



ERA Architects Inc.
#600-625 Church St
Toronto ON, M4Y 2G1

Tribunal) ('LPAT') due to City Council's failure to make a decision. In advance of the LPAT hearing, without prejudice conversations between the City and the applicant resulted in a settlement proposal that addressed, among other issues, the preliminary built form relationship between the Subject Site and the Old Port Credit Village HCD. The settlement proposal, as outlined in a Staff report dated July 29, 2019, was adopted by City Council on July 31, 2019. The LPAT Order, including a series of conditions, was issued on November 15, 2019. The settlement proposal, as indicated in the appended revised master plan, maintains the overall site configuration described in the 2018 HIA, as well as the same residential and commercial gross floor area (GFA), while incorporating several refinements. Changes to the design of Brightwater Block D are described below:

- The 2.5 storey townhouses previously proposed for Brightwater Block D have been replaced by affordable housing units for the Region of Peel (maximum of 150 units). The proposed units are arranged in a three-storey volume fronting Mississauga Road South that gradually steps up to a seven-storey volume facing an internal street.

Development Description for Block D

The proposed development will contain 150 units of affordable housing, and is proposed to be seven-storeys in height, with tiered stepbacks from the third to seventh storey at the east elevation along the east side of Mississauga Road South. A raised patio is located along the corner of the east and north elevation, and an outdoor amenity is located at the third storey along the east elevation. Grasses and shrubbery are primarily located along the south elevation, with some sections located along the east, west and north elevations. The building features an irregular fenestration pattern and a partially curved south elevation. The main residential lobby entrance is located at the south elevation off of Missinnihe Way, a new public road, with secondary entrances located along the east and west elevations. Underground parking is shared with the surrounding Blocks and accessed from Block H, west of the Site. Visitor parking and bike parking is internalized at the ground floor, located at the north portion of the Site and accessed from the north elevation. See below for renderings of the proposed development and Appendix B for drawings issued by Turner Fleischer on April 22, 2022.



VIEW FROM MISSISSAUGA RD SOUTH LOOKING NORTH WEST



VIEW FROM MISSISSAUGA RD SOUTH LOOKING SOUTH WEST



VIEW TOWARDS NORTH FROM STREET C



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Impact of the Proposed Plan for Block D

ERA has assessed the current design and finds that the proposed development for Brightwater Block D is substantially in accordance with the design parameters outlined in the 2020 HIA Addendum. While the proposed development changes the historical use and surrounding context of the site, the proposed development conserves the described cultural heritage value of 70 Mississauga Road South, the Old Port Credit Village HCD, and the Mississauga Road Scenic Route CHL.

On Site Impacts

70 Mississauga Road

Given that the cultural heritage value of the Subject Site is intangible and with the absence of any historic built form on the Subject Site, the proposed development will have no impact on the cultural heritage value of the site as identified in the Reasons for Listing.

Mississauga Scenic Route Cultural Landscape

Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. The Cultural Landscape contains notable scenic quality, traversing a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. The road also includes some of the city's most interesting architecture and landscape features. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage. While the proposed development changes the surrounding context of the Mississauga Scenic Route Cultural Landscape through the introduction of a seven-storey building on the Subject Site, the proposed development includes setbacks and stepbacks from Mississauga Road to allow for a consistent scale in built form features as viewed from the public realm, thereby conserving the cultural heritage value of the Scenic Route Cultural Landscape. Further, the proposed development does not impact the alignment and scenic quality of the road as identified in the Reasons for Listing.

Adjacent Impacts

Old Port Credit Village HCD

Old Port Credit Village HCD is characterized by a number of historic house-form buildings, institutional landmarks and churches, and open spaces, all dating from the nineteenth to mid-twentieth centuries. The low-rise single-family homes have landscaped front yards, a few of which have been converted to commercial use. While the proposed development will change the surrounding adjacent context west of the Old Port Credit Village HCD through the introduction of a seven-storey building in Block D of the Subject Site, the proposed development incorporates setbacks and stepbacks to allow for an appropriate transition in setting, scale, massing and character to the low-rise residential character of the HCD.

Mitigation Measures

Based on the review of in-force and emerging policies, the following design considerations are intended to mitigate potential impacts on the Mississauga Scenic Route Cultural Landscape and the adjacent Old Port Credit Village HCD:

- The 4.34m setback and outdoor amenity along the east elevation preserves and complements the scenic historical character of the street, and will be designed in a visually complementary manner to be consistent in scale with adjacent heritage buildings and the Mississauga Scenic Route Cultural Landscape.



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- The proposed development features tiered setbacks at the east elevation from the third to seventh storey, providing a gradual transition in massing and form, and responding to the established low-rise residential built form character of the adjacent Old Port Credit Village HCD along the east side of Mississauga Road South.
- The proposed development features landscaped lawns and ornamental gardens with non-uniform planting patterns, and a mixture of grasses and shrubbery along the east, west, north, and south elevations, referencing the existing character of front-yard gardens within the adjacent HCD.
- The east elevation of the proposed development fronts onto Mississauga Road South and features a raised patio with walkway connections to the sidewalk, activating the west side of Mississauga Road South with pedestrian activity.
- The materiality of new construction is contemporary in nature, and is distinguishable from and subordinate to the heritage fabric of the adjacent Old Port Credit Village HCD. The proposed material palette references, in part, the natural and textured quality of materials found within the Old Port Credit Village HCD.

Conclusion

In light of the material outlined above, our evaluation of the development proposal for Block D is substantially in accordance with the conclusions presented in the 2018 HIA and the 2020 Addendum, namely that the proposed development conserves the described cultural heritage value of 70 Mississauga Road South, the Old Port Credit Village HCD, and the Mississauga Road Scenic Route CHL.

We trust that the information contained within this HIA addendum sufficiently addresses issues of potential impact on recognized heritage resources on and adjacent to the Subject Site. Please do not hesitate to contact us if you require further information or wish to discuss the contents of this letter.

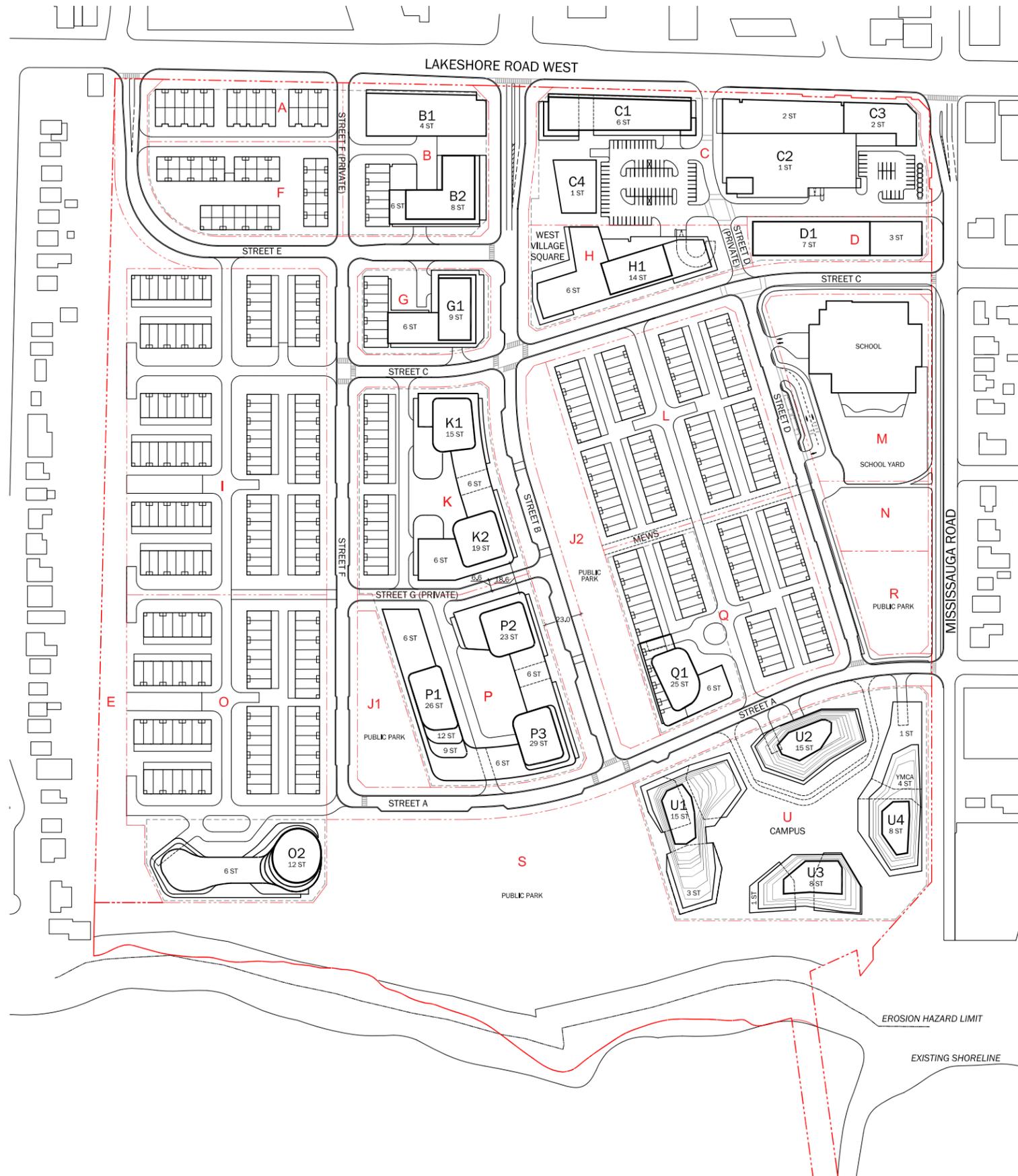
Sincerely,

A handwritten signature in black ink, appearing to read 'Graeme Stewart', is written over a horizontal line.

Graeme Stewart, Principal

E.R.A. Architects Inc.

APPENDIX A: Revised Master Plan, Giannone Petricone Architects (July 2019)



APPENDIX B: Architectural Drawings, Turner Fleischer (April 22, 2022)

FS BW Block D GP Inc.

141 LAKESHORE ROAD EAST
MISSISSAUGA ON L5G 1E8

CONTACT: ANTHONY DI SANTO
EMAIL: ADISANTO@FRAMGROUP.COM
TEL: 416-747-9661 (EXT 241)

BRIGHTWATER BUILDING D PROPOSED RESIDENTIAL BUILDING

200 MISSINNIHE WAY, MISSISSAUGA, ON

17.110CS



**TURNER
FLEISCHER**

67 Lesmill Rd
Toronto, ON, M3B 2T8
Contact Name: ANITA YU
Tel: 416-425-2222 ext. 235
Email: anita.yu@turnerfleischer.com

**ISSUED FOR SPA RE-SUBMISSION
APRIL 22nd, 2022**



LANDSCAPE
Studio TLA
20 Champlain Blvd. Suite 102
Toronto, ON, M3H 2Z1
Tel: 416 638 4911
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CIVIL
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ELECTRICAL
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PLANNING
Urban Strategies
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Contact: Jennifer Sun
Email: Jsun@urbanstrategies.com



MECHANICAL
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285 Yorkland Boulevard
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STRUCTURAL
Jablonsky, Ast and Partners
400-3 Concorde Gate
Toronto, ON, M3C 3N7
Tel: (416) 447 7405
Contact: Jeff Watson
Email: Jwatson@astint.on.ca

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSAUGA WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

DEFINITIONS

CITY OF MISSISSAUGAZONING BY-LAW 0225-2007

Height

- (1) means, with reference to the height of a building, structure or part thereof, except a detached, semi-detached, duplex, triplex, townhouse, back to back townhouse or stacked townhouse, the vertical distance between the established grade and:
- (1.1) the highest point of the roof surface of a flat roof; or
 - (1.2) the mean height level between the eaves and ridge of a sloped roof.
 - (1.3) the mean height level between the eaves and ridge of a flat roof where there is a flat roof on top of a sloped roof; or
 - (1.4) the highest point of a structure without a roof.
- (0325-2008), (0714-2017), (9181-2018)/LPAT Order 2019 February 15)
See Illustration No.6 - Section 1.3 - Illustrations

Landscaped Area

means any outdoor area on a lot, located at grade, including the landscaped buffer, that is suitable for the growth and maintenance of grass, flowers, shrubs, trees and other vegetation, as well as other landscape features, and may include walkways, berms, retaining walls and outdoor amenity areas, but shall not include, driveways, aisles, ramps or condominium roads, parking areas whether surfaced or not, curbs, any open space beneath or within any building, structure or part thereof, or any exterior garbage storage or handling area.
(0190-2014), (0181-2018/LPAT Order 2019 February 15)

Total Floor Area

means the aggregate of the areas of each floor and/or mezzanine above or below established grade, measured between the exterior of outside walls, including all parts of the building below established grade developed for non-residential use, but excluding the following:

- (1) any enclosed area used for climate control, electrical, energy generation and distribution, or mechanical equipment related to the operation or maintenance of the building;
- (2) areas of stairwells, washrooms, elevators or walkways/catwalks used exclusively for the maintenance of and/or access to mechanical equipment related to the operation or maintenance of the building;
- (3) any enclosed area devoted to the collection or storage of disposable or recyclable waste generated within the building;
- (4) any part of the building or structure above or below established grade, but not including a commercial parking garage, used exclusively for the temporary parking of motor vehicles or the provision of loading space(s) where such loading space(s) are required by the City's Zoning By-law; and
- (5) the area of any self-contained structural shelf and rack storage facility approved by the Building Materials Evaluation Commission; and
- (6) where a building or structure does not have any wall, the total floor area shall be the sum total of the area of land directly beneath the building or structure and the total areas of any floors and mezzanines in the building or structure, not already included in the sum total

Established Grade

means, with reference to a building, structure or part thereof, the average elevation of the finished grade of the ground immediately surrounding such building or structure, and when used with reference to a street, means the elevation of the street, established by the Municipality or other designated authority. (0308-2011)

Gross Floor Area (GFA)

means the sum of the areas of each storey of a building, structure or part thereof, above or below established grade, excluding storage below established grade and a parking structure above or below established grade, measured from the exterior of outside walls, or from the mid-point of common walls.

ZONING EXCEPTION RA3-37
LPAT CASE NO. PL180196
LPAT FILE NO. PL180197

LAND USE	m ²	ft ²	%
BUILDING COVERAGE	2,177.5	23,438	68.0%
LANDSCAPED OPEN SPACE AT GRADE (INCLUDING WALKWAYS AND INTERLOCKING PAVEMENTS)	928.4	9,993	29.0%
REST (PARRALEL PARKING, TRANSFORMER PAD, GAS METER PAD)	94.7	1,019	3.0%
TOTAL SITE AREA	3,200.6	34,451	100.0%

BUILDING HEIGHT (FROM ESTABLISHED GRADE: 27.23 m)	STOREYS	m
BUILDING D	7	27

GROSS FLOOR AREA SUMMARY

PARCEL	USE	GFA		FSI
		m ²	ft ²	
BLG D	RESIDENTIAL	11,548.5	124,307	3.61
	TOTAL	11,548.5	124,307	3.61

TOTAL FLOOR AREA SUMMARY

FLOORS	TFA	
	m ²	ft ²
U/G 1	3,417.0	36,780
FLOOR 1 - FLOOR 7	12,954.2	139,438
MPH	222.7	2,397
TOTAL	16,594.0	178,616

DRAWING LIST

DRAWING NUMBER	DRAWING NAME
SPA000	COVER SHEET
SPA001A	STATISTICS
SPA001B	STATISTICS
SPA001C	OBC MATRIX
SPA002	SURVEY
SPA004	CONTEXT PLAN
SPA005	BLOCK PLAN
SPA006	RESIDENTIAL SOLID WASTE MANAGEMENT
SPA101	UNDERGROUND LEVEL 01
SPA151	FLOOR 01 / SITE PLAN
SPA152	FLOOR 02/03
SPA153	FLOOR 04/05
SPA154	FLOOR 06/07
SPA158	MPH
SPA159	ROOF PLAN
SPA160	ESTABLISHED GRADE CALCULATION
SPA301	SOUTH ELEVATION
SPA302	NORTH ELEVATION
SPA303	EAST AND WEST ELEVATIONS
SPA401	BUILDING SECTIONS
SPA402	BUILDING SECTIONS
SPA403	BUILDING SECTIONS
SPA404	1/50 SECTIONS
SPA405	1/50 SECTIONS
SPA600	DETAILS (SARIS BIKE RACK)
SPA801	3D PERSPECTIVES
SPA802	3D PERSPECTIVES
SPA810	SHADOW STUDY SUMMARY
SPA811	SHADOW STUDIES - JUNE
SPA812	SHADOW STUDIES - JUNE
SPA813	SHADOW STUDIES - JUNE
SPA814	SHADOW STUDIES - JUNE
SPA815	SHADOW STUDIES - SEPTEMBER
SPA816	SHADOW STUDIES - SEPTEMBER
SPA817	SHADOW STUDIES - SEPTEMBER
SPA818	SHADOW STUDIES - DECEMBER
SPA819	SHADOW STUDIES - DECEMBER

FLOOR AREA BREAKDOWN

BLG D	GROSS FLOOR AREA BREAKDOWN										AREA EXCLUSIONS		TOTAL FLOOR AREA (TFA)		OUTDOOR AMENITY		INDOOR AMENITY	
	FLOOR	#	SALEABLE		NON-SALEABLE		TOTAL RESIDENTIAL		m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²	m ²	ft ²
			m ²	ft ²	m ²	ft ²	m ²	ft ²										
			56.1	603	56.1	603	56.1	603	3,360.9	36,177	3,417.0	36,780						
1	13	561.1	6,040	463.7	4,991	1,024.8	11,031	1,007.9	10,849	2,177.5	23,438	106.8	1,150	144.8	1,559			
2	26	1,896.9	20,418	179.9	1,937	2,076.8	22,355	46.1	496	2,122.9	22,851							
3	23	1,491.1	16,050	167.5	1,803	1,658.6	17,852	40.8	439	1,743.7	18,769	184.3	1,984	44.3	477			
4	24	1,580.9	17,017	170.1	1,831	1,751.1	18,848	39.2	422	1,790.3	19,270							
5	24	1,580.6	17,014	170.1	1,831	1,750.8	18,845	39.5	425	1,790.3	19,270							
6	21	1,459.8	15,713	163.3	1,758	1,623.1	17,471	41.7	449	1,664.8	17,920							
7	19	1,443.2	15,535	164.1	1,766	1,607.3	17,301	57.5	618	1,664.8	17,920							
MPH								222.7	2,397	222.7	2,397							
TOTAL	150	10,013.7	107,786	1,534.8	16,520	11,548.5	124,307	4,856.4	52,273	16,594.0	178,616	291.1	3,133	189.1	2,036			

#	DATE	DESCRIPTION	BY
2	2020/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSAUGA WAY, MISSISSAUGA, ON

DRAWING
STATISTICS

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY SKA	
CHECKED BY AYU	
SCALE	

DRAWING NO. SPA001A REV. 2

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MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

UNIT MIX - PROVIDED

	UNIT TYPE				TOTAL
	BACHELOR	1B	2B	3B	
RATIO	14.7%	37.3%	30.0%	18.0%	100.0%
COUNT	22	56	45	27	150
AVERAGE UNIT SIZE/TYPE	39 m ²	57 m ²	74 m ²	97 m ²	

UNIT MIX - PROVIDED

FLOOR	UNIT TYPE - SALEABLE				TOTAL	AVERAGE UNIT SIZE/LEVEL	
	BACHELOR	1B	2B	3B		m ²	ft ²
1	10	2	1		13	43.2	465
2	2	12	7	5	26	73.0	785
3	3	10	6	4	23	64.8	698
4	3	9	8	4	24	65.9	709
5	3	9	8	4	24	65.9	709
6	1	8	8	4	21	69.5	748
7		6	7	6	19	76.0	818
SUBTOTAL	22	56	45	27	150	66.8	719
UNIT MIX	14.7%	37.3%	30.0%	18.0%	100.0%		

BICYCLE PARKING - REQUIRED

BLG D	RESIDENTIAL		
	USE	RATIO	SPACES
	CLASS A	0.60 / UNIT	90
	CLASS B	0.05 / UNIT	8
	TOTAL REQUIRED		98

* BICYCLE PARKING RATIOS AS PER CITY OF MISSISSAUGA BICYCLE PARKING STANDARDS (DRAFT FEB 2022)

BICYCLE PARKING - PROVIDED

BLG D	RESIDENTIAL			
	FLOOR	SHORT TERM	LONG TERM	SUB-TOTAL
	FLOOR 1	12	74	86
	U/G LEVEL 1		31	31
	TOTAL PROVIDED	12	105	117

* ALL BICYCLES ARE PARKED HORIZONTALLY

BARRIER FREE UNITS - REQUIRED & PROVIDED

BARRIER FREE UNITS	USE				TOTAL
	BACHELOR	1B	2B	3B	
UNIT MIX	22	56	45	27	150
REQUIRED (20%)	5	12	9	6	32
PROVIDED	4	15	10	6	35

AMENITY AREAS - REQUIRED & PROVIDED

BLG D	TYPE	REQUIRED			PROVIDED		
		RATIO	m ²	ft ²	RATIO	m ²	ft ²
	MINIMUM AMENITY AREA (THE GREATER OF 5.6M2/UNIT OR 10% SITE AREA)	5.6 m ² / UNIT	840.0	9,042	1.3 m ² / UNIT	189.1	2,036
		10% OF SITE AREA	320.1	3,445	1.9 m ² / UNIT	291.1	3,133
	TOTAL AMENITY		840.0	9,042	3.2 m ² / UNIT	480.3	5,169

* AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 AS AMENDED.

AMENITY AREAS - CONTIGUOUS AREA REQUIRED (MINIMUM)

RATIO	MINIMUM CONTIGUOUS AREA	
	m ²	ft ²
50% OF TOTAL AMENITY	240.1	2,584.7

A MINIMUM OF 50% OF THE TOTAL AMENITY AREA SHALL BE PROVIDED IN ONE CONTIGUOUS AREA AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007

AMENITY AREAS - CONTIGUOUS AREA PROVIDED

FLOOR	CONTIGUOUS AREA	PERCENTAGE OF TOTAL AMENITY
	m ²	ft ²
3	228.6	2,461.1
		47.6%

VEHICULAR PARKING - REQUIRED

BLG D	USE	RATIO (MIN.)	UNITS	SPACES (MIN.)
		VISITOR	0.15 / UNIT	150
	RESIDENTIAL	0.60 / UNIT	150	90
	TOTAL REQUIRED			113

* VEHICULAR PARKING RATIOS AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 (EXCEPTION RA3-37) AS AMENDED.

VEHICULAR PARKING - PROVIDED

BLG D	FLOOR	USE	TOTAL
		RESIDENTIAL	VISITOR
	FLOOR 1		23
	U/G LEVEL 1	90	90
	TOTAL PROVIDED	90	23
			113

* VEHICULAR PARKING RATIOS AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 (EXCEPTION RA3-37) AS AMENDED.

ACCESSIBLE PARKING - REQUIRED

BLG D	USE	RATIO (MIN.)	MIN. B/F REQ'D.
		RESIDENTIAL	4% TOTAL VISITORS PARKING
	SPACES REQUIRED		1

* VEHICULAR PARKING RATIOS AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 AS AMENDED.

ACCESSIBLE PARKING - PROVIDED

BLG D	USE	SPACES PROVIDED
		RESIDENTIAL
	TOTAL PROVIDED	3

* VEHICULAR PARKING RATIOS AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 AS AMENDED.

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MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

Ontario Building Code Data Matrix				Building Code Reference																																								
Part 3																																												
3.00	Building Code Version:	O_Reg_332/12	Last Amendment	867/21																																								
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Change of use <input type="checkbox"/> Additional <input type="checkbox"/> Addition and renovation <input type="checkbox"/> Renovation		[A] 1.1.2.																																								
3.02	Major Occupancy Classification:	Description: 7 STOREY RESIDENTIAL BUILDING WITH 1 LEVEL OF UNDERGROUND PARKING Occupancy Use: Residential Group: F3 Low Hazard Industrial occupancies		3.1.2.1(1)																																								
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.2.7																																								
3.04	Building Area (m ²)	<table border="1"> <thead> <tr> <th>Description:</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>PROPOSED BUILDING AREA (OBC DEFINITION)</td> <td>0</td> <td>2188.2</td> <td>2188.2</td> </tr> <tr> <td></td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>Total</td> <td>0</td> <td>2188.2</td> <td>2188.2</td> </tr> </tbody> </table>		Description:	Existing	New	Total	PROPOSED BUILDING AREA (OBC DEFINITION)	0	2188.2	2188.2		0	0	0		0	0	0	Total	0	2188.2	2188.2	[A] 1.4.1.2.																				
Description:	Existing	New	Total																																									
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	0	0	0																																									
Total	0	2188.2	2188.2																																									
3.05	Gross Area (m ²)	<table border="1"> <thead> <tr> <th>Description:</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>PROPOSED GROSS AREA (OBC DEFINITION)</td> <td>0</td> <td>13177.0</td> <td>13177.0</td> </tr> <tr> <td></td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>Total</td> <td>0</td> <td>13177.0</td> <td>13177.0</td> </tr> </tbody> </table>		Description:	Existing	New	Total	PROPOSED GROSS AREA (OBC DEFINITION)	0	13177.0	13177.0		0	0	0		0	0	0	Total	0	13177.0	13177.0	[A] 1.4.1.2.																				
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	0	0	0																																									
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Total	0	13177.0	13177.0																																									
3.06	Mezzanine Area (m ²)	<table border="1"> <thead> <tr> <th>Description:</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>N/A</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>Total</td> <td>0</td> <td>0</td> <td>0</td> </tr> </tbody> </table>		Description:	Existing	New	Total	N/A	0	0	0		0	0	0		0	0	0	Total	0	0	0	3.2.1.1.																				
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3.07	Building Height	<table border="1"> <thead> <tr> <th>Stores above grade</th> <th>(m) Above grade</th> </tr> </thead> <tbody> <tr> <td>7</td> <td>27.23</td> </tr> <tr> <td>1</td> <td></td> </tr> <tr> <td colspan="2">Stores below grade</td> </tr> </tbody> </table>		Stores above grade	(m) Above grade	7	27.23	1		Stores below grade		[A] 1.4.1.2. & 3.2.1.1.																																
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7	27.23																																											
1																																												
Stores below grade																																												
3.09	Number of Streets/Firefighter access	1 street(s)		3.2.2.10. & 3.2.5.																																								
3.10	Building Classification (Size and Construction Relative to Occupancy)	<table border="1"> <tbody> <tr> <td>3.2.2.42</td> <td>Group/Div</td> <td>Group C, Any Height, Any Area, Sprinklered</td> </tr> <tr> <td>3.2.2.75</td> <td>Group/Div</td> <td>Group F3, Up to 6 Storeys, Sprinklered, Storeys, Sprinklered</td> </tr> </tbody> </table>		3.2.2.42	Group/Div	Group C, Any Height, Any Area, Sprinklered	3.2.2.75	Group/Div	Group F3, Up to 6 Storeys, Sprinklered, Storeys, Sprinklered	3.2.2.42 & 3.2.2.75																																		
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3.2.2.75	Group/Div	Group F3, Up to 6 Storeys, Sprinklered, Storeys, Sprinklered																																										
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire building <input type="checkbox"/> Selected floor areas <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> Selected compartments <input type="checkbox"/> Basement <input type="checkbox"/> None		3.2.1.5 & 3.2.2.17.																																								
3.12	Standpipe System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.9.																																								
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.4.																																								
3.14	Water Service/Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes																																										
3.15	Construction Type:	Restriction: <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		3.2.20-83 & 3.2.1.4.0																																								
3.16	Importance Category:	<input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster shelter		4.1.2.1 (3) & T4.1.2.1.B																																								
3.17	Seismic Hazard Index:	(Ie Fa Sa (0.2)) = 0 Seismic Design required for Table 4.1.8.18, Items 6 to 21: (Ie Fa Sa (0.2) ≥ 0.35 or Post-disaster) <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		4.1.2.1 (3) & 4.1.8.18(2)																																								
3.18	Occupant Load	<table border="1"> <thead> <tr> <th>Floor Level / Area</th> <th>Occupancy Type</th> <th>Based On</th> <th>Occupant Load (Persons)</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>RESIDENTIAL</td> <td>3.1.17.1 (B)</td> <td>28</td> </tr> <tr> <td>1</td> <td>AMENITY</td> <td>SO M/PERSON</td> <td>60</td> </tr> <tr> <td>2</td> <td>RESIDENTIAL</td> <td>3.1.17.1 (B)</td> <td>96</td> </tr> <tr> <td>3</td> <td>RESIDENTIAL</td> <td>3.1.17.1 (B)</td> <td>74</td> </tr> <tr> <td>3</td> <td>AMENITY</td> <td>SO M/PERSON</td> <td>60</td> </tr> <tr> <td>4</td> <td>RESIDENTIAL</td> <td>3.1.17.1 (B)</td> <td>80</td> </tr> <tr> <td>5</td> <td>RESIDENTIAL</td> <td>3.1.17.1 (B)</td> <td>80</td> </tr> <tr> <td>6</td> <td>RESIDENTIAL</td> <td>3.1.17.1 (B)</td> <td>74</td> </tr> <tr> <td>7</td> <td>RESIDENTIAL</td> <td>3.1.17.1 (B)</td> <td>76</td> </tr> </tbody> </table>		Floor Level / Area	Occupancy Type	Based On	Occupant Load (Persons)	1	RESIDENTIAL	3.1.17.1 (B)	28	1	AMENITY	SO M/PERSON	60	2	RESIDENTIAL	3.1.17.1 (B)	96	3	RESIDENTIAL	3.1.17.1 (B)	74	3	AMENITY	SO M/PERSON	60	4	RESIDENTIAL	3.1.17.1 (B)	80	5	RESIDENTIAL	3.1.17.1 (B)	80	6	RESIDENTIAL	3.1.17.1 (B)	74	7	RESIDENTIAL	3.1.17.1 (B)	76	3.1.17.
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7	RESIDENTIAL	3.1.17.1 (B)	76																																									
3.19	Barrier-Free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: UNIVERSAL WASHROOM PROPOSED AT FLOOR 1 & BARRIER FREE RESIDENTIAL UNITS.		3.8																																								
3.20	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2 & 3.3.1.19.																																								
3.21	Required Fire Resistance Rating:	<table border="1"> <thead> <tr> <th>Horizontal Assembly</th> <th>Rating (H)</th> <th>Supporting Assembly(H)</th> <th>Noncombustible in lieu of rating?</th> </tr> </thead> <tbody> <tr> <td>Floors over basement</td> <td>2</td> <td>2</td> <td><input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A</td> </tr> <tr> <td>All Floors</td> <td>2</td> <td>2</td> <td><input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td> </tr> <tr> <td>Mezzanin (via)</td> <td>N/A</td> <td>N/A</td> <td><input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td> </tr> <tr> <td>Roof, not occupied</td> <td>N/A</td> <td>N/A</td> <td><input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A</td> </tr> </tbody> </table>		Horizontal Assembly	Rating (H)	Supporting Assembly(H)	Noncombustible in lieu of rating?	Floors over basement	2	2	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A	All Floors	2	2	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	Mezzanin (via)	N/A	N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	Roof, not occupied	N/A	N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	3.2.2.20-83 & 3.2.1.4																				
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#	DATE	ISSUED FOR SPA RE-SUBMISSION DESCRIPTION	AYU	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU	

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
OBC MATRIX

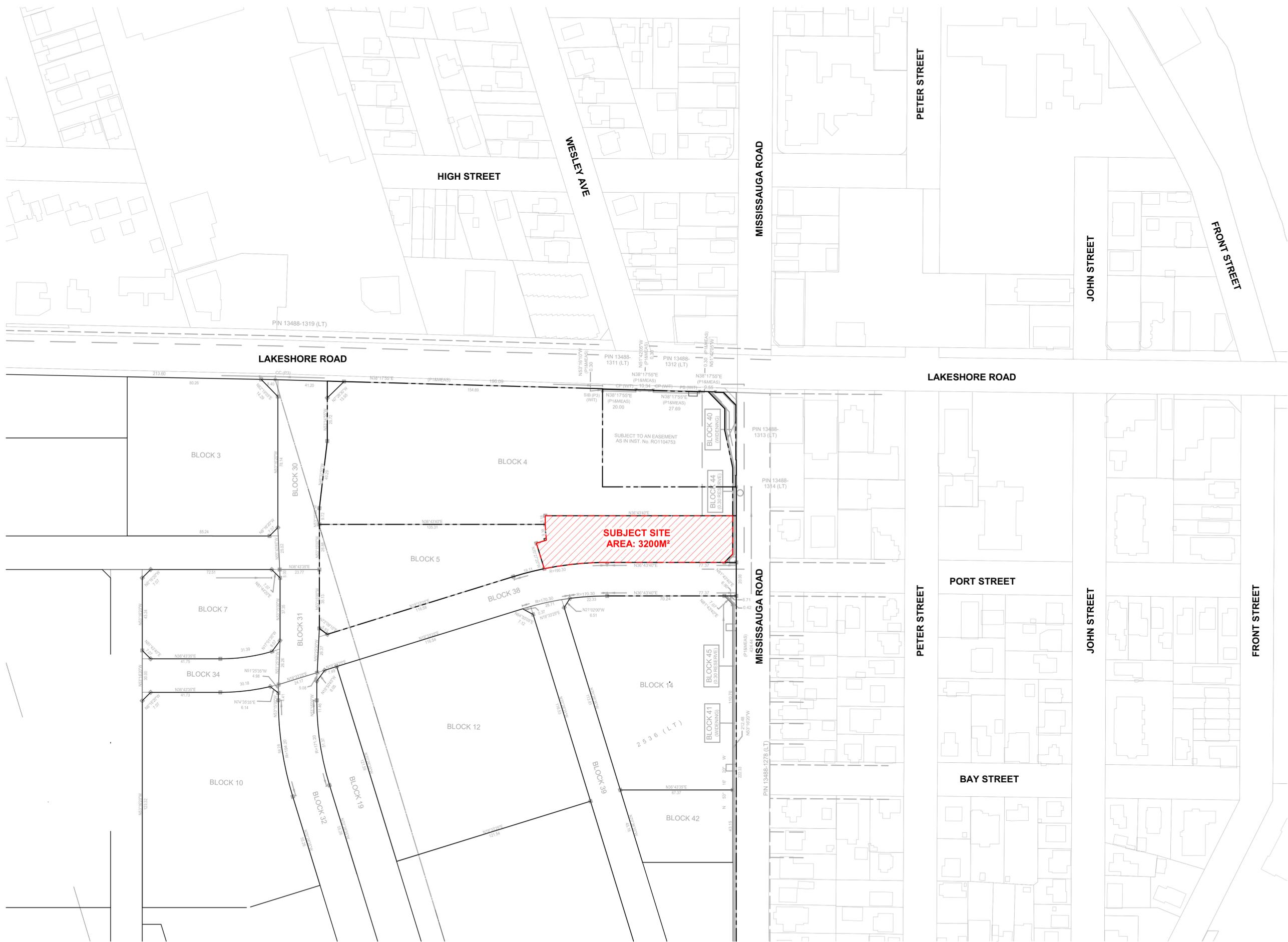
PROJECT NO.	17.110CS
PROJECT DATE	2021-10-29
DRAWN BY	SKA
CHECKED BY	AYU
SCALE	1 : 1



DRAWING NO. **SPA001C** REV. **2**

This drawing, as an instrument of service, is provided to and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damage resulting from his work.

PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



#	DATE	DESCRIPTION	BY
3	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
CONTEXT PLAN

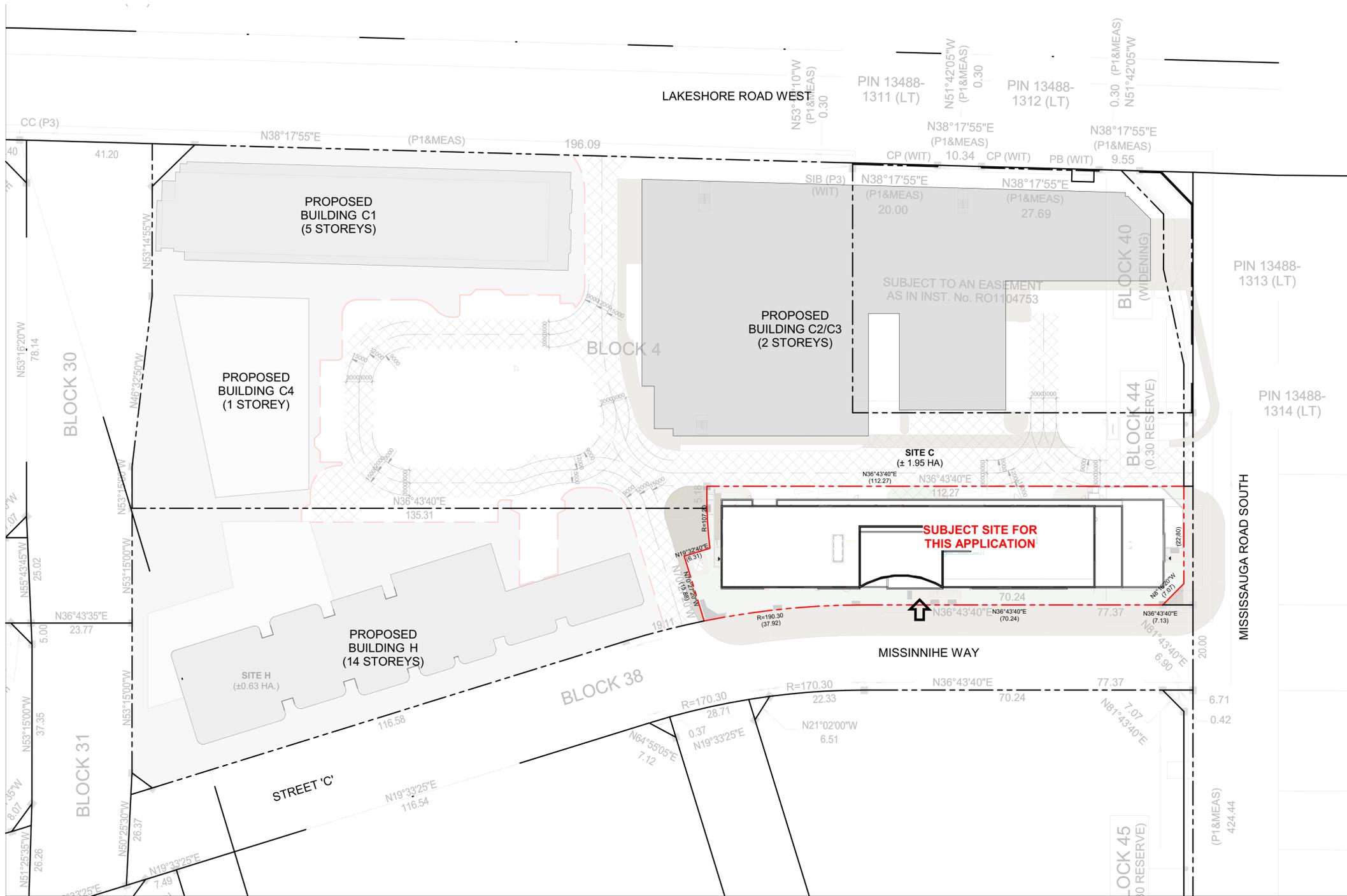
PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
SKA
CHECKED BY
AYU
SCALE
1 : 1000



DRAWING NO. **SPA004** REV. **2**

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSINNIHE WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEELE



GENERAL SITE PLAN NOTES

- I HEREBY CERTIFY THAT THIS DRAWING CONFIRMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS (SP 18-149 W4).
- THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.
- ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.
- ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM VIEW BY THE APPLICANT.
- PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN, INSTALLED AT THE APPLICANTS EXPENSE, IN ACCORDANCE WITH THE BY-LAW REQUIREMENTS AND BUILDING CODE REQUIREMENTS



- THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTIONS.
- GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
- ALL DAMAGED AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.
- SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.
- ANY FENCING ADJACENT TO MUNICIPAL LANDS IS TO BE LOCATED 15 cm (6.0 in.) INSIDE THE PROPERTY LINE.
- ONLY "SHIELDED LIGHTING FIXTURES" ARE PERMITTED FOR ALL DEVELOPMENT, EXCEPT FOR DETACHED AND SEMI-DETACHED DWELLINGS WITHIN 60M (196.8FT) OF A RESIDENTIALLY ZONED PROPERTY AND MUST CONFORM TO THE ENGINEER CERTIFIED LIGHTING PLAN.
- THE ENGINEER CERTIFIED LIGHTING PLAN MUST BE SIGNED BY THE CONSULTING ENGINEER.
- THE OWNER COVENANTS AND AGREES TO CONSTRUCT AND INSTALL "SHIELDED" LIGHTING FIXTURES ON THE SUBJECT LANDS, IN CONFORMITY WITH THE SITE PLAN AND ENGINEER CERTIFIED LIGHTING PLAN TO THE SATISFACTION OF THE CITY OF MISSISSAUGA.

- WHERE PLANTING IS TO BE LOCATED IN LANDSCAPED AREAS ON TOP OF AN UNDERGROUND PARKING STRUCTURE, IT IS THE RESPONSIBILITY OF THE APPLICANT TO ARRANGE THE COORDINATION OF THE DESIGN OF THE UNDERGROUND PARKING STRUCTURE WITH THE LANDSCAPE ARCHITECT AND THE CONSULTING ENGINEERING.

UNDERGROUND PARKING STRUCTURES WITH LANDSCAPING AREA TO BE CAPABLE OF SUPPORTING THE FOLLOWING LOADS:-

15 CM OF DRAINAGE GRAVEL PLUS 40 CM TOPSOIL FOR SOD-
15 CM OF DRAINAGE GRAVEL PLUS 60 CM TOPSOIL FOR SHRUBS-
15 CM OF DRAINAGE GRAVEL PLUS 90 CM FOR TREES

OR- PREFABRICATED SHEET DRAIN SYSTEM
* WITH A COMPRESSIVE STRENGTH OF 1003 KPA PLUS 40 CM TOPSOIL FOR SOD- PREFABRICATED SHEET DRAIN SYSTEM
* WITH A COMPRESSIVE STRENGTH OF 1003 KPA PLUS 60 CM TOPSOIL FOR SHRUBS- PREFABRICATED SHEET DRAIN SYSTEM
* WITH A COMPRESSIVE STRENGTH OF 1003 KPA PLUS 90 CM TOPSOIL FOR TREES
*TERRADRAIN 900 OR APPROVED EQUAL.

- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6M IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
- CONTINUOUS 15CM HIGH BARRIER FREE TYPE POURED CONCRETE CURBING WILL BE PROVIDED BETWEEN ALL ASPHALT AND LANDSCAPED AREAS THROUGHOUT THE SITE.
- ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE SITE AND WITHIN THE LIMITED OF THE CITY BOULEVARD AREA.

ACOUSTIC WARNING CLAUSES

PURCHASERS/TENANTS ARE ADVISED THAT DESPITE THE INCLUSION OF NOISE CONTROL FEATURES IN THE DEVELOPMENT AND WITHIN BUILDING UNITS, SOUND LEVELS DUE TO INCREASING ROAD TRAFFIC MAY ON OCCASION INTERFERE WITH SOME ACTIVITIES OF THE DWELLING OCCUPANTS AS THE SOUND LEVELS EXCEED THE SOUND LEVEL LIMITS OF THE MUNICIPALITY AND THE MINISTRY OF THE ENVIRONMENT.

THIS DWELLING UNIT HAS BEEN SUPPLIED WITH A CENTRAL AIR CONDITIONING SYSTEM WHICH WILL ALLOW WINDOWS AND EXTERIOR DOORS TO REMAIN CLOSED, THEREBY ENSURING THAT THE INDOOR SOUND LEVELS ARE WITHIN THE SOUND LEVEL LIMITS OF THE MUNICIPALITY AND THE MINISTRY OF THE ENVIRONMENT.

PURCHASERS/TENANTS ARE ADVISED THAT DUE TO THE PROXIMITY OF THE GROUND FLOOR RETAIL UNITS, NOISE FROM THESE RETAIL UNITS MAY AT TIMES BE AUDIBLE.

#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSINNIHE WAY, MISSISSAUGA, ON

DRAWING
BLOCK PLAN

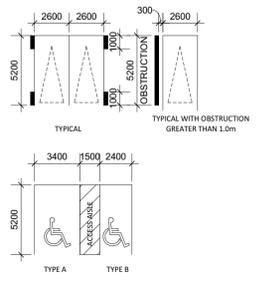
PROJECT NO: 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY AAF	
CHECKED BY AYU	
SCALE 1 : 500	
DRAWING NO. SPA005	REV. 2

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNI WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

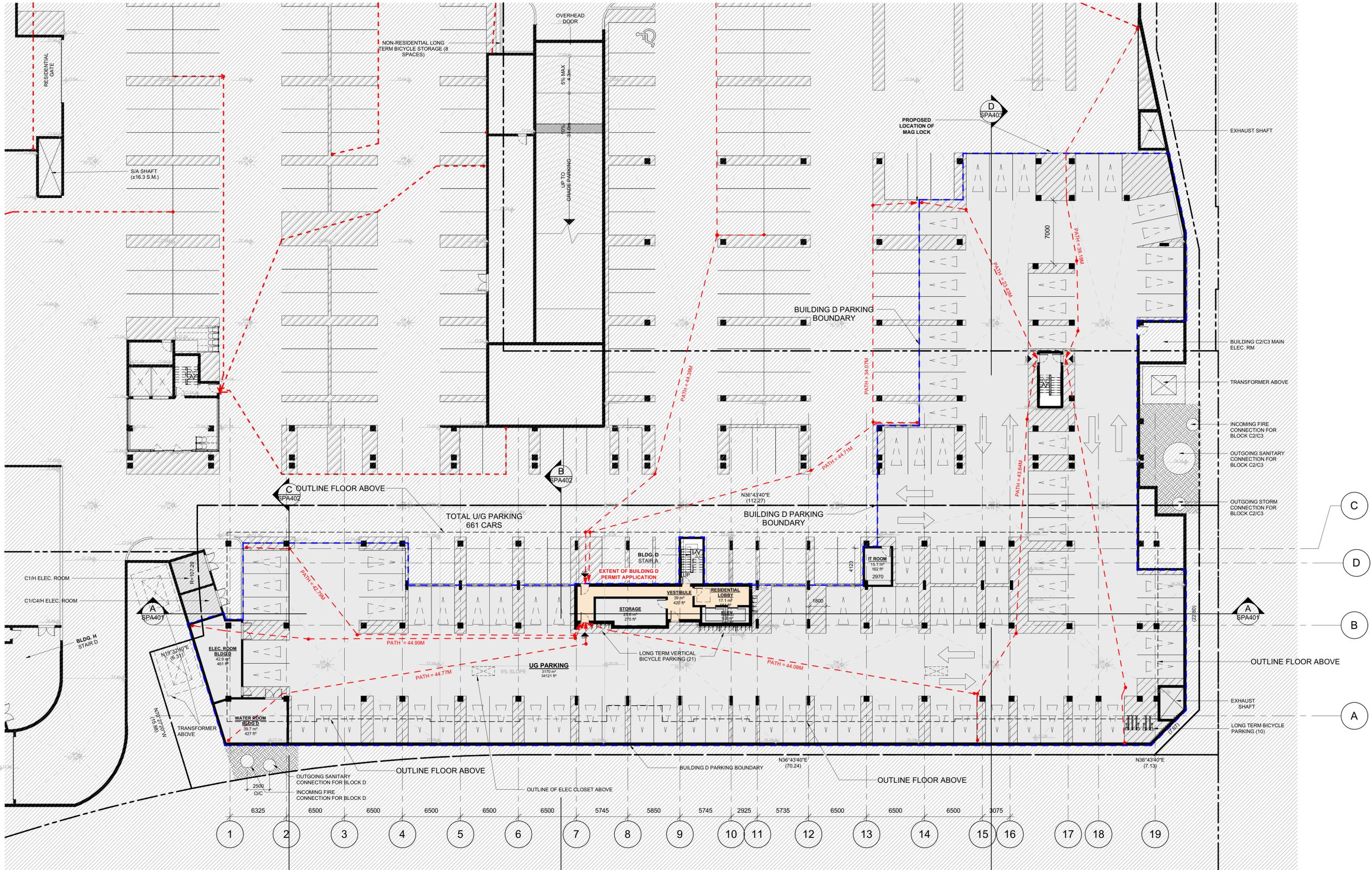
PARKING STANDARDS

AISLE WIDTH: MIN 6m
TYPICAL PARKING SIZE:
MIN 2.6 x 5.2



EXTENT OF BUILDING D PERMIT APPLICATION AT U/G LEVEL 1

*FOR U/G PARKING BEYOND EXTENT PLEASE REFER TO BRIGHTWATER PHASE ONE SUBMISSION (DRAWING A-C2-103)



2 U/G BUILDING D
SPA101 1:200

#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINNI WAY, MISSISSAUGA, ON

DRAWING
UNDERGROUND LEVEL 01

PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
AAF
CHECKED BY
AYU
SCALE
As indicated



SITE STATISTICS SUMMARY
CITY OF MISSISSAUGA BY-LAW 02/25-2007

A) ZONING HEIGHT
JONAS ELECTION ROAD R37

EXISTING	PROPOSED
HEIGHT	HEIGHT
21	27
100% ESTABLISHED (MIN. 27.75)	

B) LOT NUMBER
Block 6, Plan 430-2118

EXISTING	PROPOSED
AREA	AREA
8,204.4	14,451.6
3,171.4	13,436.2

C) LOT AREA

EXISTING	PROPOSED
AREA	AREA
8,204.4	14,451.6
3,171.4	13,436.2

H) FLOOR AREA

EXISTING	PROPOSED
AREA	AREA
13,442.4	144,092.7
13,442.4	134,908.4

I) GROSS FLOOR AREA

EXISTING	PROPOSED
AREA	AREA
13,442.4	144,092.7
13,442.4	134,908.4

J) LANDSCAPED AREA

EXISTING	PROPOSED
AREA	AREA
988.7	18,835.2
988.7	18,835.2

M) SETBACK AND LANDSCAPE BUFFER

LANDSCAPE BUFFER	PROVIDED	REQUIRED	PROVIDED
SETBACK	SETBACK	SETBACK	SETBACK
NORTH	3.00	3.00	3.00
SOUTH	3.00	3.00	3.00
EAST	3.00	0.00	3.00
WEST	3.00	0.00	3.00
SOUTH WEST	3.00	6.00	3.00
SOUTH EAST	3.00	2.58	3.00

N) PAVED AREA

PROPOSED
AREA
388.7
3,588.7

NUMBER OF UNITS
150

PARKING RATES

REQUIRED	PROVIDED
SPACES	SPACES
90	90
23	23
1	1

5-T) LOADING SPACES
1x (7' x 11.93' x 7.5M) 1x (7' x 11.93' x 7.5M)

U) SUITE SCHEDULE
Please see drawing SPA-0218

V) SUITE SIZES
Please see drawing SPA-0218

X) RELATED FILE NUMBERS

REQUIRED	PROVIDED
CLASS A	CLASS B
3.2 M2 PER UNIT	3.2 M2 PER UNIT
400.0	400.0
1,180.0	1,180.0

Y) AMENITY

REQUIRED	PROVIDED
CLASS A	CLASS B
3.2 M2 PER UNIT	3.2 M2 PER UNIT
400.0	400.0
1,180.0	1,180.0

Z) BIKE PARKING

REQUIRED (150 UNITS)	PROVIDED (150 UNITS)
CLASS A	CLASS B
60	60
90	90
15	15
TOTAL	117

NOTES

A. "ALL SURFACE DRAINAGE WILL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT."

B. "THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT."

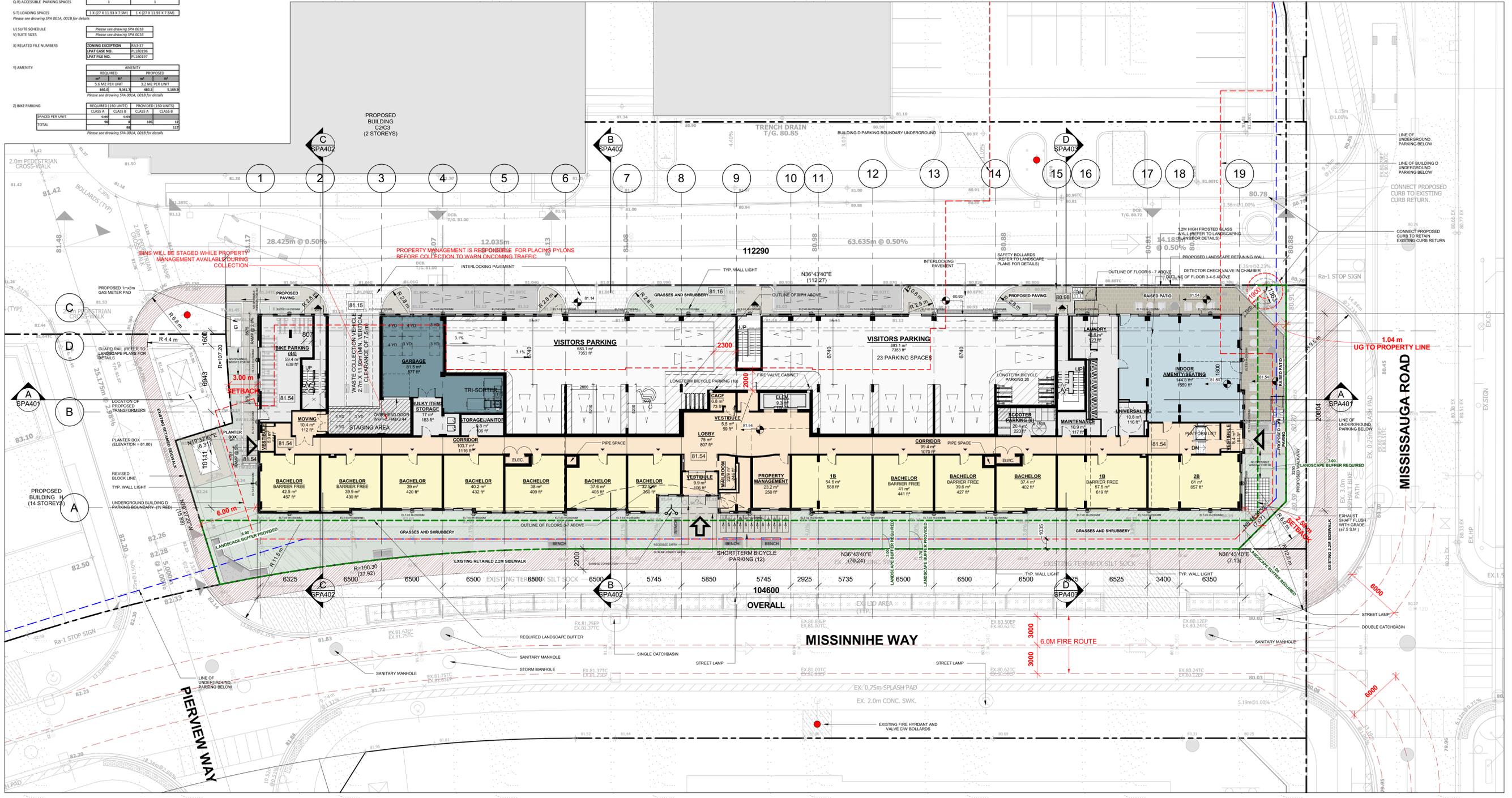
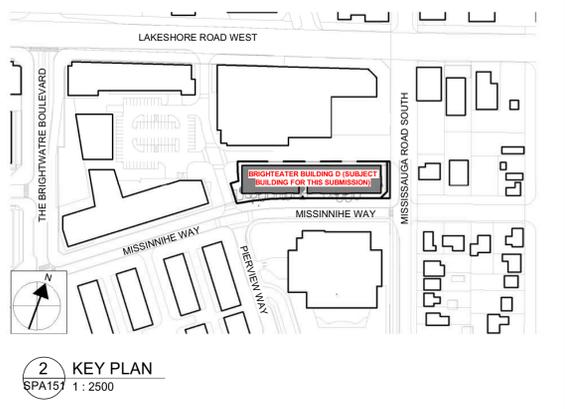
C. "AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE."

D. "ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS:
1) FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE.
2) FOR ALL OTHER PROPERTIES INCLUDING INDUSTRIAL, COMMERCIAL AND CONDOMINIUM DEVELOPMENTS, ALL ENTRANCES TO THE SITE ARE TO BE IN ACCORDANCE WITH ORSO 350.010 (SAVE AND ACCEPT DETAIL 'A' WHICH SHALL MATCH CITY OF MISSISSAUGA STANDARD 2240.031).
3) "ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE."
E. "THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED."
F. "THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT-OF-WAY."
G. "THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN."
H. "ALL INTERNAL CURBS ARE TO BE STANDARD STAGE CURB AND OUTER AS PER O.P.S. 606.070."
I. "PRIOR TO COMMENCING CONSTRUCTION, ALL REQUIRED HOARDING, IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS, MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION."
K. "SHOULD ANY WORKS BE REQUIRED WITHIN THE MUNICIPAL RIGHT-OF-WAY, A ROAD OCCUPANCY PERMIT WILL BE REQUIRED. P.U.C.C. APPROVAL WILL BE REQUIRED. FOR FURTHER INFORMATION, PLEASE CONTACT THE P.U.C.C. PERMIT TECHNOLOGIST, LOCATED AT 3185 MAVIS ROAD."
L. REFER TO THE SITE GRADING PLAN PREPARED BY LIBRANTECH (DRAWING GB-1) FOR THE PURPOSES OF OBTAINING SITE GRADING INFORMATION.
M. WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE A 10-B WEEKS NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED - THE APPLICANT IS TO INDICATE IN THEIR SUBMISSION PACKAGE FOR THE RIGHT-OF-WAY WORKS THE REAL TRIMMING FOR THESE WORKS TO BE CONSTRUCTED TO INDICATE TO THE CITY OF MISSISSAUGA BY-LAW 11086.41 AS AMENDED PRIOR TO OCCUPANCY OF THE BUILDINGS.
N. FIRE ROUTE WILL BE DESIGNATED AS PER CITY OF MISSISSAUGA BY-LAW 11086.41 AS AMENDED PRIOR TO OCCUPANCY OF THE BUILDINGS.
O. THE ARCHITECTURAL CONSULTANT SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE AS CONSTRUCTED BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.
P. THE ACoustical CONSULTANT SHALL CERTIFY TO THE PLANNING AND BUILDING DEPARTMENT THAT THE AS CONSTRUCTED SITE FEATURES FOR NOISE CONTROL INCLUDING, BUT NOT LIMITED TO NOISE WALLS AND BARRIERS, THE AS CONSTRUCTED BUILDINGS, MECHANICAL EQUIPMENT AND VENTILATION SYSTEMS FOR THE BUILDINGS ON SITE AND THE SITE STATIONARY NOISE SOURCES ARE IN COMPLIANCE WITH THE DETAILED NOISE REPORT AS PREPARED FOR THE PARTICULAR BUILDING AND IN COMPLIANCE WITH THE MINISTRY OF THE ENVIRONMENT, CONSERVATION AND PARKS (M.E.C.P.) TRANSPORTATION AND STATIONARY NOISE SOURCES. THE ACoustical CONSULTANT SHALL ALSO CERTIFY TO THE PLANNING AND BUILDING DEPARTMENT THAT THE INDOOR NOISE LEVELS AND NOISE LEVELS FOR OUTDOOR LIVING AREAS RESULT FROM ALL TRANSPORTATION NOISE SOURCES WILL MEET REGIONAL GUIDELINE CONDITIONS BASED ON OUTSIDE SOUND ENERGY EXPOSURES OUTLINED IN THE DETAILED NOISE REPORT FOR THE SUBJECT BUILDING.

- LEGEND - ARCHITECTURAL**
- ↑ PRIMARY/ PRINCIPAL RESIDENTIAL ENTRANCE
 - △ SECONDARY RESIDENTIAL ENTRANCE
 - EXIT
 - ARCHITECTURAL LIGHTING
 - SIAMENSE CONNECTION
 - CONVEX MIRROR
 - TRANSFORMER WITH CLEARANCES
 - FIRE ROUTE SIGN
 - STREET LAMP

- LEGEND - SERVICES**
- FH FIRE HYDRANT
 - STORM SEWER AND MANHOLE
 - SANITARY SEWER AND MANHOLE
 - SINGLE /REARLOT CATCHBASIN
 - DOUBLE CATCHBASIN
 - ⊗ EXISTING VALVE AND BOX
 - ⊙ GAS/HYDRO METER
 - 81.30 PROPOSED ELEVATION
 - 81.70TC TOP OF CURB ELEVATION

- LEGEND - SURFACING**
- EXISTING WALKWAY
 - PROPOSED PAVING/WALKWAY
 - DRIVEWAY
 - RAISED PATIO
 - GRASSES AND SHRUBBERY
 - REQUIRED LANDSCAPE BUFFER (ACCORDING TO SCHEDULE RA-37)

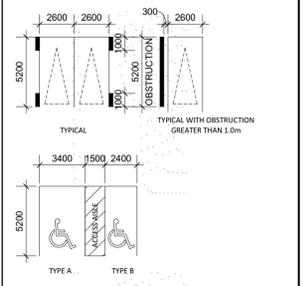


TURNER FLEISCHER
Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M3B 2T8
T: 416.423.2222
turnerfleischer.com

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PROJECT NUMBER: SP-21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSAUGA ROAD
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEELE

PARKING STANDARDS
AISLE WIDTH: MIN 6m
TYPICAL PARKING SIZE: MIN 2.6 x 5.2



FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSAUGA ROAD, MISSISSAUGA, ON

DRAWING
FLOOR 01 / SITE PLAN

PROJECT NO: 17.110CS
PROJECT DATE: 2021-10-29
DRAWN BY: AAF
CHECKED BY: AYU
SCALE: As indicated

ONTARIO ASSOCIATION OF ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE 5004

DRAWING NO: SPA151
REV: 2

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

NOTE: THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.

2	2022-04-22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021-10-29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
FLOOR 02/03

PROJECT NO.	17.110CS
PROJECT DATE	2021-10-29
DRAWN BY	AAF
CHECKED BY	AYU
SCALE	1 : 200



DRAWING NO.	SPA152	REV.	2
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1 FLOOR 02
SPA152 1 : 200



2 FLOOR 03
SPA152 1 : 200

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
**BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING**
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
FLOOR 04/05

PROJECT NO:
17.110CS
PROJECT DATE:
2021-10-29
DRAWN BY:
AAF
CHECKED BY:
AYU
SCALE:
1 : 200



DRAWING NO. **SPA153** REV. **2**



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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
FLOOR 06/07

PROJECT NO.	17.110CS
PROJECT DATE	2021-10-29
DRAWN BY	AAF
CHECKED BY	AYU
SCALE	1 : 200



DRAWING NO.	SPA154	REV.	2
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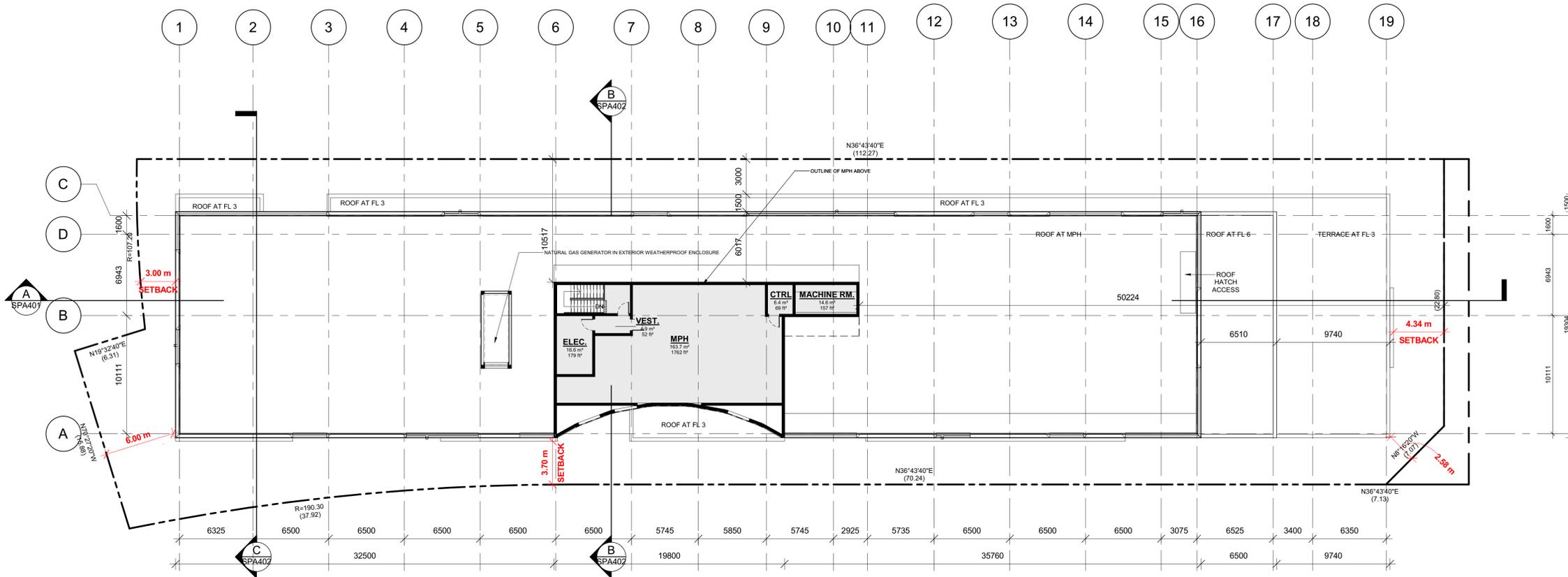
1 FLOOR 06
SPA154 1 : 200



2 FLOOR 07
SPA154 1 : 200

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI



1 MPH
SPA158 1: 200

#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
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ON, L5G 1E8

PROJECT
**BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING**
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
MPH

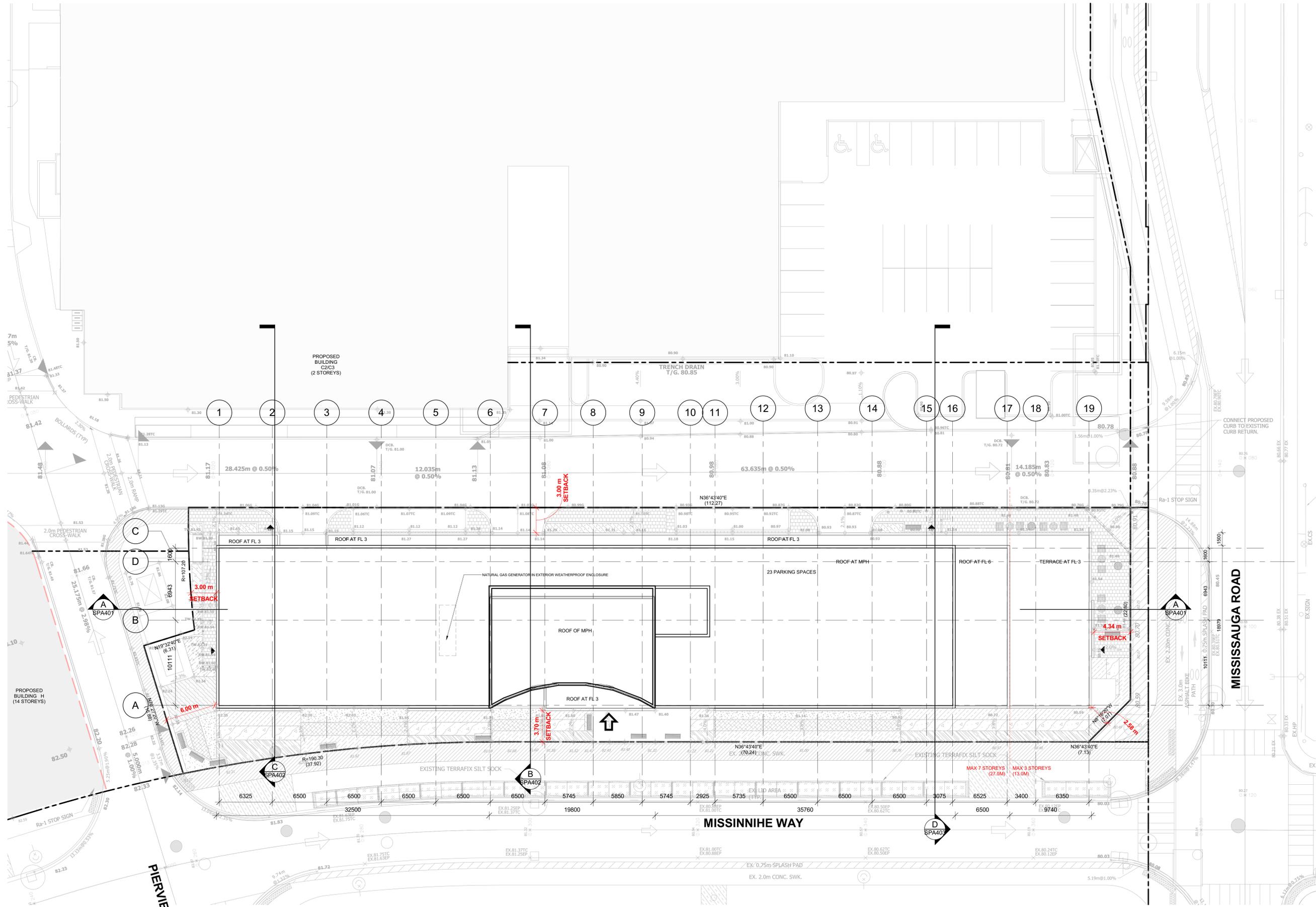
PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
AAF
CHECKED BY
AYU
SCALE
1 : 200



DRAWING NO. **SPA158** REV. **2**

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSINNIHE WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI



#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSINNIHE WAY, MISSISSAUGA, ON

DRAWING
ROOF PLAN

PROJECT NO.	17.110CS
PROJECT DATE	2021-10-29
DRAWN BY	AAF
CHECKED BY	AYU
SCALE	1 : 200



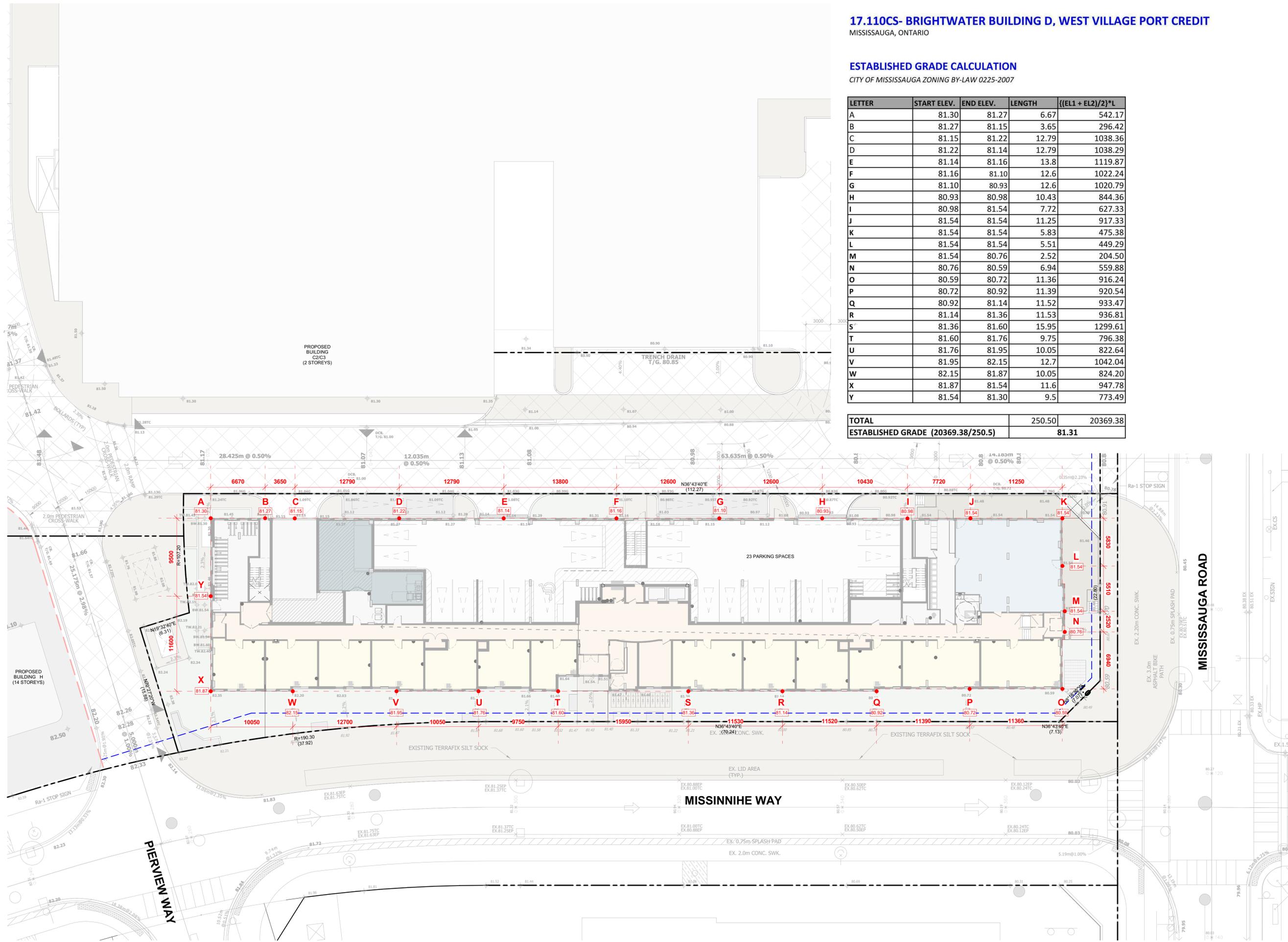
DRAWING NO. **SPA159** REV. **2**

17.110CS- BRIGHTWATER BUILDING D, WEST VILLAGE PORT CREDIT MISSISSAUGA, ONTARIO

ESTABLISHED GRADE CALCULATION
CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007

LETTER	START ELEV.	END ELEV.	LENGTH	$((E1 + E2)/2) * L$
A	81.30	81.27	6.67	542.17
B	81.27	81.15	3.65	296.42
C	81.15	81.22	12.79	1038.36
D	81.22	81.14	12.79	1038.29
E	81.14	81.16	13.8	1119.87
F	81.16	81.10	12.6	1022.24
G	81.10	80.93	12.6	1020.79
H	80.93	80.98	10.43	844.36
I	80.98	81.54	7.72	627.33
J	81.54	81.54	11.25	917.33
K	81.54	81.54	5.83	475.38
L	81.54	81.54	5.51	449.29
M	81.54	80.76	2.52	204.50
N	80.76	80.59	6.94	559.88
O	80.59	80.72	11.36	916.24
P	80.72	80.92	11.39	920.54
Q	80.92	81.14	11.52	933.47
R	81.14	81.36	11.53	936.81
S	81.36	81.60	15.95	1299.61
T	81.60	81.76	9.75	796.38
U	81.76	81.95	10.05	822.64
V	81.95	82.15	12.7	1042.04
W	82.15	81.87	10.05	824.20
X	81.87	81.54	11.6	947.78
Y	81.54	81.30	9.5	773.49

TOTAL	250.50	20369.38
ESTABLISHED GRADE (20369.38/250.5)	81.31	



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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEELE

#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
**BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING**
200 MISSINNIH WAY, MISSISSAUGA, ON

DRAWING
ESTABLISHED GRADE CALCULATION

PROJECT NO:
17.110CS
PROJECT DATE:
2021-10-29
DRAWN BY:
SKA
CHECKED BY:
AYU
SCALE:
1 : 200



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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINIE WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

NOTE: THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.

EXTERIOR FINISHES LEGEND

1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
3B	PRECAST CONCRETE PANEL - CHARCOAL GREY
4A	CORRUGATED METAL CLADDING - LIGHT GREY
4B	CORRUGATED METAL CLADDING - DARK GREY
5	ALUMINIUM MULLION - DARK GREY
6	SPANDREL GLASS PANEL - GREY
7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY



1 SOUTH ELEVATION
SPA307 1 : 200

2	2020-04-22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021-10-29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINIE WAY, MISSISSAUGA, ON

DRAWING
SOUTH ELEVATION

PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
AAF
CHECKED BY
AYU
SCALE
1 : 200



DRAWING NO. SPA301 REV. 2

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

NOTE: THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.

EXTERIOR FINISHES LEGEND

1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
3B	PRECAST CONCRETE PANEL - CHARCOAL GREY
4A	CORRUGATED METAL CLADDING - LIGHT GREY
4B	CORRUGATED METAL CLADDING - DARK GREY
5	ALUMINIUM MULLION - DARK GREY
6	SPANDREL GLASS PANEL - GREY
7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY



1 NORTH ELEVATION
SPA302 1:200

2	2020/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
NORTH ELEVATION

PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
AAF
CHECKED BY
AYU
SCALE
1:200



DRAWING NO. SPA302 REV. 2

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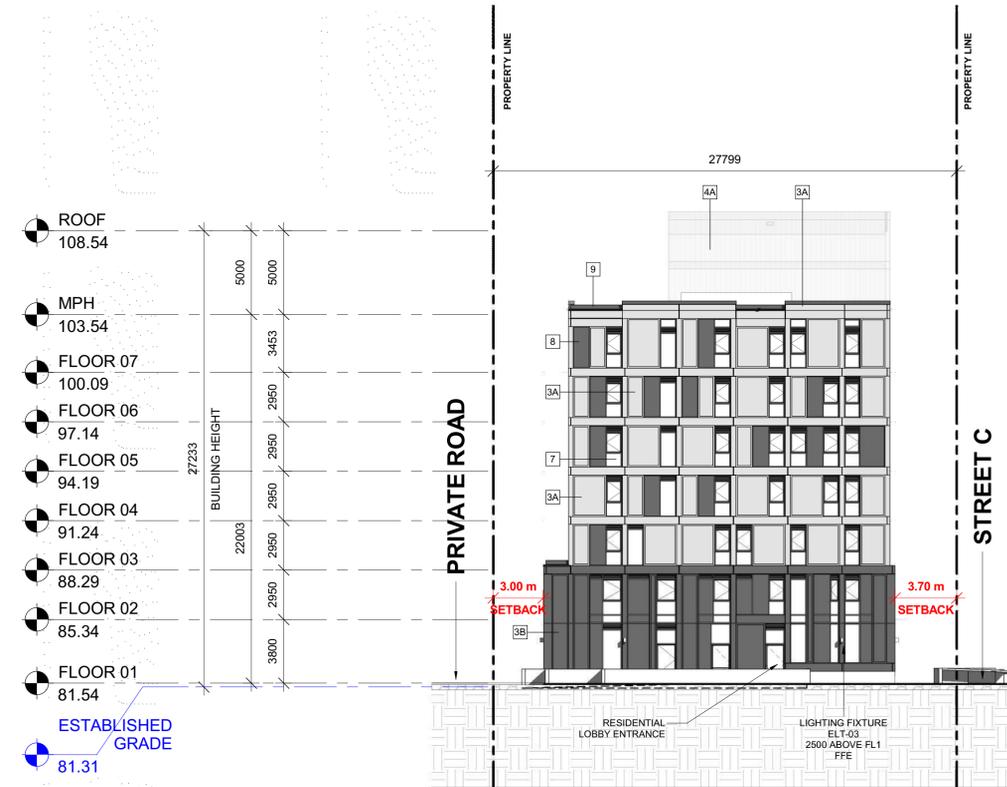
PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINIE WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

NOTE: THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.

EXTERIOR FINISHES LEGEND	
1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
3B	PRECAST CONCRETE PANEL - CHARCOAL GREY
4A	CORRUGATED METAL CLADDING - LIGHT GREY
4B	CORRUGATED METAL CLADDING - DARK GREY
5	ALUMINIUM MULLION - DARK GREY
6	SPANDREL GLASS PANEL - GREY
7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY



1 EAST ELEVATION
SPA303 1:200



2 WEST ELEVATION
SPA303 1:200

#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINIE WAY, MISSISSAUGA, ON

DRAWING
EAST AND WEST ELEVATIONS

PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
AAF
CHECKED BY
AYU
SCALE
1:200

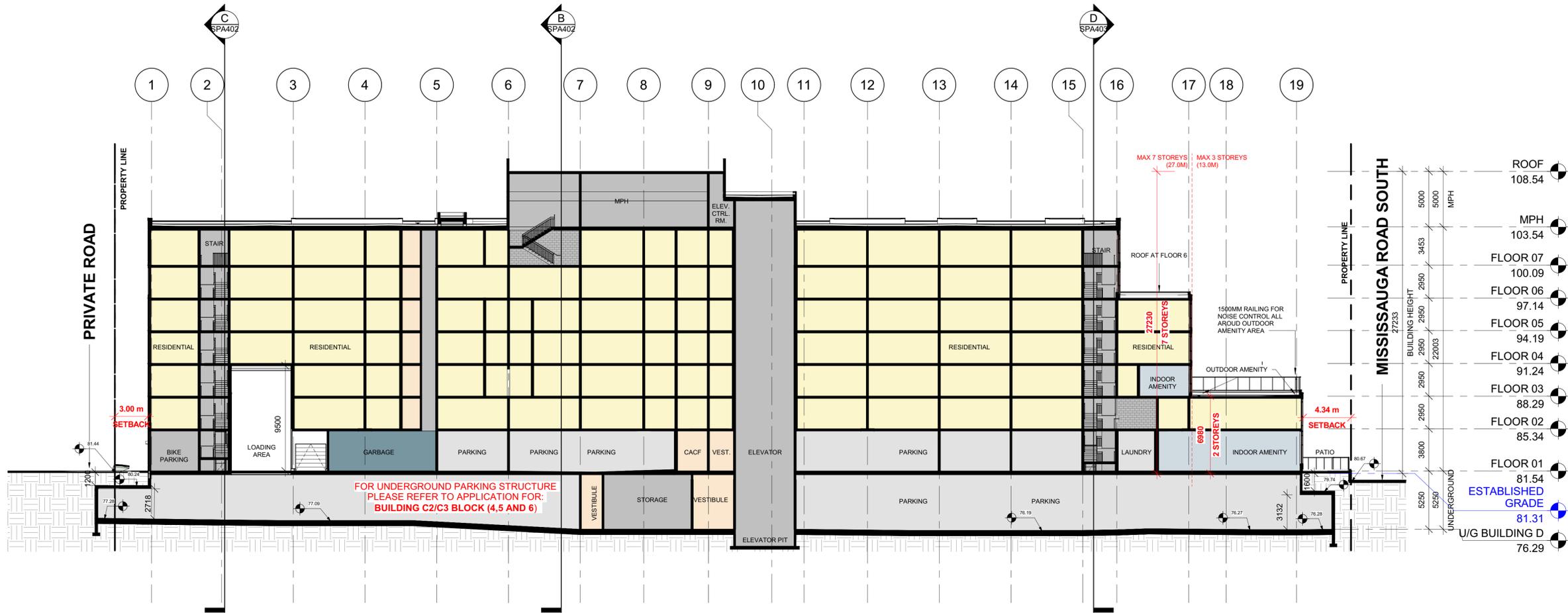


DRAWING NO.	REV.
SPA303	2

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

NOTE: THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.



A BUILDING SECTION A
SPA401 1:200

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
BUILDING SECTIONS

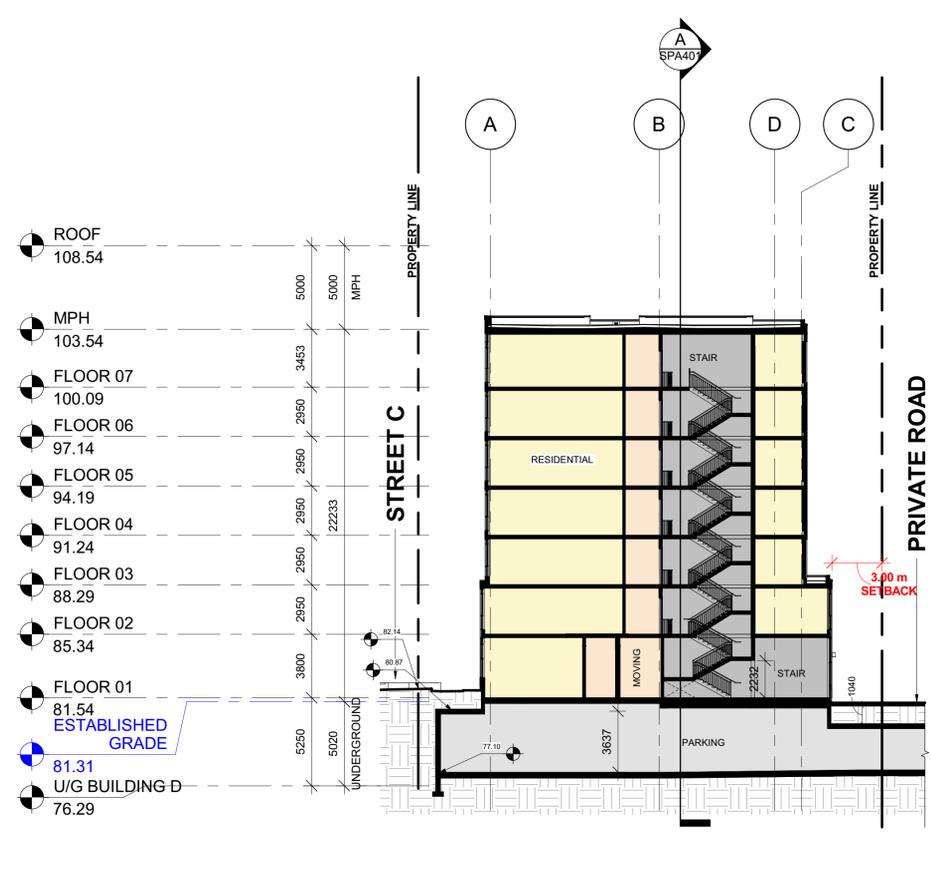
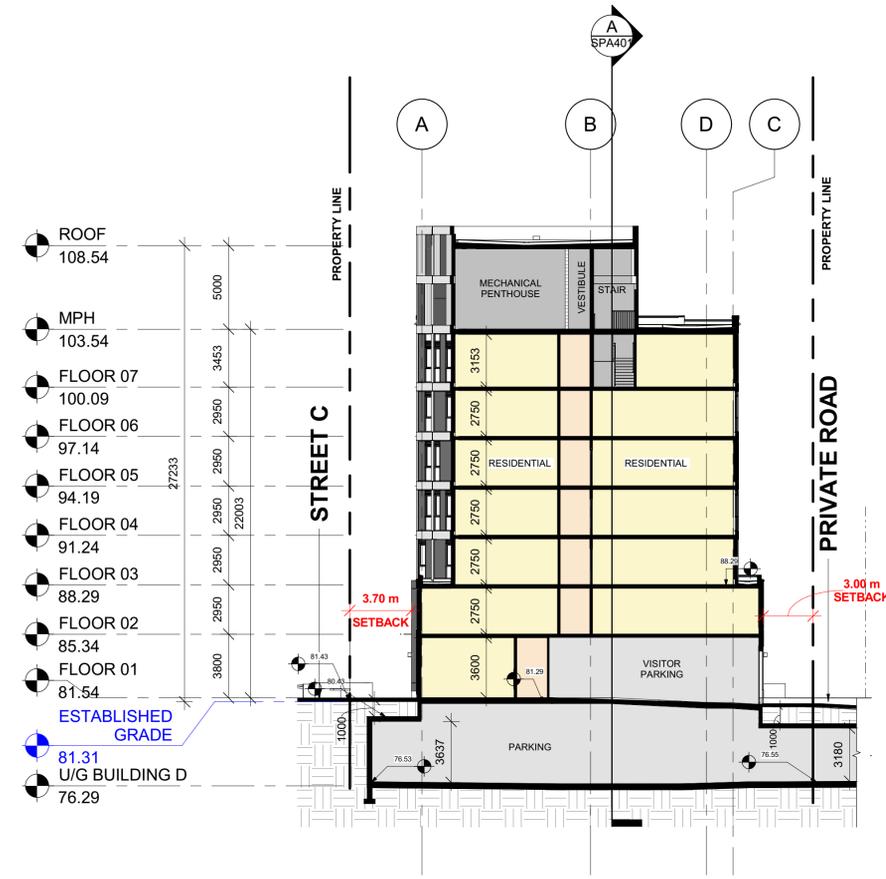
PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
AAF
CHECKED BY
AYU
SCALE
1:200



DRAWING NO. **SPA401** REV. **2**

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PROJECT NUMBER: SP 21-187 W1
 MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
 PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



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1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
 141 Lakeshore Road East,
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 ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
 200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
BUILDING SECTIONS

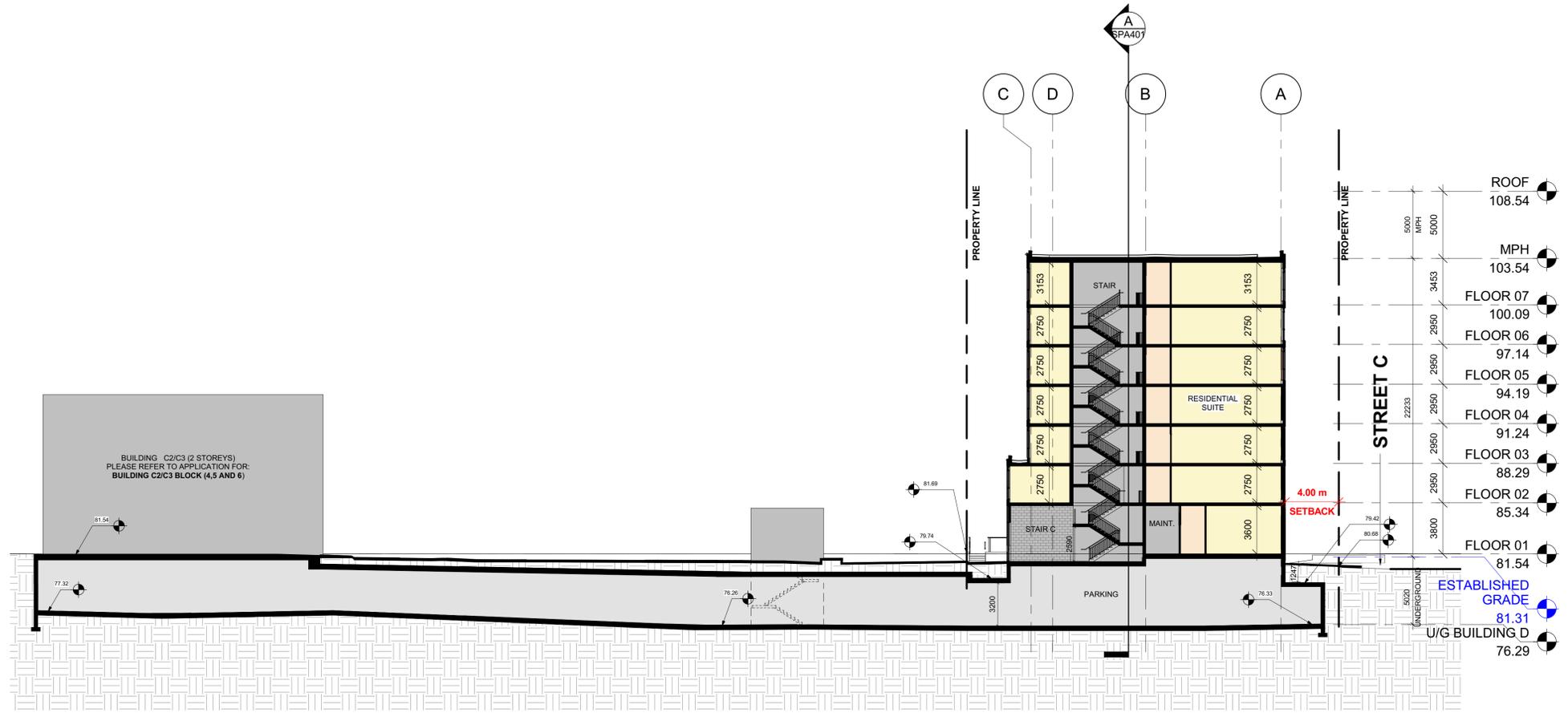
PROJECT NO.
17.110CS
 PROJECT DATE
2021-10-29
 DRAWN BY
SKA
 CHECKED BY
AAF
 SCALE
1 : 200



DRAWING NO.	REV.
SPA402	2

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



D BUILDING SECTION D
SPA403 1 : 200

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.
141 Lakeshore Road East,
Mississauga,
ON, L5G 1E8

PROJECT
**BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING**
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
BUILDING SECTIONS

PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
SKA
CHECKED BY
AYU
SCALE
1 : 200



DRAWING NO. **SPA403** REV. **2**

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PROJECT NUMBER: SP 21-187 W1
 MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
 PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

EXTERIOR FINISHES LEGEND	
1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
3B	PRECAST CONCRETE PANEL - CHARCOAL GREY
4A	CORRUGATED METAL CLADDING - LIGHT GREY
4B	CORRUGATED METAL CLADDING - DARK GREY
5	ALUMINIUM MULLION - DARK GREY
6	SPANDREL GLASS PANEL - GREY
7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY

#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
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 ON, L5G 1E8

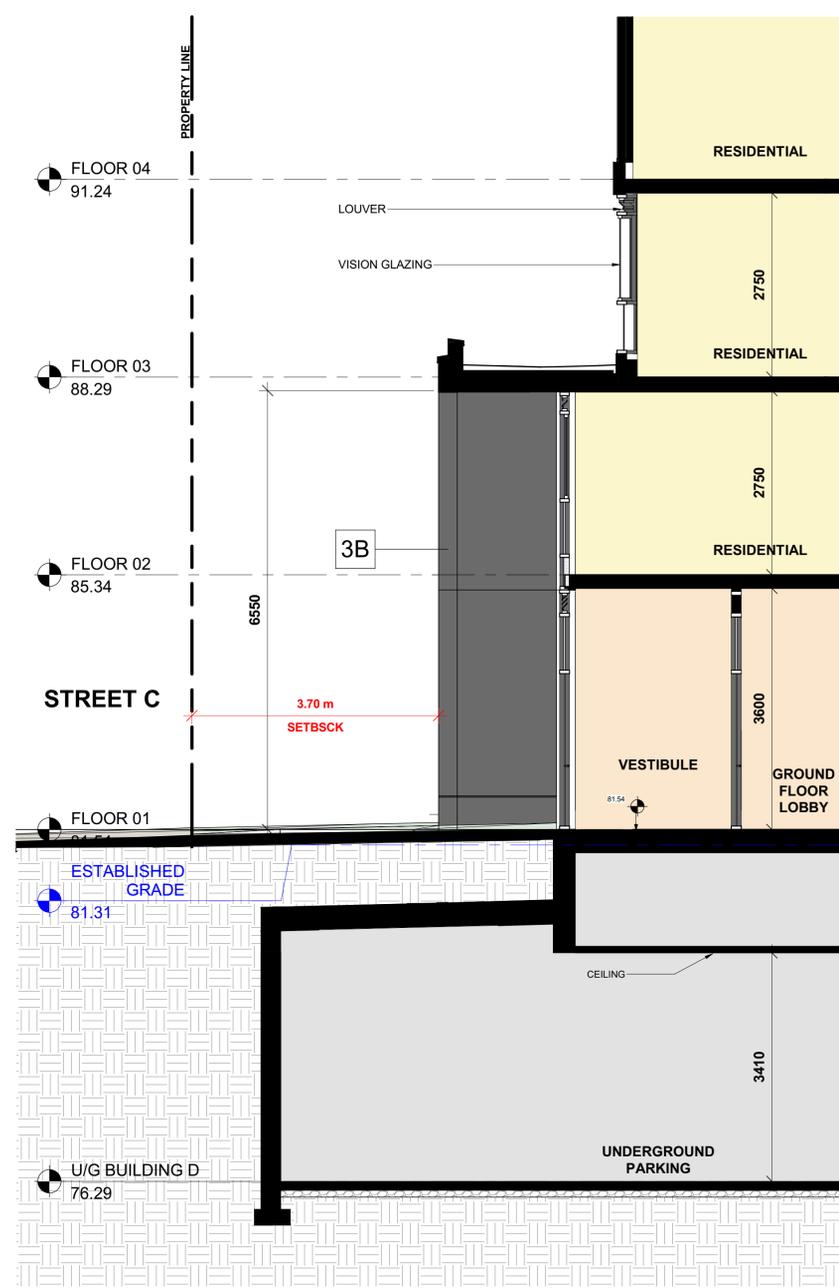
PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
 200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
1/50 SECTIONS

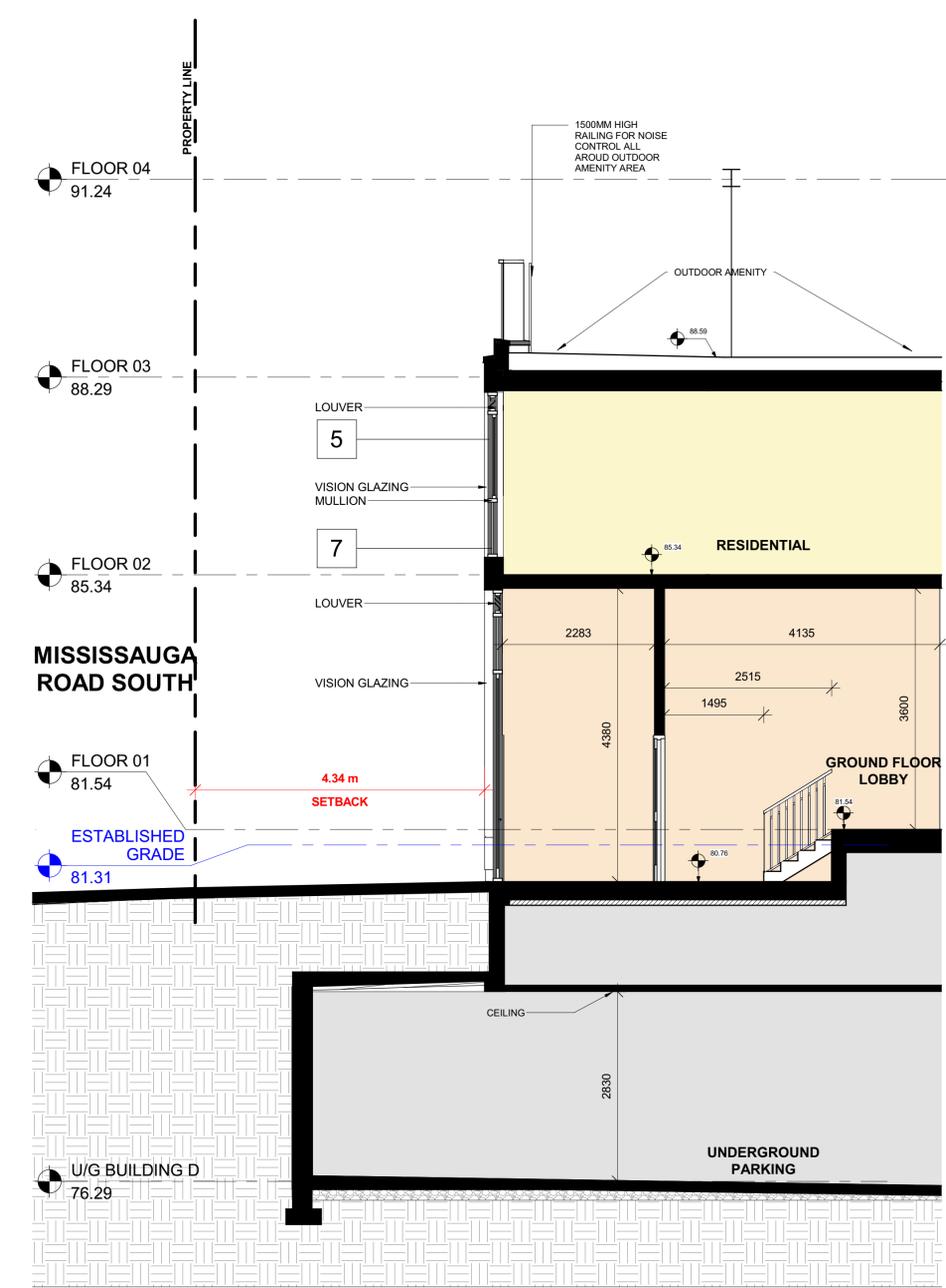
PROJECT NO.	17.110CS
PROJECT DATE	2021-10-29
DRAWN BY	JMS
CHECKED BY	AAF
SCALE	As indicated



DRAWING NO.	SPA404	REV.	2
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1 MAIN ENTRANCE
 SPA404 1:50

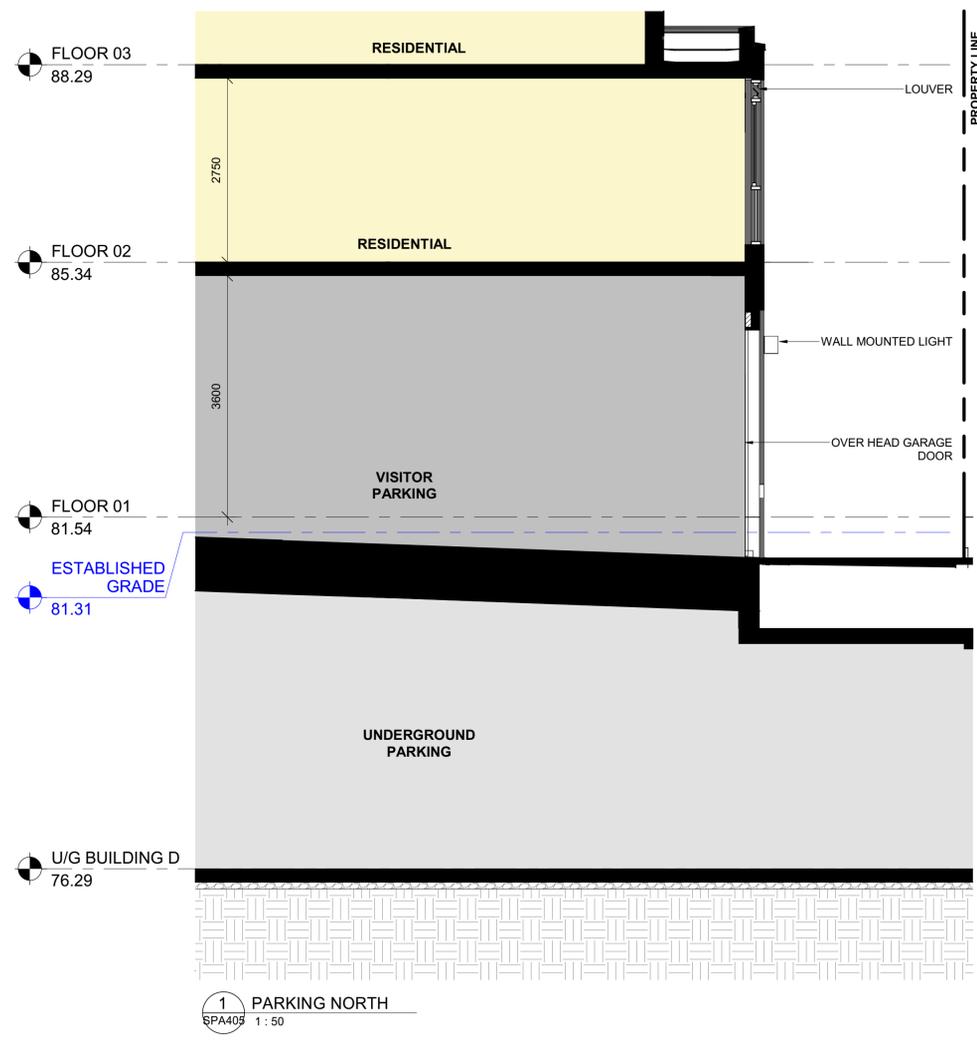
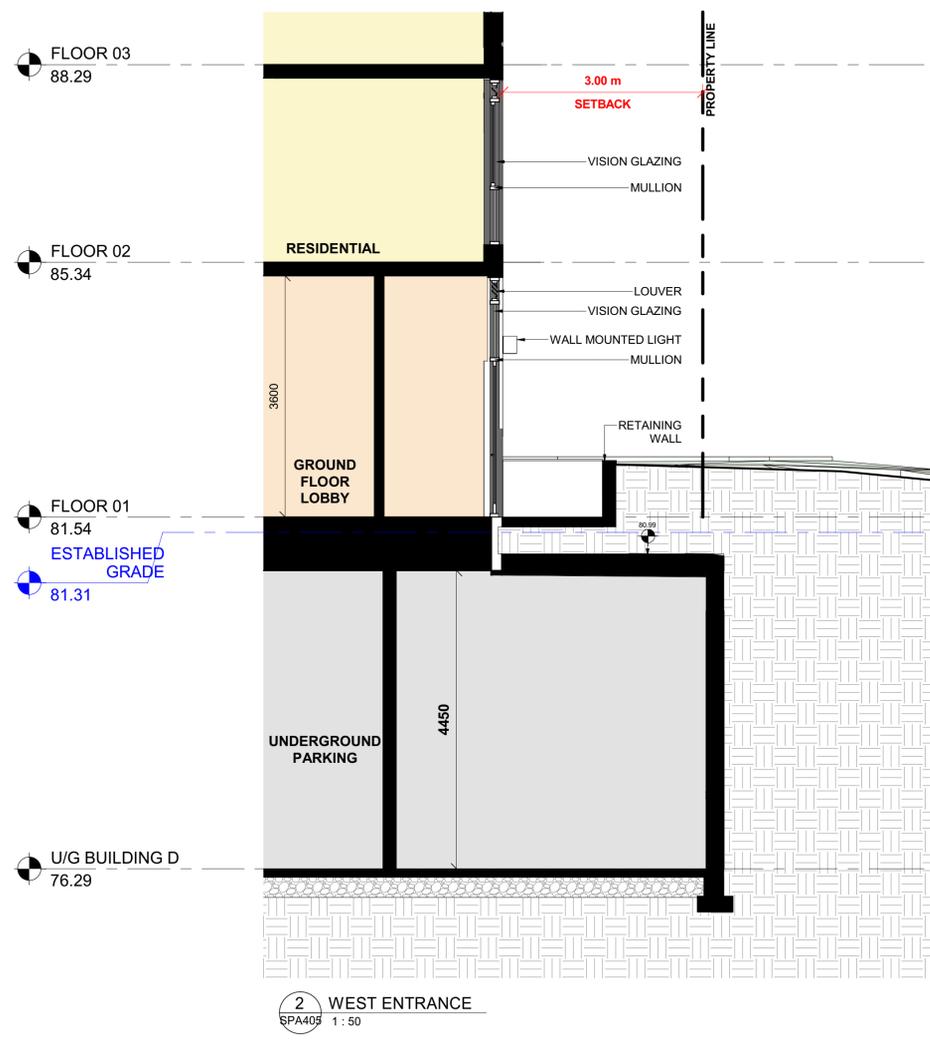


2 EAST ENTRANCE
 SPA404 1:50

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PROJECT NUMBER: SP 21-187 W1
 MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
 PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEI

EXTERIOR FINISHES LEGEND	
1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
3B	PRECAST CONCRETE PANEL - CHARCOAL GREY
4A	CORRUGATED METAL CLADDING - LIGHT GREY
4B	CORRUGATED METAL CLADDING - DARK GREY
5	ALUMINIUM MULLION - DARK GREY
6	SPANDREL GLASS PANEL - GREY
7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY



#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
 141 Lakeshore Road East,
 Mississauga,
 ON, L5G 1E8

PROJECT
**BRIGHTWATER BUILDING D
 PROPOSED RESIDENTIAL BUILDING**
 200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
1/50 SECTIONS

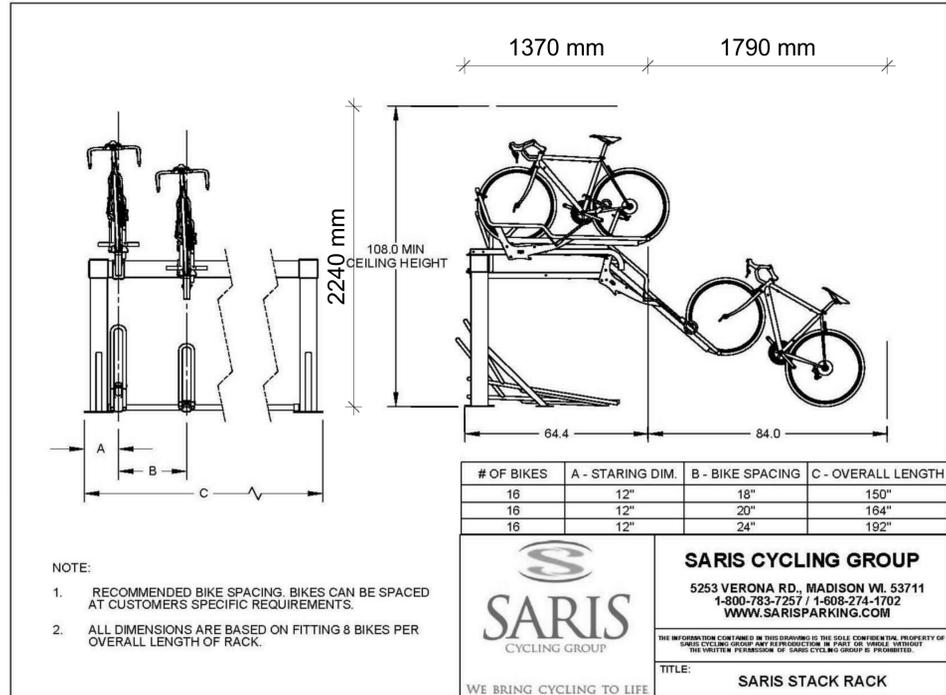
PROJECT NO.
17.110CS
 PROJECT DATE
2021-10-29
 DRAWN BY
JMS
 CHECKED BY
AAF
 SCALE
As indicated



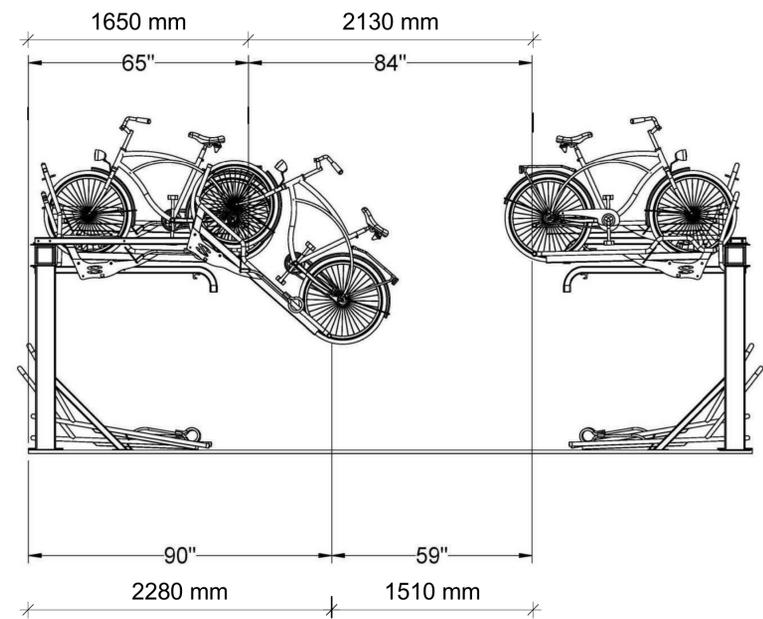
DRAWING NO.	REV.
SPA405	2

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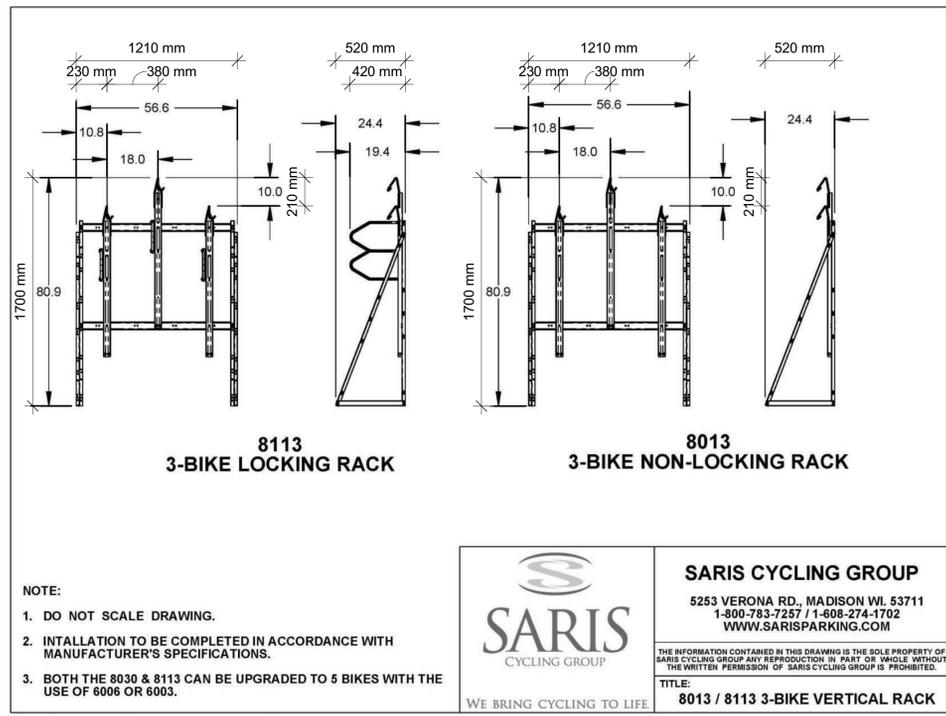
PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



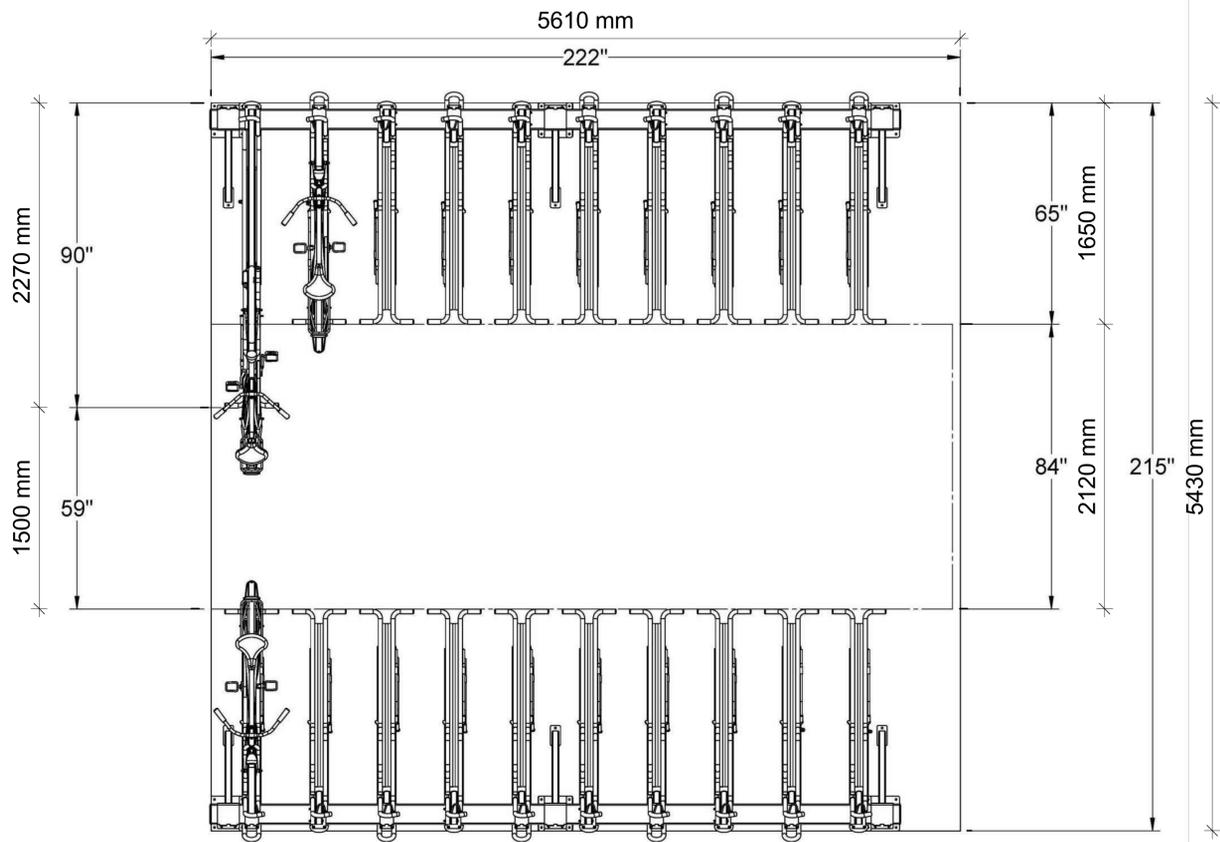
SPECIFICATIONS OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES



SECTION OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES



SPECIFICATIONS OF SARIS VERTICAL BICYCLE PARKING SPACES



PLAN OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES

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FS BW Block D GP Inc.
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PROJECT
**BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING**
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING
DETAILS (SARIS BIKE RACK)

PROJECT NO.
17.110CS
PROJECT DATE
2021-10-29
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SCALE
1 : 25



DRAWING NO. SPA600 REV. 2

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PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



VIEW FROM MISSISSAUGA RD SOUTH LOOKING NORTH WEST



VIEW FROM MISSISSAUGA RD SOUTH LOOKING SOUTH WEST



VIEW TOWARDS NORTH FROM STREET C

2	2020/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

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Mississauga,
ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
200 MISSISSINNI WAY, MISSISSAUGA, ON

DRAWING
3D PERSPECTIVES

PROJECT NO:
17.110CS
PROJECT DATE
2021-10-29
DRAWN BY
SKA
CHECKED BY
AYU
SCALE



DRAWING NO. **SPA801** REV. **2**

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PROJECT NUMBER: SP 21-187 W1
MUNICIPAL ADDRESS: 200 MISSISSINNI WAY
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



VIEW LOOKING NORTH EAST FROM STREET C



VIEW OF MAIN ENTRANCE FROM STREET C



ENTRANCE TO CAR PARKING AT NORTH ELEVATION

#	DATE	DESCRIPTION	BY
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU

FS BW Block D GP Inc.
 141 Lakeshore Road East,
 Mississauga,
 ON, L5G 1E8

PROJECT
BRIGHTWATER BUILDING D
PROPOSED RESIDENTIAL BUILDING
 200 MISSISSINNI WAY, MISSISSAUGA, ON

DRAWING
3D PERSPECTIVES

PROJECT NO.
17.110CS
 PROJECT DATE
2021-10-29
 DRAWN BY
SKA
 CHECKED BY
AYU
 SCALE



DRAWING NO. **SPA802** REV. **2**

APPENDIX C: Block D Site Photos (March 2022)



1. View looking north on Mississauga Road at intersection of Port Street West.



2. View of the Property on the east side of Mississauga Road across from Block D.



3. View looking south on Mississauga Road.



4. View looking south east along Mississauga Road.