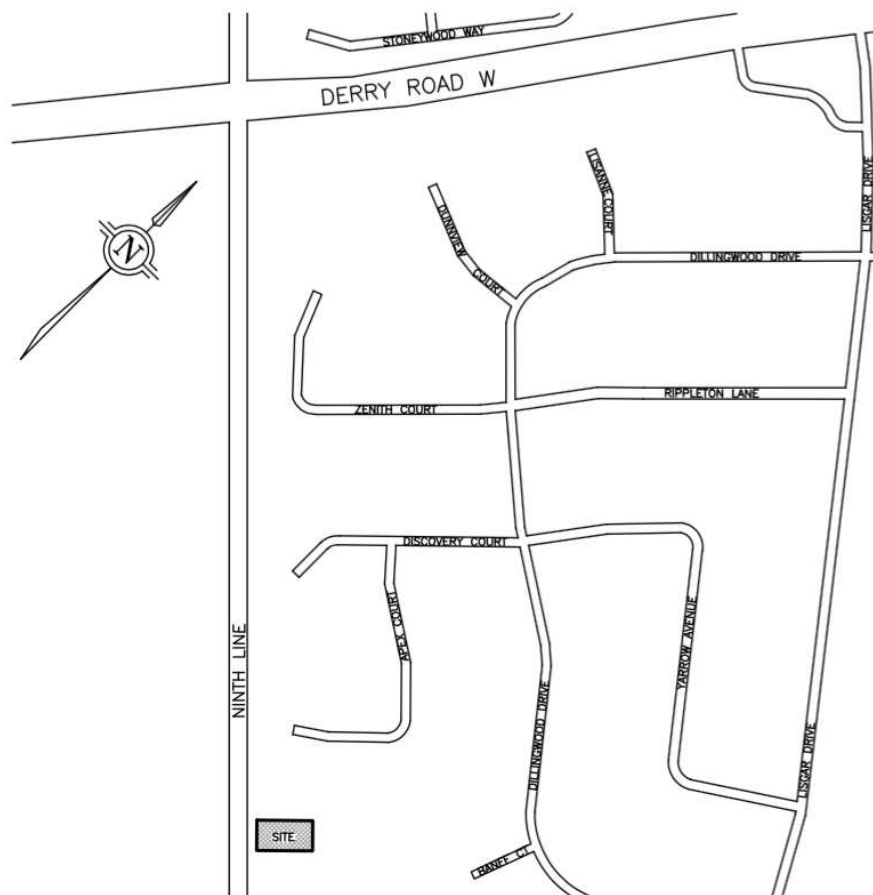


Overview:

This report is prepared to address the proposed re-development of the property at 6671 Ninth Line, Mississauga, ON.

Rick Mateljan of Strickland Mateljan Design Associates Ltd. was engaged by the property owner to carry out a sympathetic addition to this presently un-inhabited property and to complete a Heritage Impact Study to assess the impact of this intervention.

The property consists of a 1 ½ storey wood clad single family dwelling and a 1 storey brick dairy building with sheet metal roof. Both are proposed to be renovated under this application.

Key map:

Background

This property has been the subject of much study and several previous applications to the City of Mississauga Heritage Advisory Committee. This Heritage Impact Statement relies upon much of this previously submitted information, including:

- *Heritage Impact Statement, Cordingley House, 6671 Ninth Line, Mississauga* by The Landplan Collaborative Ltd. November 17, 2010 addendum October 04, 2011 (relevant excerpt appended below as Appendix 1)
- *Heritage Impact Statement, Cordingley House Restoration & Renovation, 6671 Ninth Line, Mississauga* by CHC Limited, April 23, 2015 (relevant excerpt appended below as Appendix 2)
- *Structural Engineering Report, Foundation of Existing House at 6671 9th Line, Mississauga* by World Engineering Ltd. and Halton Hills Design Build, Sept 28 2014 (*included in above report*)
- *Structural Review and Recommendations for the Cordingley House, 6671 Ninth Line, Mississauga* by Shoalts Engineering, March 29, 2015 (*appended below as Appendix 3*)

The purpose of the 2010/2011 application was to permit the subdivision of the property into residential lots (the present Banff Crt.) and the creation of two multi-family buildings to the north and south of the subject property fronting onto Ninth Line. The applications involved the demolition of an older barn on the property but no changes to the house or dairy building on the site. This applications were successful and the construction of these residences is complete.

The purpose of the 2015 application was to permit renovations to the existing building consisting of demolition of the existing rear-most parts of the building, raising of the remaining building on a new foundation and the creation of a new 1 ½ storey addition with attached garage and the rear of the dwelling. The dairy building was not proposed to be altered as part of this proposal. This proposal was not successful and did not go forward.

The Structural Engineering Report by World Engineering (commissioned by the property owner) opined that the foundation was beyond repair and rearmost structure of the building would need to be removed to facilitate replacement. The Shoalts Engineering report (commissioned by the City of Mississauga) also advocated replacement of the foundation by believed that the frame structure above was worthy and capable of repair and reuse.

This author supports the conclusions of the 2010/2011 and 2015 Heritage Impact Statements and the 2015 Shoalts Engineering Report. Where possible, this Heritage Impact Statement refers to the information and conclusions in these reports rather than re-examining these issues.

Terms of Reference

The City required terms of reference are as follows:

1. *A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.*

- This information is included in the 2010/2011 and 2015 Heritage Impact Statements

2. *A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.*

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

- This information is included in the 2010/2011 and 2015 Heritage Impact Statements and in the Shoalts Engineering Report. The reports are in general accordance as to the heritage attributes of the building but differ in that the Heritage Impact Statements indicate that the front part of the existing house was constructed first and the rear part constructed second whereas the Shoalts report believes that the rear part was the first constructed. This author believes that the Shoalts report is the correct interpretation.

3. *Documentation of the existing conditions related to the heritage resource will include:*

-Current legible internal photographs, external photographs from each elevation.

Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.

- Some photographs are included here. The various Heritage Impact Statements and Engineering reports include a great number of photographs of the existing condition

-Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated.

-Historical photos, drawings, or other archival material that may be available or relevant.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

- This information is included here and also covered in the earlier reports.

4. *An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands*

on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analysed in terms of its compliance with the Heritage Conservation District Plan.

Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

- [This is included here and also covered in the 2015 HIS. The required streetscape drawing is in the 2015 HIS.](#)

5. Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.

- [These are included here.](#)

6. An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:

*-Alternative development approaches
-Isolating development and site alteration from the significant built and natural heritage features and vistas
-Design guidelines that harmonize mass, setback, setting and materials
-Limiting height and density
-Allowing only compatible infill and additions
-Reversible alterations*

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

- [The proposal described here follows from an earlier unsuccessful proposal and has been widely discussed with heritage staff. No alternative design options are presented.](#)

7. A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)

- [These are included here and also discussed in the earlier Heritage Impact Statements](#)

8. Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.

- [This is discussed here](#)

9. When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

- No such mitigation measures are proposed

Summary Statement and Conservation Recommendations:

The summary should provide a full description of:

- The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable*
- The identification of any impact that the proposed development will have on the cultural heritage resource*
- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended*
- Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate*

Mandatory Recommendation:

The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions must be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*
- If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not*
- Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:*

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

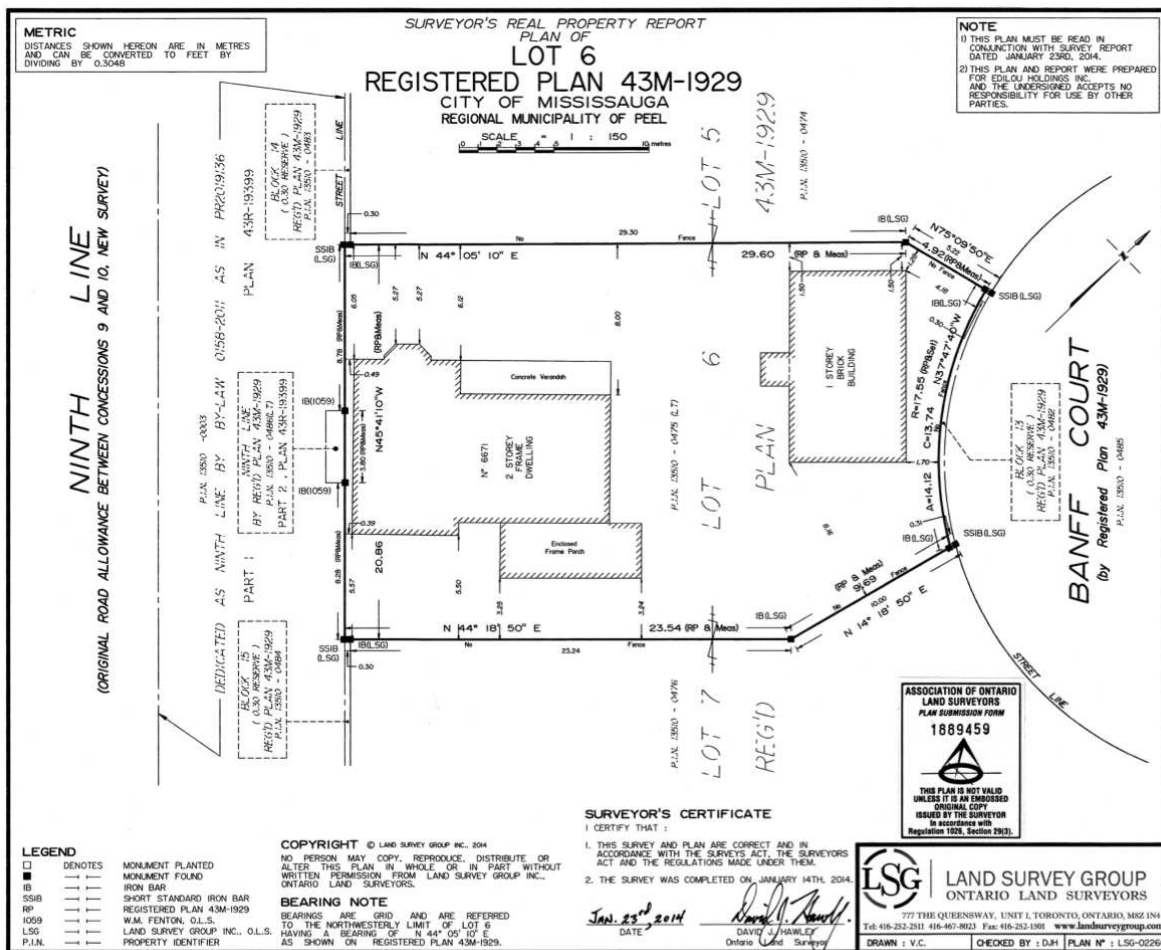
Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

Site History:

This is examined in detail in the 2010/2011 and 2015 Heritage Impact Statements.

Existing conditions on-sight

This is examined in detail in the 2010/2011 and 2015 Heritage Impact Statements and the Shoalts Engineering report.



EXISTING PROPERTY SURVEY



FRONT ELEVATION



PARTIAL FRONT & SOUTH ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



BASEMENT



SECOND FLOOR



MAIN FLOOR FRONT



MAIN FLOOR REAR



MAIN FLOOR SUNROOM



WEST ELEVATION DAIRY BUILDING



SOUTH ELEVATION DAIRY BUILDING



EAST ELEVATION DAIRY BUILDING

Building Condition Assessment and Conservation Recommendations:

The 1880's and 1840's elements of the house are generally in good condition and the later sunroom addition is in fair condition. The dairy building in poor/fair condition.

See detailed assessments in the 2011/2015 Heritage Impact Statements and the 2015 Shoalts Engineering Report.

Architectural style and assessment:

The house is a classic Ontario Gothic Farmhouse style. This is consistent with it's reported 1840's to 1880's construction period. The dairy building is a vernacular agriculture building.

See detailed assessments in the 2011/2015 Heritage Impact Statements (Appendix 1 & 2).

Context:

The property is located on the east side of Ninth Line, south of Derry Rd.

To the east is the newer development of Banff Court. To the north and south are newer low-rise multi-residential buildings built in faux-heritage style. To the west is a dense forested green-space and beyond that Highway 407.

See detailed description and assessment in the 2015 Heritage Impact Statement (Appendix 2)



CONTEXT PLAN SHOWING HOMES OF BANFF CRT. UNDER CONSTRUCTION

Analysis:

The 2010/2011 Heritage Impact Statements and 2015 Shoalts Engineering Report concluded that these buildings are of significant cultural heritage value and meet the criteria for designation under the Ontario Heritage Act. This writer supports these conclusions.

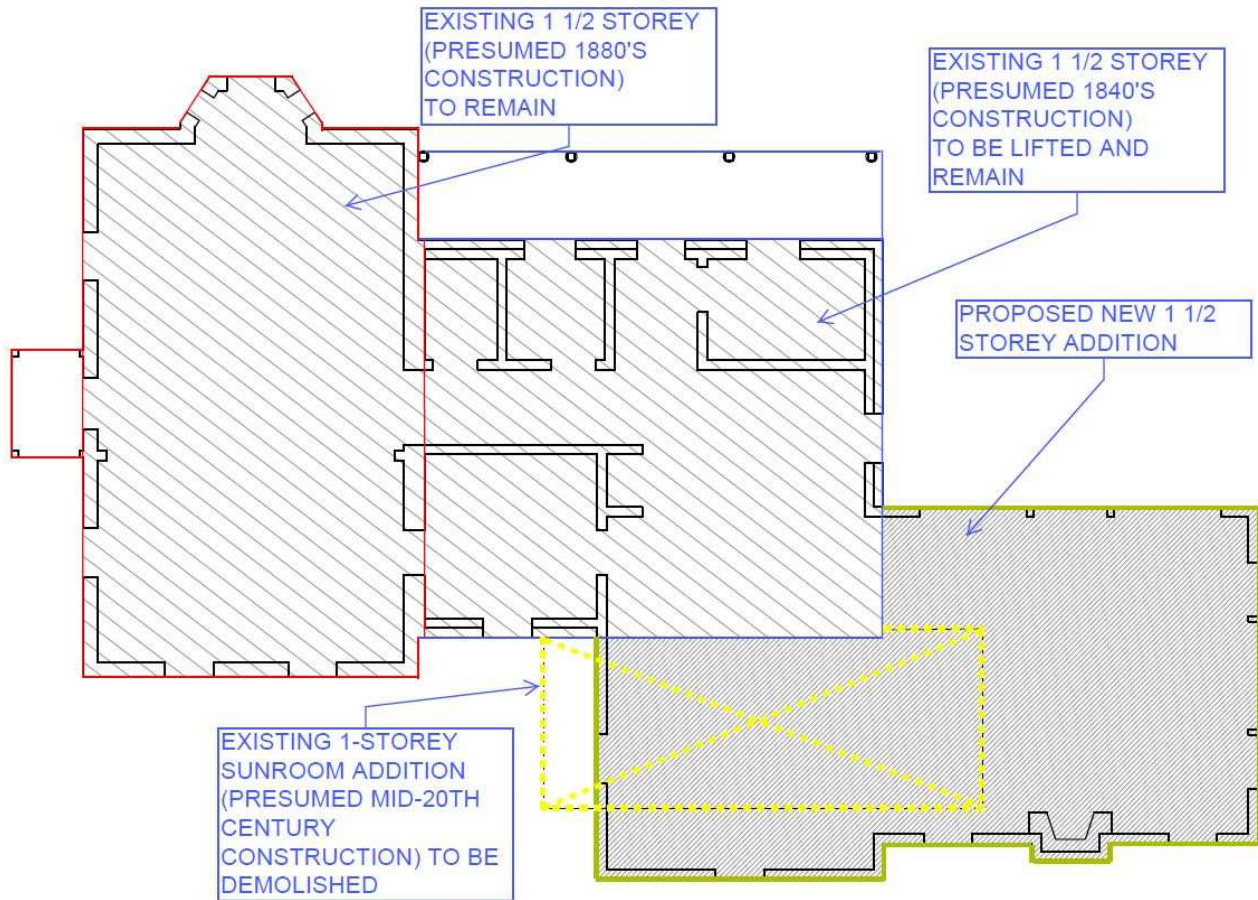
Proposal:

House: The proposal calls for the demolition of the existing one-storey sunroom addition at the south-east corner of the house, relocation of the existing house 1.6m deeper into the lot on a new foundation and for a 1 ½ storey addition with 600 sq. ft. footprint to be constructed behind and to the south of the existing home.



1-STOREY SUNROOM ADDITION TO BE DEMOLISHED

The addition is not original to the home and not important to its heritage value. It's appearance and detailing is suggestive of mid-20th century construction



PROPOSED CONSTRUCTION KEY PLAN

The 1 ½ storey element of the building nearest the street (presumed 1880's construction) will be conserved under this proposal. The 1 ½ storey element behind this (presumed 1840's construction) will be lifted approx. 12" to bring the floor levels of these parts of the building into alignment and this part of the building will be conserved. A new concrete foundation will be constructed under these parts of the existing building. A new 1 ½ storey addition also with new basement will be constructed at the south-east corner of the building.

The overall appearance of the building from Ninth Line will be little changed by this proposal. The new 1 ½ storey addition to the south-east is set far back from the front face of building and while larger than the existing 1-storey element that it replaces will not visually dominate the existing. The raising of the 1840's element of the building will not be significant to the heritage character of the building. It will remain a visually secondary element to the 1880's construction. The raising of the floor level has significant practical considerations as regards the ability to conserve the building because the present grading situation is such that the floor level of this part of the building is virtually flush with the exterior grade. This makes it very difficult to prevent water entry into the building and deterioration of structural and finishing elements. Raising the building will help this significantly.

As part of this renovation the existing bell cote on the 1840's building will be re-located to make it symmetrical with the north facing gable. The bell cote is believed to have been re-located at some point in the past and its present location at the extreme east side of the structure is unusual and awkward. Locating it centrally above the gable would likely have been the original intent.

The existing windows, siding materials and architectural detailing on the 1880's and 1840's elements of the building show evidence of incremental repair and replacement as would be expected on a building of this age but are generally in good condition and expected to be conserved where possible.

The proposed siding on the new addition is board & batten. This was chosen intentionally to contrast with the horizontal siding of the existing building (board & batten is also an authentic material for this building – the sunroom proposed to be demolished is clad in board & batten). The proposed fenestration on the new addition is complimentary in character to the existing fenestration but intentionally more contemporary in character. The intention of the addition is to be sympathetic to the existing building but to be distinct from it.

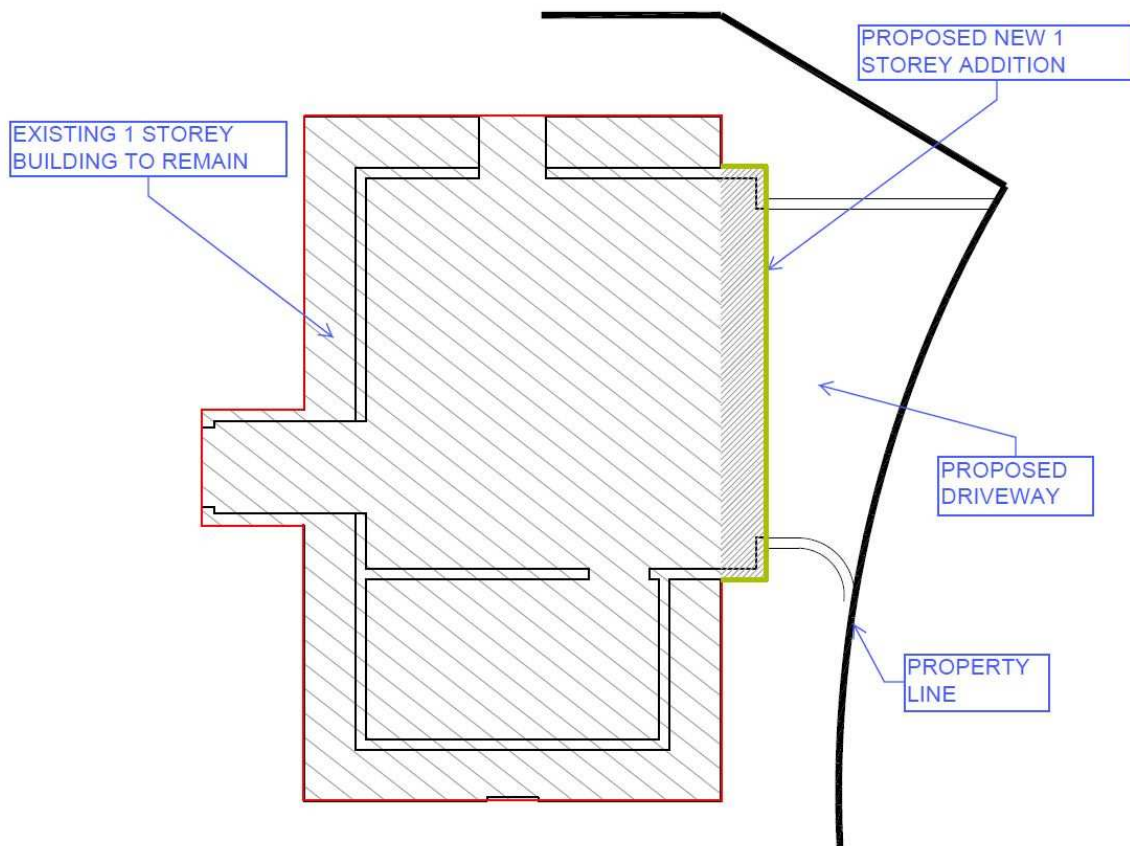
The proposed addition is lower in height than the 1880's element of the building. It is the same height as the 1840's element of the building (once this is raised) however these roofs remain distinct and are minimally connected. This helps to maintain the distinctiveness of the various elements of the building and not to allow the addition to dominate or to detract from the heritage character of the existing.

Dairy shed: The existing dairy shed is proposed to be converted to a two car garage. To effect this a small addition approx. 2'4" x 20' is proposed to be constructed on the east elevation of the building.

Above the addition a shed roof will be constructed with detailing similar to a traditional dormer. The purpose of this addition and roof is to permit the ceiling height to be raised to permit garage doors and the entry of vehicles. The existing building has very low soffit heights and limited interior height and vehicles could not be accommodated in its present condition.

The proposed renovations to this building will not affect its appearance from Ninth Line. The appearance from the east (Banff Court) will change but the proposed addition and roof are designed to be as minimal as possible and visually secondary to the character of the building.

The brick walls of the dairy shed are proposed to be retained and conserved as part of this proposal. The existing metal roof is in very poor condition, no longer serviceable and will be replaced with asphalt shingle.



PROPOSED CONSTRUCTION KEY PLAN - DAIRY SHED (GARAGE)

Zoning By-Law and other Municipal approvals:

The subject property is zoned R1-47 under the City Zoning By-law 0225-2007. This is a restrictive site-specific by-law that was put in place at the time of the Part IV designation. The zoning permits the existing heritage building and existing heritage outbuilding as permitted uses only.

The proposed addition to the home meets all required setbacks and height requirements. The existing building is non-compliant as regards lot coverage and the proposed additional will further increase this situation. A Committee of Adjustment variance will be necessary to allow this.

The proposed dairy shed/garage addition meets all required setback and height requirements except that the setback to the new garage doors will require a variance. The garage addition will also slightly increase the lot coverage and contribute to the variance required above. The change of use of the dairy shed to garage will also likely require a variance because of the restrictive use provisions of the site-specific by-law.

The property is under Site Plan Control and will be required to go through that process.

No other Municipal approvals will be required.

Conservation Principles¹:

Respect for documentary evidence: little original material is proposed to be replaced and the proposal does not rely upon documentary evidence as part of the building conservation.

Respect for the original location: no re-location of the heritage resource is proposed. The 1840's element is proposed to be slightly lifted but this will bring it into a traditional relationship with the existing grade and align the floor levels of the building. This lifting is not significant to the heritage character of the building.

Respect for historic material: Minimal loss of significant historic material is proposed. This loss is restricted to some minimal loss of original framing and trim materials to effect the additions. There will also be some window re-locations and removals at the rear of the existing building. There will be some loss of original brick materials to effect the garage door addition to the dairy shed.

Respect for original fabric: Existing materials to remain will be conserved.

Respect for the building's history: The building's history as a single family residence will be continued.

Reversibility: Original bricks removed during the renovation are recommended for retention on site for future repairs. It is highly unlikely that these additions would be reversed.

Legibility: The proposed additions are demonstrably different from the original heritage buildings.

Maintenance: Ongoing periodic maintenance is expected to take place.

Alternative Design Options:

The project requirements were to increase the functionality and interior space of the home, to provide a more attractive and functional rear yard condition and to find an adaptive re-use for the dairy shed. Other options for re-development of this site were previously proposed to the City of Mississauga Heritage Advisory Committee and were not supported. This design reflects comments that were given at that time, later consultation with Heritage Staff and elected representatives and was chosen as the least intrusive way of accomplishing the design requirements.

The location of the proposed additions to the house and dairy shed were chosen to be minimally visible from the street and to not significantly alter the appearance of the buildings.

¹ Ontario Heritage Trust: "Eight Guiding Principles in the Conservation of Heritage Properties"

Summary Statement and Conservation and Mitigation Recommendations:

The City of Mississauga Heritage Register identifies the following elements to be of significance regarding this building:

The Cordingley House has physical/design value because it displays a high degree of craftsmanship and artistic merit. Additionally, it is a rare example of the Gothic Revival style in the Meadowvale/Lisgar area. The property is also a rare example of one owned by the same family since the Crown patent.

The Cordingley House has historical/associative value because it yields information about McCurdy's Corners.

The Cordingley House has contextual value because it is historically linked to its surroundings.

Description of Heritage Attributes

Key attributes that reflect Cordingley House's physical/design value:

- o its Gothic Revival farmhouse shape and form*
- o the three bay facades on both the front and 'tail'*
- o the centre gables*
- o the placement of the central entrances under the centre gables*
- o its Gothic Revival features*
- o the tall narrow proportions of its windows*
- o the steep roof pitch*
- o the seemingly asymmetrical arrangement of the chimneys*
- o the bell cote*
- o the balustrade*
- o the north veranda*
- o the front porch, including doors, windows, transom, brackets and detailing*
- o the original doors*
- o the vergeboard*
- o the shutters*
- o the original windows*
- o the window surrounds*
- o the bay window, including its mansard roof and lower panelling*
- o all trim, brackets, fretwork and detailing*
- o the wooden clapboard and board 'n batten siding*
- o the brick outbuilding, including its shape and form and stone foundation*

Key attributes that reflect Cordingley House's historical/associative value:

- o its location on one of the actual corner lots of McCurdy's Corners (Ninth Line and Derry Road West)*

Key attributes that reflect Cordingley House's contextual value:

- o its location on one of the actual corner lots of McCurdy's Corners (Ninth Line and Derry Road West)*
- o its proximity and visibility to Ninth Line*
- o the physical relationship between the house structure and the brick*

outbuilding within a large open space

The proposed alterations to this building leave these elements intact and largely unchanged. There is no unacceptable impact to the heritage resource. There is no loss of cultural heritage value. There are no negative impacts on the streetscape or loss of sense of place.

Conservation measures during construction should include protection of the existing heritage fabric and conservation of any removed materials, including the brick structure of the dairy shed and any removed windows that are serviceable. Some of these bricks will have to be removed from the east side of the building and these should be carefully handled and kept for possible repair to the remaining parts of the building or saved for potential re-use on the site.

Given the minimal impact of the proposal on the existing buildings and significant retention of original features, no mitigation is required.

There is no requirement for further investigation of alternative development or site alteration approaches.

Mandatory Recommendation:

The property must be evaluated under the criteria for designation under Ontario Regulation 9/06, *Ontario Heritage Act*. This is the part of the Act that allows designation of individual designations (Part IV designations). The criteria area:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method.
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

Analysis: As discussed in the 2010/2011 and 2015 Heritage Impact Statements, 2015 Shoalts Engineering report and the various City of Mississauga staff reports that have described these buildings, the buildings do have clear design and physical value and are properly designated under Part IV of the Ontario Heritage Act.

2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or

- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Analysis: As discussed in the 2010/2011 and 2015 Heritage Impact Statements, 2015 Shoalts Engineering report and the various City of Mississauga staff reports that have described these buildings, the buildings do have clear historical and associative value and are properly designated under Part IV of the Ontario Heritage Act.

- 3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

Analysis: As discussed in the 2010/2011 and 2015 Heritage Impact Statements, 2015 Shoalts Engineering report and the various City of Mississauga staff reports that have described these buildings, the buildings do have clear contextual value and are properly designated under Part IV of the Ontario Heritage Act.

Conclusion:

The Cordingley house and dairy shed at 6671 Ninth Line do have historical, architectural and contextual value and are properly designated under Part IV of the Act.

Provincial Policy Statement:

Under the Provincial Policy Statement,

“Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained.”

Analysis:

Under this definition, 6671 Ninth Line does warrant conservation. The proposed alterations do conserve these attributes.

Appendices:

- 1. *Heritage Impact Statement, Cordingley House, 6671 Ninth Line, Mississauga* by The Landplan Collaborative Ltd. November 17, 2010 addendum October 04, 2011
- 2. *Heritage Impact Statement, Cordingley House Restoration & Renovation, 6671 Ninth Line, Mississauga* by CHC Limited, April 23, 2015
- 3. *Structural Engineering Report, Foundation of Existing House at 6671 9th Line, Mississauga* by World Engineering Ltd. and Halton Hills Design Build
- 4. Elevations and floor plans of existing building
- 5. Site plan of proposed development
- 6. Elevations and floor plans of proposed development
- 7. CV of Rick Mateljan Lic Tech OAA

Heritage Advisory Committee
OCT 25 2011

Heritage Impact Statement

**Cordingly House
6671 Ninth Line,
Mississauga**



prepared by

The Landplan Collaborative Ltd.

landscape architects, environmental planners, heritage planners

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November 17, 2010
addendum October 04, 2011

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all photographs by Owen R. Scott of Landplan, October 07, 2010 and October 03 & 04, 2011 unless otherwise noted.

1.0 BACKGROUND - HERITAGE IMPACT STATEMENT (HIS)

This Heritage Impact Statement (HIS) follows the *City of Mississauga Heritage Impact Statement Terms of Reference* July 2009 (Appendix 1) and was prepared in response to a request from Mr. Jim Levac of Korsiak & Company (now with Weston Consulting Group Inc.) and Mr. Carmine Cesta of Cesta Developments.

The property at 6671 Ninth Line in Mississauga is listed, but not designated under the *Ontario Heritage Act*¹.

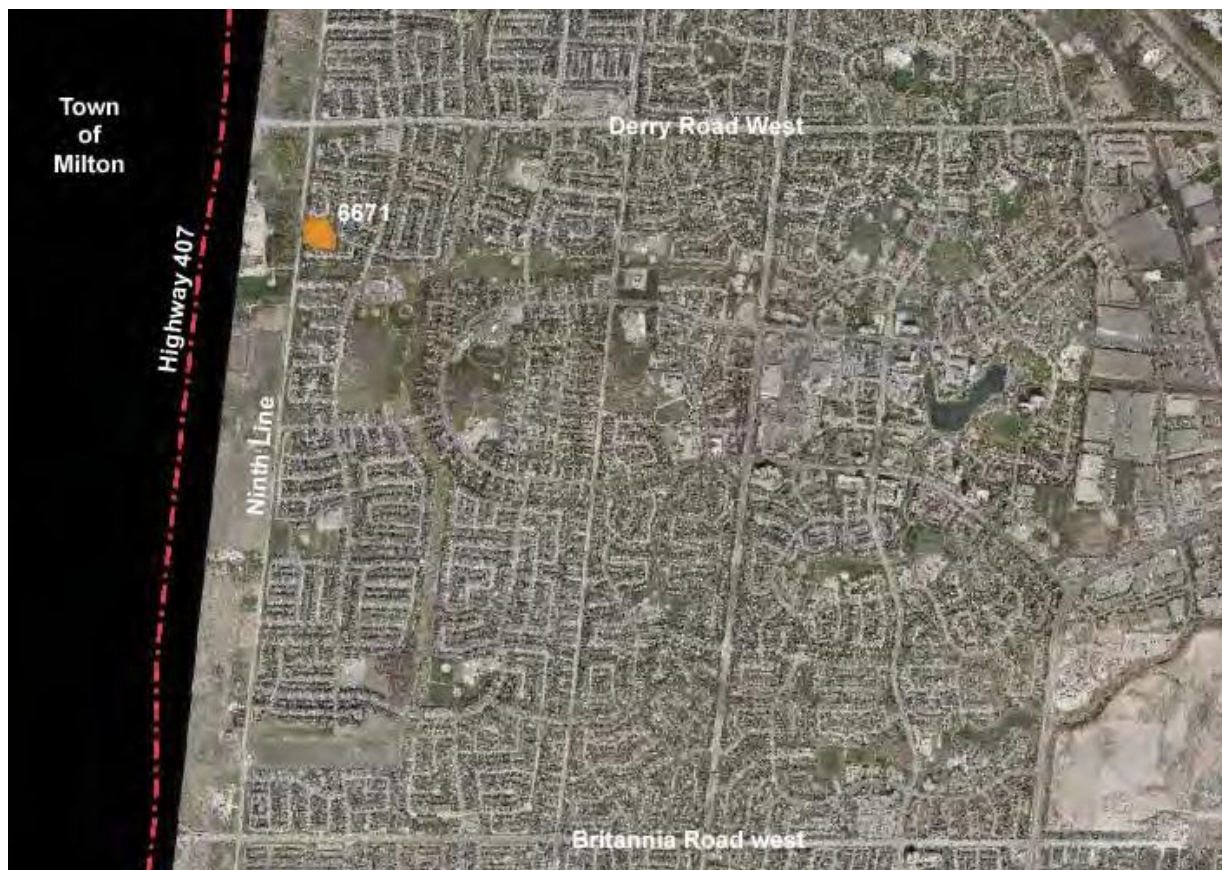


Figure 1

Site Context - <http://www.mississauga.ca/portal/services/maps>

Figure 1 illustrates the location of the property on the far western fringe of the City, a few blocks south of Derry Road West on the east side of Ninth Line.

2.0 THE HERITAGE IMPACT STATEMENT

2.1 Present owner contact information

Cesta Developments

536 Queens Drive, Toronto, Ontario M6L 1M8

Tel: 905-873-3335 Fax: 905-873-0325 email: info@cestadevelopments.com

Mr. Carmine Cesta

¹ City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>, accessed September 10, 2010

2.2 Site history

The villages of Toronto Township amalgamated to become the Town of Mississauga in 1968, excluding the Towns of Port Credit and Streetsville. In 1974, Mississauga incorporated as a City, this time including Port Credit and Streetsville.²

The subject site is located amidst the modern subdivisions of Meadowvale West. A small pioneer cemetery at the corner of Derry Road and Shelter Bay Road, Switzer's Cemetery (also known as Eden Cemetery) is the last visible reminder of a nearby pioneer settlement called Lisgar. (Figure 2)

Beginning around 1819, a number of families began to settle along the Meadowvale Sideroad on either side of the Town Line – today this is marked by the modern intersection of Derry Road and Winston Churchill Boulevard. In 1823, the burgeoning pioneer crossroads added a small log schoolhouse on what was Samuel Switzer's farm. This schoolhouse also served as the local meeting place and church hall. Soon it became apparent that the small school could not hold the congregation, so meetings were held outdoors by torchlight.

In 1824, John Switzer sold a portion of his land to the new congregation for the establishment of a church and graveyard. The congregation proceeded to build a small frame church just to the rear of the surviving cemetery. This small church was replaced by a larger structure on the same site. Edgerton Ryerson officially opened this second frame church on December 13th, 1840. The church was unofficially dubbed "Switzer's Church" because it was on John Switzer's farm and five Switzer families attended the church. The growing community was also dubbed "Switzer's Corners".

The community soon added an inn on the southeast side of Derry Road and Winston Churchill Boulevard. This inn, operated by David Mason, was called "The Black Horse Tavern". The Marshall family later purchased the building and they changed the name of the tavern to "The Dewdrop Inn". Samuel Alexander operated a small store on the southwest corner of the modern intersection of Winston Churchill and Derry. When the store added a post office on August 1, 1871, the community became officially named "Lisgar" in honour of Sir John Young Lisgar, the Governor General of Canada in 1869. The post office later moved across the road to the Dewdrop Inn and was run by Mary Marshall. Also nearby was a blacksmith shop, and in 1878, a train station was located on the C.P.R. line, just to the north on the Town Line.

In 1868, Isaac Waite donated a parcel of land on the north side of Derry Road, directly opposite from the cemetery for the construction of new church – the site is marked by a fenced yard on the Northeast corner of Derry and Copenhagen Roads. The congregation voted to officially name the new church "Eden". This church was ravaged by fire in 1908 and the upper portions of the church were razed. The contents were saved, moved to the nearby blacksmith shop until the church could be repaired and reopened in 1910. The church was rebuilt until it was damaged again when a cyclone struck it in 1923. Eden United Church was again repaired and celebrated its 100th anniversary in 1968. The Lisgar community also added a new school, replacing the original log schoolhouse, in 1887. The new red brick school was constructed on the north side of Derry Road, near where Highway 401 crosses Derry Road today. The school served the community for 73 years, holding its last class in 1960.

² <http://www.heritagemississauga.com/history.htm>, accessed September 10, 2010

But, as with many pioneer communities, the prominence of Lisgar soon began to decline, and one by one, signs of the village began to disappear. The post office closed on August 31, 1915. The C.P.R. station closed shortly afterwards, its exact location lost. The old Dewdrop Inn burned in 1961 and was not replaced. The dwindling congregation moved to a new home and the old church was demolished in 1980. For many years, the old Eden School sat vacant and neglected until time and vandalism caught up with it. It was demolished in 1992. The only reminders of the pioneer community are two cemeteries, a new church, and a modern road named Lisgar. Switzer's (Eden) Cemetery and the Kindree Family Cemetery (where the Sixteen Mile Creek crosses Derry Road) remain historic markers for the small village, while the new Eden United Church, at Winston Churchill Boulevard and Battleford Road was opened in 1987 and houses one of the oldest congregations in our area.³

Lisgar is fields of pre-fabricated homes now. The post office closed generations ago. The Credit Valley Railway never had more than a flagstop here – a wooden shed, barely the size of outhouse, from which passengers could wave down the engineer to request a stop. The only history that survives in Lisgar today is a cemetery.⁴

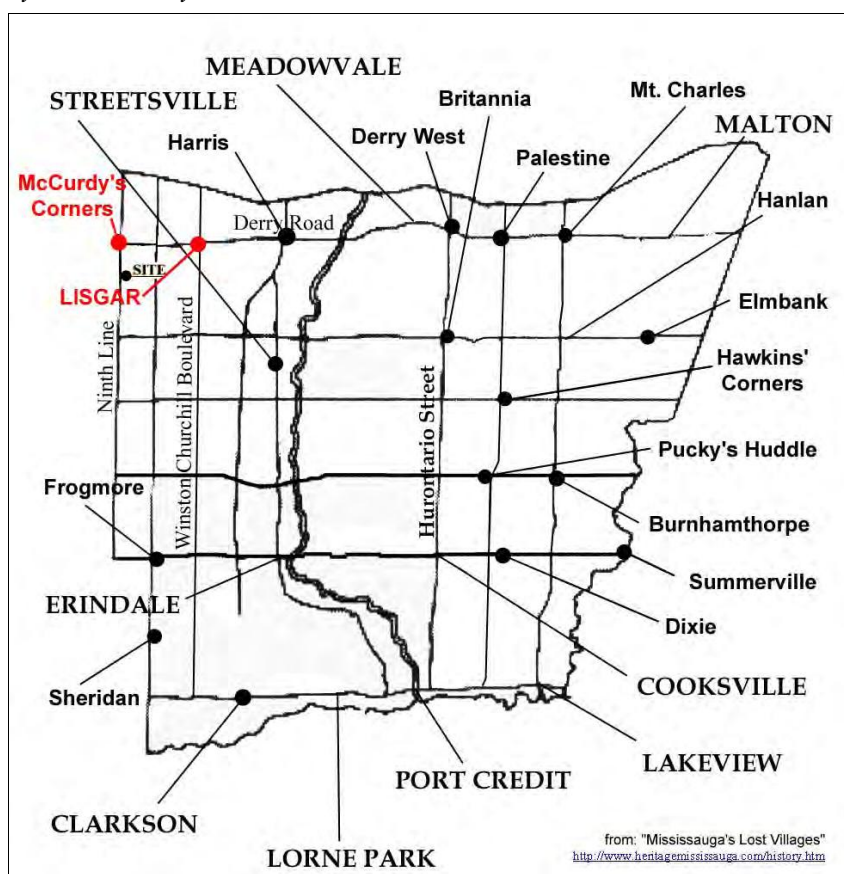


Figure 2

Site Location

³ Wilkinson, Matthew *The Lost Village of Lisgar (Switzer's Corners)*, Mississauga Heritage Foundation <http://www.heritagemississauga.com/page/Lisgar>, accessed September 10, 2010

⁴ Collins, Richard *A Plot that Offers More Questions than Answers* <http://www5.mississauga.ca/library/SRC/PlotthatOffers.pdf> accessed September 15, 2010

Just to the north of the property at the intersection of Ninth Line and Derry Road was the Hamlet of McCurdy's Corners ...originally part of Trafalgar Township in Halton County, until 1974 when the Mississauga border was extended to Ninth Line, placing the east half within the borders of Mississauga.

At McCurdy's Corners there was a Methodist Church and a school. The school was officially called S.S. #8 Trafalgar, also known as McCurdy's Corners School.

One prominent family at McCurdy's Corners were the Cordingleys. Before travelling to Canada, David Cordingley was a dyer, living with his wife and first two children in York, England. David and Mary Cordingley first came to Canada, by way of Pennsylvania, likely in the early 1820s. In 1836, the Crown officially granted 100 acres of land to David Cordingley on lot 10, concession 10 in Trafalgar Township. In 1848, this land was sold to David and Mary's eighth of ten children, John Cordingley. David Cordingley died in 1867 at 85 years of age.

Also living at McCurdy's Corners from the Cordingley family was Solomon Cordingley, the fifth child of David Cordingley. Like his brother John, Solomon obtained his land from his father in 1852. He married Martha Bell, in 1853. Solomon and Martha took in two children in addition to their own five children. They were John Cordingley's daughter Rachel Hannah, following the passing of her mother Rachel Delilia, as well as John Jr. Bell, the son of Martha's brother, John Bell, following the passing of his wife Amelia. In 1891, Solomon held an auction for one of his farm plots due to failing health. The auction was advertised in the Streetsville Review. In addition to the farm itself, which included orchards of plums, grapes and pears and three wells, he also sold off all the farm stock, livestock and farming implements. Another of Solomon Cordingley's farm plots was sold to his son, David Cordingley.

Solomon Cordingley's granddaughter, Ruby Cordingley, had a near death experience when a cyclone struck down in Trafalgar Township in June of 1923, while on her way home from her sister Abigail's house:

"The sky was dark and ugly, and she hurried to the house to close the windows after the evening milking. Their hired man turned the last cow out after it was milked and it was killed. Their new barn roof was blown off in pieces and a large section just missed Ruby as she clung to their lane fence near the house. Suddenly she dropped face down in their ditch and that saved her life. She later appeared soaking wet and scared at the May's back door. Ruby always took a short cut through their farm to the Tenth Line farm. Ruby went every day to get milk from the May's as her brother Sam didn't have milk cows. Kathleen and Ruby had good visits."

Charles Cordingley, the eldest son of David Cordingley Sr., also had land at McCurdy's Corners, which he purchased from his father. Charles Cordingley was born in 1815, in England, and most likely travelled to Trafalgar Township along with his parents. He married Rebecca Petch in 1844, and they had eight children. Charles Cordingley also owned land south of Dundas Street in Toronto Township. Charles was a Methodist, and worked as a "road boss" or road overseer for approximately ten years. According to Harold Scholefield, Charles Cordingley was a devoted Methodist, and it was due to his efforts that the church at Clarkson was built. He also donated stones for the construction of the Carman Methodist East Church, where he later became a trustee.⁵

⁵ <http://www.heritagemississauga.com/page/McCurdys-Corners>, accessed October 03, 2011



Figure 3 - 1966 airphoto - original farm & subject property <http://www.mississauga.ca/portal/services/maps>



Figure 4 - 1985 airphoto - original farm & subject property <http://www.mississauga.ca/portal/services/maps>

Until the 1990s, the site and the area surrounding it was rural. The 1966 and 1985 airphotos (Figures 3 & 4) show an agricultural landscape with fields, farmsteads, and woodlots. The original 150 acre farm is the larger outline, with the current property shown in the smaller outline. The Derry Road and Ninth Line rural intersection is just northwest of the property.

The farm was sold to a land developer in 1988 and the subject property with the house, barn and dairy were transferred back to the Cordingley family in 1992. Residential development of the farmlands began in the late 1980s, early 1990s as evidenced by the 1995 airphoto (Figure 5).



Figure 5 - 1995 airphoto - original farm & subject property <http://www.mississauga.ca/portal/services/maps>

During the late 1980s and early 1990s, the landscape was transformed totally from farmland to urban development. Highway 407 just to the west followed in the 2000s. Urban development east of Ninth Line is virtually complete today (Figure 7).

Immediately across Ninth Line is the Union Gas / Trans Canada Pipeline / Enbridge 'Joint Operating Facility', screened from the road by a dense deciduous woodlot (Figure 6).



Figure 6
entrance from Ninth Line

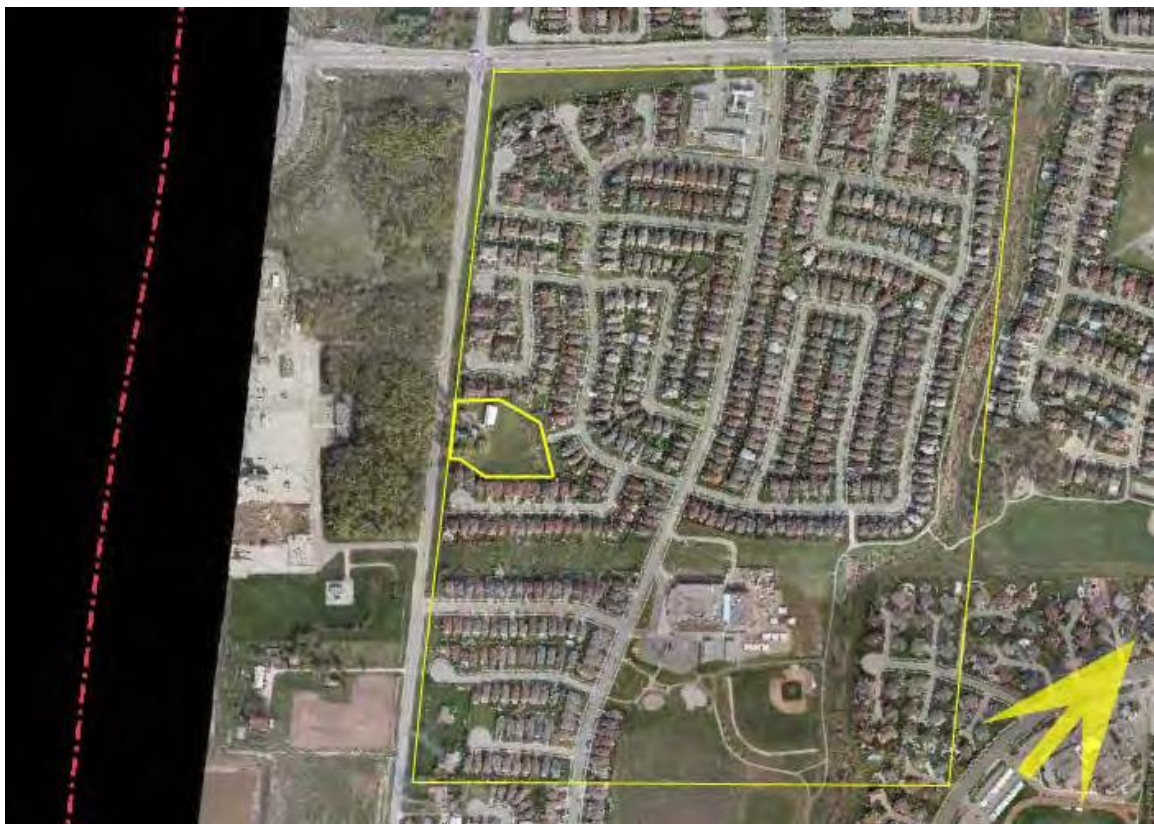


Figure 7 - 2006 airphoto - original farm & subject property <http://www.mississauga.ca/portal/services/maps>

The remarkable changes to the immediate environs of the subject property are captured in these 1954, 1985, and 2006 airphotos. (Figure 8)



Figure 8 1954, 1985, 2006 airphotos of subject property <http://www.mississauga.ca/portal/services/maps>

The property was in the ownership of the same family for 174 years, from 1836 to 2010. A listing of owners from the Land Registry Office can be found in Appendix 2. From 1836, when the property was purchased from the Crown, until the early 1990s, the property was farmed. Most of the farm was developed for housing in the early 1990s, with the exception of the subject of this HIS, a 0.81 ha (2 acre) parcel which includes the Cordingley house, a brick dairy, and a metal clad barn.

2.3 Listing and written description of existing structures, significance and heritage attributes

The City of Mississauga's 'Property Heritage Detail' provides a description of the property - see Appendix 3. The following historic photographs are from the City of Mississauga's web page, accessed September 10, 2010.



Figure 9 house bell tower - 1976



Figure 10 Brick dairy building with barn⁵ in background - 1976



Figure 11 1978



Figure 12 1978



Figure 13 1978



Figure 14 1990

⁶ The barn in this 1976 photograph (Figure 10) is not the current barn. This barn was partially demolished and some of it enveloped by the current structure

There are three structures on the property (Figure 15), the Cordingly house, a one and a half storey Gothic Revival, T-shaped structure with an enclosed porch to the south rear (Figures 9, and 11-14); a brick dairy (Figure 10); and a small gable-roofed barn. A mature landscape of shade trees, conifers, and flowering shrubs surrounds the house.

The front portion of the house was built first, probably in 1843, with the two storey summer kitchen tail being added *circa* 1860s⁷. The date of construction of the brick dairy building is unknown, but is likely the 1860s. The existing late 20th century barn encloses a much older structure, again likely built in the 1860s.

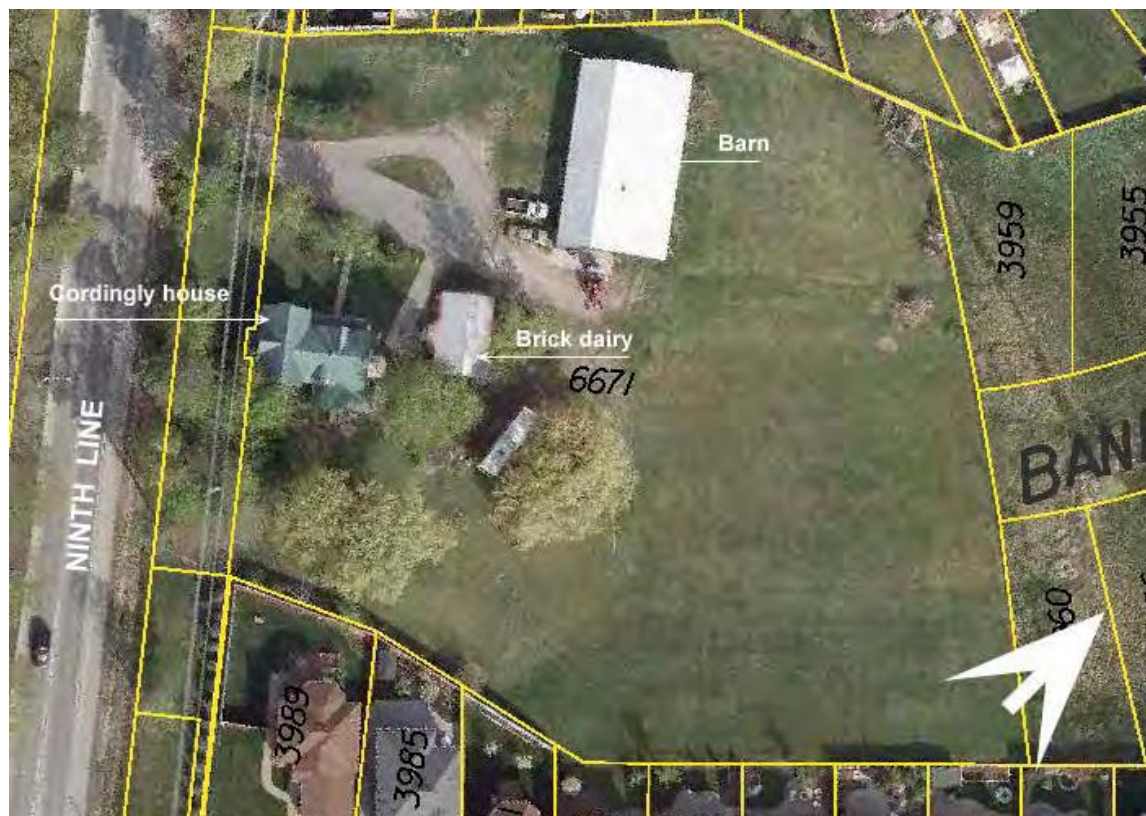


Figure 15

Heritage structures - <http://www.mississauga.ca/portal/services/maps>

Section 2 of the *Planning Act* indicates that City of Mississauga Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement* (PPS). Policy 2.6.1 of the PPS requires that significant built heritage resources and significant cultural heritage landscapes shall be conserved.⁸

The PPS defines “built heritage resource” as one or more significant buildings, structures, monuments,

⁷ Pers. Comm. 6671 Ninth Line Tenant, October 7, 2010

⁸ *Provincial Policy Statement (PPS, 2005)* Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

installations or remains associated with architectural, cultural, social, political economic or military history and identified as being important to a community. These resources may be identified through designation or heritage conservation easement under the *Ontario Heritage Act*, or listed by local provincial or federal Jurisdictions. The term “significant” means resources **valued for the important contribution they make to our understanding of the history of a place, an event, or a people**. “Conserved” means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

The property contains built heritage resources that are significant and have cultural value and interest. They have *design / physical value*, *historical / associative value*, and *contextual value* per the criteria for heritage designation under the Ontario Regulation 9/06 of the *Ontario Heritage Act* (see ‘4.0 Mandatory Recommendation’ for supporting detail).

Heritage attributes of the property include elements related to the architecture and architectural details of the house and the dairy building, and the property’s 174 year association with the Cordingly family.

2.4 Documentation of the heritage resource

The Cordingly House



Figure 16

west elevation Figure 17



west elevation



Figure 18

east elevation



Figure 19

east elevation



Figure 20



south elevation Figure 21

south elevation - porch



Figure 22

north elevation - 1860s wing



Figure 23

north elevation - 1840s

The house is a one and a half storey wood frame structure, T-shaped in plan. The front portion of the house is believed to be the older ⁹ c. 1843) and is shiplap-sided with 1 x 6 pine boards. The one and one half storey summer kitchen wing is plain bevel (clapboard) sided with 1 x 6 pine boards. A small covered porch sided with board and batten is situated on the southeast corner (Figure 21). According to the City's 'property heritage details' (see appendix 3), this ... *accretion to the south rear (is) believed by the owners to be the original building of board and batten* ¹⁰. The author believes this to be unlikely, especially if the front portion was the first built. The foundation is of Credit Valley stone and the gabled roof has a medium pitch, currently covered with painted, corrugated metal. There are two brick chimneys, one internally bracketed and the other external. Windows in the front portion are 2/2 double hung sash with arched heads and shuttered. In the centre, front, west gable there is a round headed window which opens out onto a small balcony with turned balusters. The centre gable is trimmed with vergeboard on apex. A single storey bowed window appears on the north side of the main block, capped with a shallow mansard roof supported by paired brackets (Figure 23). The front entrance has a double-leafed wooden door with textured glazing in the top half and is trimmed with gingerbread (Figure 26). The rear extension (summer kitchen wing) has an open verandah along the north side with heavy pierced treillage with brackets. The porch is roofed with asphalt shingles (Figure 22). A bell tower is centrally located on top of the roof of the rear wing. A bell is evident in a 1976

⁹ Pers. Comm. 6671 Ninth Line Tenant, October 7, 2010

¹⁰ City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>, accessed September 10, 2010

photograph (Figure 9) but is no longer extant, having been removed at some point since (Figures 24 & 25). Upper storey windows are round-headed; however all the sash has been replaced and the round heads filled in with plywood sheeting (Figure 27).



Figure 24 bell tower w/satellite dish



Figure 25 bell tower with bell rope pull hole



Figure 26 double-leaved front door detail



Figure 27 window head blocked-in with plywood

The Cordingly House is a significant heritage resource. Its heritage / character-defining attributes include the following:

- c. 1843, shiplap-sided front portion with: Credit Valley stone foundation, medium pitch gabled roof, 2/2 double hung shuttered sash with arched heads, centre gable trimmed with vergeboard and with round headed window opening onto a small balcony with turned balusters, a single storey bowed

window capped with a shallow mansard roof supported by paired brackets, and a front entrance with double-leafed wooden door with textured glazing in the top half trimmed with gingerbread;

c. 1860s one and one half storey plain bevel (clapboard) sided summer kitchen wing with: a centrally-located bell tower on the roof (no bell), an open verandah with heavy pierced treillage with brackets, and round-headed window openings on the upper floor.

The Cordingly House was in one family ownership for 174 years, from 1836 to 2010.

The Dairy

A six metre by ten metre, one storey, red brick building is located east of the Cordingly house (Figures 28 - 31). It was purpose-built to store raw milk from the farm and from neighbouring farms, being partially buried to maintain a relatively constant temperature. Its walls are approximately 0.75 metres thick, adding to its insulating properties. It has a Credit Valley stone foundation, corrugated metal roof, and deep set windows.



Figure 28

west elevation - dairy



Figure 29

east elevation - dairy

Windows have brick headers and stone sills set in the running bond brick pattern. The deep set windows and entrance door with vestibule are illustrated in figures 32 and 33. There is a loft above with an outside door entrance on the south elevation (Figure 30).



Figure 30 south elevation - dairy



Figure 31 north elevation - dairy



Figure 32 deep set window - dairy

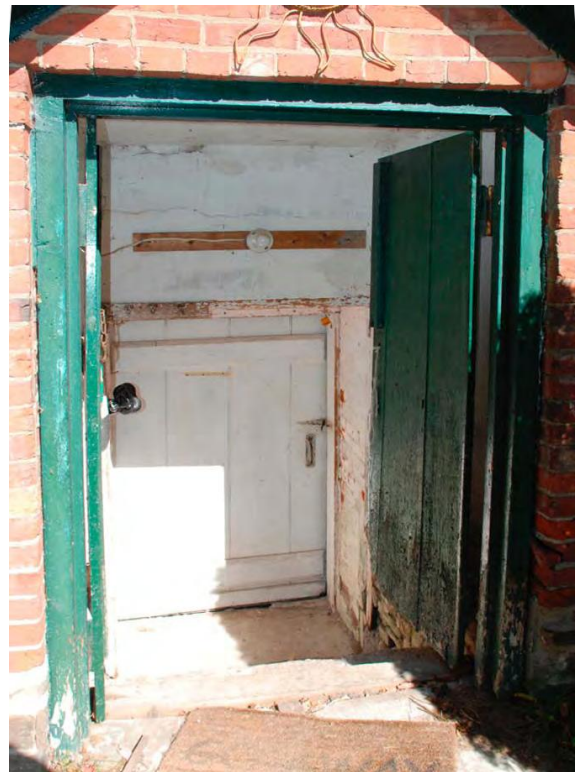


Figure 33
entrance door - dairy

The dairy building is a significant heritage resource. Its heritage / character-defining attributes include the following:

- running bond, red brick one storey building, partially buried to maintain a relatively constant temperature with 0,75 m thick walls, deep set windows and door, brick headers and stone sills, and a Credit Valley stone foundation;
- it is a rare building type.

The Barn

The 13.5 metre x 24 metre, metal-sided and roofed barn encloses an earlier 8 x 10 metre, gable-roofed remnant structure (Figures 34, 35, 37 and 39). Siding (with the exception of the north gable end and east wall) of a remnant of the original barn has been removed and replaced with the steel sheeting now evident. A request from the City of Mississauga¹¹ prompts this addendum to the November 2010 HIS.



Figure 34

west elevation - barn



Figure 35

south elevation - barn



Figure 36 pre-1977 barn in background

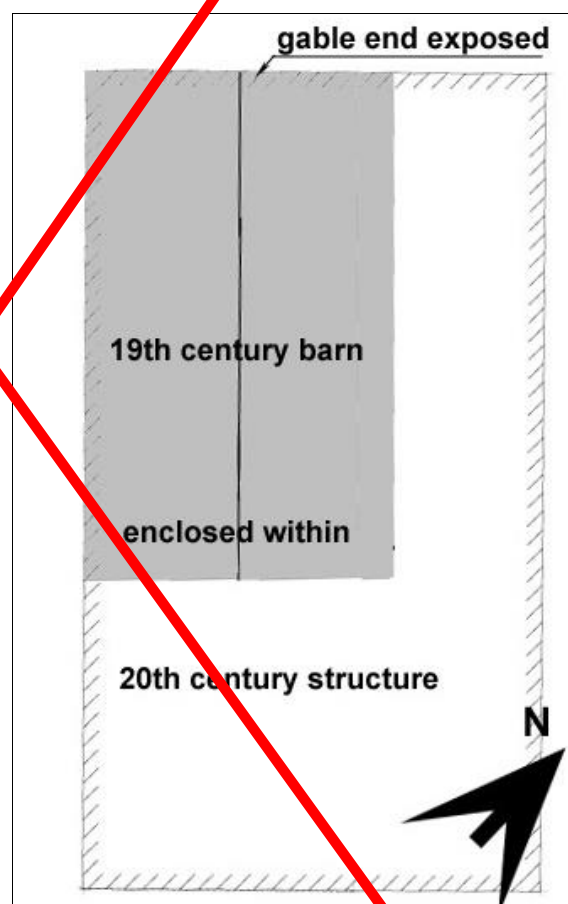
Figure 37 barn - north end (October 2011)
19th century gable end showing

Figure 38

barn

¹¹ Email from Paula Wubbenhorst to Jim Levac, September 29, 2011 *The City is in receipt of your Heritage Impact Statement, dated November 17, 2010, from Landplan Collaborative. The report looks good. However, we need a little more documentation on the barn. Specifically we require:*
(1) *more photos of the barn, including the interior, especially the 1860s barn on the inside; and*
(2) *a brief history of the barn, i.e. what it was used for and the date when the newer portion was built.*

The construction date of the current structure is unknown; however, it dates from post 1976 as the barn in the 1976 photo (Figures 10 & 36) is clearly not the current structure and appears to be larger than the remnant 19th century piece enclosed within the current barn. The roof rafters of the current building are dressed '2 x 4s' and the interior framing and cladding is dimensional lumber and plywood, suggesting a mid to later 20th century date. The steel siding and sliding door tracks are also mid to late 20th century materials.



Figure 39

barn - east elevation (October 2011)

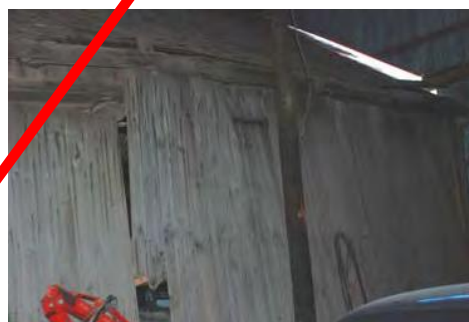
Figure 40 remnant portion of 19th century barn, north wall

Figure 42

east wall & roof



Figure 43

joinery detail

Figure 41 remnant portion of 19th century barn, southeast corner

As is noted above, the frame, two sided walls and partial roof of the remnant portion of the 19th century barn remain within the newer structure, most of the siding having been replaced and the roof line altered. It is expected that the original barn was a typical 19th century English barn that housed livestock (and presumably dairy cattle) and livestock feed. Today it is devoted to equipment storage and a machine shop.

The barn is not a significant heritage resource.

The Landscape

The farmstead is well-endowed with mature and semi-mature trees, so much so that the house is difficult to see from Ninth Line when the deciduous trees are in leaf. Some of these trees were obviously planted as part of the farmstead landscape (Sugar Maple, Mountain Ash, *etc.*), while numerous others, especially Norway Maple, are volunteers (Figures 42 & 43). There was a very large willow tree south of the house that was badly damaged in a windstorm and has now been removed (Figure 44).



Figure 42 numerous volunteer trees - Google photo



Figure 43 trees on Ninth Line



Figure 44 logs from damaged willow tree



Figure 45 woodlot, west side of Ninth Line

The landscape of the farmstead is picturesque, especially in the autumn. The presence of Norway Maples is unfortunate in that this invasive species will likely, if it hasn't already, invade the native deciduous woodlot across the road (Figure 45). Figure 46 shows the house surrounded by trees.

The landscape of the farmstead is not a significant heritage resource.

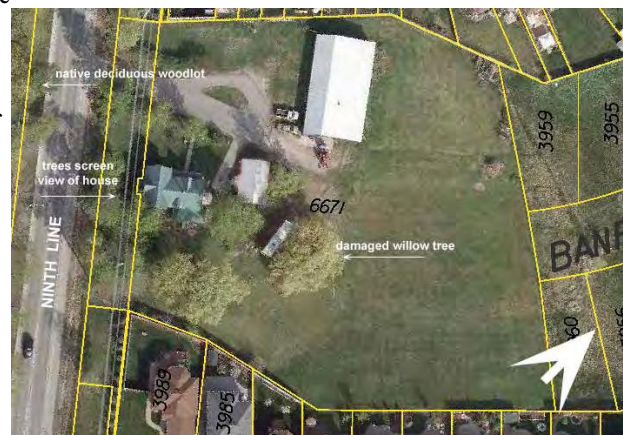


Fig. 46 (<http://www.mississauga.ca/portal/services/maps>)

2.5 The proposed development

The development proposal consists of a residential development on the property while retaining the Cordingly house and the brick dairy on a 0.07 ha (0.17 acre) lot with a 21 metre (69 feet) frontage and a depth of 32 metres (105 feet). The barn would be demolished (Figure 47).

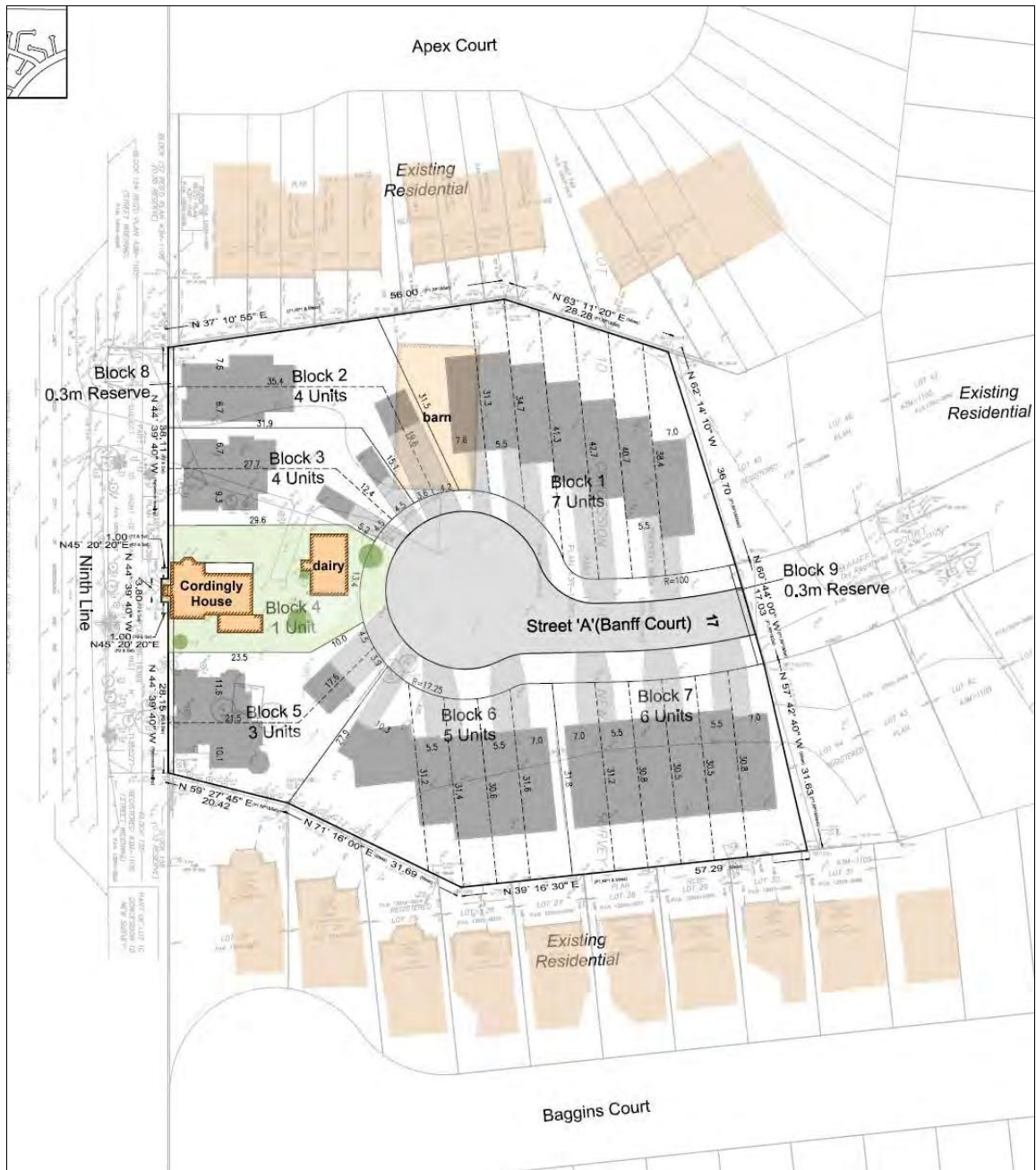


Figure 47 Proposed development (from Draft Plan of Subdivision, July 21, 2010, Korsiak & Company)

Proposed houses flanking the Cordingly house on Ninth Line are to be set back in line with the front of the Cordingly house, with side yards that afford a separation from the house ranging from 7 to 9 metres (23 - 30 feet). Houses on Ninth Line are to be accessed from the rear (extension of Banff Court). The architectural character of these houses is illustrated in figures 48 and 49.



Figure 48

Proposed houses flanking Cordingley house on Ninth Line, north side

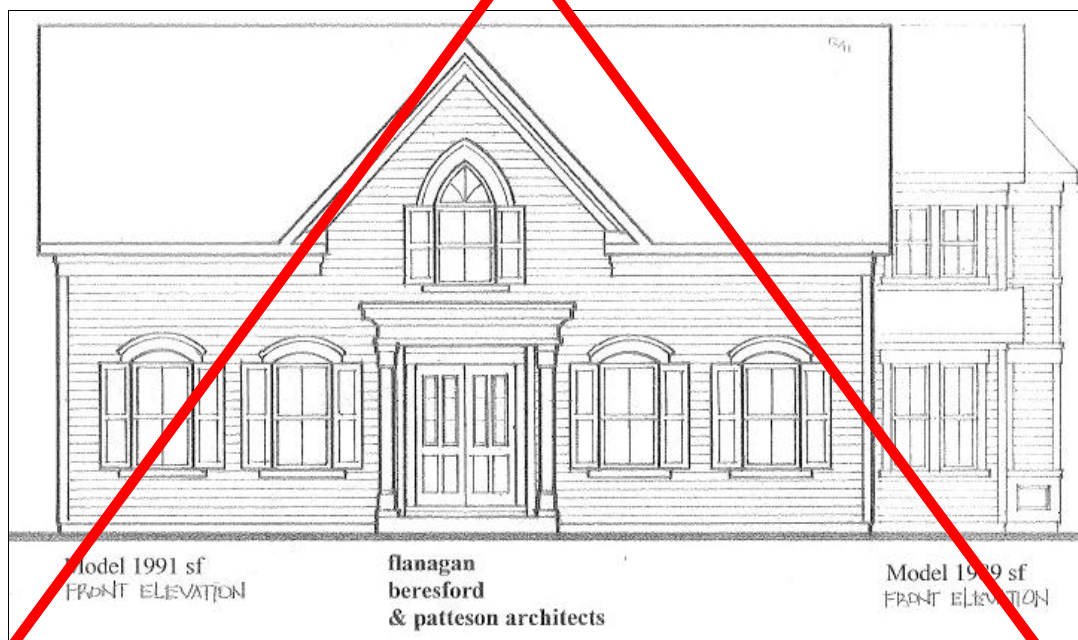


Figure 49

Proposed houses flanking Cordingley house on Ninth Line, south side

To the east of the house and dairy, an extension of Banff Court is proposed in the current lawn area. The new street will be flanked by street townhouses (Figure 50). The rear yard setback from the Cordingly house to the proposed Banff Court right-of-way is approximately 16 - 16.5 metres, and from the rear of the dairy building, approximately 1.5 - 3.5 metres.

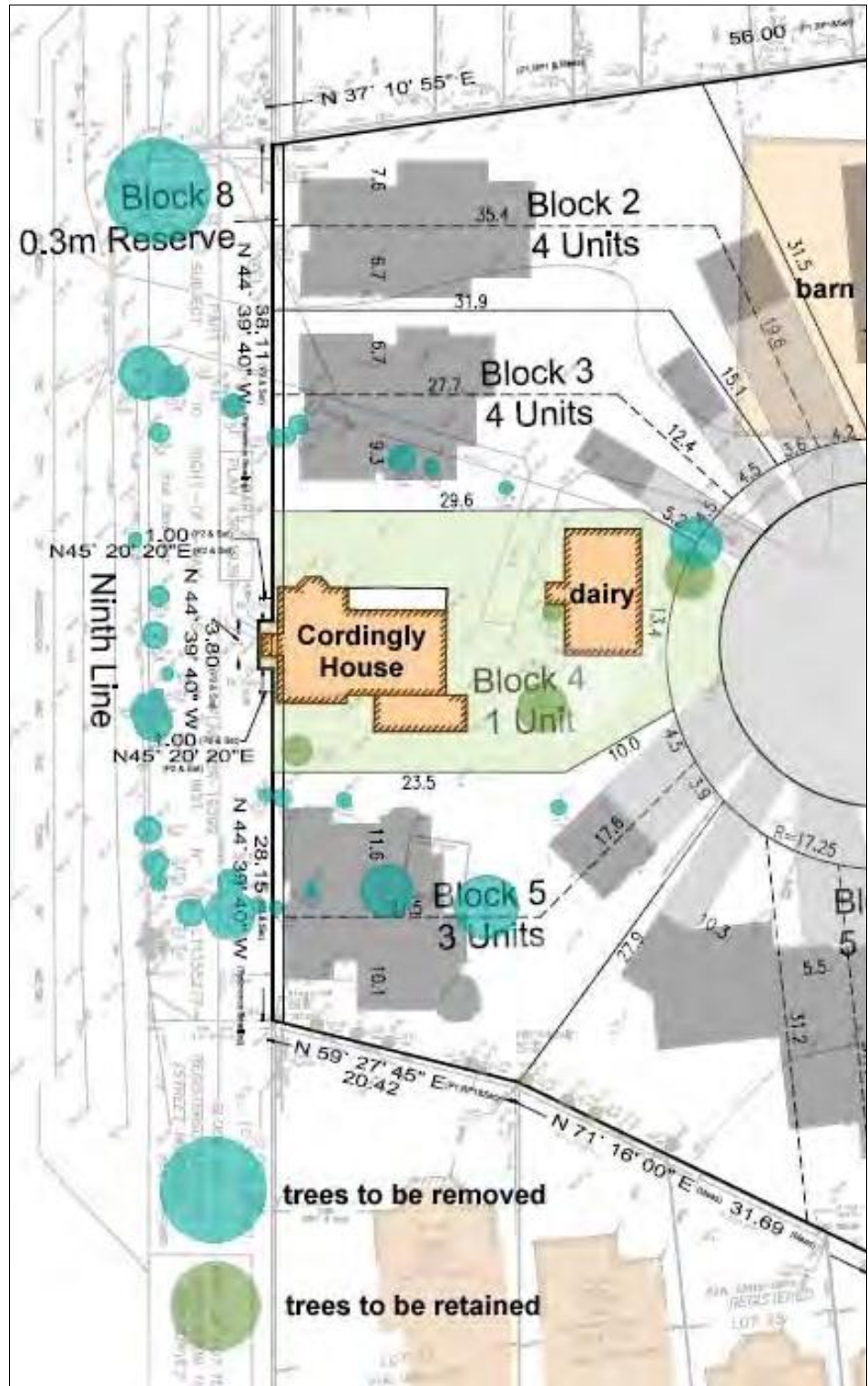


Figure 50

Proposed development, landscape impact - Korsiak & Co.

Figure 50 illustrates the tree removals and retentions that would be the result of both the municipal road widening and the proposed development. Most of the trees will be removed as a result of road widening. All of the trees in front of the house will be in the road right-of-way and will presumably be removed by the City for that purpose.

The large, damaged willow and numerous volunteer saplings will be removed to accommodate the new residential units.

With respect to impacts on the heritage features, the house and dairy building will be retained. The farmstead lot will be diminished in size from approximately 0.81 ha (2 acres) to 0.07 ha (0.17 acres). Most of the larger area is currently an open field of mowed turf to the rear of the property. While the setting of the house and outbuilding will be substantially altered, a negative impact on the heritage features and their attributes is not expected.

The character of the existing scene is one of suburban residences on three sides, the Ninth Line at the front, and a deciduous woodlot across the street. The proposal will bring more residential units closer to the heritage structures. The Victorian design details, massing and proportions, as well as the materials of the proposed houses are intended to be complementary to the Cordingley House, mitigating to some extent the proximity of the new construction. The larger impact will come from the widening of Ninth Line, removing the trees from the front of the house and changing the once rural road to a major paved arterial.

Regarding relevant municipal or agency requirements which will be applied to the subject property, the only apparent action that is likely to supplement, supersede and/or affect the conservation of the heritage resource is that of Transportation and Works requirements (the road widening).

2.6 Conservation - principles and mitigation

The City's HIS terms of reference state ... *A Heritage Impact Statement is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The study would include an inventory of all heritage resources within the planning application area. The study results in a report which identifies all known heritage resources, an evaluation of the significance of the resources, and makes recommendations toward mitigative measures that would minimize negative impacts to those resources. A Heritage Impact Statement may be required on a property which is listed on the City's Heritage Register, a property designated under the terms and conditions of the Ontario Heritage Act, or where development is proposed adjacent to a known heritage resource.*¹² (emphasis added) The heritage features on the subject property are not directly affected by the proposal. They are adjacent; thus, the development proposal's potential impact upon them is to be addressed by the HIS.

Conservation principles that apply in this HIS are therefore related to the potential impact of proposed adjacent development. As illustrated in Figures 50 and 51, the proposed development on Ninth Line is in scale with the Cordingley House and its immediate surroundings and should blend harmoniously with its neighbours.

¹² City of Mississauga Heritage Impact Statement Terms of Reference, July 2009



Figure 51

Cordingly house flanked by proposed development

Views of the Cordingly House from Ninth Line will be maintained and there is no expected impact on the heritage feature. Driveways to the new residences will be from Banff Court, providing opportunity for landscape development along Ninth Line which could eventually replace the trees that will be removed due to road widening.

Proposed development to the rear (Banff Court extension and town houses) will occupy the current grass field. Although the property line (Banff Court right-of-way) will be within 1.5 metres of the dairy building, the street curb will be some 4.5 - 7 metres distant. A preliminary grading plan prepared by Skira & Associates (Figure 52) indicates that low retaining walls on the north and south property lines will ensure that there is no need for grade changes on the future heritage property lot. The proposed walls range from 0.25m to 0.85m (10" to 2½') in height.

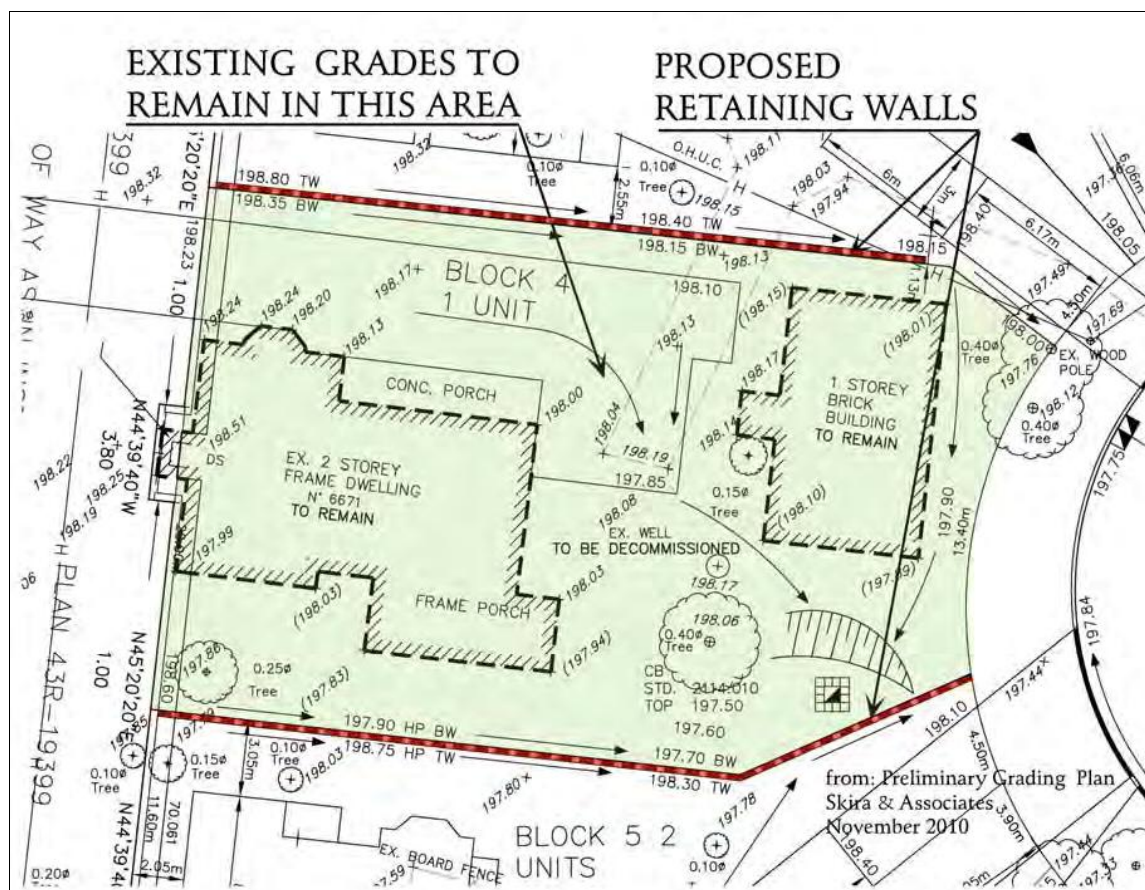


Figure 52

Preliminary Grading Plan

2.7 Summary of conservation principles and how they will be used

The City's terms of reference for an HIS require the following with respect to this summary: *A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)*¹³

*Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada.*¹⁴
General Standards (all projects)

1 Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

The character-defining elements are components of the two heritage buildings. The proposal does not affect the character-defining elements.

2 Conserve changes to a historic place which, over time, have become character-defining elements in their own right.

Not applicable

3 Conserve heritage value by adopting an approach calling for minimal intervention.

Not applicable

4 Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.

Not applicable

5 Find a use for a historic place that requires minimal or no change to its character-defining elements.

The house is currently tenanted and is likely to either remain so or be purchased as a residence. The current tenant has invested considerable time to restore aspects of the house and is interested in purchasing the property as a home.¹⁵

6 Protect and, if necessary, stabilize a historic place until any subsequent intervention is under-taken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.

Not applicable

7 Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value

¹³ *ibid*

¹⁴ www.parkscanada.gc.ca

¹⁵ Pers. Comm. 6671 Ninth Line Tenant, October 7, 2010

when undertaking an intervention.

Not applicable

8 Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Not applicable

9 Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place, and identifiable upon close inspection. Document any intervention for future reference.

Not applicable

Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture:
(now called *Eight Guiding Principles in the Conservation of Built Heritage Properties*)¹⁶

1. RESPECT FOR DOCUMENTARY EVIDENCE:

Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.

Not applicable

2. RESPECT FOR THE ORIGINAL LOCATION:

Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.

Buildings will remain in-situ.

3. RESPECT FOR HISTORIC MATERIAL:

Repair/conserve - rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.

Not applicable

4. RESPECT FOR ORIGINAL FABRIC:

Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.

Not applicable

5. RESPECT FOR THE BUILDING'S HISTORY:

Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.

Not applicable

6. REVERSIBILITY:

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are

¹⁶ http://www.culture.gov.on.ca/english/heritage/info_sheets/info_sheet_8principles.htm

numbered, removed and stored, allowing for future restoration.

Not applicable

7. LEGIBILITY:

New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new

Not applicable

8. MAINTENANCE:

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

Not applicable

Because these guidelines and standards are intended for the conservation of historic features, they have limited applicability for this project. Standards or guidelines more appropriate to this proposal were, we understood, being drafted by the City for adoption in January 2010. (pers. comm. Mark Warrack, Senior Heritage Coordinator, Culture Division, Community Services, City of Mississauga, October 26, 2009)

2.8 Proposed demolition / alterations explained

The twentieth century barn (enclosing an earlier structure) is to be demolished to provide opportunity to develop the adjacent lands for housing. The barn has been much modified over time. It is not a heritage attribute to the 19th century landscape of the Cordingly house and dairy.

2.9 Alternatives for salvage mitigation

Not applicable

2.10 Qualifications of the author completing the Heritage Impact Statement

See appendix 4.

3.0 SUMMARY STATEMENT and CONSERVATION RECOMMENDATIONS

There are two significant heritage structures on the property. It is intended that both heritage structures be retained. The barn and landscape are not significant features. The conservation of the heritage / character-defining attributes of the house and dairy building is not the subject of this HIS and those attributes are not potentially impacted by the proposed development. There are no apparent impacts of the proposed development on the heritage structures and it is not expected that their setting will be compromised to the extent that there is a negative impact.

Mitigating measures proposed include:

- addressing Ninth Line with street front facades at a setback consistent with the Cordingly House;
- addressing the Cordingly House lot with generous sideyard and adequate rear yard setbacks;
- ensuring that no grade changes are required on the proposed heritage property lot;
- proposing buildings adjacent that are in scale with the Cordingly House;
- providing a high degree of building articulation, architectural detail, and utilizing sympathetic building materials to provide interest and compatibility with the Cordingly House;
- affording opportunity for significant landscape development on Ninth Line to compensate for the

taking of existing trees for a municipal road widening.

4.0 MANDATORY RECOMMENDATION

The HIS terms of reference require the consultant to write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, *Ontario Heritage Act*. The following questions must be answered in the final recommendation of the report:

1. *Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?*

Ontario Regulation 9/06 states: A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. *The property has design value or physical value because it,*
 - i. *is a rare, unique, representative or early example of a style, type, expression, material or construction method,*
 - ii. *displays a high degree of craftsmanship or artistic merit, or*
 - iii. *demonstrates a high degree of technical or scientific achievement.*
2. *The property has historical value or associative value because it,*
 - i. *has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,*
 - ii. *yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or*
 - iii. *demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.*
3. *The property has contextual value because it,*
 - i. *is important in defining, maintaining or supporting the character of an area,*
 - ii. *is physically, functionally, visually or historically linked to its surroundings, or*
 - iii. *is a landmark.*

The property meets the criteria for Part IV heritage designation. It is a representative, early example of a style, type, expression, material and construction method, displaying a high degree of craftsmanship. It remained from its inception, in the same family for 174 years and it is historically linked to its surroundings; however, those surroundings have changed quite dramatically over time.

2. *If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not.*

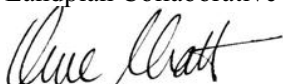
Not applicable

3. *Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement.*
Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

The property warrants conservation and is a worthy candidate for Part IV designation under the *Ontario Heritage Act*. Some of the heritage / character-defining attributes of the buildings are in need of restoration, including soffits, eaves, verge boards, siding, *etc.* It is recommended that windows be replaced with period correct treatments. The dairy building might be adaptively re-used for some purpose. However, great care needs to be taken to ensure that the character-defining features of this rare example are preserved. While implementation of these recommendations is beyond the scope of this HIS, it is suggested this message and any assistance available be communicated to the owners and future owners of the severed property.

This heritage impact statement and addendum is respectfully submitted by:

The Landplan Collaborative Ltd.



per: Owen R. Scott, OALA, FCSLA, CAHP

**CITY OF MISSISSAUGA
HERITAGE IMPACT STATEMENT
TERMS OF REFERENCE**

1. Background: The City Plan

The City's Official Plan introduces heritage in the following manner:

The protection of heritage resources contributes to a sense of community by providing continuity between the past and the present. Through identifying, understanding, and protecting its heritage, the city can incorporate the past into planning for the future. The City will demonstrate a leadership role in the conservation of its own properties in a responsible way and provide heritage assessments of prospective acquisitions.

In compliance with the City's policy 4.9.2.3, as stated below, the City of Mississauga is seeking to conserve, record, and protect its heritage resources:

Applications for development of a heritage resource will be required to include a Heritage Impact Statement which will be prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

A Heritage Impact Statement is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The study would include an inventory of all heritage resources within the planning application area. The study results in a report which identifies all known heritage resources, an evaluation of the significance of the resources, and makes recommendations toward mitigative measures that would minimize negative impacts to those resources. A Heritage Impact Statement may be required on a property which is listed on the City's Heritage Register, a property designated under the terms and conditions of the Ontario Heritage Act, or where development is proposed adjacent to a known heritage resource. The requirement may also apply to unknown or recorded heritage resources which are discovered during the development application stage or construction.¹

The City's Heritage Register includes properties that comprise cultural landscapes. Cultural landscapes include neighbourhoods, roadways and waterways. Individual properties within these landscapes may or may not have cultural heritage value independent of the landscape. Heritage Impact Statements are required to ascertain the property's cultural heritage value and to ensure that any development maintains the cultural landscape criteria, available at http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf.

To determine the specific heritage status of a particular property visit <http://www.mississauga.ca/portal/services/property>. Submit the desired address and click on the "Heritage" tab. Further information is available by clicking the underlined "INV#." This last tab explains the reason why the property is listed or designated.

¹ For the definition of "development," please refer to the Mississauga City Plan.

Mississauga Heritage Impact Statement Terms of Reference**2. Heritage Impact Statement Requirements**

It is important to recognize the need for Heritage Impact Statements in the earliest possible stage of development or alteration. Notice will be given to the property owner and/or his representative as early as possible. When the subject property is a Plan of Subdivision, or Site Plan application, notice of a Heritage Impact Statement requirement will be given at the pre-application meeting, followed by a written notification. The notice will inform the property owner of any known heritage resources specific to the subject property and provide a guideline to completing the study.

3. The following minimum requirements will be requested in a Heritage Impact Statement:

- 3.1 Present owner contact information for property proposed for development and/or site alteration.
- 3.2 A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s).
- 3.3 A complete listing and full written description of all existing structures, with specific mention of all heritage resources on the subject property to include: structures, buildings, building elements, building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. Description will also include a chronological history of the structure(s) developments, such as additions, deletions, conversions, etc.

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map will be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

- 3.4 Documentation of the heritage resource will include current photographs, from each elevation, and/or measured drawings, floor plans, and a site map, at an appropriate scale for the given application (i.e. site plan as opposed to subdivision), indicating the context in which the heritage resource is situated. Also to include historical photos, drawings, or other archival material that may be available or relevant.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

- 3.5 An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include Mississauga Heritage Impact Statement Terms of Reference such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands.

Mississauga Heritage Impact Statement Terms of Reference

Note: A drawing indicating the subject property streetscape and properties to either side of the subject lands will be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

- 3.6 An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:
- Alternative development approaches
 - Isolating development and site alteration from the significant built and natural heritage features and vistas
 - Design guidelines that harmonize mass, setback, setting and materials
 - Limiting height and density
 - Allowing only compatible infill and additions
 - Reversible alterations
- 3.7 A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)
- 3.8 Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.
- 3.9 When a property can not be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered. Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or Mississauga Heritage Impact Statement Terms of Reference using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

- 3.10 The qualifications and background of the person(s) completing the Heritage Impact Statement will be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study. The Statement will

Mississauga Heritage Impact Statement Terms of Reference

also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

4. Summary Statement and Conservation Recommendations

The summary should provide a full description of:

- The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable
- The identification of any impact that the proposed development will have on the cultural heritage resource
- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended
- Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate

5. Mandatory Recommendation

The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions must be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?
- If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not
- Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:

Conserved:

means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Statement.

6. Approval Process

Four copies of the Heritage Impact Statement will be provided to the Heritage Coordinator. Staff will ensure that copies are distributed to the Planning and Building Department and relevant staff and stakeholders within the Corporation. The Heritage Impact Statement will be reviewed by City staff to determine whether all requirements have been met and to evaluate the preferred option(s). The applicant will be notified of Staff's comments and acceptance, or rejection of the report.

All Heritage Impact Statements will be sent to the City Heritage Advisory Committee for information.

Mississauga Heritage Impact Statement Terms of Reference

An accepted Heritage Impact Statement will become part of the further processing of a development application under the direction of the Planning and Building Department.

The recommendations within the final approved version of the Heritage Impact Statement will be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.

References:

Applicants looking for professional assistance may wish to refer to the Canadian Association of Heritage Professionals. website: www.caphc.ca.

For more information on Heritage Planning at the City of Mississauga, visit us online at www.mississauga.ca/heritageplanning

Appendix 2

CHAIN of TITLE**PIN 13510-0053 - 6671 Ninth Line, Mississauga, ON**

date	action	from - to	instrument no.
25 June 1836	PATENT	Crown to David Cordingly	
18 Jan. 1843	Mortgage	David Cordingly to John Cawthra	729
11 Nov. 1854	Bargain & Sale	David Cordingly to John Cordingly	785
10 Aug. 1903	Bargain & Sale	David Cordingly to Solomon T. Cordingly	8130
30 Mar. 1906	Probate	John Cordingly to Solomon T. Cordingly	8809
22 Jan. 1965	Oil & Gas Grant	J. D. and M. I. Cordingly to Tony Seychuk	178953
29 Nov. 1966	Quit Claim Deed	Estate of Elizabeth E. J. Cordingly to John Dudley Cordingly	214573
31 Mar. 1969	Quit Claim Deed	Estate of Tony Seychuk to John Cordingly	267533
10 Aug. 1970	Grant	John Dudley Cordingly to Margery Irene Cordingly	298440
10 Aug. 1970	Grant	Margery Irene Cordingly to John Dudley Cordingly	298441
13 Nov. 1970	Quit Claim Deed	Samnat Investments Limited to John Dudley Cordingly	303464
14 Mar. 1972	Grant	John Dudley Cordingly and Margery Irene Cordingly to Margery Irene Cordingly	332325?
Tax Arrears Certificates / Redemption Certificates / Vacating Certificates			515188
08 Feb. 1988	Grant	Margery Irene Cordingly to Venturon Development (Greenmeadow) Inc.	857244
05 Nov. 1992	Transfer	Venturon Development (Greenmeadow) Inc. To John Dudley Cordingly and Margery Irene Cordingly	LT1355284
22 Aug. 2006	Survivorship Application	re: Margery Irene Cordingly	PR1123036
27 May 2010	Transmission	John Dudley Cordingly to Cynthia Anne Masson	PR1827005
01 June 2010	Transfer	Cynthia Anne Masson to Edilou Holdings Inc.	PR1831357

Appendix 3

Property Heritage Detail ¹

Address:	6671 NINTH LINE	Area:	LISGAR
Type:	RESIDENTIAL	Reason:	ARCHITECTURAL
Style:	GOTHIC REVIVAL		

Images



History

David Cordingley (1782-1867) had been a dyer in Wigan, Lancashire, England. He sailed to Canada with his wife and family, via Pennsylvania, sometime between 1815 and 1819. In 1819 he is listed as living in York. The Crown granted David the subject property in 1836; David took out a mortgage in 1843. It is possible that at least a portion of the current house was built at this time. (Family history suggests even earlier.) David sold the property to son John (1828-1905) in 1848 for 800 pounds. John sold it to his son Solomon (1873-1940) in 1903 for \$7500. Solomon left the property to John Dudley Cordingley (b. 1929) who is still listed as an owner.² This one and a half storey structure is T-shaped in plan with an accretion to the south rear believed by the owners to be the original building of board and batten. The gabled roof has a medium pitch and is covered with corrugated metal. The cornice is plain boxed, end gable cornice returns. There are two brick chimneys, one internally bracketed and the other external. A stone foundation supports walls apparently of frame construction, the whole sheathed in clapboard. Along the first floor of the front facade, there are two, two over two paned, double hung sash windows. The sash is segmental. In the centre, front, west gable there is a round headed window which opens out onto a small balcony with turned balusters. The centre gable is trimmed with vergeboard on apex. A single storey bowed window appears on the north side of the main block. It is capped with a shallow mansard roof "supported" by paired brackets. The front entrance has a double leafed wooden door with textured glazing in the top half. The door is trimmed with gingerbread. The rear extension has an open verandah along the north side with heavy pierced treillage with brackets. A bell tower complete with bell is centrally located on top of the roof. The older section to the south is sheathed with board and batten siding and roofed with old cedar shakes. There is external access to the cellar.

¹ City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>, accessed September 10, 2010

² As of May 2010, the property is no longer in the Cordingly (Cordingley) family ownership

APPENDIX 2

Heritage Impact Statement

Cordingley House Restoration & Renovation 6671 Ninth Line, Mississauga



prepared by

CHC Limited

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(519) 824-3210 oscott87@rogers.com

April 23, 2015

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photographs by Owen R. Scott, October 07, 2010 unless otherwise noted.

1.0 BACKGROUND - HERITAGE IMPACT STATEMENT (HIS)

This Heritage Impact Statement (HIS) is in response to proposed renovations to Cordingley¹ House at 6671 Ninth Line, Mississauga, designated under Part IV of the *Ontario Heritage Act*. Also designated is the brick dairy building on the property². This HIS follows the *City of Mississauga Heritage Impact Statement Terms of Reference* February 2013 and was prepared in response to a request from the owner, Mr. Carmine Cesta of Cesta Developments.

Cordingley House was the subject of an HIS, dated November 2010 (October 4, 2011 addendum) by the author of this report.³ That HIS dealt with the subdivision of the property for a residential development, which is currently in progress. Information from that HIS is summarized here, and where necessary, updated. The property (Property Roll No. 21-05-150-080-06116-0000) is located on the far western fringe of the City, a few blocks south of Derry Road West on the east side of Ninth Line.

2.0 THE HERITAGE IMPACT STATEMENT

2.1 Site history

The subject site is located amidst the modern subdivisions of Meadowvale West. A small pioneer cemetery at the corner of Derry Road and Shelter Bay Road, Switzer's Cemetery (also known as Eden Cemetery) is the last visible reminder of a nearby pioneer settlement called Lisgar. (Figure 1)

Just to the north of the property at the intersection of Ninth Line and Derry Road was the Hamlet of McCurdy's Corners ...*originally part of Trafalgar Township in Halton County, until 1974 when the Mississauga border was extended to Ninth Line, placing the east half within the borders of Mississauga.*

At McCurdy's Corners there was a Methodist Church and a school. The school was officially called S.S. #8 Trafalgar, also known as McCurdy's Corners School.

*One prominent family at McCurdy's Corners were the Cordingleys. Before travelling to Canada, David Cordingley was a dyer, living with his wife and first two children in York, England. David and Mary Cordingley first came to Canada, by way of Pennsylvania, likely in the early 1820s. In 1836, the Crown officially granted 100 acres of land to David Cordingley on lot 10, concession 10 in Trafalgar Township. In 1848, this land was sold to David and Mary's eighth of ten children, John Cordingley. David Cordingley died in 1867 at 85 years of age.*⁴

Until the 1990s, the site and the area surrounding it was rural. The farm was sold to a land developer in 1988 and the subject property with the house, barn and dairy were transferred back to the Cordingley family in 1992. Residential development of the farmlands began in the late 1980s, early 1990s. During

¹ The family name is recorded as "Cordingly" in the Registry Office records until 1906 and henceforth the name is spelled "Cordingley" (HIS Cordingly House, November 17, 2010, addendum October 04, 2011)

² City of Mississauga heritage files - http://www.mississauga.ca/file/COM/2011hacminutes_april26.pdf, accessed May 20, 2014

³ The Landplan Collaborative Ltd., *Heritage Impact Statement, Cordingly House 6671 Ninth Line, Mississauga*, November 17, 2010, addendum October 04, 2011

⁴ <http://www.heritagemississauga.com/page/McCurdys-Corners>, accessed October 03, 2011

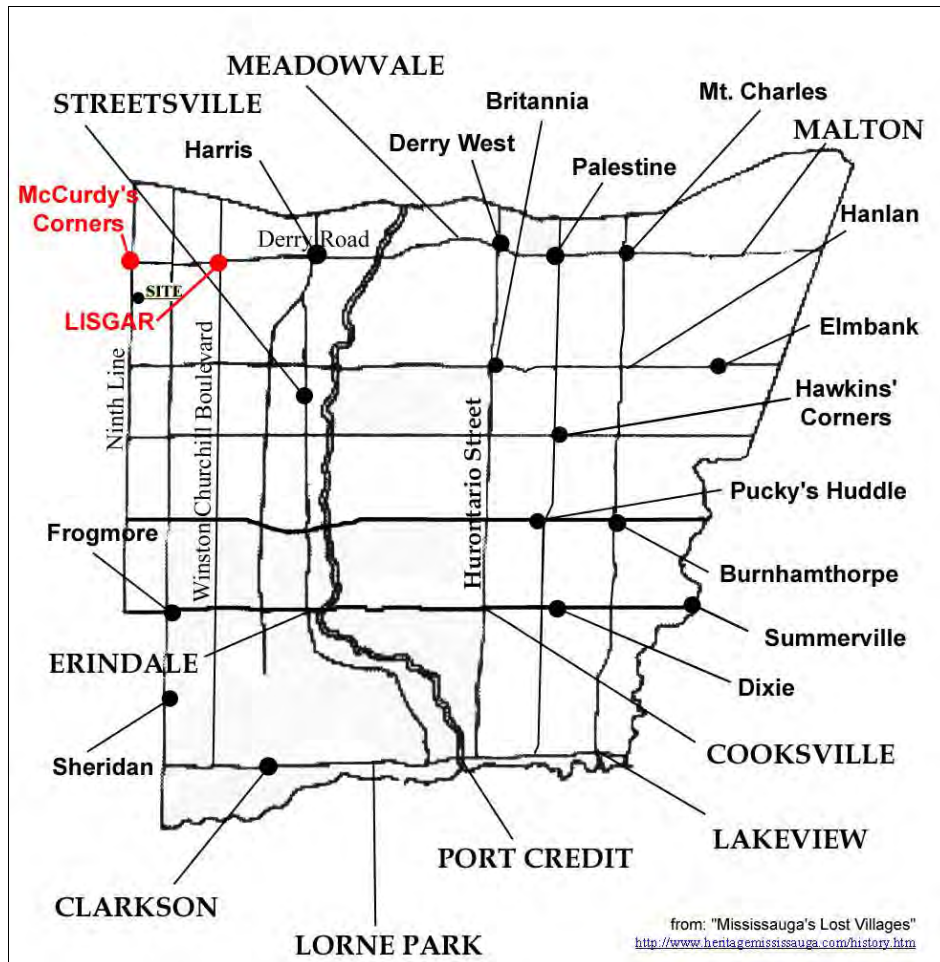


Figure 1

Site Location

the late 1980s and early 1990s, the landscape was transformed totally from farmland to urban development. Highway 407 just to the west followed in the 2000s. Urban development east of Ninth Line is virtually complete today.

The remarkable changes to the immediate environs of the subject property are captured in these 1954, 1985, and 2013 airphotos. (Figure 2)



Figure 2 1954, 1985, 2013 airphotos of subject property

<http://www.mississauga.ca/portal/services/maps>

The property was in the ownership of the same family for 174 years, from 1836 to 2010. A listing of owners from the Land Registry Office can be found in *Heritage Impact Statement, Cordingley House 6671*

Ninth Line, Mississauga, November 17, 2010, addendum October 04, 2011. From 1836, when the property was purchased from the Crown, until the early 1990s, the property was farmed.

Most of the farm was developed for housing in the early 1990s, with the exception of the subject of this HIS, a 656 m² (0.162 acre) lot which includes the Cordingley house and a brick dairy building (see Figure 3). A frame barn on the property was recently removed.⁵

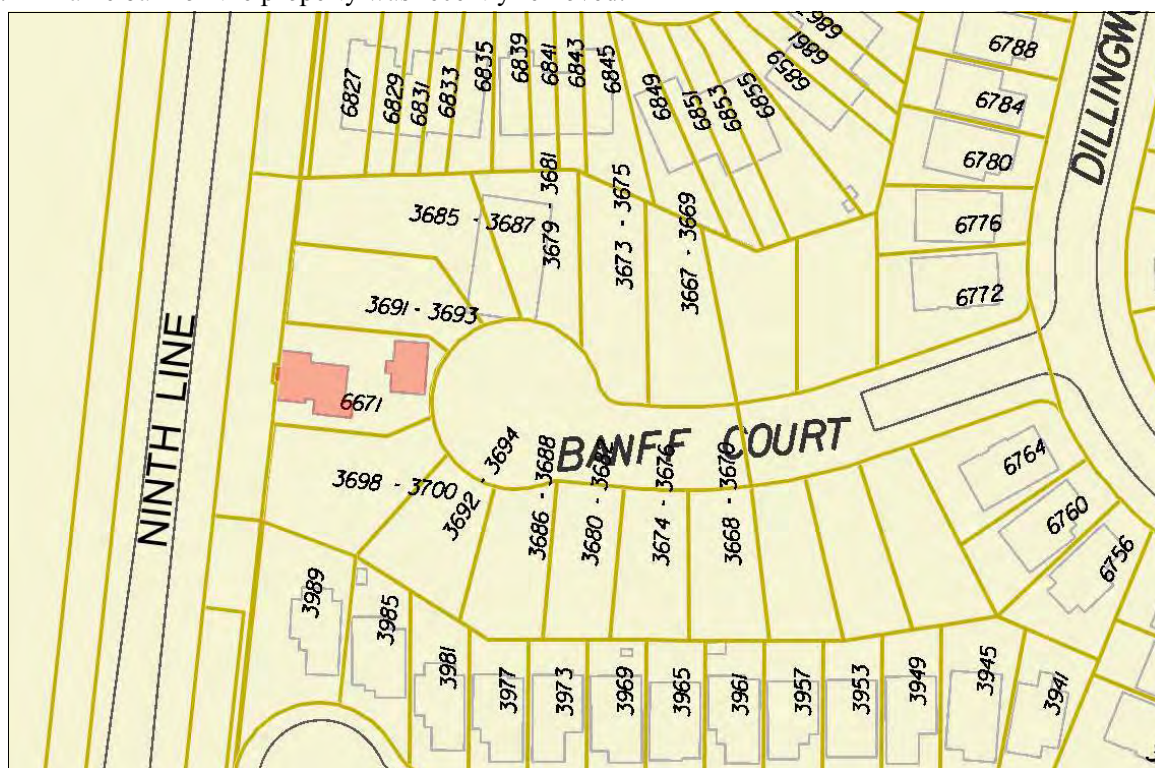


Figure 3 6671 Ninth Line (house & dairy building in red) <http://www.mississauga.ca/portal/services/maps>

2.2 Listing and written description of existing structures, significance and heritage attributes

Cordingley House and the brick former dairy outbuilding have been designated under Part IV of the *Ontario Heritage Act*.⁶ The rear portion of the house was probably built first, *circa* 1843, with the front portion added *circa* 1884.⁷ The date of construction of the brick dairy building is unknown, but is likely the 1860s. Heritage attributes of the property include elements related to the architecture and architectural details of the house and the dairy building, the property's 174 year association with the Cordingley/Cordingley family and the property's context. Attributes are listed in *Schedule B* to the By-

⁵ *Minutes: Heritage Advisory Committee, The Corporation of the City of Mississauga, Tuesday, October 25, 2011 - 9:00 A.M.*

⁶ approved by General Committee on May 4, 2011 and adopted by City Council on May 11, 2011 via Resolution 0134-2011. www.mississauga.ca/file/COM/2012CouncilAgenda_23May.pdf - 2012-05-17

⁷ "The rear wing of the Cordingley House predates the front, main section and was probably built as the original house in the mid-1840s. The front section of the house was built in the mid-1880s, at which time the original house was relegated to kitchen wing status, although its windows and exterior trims were updated at that time to blend with the new building." *Structural Review and Recommendations for The Cordingley House, 6671 Ninth Line, Mississauga*, Shoalts Engineering, March 29, 2015

law⁸; namely:

Key attributes that reflect Cordingley House's physical/design value:

- its Gothic Revival farmhouse shape and form
 - N the three bay façades on both the front and “tail”
 - N the centre gables
 - N the placement of the central entrances under the centre gables
- its Gothic Revival features
 - N the tall narrow proportions of its windows
 - N the steep roof pitch
 - N the seemingly asymmetrical arrangement of the chimneys
- the bell cote
- the balustrade
- the north veranda
- the front porch, including doors, windows, transom, brackets and detailing
- the original doors
- the vergeboard
- the shutters
- the original windows
- the window surrounds
- the bay window, including its mansard roof and lower panelling
- all trim, brackets, fretwork and detailing
- the wooden clapboard and board ‘n batten siding
- the brick outbuilding, including its shape and form and stone foundation

Key attributes that reflect Cordingley House's historical/associative value:

- its location on one of the actual corner lots of McCurdy's Corners (Ninth Line and Derry Road West)

Key attributes that reflect Cordingley House's contextual value:

- its location on one of the actual corner lots of McCurdy's Corners (Ninth Line and Derry Road West)
- its proximity and visibility to Ninth Line
- the physical relationship between the house structure and the brick outbuilding within a large open space

2.3 Documentation of the heritage resource

The Cordingley House

The 2010 HIS⁹ described the house. It is a two and one and a half storey wood frame structure, T-shaped in plan. That HIS surmised that the two storey front portion of the house was believed to be c. 1843 clad with 1 x 6 pine board shiplap-siding and that the one and one half storey “summer kitchen wing” was later,

⁸ Draft Schedule “B” to By-law No. _____ Designation Statement Cordingley House, 6671 Ninth Line, City of Mississauga

⁹ The Landplan Collaborative Ltd., *Heritage Impact Statement, Cordingley House 6671 Ninth Line, Mississauga*, November 17, 2010, addendum October 04, 2011

and clad with plain bevel (clapboard) 1 x 6 pine board siding. A small covered porch sided with board and batten is situated on the southeast corner (Figures 4 & 5). Since that HIS was written, a structural analysis was carried out by Shoalts Engineering that suggests the rear (east) portion is the earlier and the west (front) portion of later construction¹⁰. According to the City's 'property heritage details', this ... *accretion to the south rear (is) believed by the owners to be the original building of board and batten*¹¹. The author believes this to be unlikely, the board and batten covered porch being a later addition. The foundation is of Credit Valley stone and the gabled roof has a medium pitch, currently covered with painted, corrugated metal. There are two brick chimneys, one internally bracketed and the other external. Windows in the front portion are 2/2 double hung sash with arched heads and shuttered. In the centre, front, west gable there is a round headed window which opens out onto a small balcony with turned balusters. The centre gable is trimmed with vergeboard on apex. A single storey bowed window appears on the north side of the main block, capped with a shallow mansard roof supported by paired brackets (Figure 6). The front entrance has a double-leafed wooden door with textured glazing in the top half and is trimmed with gingerbread (Figures 4 & 5). The rear has an open verandah along the north side with heavy pierced treillage with brackets. The porch is roofed with asphalt shingles. A bell tower is centrally located on top of the roof of the rear wing. A bell is evident in a 1976 photograph (Figure 14) but is no longer extant, having been removed at some point since (Figure 12). The bellcote has also been moved to the gable verge. Upper storey windows are round-headed; however all the sash has been replaced and the round heads filled in with plywood sheeting (Figure 13).



Figure 4



west (front) elevation Figure 5

west (front) elevation

¹⁰ "A few items should be noted with respect to the forgoing excerpt, other information in the CHA, and statements in the draft Heritage Impact Statement prepared by CHC (2014). The date of construction of the rear (east) wing given in the CHA of ca. 1843 is reasonable assumption, as is the 1884 date given for the front section. The reverse order of construction and the dates of construction given in the draft HIS are almost certainly incorrect. Numerous elements of style and construction as well as the physical arrangement of specific items establishes that the front section was built subsequent to the rear section, and the CHA presumed dates are supported by substantial evidence.", Shoalts Engineering, March 2015

¹¹ City of Mississauga heritage files - <http://www.mississauga.ca/portal/services/property>, accessed May 22, 2014



Figure 6 north elevation - circa 1843 wing



Figure 7 north elevation - circa 1884 wing



Figure 8 south elevation



Figure 9 south elevation - porch



Figure 10 east elevation



Figure 11 east elevation



Figure 12 bell tower w/satellite dish



Figure 13 window head blocked-in with plywood
circa 1843 tail section



Fig. 14 bell tower & bell w/TV antenna, 1976

The Dairy

A six metre by ten metre, one storey, red brick former dairy building is documented in the 2010 HIS. (Figures 21 & 22). It is not a subject of this HIS.



Figure 15

west elevation - former dairy



Figure 16

east elevation - former dairy

2.4 The proposed alteration

The proposal is to alter the designated Cordingley House by removing the *circa* 1840s rear wing with its later southerly enclosed porch addition and to replace same with a structure of basically the same footprint and architecturally sympathetic to the original. Figures 17 through 21 illustrate the proposal. Gray-shaded areas are the original portions of the house to remain and be restored. Red-shaded areas are to be removed. Areas without shading are new. The view from the front (west) will remain much as the current view with the exception that the view of the later covered porch addition (in red on Figure 17) will be replaced by the 2 storey addition on the right hand (south) side of the house.

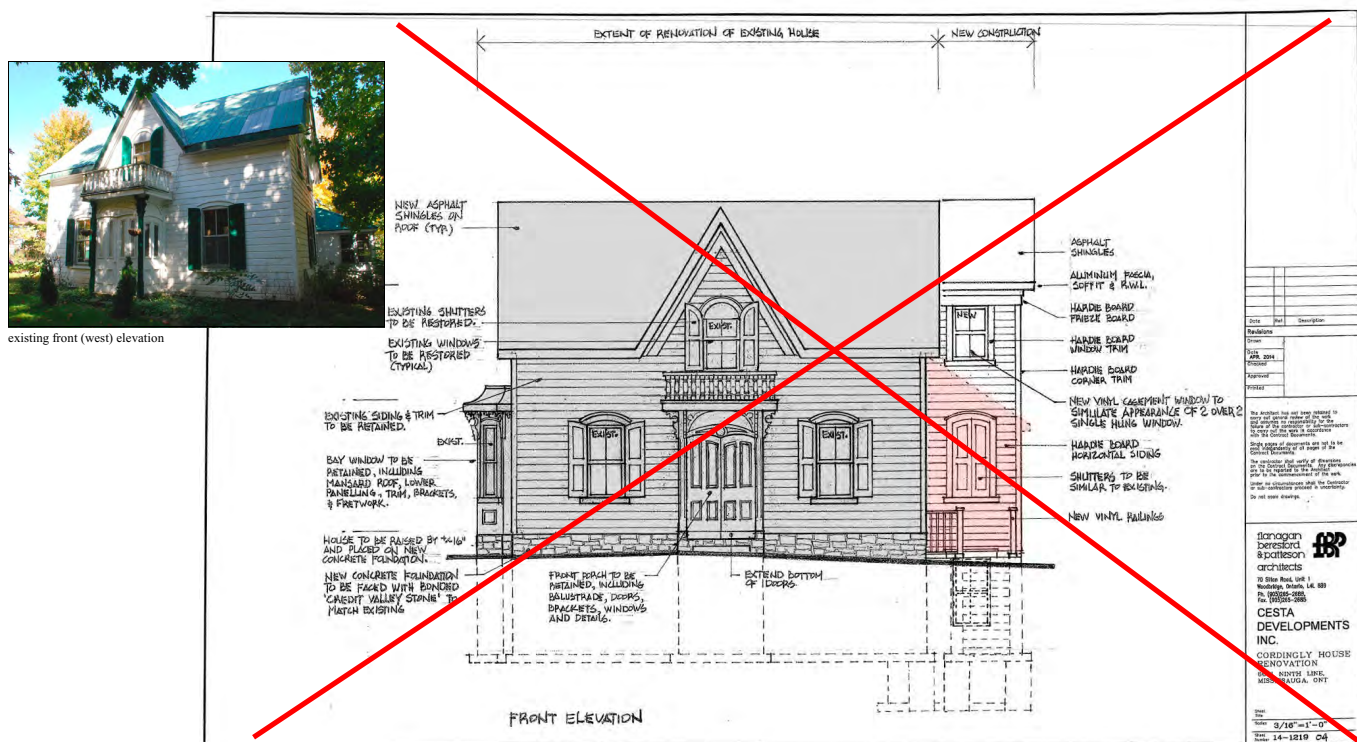
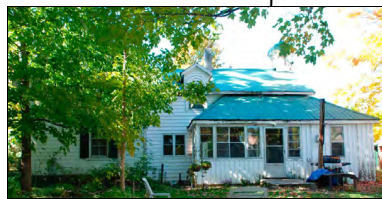


Figure 17

proposed front (west) elevation - flanagan beresford & patterson architects June 26, 2014



Horizontal "Hardie Board" (fibre cement) siding, will be used on the addition to be reminiscent, but not a copy of the current rear wing. Window styles and shutters will be similar to those of the *circa* 1880s front portion of the house. Figure 18 illustrates the proposed north elevation which is reminiscent of the current *circa* 1840s rear wing. The replacement wing is proposed at 2 storeys rather than the existing 1½ storeys (in red on Figure 18). Windows, shutters, roof and gable pitches, porch design, siding all retain the character of the existing rear wing. A new one storey single car garage is to be attached at the rear.



existing south elevation

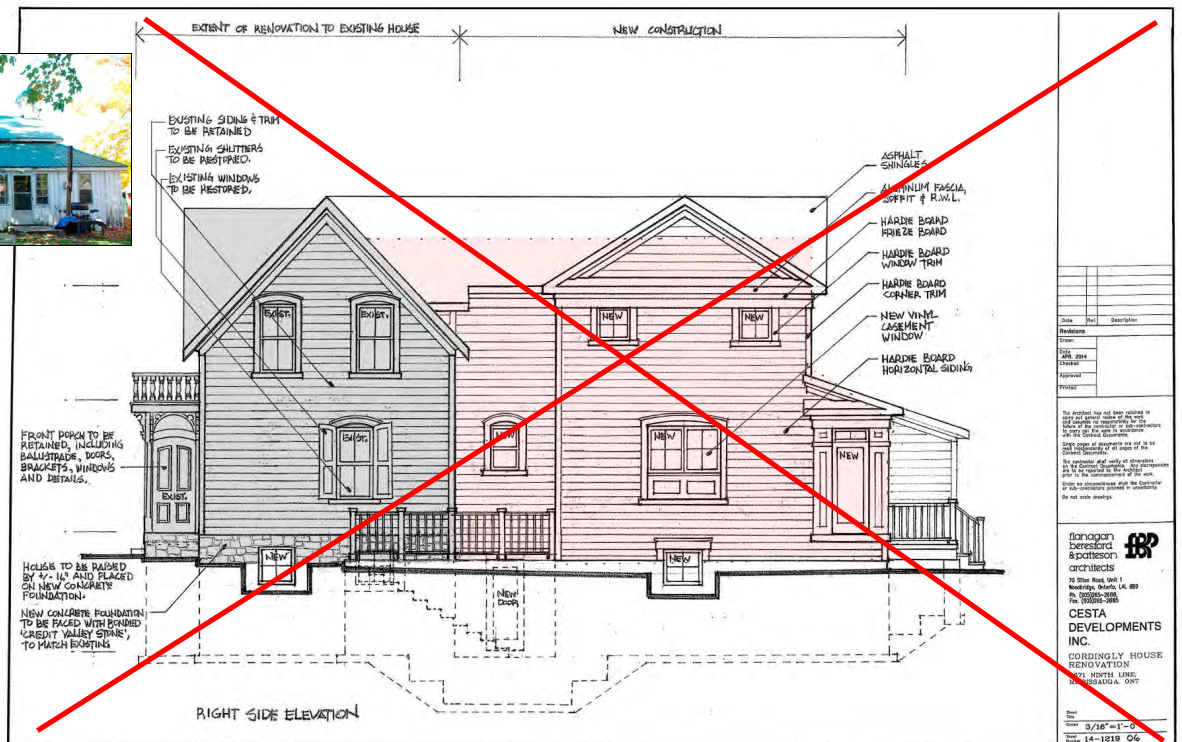


Figure 19

proposed south elevation - flanagan beresford & patterson architects June 26, 2014

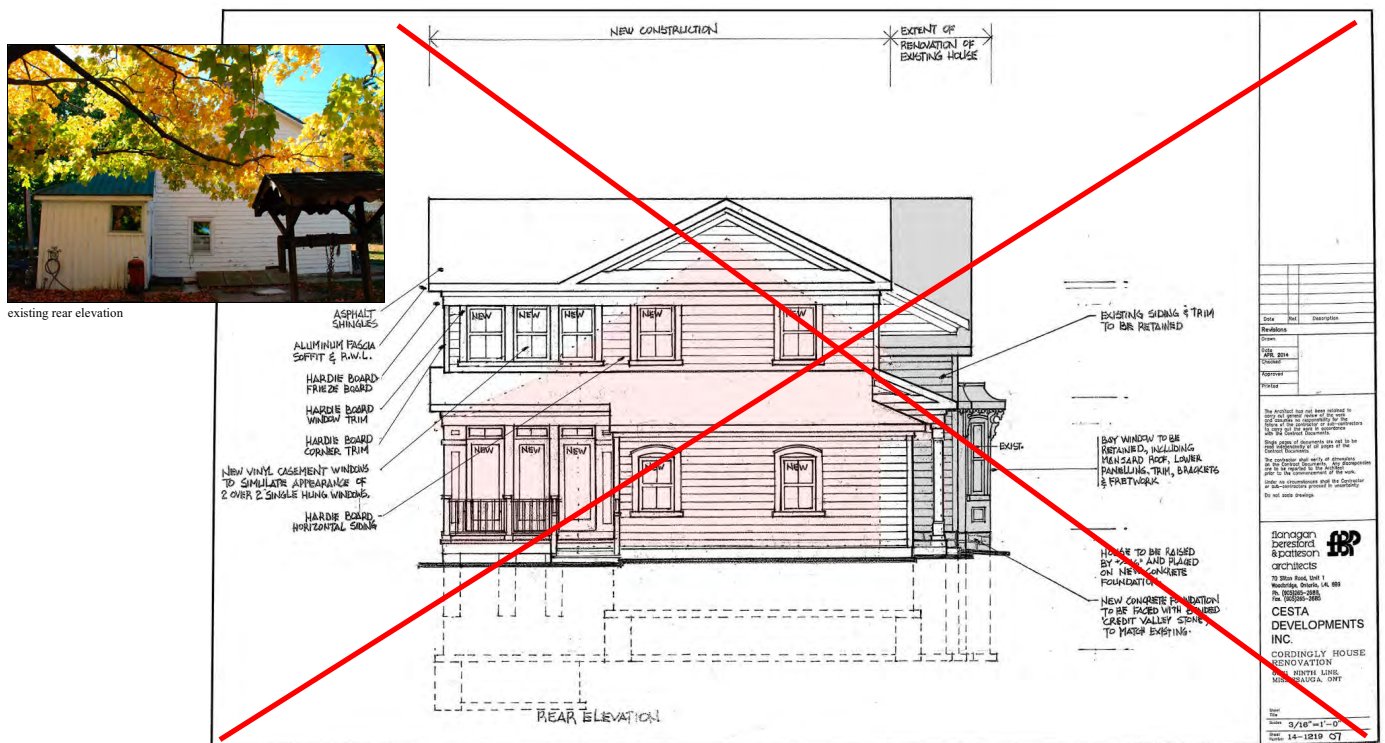


Figure 20

proposed rear (east) elevation - flanagan beresford & patteson architects June 26, 2014

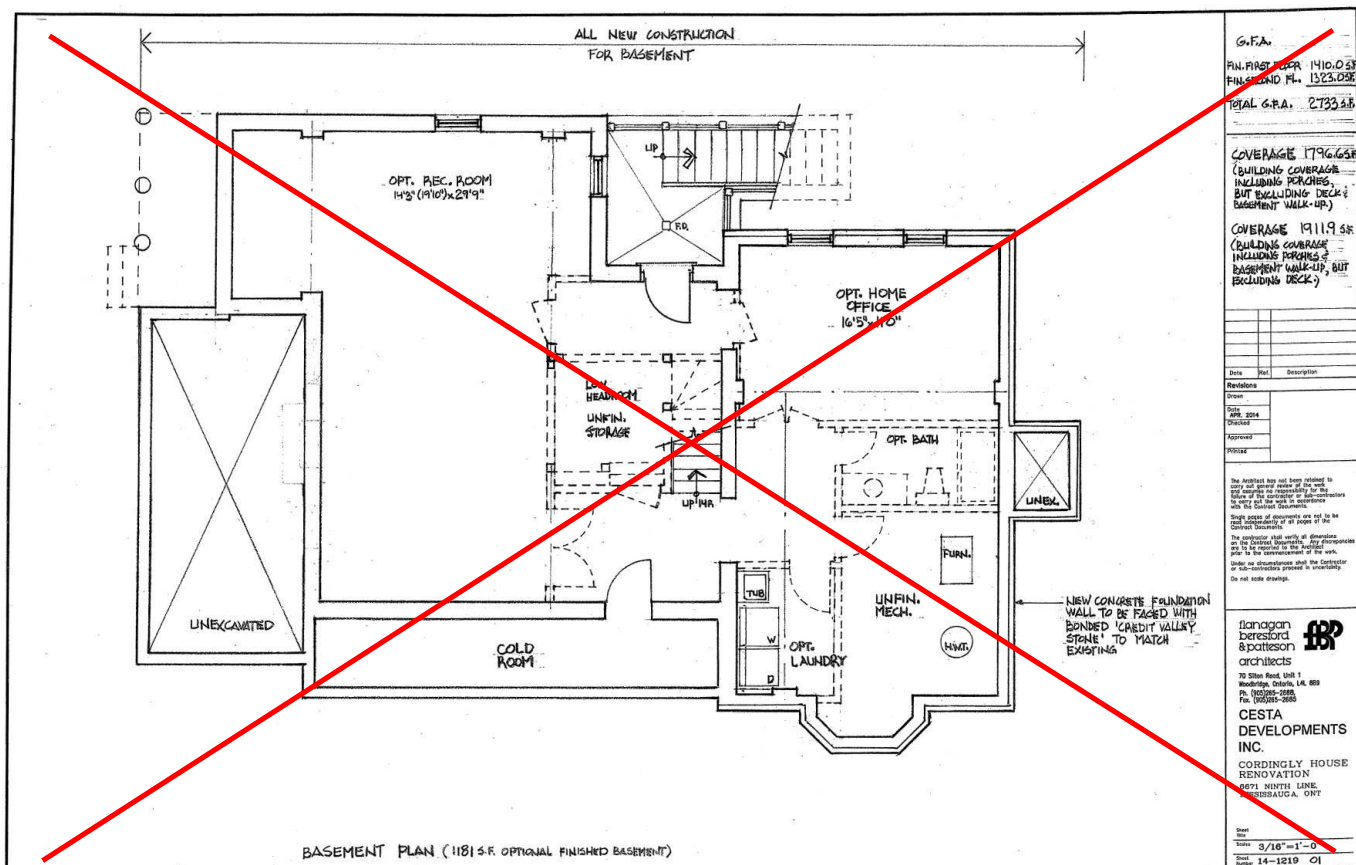
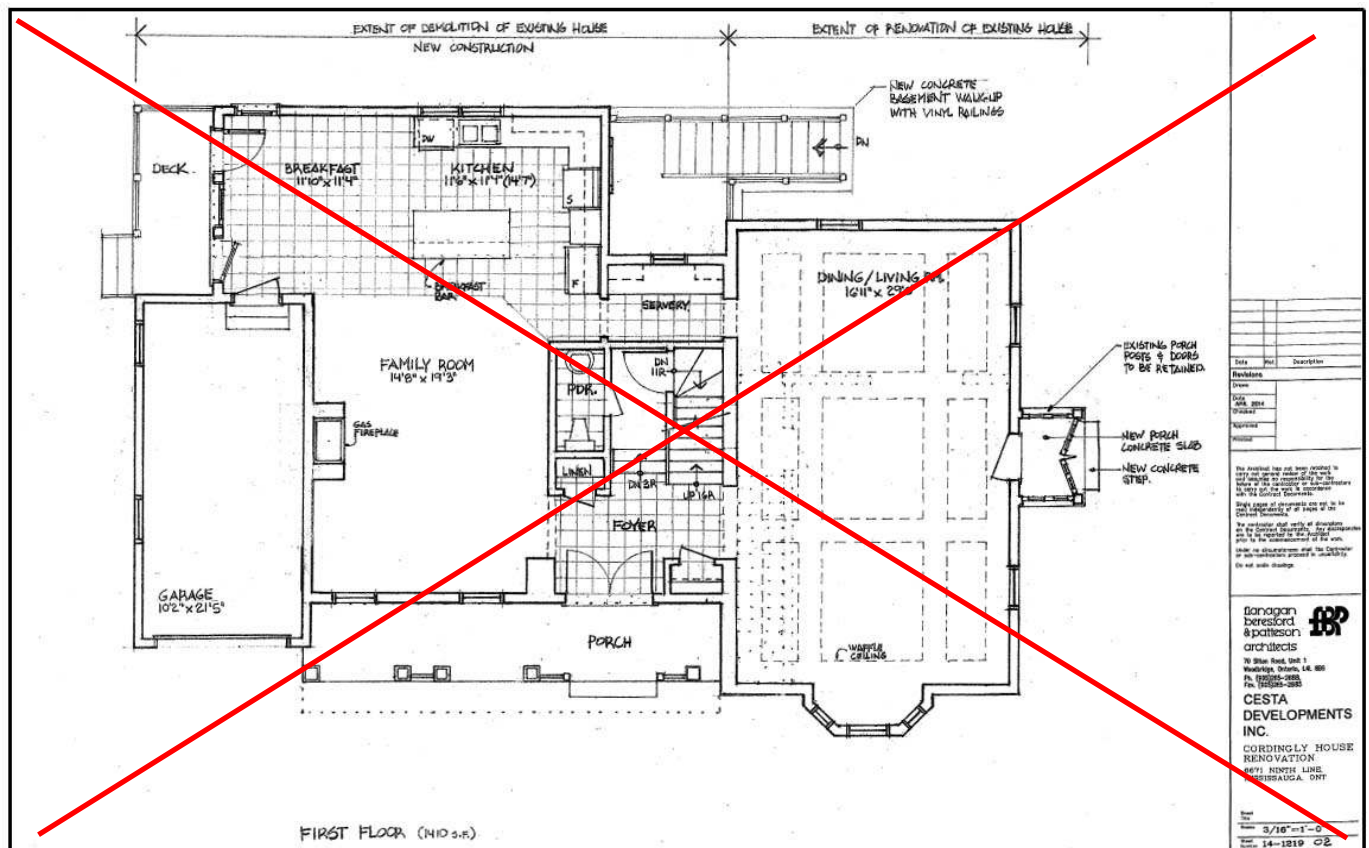


Figure 21
CHC Limited

proposed basement floor plan - all new construction - danagan beresford & patterson architects June 26, 2014
April 23, 2015



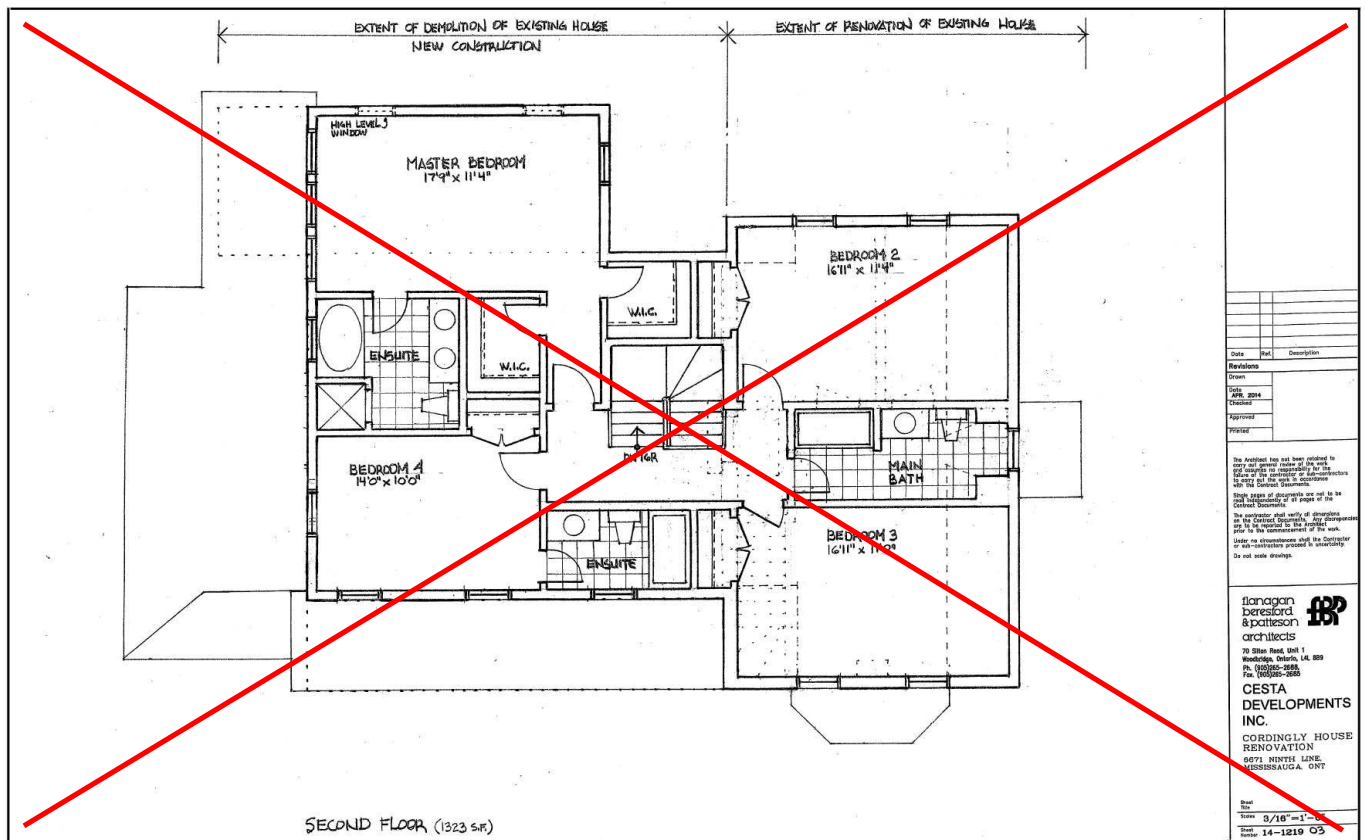


Figure 23

proposed second floor plan - east wing all new construction - flanagan beresford & patterson architects June 26, 2014

2.5 Conservation - principles and mitigation

The City's HIS terms of reference require that ... *The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.*¹² The previous HIS for this property concluded that ... *The property warrants conservation and is a worthy candidate for Part IV designation under the Ontario Heritage Act. Some of the heritage character-defining attributes of the buildings are in need of restoration, including soffits, eaves, verge boards, siding, etc.*¹³ The house and the former dairy building were designated in 2011. The heritage character defining attributes of the subject property are affected by the proposal and the development proposal's potential impact upon them is addressed by this HIS.

Conservation principles that apply are related to the potential impact of proposed alterations to the *circa* 1840s wing and later closed porch on the south side of the designated house.

The rear wing or tail is structurally unsound. Earlier attempts to raise it to relieve the sagging structure have not been successful. As well, it was poorly constructed originally with inferior and undersized materials. As is illustrated in Figures 17 - 21, the rear wing is to be replaced with an addition that is sympathetic to the original, but is not a replica. Materials for new construction will be low maintenance with an appearance that is similar to the original, but recognized as products of their own time, to make the replacement wing distinct from the old, while remaining in harmony with it.

The entire house is to be raised approximately 16" (405 mm) on a concrete foundation to ensure that the floor timbers are kept dry and away from insect and dry rot (timbers are currently at ground level). A full basement will provide space for upgraded mechanical systems. To retain the look of the foundation, the existing Credit Valley foundation stone will be salvaged and veneered on the concrete foundation wall.

The front part of the house is to be restored utilizing all the original materials except where damage is severe. In those cases, in-kind materials will be used.

2.6 Summary of conservation principles and how they will be used

The City's terms of reference for an HIS require the following with respect to this summary: *A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)*¹⁴

¹² City of Mississauga Heritage Impact Statement Terms of Reference, February 2013

¹³ The Landplan Collaborative Ltd., *Heritage Impact Statement, Cordingley House 6671 Ninth Line, Mississauga*, November 17, 2010, addendum October 04, 2011

¹⁴ *ibid*

*Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada:*¹⁵

General Standards (all projects)

1 Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.

The front part of the house is to be restored, retaining all the character-defining elements. The rear wing is in very poor condition, has no basement, and is to be replaced.

2 Conserve changes to a historic place which, over time, have become character-defining elements in their own right.

The rear wing is in very poor condition and is to be replaced.

3 Conserve heritage value by adopting an approach calling for minimal intervention.

See point 2 above. Minimal intervention is to be employed on the front part of the house.

4 Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.

Not applicable

5 Find a use for a historic place that requires minimal or no change to its character-defining elements.

The house is to remain a residence.

6 Protect and, if necessary, stabilize a historic place until any subsequent intervention is under-taken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.

Not applicable

7 Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

Because of its condition, the rear wing is to be replaced using new materials. Original materials on the front part of the house are to be retained and restored where necessary.

8 Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

See point 7 above.

9 Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place, and identifiable upon close inspection. Document any intervention

¹⁵ www.parkscanada.gc.ca

for future reference.

See point 7 above.

Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture:
(now called *Eight Guiding Principles in the Conservation of Built Heritage Properties*)¹⁶

1. RESPECT FOR DOCUMENTARY EVIDENCE:

Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.

Not applicable

2. RESPECT FOR THE ORIGINAL LOCATION:

Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.

Building remains in-situ.

3. RESPECT FOR HISTORIC MATERIAL:

Repair/conserve - rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.

For structural and practical reasons, it is necessary to replace the rear wing.

4. RESPECT FOR ORIGINAL FABRIC:

Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.

Original materials on the front part of the house are to be retained and restored where necessary. Any required replacements will be with in-kind materials.

5. RESPECT FOR THE BUILDING'S HISTORY:

Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.

Not applicable

6. REVERSIBILITY:

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

Not applicable

7. LEGIBILITY:

New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new

New work will be distinguishable from old; the replacement portion, while sympathetic to the original and the remaining house, does not attempt to replicate it.

¹⁶ http://www.culture.gov.on.ca/english/heritage/info_sheets/info_sheet_8principles.htm

8. MAINTENANCE:

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

2.7 Proposed demolition / alterations explained

As noted above, the front part of the house is to be restored, retaining all the character-defining elements. The rear wing is in very poor condition and is to be replaced.

2.8 Alternatives for salvage mitigation

Not applicable

2.9 Qualifications of the author completing the Heritage Impact Statement

See appendix 4.

3.0 SUMMARY STATEMENT and CONSERVATION RECOMMENDATIONS

There are two significant heritage structures on the property. It is intended that both heritage structures be retained. Conservation of the heritage / character-defining attributes of the original *circa* 1884 house and the dairy building is intended. Reconstruction of the rear wing will assure continued conservation of the architecturally and historically significant original house.

Mitigating measures proposed include:

- restoration of the original *circa* 1884 house;
- reconstruction of the rear wing to provide a marketable and maintainable heritage resource;
- construction of a replacement wing that is architecturally appropriate to the period and style of the house.

This heritage impact statement is respectfully submitted by:

CHC Limited

per: Owen R. Scott, OALA, FCSLA, CAHP

REFERENCES

City of Mississauga *Heritage Impact Statement Terms of Reference*, February 2013

City of Mississauga heritage files - http://www.mississauga.ca/file/COM/2011hacminutes_april26.pdf, accessed May 20, 2014

City of Mississauga heritage files - <http://www.heritagemississauga.com/page/McCurdys-Corners>, accessed October 03, 2011

City of Mississauga Council Resolution 0134-2011.
www.mississauga.ca/file/COM/2012CouncilAgenda_23May.pdf - 2012-05-17

City of Mississauga Draft *Schedule "B" to By-law No. _____ Designation Statement Cordingley House, 6671 Ninth Line*

Flanagan Beresford & Patteson Architects, Cordingley House Renovation drawings, June 26, 2014

Minutes: Heritage Advisory Committee, The Corporation of the City of Mississauga, Tuesday, October 25, 2011 - 9:00 A.M.

Parks Canada – *Standards and Guidelines for the Conservation of Historic Places in Canada: General Standards (all projects)* www.parkscanada.gc.ca

Ontario Ministry of Culture Info Sheets: *Eight Guiding Principles in the Conservation of Built Heritage Properties* http://www.culture.gov.on.ca/english/heritage/info_sheets/info_sheet_8principles.htm

Shoalts Engineering *Structural Review and Recommendations for The Cordingley House, 6671 Ninth Line, Mississauga*, March 29, 2015

The Archaeologists Inc., *Stage 1 and 2 Archaeological Assessment for 6671 9th Line, Part of Lot 10, Concession 10, Geographic Township of Trafalgar, Now the City of Mississauga, Regional Municipality of Peel, Ontario.* Original Report Filed: May 15, 2012

The Landplan Collaborative Ltd., *Heritage Impact Statement, Cordingley House, 6671 Ninth Line, Mississauga* November 17, 2010, addendum October 04, 2011

World Engineering Ltd. *Structural Engineering Report, Foundation of Existing House at 6671- 9th Line, Mississauga for Cesta Developments*, September 28 2014

DESIGNATION STATEMENT Cordingley House, 6671 Ninth Line

The Cordingley House is a Gothic Revival farmhouse located on the east side of Ninth Line, south of Derry Road West.

Statement of Cultural Heritage Value or Interest

The Cordingley House has physical/design value because it displays a high degree of craftsmanship and artistic merit. Additionally, it is a rare example of the Gothic Revival style in the Meadowvale/Lisgar area.

The property is also a rare example of one owned by the same family since the Crown patent.

The Cordingley House has historical/associative value because it yields information about McCurdy’s Corners.

The Cordingley House has contextual value because it is historically linked to its surroundings.

Description of Heritage Attributes

Key attributes that reflect Cordingley House’s physical/design value:

- its Gothic Revival farmhouse shape and form
 - N the three bay façades on both the front and “tail”
 - N the centre gables
 - N the placement of the central entrances under the centre gables
- its Gothic Revival features
 - N the tall narrow proportions of its windows
 - N the steep roof pitch
 - N the seemingly asymmetrical arrangement of the chimneys
- the bell cote
- the balustrade
- the north veranda
- the front porch, including doors, windows, transom, brackets and detailing
- the original doors
- the vergeboard
- the shutters
- the original windows
- the window surrounds
- the bay window, including its mansard roof and lower panelling
- all trim, brackets, fretwork and detailing
- the wooden clapboard and board ‘n batten siding
- the brick outbuilding, including its shape and form and stone foundation

Key attributes that reflect Cordingley House’s historical/associative value:

- its location on one of the actual corner lots of McCurdy’s Corners (Ninth Line and Derry Road West)

Key attributes that reflect Cordingley House’s contextual value:

- its location on one of the actual corner lots of McCurdy’s Corners (Ninth Line and Derry Road West)
- its proximity and visibility to Ninth Line
- the physical relationship between the house structure and the brick outbuilding within a large open space

Appendix 2
copy of Heritage Property Permit Application

Heritage Property Permit Application



The Corporation of the City of Mississauga
Community Services
Culture Division
201 City Centre Drive, Suite 202
Mississauga, ON L5B 2T4
FAX: 905-615-3828
www.mississauga.ca/heritageplanning

Personal information collected on this form and other required documents is collected under the authority of the Ontario Heritage Act, s.33(1)(2) and s.42 (1.2.1.2.2) and City of Mississauga Heritage By-law 215-0-01 as amended. The information will be used to process the application. Questions about the collection of this personal information should be directed to the Senior Heritage Coordinator, 201 City Centre Drive, Mississauga, ON L5B 2T4, Telephone 905-615-3200 ext. 5366.

LOCATION DETAILS

For Office Use Only:

Heritage Property Permit Number:

Will the Heritage Advisory Committee review be required? Yes ☐ No ☐

(Please Print Clearly)

Municipal Address: 6671 Ninth Line, Mississauga

Legal Address:

Property Owner: Cesta Developments Inc.

Contact Address: 536 Queens Drive, Toronto M6L 1M8

Phone: 905 873-3335

Fax: 905 873-0325

Email address: info@cestadevelopments.com

HERITAGE DESIGNATION BY-LAW NUMBER (if applicable):

What type of Permit is Required?

Alteration or addition ☒ Yes ☐ No

Demolition ☐ Yes ☐ No

New Construction ☐ Yes ☐ No

Repeal of Designation By-law ☐ Yes ☐ No

Is there a corresponding application, such as:

a) Building permit number

b) Site Plan application number

c) Rezoning application number

d) Other

Description of Work to be Completed:

Please attach drawings, site plans, and photographs to better illustrate the project. These may be required depending on the scale of the project.

Heritage Impact Statement attached.

Name: CAROLINE CESTA
Please Print

Date: 2014/06/17
YYYY / MM / DD

Signature (of property owner):

For information or assistance please contact "Heritage Planning, Community Services" at 905-615-3200 ext. 5070 or ext. 5366

Form 2248 (Rev. 2013 08)

WORLD ENGINEERING LTD.
E HALTON HILLS DESIGN BUILD
(416) 829-7004

STRUCTURAL ENGINEERING REPORT
FOUNDATION of EXISTING HOUSE at 6671- 9th LINE, MISSISSAUGA
for CESTA DEVELOPMENTS

September 28 2014

To Whom it May Concern:

The house at 6671 9th Line, Mississauga has no solid foundation, no water proofing, no water membrane, and no weeping tiles, resulting in water damage to floor joists and sub floor.

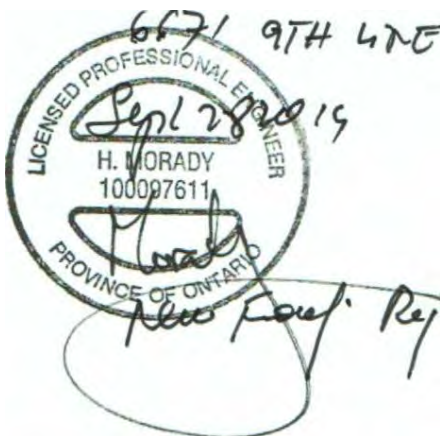
The floor structure has rotted and sagged. Posts are missing. Temporary supports have been installed over time. Lintels are rotten.

We recommend new footings and foundations be built. This will necessitate the dismantling or demolition of the "tail" of the house and a reconstruction of same. The main body of the house could be lifted on beams and a new foundation constructed under it.

Should there be any questions arising from this report, please contact the writer at (416) 829-7004 or (416) 829-2335.

Yours truly

WORLD ENGINEERING LTD.



& HALTON HILLS DESIGN BUILD
CC: FILE

Appendix 3

Structural Engineering Report

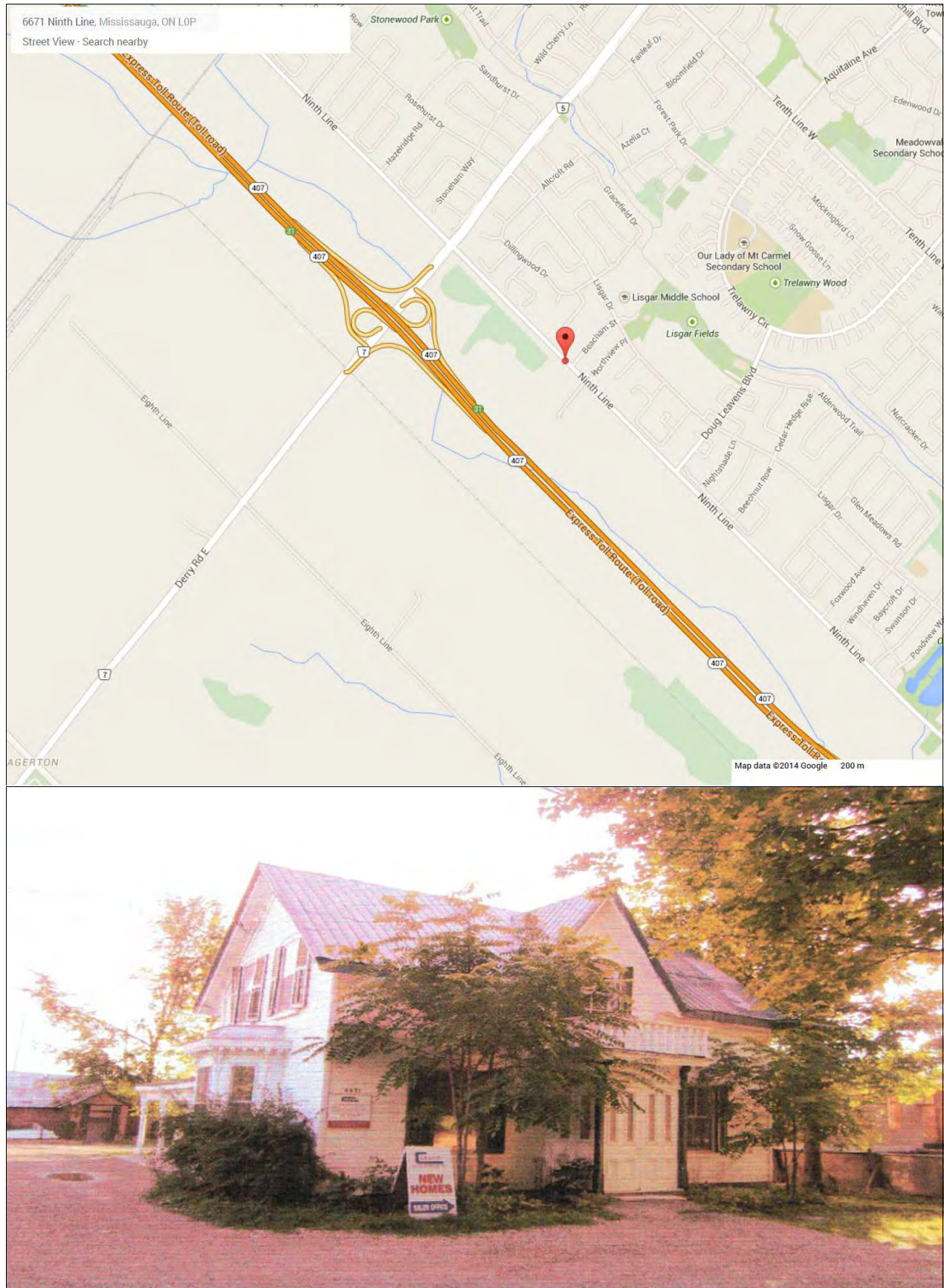


Figure 2

6671 Ninth Line

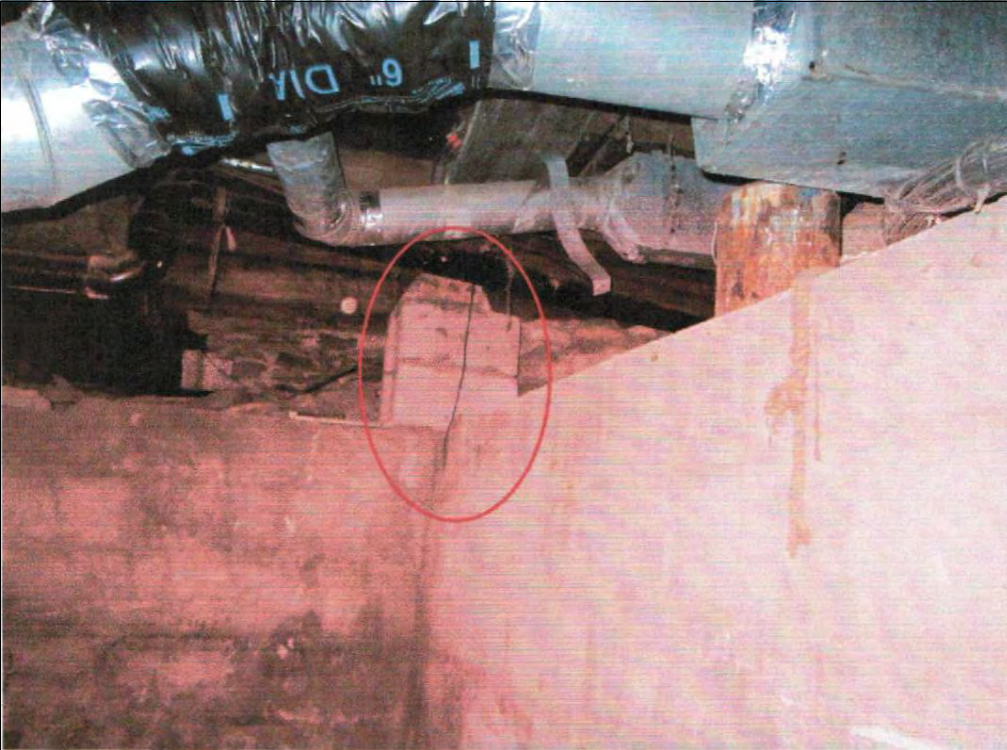


Figure 3 cinder blocks used to hold up unsecured floor joist

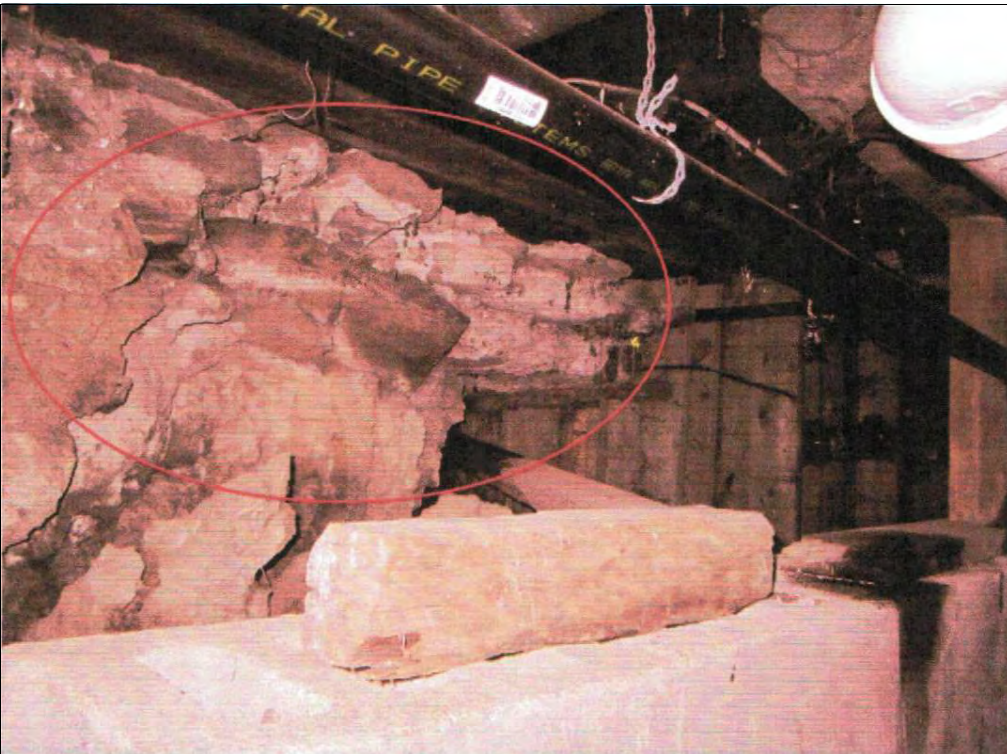


Figure 4 old foundation is in complete ruin and unstable;
temporary foundation has been erected to attempt to provide stability.



Figure 5

external cracking of foundation wall

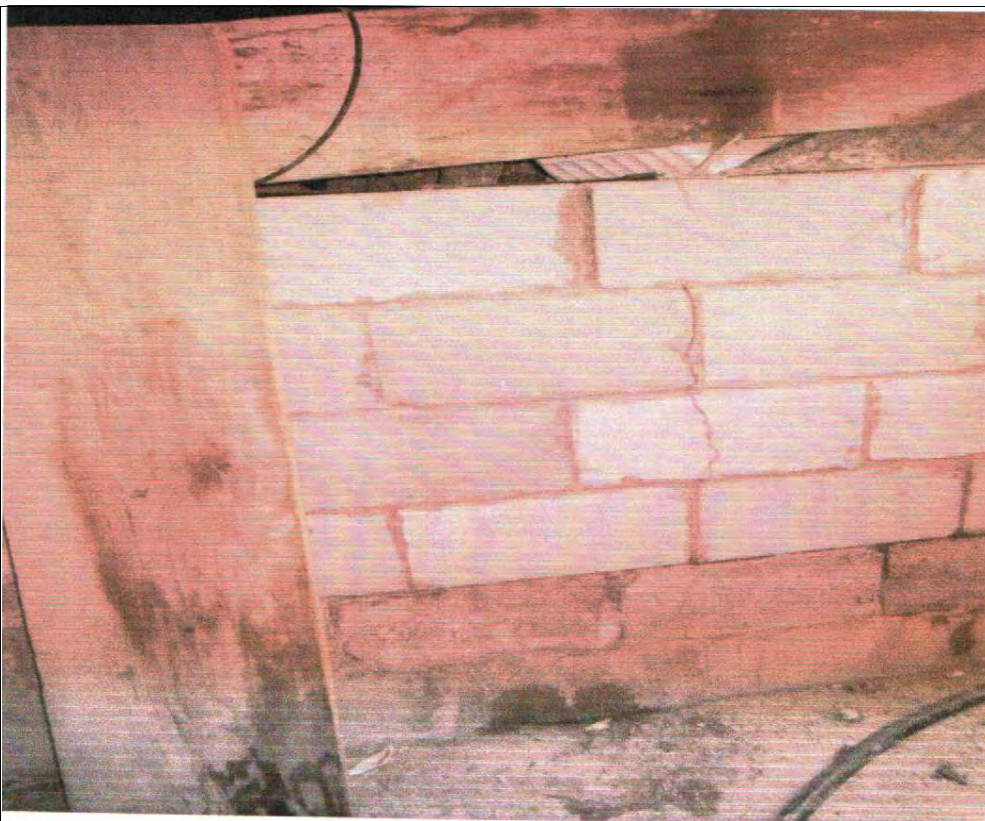


Figure 6

block "remedy" wall cracking

Appendix 3
Structural Engineering Report

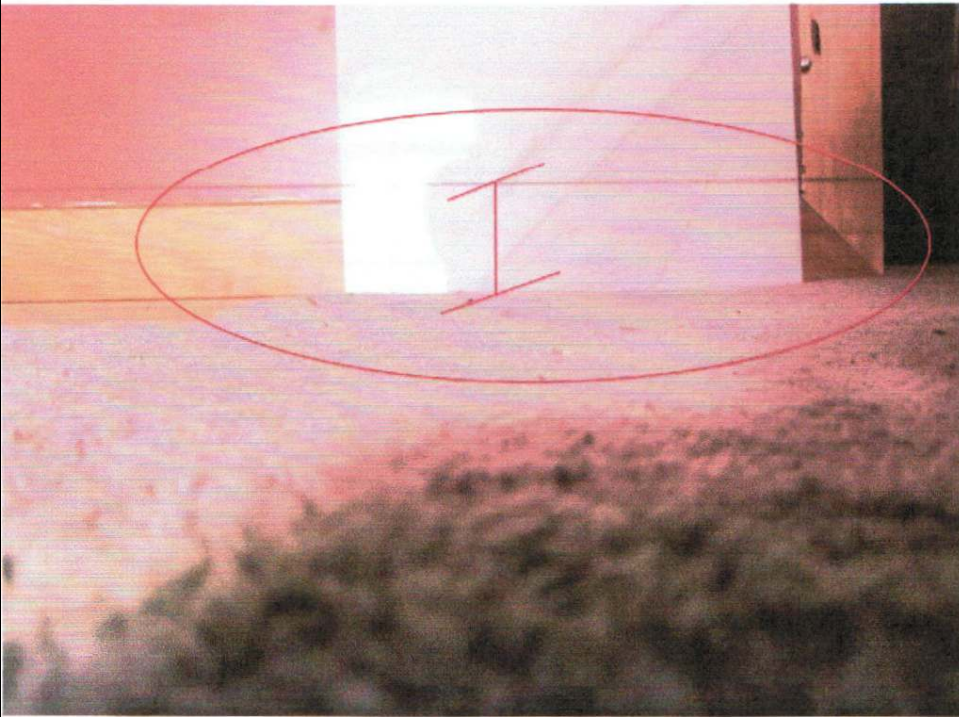


Figure 7

floor sag *versus* plumb line



Figure 8

floor sag *versus* plumb line

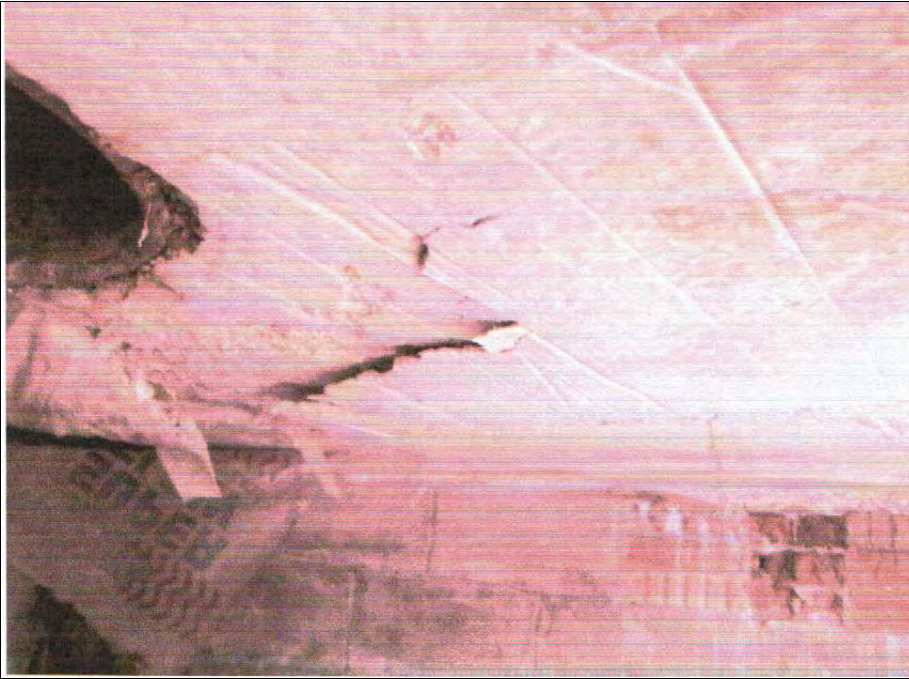


Figure 9

peeling on ceiling from stress on floor above
as well as freeze/thaw cycle.



Figure 10

cracking to porch slab & foundation wall

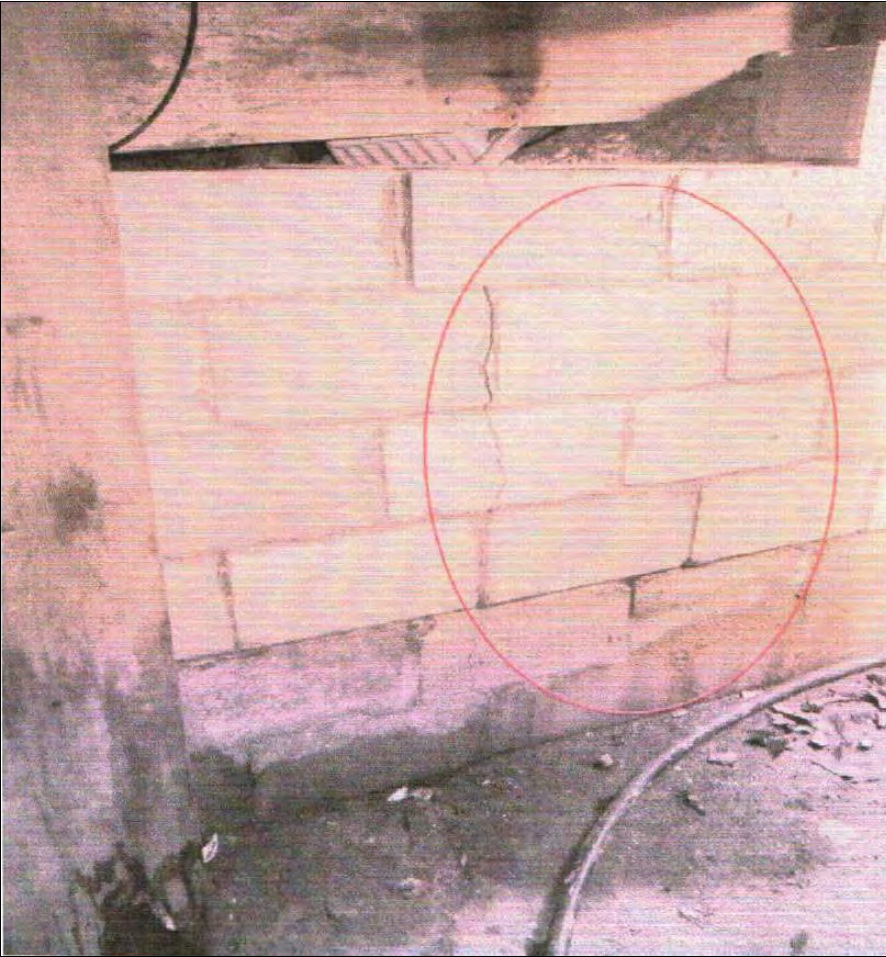


Figure 11 water damage, cracked “remedy” foundation wall

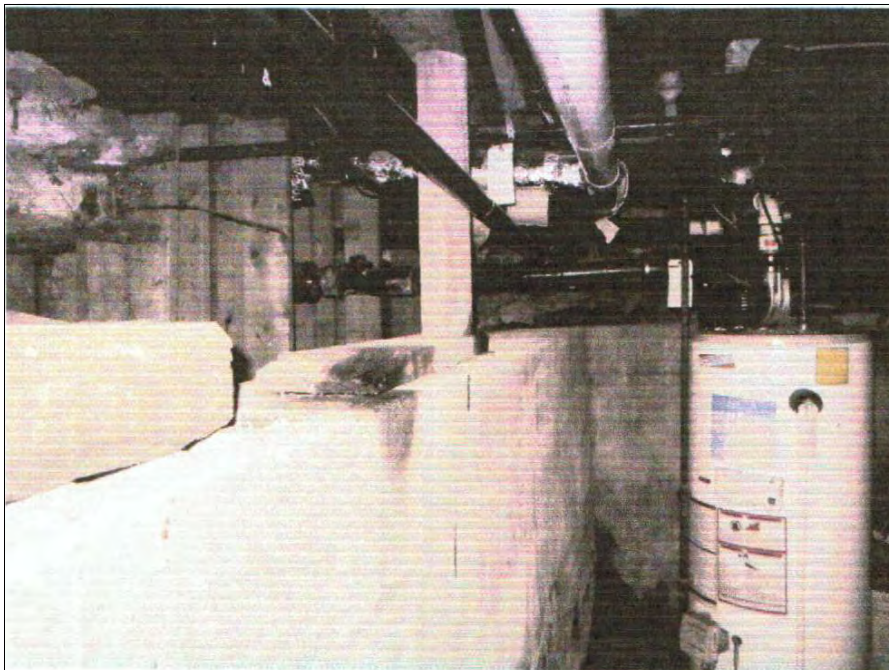


Figure 12 rotted floor joists and temporary support posts

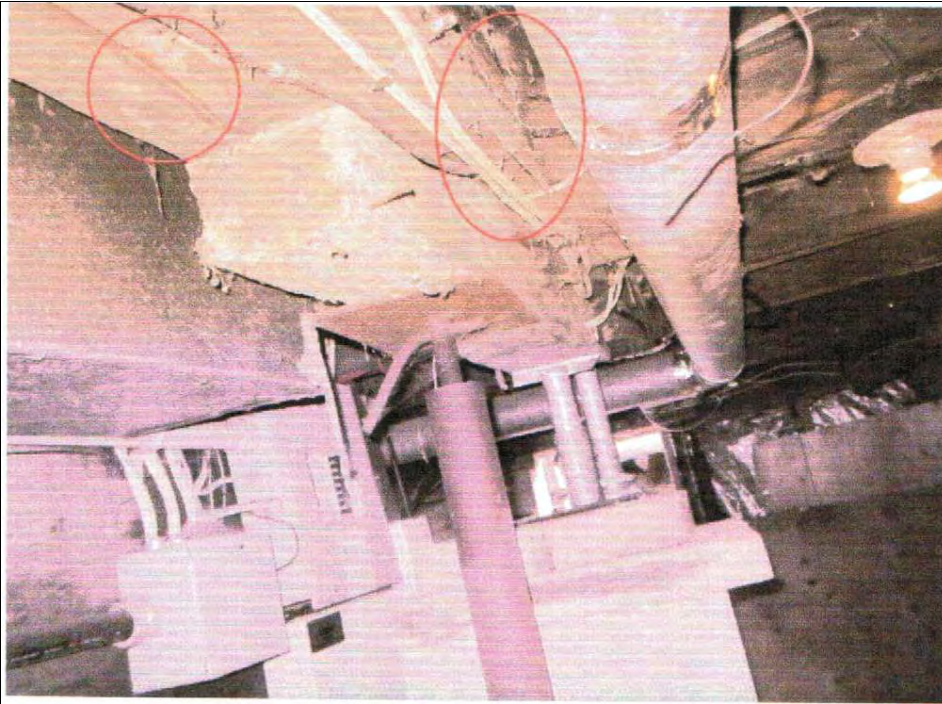


Figure 13 water damage, cracking to beam above, additional post supports



Figure 14 damaged doorway lintel



Figure 15

rotted lintel & floor joist



Figure 16

fractured concrete from freeze/thaw cycle exposing rebar



Figure 17 damaged support beam & post, temporary post missing top plate



Fig 18 severe cracking in cinder block wall, structural integrity compromised

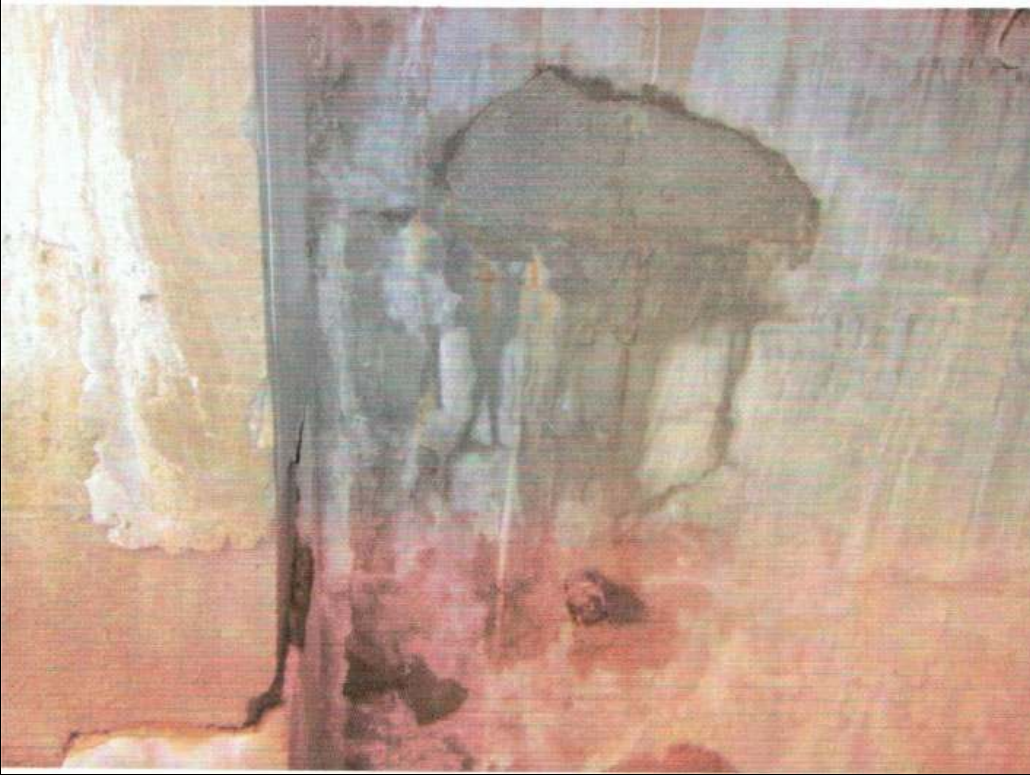


Figure 19

severe water damage to foundation wall

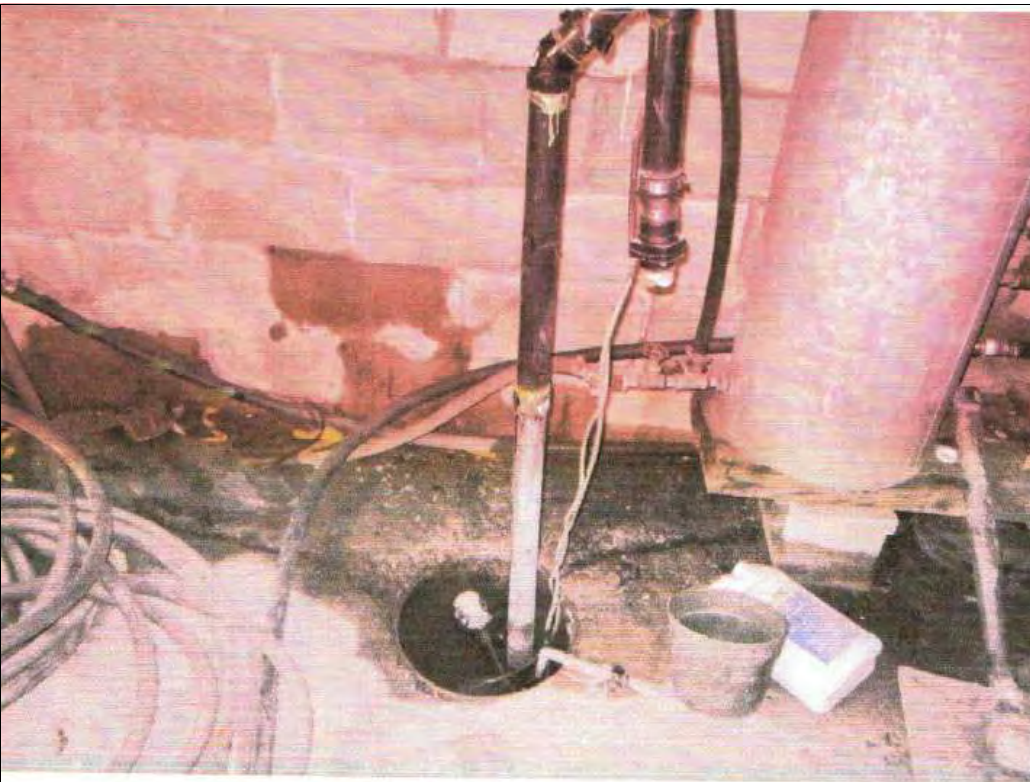


Figure 20

water penetrating cinder block foundation wall

Appendix 3
Structural Engineering Report

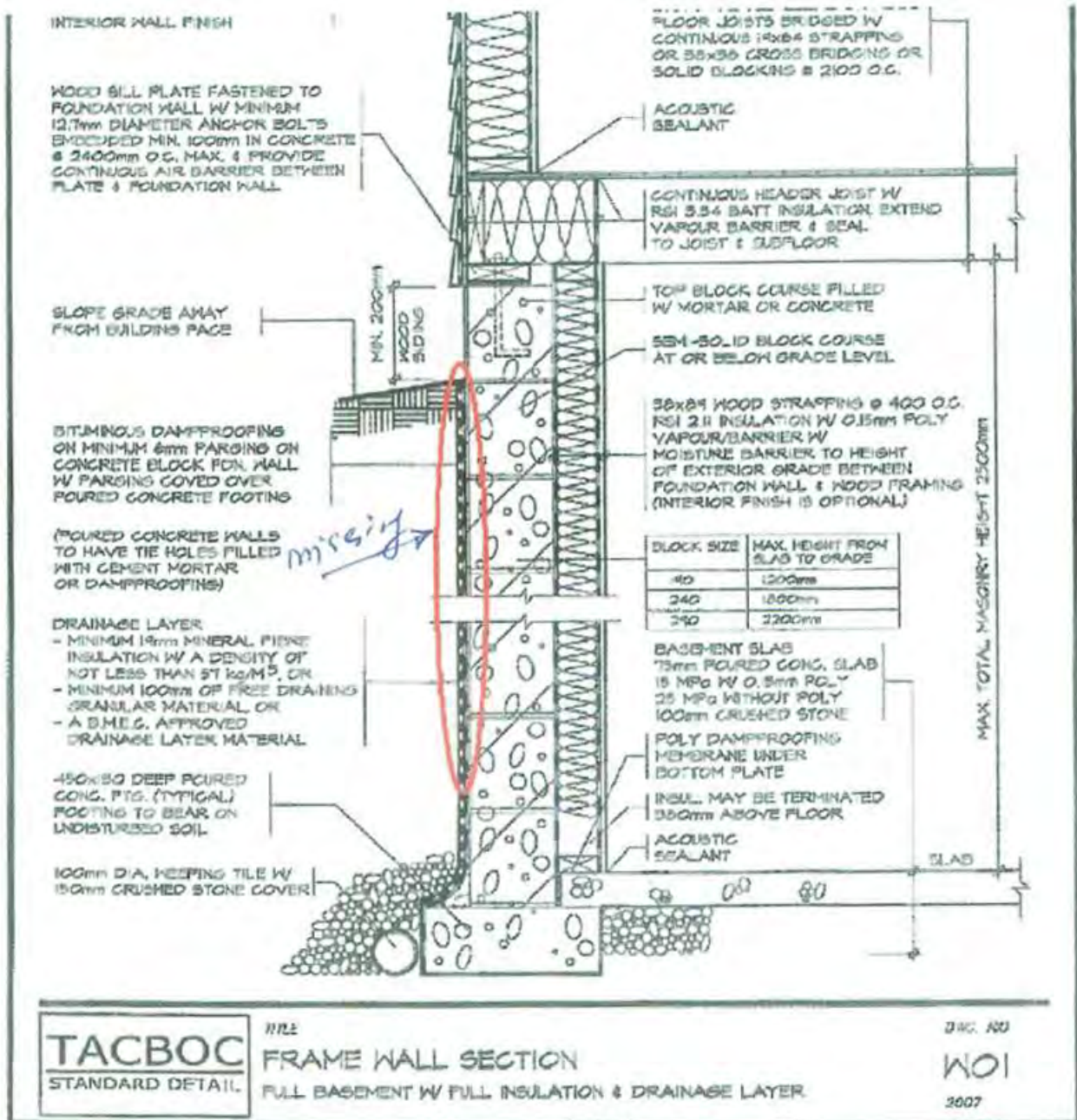


Figure 21

typical foundation wall moisture barrier detail

Structural Review and Recommendations
for The Cordingley House, 6671 Ninth Line, Mississauga

On March 25, Mark Shoalts, P.Eng, CAHP, met Paula Wubbenhorst of the City of Mississauga and Carmine Cesta of Cesta Developments Inc. at 6671 Ninth Line in Mississauga to undertake a review of the rear wing of the house to assess its structural adequacy and condition. This structural report does not attempt to address other than incidentally the heritage value of the property, only the present structural condition and the feasibility of bringing the existing structure up to current, or at least acceptable, standards. Issues of weatherproofing, and the suitability, durability, and condition of finishes are addressed only insofar as they relate to the structural conditions.

Executive Summary

The rear wing of the Cordingley House predates the front, main section and was probably built as the original house in the mid-1840s. The front section of the house was built in the mid-1880s, at which time the original house was relegated to kitchen wing status, although its windows and exterior trims were updated at that time to blend with the new building. The rear wing appears to be constructed of stacked planks, a very unusual construction method that seems to be the work of a local builder or group of builders. Although there are deficiencies in the existing foundation and superstructure, the building is stable and in reasonably good condition. The complete house could be lifted and placed on a new foundation as was proposed for the front section of the house in the draft Heritage Impact Statement prepared by CHC Limited in 2014, and the structural deficiencies could be remediated for continued occupancy as a single family dwelling.



Rear wing, 6671 Ninth Line

Building Description and History (taken from the City of Mississauga Cultural Heritage Assessment)

Two centre gable farmhouses actually form the Cordingley House. This is also typical. The eastern one appears as a "tail." However, as discussed previously, it likely came first. Characteristics suggestive of this timeline include the rectilinear windows and gable returns. These features are characteristic of the Classical Revival, mid nineteenth century, period.

The Cordingley House demonstrates a high degree of craftsmanship and artistic merit. The residence provides a lot of visual interest. Firstly, the "tail" has been fashioned into a centre gable format, rather than left as a basic box.

There are many protrusions that make the house picturesque. These include both the bay window, with its mansard roof, and veranda on the north, and the small enclosed porch on the west. The balustrade that crowns this latter porch adds additional interest. There are also two slender brick chimneys. Perhaps most notably, a bell cote sits atop the rear tail of the house.

All of these features include brackets, intricate carving and aesthetically pleasing shapes. The bell cote has an ogee roof. Lace, perhaps inspired by the emerging Queen Anne style, seems to trim the veranda and bay window. The balustrade is elegant and tops a unique vestibule. A pair of panelled, windowed and segmentally headed doors, with a decorative transom and ornate spandrels, stands at the front. The sides are treated similarly but each only appears as a single wider door, with a plain transom.

The trim, fretwork and vergeboards are well designed and crafted. Simple elegant scrolled bargeboard decorates the peak of the northern gable. The western gable is much more elaborate. It includes the lower portion of a finial and, as mentioned previously, the numbers 1-8-8-4. The somewhat topsy-turvy arrangement of these numbers brings playfulness to the delicate linear fretwork that ornaments the rest of this woodwork. The spandrels of the west porch pick up on this pattern. Figure 20 shows that there was additional trim in the north gable.

The vergeboard drops down below the eave. It provides a nice contrast to the upward thrust of the gable window shutters. Besides the rectilinear fenestration discussed earlier, all of the windows have the tall slender proportions of the Gothic style. The gable windows are round headed while the others are headed with segmental arches. The window sills extend beyond the window width. Such added details are evidence of both artistry and craftsmanship.



Northwest view 1979



Northwest view 2015

A few items should be noted with respect to the forgoing excerpt, other information in the CHA, and statements in the draft Heritage Impact Statement prepared by CHC. The date of construction of the rear (east) wing given in the CHA of ca. 1843 is reasonable assumption, as is the 1884 date given for the front section. The reverse order of construction and the dates of construction given in the draft HIS are almost certainly incorrect. Numerous elements of style and construction as well as the physical arrangement of specific items establishes that the front section was built subsequent to the rear section, and the CHA presumed dates are supported by substantial evidence.

The front gable trim and fretwork typical of the 1880s, shown in earlier photos and described in the CHA, were missing in March 2015. The original balustrade of short, vase-turned balusters and a moulded top rail referred to in the CHA and visible in photographs from the late 1970s has been replaced by a taller balustrade of rather clunky, poorly turned balusters and a thin board railing.



West face, 1979



West face, 2015

The bell, also visible from 1970s photographs, has disappeared from its cote and the bellcote itself has been relocated to the east gable verge from its original and correct alignment with the east wall. It is unlikely to have ever been functional other than with an exterior pull rope since there is no penetration of the roof sheathing visible from the interior.



Bellcote 1976



Bellcote 2015

Building Condition Observations

The original rectangular dwelling with its gable roof, wood framing, original stone foundation, and small newer concrete block basement, and the small porch addition on the south side at the east end are the focus of this report. Preservation of the front (west) section of the house has already been agreed upon.

The original Cordingley house appears to be a typical wood-framed, wood sided structure on a rubble stone foundation. The north facing dormer is probably an 1880s addition to a gable-roofed classical revival farmhouse, giving it the Ontario cottage appearance. The window matches the window in the later front dormer, and the framing of the north dormer is not visible in the attic which indicates that it is not likely original.



Absence of dormer framing in attic

The interior configuration of the dormer also indicates an addition; typically an original ceiling would be finished on the angled valley rafters, not square to the ridge on a pair of regular rafters as this dormer is.



Interior of north dormer

A south-facing dormer is in an entirely different style and is probably a somewhat later yet addition to the house.



South dormer

Although the house appears to be of typical wood frame, the two gable ends visible in the rear wing attic are constructed of stacked planks, a very unusual construction method that seems to be the work of a local builder or group of builders.



East gable interior

The only other example of this technique that the author has seen occurs about 7 km. away at 1125 Willow Lane in Meadowvale Village Heritage Conservation District, in a house of similar size, style, and age. That house has no centre gable dormer and could very well present a very similar appearance to the original Cordingley House.



1125 Willow Lane

Although no wall framing was visible or was reviewed during the site visit to 6671 Ninth Line, it appears likely that all of the exterior walls of the east wing of the house are constructed of stacked planks. The 1880s addition appears to be of balloon frame construction. The stacked plank gable visible in the attic at the common wall between the two sections lends further weight to the assumption that the rear section is original and the west end of it was once an exterior wall. There would have been no purpose to building such a gable within an attic space and framing rafters on both sides of it.



Plank west gable of east wing

The second floor of the Cordingley House east wing has a significant sag to it that is a result of undersized floor joists exacerbated by an unfortunate original circumstance. The house is slightly unusual with its single, centre chimney instead of one in each gable end. The centre chimney is original at least from the roof line down, and it still sits on its original wooden chimney cupboard; the hand-planing of the door is plainly visible.



Original chimney cupboard

The weight of the masonry is carried at approximately the centre of the span of a floor structure that would have been somewhat light in any case. The additional weight of the chimney has produced a very visible slope to the centre. The floor will need straightening and strengthening to remain in service.

The house did not originally have a basement under either the 1840s east wing or the 1880s west addition. Both sections were built on stone foundations and had very low crawlspaces; a double foundation wall at the junction of the two sections also indicates that the east wing predates the west wing. The stone of the east wing is somewhat less regular than the west foundation, and includes numerous rounded stones collected from the surface rather than the squared quarried stone of the west foundation. The portion of the west wing foundation facing east is irregular with untooled joints, indicating that it was never exposed.



1880s foundation beyond 1840s timber sill plate

At some point a concrete block basement with an exterior access stair and door was constructed within the east wing foundation, providing space for mechanical and electrical services and facilitating inspection of the floor framing in the east wing.

The visible portions of the wood floor structure include hewn timber plates on the foundation and hewn beams along with vertically sawn joists, and T&G flooring installed directly on the joists. The species of all visible structural wood and the flooring is eastern white pine, consistent with a mid-nineteenth century construction date.



Floor framing

The presence of hewn timbers is also consistent with an 1840s date. While hewn timbers were still used occasionally in 1860s and later residences, when used they would more typically been of hardwood by this time as the supply of pine had been drastically reduced by logging and by clearing for agriculture.

Recommendations

The east wing has some issues with the floor sagging varying amounts in different areas.

We recommend that the masonry chimney be removed and replaced with a lightweight facsimile, and the second floor joists should be reinforced or provided with intermediate support. This can be done from the underside without disturbing the floor finish; the plaster ceiling is presently concealed by acoustic tile but is unlikely to be salvageable and would require replacement anyway.

The 3"x5" sawn first floor joists are undersized and exhibit deflection that would be unacceptable to modern occupants. There is relatively little deterioration of the wood so they do not require replacement, but reinforcing or intermediate support for the joists would be required to remedy this condition.

The rubble stone foundation has been modified in several locations, the crawlspace is very low, and the newer concrete block foundation is poorly built and of inadequate depth or size for its intended purpose. The best remedy for this is lifting the complete house and constructing a new basement under it. The Credit Valley sandstone foundation should be salvaged and used to face the visible portion of the new foundation as recommended in the HIS. New support for the floors can be introduced at this time.

The floor levels of the two sections of the house are separated by two stair risers on both levels. The recommended interventions required for maintaining and updating the house would entail the removal of some interior finishes, which would also clarify the connection between the original 1840s section and the 1880s addition. It may be possible when lifting the house to separate the two sections and raise the rear wing to much closer alignment with the floor levels of the front section without causing undue damage to original fabric, facilitating better flow and use of the interior space.

The rear porch addition on the southeast corner of the house provides access to the second floor through the original staircase. The door to the stairs, and the flanking doors and trim are almost certainly original with only minor alterations, however the room now surrounding them appears to be a replacement of the original rear kitchen or woodshed wing. The configuration of the addition, the board and batten siding on it, (referred to in various reports and statements), and the doors and windows and their trims all indicate a much later date of construction.



Southeast porch addition

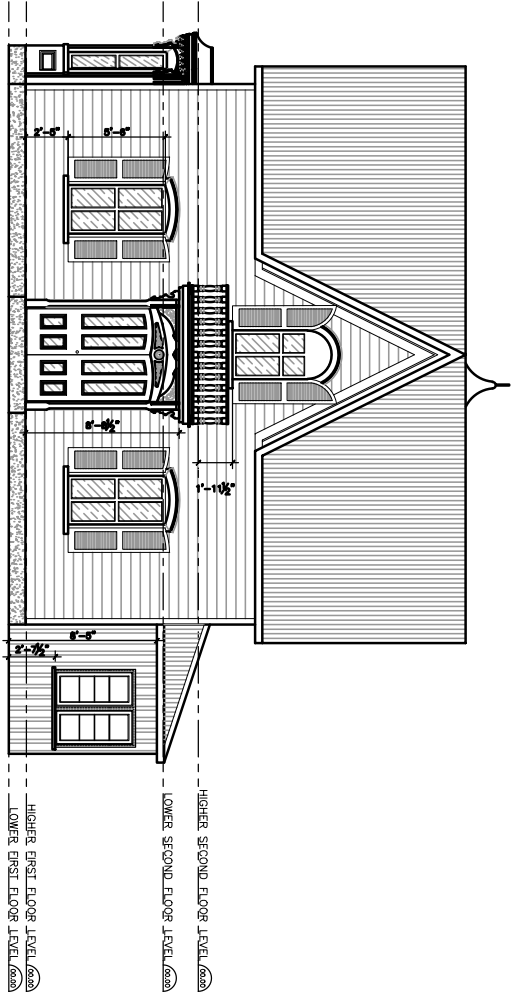
Our recommendation would be to remove and replace this addition with a new one of sympathetic form and better function, while maintaining the original elements in the south wall of the east wing.

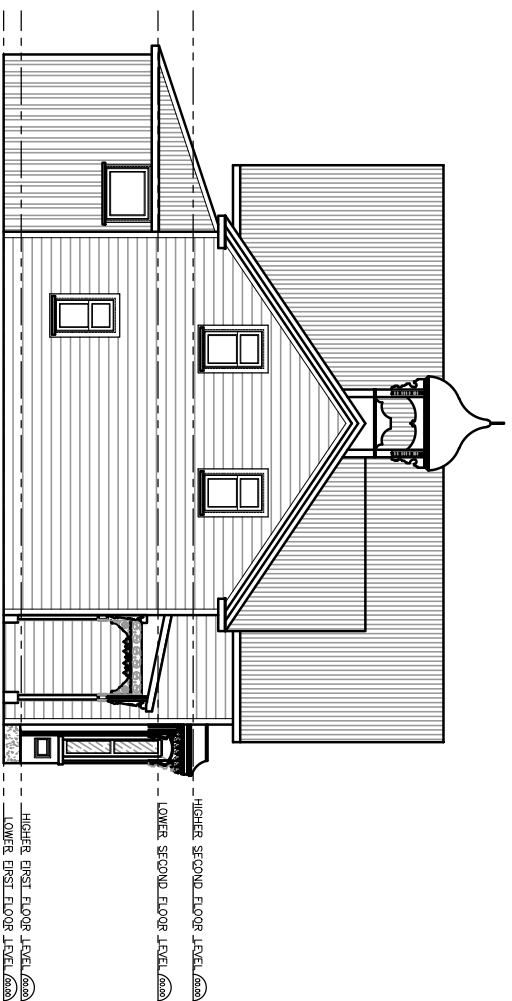
Conclusions

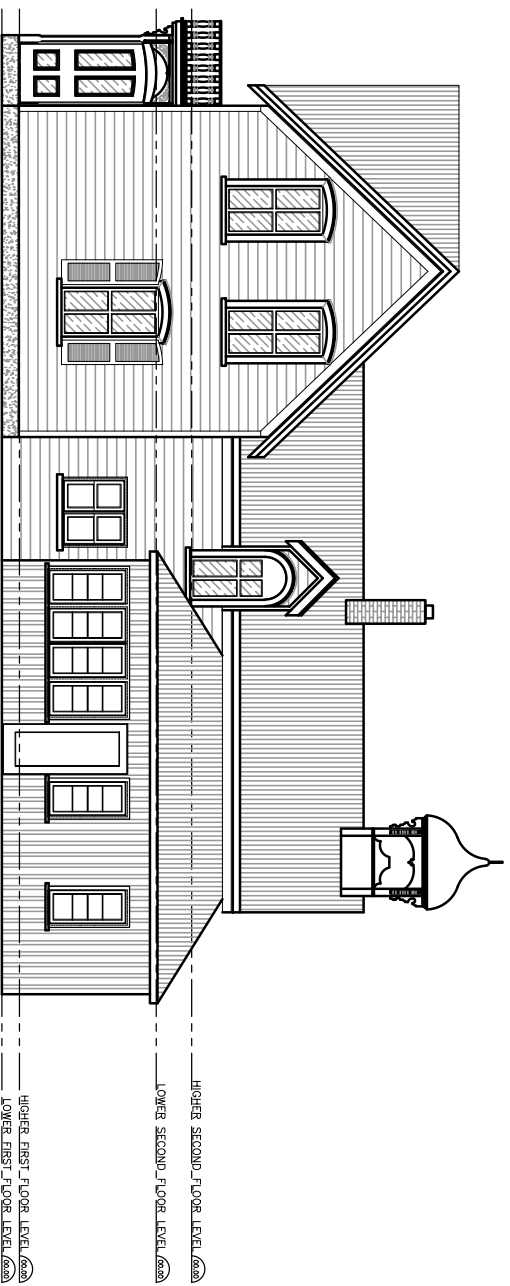
The Cordingley House, 6671 Ninth Line in Mississauga is a significant heritage resource. It is a good example of an evolving residence, held within one family throughout its existence. It illustrates the changing fortunes and tastes of both the family specifically and the community generally. The rear wing of the present house, constructed originally as the main dwelling, is an integral part of this story. The fabric of the original house is largely intact and in relatively good condition. Although there are some structural and environmental separation issues with the east wing, they are not insurmountable obstacles to the preservation and restoration of the house, or to its updating for the expectations of modern residents and the demands of 21st century living. The stacked plank construction method employed for the original house is unusual, with no known examples of documentation in any of the readily available published literature on Upper Canadian building practices and only one other example of the style known to the author. Loss of this example would diminish our success in fulfilling our obligation of caring for our past for the benefit of future generations. At the very least, if this building is to be demolished, it must be done so in a very controlled and carefully documented process.

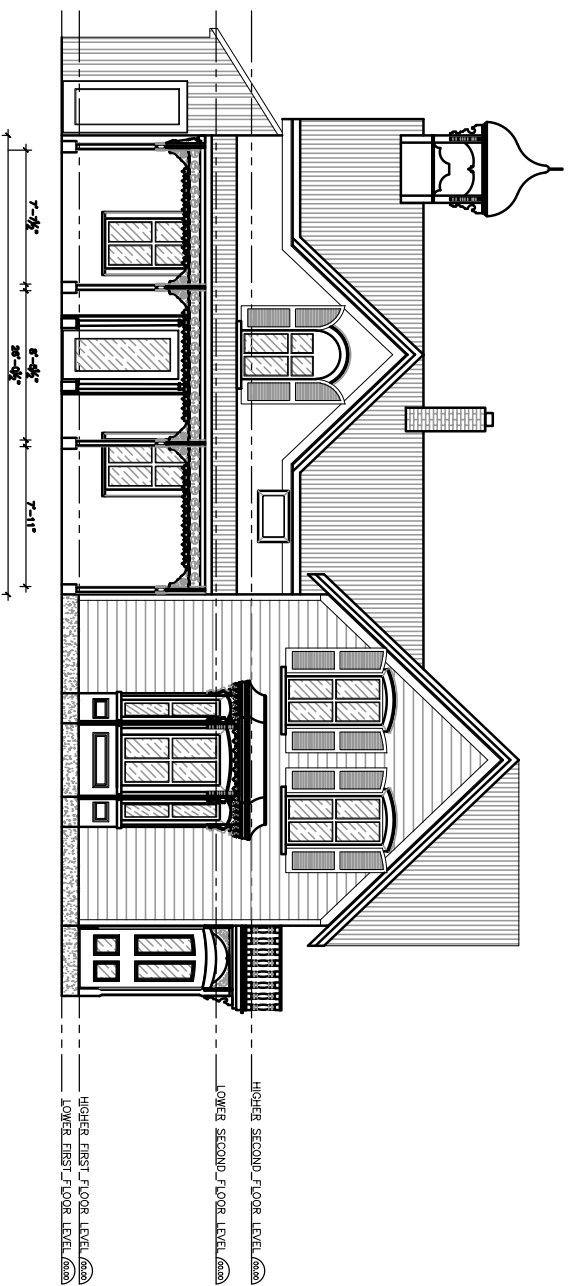


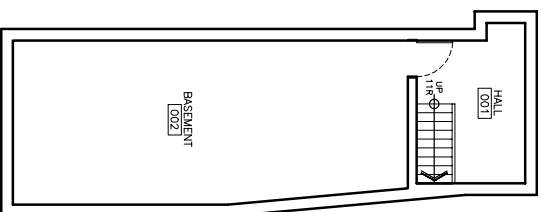
Mark Shoalts, P.Eng., CAHP
Shoalts Engineering
March 29, 2015

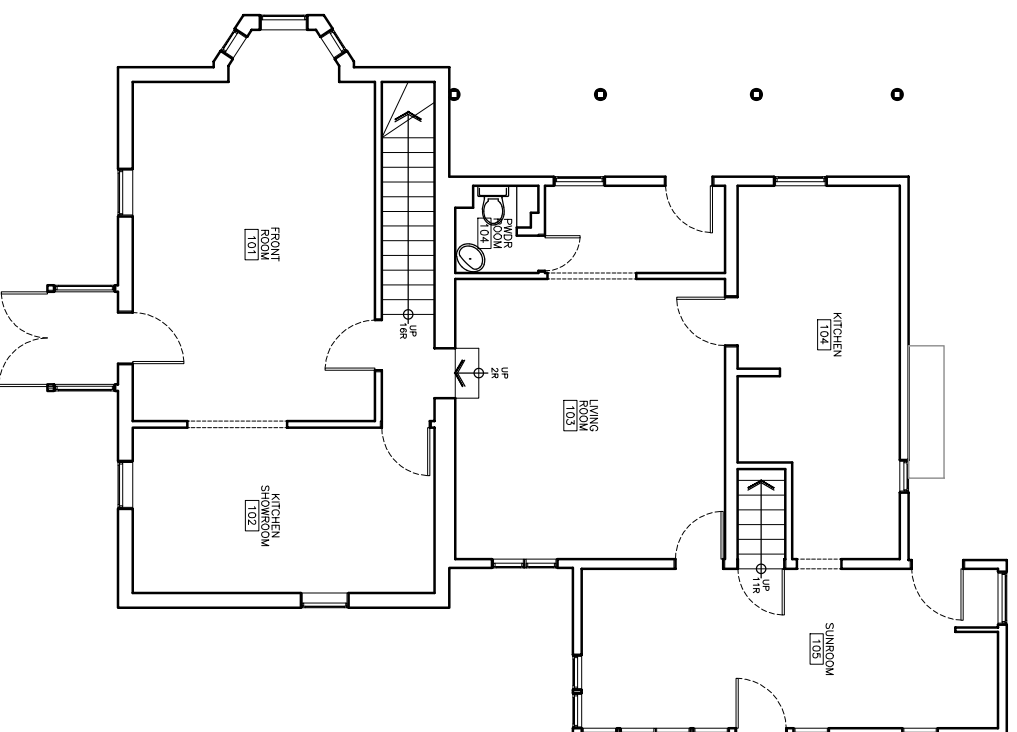


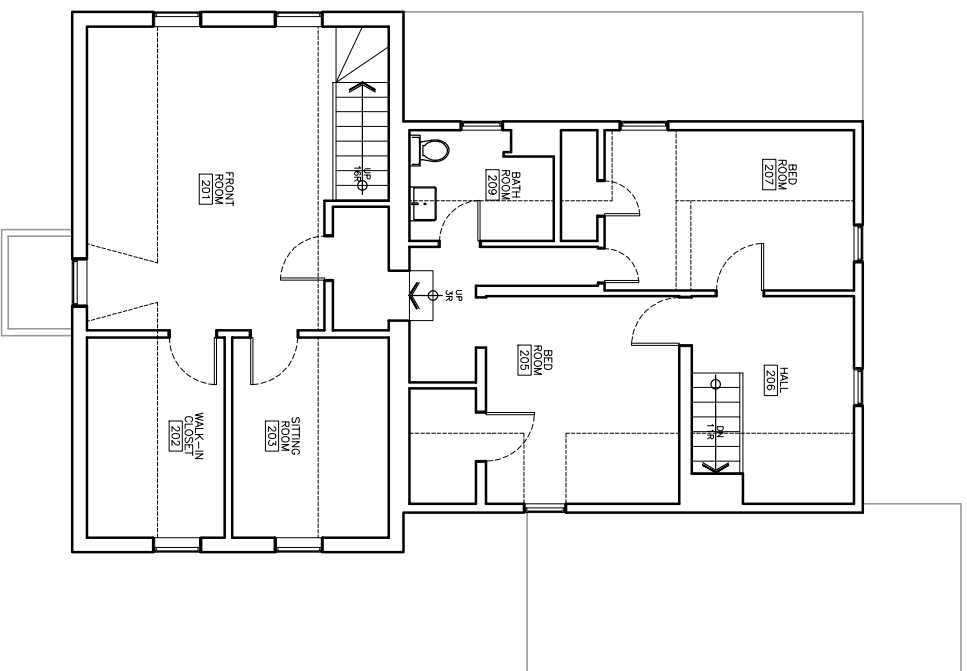




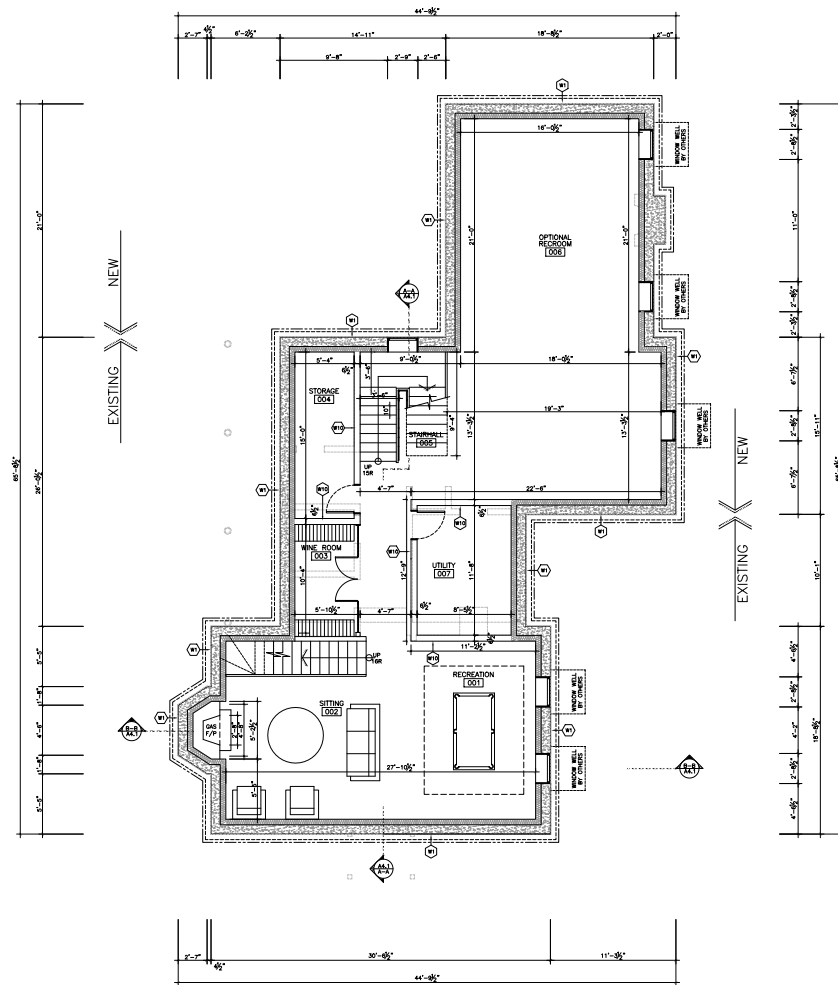
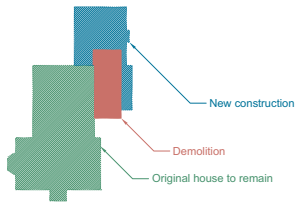








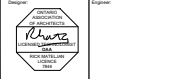
SITE STATISTICS				
DESCRIPTION	BY-LAW	EXISTING	PROPOSED	TOTAL
ZONES	R1-47			
LOT AREA				651.6 m ²
LOT FRONTAGE				20.86 m
LOT DEPTH	22.5m			31.52 m
COVERAGE				
- Dwelling		131.38 m ²	38.89 m ²	168.25 m ²
- Covered Porches		1426 m ²		1426 m ²
- Detached Garage		65.00 m ²	4.20 m ²	69.20 m ²
- Total	163.83 m ²	1903.38 m ²	43.09 m ²	2551.85 m ²
LOT COVERAGE %	25.0	32.3%	6.3%	38.6%
ENCLOSING HEIGHTS				
- House	10.78 m	6.54 m		6.54 m
- Garage	4.60 m	3.55 m		3.55 m
HOUSE SETBACKS				
- Front	8.0 m	(-0.79) m	2.82 m	1.83 m
- Side	1.16 m	3.34 m	(-1.16) m	2.60 m
- Rear	4.3 m	5.13 m		5.13 m
- Total	7.5 m	7.50 m	(-0.54) m	9.31 m
DETACHED SETBACKS				
- Side	0.61 m	0.54 m		0.54 m
- Rear	0.61 m	1.50 m		1.50 m
- Total	0.61 m	1.70 m	(-0.36) m	1.92 m



9	2016-09-06	For Site Plan redamination	R.M.
8	2016-01-25	For C of A	S.P.
7	2016-12-12	Per City Comments	K.A.
6	2016-04-25	Per City Comments	K.A.
5	2016-04-13	Per Client's Comments	K.A.
4	2016-03-19	Per City Comments	K.A.
3	2017-12-08	Revised adoption	K.A.
2	2017-07-28	Revised main road pitch and garage design	K.A.
1	2016-11-08	First Issue	R.M.



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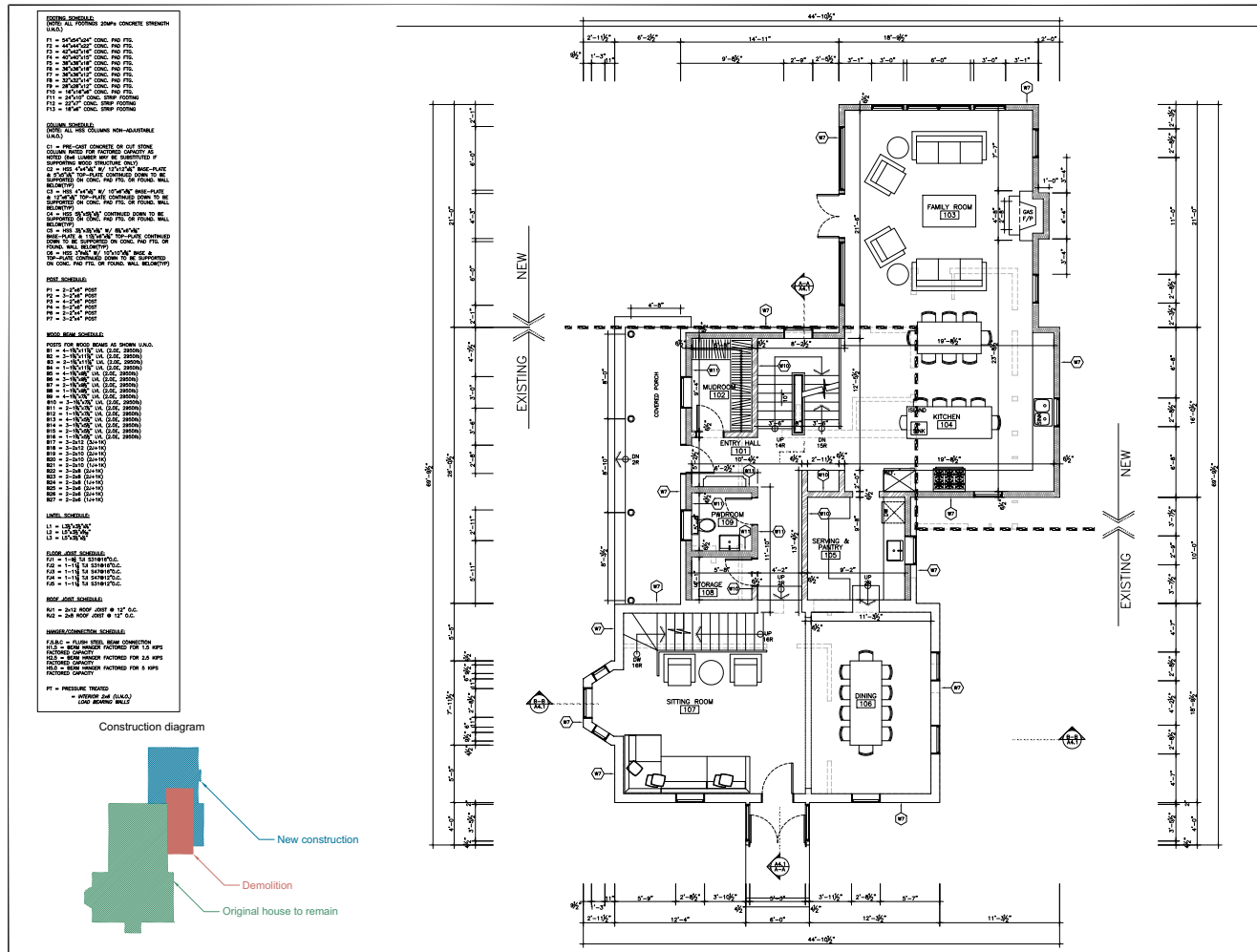


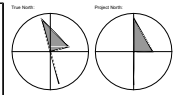
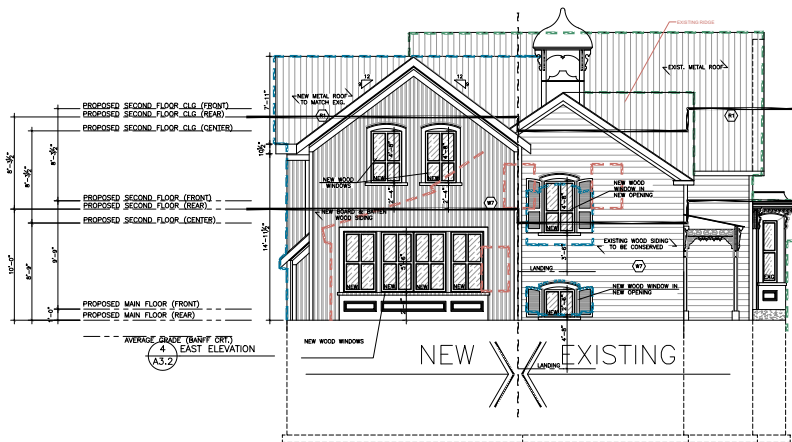
**Cesta Development
Heritage Residence**
6671, Ninth Line, Mississauga, ON
SPM 18/004 W10

Basement Plan

Design By: R.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1:100	Date: 2019-08-01	Project No: 16.41

Drawing No: **A002.1**



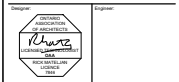


Client: Carmine Cesta
cestacarmine@gmail.com

9	2019-08-06	For Site Plan resubmission	R.M.
8	2019-01-25	For C of A	S.P.
7	2018-12-12	Per City Comments	K.A.
6	2018-04-25	Per City Comments	K.A.
5	2018-04-13	Per City Comments	K.A.
4	2018-03-19	Per City Comments	K.A.
3	2017-12-18	Revised alignment	K.A.
2	2017-07-28	Revised main road pitch and garage design	K.A.
1	2016-11-18	First Issue	R.M.

SMDA
Design + Architecture
1492 Wallace Rd, Unit 9
Oakville, ON L6L 2T2
Tel: 905 842 2848
smda.ca

OWNER: Cesta Development
DESIGNER: SMDA Design + Architecture
PROJECT: Cesta Development Heritage Residence
6671, Ninth Line
Mississauga, ON



Project: Cesta Development
Heritage Residence
6671, Ninth Line
Mississauga, ON

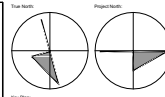
South & East Elevations

Design By	Drawn By	Approved By
R.M.	R.H.M.	R.M.

Scale: 1/4" = 1' 0" Date: 2019-08-01 Project No: 16.41

Sheet No: A003.2

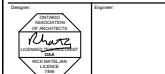




Client: Carmine Cesta
cestacarmine@gmail.com

SMDA
Design + Architecture
1492 Wilshire Rd. Unit 9
Columbus, OH 43207
Tel: 614.452.2548
sm@smda.com

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Cesta Development
Heritage Residence
6871, Ninth Line
Mississauga, ON

Garage Plans, Elevations
Sections

Design By	Drawn By	Reviewed By
R.M.	S.P.	R.M.

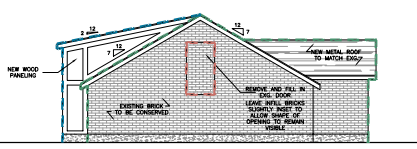
Date: 2019-06-25 Project No: 16.41

Sheeting No: A005.1

A005.1



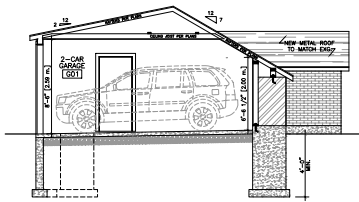
1 EAST ELEVATION
A5.1



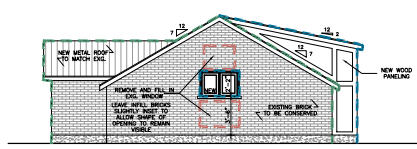
2 NORTH ELEVATION
A5.1



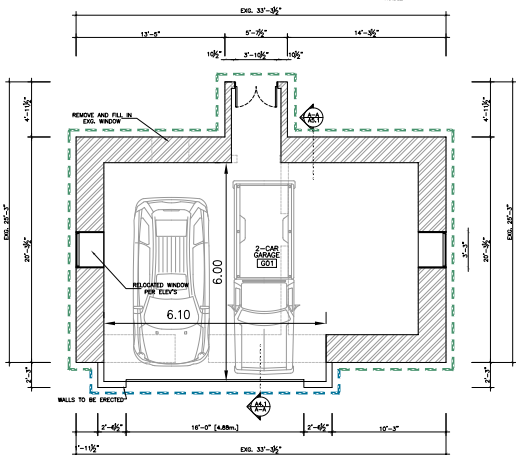
4 WEST ELEVATION
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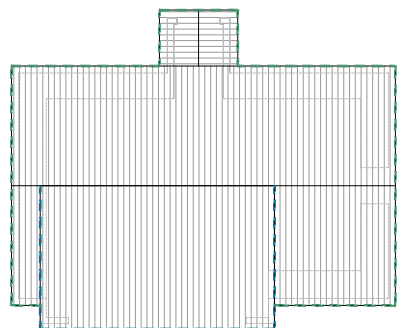
5 SECTION A-A
A5.1



3 SOUTH ELEVATION
A5.1



6 GARAGE FLOOR PLAN
A5.1



7 GARAGE ROOF PLAN
A5.1

APPENDIX 7

RICK MATELJAN B. A. Lic. Tech. OAA
3566 Eglinton Ave. W., Mississauga, ON
(t) 416 315 4567 (e) rick.mateljan@smda.ca

curriculum vitae

Education:

- | | |
|-----------|---|
| 1978-1983 | Trinity College, University of Toronto <ul style="list-style-type: none">B. A. (4 year) (Specialist English, Specialist History) |
| 1994-1995 | Ryerson Polytechnic University <ul style="list-style-type: none">detailing of residential and institutional buildings, OBC, technical and presentation drawing |
| 1997-2006 | Royal Architectural Institute of Canada Syllabus Program <ul style="list-style-type: none">program of study leading to a professional degree in architecture |

Employment:

- | | |
|----------------|---|
| 2010 - Present | Strickland Mateljan Design Associates Ltd.(Partner) <ul style="list-style-type: none">architectural design practice specializing in custom residential and small commercial /institutional projects, land development consultation, residential infill, adaptive re-use, heritage conservationheritage and urban design consulting for complex infill projectsresponsible for management, business development, marketing and project deliveryextensive experience with building technical issues, integration of building systems, barrier-free issues, change of use issues, Ontario Building Codeextensive experience in municipal approvals, heritage approvalsOntario Association of Architects licence with terms, conditions and limitations |
| 2001 - 2010 | Gren Weis Architect and Associates, Designer and Project Manager <ul style="list-style-type: none">design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdictionextensive client, consultant and building site involvementextensive experience in multi-disciplinary team environmentsspecialist at Municipal Approvals, Site Plan and Re-zoning approvalsspecialist at renovation and conservation of Heritage buildings, infill developments in Heritage communitiescorporate communication, advertising and photography |

1993-2001

Diversified Design Corporation, Owner

- conceptual design, design development, working drawings, approvals for custom residential, institutional and commercial projects
- construction management and hands-on construction

Recent professional development:

2017	RAIC/OAA Conference, Ottawa ON
2017	Ontario Heritage Association Conference, Ottawa ON
2012	OAA – Admission Course
2011	Ontario Heritage Association Conference, Cobourg ON
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	Qualified to give testimony before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

Activities:

2016-present	Member, OAA Practice Committee
2015-2016	Guest critic, Centennial College Architectural Technology Program
2014-2015	Guest critic, University of Waterloo Architectural Practice Program
2012-present	Member, Board of Directors, OAAAS and member of the Student Award Jury
2011-2016	Member, Editorial Committee, OAA Perspectives magazine
2008-2015	Member, Board of Directors of Oakville Galleries (President 2011-2013)
2007-present	Member, Mississauga Heritage Advisory Committee (vice-chair from 2015), member of the Heritage Award jury and Heritage Property Grant Panel
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)

Memberships:

Ontario Association of Architects
Ontario Association of Applied Architectural Sciences

APPENDIX 8

Cordingly House - Proposed Renovations and Additions Construction Budget

General Requirements	50,000.00
includes administrative costs, structural and architectural costs, permits and other fees, security, etc	
Site Preparation	8,000.00
includes shoring, temporary services, garbage disposal, scaffolding	
Heritage Specialties	22,000.00
bracing, lifting, jacking, supporting, moving of heritage building	
On Site Water	
includes management of water on-site	
Utilities	0.00
includes new water service, sanitary and storm connections, hydro connection, gas connection (included as part of the original subdivision)	
Excavation and Earthwork	22,000.00
includes excavation for new foundation, backfill, rough grading	
Foundation	
includes foundation for heritage building and addition	
Rough Framing	30,000.00
includes framing for heritage building and addition	
Roofing	15,000.00
includes roofing for heritage building and addition	
Exterior	25,000.00
includes siding conservation for heritage building, new siding and trims for addition	
Windows, Exterior Doors	16,000.00
includes conservation of existing windows, new wood windows per drawings	
Plumbing, Electrical	22,000.00
Includes plumbing and electrical rough-ins for heritage building and addition, toilets, fixtures, electrical panels	

**Cordingly House - Proposed Renovations and Additions
Construction Budget**

HVAC	14,000.00
includes HVAC systems, ductwork, HRV	
Insulation	
includes all insulation and air barrier systems	14,000.00
Drywall	26,000.00
includes all drywall, taping	
Interior finishes and Trims	30,000.00
includes all interior doors, trims, flooring, stairs, handrails, closet specialties, misc trims	
Painting	14,000.00
includes interior painting, exterior painting	
Kitchen and Bath	22,000.00
includes all cabinets, countertops, ceramic tile, stone	
Dairy Shed	26,000.00
includes all conservation work, rebuilt roof, addition, windows, garage door, trims, misc painting	
Sodding, driveway, final grading	12,000.00
Project Closeout	10,000.00
includes final cleaning, commissioning of building and systems	
Total	411,500.00