



ERA Architects Inc.  
#600-625 Church St  
Toronto ON, M4Y 2G1

## BRIGHTWATER BLOCK D PROPOSAL HIA ADDENDUM

**Subject:** HERITAGE IMPACT ASSESSMENT ADDENDUM

**Issued To:** John Dunlop  
Supervisor, Heritage Planning  
Mississauga City Hall, Suite 202  
201 City Centre Drive  
Mississauga, ON L5B 4E4  
john.dunlop@mississauga.ca

**Project:** 200 Missinnihe Way

**Project #:** 16-206-02

**Prepared By:** MM/SH/HC/JL

**Issued:** April 28, 2022

Dear Mr. Dunlop,

This Heritage Impact Assessment (HIA) Addendum has been prepared by ERA Architects Inc ('ERA'), on behalf of FS BW Block D LP ('the applicant') in order to satisfy Site Plan Application ('SPA') Conditions for Brightwater Block D, the Peel Region Affordable Housing block ('Block D'), located at 200 Missinnihe Way, part of the larger property municipally known as 70 Mississauga Road South and 181 Lakeshore Road West in the City of Mississauga (the 'Subject Site' or 'the site').

It considers the impact of the proposed development for Block D, part of the revised master plan for the Subject Site, issued by Giannone Petricone Architects in July 2019 ('the revised master plan') on the Mississauga Road Scenic Route Cultural Landscape as well as the adjacent Old Port Credit Village Heritage Conservation District. Block D is being approved under a standalone SPA process, separate from the adjacent blocks within the Subject Site.

This HIA Addendum is intended to be read in conjunction with a revised HIA for the Subject Site, issued by ERA Architects on November 1, 2018 (the '2018 HIA'), and the 2020 HIA Addendum for the Subject Site, issued by ERA Architects on February 4, 2020 (the '2020 HIA Addendum'). The revised master plan issued by Giannone Petricone Architects on July 2019 is included in Appendix A and the proposed design for Block D, issued by Turner Fleischer on April 22, 2022, is included in Appendix B of this addendum. Updated site context photographs have been provided in Appendix C.

### **Heritage Recognition**

The Subject Site is listed on the City of Mississauga Heritage Register as it forms part of the Mississauga Road Scenic Route Cultural Landscape (70 Mississauga Road South & 181 Lakeshore Road West) and for its historical/associative value (70 Mississauga Road South) found in its long-standing role as a site of industrial activity. The Subject Site is considered adjacent, as defined in the Provincial Policy Statement (2014) to the western boundary of the Old Port Credit Village Heritage Conservation District ('the HCD').

### **Development Context**

In November 2018, the applicant resubmitted a Zoning By-law Amendment (ZBA), Official Plan Amendment (OPA), and Draft Plan of Subdivision application for the Subject Site that included the 2018 HIA. This followed two previous combined ZBA/OPA and Draft Plan of Subdivision submissions dated August 2017 and March 2018.

In 2018, the applicant appealed the ZBA/OPA and Draft Plan of Subdivision applications to the Local Planning Appeal



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Tribunal) ('LPAT') due to City Council's failure to make a decision. In advance of the LPAT hearing, without prejudice conversations between the City and the applicant resulted in a settlement proposal that addressed, among other issues, the preliminary built form relationship between the Subject Site and the Old Port Credit Village HCD. The settlement proposal, as outlined in a Staff report dated July 29, 2019, was adopted by City Council on July 31, 2019. The LPAT Order, including a series of conditions, was issued on November 15, 2019. The settlement proposal, as indicated in the appended revised master plan, maintains the overall site configuration described in the 2018 HIA, as well as the same residential and commercial gross floor area (GFA), while incorporating several refinements. Changes to the design of Brightwater Block D are described below:

- The 2.5 storey townhouses previously proposed for Brightwater Block D have been replaced by affordable housing units for the Region of Peel (maximum of 150 units). The proposed units are arranged in a three-storey volume fronting Mississauga Road South that gradually steps up to a seven-storey volume facing an internal street.

### **Development Description for Block D**

The proposed development will contain 150 units of affordable housing, and is proposed to be seven-storeys in height, with tiered stepbacks from the third to seventh storey at the east elevation along the east side of Mississauga Road South. A raised patio is located along the corner of the east and north elevation, and an outdoor amenity is located at the third storey along the east elevation. Grasses and shubbery are primarily located along the south elevation, with some sections located along the east, west and north elevations. The building features an irregular fenestration pattern and a partially curved south elevation. The main residential lobby entrance is located at the south elevation off of Missinnihe Way, a new public road, with secondary entrances located along the east and west elevations. Underground parking is shared with the surrounding Blocks and accessed from Block H, west of the Site. Visitor parking and bike parking is internalized at the ground floor, located at the north portion of the Site and accessed from the north elevation. See below for renderings of the proposed development and Appendix B for drawings issued by Turner Fleischer on April 22, 2022.



VIEW FROM MISSISSAUGA RD SOUTH LOOKING NORTH WEST



VIEW FROM MISSISSAUGA RD SOUTH LOOKING SOUTH WEST



VIEW TOWARDS NORTH FROM STREET C



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### **Impact of the Proposed Plan for Block D**

ERA has assessed the current design and finds that the proposed development for Brightwater Block D is substantially in accordance with the design parameters outlined in the 2020 HIA Addendum. While the proposed development changes the historical use and surrounding context of the site, the proposed development conserves the described cultural heritage value of 70 Mississauga Road South, the Old Port Credit Village HCD, and the Mississauga Road Scenic Route CHL.

#### **On Site Impacts**

##### *70 Mississauga Road*

Given that the cultural heritage value of the Subject Site is intangible and with the absence of any historic built form on the Subject Site, the proposed development will have no impact on the cultural heritage value of the site as identified in the Reasons for Listing.

##### *Mississauga Scenic Route Cultural Landscape*

Mississauga Road is recognized as a Cultural Landscape, as it is one of the City's oldest and most picturesque thoroughfares. The Cultural Landscape contains notable scenic quality, traversing a variety of topography and varying land use, from old established residential neighbourhoods to new industrial and commercial areas. The road also includes some of the city's most interesting architecture and landscape features. The road's pioneer history and its function as a link between Mississauga's early communities, makes it an important part of the City's heritage. While the proposed development changes the surrounding context of the Mississauga Scenic Route Cultural Landscape through the introduction of a seven-storey building on the Subject Site, the proposed development includes setbacks and stepbacks from Mississauga Road to allow for a consistent scale in built form features as viewed from the public realm, thereby conserving the cultural heritage value of the Scenic Route Cultural Landscape. Further, the proposed development does not impact the alignment and scenic quality of the road as identified in the Reasons for Listing.

#### **Adjacent Impacts**

##### *Old Port Credit Village HCD*

Old Port Credit Village HCD is characterized by a number of historic house-form buildings, institutional landmarks and churches, and open spaces, all dating from the nineteenth to mid-twentieth centuries. The low-rise single-family homes have landscaped front yards, a few of which have been converted to commercial use. While the proposed development will change the surrounding adjacent context west of the Old Port Credit Village HCD through the introduction of a seven-storey building in Block D of the Subject Site, the proposed development incorporates setbacks and stepbacks to allow for an appropriate transition in setting, scale, massing and character to the low-rise residential character of the HCD.

#### **Mitigation Measures**

Based on the review of in-force and emerging policies, the following design considerations are intended to mitigate potential impacts on the Mississauga Scenic Route Cultural Landscape and the adjacent Old Port Credit Village HCD:

- The 4.34m setback and outdoor amenity along the east elevation preserves and complements the scenic historical character of the street, and will be designed in a visually complementary manner to be consistent in scale with adjacent heritage buildings and the Mississauga Scenic Route Cultural Landscape.



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- The proposed development features tiered stepbacks at the east elevation from the third to seventh storey, providing a gradual transition in massing and form, and responding to the established low-rise residential built form character of the adjacent Old Port Credit Village HCD along the east side of Mississauga Road South.
- The proposed development features landscaped lawns and ornamental gardens with non-uniform planting patterns, and a mixture of grasses and shrubbery along the east, west, north, and south elevations, referencing the existing character of front-yard gardens within the adjacent HCD.
- The east elevation of the proposed development fronts onto Mississauga Road South and features a raised patio with walkway connections to the sidewalk, activating the west side of Mississauga Road South with pedestrian activity.
- The materiality of new construction is contemporary in nature, and is distinguishable from and subordinate to the heritage fabric of the adjacent Old Port Credit Village HCD. The proposed material palette references, in part, the natural and textured quality of materials found within the Old Port Credit Village HCD.

### **Conclusion**

In light of the material outlined above, our evaluation of the development proposal for Block D is substantially in accordance with the conclusions presented in the 2018 HIA and the 2020 Addendum, namely that the proposed development conserves the described cultural heritage value of 70 Mississauga Road South, the Old Port Credit Village HCD, and the Mississauga Road Scenic Route CHL.

We trust that the information contained within this HIA addendum sufficiently addresses issues of potential impact on recognized heritage resources on and adjacent to the Subject Site. Please do not hesitate to contact us if you require further information or wish to discuss the contents of this letter.

Sincerely,

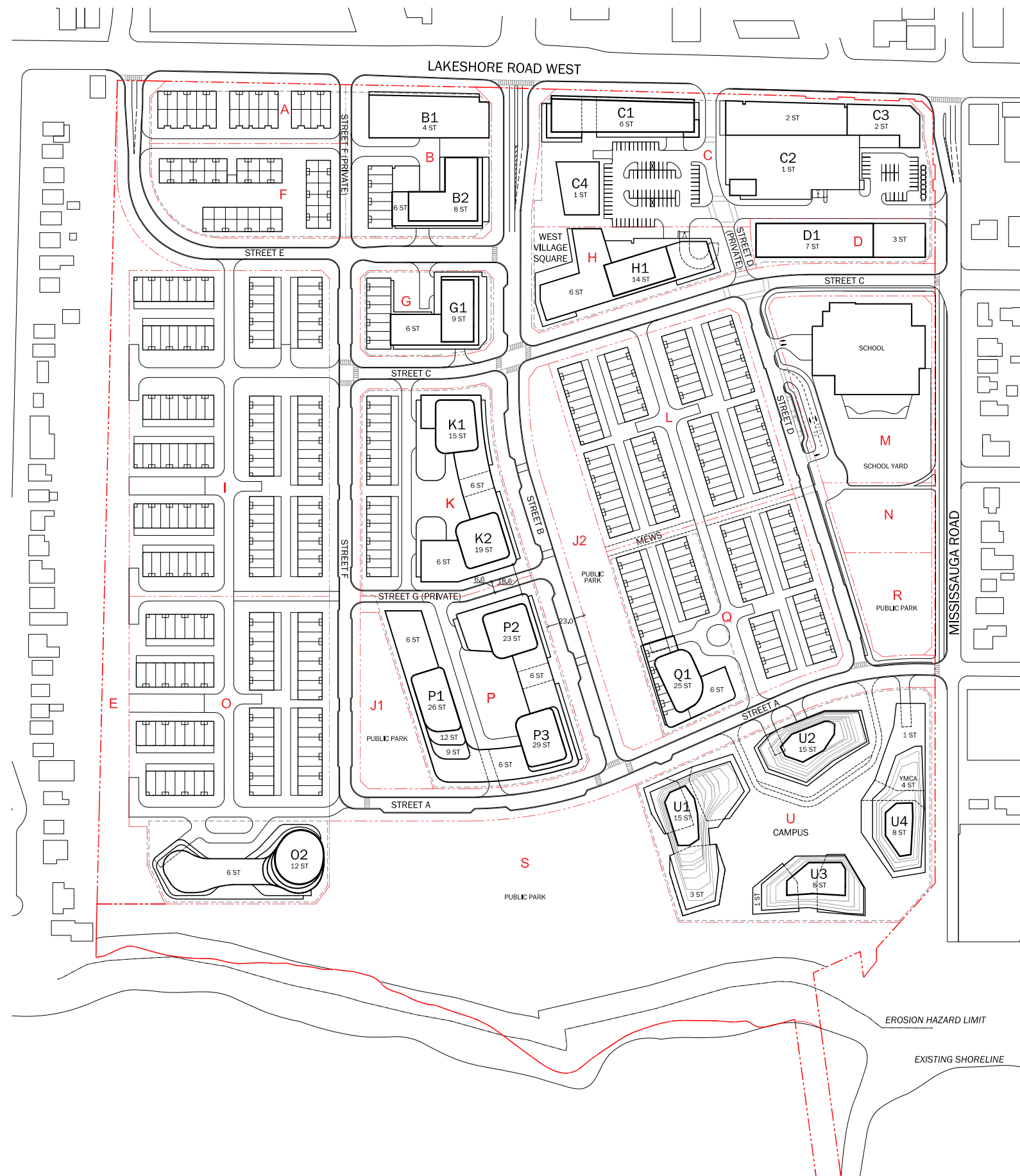
A handwritten signature in black ink, appearing to read 'Graeme Stewart', is written over a horizontal line.

Graeme Stewart, Principal

E.R.A. Architects Inc.



**APPENDIX A:** Revised Master Plan, Giannone Petricone Architects (July 2019)



**APPENDIX B:** Architectural Drawings, Turner Fleischer (April 22, 2022)



FS BW Block D GP Inc.

141 LAKESHORE ROAD EAST  
MISSISSAUGA ON L5G 1E8

CONTACT: ANTHONY DI SANTO  
EMAIL: ADISANTO@FRAMGROUP.COM  
TEL: 416-747-9661 (EXT 241)

# BRIGHTWATER BUILDING D PROPOSED RESIDENTIAL BUILDING

200 MISSINNIHE WAY, MISSISSAUGA, ON

17.110CS



TURNER  
FLEISCHER

67 Lesmill Rd  
Toronto, ON, M3B 2T8  
Contact Name: ANITA YU  
Tel: 416-425-2222 ext. 235  
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ISSUED FOR SPA RE-SUBMISSION  
APRIL 22nd, 2022

STUDIO



LANDSCAPE

Studio TLA  
20 Champlain Blvd, Suite 102  
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Email: Mbernstein@studiotla.ca



CIVIL

Urbantech Consulting  
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MULVEY&BANANI  
INTERNATIONAL INC.

ELECTRICAL

Mulvey & Banani International Inc.  
44 Mobile Drive  
Toronto, ON, M4A 2P2  
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Email: SPatel@mbiil.com

URBAN  
STRATEGIES  
INC.

PLANNING

Urban Strategies  
197 Spadina Avenue, Suite 600  
Toronto, ON, M5T 2C8  
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TMP

MECHANICAL

The Mitchell Partnership  
285 Yorkland Boulevard  
Toronto, ON, M2J 1S5  
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Contact: James McEwen  
Email: jmcEwen@tmptoronto.com



STRUCTURAL

Jablonsky, Ast and Partners  
400-3 Concorde Gate  
Toronto, ON, M3C 3N7  
Tel: (416) 447 7405  
Contact: Jeff Watson  
Email: Jwatson@astint.on.ca



DEFINITIONS

CITY OF MISSISSAUGAZONING BY-LAW 0225-2007

Height

(1) means, with reference to the height of a **building, structure** of part thereof, except a **detached, semi-detached, duplex,triplex, townhouse, back to back townhouse** or **stacked townhouse**, the vertical distance between the **established grade** and:  
(1.1) the highest point of the roof surface of a **flat roof**; or  
(1.2) the mean height level between the eaves and ridge of a **sloped roof**.  
(1.3) the mean height level between the eaves and ridge of a **flat roof** where there is a **flat roof** on top of a **sloped roof**; or  
(1.4) the highest point of a **structure** without a roof.  
(0325-2008),(0714-2017),(9181-2018)/LPAT Order 2019 February 15)  
See Illustration No.6 - Section 1.3 - Illustrations

Landscaped Area

means any outdoor area on a **lot**, located at grade, including **the landscaped buffer**, that is suitable for the growth and maintenance of grass,flowers,shrubs,trees and other vegetation, as well as other landscape features, and may include walkways,berms,retaining walls and outdoor **amenity areas**, but shall not include, **driveways, aisles,ramps or condominium roads, parking areas** whether surfaced or not, curbs, any open space beneath or within any **building, structure** or part thereof, or any exterior garbage storage or handling area.  
(0190-2014), (0181-2018/LPAT Order 2019 February 15)

Total Floor Area

means the aggregate of the areas of each floor and/or mezzanine above or below **established grade**, measured between the exterior of outside walls, including all parts of the building below established grade developed for non-residential use, but excluding the following:

- (1) any enclosed area used for climate control, electrical, energy generation and distribution, or mechanical equipment related to the operation or maintenance of the building;
- (2) areas of stairwells, washrooms, elevators or walkways/catwalks used exclusively for the maintenance of and/or access to mechanical equipment related to the operation or maintenance of the building;
- (3) any enclosed area devoted to the collection or storage of disposable or recyclable waste generated within the building;
- (4) any part of the **building** or **structure** above or below **established grade**, but not including a commercial parking garage, used exclusively for the temporary parking of motor vehicles or the provision of loading space(s) where such loading space(s) are required by the City's Zoning By-law; and
- (5) the area of any self-contained structural shelf and rack storage facility approved by the Building Materials Evaluation Commission; and
- (6) where a **building** or **structure** does not have any wall, the total floor area shall be the sum total of the area of land directly beneath the building or structure and the total areas of any floors and mezzanines in the **building** or **structure**, not already included in the sum total

Established Grade

means, with reference to a **building, structure** or part thereof, the average elevation of the finished grade of the ground immediately surrounding such **building** or **structure**, and when used with reference to a **street**, means the elevation of the **street**, established by the Municipality or other designated authority. (0308-2011)

Gross Floor Area (GFA)

means the sum of the areas of each storey of a **building, structure** or part thereof, above or below **established grade**, excluding storage below **established grade** and a parking structure above or below established grade, measured from the exterior of outside walls, or from the mid-point of common walls.

ZONING EXCEPTION RA3-37  
LPAT CASE NO. PL180196  
LPAT FILE NO. PL180197

LAND USE	m²	ft²	%
BUILDING COVERAGE	2,177.5	23,438	68.0%
LANDSCAPED OPEN SPACE AT GRADE (INCLUDING WALKWAYS AND INTERLOCKING PAVEMENTS)	928.4	9,993	29.0%
REST (PARRALEL PARKING, TRANSFORMER PAD, GAS METER PAD )	94.7	1,019	3.0%
TOTAL SITE AREA	3,200.6	34,451	100.0%

BUILDING HEIGHT (FROM ESTABLISHED GRADE: 27.23 m)	STOREYS	m
BUILDING D	7	27

GROSS FLOOR AREA SUMMARY

PARCEL	USE	GFA	FSI
B LG D		m²	ft²
	RESIDENTIAL	11,548.5	124,307
	TOTAL	11,548.5	124,307

FLOOR AREA BREAKDOWN

BL G D	GROSS FLOOR AREA BREAKDOWN								AREA EXCLUSIONS		TOTAL FLOOR AREA (TFA)		OUTDOOR AMENITY		INDOOR AMENITY	
	FLOOR	SALEABLE			NON-SALEABLE		TOTAL RESIDENTIAL									
		#	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²
					56.1	603	56.1	603	3,360.9	36,177	3,417.0	36,780				
	1	13	561.1	6,040	463.7	4,991	1,024.8	11,031	1,007.9	10,849	2,177.5	23,438	106.8	1,150	144.8	1,559
2	26	1,896.9	20,418	179.9	1,937	2,076.8	22,355	46.1	496	2,122.9	22,851					
3	23	1,491.1	16,050	167.5	1,803	1,658.6	17,852	40.8	439	1,743.7	18,769	184.3	1,984	44.3	477	
4	24	1,580.9	17,017	170.1	1,831	1,751.1	18,848	39.2	422	1,790.3	19,270					
5	24	1,580.6	17,014	170.1	1,831	1,750.8	18,845	39.5	425	1,790.3	19,270					
6	21	1,459.8	15,713	163.3	1,758	1,623.1	17,471	41.7	449	1,664.8	17,920					
7	19	1,443.2	15,535	164.1	1,766	1,607.3	17,301	57.5	618	1,664.8	17,920					
MPH								222.7	2,397	222.7	2,397					
TOTAL	150	10,013.7	107,786	1,534.8	16,520	11,548.5	124,307	4,856.4	52,273	16,594.0	178,616	291.1	3,133	189.1	2,036	

TOTAL FLOOR AREA SUMMARY

FLOORS	TFA	
	m²	ft²
U/G 1	3,417.0	36,780
FLOOR 1 - FLOOR 7	12,954.2	139,438
MPH	222.7	2,397
TOTAL	16,594.0	178,616

DRAWING LIST

DRAWING NUMBER	DRAWING NAME	
SPA000	COVER SHEET	
SPA001A	STATISTICS	
SPA001B	STATISTICS	
SPA001C	OBC MATRIX	
SPA002	SURVEY	
SPA004	CONTEXT PLAN	
SPA005	BLOCK PLAN	
SPA006	RESIDENTIAL SOLID WASTE MANAGEMENT	
SPA101	UNDERGROUND LEVEL 01	
SPA151	FLOOR 01 / SITE PLAN	
SPA152	FLOOR 02/03	
SPA153	FLOOR 04/05	
SPA154	FLOOR 06/07	
SPA158	MPH	
SPA159	ROOF PLAN	
SPA160	ESTABLISHED GRADE CALCULATION	
SPA301	SOUTH ELEVATION	
SPA302	NORTH ELEVATION	
SPA303	EAST AND WEST ELEVATIONS	
SPA401	BUILDING SECTIONS	
SPA402	BUILDING SECTIONS	
SPA403	BUILDING SECTIONS	
SPA404	1/50 SECTIONS	
SPA405	1/50 SECTIONS	
SPA600	DETAILS (SARIS BIKE RACK)	
SPA801	3D PERSPECTIVES	
SPA802	3D PERSPECTIVES	
SPA810	SHADOW STUDY SUMMARY	
SPA811	SHADOW STUDIES - JUNE	
SPA812	SHADOW STUDIES - JUNE	
SPA813	SHADOW STUDIES - JUNE	
SPA814	SHADOW STUDIES - JUNE	
SPA815	SHADOW STUDIES - SEPTEMBER	
SPA816	SHADOW STUDIES - SEPTEMBER	
SPA817	SHADOW STUDIES - SEPTEMBER	
SPA818	SHADOW STUDIES - DECEMBER	
SPA819	SHADOW STUDIES - DECEMBER	

TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Leamill Road  
Toronto, ON, M3B 2T8  
T 416 425 2222  
turnerfleischer.com

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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

22020422

ISSUED FOR SPA RE-SUBMISSION

AYU

20211029

ISSUED FOR SPA

AYU

#

DATE

DESCRIPTION

BY

FS BW Block D GP Inc.

141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT

BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING

200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING

STATISTICS

PROJECT NO.  
17.110CS

PROJECT DATE  
2021-10-29

DRAWN BY  
SKA

CHECKED BY  
AYU

SCALE

ONTARIO ASSOCIATION  
OF  
ARCHITECTS

RUSSELL L.FLEISCHER  
LICENCE  
5004

DRAWING NO.  
SPA001A

REV.  
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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSINNIH WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

UNIT MIX - PROVIDED

	UNIT TYPE				TOTAL
	BACHELOR	1B	2B	3B	
RATIO	14.7%	37.3%	30.0%	18.0%	100.0%
COUNT	22	56	45	27	150
AVERAGE UNIT SIZE/TYPE	39 m²	57 m²	74 m²	97 m²	

UNIT MIX - PROVIDED

FLOOR	UNIT TYPE - SALEABLE				TOTAL	AVERAGE UNIT SIZE/LEVEL	
	BACHELOR	1B	2B	3B		m²	ft²
1	10	2	1		13	43.2	465
2	2	12	7	5	26	73.0	785
3	3	10	6	4	23	64.8	698
4	3	9	8	4	24	65.9	709
5	3	9	8	4	24	65.9	709
6	1	8	8	4	21	69.5	748
7		6	7	6	19	76.0	818
SUBTOTAL	22	56	45	27	150	66.8	719
UNIT MIX	14.7%	37.3%	30.0%	18.0%	100.0%		

BICYCLE PARKING - REQUIRED

BLG D			RESIDENTIAL	
	USE	RATIO		SPACES
	CLASS A	0.60 / UNIT		90
	CLASS B	0.05 / UNIT		8
	TOTAL REQUIRED			98

\* BICYCLE PARKING RATIOS AS PER CITY OF MISSISSAUGA BICYCLE PARKING STANDARDS (DRAFT FEB 2022)

BICYCLE PARKING - PROVIDED

BLG D			RESIDENTIAL		
	FLOOR		SHORT TERM	LONG TERM	SUB-TOTAL
	FLOOR 1		12	74	86
	U/G LEVEL 1			31	31
	TOTAL PROVIDED		12	105	117

\*ALL BICYCLES ARE PARKED HORIZONTALLY

BARRIER FREE UNITS - REQUIRED & PROVIDED

BARRIER FREE UNITS	USE				TOTAL	
		BACHELOR	1B	2B	3B	
	UNIT MIX	22	56	45	27	150
	REQUIRED (20%)	5	12	9	6	32
	PROVIDED	4	15	10	6	35

AMENITY AREAS - REQUIRED & PROVIDED

BLG D	TYPE	REQUIRED			PROVIDED		
		RATIO	m2	ft2	RATIO	m2	ft2
	MINIMUM AMENITY AREA (THE GREATER OF 5.6M2/UNIT OR 10% SITE AREA)	5.6 m² / UNIT	840.0	9,042	1.3 m² / UNIT	189.1	2,036
		10% OF SITE AREA	320.1	3,445	1.9 m² / UNIT	291.1	3,133
	TOTAL AMENITY		840.0	9,042	3.2 m² / UNIT	480.3	5,169

\* AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 AS AMENDED.

AMENITY AREAS - CONTIGUOUS AREA REQUIRED (MINIMUM)

RATIO	MINIMUM CONTIGUOUS AREA	
50% OF TOTAL AMENITY	m2	ft2
	240.1	2,584.7

A MINIMUM OF 50% OF THE TOTAL AMENITY AREA SHALL BE PROVIDED IN ONE CONTIGUOUS AREA  
AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007

AMENITY AREAS - CONTIGUOUS AREA PROVIDED

FLOOR	CONTIGUOUS AREA		PERCENTAGE OF TOTAL AMENITY
	m2	ft2	
3	228.6	2,461.1	47.6%

VEHICULAR PARKING - REQUIRED

BLG D	USE	RATIO (MIN.)	UNITS	SPACES (MIN.)
	VISITOR	0.15 / UNIT	150	23
	RESIDENTIAL	0.60 / UNIT	150	90
	TOTAL REQUIRED			113

\* VEHICULAR PARKING RATIOS AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 (EXCEPTION RA3-37) AS AMENDED.

VEHICULAR PARKING - PROVIDED

BLG D	FLOOR	USE		TOTAL
		RESIDENTIAL	VISITOR	
	FLOOR 1		23	23
	U/G LEVEL 1	90		90
	TOTAL PROVIDED	90	23	113

\* VEHICULAR PARKING RATIOS AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 (EXCEPTION RA3-37) AS AMENDED.

ACCESSIBLE PARKING - REQUIRED

BLG D	USE	RATIO (MIN.)	MIN. B/F REQ'D.
	RESIDENTIAL	4% TOTAL VISITORS PARKING	1
	SPACES REQUIRED		1

\* VEHICULAR PARKING RATIOS AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 AS AMENDED.

ACCESSIBLE PARKING - PROVIDED

BLG D	USE	SPACES PROVIDED
	RESIDENTIAL	3
	TOTAL PROVIDED	3


\* VEHICULAR PARKING RATIOS AS PER CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007 AS AMENDED.

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING  
200 MISSINNIH WAY, MISSISSAUGA, ON

DRAWING  
STATISTICS

PROJECT NO. 17.110CS		DRAWING NO.	REV.
PROJECT DATE 2021-10-29		SPA001B	2
DRAWN BY SKA			
CHECKED BY AYU			
SCALE			



Ontario Building Code Data Matrix						Building Code Reference
Part 3						
3.00	Building Code Version:	O_Reg_332/12		Last Amendment	867/21	
3.01	Project Type:	<div><input checked="" type="checkbox"/> New<div><input type="checkbox"/> Additional</div><input type="checkbox"/> Change of use<div><input type="checkbox"/> Addition and renovation</div></div> Description: 7 STOREY RESIDENTIAL BUILDING WITH 1 LEVEL OF UNDERGROUND PARKING				[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy Use <div>Group C Residential</div> <div>Group F3 Low Hazard Industrial occupancies</div>				3.1.2.1(1)
3.03	Superimposed Major Occupancies:	<div><input checked="" type="checkbox"/> No</div> <div><input type="checkbox"/> Yes</div> Description:				3.2.2.7
3.04	Building Area (m²)	Description:	Existing	New	Total	[A] 1.4.1.2.
		PROPOSED BUILDING AREA (OBC DEFINITION)	0	2188.2	2188.2	
			0	0	0	
			0	0	0	
			0	0	0	
		Total	0	2188.2	2188.2	
3.05	Gross Area (m²)	Description:	Existing	New	Total	[A] 1.4.1.2.
		PROPOSED GROSS AREA (OBC DEFINITION)	0	13177.0	13177.0	
			0	0	0	
			0	0	0	
			0	0	0	
		Total	0	13177.0	13177.0	
3.06	Mezzanine Area (m²)	Description:	Existing	New	Total	3.2.1.1.
		N/A	0	0	0	
			0	0	0	
			0	0	0	
			0	0	0	
		Total	0	0	0	
3.07	Building Height	7	Stores above grade	27.23	(m) Above grade	[A] 1.4.1.2. & 3.2.1.1.
		1	Stores below grade			
		1	street(s)			
3.09	Number of Streets/ Firefighter access					3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy )	<div><div>3.2.2.42</div>Group /Div<div>Group C, Any Height, Any Area, Sprinklered</div></div> <div><div>3.2.2.75</div>Group /Div<div>Group F3, Up to 6 Storeys, Sprinklered Storeys, Sprinklered</div></div>				3.2.2.42 & 3.2.2.75
3.11	Sprinkler System	<div><input checked="" type="checkbox"/> Required</div> <div><input type="checkbox"/> Not Required</div> <div>Proposed:<div><input checked="" type="checkbox"/> Entire building</div><div><input type="checkbox"/> Selected floor areas</div><div><input type="checkbox"/> In lieu of roof rating</div></div> <div><input type="checkbox"/> Selected compartments</div> <div><input type="checkbox"/> Basement</div> <div><input type="checkbox"/> None</div>				3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	<div><input checked="" type="checkbox"/> Required</div> <div><input type="checkbox"/> Not Required</div>				3.2.9.
3.13	Fire Alarm System	<div><input checked="" type="checkbox"/> Required</div> <div><input type="checkbox"/> Not Required</div> <div>Proposed:<div><input checked="" type="checkbox"/> Single Stage</div><div><input type="checkbox"/> Two Stage</div><div><input type="checkbox"/> None</div></div>				3.2.4.
3.14	Water Service/ Supply is Adequate	<div><input type="checkbox"/> No</div> <div><input checked="" type="checkbox"/> Yes</div>				
3.15	Construction Type:	<div>Restriction:<div><input type="checkbox"/> Combustible permitted</div><div><input checked="" type="checkbox"/> Non-combustible required</div></div> <div>Actual:<div><input type="checkbox"/> Combustible</div><div><input checked="" type="checkbox"/> Non-combustible</div><div>Heavy Timber Construction:<div><input checked="" type="checkbox"/> No</div><div><input type="checkbox"/> Yes</div></div></div> <div><input type="checkbox"/> Combination</div>				3.2.20-83 & 3.2.1.4.0
3.16	Importance Category:	<div><div><input type="checkbox"/> Low</div><div><input type="checkbox"/> Low human occupancy</div><div><input type="checkbox"/> Post-disaster shelter</div></div> <div><div><input checked="" type="checkbox"/> Normal</div><div><input type="checkbox"/> Minor storage building</div><div><input type="checkbox"/> Explosive or hazardous substances</div></div> <div><div><input type="checkbox"/> High</div><div><input type="checkbox"/> Post-disaster</div></div>				4.1.2.1 (3) & 14.1.2.1.B
3.17	Seismic Hazard Index:	<div>(Ie Fa Sa (0.2z)) = 0</div> <div>Seismic Design required for Table 4.1.8.18. items 6 to 21: (Ie Fa Sa (0.2z) ≥ 0.35 or Post-disaster)</div> <div><input type="checkbox"/> No</div> <div><input checked="" type="checkbox"/> Yes</div>				4.1.2.1 (3) & 4.1.8.18(2)
3.18	Occupant Load	Floor Level / Area	Occupancy Type	Based On	Occupant Load (Persons)	3.1.17.
		1	RESIDENTIAL	3.1.17.1 (B)	28	
		1	AMENITY	SQ.M/PERSON	60	
		2	RESIDENTIAL	3.1.17.1 (B)	86	
		3	RESIDENTIAL	3.1.17.1 (B)	74	
		3	AMENITY	SQ.M/PERSON	60	
		4	RESIDENTIAL	3.1.17.1 (B)	80	
		5	RESIDENTIAL	3.1.17.1 (B)	74	
6	RESIDENTIAL	3.1.17.1 (B)	74			
7	RESIDENTIAL	3.1.17.1 (B)	80			
3.19	Barrier-Free Design:	<div><input checked="" type="checkbox"/> Yes</div> <div><input type="checkbox"/> No</div> <div>Explanation: UNIVERSAL WASHROOM PROPOSED AT FLOOR 1</div> <div>35 BARRIER FREE RESIDENTIAL UNITS</div>				3.8
3.20	Hazardous Substances:	<div><input type="checkbox"/> Yes</div> <div><input checked="" type="checkbox"/> No</div> <div>Explanation:</div>				3.3.1.2 & 3.3.1.19.
3.21	Required Fire Resistance Rating:	Horizontal Assembly	Rating (H)	Supporting Assembly(H)	Noncombustible in lieu of rating?	3.2.2.20-83 & 3.2.1.4
		Floors over basement	2	2	<div><input checked="" type="checkbox"/> No</div> <div><input type="checkbox"/> Yes</div> <div><input type="checkbox"/> N/A</div>	
		All Floors	2	2	<div><input type="checkbox"/> No</div> <div><input type="checkbox"/> Yes</div> <div><input checked="" type="checkbox"/> N/A</div>	
		Mezzanin (n/a)	N/A	N/A	<div><input type="checkbox"/> No</div> <div><input type="checkbox"/> Yes</div> <div><input checked="" type="checkbox"/> N/A</div>	
		Roof, not occupied	N/A	N/A	<div><input type="checkbox"/> No</div> <div><input type="checkbox"/> Yes</div> <div><input checked="" type="checkbox"/> N/A</div>	

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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSINNIHE WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING  
200 MISSINNIHE WAY, MISSISSAUGA, ON

DRAWING  
OBC MATRIX

PROJECT NO.  
17.110CS  
PROJECT DATE  
2021-10-29  
DRAWN BY  
SKA  
CHECKED BY  
AYU  
SCALE  
1 : 1

ONTARIO ASSOCIATION  
OF  
ARCHITECTS

RUSSELL L.FLEISCHER  
LICENCE  
5004

DRAWING NO.  
SPA001C

REV.  
2



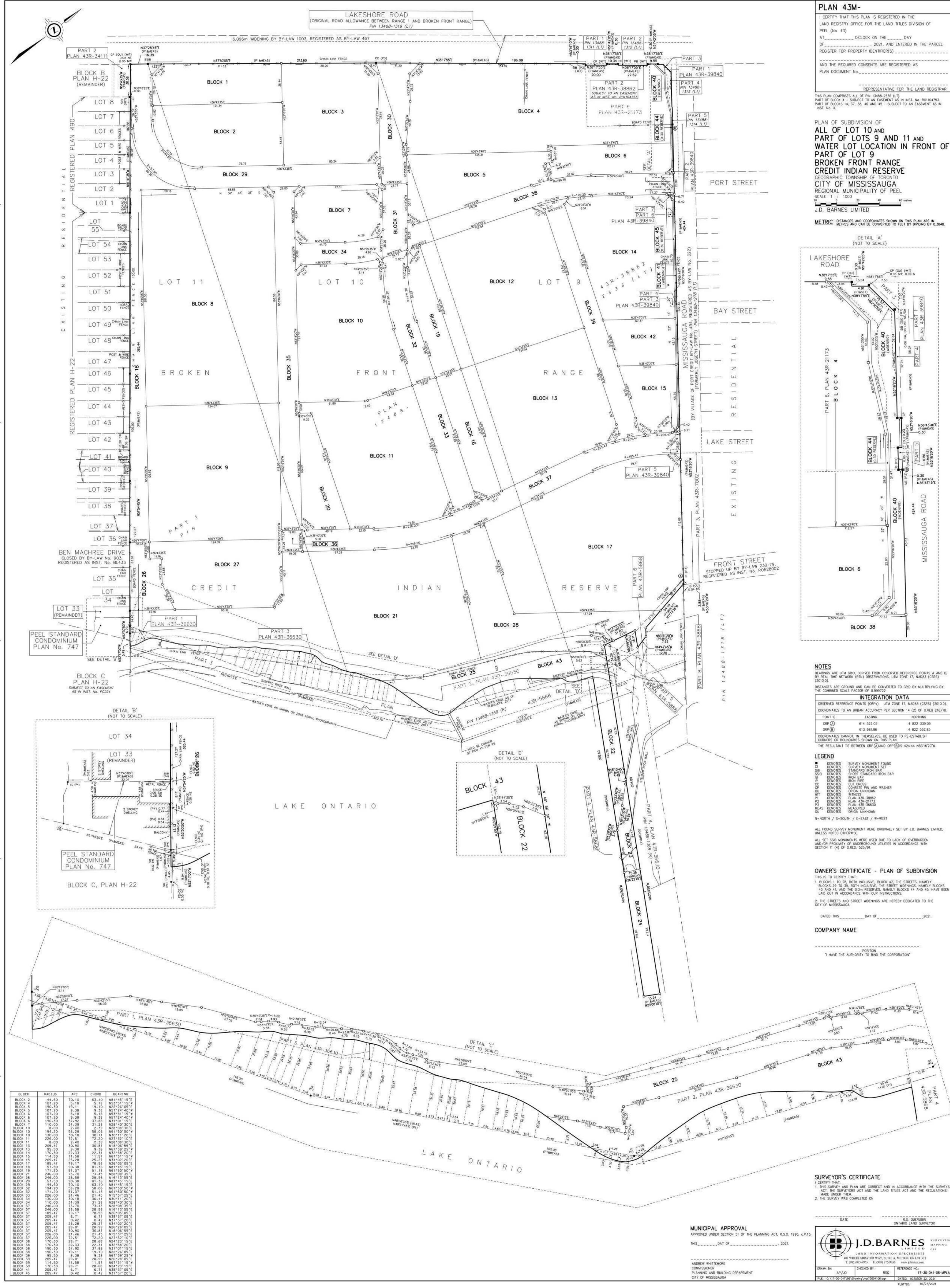
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**MUNICIPAL ADDRESS:** 200 MISSISSINNIH WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL



**PLAN 43M-**  
I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF PEEL (No. 43)  
AT \_\_\_\_\_ O'CLOCK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021, AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIERS  
AND THE REQUIRED CONSENTS ARE REGISTERED AS  
PLAN DOCUMENT No. \_\_\_\_\_  
MINISTERIALS FOR THE LAND REGISTRY  
THIS PLAN COMPLETES ALL OF P.L. 1348-1318 (L.T.)  
PART 1: BLOCK 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 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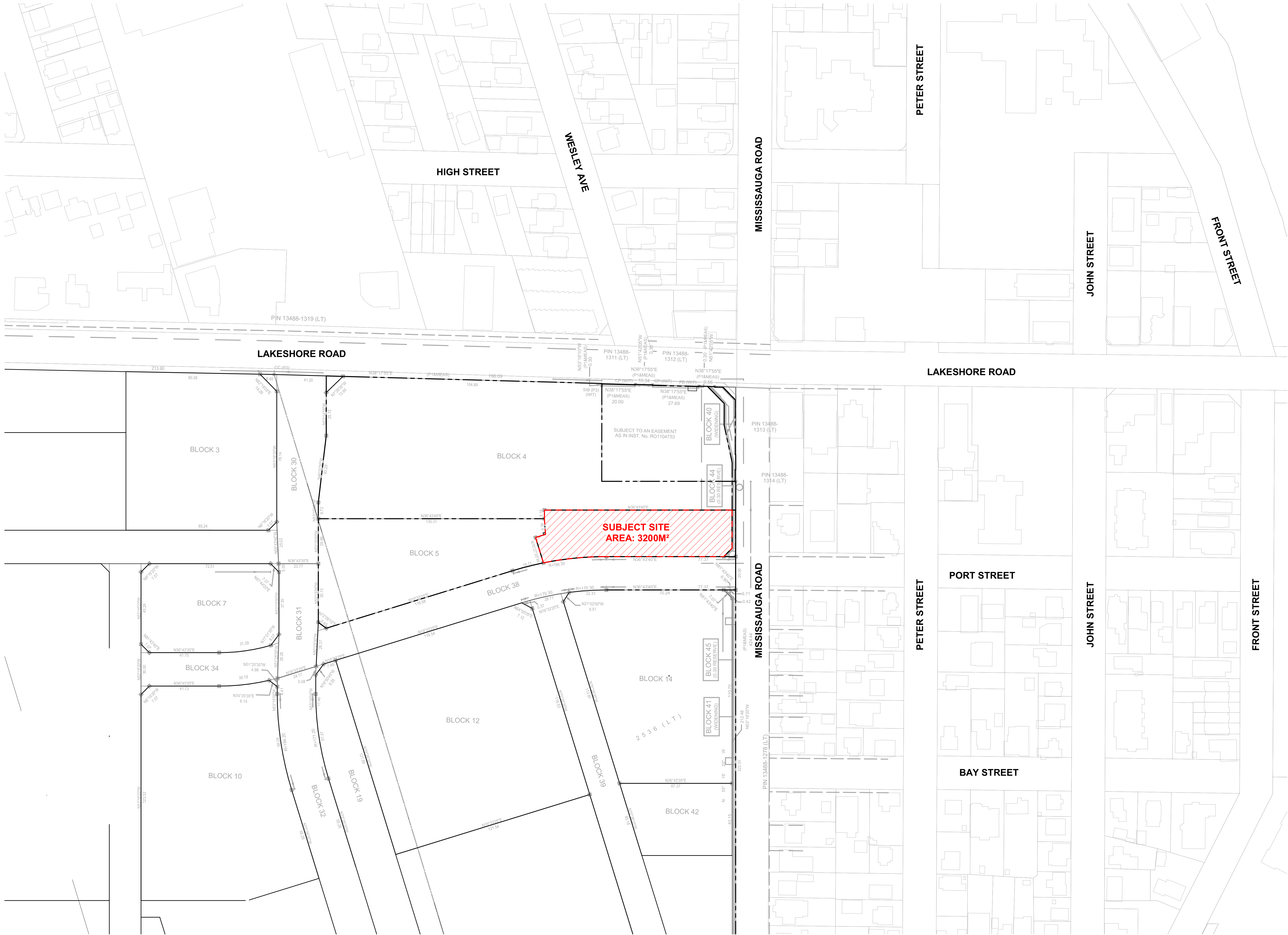


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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



2	2020/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

**FS BW Block D GP Inc.**  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING  
**CONTEXT PLAN**

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY SKA	
CHECKED BY AYU	
SCALE 1 : 1000	

	DRAWING NO. <b>SPA004</b>	REV. <b>2</b>
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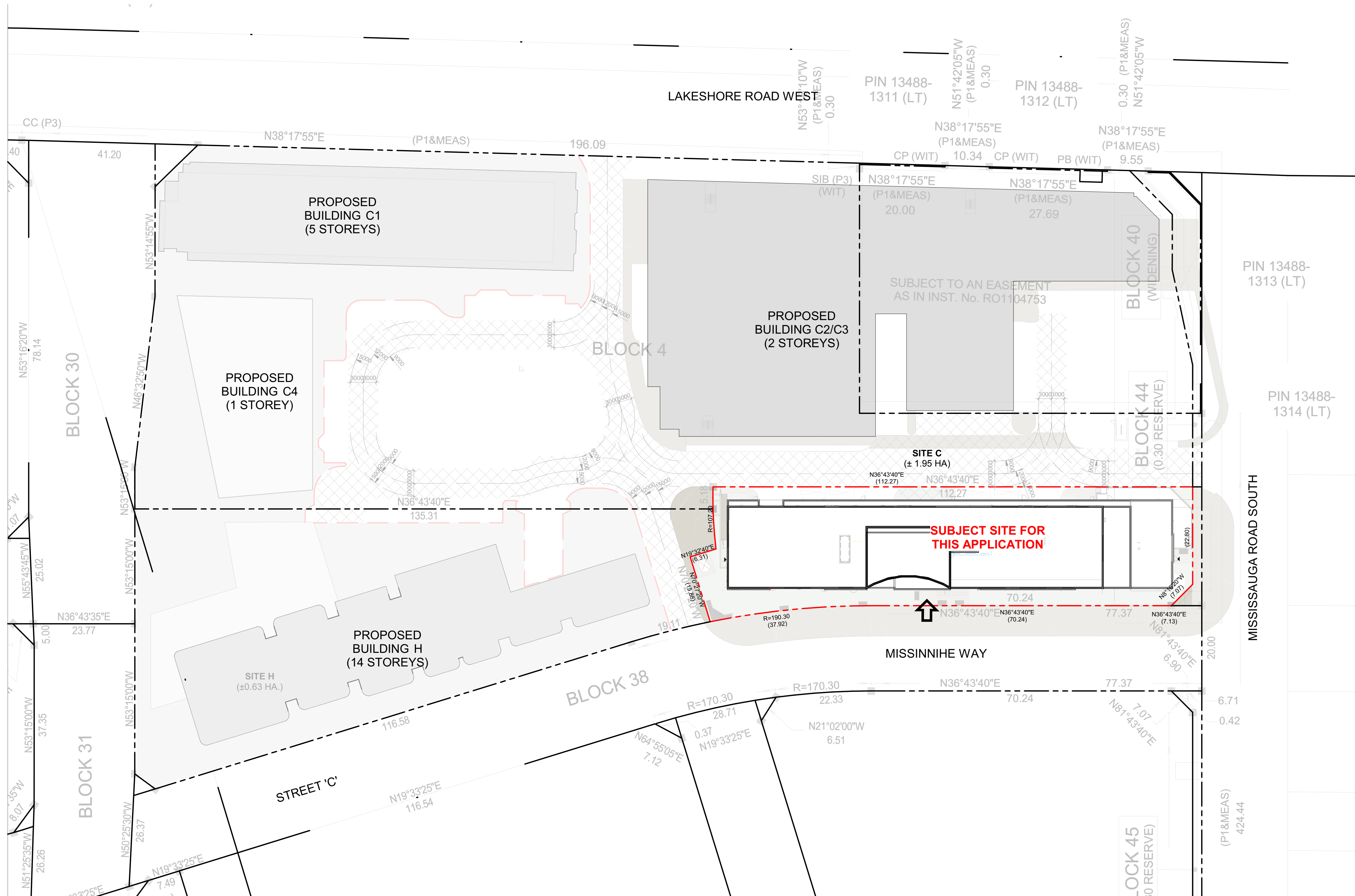
# TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Leslie Road  
Toronto, ON, M3B 2T8  
T 416 425 2222  
turnerfleischer.com

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**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSISSINNIH WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL



## GENERAL SITE PLAN NOTES

- I HEREBY CERTIFY THAT THIS DRAWING CONFIRMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS (SP 18-149 W4).
- THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE CERTIFIED BY THE ARCHITECT OR ENGINEER AS BEING IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA.
- ALL EXTERIOR LIGHTING WILL BE DIRECTED ONTO THE SITE AND WILL NOT INFRINGE UPON THE ADJACENT PROPERTIES.
- ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM VIEW BY THE APPLICANT.
- PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN, INSTALLED AT THE APPLICANTS EXPENSE, IN ACCORDANCE WITH THE BY-LAW REQUIREMENTS AND BUILDING CODE REQUIREMENTS



- THE APPLICANT WILL BE RESPONSIBLE FOR ENSURING THAT ALL PLANS CONFORM TO TRANSPORT CANADA'S RESTRICTIONS.
- GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
- ALL DAMAGED AREAS ARE TO BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO THE RELEASE OF SECURITIES.
- SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY-LAW 0054-2002, AS AMENDED, AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.
- ANY FENCING ADJACENT TO MUNICIPAL LANDS IS TO BE LOCATED 15 cm (6.0 in.) INSIDE THE PROPERTY LINE.
- ONLY "SHIELDED LIGHTING FIXTURES" ARE PERMITTED FOR ALL DEVELOPMENT, EXCEPT FOR DETACHED AND SEMI-DETACHED DWELLINGS WITHIN 60M (196.8FT) OF A RESIDENTIALLY ZONED PROPERTY AND MUST CONFORM TO THE ENGINEER CERTIFIED LIGHTING PLAN.
- THE ENGINEER CERTIFIED LIGHTING PLAN MUST BE SIGNED BY THE CONSULTING ENGINEER.
- THE OWNER COVENANTS AND AGREES TO CONSTRUCT AND INSTALL "SHIELDED" LIGHTING FIXTURES ON THE SUBJECT LANDS, IN CONFORMITY WITH THE SITE PLAN AND ENGINEER CERTIFIED LIGHTING PLAN TO THE SATISFACTION OF THE CITY OF MISSISSAUGA.

- WHERE PLANTING IS TO BE LOCATED IN LANDSCAPED AREAS ON TOP OF AN UNDERGROUND PARKING STRUCTURE, IT IS THE RESPONSIBILITY OF THE APPLICANT TO ARRANGE THE COORDINATION OF THE DESIGN OF THE UNDERGROUND PARKING STRUCTURE WITH THE LANDSCAPE ARCHITECT AND THE CONSULTING ENGINEERING.  
  
UNDERGROUND PARKING STRUCTURES WITH LANDSCAPING AREA TO BE CAPABLE OF SUPPORTING THE FOLLOWING LOADS:-  
  
15 CM OF DRAINAGE GRAVEL PLUS 40 CM TOPSOIL FOR SOD-  
15 CM OF DRAINAGE GRAVEL PLUS 60 CM TOPSOIL FOR SHRUBS-  
15 CM OF DRAINAGE GRAVEL PLUS 90 CM FOR TREES  
  
OR- PREFABRICATED SHEET DRAIN SYSTEM  
\* WITH A COMPRESSIVE STRENGTH OF 1003 KPA PLUS 40 CM TOPSOIL FOR SOD- PREFABRICATED SHEET DRAIN SYSTEM  
\* WITH A COMPRESSIVE STRENGTH OF 1003 KPA PLUS 60 CM TOPSOIL FOR SHRUBS- PREFABRICATED SHEET DRAIN SYSTEM  
\* WITH A COMPRESSIVE STRENGTH OF 1003 KPA PLUS 90 CM TOPSOIL FOR TREES  
\*TERRADRAIN 900 OR APPROVED EQUAL.

- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6M IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS TO BE SHOWN ON THE SITE GRADING PLAN FOR THIS PROJECT AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
- CONTINUOUS 15CM HIGH BARRIER FREE TYPE POURED CONCRETE CURBING WILL BE PROVIDED BETWEEN ALL ASPHALT AND LANDSCAPED AREAS THROUGHOUT THE SITE.
- ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE SITE AND WITHIN THE LIMITED OF THE CITY BOULEVARD AREA.

## ACOUSTIC WARNING CLAUSES

PURCHASERS/TENANTS ARE ADVISED THAT DESPITE THE INCLUSION OF NOISE CONTROL FEATURES IN THE DEVELOPMENT AND WITHIN BUILDING UNITS, SOUND LEVELS DUE TO INCREASING ROAD TRAFFIC MAY ON OCCASION INTERFERE WITH SOME ACTIVITIES OF THE DWELLING OCCUPANTS AS THE SOUND LEVELS EXCEED THE SOUND LEVEL LIMITS OF THE MUNICIPALITY AND THE MINISTRY OF THE ENVIRONMENT.

THIS DWELLING UNIT HAS BEEN SUPPLIED WITH A CENTRAL AIR CONDITIONING SYSTEM WHICH WILL ALLOW WINDOWS AND EXTERIOR DOORS TO REMAIN CLOSED, THEREBY ENSURING THAT THE INDOOR SOUND LEVELS ARE WITHIN THE SOUND LEVEL LIMITS OF THE MUNICIPALITY AND THE MINISTRY OF THE ENVIRONMENT.

PURCHASERS/TENANTS ARE ADVISED THAT DUE TO THE PROXIMITY OF THE GROUND FLOOR RETAIL UNITS, NOISE FROM THESE RETAIL UNITS MAY AT TIMES BE AUDIBLE.

2	2020/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

## FS BW Block D GP Inc.

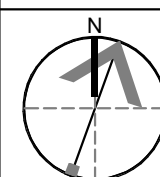
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING

## BLOCK PLAN

PROJECT NO.  
17.110CS  
PROJECT DATE  
2021-10-29  
DRAWN BY  
AAF  
CHECKED BY  
AYU  
SCALE  
1 : 500



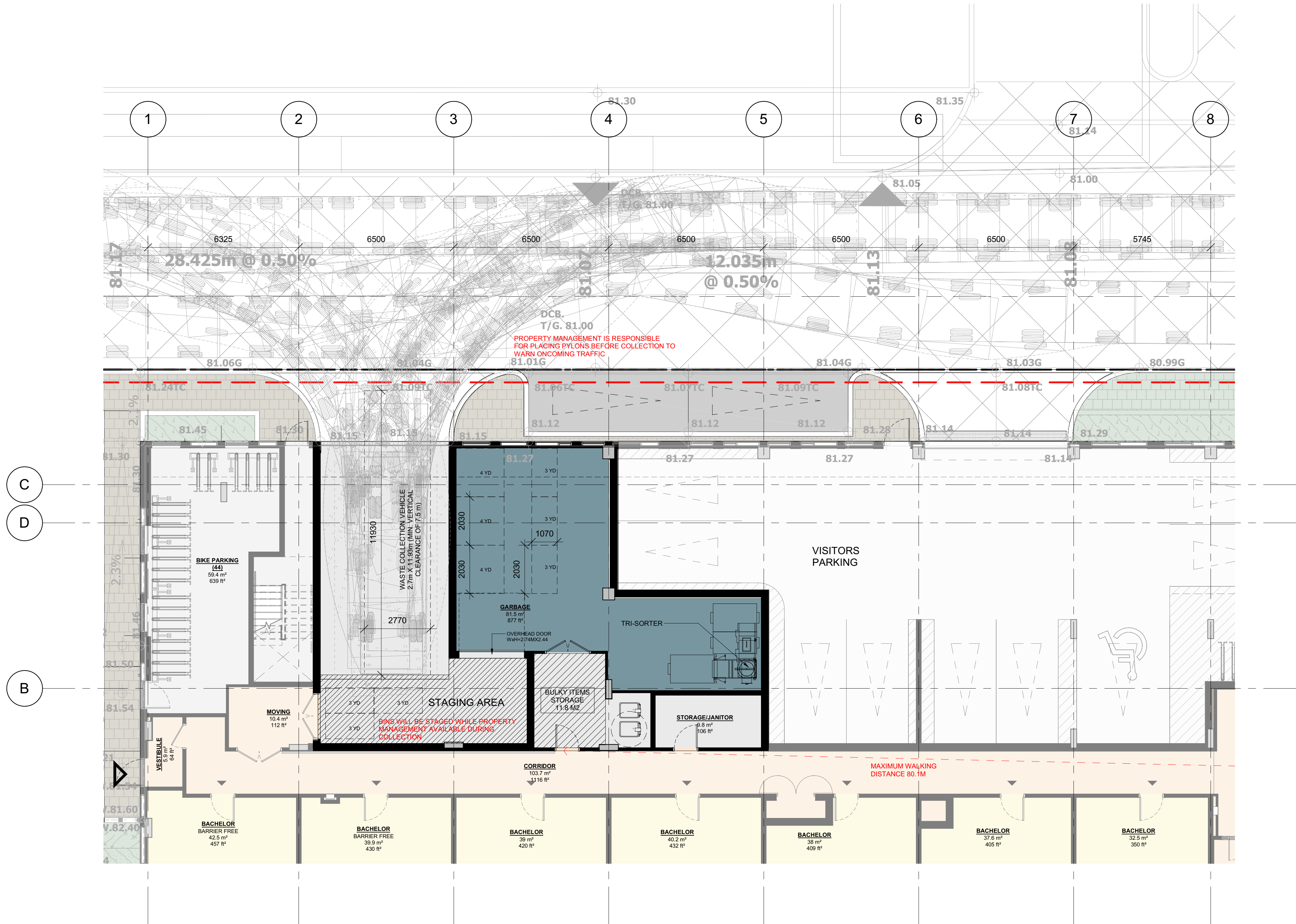
DRAWING NO.  
**SPA005**

REV.  
**2**



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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL  
APARTMENT, REGION OF PEEL



Multi-Residential Complexes and Stacked Townhouses

Type of Bin	3 yd <sup>3</sup> (units/bin)	4 yd <sup>3</sup> (units/bin)	6 yd <sup>3</sup> (units/bin)
Compacted Garbage	54	72	N/A
Non-compacted Garbage	18	24	36
Recyclable Materials	45	60	90

Note: Multi-Residential Complexes and Stacked Townhouses proposing less than 60 Dwelling Units will receive one Recycling Cart for every 7 Dwelling Units.

Table 5: Maximum Number of Dwelling Units per Front-End Bin for Recyclable Materials by Bin Size

Type of Bin	3 yd <sup>3</sup>	4 yd <sup>3</sup>	6 yd <sup>3</sup>
Non-compacted	45	60	90

The required numbers of bins must be rounded up to the nearest whole number.

AS PER REGION OF PEEL WASTE COLLECTION DESIGN STANDARDS

<b>REQUIRED</b>
<b>SOLID WASTE MANAGEMENT PLAN REQUIRED:</b> 1 GARBAGE BIN(3yd <sup>3</sup> ) IS REQUIRED FOR EACH 54 UNITS AND 1 RECYCLING BIN (4yd <sup>3</sup> ) IS REQUIRED FOR EACH 60 UNITS.  TOTAL # OF UNITS = 150  GARBAGE 150/ 54 = 3x3yd <sup>3</sup> BINS RECYCLING 150/60 = 3x4yd <sup>3</sup> BINS
<b>PROVIDED</b>
<b>SOLID WASTE MANAGEMENT PLAN PROVIDED:</b> WASTE STORAGE ROOM SIZE PROVIDED AS FOLLOWED:  TOTAL SPACE TO ALLOW FOR: 3x3yd <sup>3</sup> BINS 3x4yd <sup>3</sup> BINS = 38.15m <sup>2</sup>  STAGING AREA PROVIDED: 27.6m <sup>2</sup>

RESIDENTIAL WASTE STORAGE AREA PROVIDED:

BUILDING D RESIDENTIAL 82.8 m2

PROPERTY MANAGEMENT STAFF TO FACILITATE WASTE COLLECTION

- I. DRIVER IS NOT REQUIRED TO EXIT THE WASTE COLLECTION VEHICLE TO FACILITATE COLLECTION;
- II. PROPERTY MANAGEMENT STAFF IS RESPONSIBLE FOR JOCKEYING OF FRONT-END BINS DURING COLLECTION;
- III. THE REGION WILL NOT BE RESPONSIBLE FOR EMPTYING BINS THAT ARE INACCESSIBLE TO THE WASTE COLLECTION VEHICLE; AND
- IV. PROPERTY MANAGEMENT STAFF MUST BE VISIBLE TO WASTE COLLECTION VEHICLE ON APPROACH TO THE SITE, OTHERWISE THE WASTE COLLECTION VEHICLE WILL NOT ENTER THE SITE.

FS BW Block D GP Inc.

141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING  
**RESIDENTIAL SOLID WASTE  
MANAGEMENT**

PROJECT NO. 17.110CS		DRAWING NO. <b>SPA006</b>	REV. <b>2</b>
PROJECT DATE 2021-10-29			
DRAWN BY AAF			
CHECKED BY AYU			
SCALE 1 : 100			

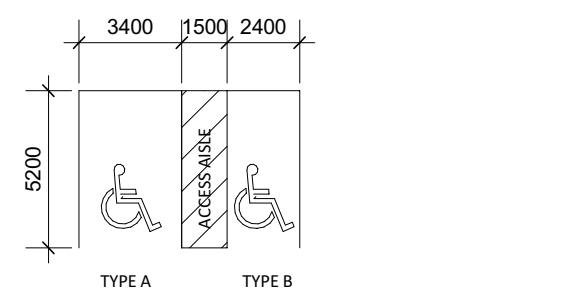
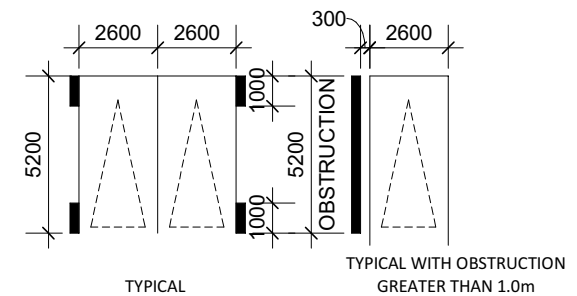


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**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSISSINIE WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL

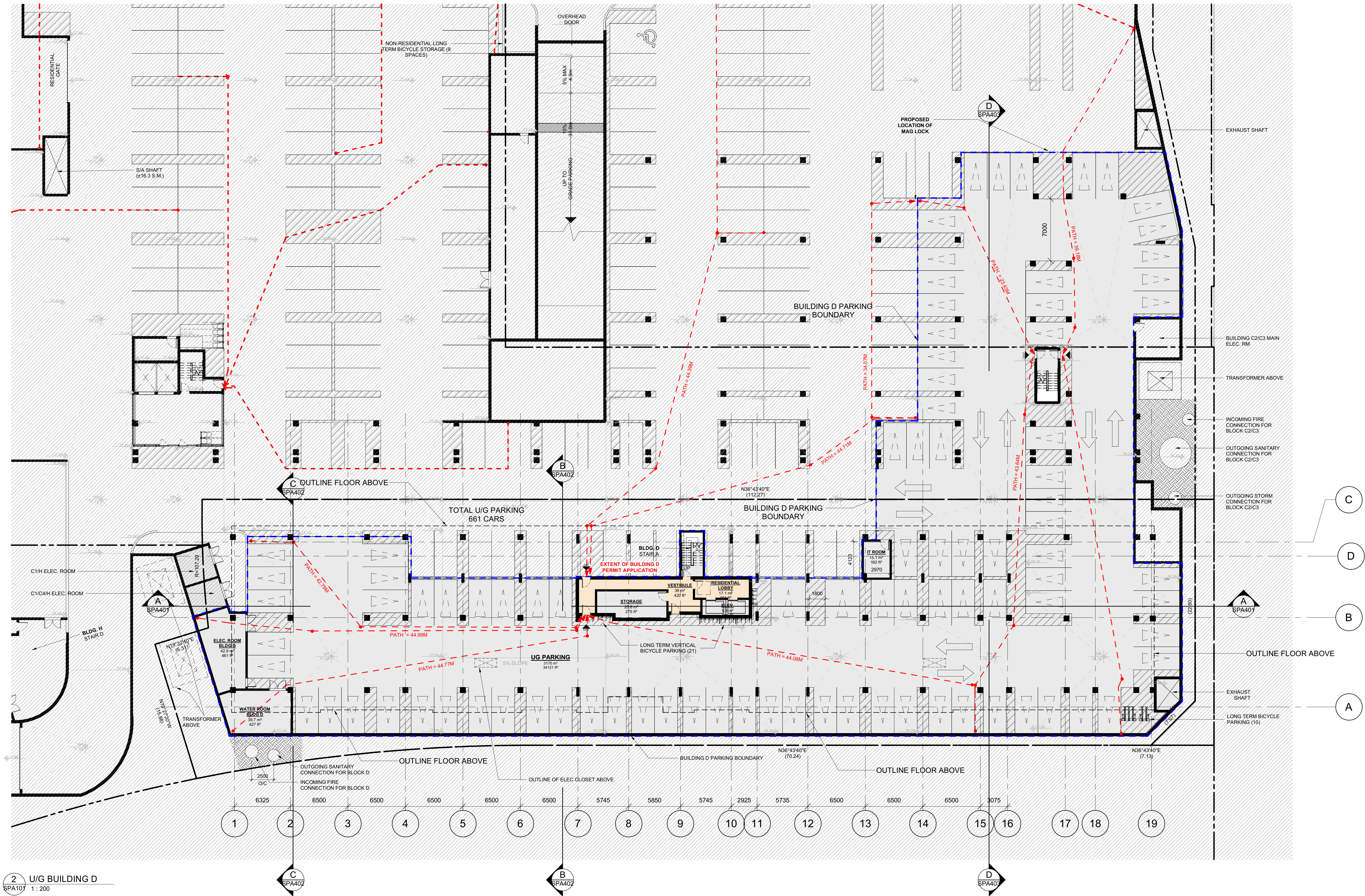
## PARKING STANDARDS

AISLE WIDTH: MIN 6m

TYPICAL PARKING SIZE:  
MIN 2.6 x 5.2

**EXTENT OF BUILDING D PERMIT APPLICATION AT U/G LEVEL 1**

\*FOR U/G PARKING BEYOND EXTENT PLEASE REFER TO BRIGHTWATER PHASE ONE SUBMISSION (DRAWING A-C-103)



**2 U/G BUILDING D**  
 SPA101 1:200

2	2020/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

## FS BW Block D GP Inc.

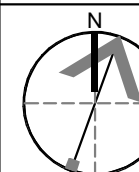
 141 Lakeshore Road East,  
 Mississauga,  
 ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**  
 200 MISSISSINIE WAY, MISSISSAUGA, ON

DRAWING

**UNDERGROUND LEVEL 01**

PROJECT NO.  
17.110CS  
 PROJECT DATE  
2021-10-29  
 DRAWN BY  
AAF  
 CHECKED BY  
AYU  
 SCALE  
As indicated


 DRAWING NO.  
**SPA101**

 REV.  
**2**



TURNER  
FLEISCHER

Turner Fleischer Architects Inc.  
67 Lesmill Road  
Toronto, ON, M3B 2T8  
416-425-2222  
turnerfleischer.com

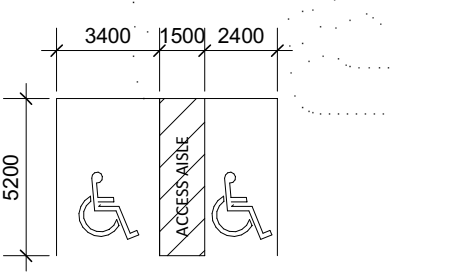
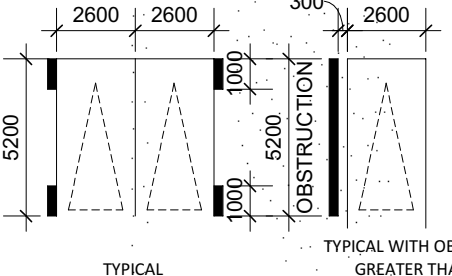
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**MUNICIPAL ADDRESS:** 200 MISSISSINNIH WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL

PARKING STANDARDS

aisle width: min 6m

typical parking size:  
min 2.6 x 5.2



FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING  
**FLOOR 01 / SITE PLAN**

PROJECT NO.  
17.110CS  
PROJECT DATE  
2021-10-29  
DRAWN BY  
AAF  
CHECKED BY  
AYU  
SCALE  
As indicated

ON  
TARIO  
ASSOCIATION  
OF  
ARCHITECTS  
RUSSELL L. FLEISCHER  
LICENCE  
5004

DRAWING NO.  
**SPA151**  
REV.  
**2**

**SITE STATISTICS SUMMARY**  
CITY OF MISSISSAUGA CHANGING BY-LAW 02/25-2007

**A) ZONING HEIGHT**  
ZONING EXCEPTION RA3-37

EXISTING	PROPOSED
HEIGHT	HEIGHT
27'	27'
100m EXISTING MAXIMUM 27.3m	

**B) LOT NUMBER**

**Block 6, Plan 43M-2118**

EXISTING	PROPOSED
AREA	AREA
3,200.4	34,451
6.32	

**C) LOT AREA**

EXISTING	PROPOSED
AREA	AREA
3,200.4	34,451
6.32	

**H) FLOOR AREA**

EXISTING	PROPOSED
AREA	AREA
3,200.4	34,451
6.32	

**I) GROSS FLOOR AREA**  
BASED ON MINIMUM 2.175' ZONING EXCEPTION RA3-37

PERMITTED	PROPOSED
AREA	AREA
13,442.4	134,492
13,442.4	134,492

**J) LANDSCAPED AREA**  
BASED ON MINIMUM 2.175' ZONING EXCEPTION RA3-37

REQUIRED	PROVIDED
AREA	AREA
980.2	10,835.2
3.02%	928.4
	9,993.8
	29.2%

**M) SETBACK AND LANDSCAPE BUFFER**

REQUIRED	PROVIDED	REQUIRED	PROVIDED
SETBACK	SETBACK	LANDSCAPE BUFFER	LANDSCAPE BUFFER
NORTH	3.00	3.00	3.00
SOUTH	3.00	3.00	3.00
EAST	3.00	3.00	3.00
WEST	3.00	3.00	3.00
SOUTH WEST	3.00	3.00	3.00
SOUTH EAST	3.00	3.00	3.00

**N) PAVED AREA**

PROPOSED	
AREA	AREA
388.7	3,888.7

**NUMBER OF UNITS**

REQUIRED	PROVIDED
UNITS	UNITS
150	

**PARKING RATES**

REQUIRED	PROVIDED
RATES	RATES
90	90
231	231
1	1

**Q) RESIDENTIAL PARKING SPACES**

REQUIRED	PROVIDED
SPACES	SPACES
90	90
231	231
1	1

**R) VISITOR PARKING SPACES**

REQUIRED	PROVIDED
SPACES	SPACES
90	90
231	231
1	1

**S) LOADING SPACES**

REQUIRED	PROVIDED
SPACES	SPACES
1 X (7' x 11.5' x 7.5')	1 X (7' x 11.5' x 7.5')

**U) SUITE SCHEDULE**

REQUIRED	PROVIDED
SCHEDULE	SCHEDULE
150	

**V) SUITE SIZES**

REQUIRED	PROVIDED
SIZES	SIZES
150	

**X) RELATED FILE NUMBERS**

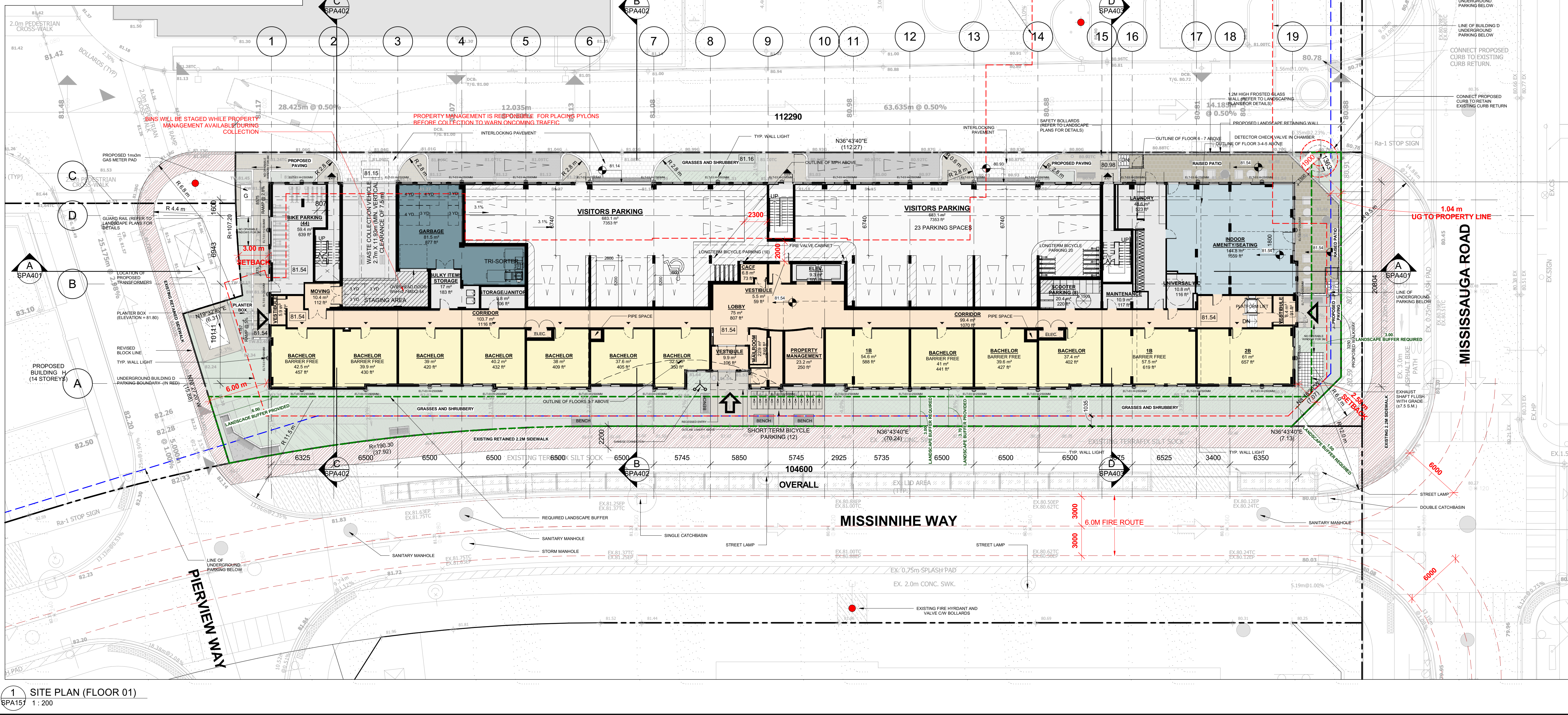
REQUIRED	PROVIDED
FILE NO.	FILE NO.
1180157	1180157

**Y) AMENITY**

REQUIRED	PROVIDED
AMENITY	AMENITY
150	

**Z) BIKE PARKING**

REQUIRED	PROVIDED
SPACES PER UNIT	SPACES PER UNIT
CLASS 1	CLASS 1
CLASS 2	CLASS 2
CLASS 3	CLASS 3
CLASS 4	CLASS 4
CLASS 5	CLASS 5
CLASS 6	CLASS 6
CLASS 7	CLASS 7
CLASS 8	CLASS 8
CLASS 9	CLASS 9
CLASS 10	CLASS 10
CLASS 11	CLASS 11
CLASS 12	CLASS 12
CLASS 13	CLASS 13
CLASS 14	CLASS 14
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1 SITE PLAN (FLOOR 01)  
SPA151 1:200

LEGEND - ARCHITECTURAL

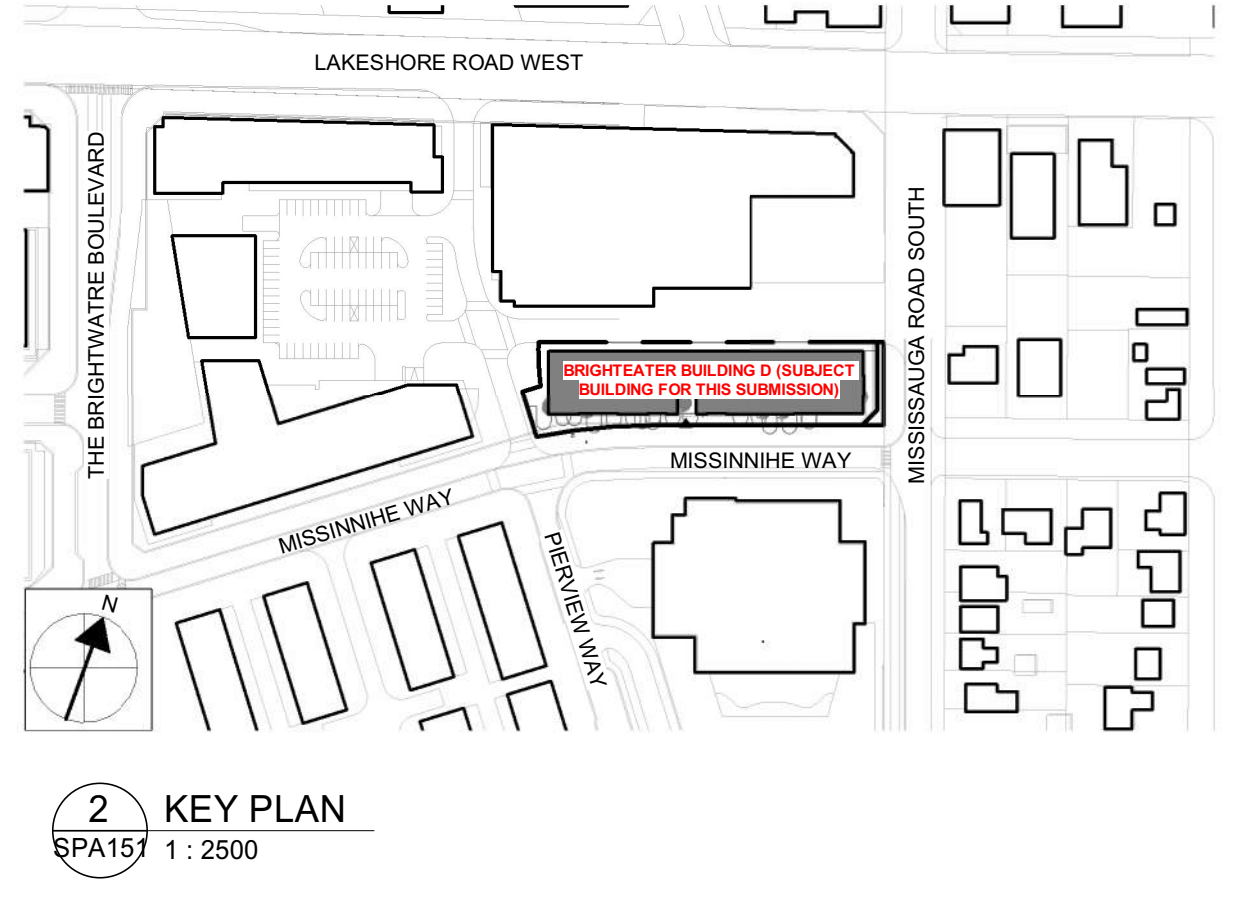
- PRIMARY / PRINCIPAL RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- EXIT
- ARCHITECTURAL LIGHTING
- SIAMESE CONNECTION
- CONVEX MIRROR
- TRANSFORMER WITH CLEARANCES
- FIRE ROUTE SIGN
- STREET LAMP

LEGEND - SERVICES

- FIRE HYDRANT
- STORM SEWER AND MANHOLE
- SANITARY SEWER AND MANHOLE
- SINGLE / REARLOT CATCHBASIN
- DOUBLE CATCHBASIN
- EXISTING VALVE AND BOX
- GAS/HYDRO METER
- PROPOSED ELEVATION
- TOP OF CURB ELEVATION

LEGEND - SURFACING

- EXISTING WALKWAY
- PROPOSED PAVING/WALKWAY
- DRIVEWAY
- RAISED PATIO
- GRASSES AND SHRUBBERY
- REQUIRED LANDSCAPE BUFFER





# TURNER FLEISCHER

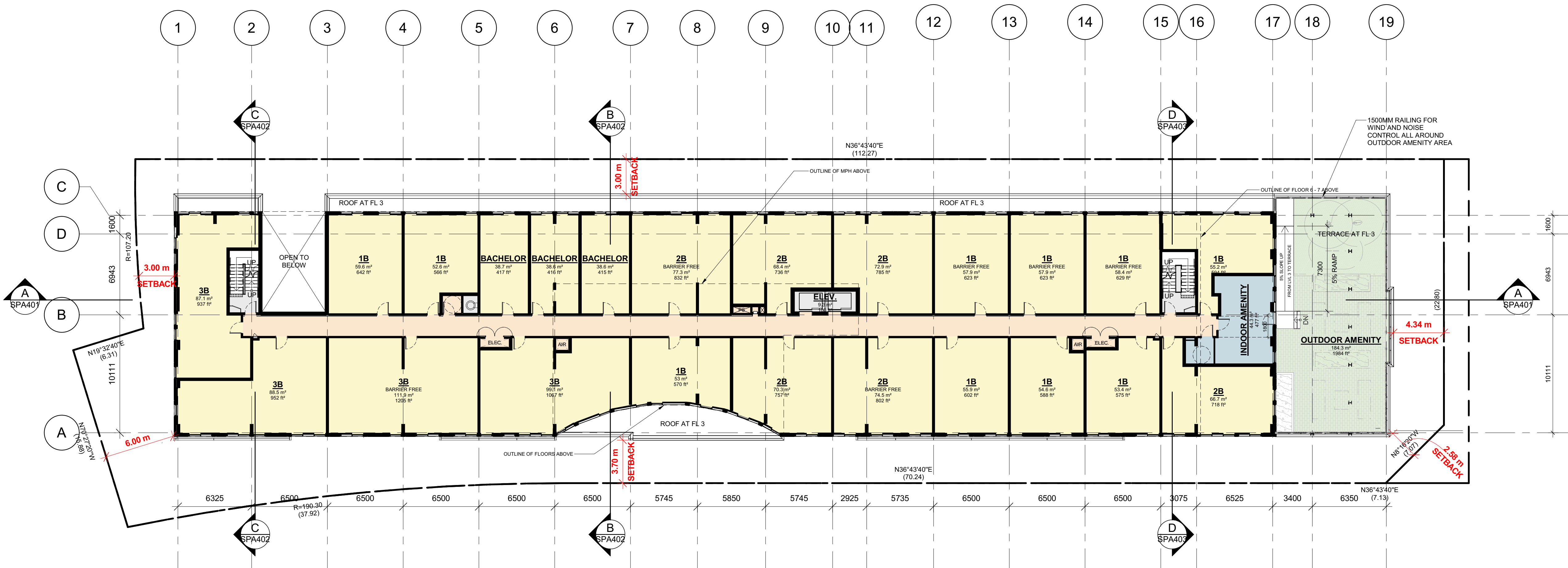
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 T 416 425 2222  
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**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSISSINIE WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEI

**NOTE:** THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.



2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

## FS BW Block D GP Inc.

 141 Lakeshore Road East,  
 Mississauga,  
 ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**  
 200 MISSISSINIE WAY, MISSISSAUGA, ON

DRAWING

FLOOR 02/03

PROJECT NO.

17.110CS

PROJECT DATE

2021-10-29

DRAWN BY

AAF

CHECKED BY

AYU

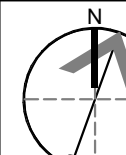
SCALE

1 : 200

REV.

SPA152

2



DRAWING NO.

REV.

SPA152

2



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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINIE WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL  
APARTMENT, REGION OF PEEL

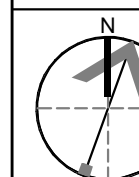
2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

**FS BW Block D GP Inc.**  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINIE WAY, MISSISSAUGA, ON

DRAWING  
**FLOOR 04/05**

PROJECT NO.  
17.110CS  
PROJECT DATE  
2021-10-29  
DRAWN BY  
AAF  
CHECKED BY  
AYU  
SCALE  
1 : 200



DRAWING NO.  
**SPA153**  
REV.  
**2**



**1 FLOOR 04**  
SPA153 1 : 200



**2 FLOOR 05**  
SPA153 1 : 200

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**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSINNIHE WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

## FS BW Block D GP Inc.

141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**

200 MISSINNIHE WAY, MISSISSAUGA, ON

**DRAWING**

**FLOOR 06/07**

**PROJECT NO.**

17.110CS

**PROJECT DATE**

2021-10-29

**DRAWN BY**

AAF

**CHECKED BY**

AYU

**SCALE**

1 : 200



**DRAWING NO.**

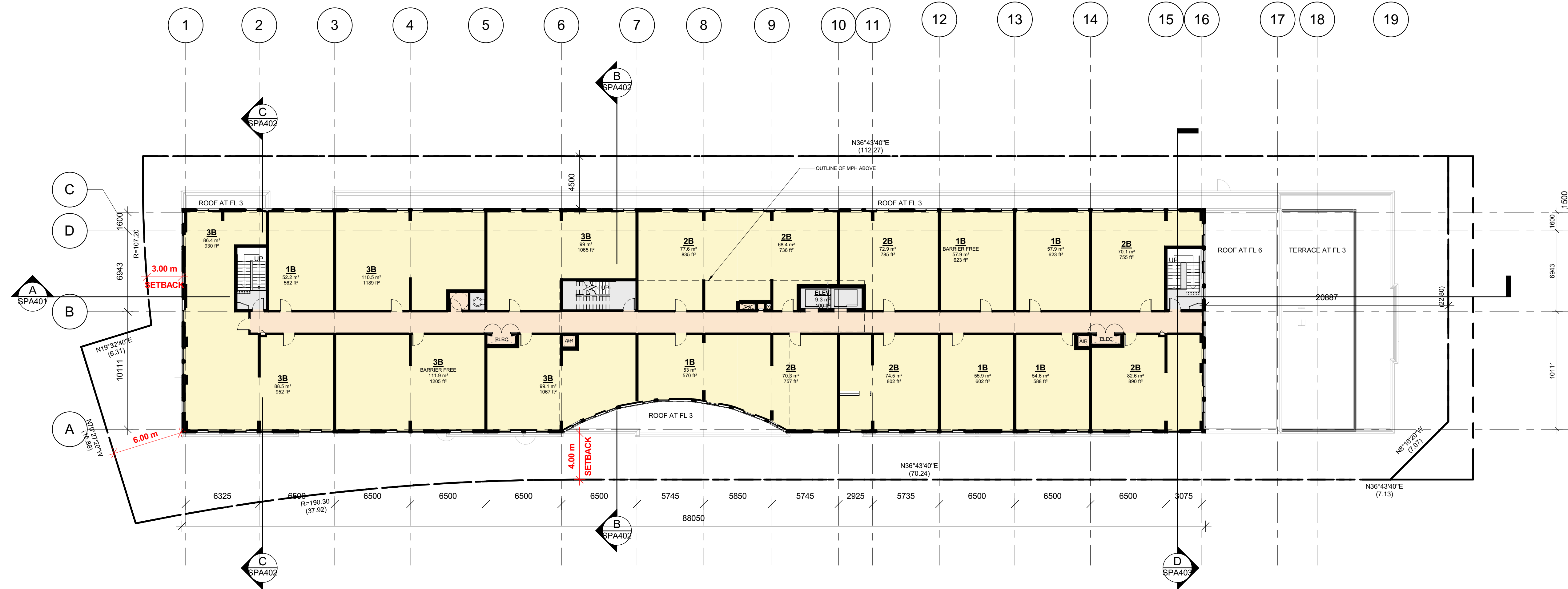
SPA154

**REV.**

2



**1 FLOOR 06**  
SPA154 1 : 200



**2 FLOOR 07**  
SPA154 1 : 200



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**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSISSINNIH WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEE

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

## FS BW Block D GP Inc.

141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**

200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING

**MPH**

PROJECT NO.

17.110CS

PROJECT DATE

2021-10-29

DRAWN BY

AAF

CHECKED BY

AYU

SCALE

1 : 200

DRAWING NO.

SPA158

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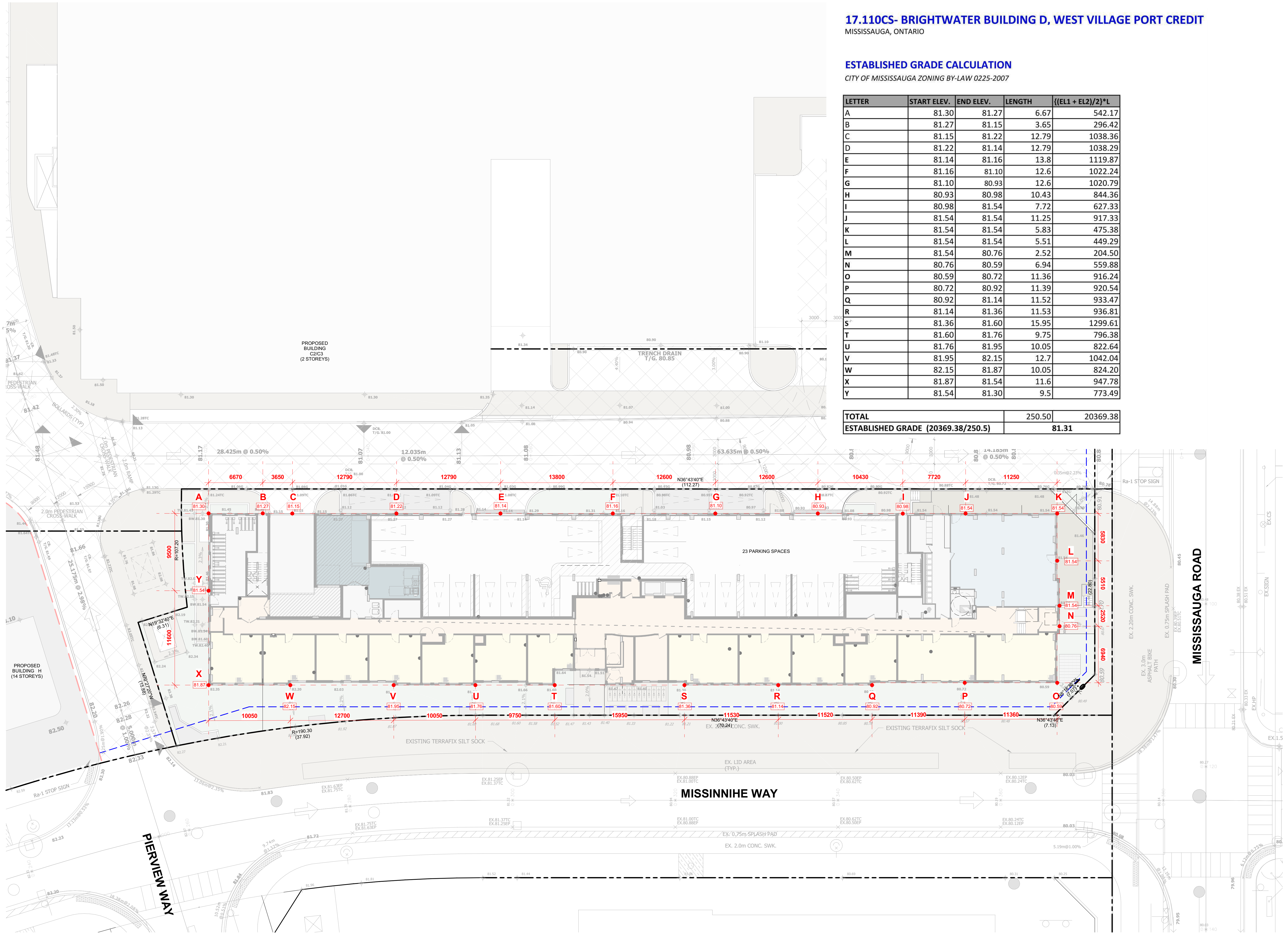
PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSINNIHIE WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

## 17.110CS- BRIGHTWATER BUILDING D, WEST VILLAGE PORT CREDIT MISSISSAUGA, ONTARIO

### ESTABLISHED GRADE CALCULATION CITY OF MISSISSAUGA ZONING BY-LAW 0225-2007

LETTER	START ELEV.	END ELEV.	LENGTH	$\{(EL1 + EL2)/2\} * L$
A	81.30	81.27	6.67	542.17
B	81.27	81.15	3.65	296.42
C	81.15	81.22	12.79	1038.36
D	81.22	81.14	12.79	1038.29
E	81.14	81.16	13.8	1119.87
F	81.16	81.10	12.6	1022.24
G	81.10	80.93	12.6	1020.79
H	80.93	80.98	10.43	844.36
I	80.98	81.54	7.72	627.33
J	81.54	81.54	11.25	917.33
K	81.54	81.54	5.83	475.38
L	81.54	81.54	5.51	449.29
M	81.54	80.76	2.52	204.50
N	80.76	80.59	6.94	559.88
O	80.59	80.72	11.36	916.24
P	80.72	80.92	11.39	920.54
Q	80.92	81.14	11.52	933.47
R	81.14	81.36	11.53	936.81
S	81.36	81.60	15.95	1299.61
T	81.60	81.76	9.75	796.38
U	81.76	81.95	10.05	822.64
V	81.95	82.15	12.7	1042.04
W	82.15	81.87	10.05	824.20
X	81.87	81.54	11.6	947.78
Y	81.54	81.30	9.5	773.49

TOTAL	250.50	20369.38
ESTABLISHED GRADE (20369.38/250.5)	81.31	



2	2020/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING  
200 MISSINNIHIE WAY, MISSISSAUGA, ON

DRAWING  
ESTABLISHED GRADE CALCULATION

PROJECT NO. 17.110CS	ONTARIO ASSOCIATION OF ARCHITECTS RUSSELL L. FLEISCHER LICENCE 5004
PROJECT DATE 2021-10-29	
DRAWN BY SKA	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO. SPA160	REV. 2
-----------------------	-----------



# TURNER FLEISCHER

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**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSISSINNIH WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL

**NOTE:** THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.

## EXTERIOR FINISHES LEGEND

1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
3B	PRECAST CONCRETE PANEL - CHARCOAL GREY
4A	CORRUGATED METAL CLADDING - LIGHT GREY
4B	CORRUGATED METAL CLADDING - DARK GREY
5	ALUMINIUM MULLION - DARK GREY
6	SPANDREL GLASS PANEL - GREY
7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY



2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

## FS BW Block D GP Inc.

141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

**DRAWING**  
**SOUTH ELEVATION**

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY AAF	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO. SPA301 REV. 2



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**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSISSINNIH WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL

**NOTE:** THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.

EXTERIOR FINISHES LEGEND	
1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
3B	PRECAST CONCRETE PANEL - CHARCOAL GREY
4A	CORRUGATED METAL CLADDING - LIGHT GREY
4B	CORRUGATED METAL CLADDING - DARK GREY
5	ALUMINIUM MULLION - DARK GREY
6	SPANDREL GLASS PANEL - GREY
7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY


2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

**FS BW Block D GP Inc.**

141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

**DRAWING**  
**NORTH ELEVATION**

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY AAF	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO. <b>SPA302</b>	REV. <b>2</b>
------------------------------	------------------



**1 NORTH ELEVATION**  
SPA302 1 : 200



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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINIE WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

NOTE: THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.

EXTERIOR FINISHES LEGEND


1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
3B	PRECAST CONCRETE PANEL - CHARCOAL GREY
4A	CORRUGATED METAL CLADDING - LIGHT GREY
4B	CORRUGATED METAL CLADDING - DARK GREY
5	ALUMINIUM MULLION - DARK GREY
6	SPANDREL GLASS PANEL - GREY
7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINIE WAY, MISSISSAUGA, ON

DRAWING  
**EAST AND WEST ELEVATIONS**

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY AAF	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.  
**SPA303**

REV.  
**2**



TURNER  
FLEISCHER

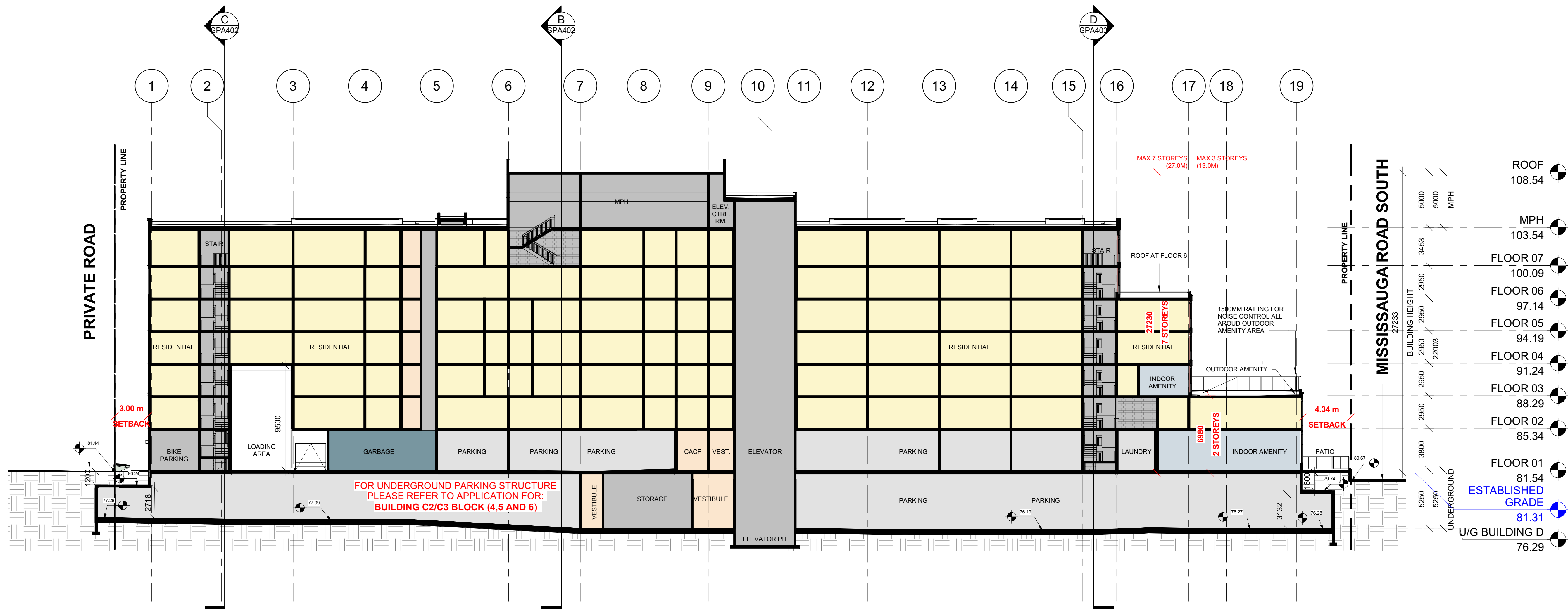
Turner Fleischer Architects Inc.

67 Leasmill Road  
Toronto, ON, M3B 2T8  
T 416 425 2222  
turnerfleischer.com

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**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSISSINNIH WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL

**NOTE:** THE MICROCLIMATE SPECIALIST SHALL CONFIRM TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT THAT THE 'AS CONSTRUCTED' BUILDINGS AND WIND MITIGATION MEASURES ARE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE PEDESTRIAN WIND COMFORT AND SAFETY STUDIES.



**A** BUILDING SECTION A  
SPA401 1 : 200

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

**FS BW Block D GP Inc.**  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

**DRAWING**  
**BUILDING SECTIONS**

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY AAF	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO. SPA401 REV. 2



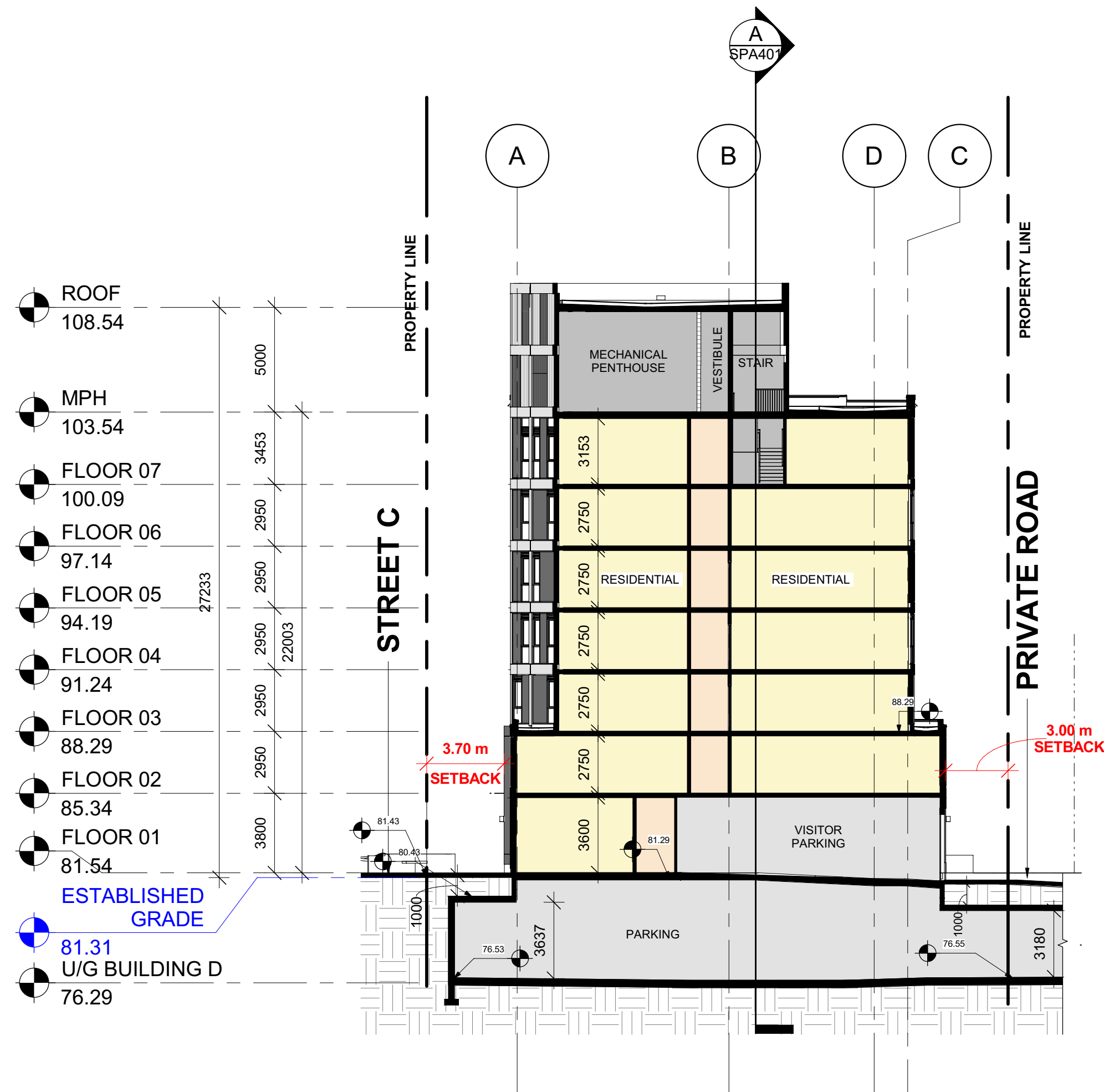
# TURNER FLEISCHER

Turner Fleischer Architects Inc.

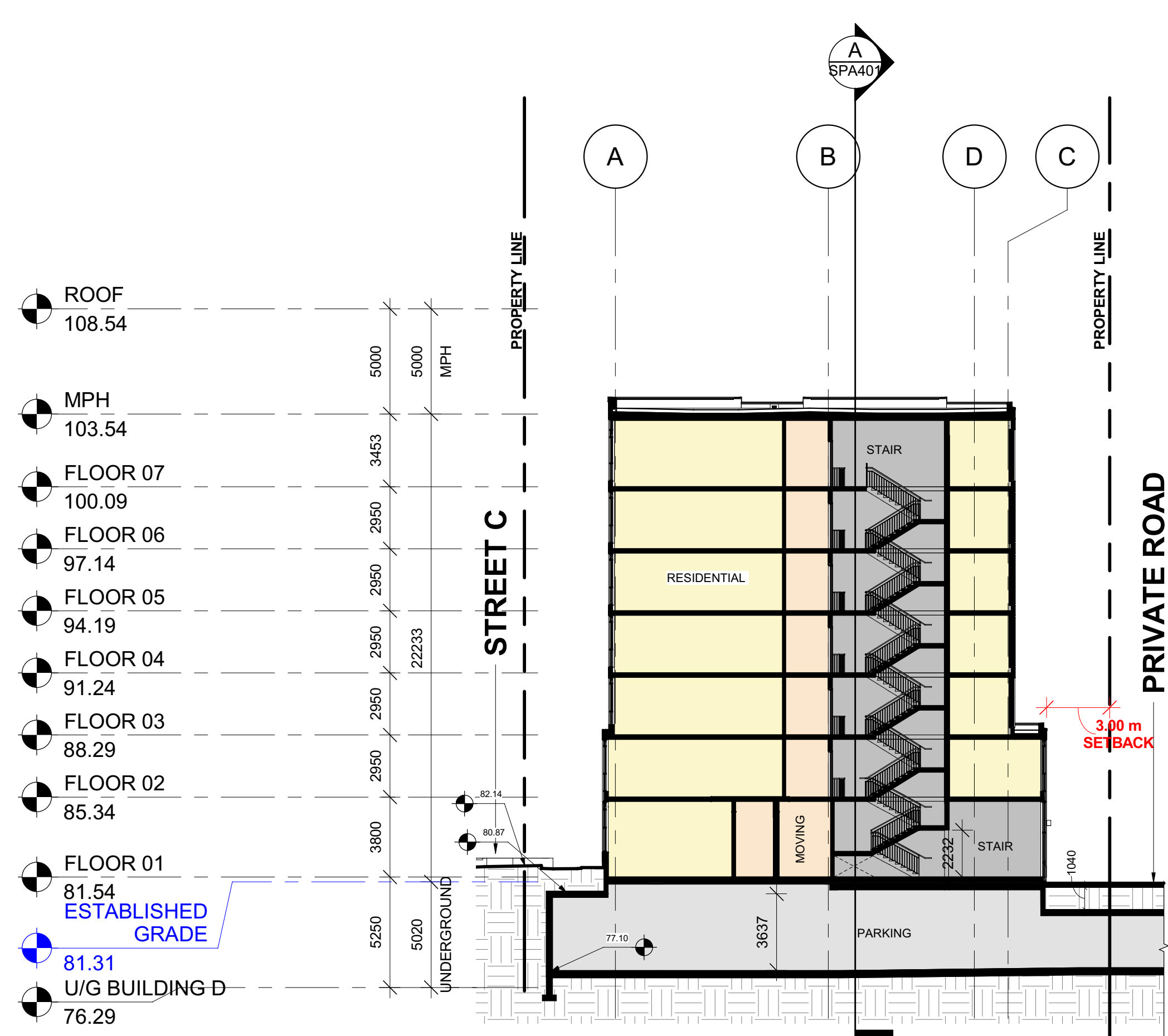
67 Leasmill Road  
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T 416 425 2222  
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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



B BUILDING SECTION B  
SPA402 1 : 200



C BUILDING SECTION C  
SPA402 1 : 200

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING  
**BUILDING SECTIONS**

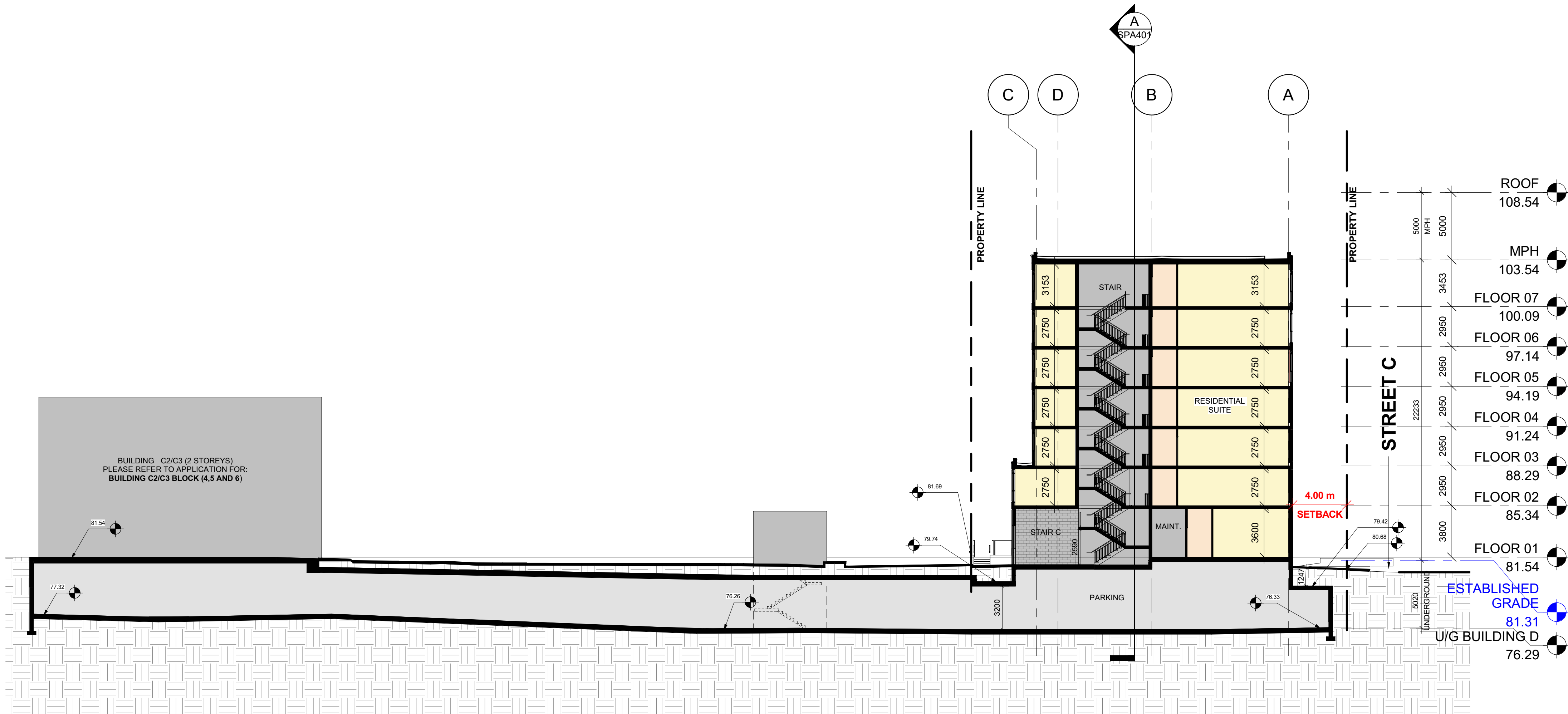
PROJECT NO.  
17.110CS  
PROJECT DATE  
2021-10-29  
DRAWN BY  
SKA  
CHECKED BY  
AAF  
SCALE  
1 : 200



DRAWING NO.  
**SPA402**  
REV.  
**2**

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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSINNIE WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL



D BUILDING SECTION D  
SPA403 1 : 200

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING  
200 MISSINNIE WAY, MISSISSAUGA, ON

DRAWING  
BUILDING SECTIONS

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY SKA	
CHECKED BY AYU	
SCALE 1 : 200	

DRAWING NO.  
SPA403

REV.  
2

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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEE

EXTERIOR FINISHES LEGEND	
1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
2	PRECAST CONCRETE PANEL WITH BRICK PATTERN STACK BOND - MEDIUM BROWN
3A	PRECAST CONCRETE PANEL - LIGHT GREY
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9	METAL FLASHING - CHARCOAL GREY

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

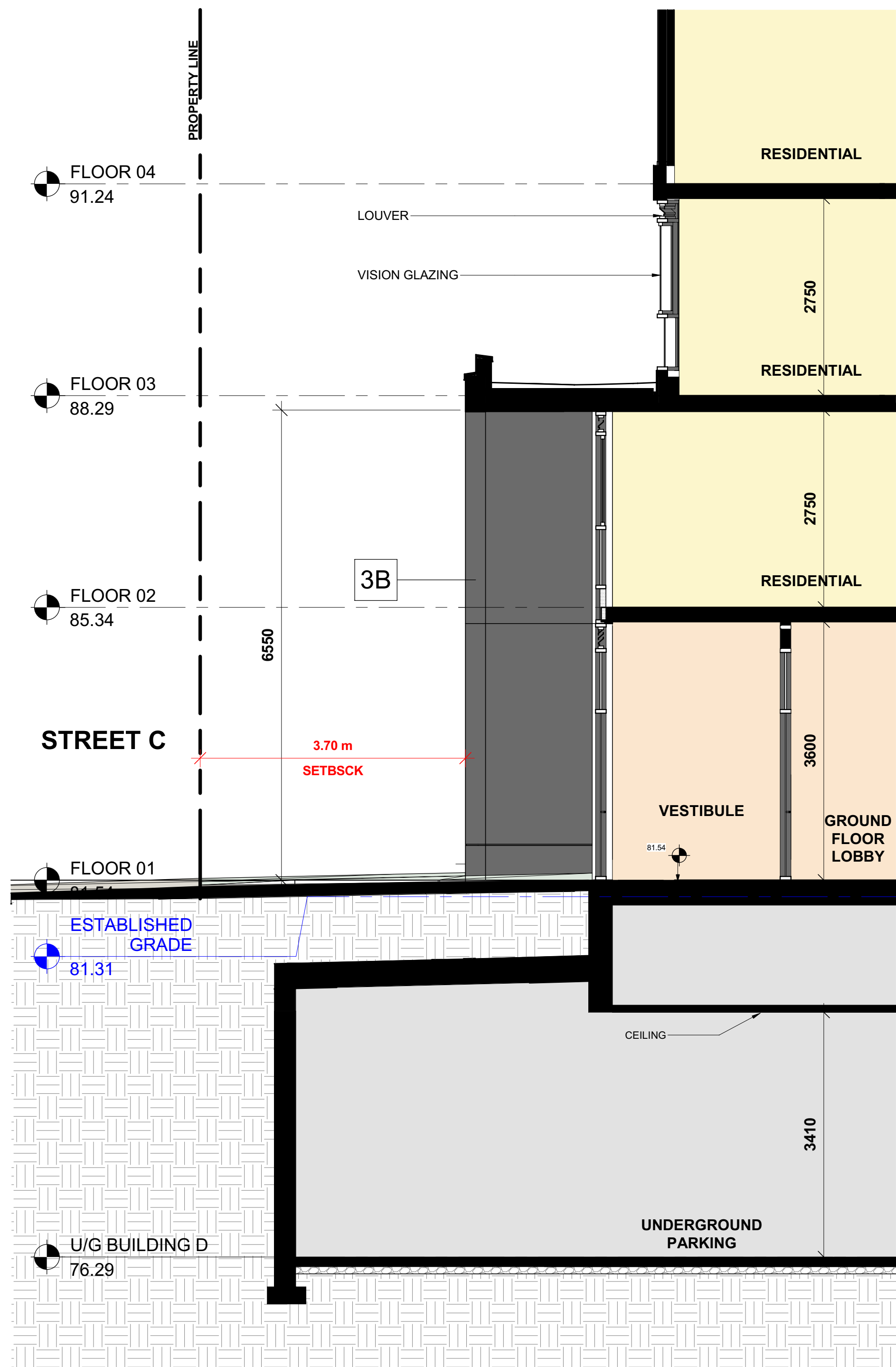
FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

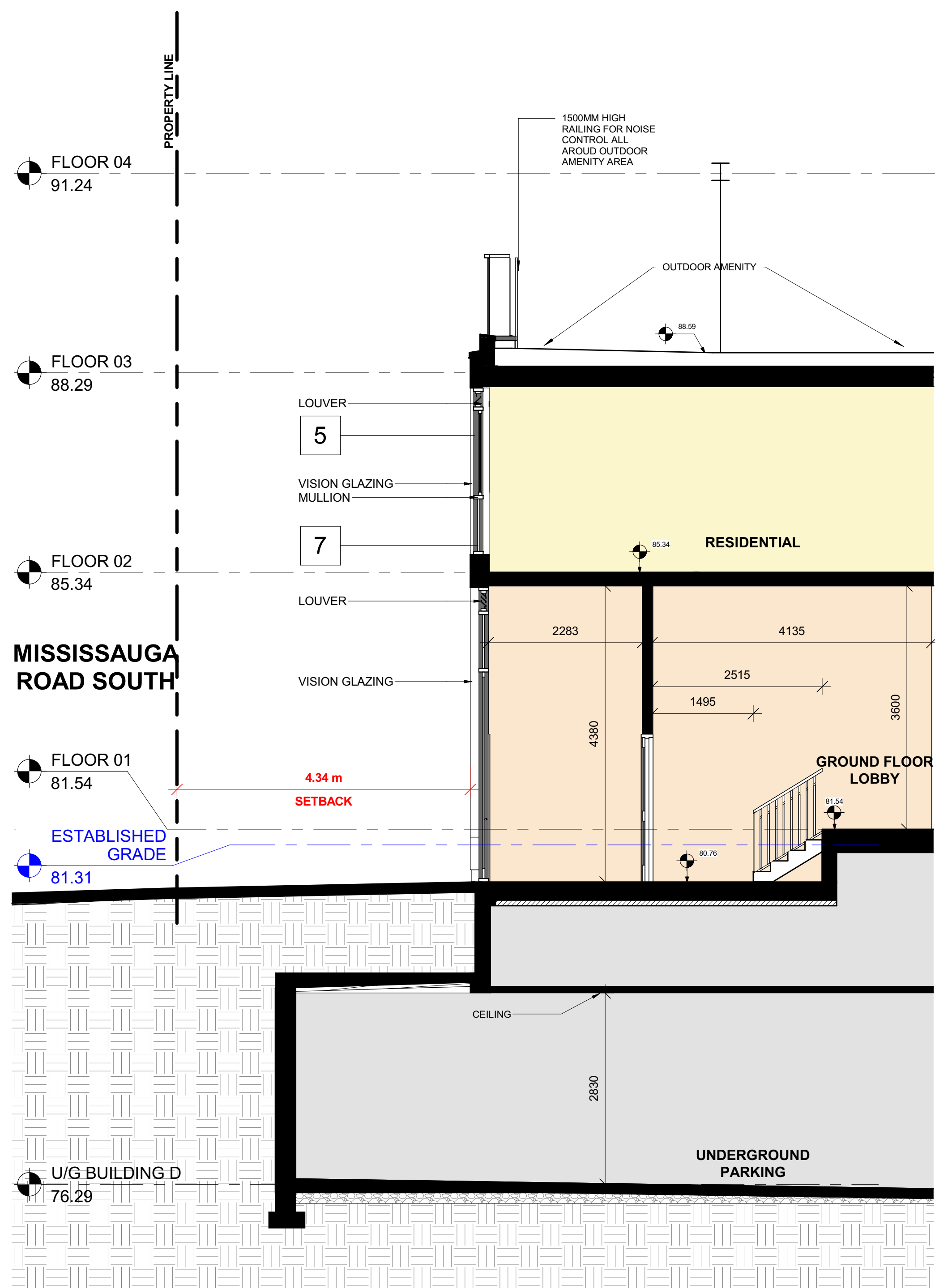
DRAWING  
1/50 SECTIONS

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY JMS	
CHECKED BY AAF	
SCALE As indicated	

DRAWING NO. SPA404	REV. 2
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1 MAIN ENTRANCE  
SPA404 1 : 50



2 EAST ENTRANCE  
SPA404 1 : 50



# TURNER FLEISCHER

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67 Leasmill Road  
Toronto, ON, M3B 2T8  
T 416-425-2222  
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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

## EXTERIOR FINISHES LEGEND

1	PRECAST CONCRETE PANEL WITH BRICK PATTERN RUNNING BOND - MEDIUM BROWN
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7	CLEAR GLAZING
8	TOPHAT WINDOW WALL PANEL - CHARCOAL GREY
9	METAL FLASHING - CHARCOAL GREY

2	2020/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

## FS BW Block D GP Inc.

141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

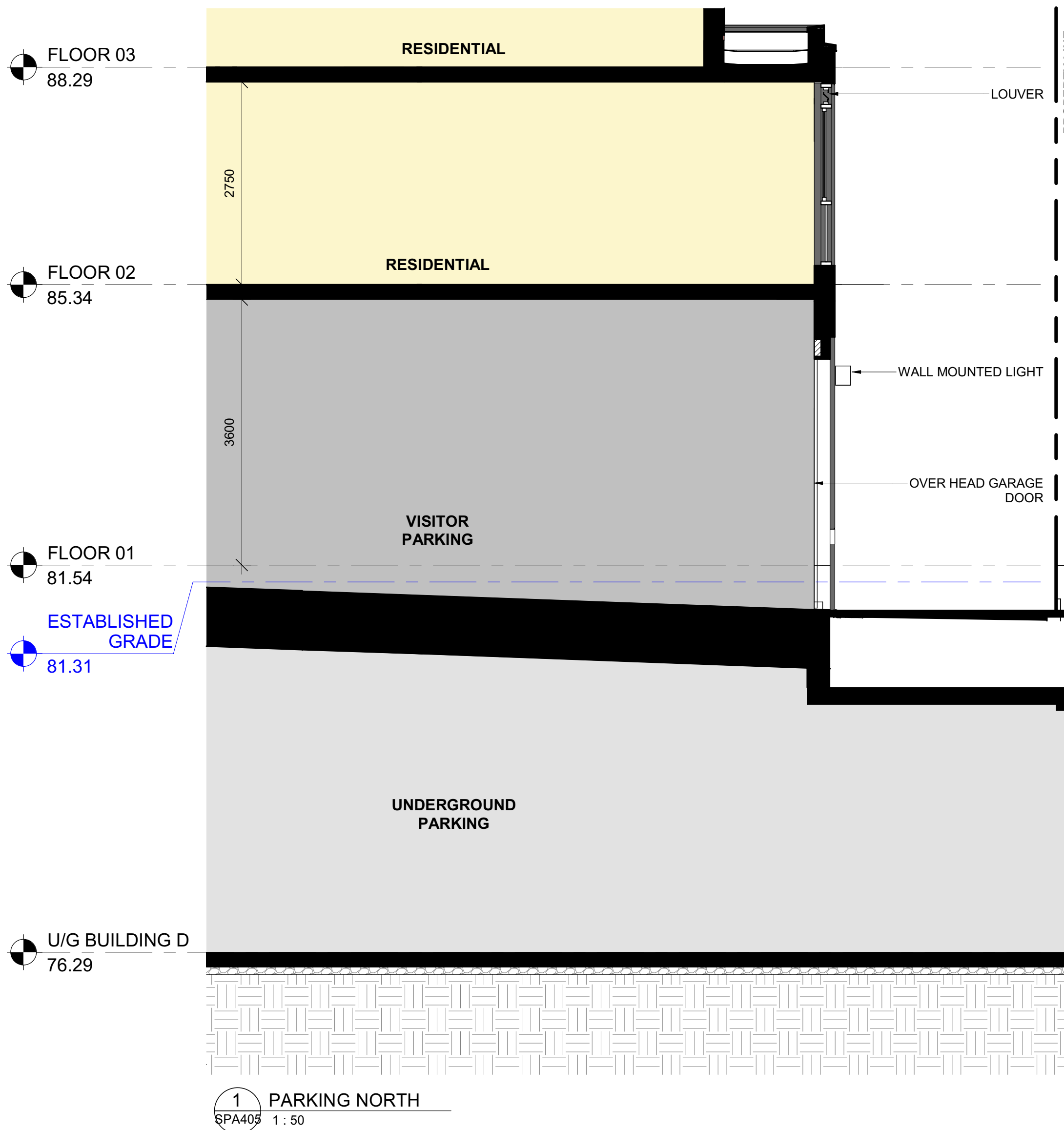
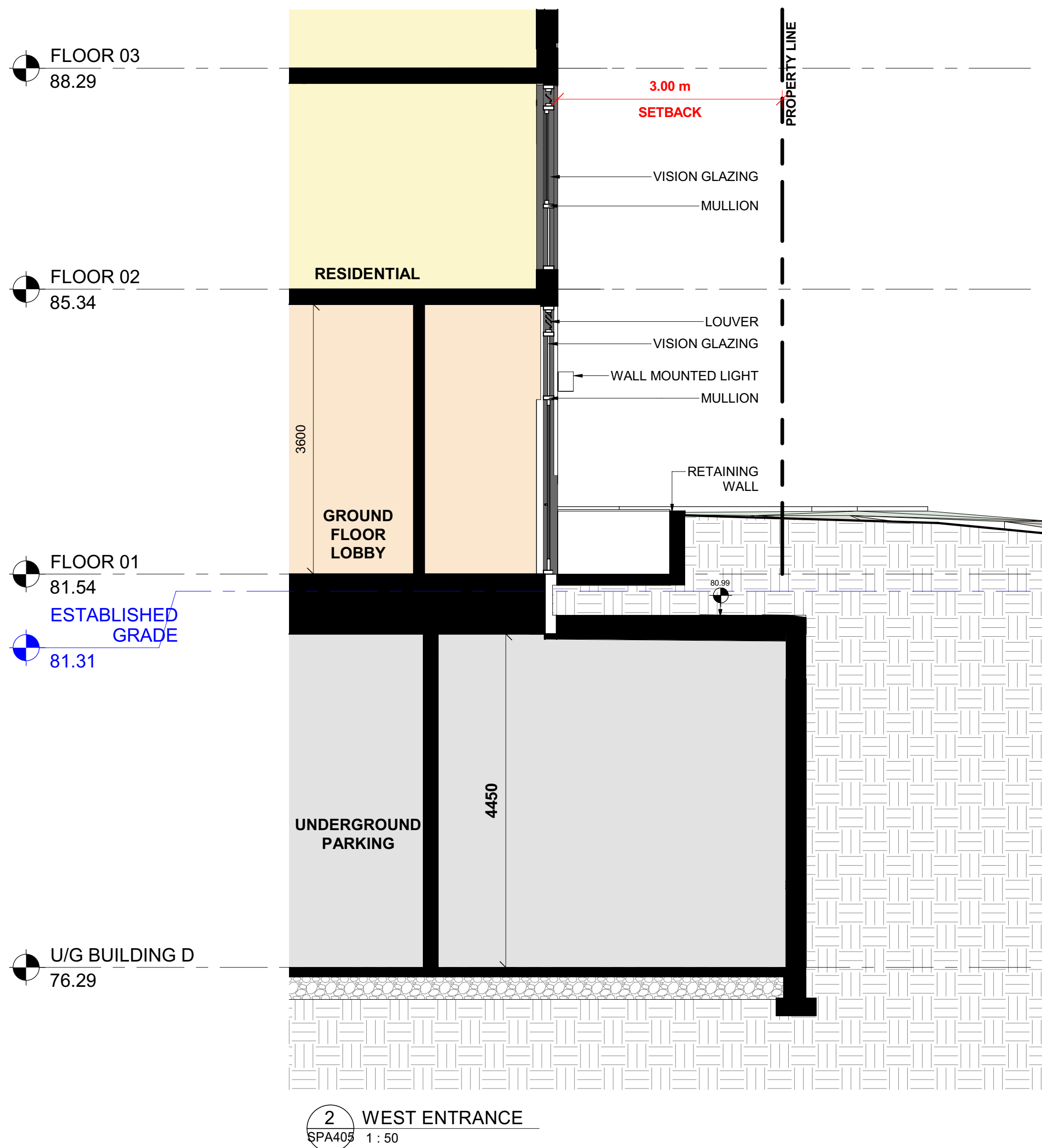
DRAWING

1/50 SECTIONS

PROJECT NO.  
17.110CS  
PROJECT DATE  
2021-10-29  
DRAWN BY  
JMS  
CHECKED BY  
AAF  
SCALE  
As indicated

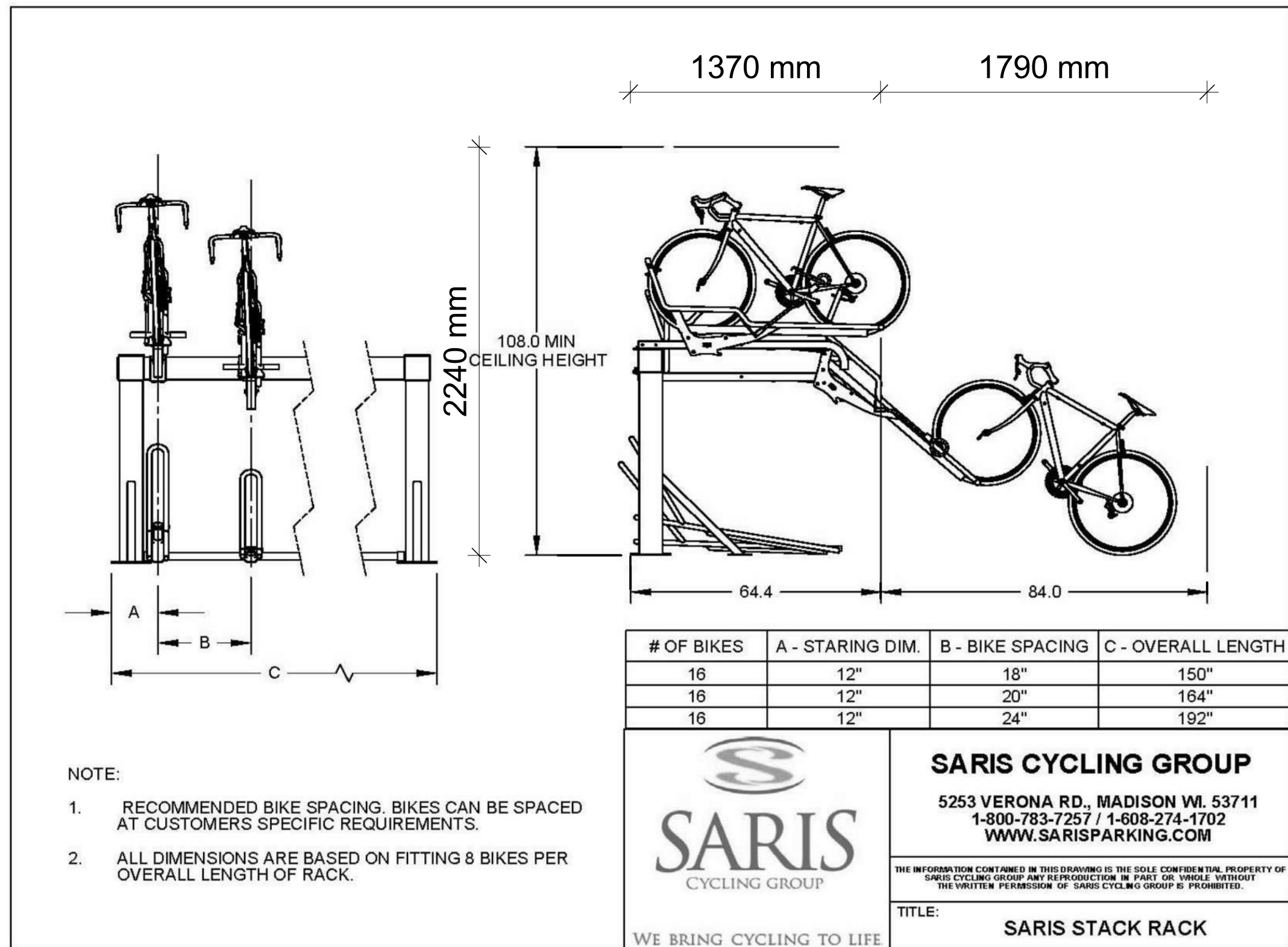


DRAWING NO. SPA405  
REV. 2

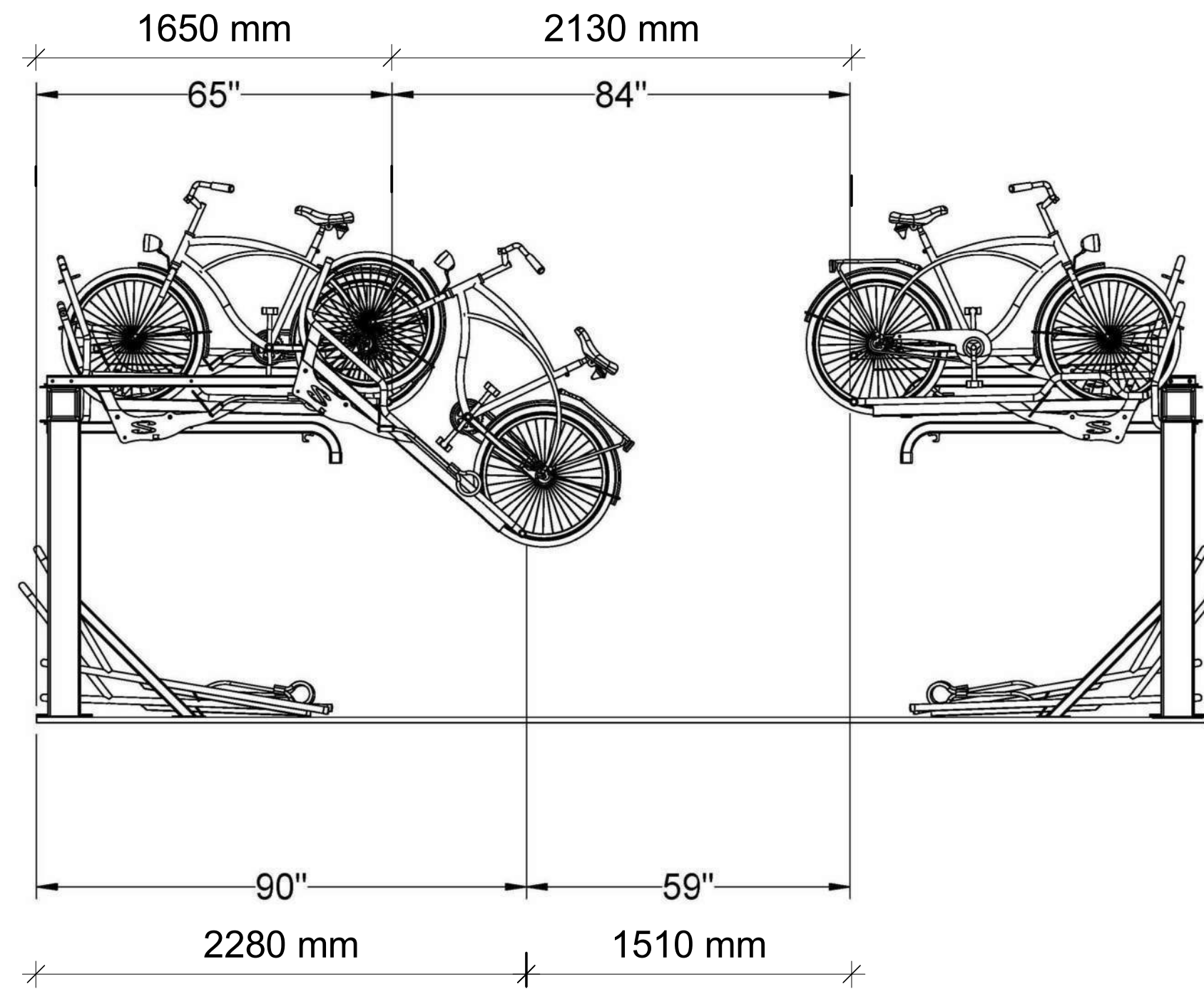


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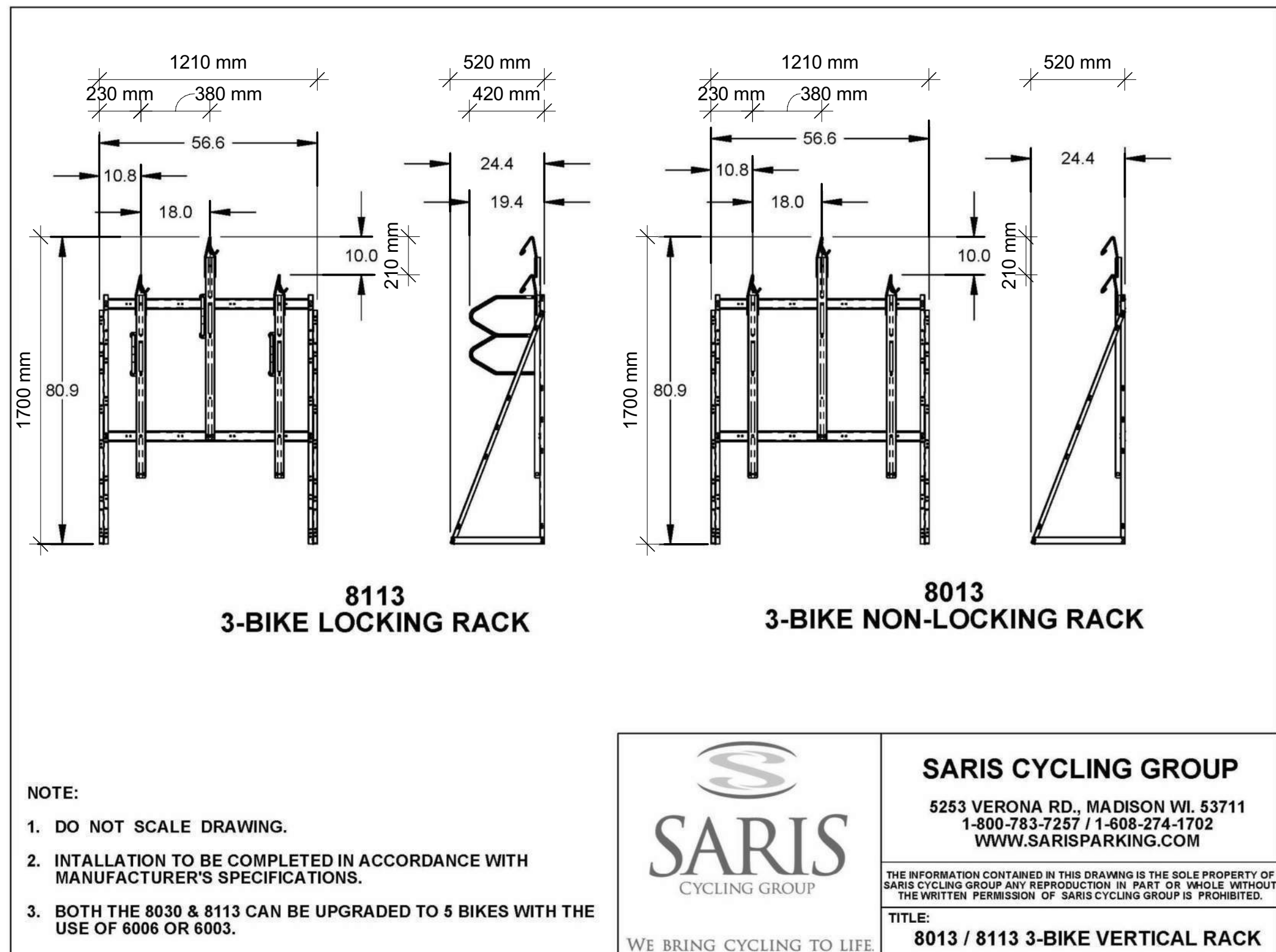
**PROJECT NUMBER:** SP 21-187 W1  
**MUNICIPAL ADDRESS:** 200 MISSINNIHIE WAY  
**PROJECT DESCRIPTION:** 7 STOREY RENTAL APARTMENT, REGION OF PEEL



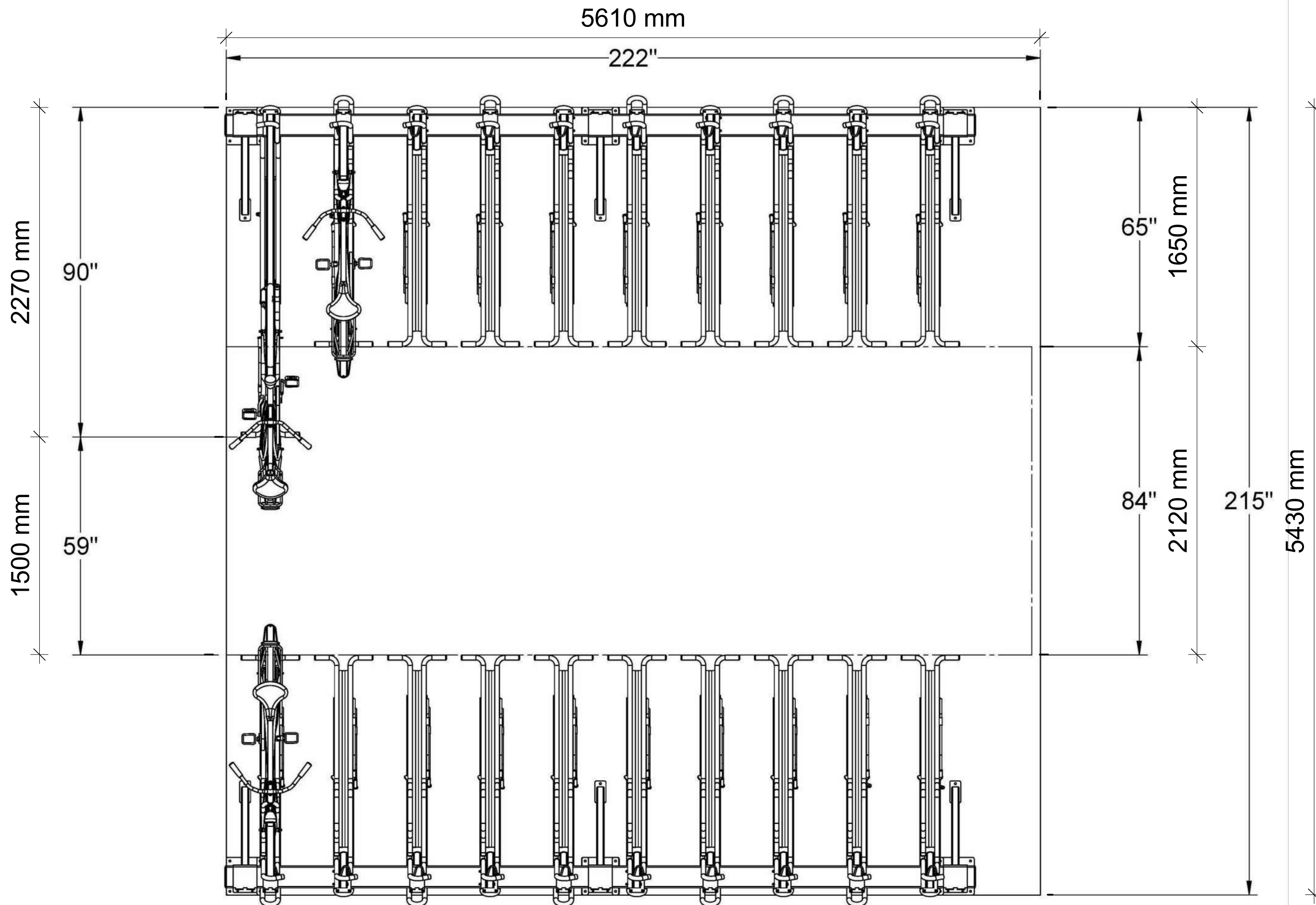
SPECIFICATIONS OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES



SECTION OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES



SPECIFICATIONS OF SARIS VERTICAL BICYCLE PARKING SPACES



PLAN OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

**FS BW Block D GP Inc.**  
 141 Lakeshore Road East,  
 Mississauga,  
 ON, L5G 1E8

**PROJECT**  
**BRIGHTWATER BUILDING D**  
**PROPOSED RESIDENTIAL BUILDING**  
 200 MISSINNIHIE WAY, MISSISSAUGA, ON

**DRAWING**  
**DETAILS (SARIS BIKE RACK)**

PROJECT NO.  
17.110CS  
 PROJECT DATE  
2021-10-29  
 DRAWN BY  
AAF  
 CHECKED BY  
AYU  
 SCALE  
1 : 25

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
 RUSSELL L. FLEISCHER  
 LICENCE  
5004

DRAWING NO.  
**SPA600**  
 REV.  
**2**





VIEW FROM MISSISSAUGA RD SOUTH LOOKING NORTH WEST



VIEW FROM MISSISSAUGA RD SOUTH LOOKING SOUTH WEST



VIEW TOWARDS NORTH FROM STREET C

# TURNER FLEISCHER

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67 Leslie Road  
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T 416 425 2222  
turnerfleischer.com

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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSAUGA WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEEL

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

**FS BW Block D GP Inc.**  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSAUGA WAY, MISSISSAUGA, ON

DRAWING  
**3D PERSPECTIVES**

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY SKA	
CHECKED BY AYU	
SCALE	

DRAWING NO. **SPA801** REV. **2**



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PROJECT NUMBER: SP 21-187 W1  
MUNICIPAL ADDRESS: 200 MISSISSINNIH WAY  
PROJECT DESCRIPTION: 7 STOREY RENTAL APARTMENT, REGION OF PEE



VIEW LOOKING NORTH EAST FROM STREET C



VIEW OF MAIN ENTRANCE FROM STREET C



ENTRANCE TO CAR PARKING AT NORTH ELEVATION

2	2022/04/22	ISSUED FOR SPA RE-SUBMISSION	AYU
1	2021/10/29	ISSUED FOR SPA	AYU
#	DATE	DESCRIPTION	BY

FS BW Block D GP Inc.  
141 Lakeshore Road East,  
Mississauga,  
ON, L5G 1E8

PROJECT  
**BRIGHTWATER BUILDING D  
PROPOSED RESIDENTIAL BUILDING**  
200 MISSISSINNIH WAY, MISSISSAUGA, ON

DRAWING  
**3D PERSPECTIVES**

PROJECT NO. 17.110CS	
PROJECT DATE 2021-10-29	
DRAWN BY SKA	
CHECKED BY AYU	
SCALE	

DRAWING NO. <b>SPA802</b>	REV. <b>2</b>
------------------------------	------------------



**APPENDIX C:** Block D Site Photos (March 2022)

1. View looking north on Mississauga Road at intersection of Port Street West.



2. View of the Property on the east side of Mississauga Road across from Block D.



3. View looking south on Mississauga Road.



4. View looking south east along Mississauga Road.