

October 30, 1974

May I, in conclusion, extend to you the sincere thanks of all those involved in this program for your co-operation, patience and assistance in helping us gather this information which is so essential to an evaluation of Canada's architectural and historical patrimony.

With sincerest best wishes.

Yours sincerely,



Donald J. Mackinnon,  
Phase 2 Co-ordinator,  
Canadian Inventory of  
Historic Building,  
Research Division,  
National Historic Parks  
and Sites Branch,  
Parks Canada.

Encl.

**APPENDIX A3: Complete Drawings the proposed new house for 13 Thomas Street  
(by David Peterson Architect)**







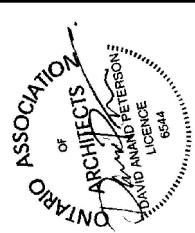
ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON REQUEST.

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT.

ALL DIMENSIONS ARE GIVEN IN INCHES UNLESS OTHERWISE INDICATED.

DO NOT SCALE DRAWINGS.

3	Mar.30, 2020		Issued for Heritage Application		
2	Mar.27, 2020		Issued for Client Review		
1	Oct.21, 2019		Issued for Zoning Review		
No.	DATE		DESCRIPTION		



DAVID PETERSON ARCHITECT  
davidpetersonarch.ca  
416.524.6277 90 South Kingsway, Toronto, m6s 3t3  
inc.

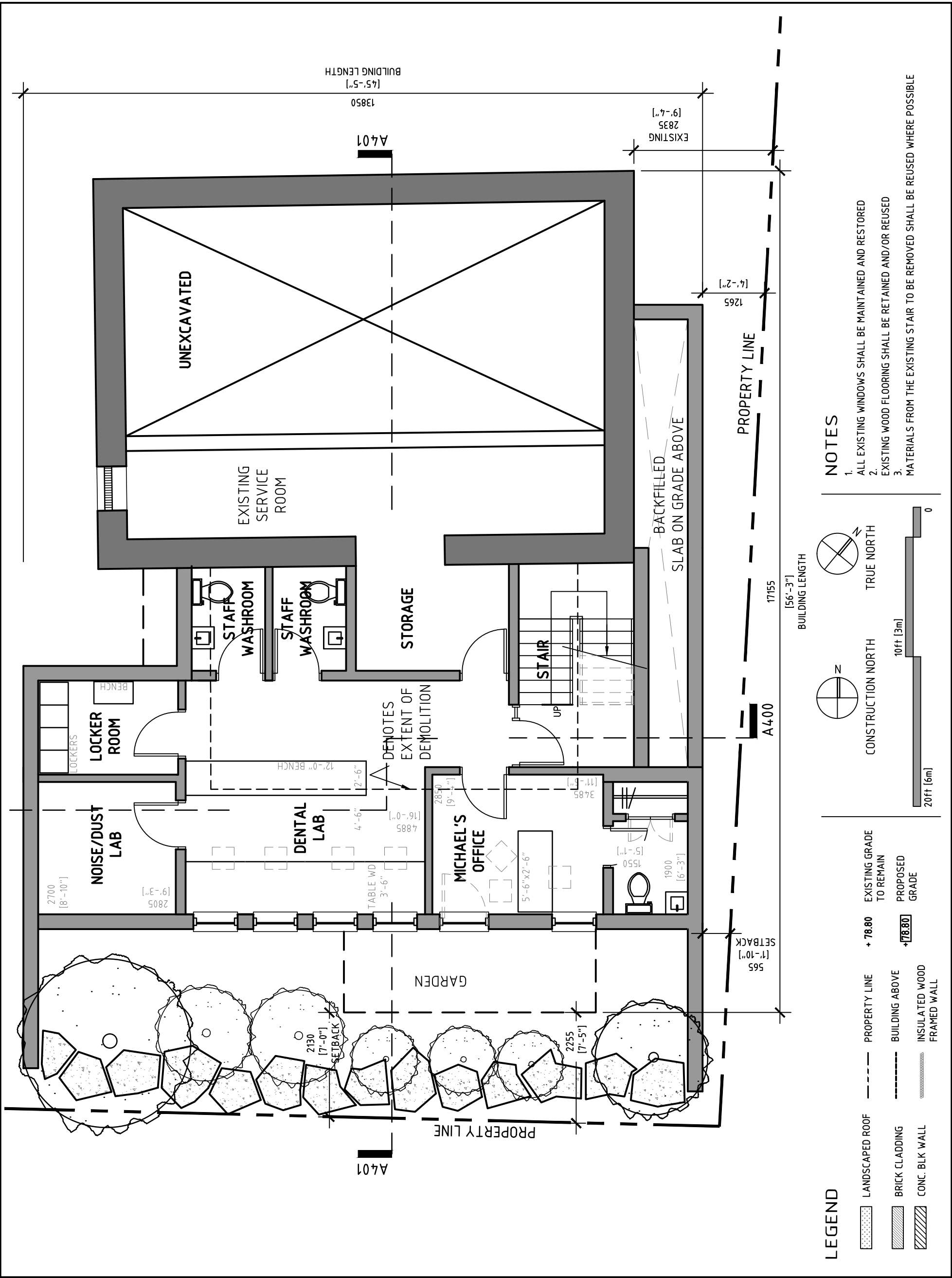
Project Title  
Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Sheet Title

BASEMENT FLOOR PLAN

Project No.

Drawn By -	Sheet No.
Checked By: dp	A200
Scale 1:75	

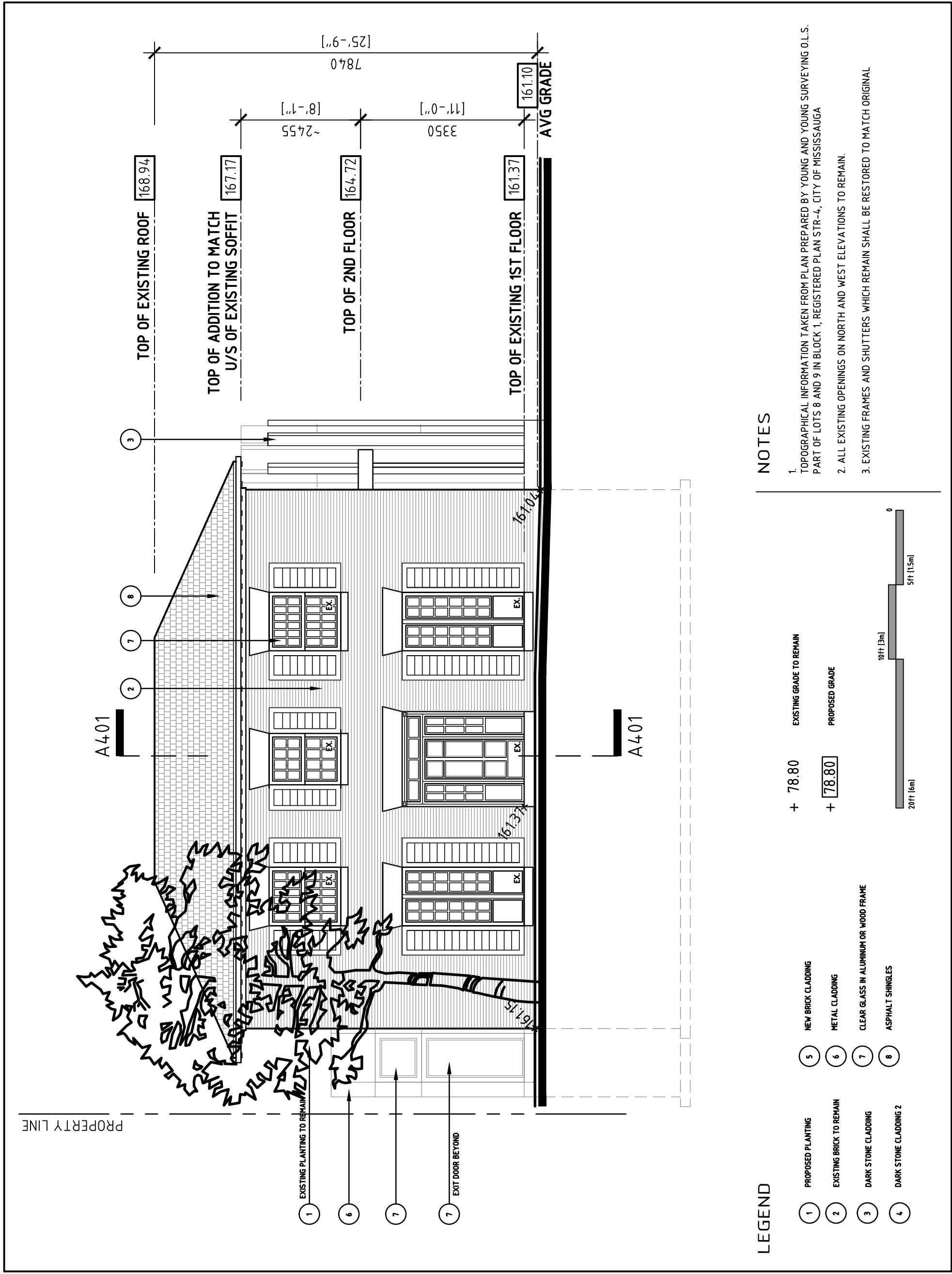


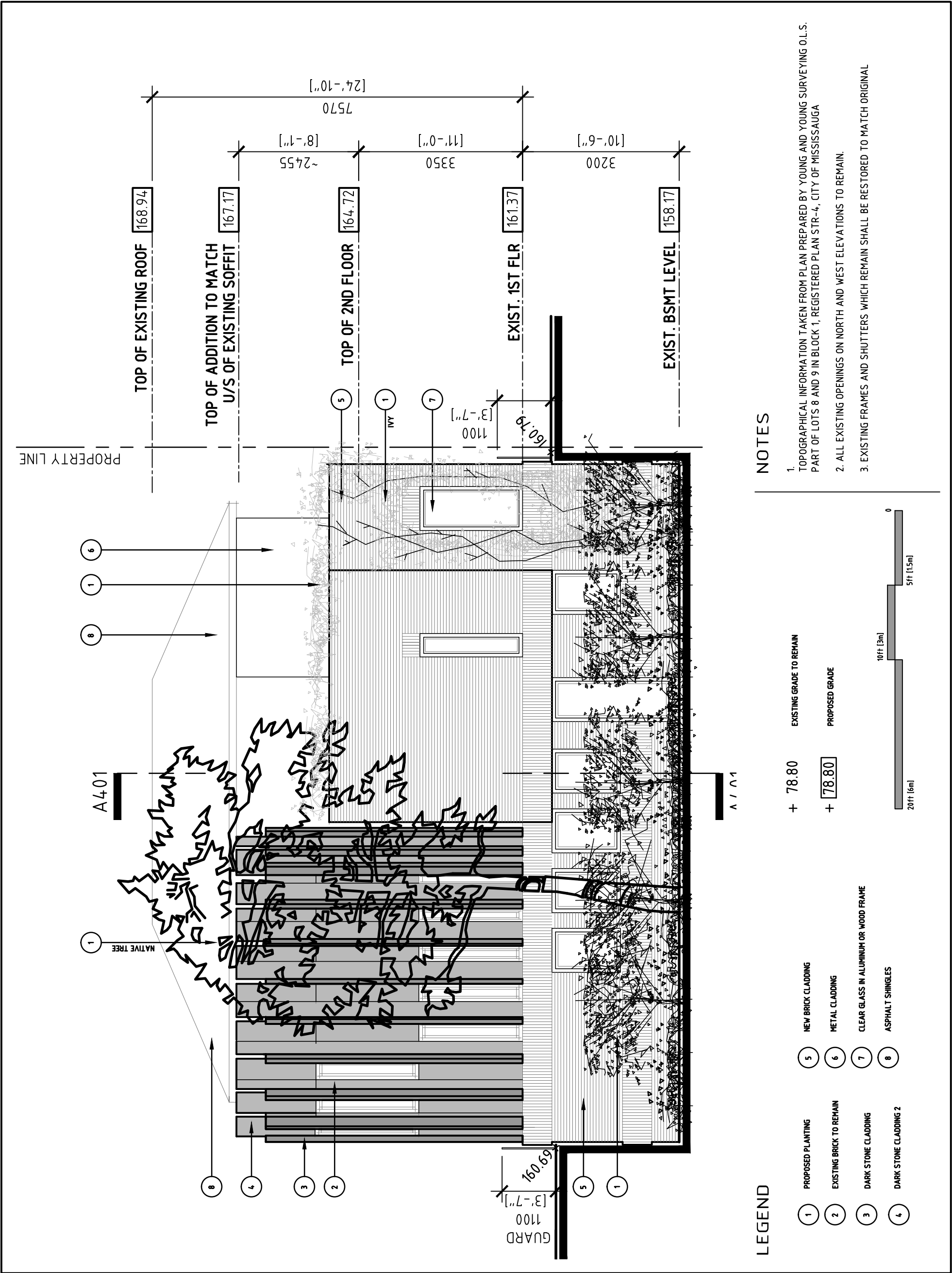









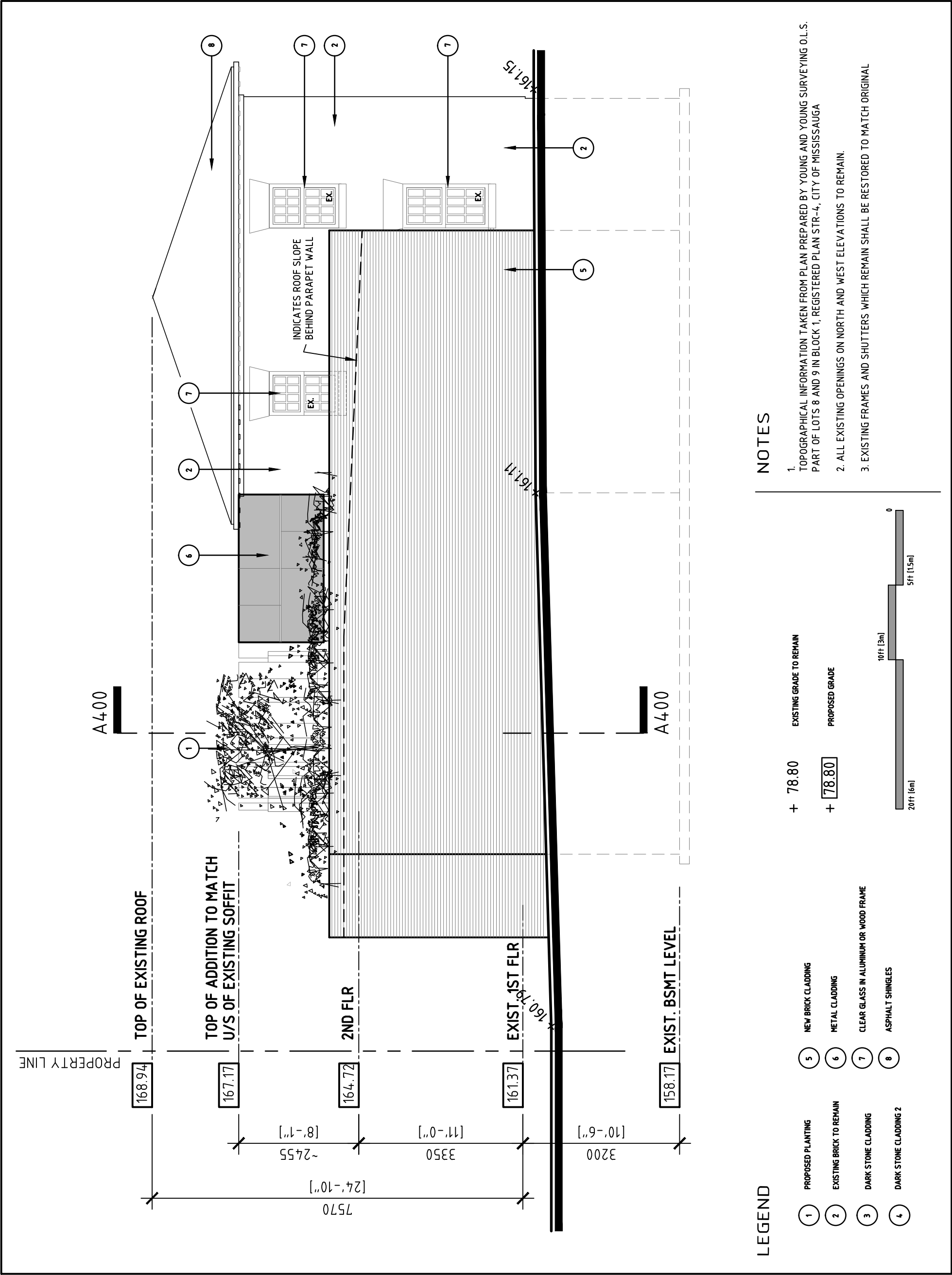




ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON REQUEST.			
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT.			
ALL DIMENSIONS ARE GIVEN IN INCHES UNLESS OTHERWISE INDICATED.			
DO NOT SCALE DRAWINGS.			
2	Mar. 30, 2020	Issued for Heritage Application	<div></div> <div>DAVID PETERSON ARCHITECT davidpetersonarch.ca 416.524.6277 90 South Kingsway, Toronto, m6s 3f3</div>
1	Oct. 21, 2019	Issued for Zoning Review	
No.	DATE	DESCRIPTION	
Project Title			
Smiles from Ear to Hear 13 Thomas Street, Mississauga, Canada			
Sheet Title			
SOUTHELEVATION			
Project No.			
Drawn By		Sheet No.	
-		A301	
Checked By:			
dp			
Scale		1:75	





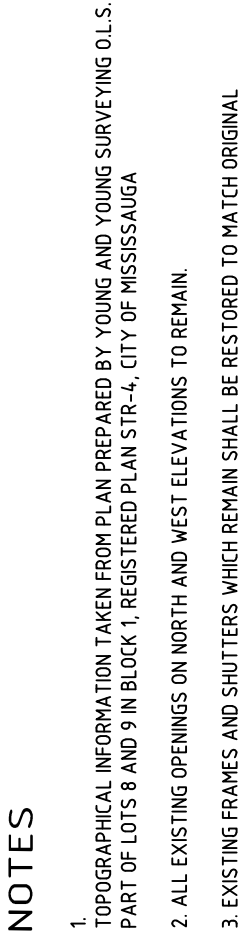




2	Mar.30, 2020			Issued for Heritage Application	
1	Oct.21, 2019			Issued for Zoning Review	
No.	DATE			DESCRIPTION	

Project Title  
Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Drawn By	-	<div style="text-align: center;"> <h1>A400</h1> </div>
Checked By:	dp	
Scale	1:75	
Sheet No.		



## NOTES

1. TOPOGRAPHICAL INFORMATION TAKEN FROM PLAN PREPARED BY YOUNG AND YOUNG SURVEYING O.L.S. PART OF LOTS 8 AND 9 IN BLOCK 1, REGISTERED PLAN STR-4, CITY OF MISSISSAUGA
2. ALL EXISTING OPENINGS ON NORTH AND WEST ELEVATIONS TO REMAIN.
3. EXISTING FRAMES AND SHUTTERS WHICH REMAIN SHALL BE RESTORED TO MATCH ORIGINAL

1	PROPOSED PLANTING	5
2	EXISTING BRICK TO REMAIN	6
3	DARK STONE CLADDING	7
4	DARK STONE CLADDING 2	8

+ 78.80	EXISTING GRADE TO REMAIN
+ <span style="border: 1px solid black; padding: 2px;">78.80</span>	PROPOSED GRADE



**APPENDIX A4: Curriculum Vitae of the Author**



## **CURRICULUM VITAE: James R. Bailey**



**James Bailey**  
**Architect**

49 MELBOURNE AVE  
TORONTO, ONTARIO  
M6K 1K6

VOICE: [416] 537 - 4140  
E-MAIL:  
jbarch@sympatico.ca

### **EDUCATION**

- Bachelor of Architecture, Carleton University, Ottawa. 1975. General Scholarship in Architecture, 1971.
- Premier Degré Supérieur de Musique (Orgue), Schola Cantorum, Paris, 1978

### **PROFESSIONAL ASSOCIATIONS**

- Ontario Association of Architects
- Royal Architectural Institute of Canada
- Canadian Association of Heritage Professionals (CAHP)
- Royal Canadian College of Organists

### **PROFESSIONAL WORK HISTORY**

- 1992-present Principal of James Bailey Architect, Toronto
- 1989-1992 Managing Architect with C.A. Ventin Architect Ltd., in charge of the firm's Toronto office and projects
- 1988-1989 Managing Architect with Lambur Scott Architects Inc., in charge of the firm's Toronto office and projects
- 1987-1988 Senior Architect with Douglas J. Cardinal Architect Limited, in charge of the firm's Newmarket, Ontario, office
- 1983-1987 Senior Architect with Douglas J. Cardinal Architect Limited, in Edmonton, then in Ottawa (after office move)
- 1981-1983 Senior Architectural Designer with Briskie Kasian Architects, Edmonton
- 1978-1981 Project Coordinator with Douglas J. Cardinal Architect Limited, Edmonton
- 1975-1977 Architectural Designer, ARCOP Associates, Ottawa
- 1975 Architectural Designer, Urbanetics, Ottawa

James R. Bailey  
O.A.A., M.R.A.I.C., C.A.H.P.  
Albena Bakalov  
O.A.A., M.R.A.I.C., C.A.H.P.

## COMMUNITY INVOLVEMENTS & TEACHING

- Member of the Board of Directors, Canadian International Organ Competition
- Royal Canadian College of Organists, National President, 2014-16
- Canadian Association of Heritage Professionals, Member of the Board, 2003-2005.
- Sheridan College, Professor of Architecture, 2001-2012
- Public Complaints Committee, Ontario Association of Architects, 1998-2001.
- Standing Committee for the administration of the Fabric Fund of Holy Trinity Church, Toronto, 1995-2003.

## AWARDS

- Award of Excellence, CAHP, "Small and Lovely" category, 2018
- Special Recognition Award, Heritage Mississauga, 2012
- Award of Merit, Heritage Toronto, The Allstream Centre, 2010
- Award of Distinction for Envelope Design, Allstream Centre, The Ontario Building Envelope Council, 2009
- Best of the Best Award, Toronto Construction Association, The Allstream Centre. 2009

## SELECTED ARCHITECTURAL PROJECTS

### Museums/Art Galleries

- \*Edmonton Space Science Centre
- \*Canadian Museum of Civilization, Hull
- \*St. Albert Municipal Museum, Alberta
- Macaulay Church Museum, Picton

### Performing Arts Centres

- \*Arden Theatre, St. Albert, Alberta
- \*Aurora Theatre, Spruce Grove, Alberta
- \*Theatre of the CMC, Hull, Quebec
- Capitol Theatre, Port Hope, Ontario
- Artword Theatre, Toronto

### Building Envelope Upgrades

- Buddies in Bad Times Theatre, Toronto
- \*\*Peel Court House, Brampton
- \*\*Metro West Detention Centre, Etobicoke
- \*\*Locke Memorial Library, Toronto
- Allstream Centre, Toronto
- St. John's United Church, Alliston
- Food Building, Exhibition Place
- Princes' Gates, Exhibition Place
- Strategic Communications, Toronto
- Mackenzie House, Toronto

### Barrier-free Access/Life-safety Upgrades

- \*\*Toronto Old City Hall
- \*\*Yorkville Branch Library, Toronto
- \*\*Main Street Branch Library, Toronto
- Locke Memorial Library, Toronto
- Trinity Church, Port Credit
- St. John's United Church, Alliston
- Trace Manes Community Centre, Toronto
- Don Valley Bible Chapel, Toronto

### Offices

- \*St. Albert Civic and Cultural Centre
- Public Service Commission, Ottawa
- Globe & Mail, Toronto
- Hitchman & Sprigings, Toronto
- \*York Administrative Centre, Newmarket

### Housing/ Live-Work Facilities

- \*\*Armagh House, Mississauga
- Garden Residence, Aurora
- Webb Residence, Toronto
- Looney Residence, Toronto
- Kersey Residence, Toronto
- Hamilton Studio, South Mountain
- Dubil Residence, Toronto
- 81 Portland Live/work Studios, Toronto
- Hitchman Residence, Toronto
- Rose Residence, Port Credit
- O'Leary Residence, Toronto

### Schools: New/Renovations

- Bowmore Road School, Toronto
- \*\*Charles Fraser P.S., Junior, Toronto
- George Harvey High School, City of York
- Jones Ave Adult Education Centre, Toronto
- Wycliffe College, U. of T., Toronto
- Island Public School, Toronto
- Palmerston Public School, Toronto
- Regal Road Public School, Toronto
- Alexander Muir Public School, Toronto

### Schools: Exterior Upgrades

- Davisville Public School, Toronto
- North Toronto CI, Toronto
- Pape Public School, Toronto
- Palmerston Public School, Toronto
- John Ross Robertson Public School, Toronto

### Public Library Renovations

- Parkdale Branch Library, Toronto
- Bloor Gladstone Branch Library, Toronto
- Yorkville Branch Library, Toronto
- Locke Memorial Library, Toronto
- Runnymede Branch Library, Toronto
- College Shaw Library, Toronto
- Saunderson Branch Library, Toronto
- Pape Danforth Library, Toronto
- Gerrard Ashdale Library, Toronto
- St. Clair/Silverthorn Library, Toronto
- Palmerston Branch Library, Toronto



### Renovations for Exhibition Place, Toronto

- General Services Building
- Enercare Centre (Direct Energy)
- Allstream Centre (Automotive Building)
- Princes' Gates
- Food Building

### Churches: New/Renovations/Additions

- Danish Lutheran Church, Toronto
- Devon Alliance Church, Alberta
- St. Luke's Church, East York
- St. Cuthbert's Church, Toronto
- St. John's Church, Whitby
- Faith United Church, Courtice
- Grace Ev. Lutheran Church, Oshawa
- Trinity Church, Port Credit
- St. Luke's Lutheran, Port Credit
- St. John's United Church, Alliston
- St. Paul's United Church, Bowmanville
- All Saints' Anglican Church, King City
- Knox Presbyterian Church, Burlington
- St. Andrew's Memorial P.C., Port Credit
- Trinity United, Peterborough
- St. John's Church, York Mills
- Don Valley Bible Chapel, Toronto
- Cathedral Church of St. James

### Laboratories

- I-Fire Technology, Toronto
- Hemosol, Toronto
- Therapure, Mississauga

### Historic Restorations

- \*\*Peel County Court House, Brampton
- \*\*St. John's Anglican Church, Ancaster
- St. John's Church, West Toronto
- St. John's United Church, Alliston
- 3 MacDowell Street, Toronto
- Allstream Centre, Exhibition Place
- Rackus Studio, Clarkson
- Boulder Villa, Clarkson
- Princes' Gates, Exhibition Place
- Macaulay Church Museum, Picton
- St. Clair Reservoir Valve House and Portal Building
- Harrison Waterworks Reservoir
- Church of the Holy Trinity, Toronto
- St. James' Cathedral, Toronto
- Scarborough Museum
- The Guild Monument Relocation
- Mackenzie House, Toronto
- Alexander Muir Gardens gateway
- Craigleigh Gardens Gates
- Carlsberg Carillon Tower, Toronto

\* Work undertaken while in the employ of Douglas J. Cardinal Limited, Ottawa

\*\* Work undertaken while Managing Architect, and Architect-of-Record, with Carlos Ventin Architect

## **STUDIES (Condition Studies/Heritage Impact Studies/Barrier-Free Access Studies)**

- Building Condition Assessment for the Beanfield Centre and for Three Heritage Towers (Fire Hall, BLC and Carillon), for Exhibition Place, 2017
- Building Condition Assessment for the Dempsey Store, for the City of Toronto Heritage and Museums, 2017
- Building Condition Assessment for 12 Alexander St., for the City of Toronto Heritage and Museums, 2017
- Heritage Statement for 75 Yorkville Avenue, for the Yorkville Ratepayer's Association, 2015
- Heritage Impact Study of 1109 and 1115 Clarkson Road North, Mississauga, 2014
- Building Assessment Study for the Scarborough Historic Museum, Toronto, 2014
- Building Assessment Study for the Coliseum Complex and the Direct Energy Centre, Exhibition Place, 2013
- Building Code Conformance Study, Tarragon Theatre, Toronto, for the management and Board of Directors of Tarragon Theatre, 2013
- Heritage Impact Study for 1183 Dufferin Street, Toronto, for We Care Homes, 2012
- Heritage Impact Study for 1380 Glenwood Drive, Mississauga, Ontario, for Dr. Mehri Habib, 2012
- Building Code/Condition Assessment, Fulford Preparatory College, Merrickville, Ontario for Mr. Francois Bernard, Owner, 2012
- Heritage Impact Study for 149 Tremaine Road, Milton, for Royal Park Homes, 2011
- Heritage Impact Study for 94 Peru Road, Milton, for Humphries Planning Group, 2011
- Long-range Planning Study, Tarragon Theatre, Toronto, for the management and Board of Directors of Tarragon Theatre, 2010
- Heritage Impact Study for 5514 Fifth Line Road, Milton, for Sempronia Estates Inc., 2010
- Heritage Impact Study for 1336 Britannia Road, and 5553 Fourth Line Road, Milton, for Orianna Glen Home Corp., 2009
- Heritage Impact Study for 6390 Fifth Line Road, Milton, for Milton 7-5 Holdings Inc., 2009
- Heritage Impact Study for the Davis-Minardi House, 3079 Neyagawa Boulevard, Oakville for the Davis-Minardi Corporation, 2009
- Heritage Impact Study for 2554 Mississauga Road, Mississauga prepared for Dr. Alaa Al Tamimi, 2008
- Heritage Impact Study for 1207 Lorne Park Road, Mississauga, prepared for Mr. Claudio Prosocco, 2008
- Heritage Impact Study for 3051 Victory Crescent, Mississauga prepared for Nirmal Sidhu,

2007

- Heritage Impact Study for 1190 Kane Road, Mississauga, prepared for Gemini, 2006
- Heritage Impact Studies for 1998 and 2030 Lakeshore Road, Mississauga, prepared for Gemini Urban Design, 2006
- Heritage Impact Statement, 2301/2303 Stanfield Road, Mississauga, prepared for Moldenhauer, 2006
- Automotive Building Condition Audit, prepared for the Board of Governors, Exhibition Place, Toronto, 2005
- A Masterplan Study for Knox Presbyterian Church, Burlington, Prepared for the Long-range Planning Committee, 2004
- Heritage Impact Statement, Horticulture Building, prepared for Musik Clubs Inc. who wished to use the Beaux Arts Exhibit Hall as a night club, 2004.
- A Condition Audit for Rosedale Presbyterian Church, Prepared for the Property Committee, Toronto, 2003
- Arts Centre Feasibility Study, prepared for the Town of Leamington, Ontario, 2003.
- A Barrier-Free Access Study for St. John's United Church, Alliston, prepared for the Property Committee, 2003.
- A Barrier-Free Access Study for Kimbourne Park United Church, Toronto, prepared for the Accessibility Committee, 2002.
- A Feasibility Study for the conversion of the Truax Lumber Building into a Performing Arts Centre for the Town of Leamington, Ontario, 2002.
- Long Range Redevelopment Master Plan for Christ Church, Stouffville", for the Rector and Wardens of the Parish of Christ Church Anglican Church, Stouffville.
- Heritage Impact Statement, Two Georgian style, Pre-Confederation Houses, located at 72/74 Elm Street, Toronto, prepared for Toronto Hospital for Sick Children, 2000.
- A Barrier-Free Access Study for St. John's Church, York Mills, prepared for the Rector and Wardens of St. John's Church, York Mills, Toronto, 1999.
- A Space Needs Study and a Space Utilization Survey for the Parishes of St. John's Church, W.T. & St. Paul's Church, Runnymede for the Amalgamation Property Committee.
- Condition Surveys of three Branch Libraries: Deer Park, Northern District and Sanderson Branches for the Toronto Public Library, 1998.
- "A Feasibility Study for developing additional Residential Spaces at Wycliffe College, University of Toronto" prepared for the Property Committee of the College, 1997.



- "A Study of the Implications of accommodating Garbage Trucks inside the Food Building, Exhibition Place", prepared for the Capital Works Department of the CNE, 1997.
- "A Condition Survey of St. Bartholomew's Church", prepared for the Rector and Wardens of the Church of St. Bartholomew, Toronto, 1996.
- "A Building Study of Powell's House, Appleby College", prepared for the Board of Appleby College, Oakville, Ontario, 1995.
- "Condition Study of the Church of the Transfiguration, Toronto", prepared for the Rector and Wardens of the Church of the Transfiguration, Toronto, 1995
- "Pre-Engineering & Costing Study for Building Envelope Repairs & Barrier-free Access Improvements to the Food Building & Halls of Fame Building, Exhibition Place, Toronto", prepared for the Capital Works Department of Exhibition Place, 1995.
- "Condition Survey of the Buildings of the Parish of Georgina in the Diocese of Toronto", prepared for the Diocese of Toronto, 1994.
- "Building Code Impact Study related to the development of a Night Club in the MacLean Hunter Building, North York", prepared for Luxor Entertainment Corporation, 1994.

THOMAS STREET  
(Travelled Road Confirmed By Justice In Session January 12, 1831, Transferred By Order IN Council 1025-79, By-Law No. 20-79)  
Part of Lot 3, Concession 5, West of Hurontario Street  
P.I.N. 13123-0003

SURVEYOR'S REAL PROPERTY REPORT - PART 1

Part of LOTS 8 and 9  
in BLOCK 1  
REGISTERED PLAN STR-4  
CITY of MISSISSAUGA  
Regional Municipality of Peel  
SCALE 1 : 100  
YOUNG & YOUNG SURVEYING  
(ETOBICOKE 2006) INC.  
© COPYRIGHT 2019

METRIC  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE  
SOUTHEAST LIMIT OF THOMAS STREET, HAVING A BEARING OF  
N38°00'40"E ACCORDING TO PLAN 43R-30428

ELEVATION NOTE  
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE  
CITY OF MISSISSAUGA BENCHMARK NO. 257 HAVING A  
PUBLISHED ELEVATION OF 162.08 METRES.

LEGEND  
DENOTES SURVEY MONUMENT SET  
N.S.E.W. NORTH, SOUTH, EAST, WEST  
M MEASURED  
CC CUT CROSS  
IB ROUND IRON BAR  
IB IRON BAR  
WT WITNESS  
P.I.N. PROPERTY IDENTIFIER NUMBER  
D INSTRUMENT NO. R01140269  
UP OVERHEAD WIRES & UTILITY POLE  
TC UTILITY POLE  
BC TOP OF CURB  
DT BOTTOM OF CURB  
DT DEODUOUS TREE  
CT CONIFEROUS TREE  
TRE DIAMETER  
TRE TOP OF ROOF ELEVATION  
DSE DOOR SILL ELEVATION  
ILBRW INTERLOCKING BRICK RETAINING WALL  
MH MANHOLE  
CB CATCH BASIN  
BF BOARD FENCE  
WF WROUGHT IRON FENCE  
BT BELL TELEPHONE  
PL PLAN 43R-30428  
DMM PLAN BY DEATH, MCLEAN & MCMURCHY,  
O.L.S., DATED JANUARY 14, 1966

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2089963  
THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
in accordance with  
Regulation 1026, Section 29(3).

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYS ACT, THE SURVEYORS ACT  
AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 30TH DAY OF  
MAY, 2019.

JUNE 7, 2019  
DATE  
CHRIS BERESNEWICZ  
ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR SMILES FROM EAR TO HEAR

PART 2 - SURVEY REPORT

1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES  
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY : NONE  
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING  
BY-LAWS

Young & Young Surveying  
(ETOBICOKE 2006) INC.  
310 North Queen St., Suite 102, Toronto ON M9C 5K4  
Tel: (416) 621-2676 - Fax: (416) 621-3360  
E-MAIL : info@youngandyoung.ca

DRAWN: DCJ CHECKED: B.C./C.B. PROJECT 19-T10146

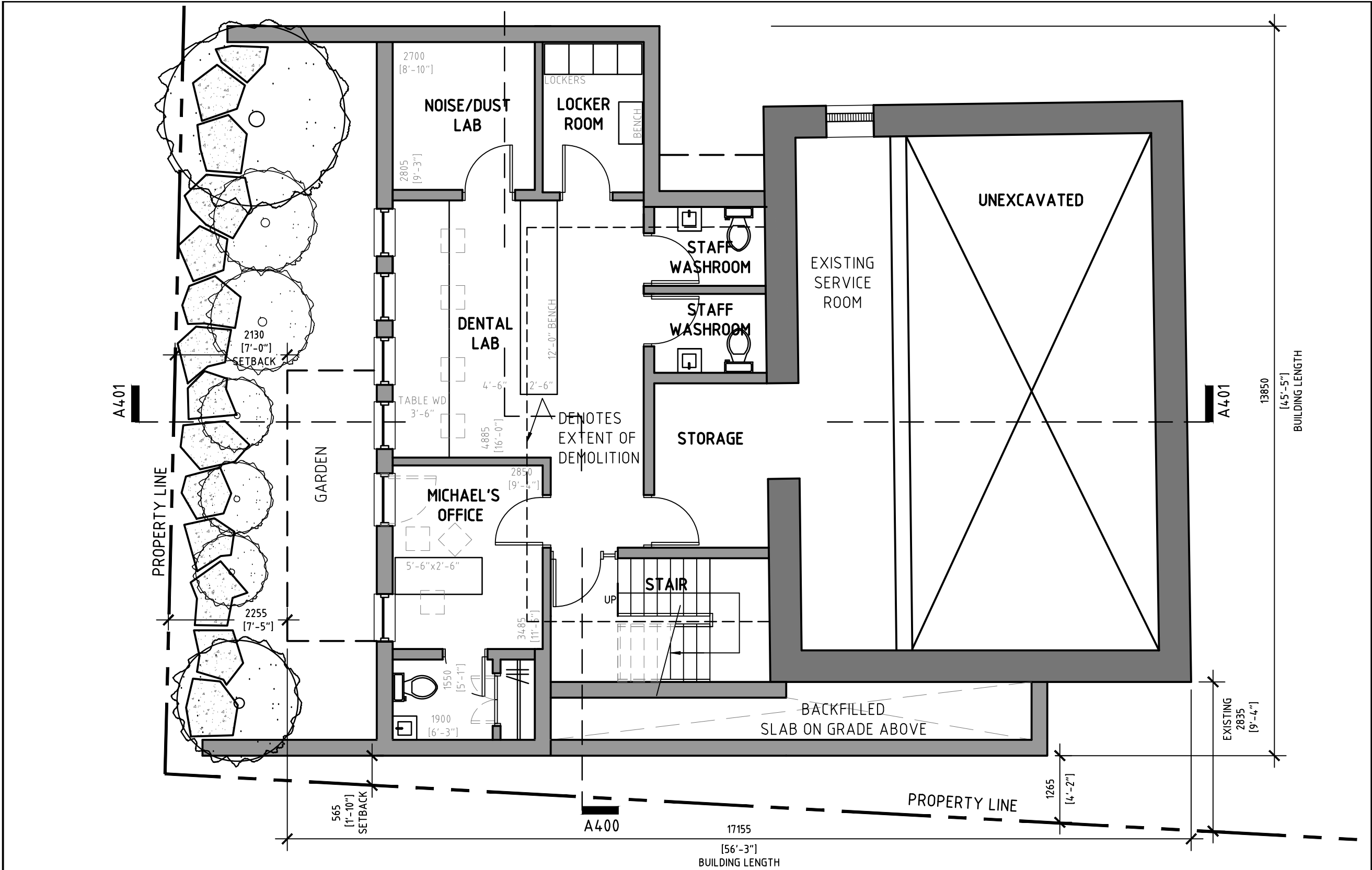






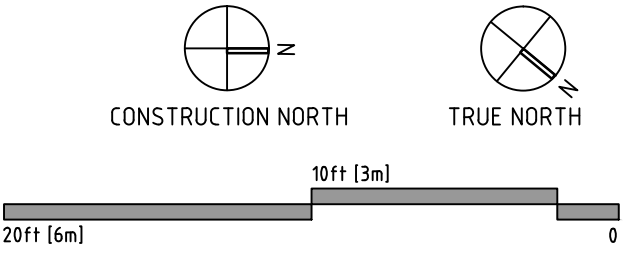


Proposed West Elevation  
**Smiles from Ear to Hear**  
13 Thomas Street, Mississauga, Canada  
March 30, 2020



LEGEND

- LANDSCAPED ROOF
- BRICK CLADDING
- CONC. BLK WALL
- PROPERTY LINE
- BUILDING ABOVE
- INSULATED WOOD FRAMED WALL
- + 78.80 EXISTING GRADE TO REMAIN
- +78.80 PROPOSED GRADE



NOTES

1. ALL EXISTING WINDOWS SHALL BE MAINTAINED AND RESTORED
2. EXISTING WOOD FLOORING SHALL BE RETAINED AND/OR REUSED
3. MATERIALS FROM THE EXISTING STAIR TO BE REMOVED SHALL BE REUSED WHERE POSSIBLE

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON REQUEST.

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT.

ALL DIMENSIONS ARE GIVEN IN INCHES UNLESS OTHERWISE INDICATED.

DO NOT SCALE DRAWINGS.

3	Mar.30, 2020	Issued for Heritage Application
2	Mar.27, 2020	Issued for Client Review
1	Oct.21, 2019	Issued for Zoning Review
No.	DATE	DESCRIPTION



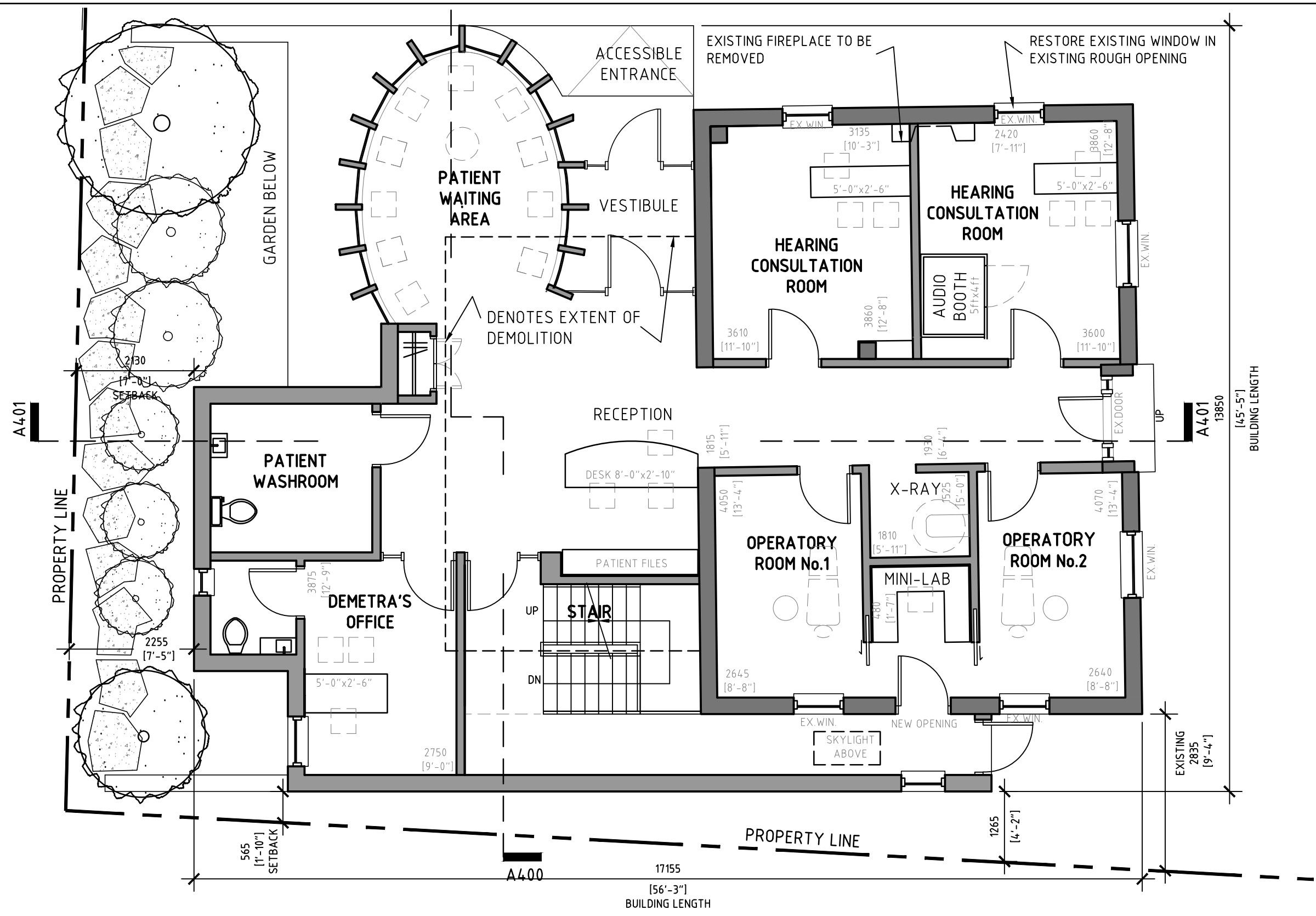
DAVID PETERSON ARCHITECT  
davidpetersonarch.ca  
416.524.6277 90 South Kingsway, Toronto, m6s 3t3

Project Title  
Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Sheet Title  
BASEMENT FLOOR PLAN

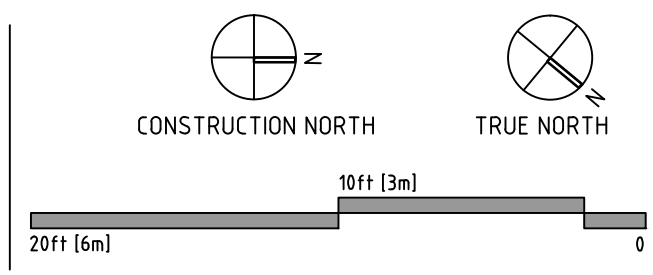
Project No.

Drawn By -	Sheet No.
Checked By: dp	A200
Scale 1:75	



LEGEND

- |  |                 |  |                            |  |         |                          |
|--|-----------------|--|----------------------------|--|---------|--------------------------|
|  | LANDSCAPED ROOF |  | PROPERTY LINE              |  | + 78.80 | EXISTING GRADE TO REMAIN |
|  | BRICK CLADDING  |  | BUILDING ABOVE             |  | + 78.80 | PROPOSED GRADE           |
|  | CONC. BLK WALL  |  | INSULATED WOOD FRAMED WALL |  |         |                          |



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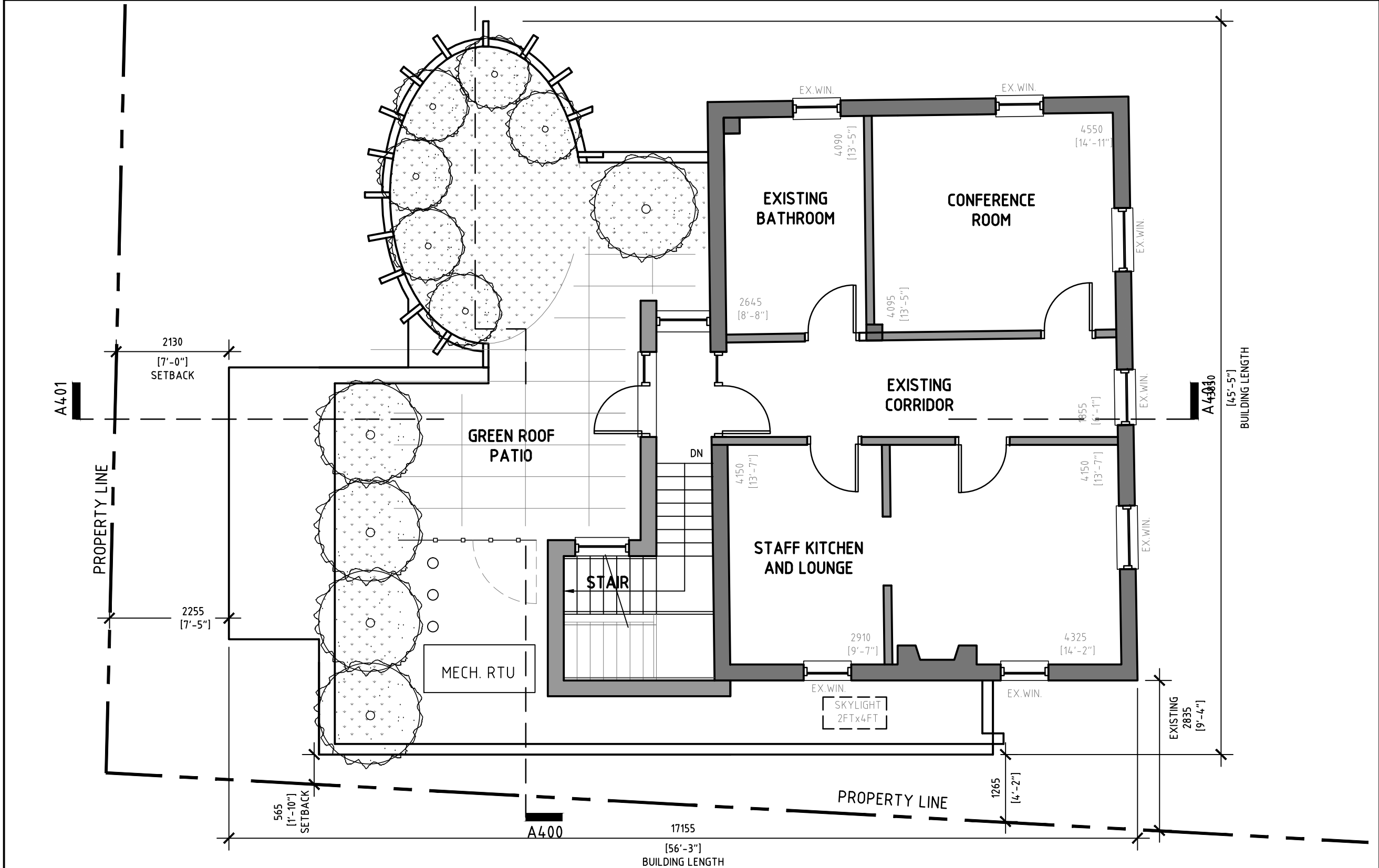
Project Title  
Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Sheet Title  
GROUND FLOOR PLAN

Project No.

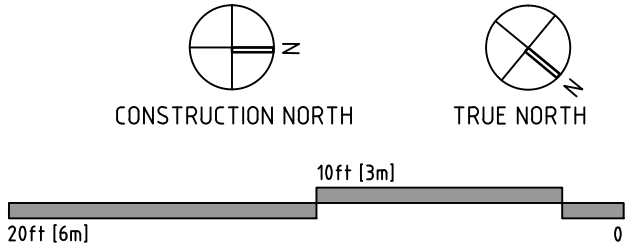
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Checked By: dp	
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LEGEND

- LANDSCAPED ROOF
- BRICK CLADDING
- CONC. BLK WALL
- PROPERTY LINE
- BUILDING ABOVE
- INSULATED WOOD FRAMED WALL
- + 78.80 EXISTING GRADE TO REMAIN
- + 78.80 PROPOSED GRADE



NOTES

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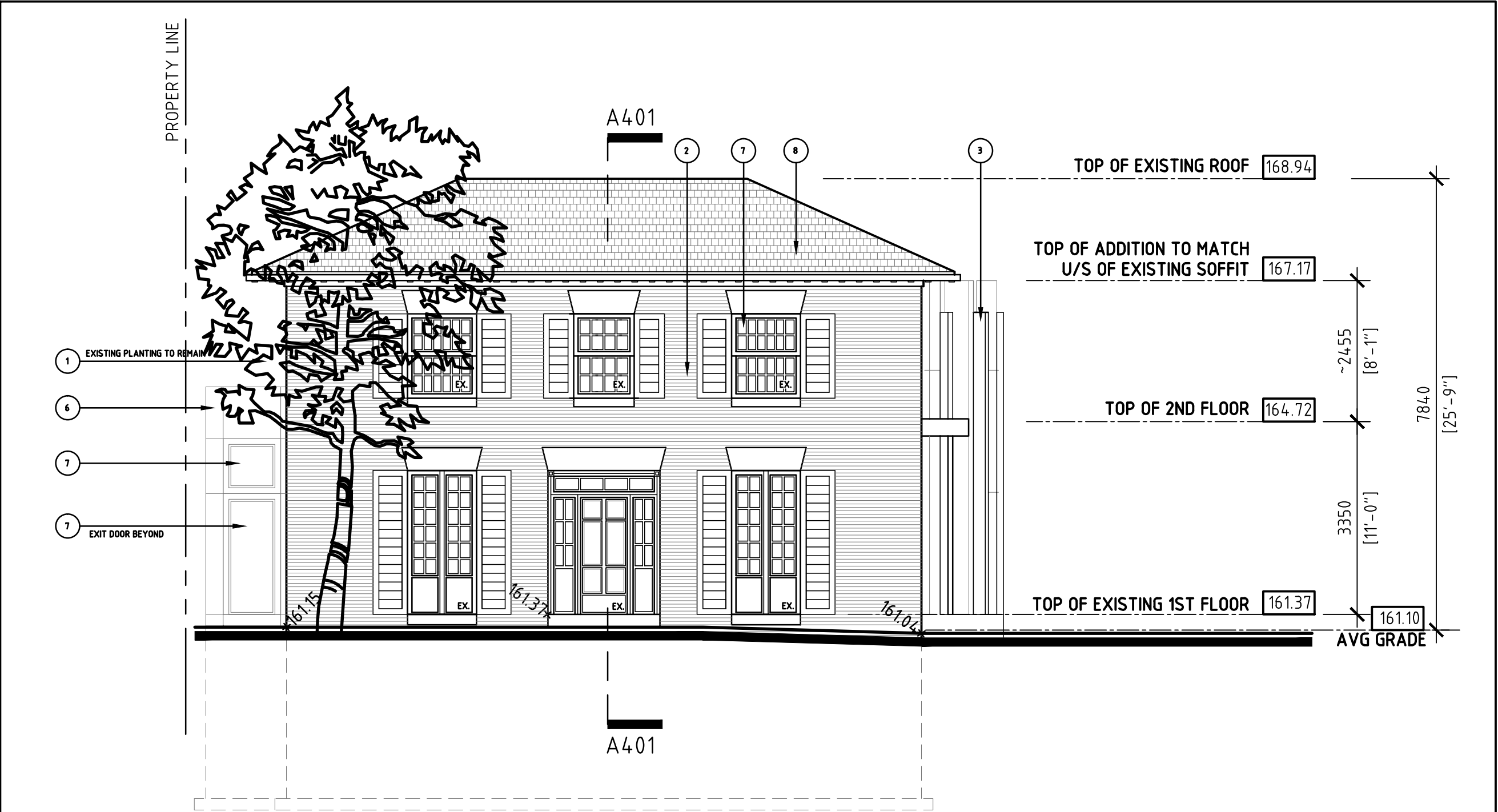
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Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Sheet Title  
SECOND FLOOR PLAN

Project No.

Drawn By -	Sheet No.  A202
Checked By: dp	
Scale 1:75	

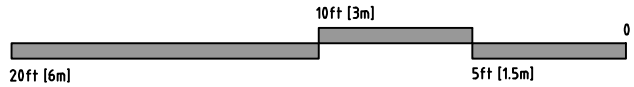


LEGEND

- |   |                          |   |                                       |
|---|--------------------------|---|---------------------------------------|
| 1 | PROPOSED PLANTING        | 5 | NEW BRICK CLADDING                    |
| 2 | EXISTING BRICK TO REMAIN | 6 | METAL CLADDING                        |
| 3 | DARK STONE CLADDING      | 7 | CLEAR GLASS IN ALUMINUM OR WOOD FRAME |
| 4 | DARK STONE CLADDING 2    | 8 | ASPHALT SHINGLES                      |

+ 78.80 EXISTING GRADE TO REMAIN

+ 78.80 PROPOSED GRADE



NOTES

1. TOPOGRAPHICAL INFORMATION TAKEN FROM PLAN PREPARED BY YOUNG AND YOUNG SURVEYING O.L.S. PART OF LOTS 8 AND 9 IN BLOCK 1, REGISTERED PLAN STR-4, CITY OF MISSISSAUGA
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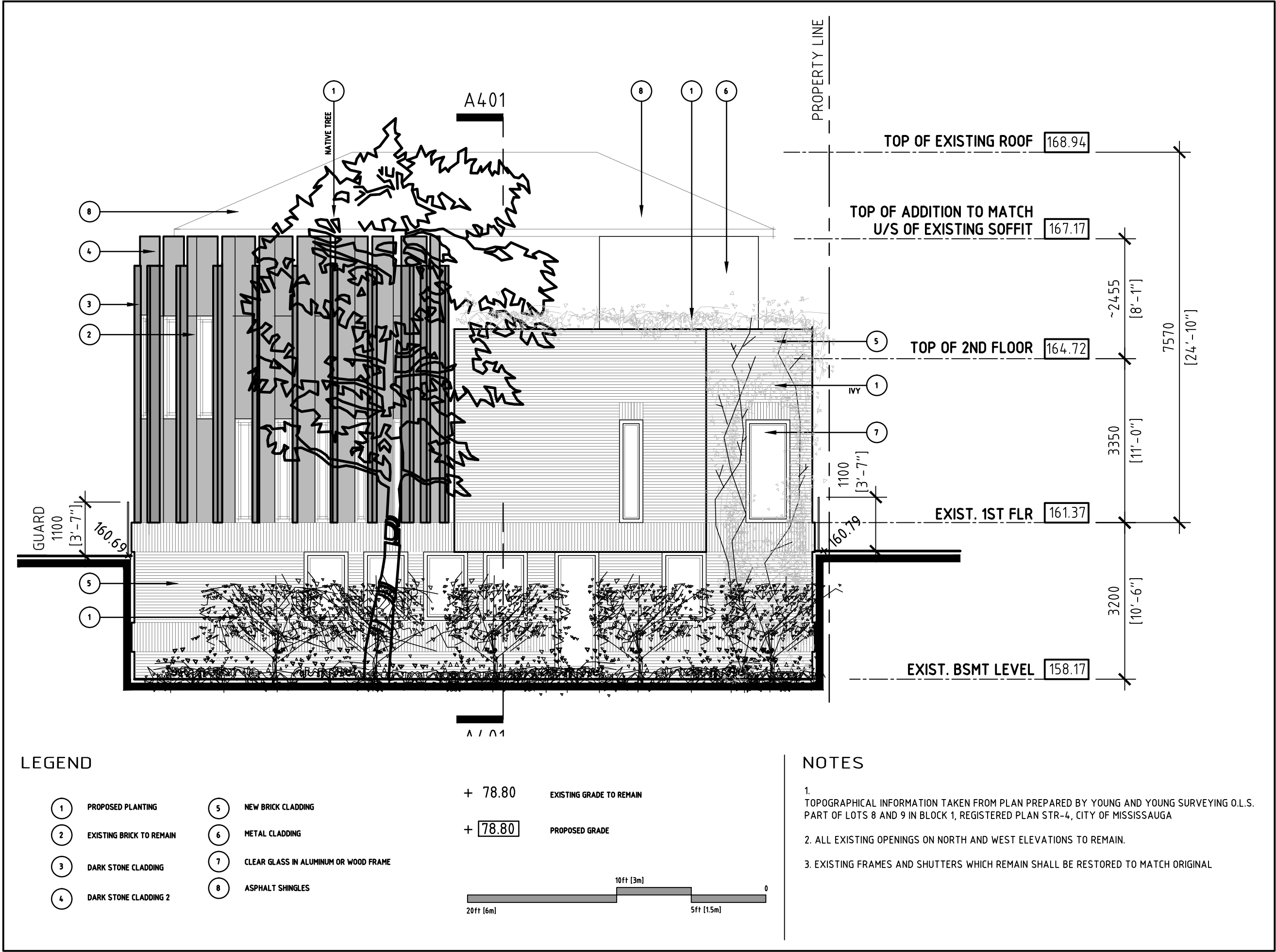
Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Sheet Title

STREET ELEVATION  
NORTH ELEVATION

Project No.

Drawn By -	Sheet No.
Checked By: dp	A300
Scale 1:75	



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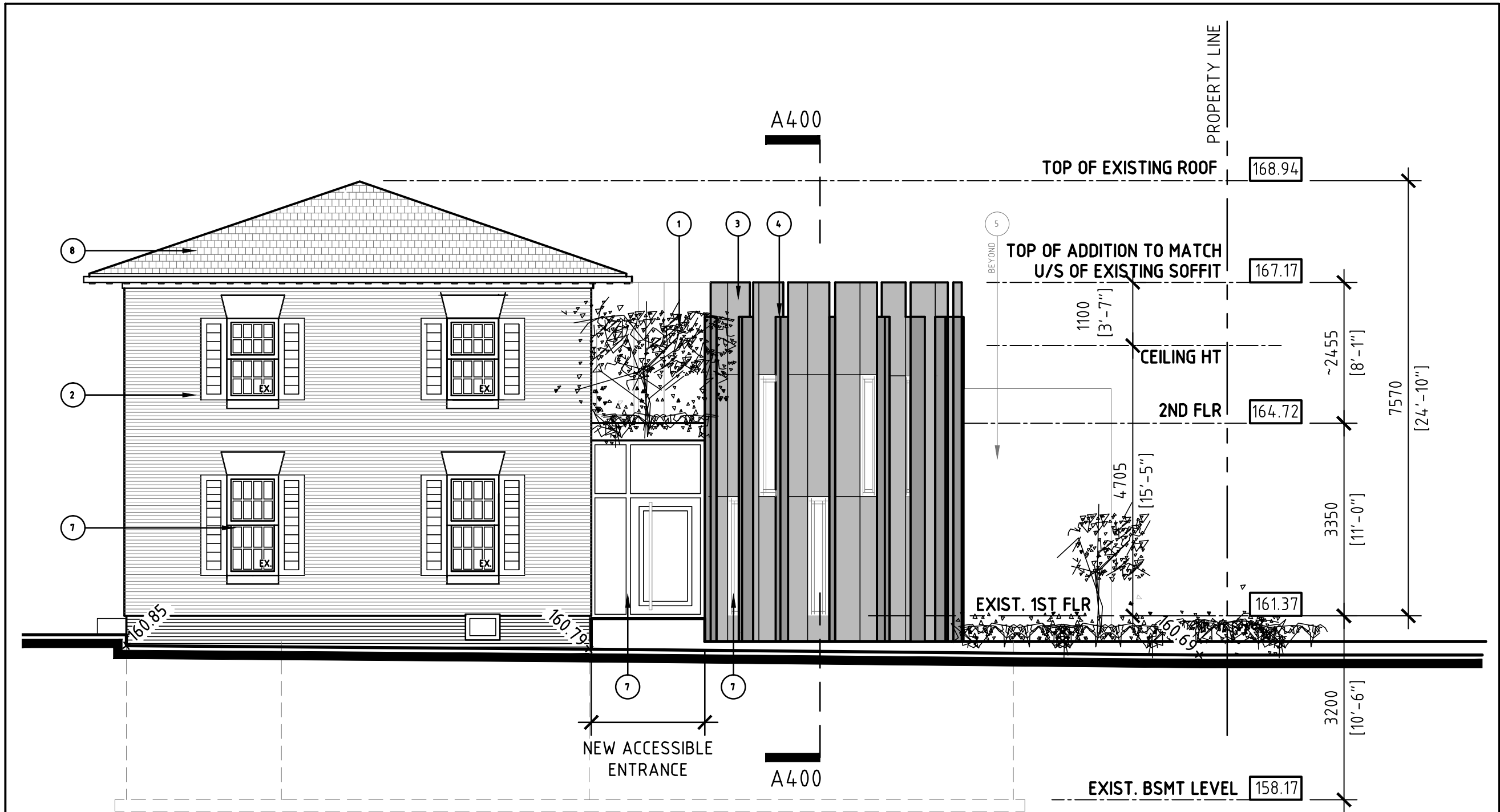
Project Title  
Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Sheet Title  
SOUTHELEVATION

Project No.

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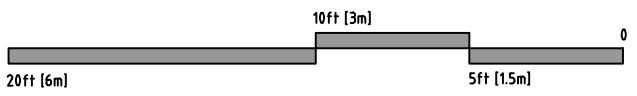




LEGEND

- |   |                          |   |                                       |
|---|--------------------------|---|---------------------------------------|
| 1 | PROPOSED PLANTING        | 5 | NEW BRICK CLADDING                    |
| 2 | EXISTING BRICK TO REMAIN | 6 | METAL CLADDING                        |
| 3 | DARK STONE CLADDING      | 7 | CLEAR GLASS IN ALUMINUM OR WOOD FRAME |
| 4 | DARK STONE CLADDING 2    | 8 | ASPHALT SHINGLES                      |

+ 78.80 EXISTING GRADE TO REMAIN  
+ 78.80 PROPOSED GRADE



NOTES

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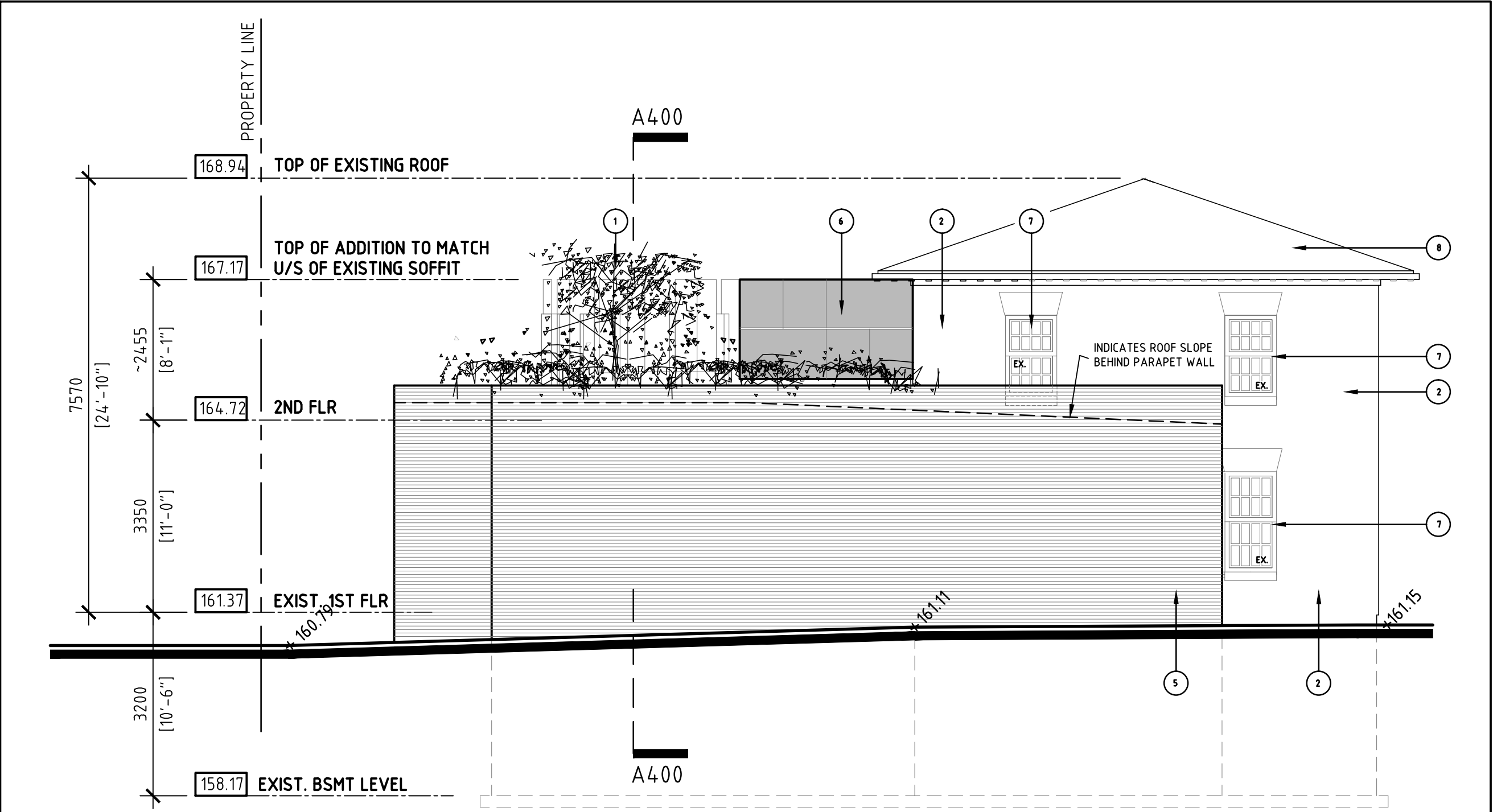
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Project Title  
Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Sheet Title  
WEST ELEVATION

Project No.

Drawn By -	Sheet No.  A302
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Scale 1:75	

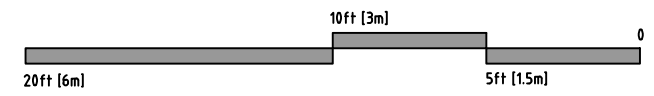


LEGEND

- |   |                          |   |                                       |
|---|--------------------------|---|---------------------------------------|
| 1 | PROPOSED PLANTING        | 5 | NEW BRICK CLADDING                    |
| 2 | EXISTING BRICK TO REMAIN | 6 | METAL CLADDING                        |
| 3 | DARK STONE CLADDING      | 7 | CLEAR GLASS IN ALUMINUM OR WOOD FRAME |
| 4 | DARK STONE CLADDING 2    | 8 | ASPHALT SHINGLES                      |

+ 78.80 EXISTING GRADE TO REMAIN

+ 78.80 PROPOSED GRADE



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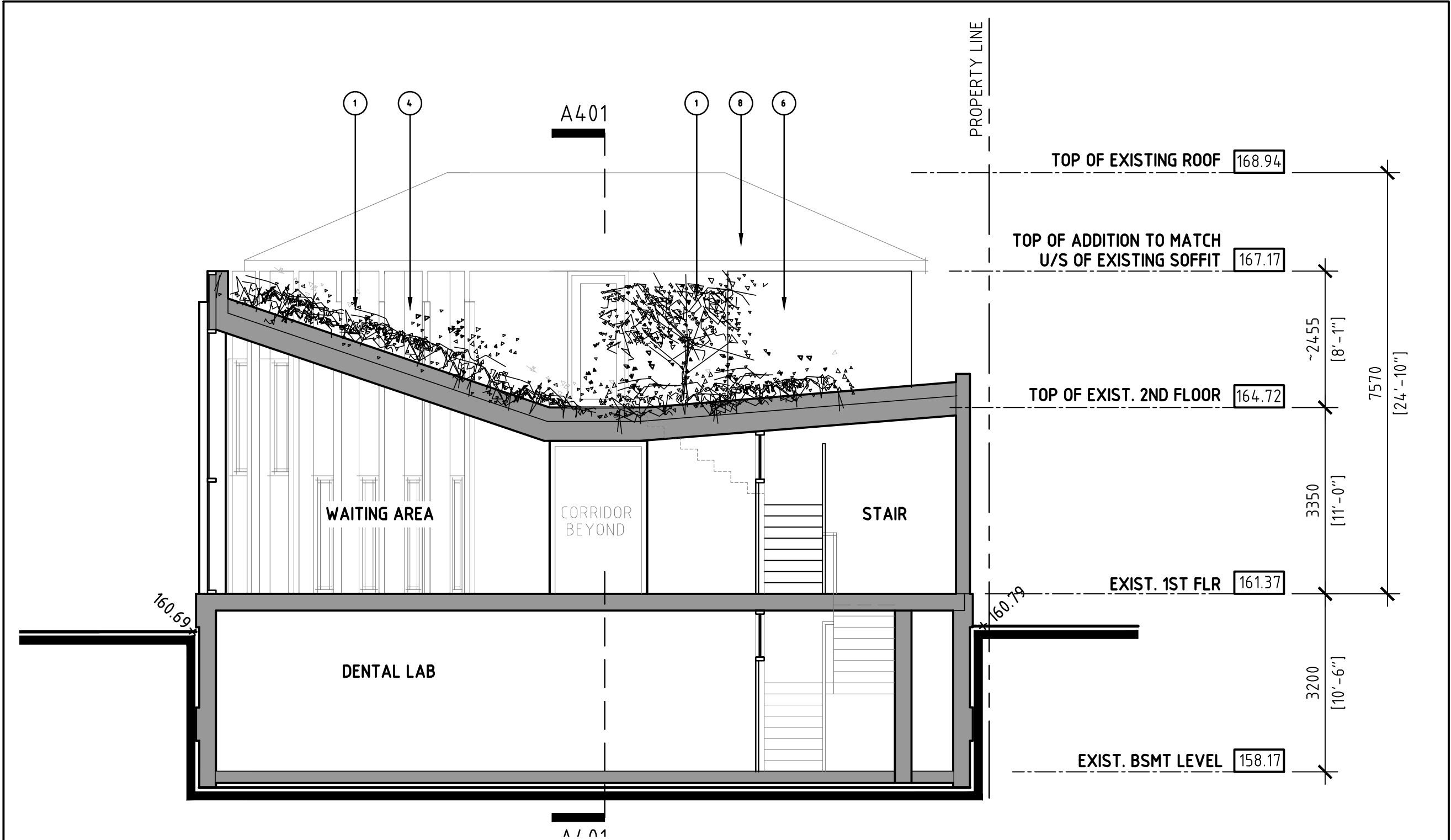
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13 Thomas Street, Mississauga, Canada

Sheet Title  
EAST ELEVATION

Project No.

Drawn By -	Sheet No. <b>A303</b>
Checked By: dp	
Scale 1:75	



LEGEND

- 1

PROPOSED PLANTING
- 2

EXISTING BRICK TO REMAIN
- 3

DARK STONE CLADDING
- 4

DARK STONE CLADDING 2
- 5

NEW BRICK CLADDING
- 6

METAL CLADDING
- 7

CLEAR GLASS IN ALUMINUM OR WOOD FRAME
- 8

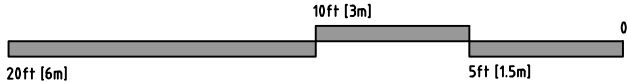
ASPHALT SHINGLES

+ 78.80

EXISTING GRADE TO REMAIN

+ 78.80

PROPOSED GRADE



NOTES

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Project Title

Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

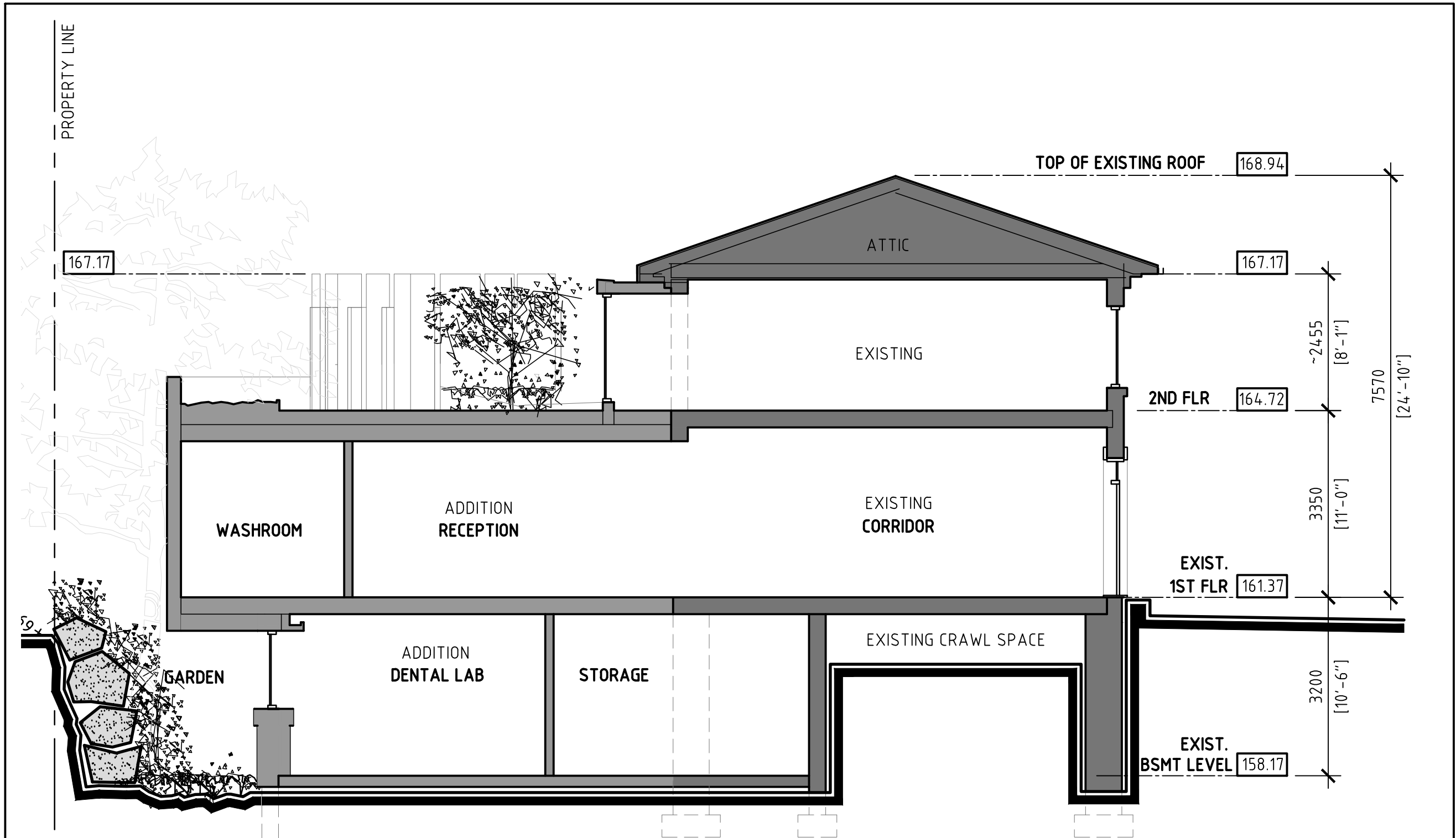
Sheet Title

BUILDING SECTION

Project No.

Drawn By	Sheet No.  A400
Checked By: dp	
Scale 1:75	





LEGEND

- 1

PROPOSED PLANTING
- 2

EXISTING BRICK TO REMAIN
- 3

DARK STONE CLADDING
- 4

DARK STONE CLADDING 2
- 5

NEW BRICK CLADDING
- 6

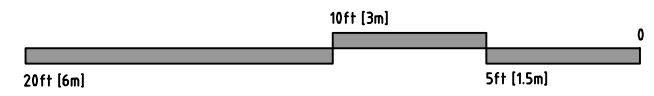
METAL CLADDING
- 7

CLEAR GLASS IN ALUMINUM OR WOOD FRAME
- 8

ASPHALT SHINGLES

+ 78.80      EXISTING GRADE TO REMAIN

+ 78.80      PROPOSED GRADE



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ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
DAVID ANAND PETERSON  
LICENCE  
6544

dp

DAVID PETERSON ARCHITECT  
davidpetersonarch.ca  
416.524.6277 90 South Kingsway, Toronto, m6s 3f3

Project Title

Smiles from Ear to Hear  
13 Thomas Street, Mississauga, Canada

Sheet Title

BUILDING SECTION

Project No.

Drawn By  
-

Checked By:  
dp

Scale  
1:75

Sheet No.

A401