

HIA ADDENDUM



271 Queen Street South (Odd Fellows' Hall)

Streetsville Village
MISSISSAUGA, ONTARIO

23 May 2022

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT
905.975-7080
mhobson@bell.net

OVERVIEW

Megan Hobson consulting was retained by _____ to prepare an *Addendum* to a previous *Heritage Impact Assessment* (Hobson, 31 Jan 2020) for rehabilitation of the former Odd Fellows' Hall located at 271 Queen Street South in Streetsville.

The *Addendum* provides more detailed plans for alterations to the building so that it can be rehabilitated for commercial and residential use. The proposed use is compatible with the conservation of the cultural heritage value of the building and its associated heritage attributes. Rehabilitation of this prominent building will enhance the Streetsville Village Core Cultural Landscape. Therefore, it is recommended that this application be approved by staff.

It is recommended that an update be provided to the Heritage Advisory Committee on this project. The update should clarify that work has been progressing and that the following conservation work outlined in the previous *HIA* has been completed:

- repairs to the masonry to secure the building envelope, stabilize the brick chimneys, and improve the appearance of the main façade
- restoration of the original wood sash windows

Investigation was undertaken by Arcana Restoration Ltd. to determine if the paint could be removed from the front façade. Several methods and cleaning products were tested but were unsuccessful. It was determined that the paint could not be removed without damaging the surface of the brick. Therefore, removal of paint on the main elevation is not included in the revised proposal. As an alternative, the areas that are already painted will be repainted in a colour that matches the brick to improve the appearance of the building. Correspondence with Daniel Arellano owner of Arcana Restoration Ltd. is attached as an appendix.

This *Addendum* addresses detailed plans for the rehabilitation prepared by SMDA Design Ltd. that are attached as an appendix. The proposal includes commercial space on the ground floor and residential apartments on the 2nd floor. Some additional strengthening and foundation work will be undertaken and three new windows will be introduced on the rear elevation. A metal fire escape will be installed in the alley on the north side of the building and a 2nd floor window will be enlarged to create a fire exit door. The entire foundation will be water-proofed, and the east end of the basement will be underpinned to create a new furnace room. Electrical and mechanical services will be introduced and the interior will be completely renovated.

PROPOSED REHABILITATION

The conservation approach is a rehabilitation approach that includes conservation of exterior heritage attributes and alterations to the interior of the building to permit commercial use on the ground floor and residential use above. The proposed use is compatible with the conservation of this Designated heritage building. This building is currently vacant and at risk and the proposed rehabilitation will make it fit for a new use that will contribute to its long-term conservation. Drawings for the proposed alterations have been prepared by SMDA Design Ltd and are attached as an appendix.

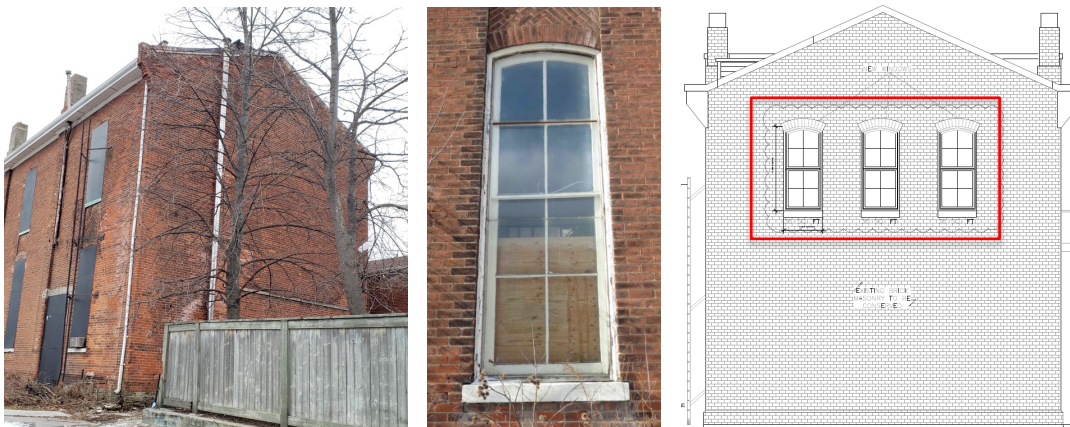
EXTERIOR ALTERATIONS

There will be no alteration to the two prominent façades that are visible from Queen Street South. The masonry on the main elevation that is painted will be re-painted because paint removal is not possible without damaging the surface of the brick. Several cleaning methods including steam and chemical cleaning were tested but were not successful. Therefore, re-painting is the only feasible conservation option. The new paint colour will be matched to the brick below so that it is less intrusive.



ODD FELLOWS' HALL (1875) – current condition and historic photo c.1920 showing the original 4-paneled front door to be replicated. The area that is already painted will be repainted in a colour that matches the brick.

The proposed layout for 4 new residential units on the 2nd floor is compatible with the existing masonry openings. There are currently no windows on the rear elevation, so 3 new windows will be introduced on that elevation. The shape, style and symmetrical placement proposed for the new windows matches the windows on other elevations. Since this alteration is located on the rear elevation and is not visible from Queen Street, there are no concerns with this alteration and design measures have been successfully employed to ensure that this alteration is compatible with the original design.

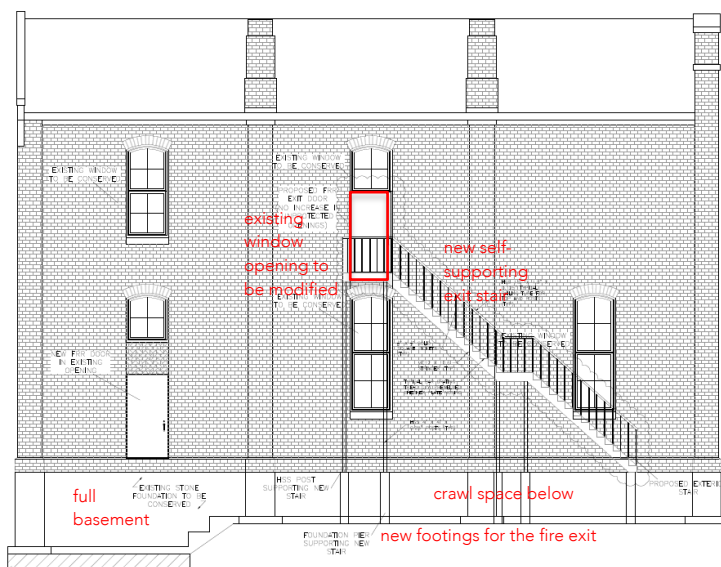


REAR ELEVATION – 3 new windows will be introduced for the residential units on the 2nd floor. The new windows will match the existing windows and will have brick arches, stone sills and 4 over 4 sash.

A secondary exit is required for the residential units on the 2nd floor to meet fire safety requirements. An external fire exit stair is proposed for the north side of the building, hidden

from view within the alley. An existing window on the 2nd floor will be modified to create a door to the fire stair. The upper and arch will be retained but the lower sash will be removed and the opening extended down to the floor to accommodate a new doorway.

Since this is a secondary façade that is not visible from Queen Street there are no heritage concerns with this approach since this is an unobtrusive location for the required fire exit. The stairs are constructed of wood and are supported on new piles and foundations so that impacts on the exterior brick walls of the heritage building are minimized. An existing window on the 2nd floor will be utilized to make a new doorway to the exit stair so that impacts on the exterior masonry wall are minimized. There is an existing fire escape ladder on the north side that will remain and continue to function as a fire exit.



EXTERNAL FIRE EXIT STAIR – a free-standing exit stair will be built on the north side in the alleyway - a window on the 2nd floor will be modified for a new door

DOORS & WINDOWS

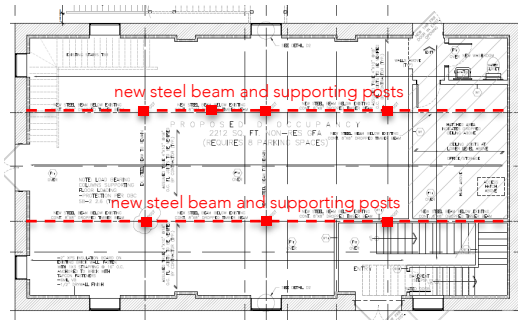
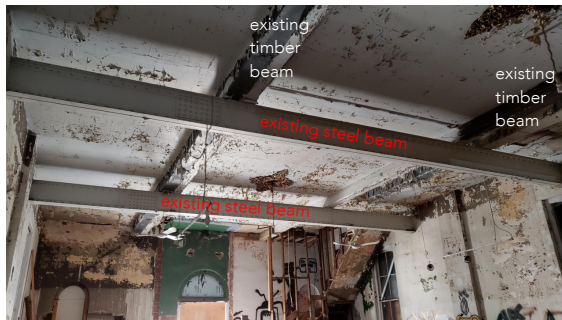
The original wood windows will be restored. New windows to be introduced on the rear elevation will match the historic windows. There are no heritage concerns with the conservation approach for the original windows or the installation of new windows on the rear elevation in a matching style.

None of the original doors remain and new doors will be installed in existing openings to suit the new use and meet building code requirements. There are historic photos that show the original wood panelled door on the main elevation. The intention to restore the look of the original door on the main elevation will enhance the historic character of the façade by restoring this detail. However, if a future commercial tenant proposes a glazed door, there would be no objection to this approach since the original door is missing and the building is being rehabilitated for commercial use.

INTERIOR ALTERATIONS

The interior is currently gutted and there are no heritage concerns with the proposed interior alterations. The existing stairs to the 2nd floor will be removed and new stairs will be installed in the south-east corner.

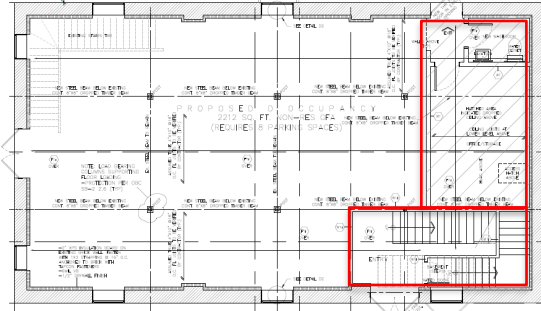
New structural elements will be introduced so that there is no additional loading on the exterior masonry walls. The existing wood and steel beams will be retained and new beams and post will be introduced that have their own footings. A structural engineer has been consulted and details for the structural elements have been provided on the drawings.



STRUCTURAL FRAMING – existing timber beams that extend from the front to the back will be sistered with new steel beams supported on new posts with new footings in the basement – existing steel beams that extend from side to side will be retained

FOUNDATION WORK

The rubble stone foundation will be waterproofed, and the east end of the basement will be underpinned for a new furnace room and washroom. This work will contribute to the long-term conservation of the building.



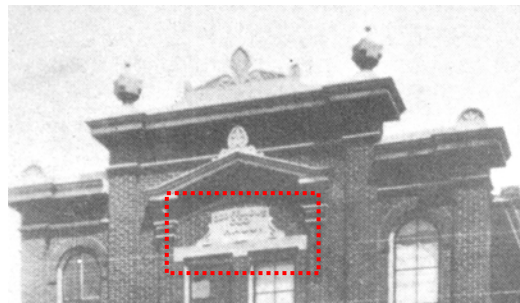
BASEMENT – the foundation will be repaired and waterproofed – the east end of the basement will be underpinned for a new furnace room and washroom

CONCLUSIONS & RECCOMENDATIONS

The proposed alterations to rehabilitate the former Old Fellows' Hall for commercial and residential will support a compatible use that conserves its cultural heritage value and associated heritage attributes.

It is recommended that the proposed alterations be approved. The following recommendations are provided:

- salvage any brick that is removed to make new openings so it can be used to carry out repairs
- consult a structural engineer and/or masonry contractor with heritage experience regarding the proposed waterproofing of the foundation
- that a water-based latex paint be used to repaint the painted areas of the masonry
- that the lettering on the main elevation identifying the building as the 'Odd Fellows Hall' be painted in a contrasting colour so that it is more visible



A CONTRASTING COLOUR FOR THE LETTERING WOULD MAKE IT MORE VISIBLE FROM THE STREET

APPENDIX A: PHOTOS



EXTERIOR – front elevation



EXTERIOR – side elevation



EXTERIOR – rear elevation



EXTERIOR – side elevation



EXTERIOR – brick masonry



EXTERIOR – rubble stone foundation



INTERIOR – 1st FLOOR – 2 cast iron columns are original



INTERIOR – 1st FLOOR



INTERIOR – 1st FLOOR



INTERIOR – 1st FLOOR



INTERIOR – 2nd FLOOR



FOUNDATION – existing basement at the back of the building



FOUNDATION – preliminary investigation of the footings

Appendix B: Reasons for Designation (City of Mississauga By-law no. 122-83)

SCHEDULE 'A' TO BY-LAW 122-83

SHORT STATEMENT OF THE REASONS FOR
THE PROPOSED DESIGNATION

Contextually, the building built in 1875, is a landmark building in the historic streetscape of Streetsville's main commercial thoroughfare. The height and prominent facade further enhance the structure's placement in the historic core.

Daniel Arellano <info@arcanaresoration.com>

8/30/2021, 7:16 PM

Re: 271 Queen Street South, Streetsville Facade Paint

To

Hi Megan,

I tried every type of acid based detergents available, as well as alkaline paint strippers. Because it is a cement-based sprayed on product that was never meant to come off, it seems to me that only an abrasive method could remove it.

I don't have much experience painting brick but I would recommend any modern latex based paint as this is easily removed with steam.

Daniel Arellano
Owner/Operator
Arcana Restoration Ltd.
www.arcanaresoration.com
647-655-4020

On Aug 30, 2021, 11:47 AM -0400, Megan Hobson <mhobson@bell.net>, wrote:

Ok, thanks Daniel.

Do you remember what chemical cleaners you tried? I would like to include that in my report.

Also, if you have any recommendation for a suitable type of paint to use for re-painting let me know. Ideally it would be something durable that could be removed later, if money became available to do steam cleaning.

Megan

----- Original Message -----

From: Daniel Arellano <info@arcanaresoration.com>

Date: August 27, 2021 at 8:01 PM

Hi Megan,

I spoke with _____ today, the owner of 271 Queen Street South. He has been in communication with the city heritage department regarding the solution for the facade restoration on his building and requested my input on the matter of the paint.

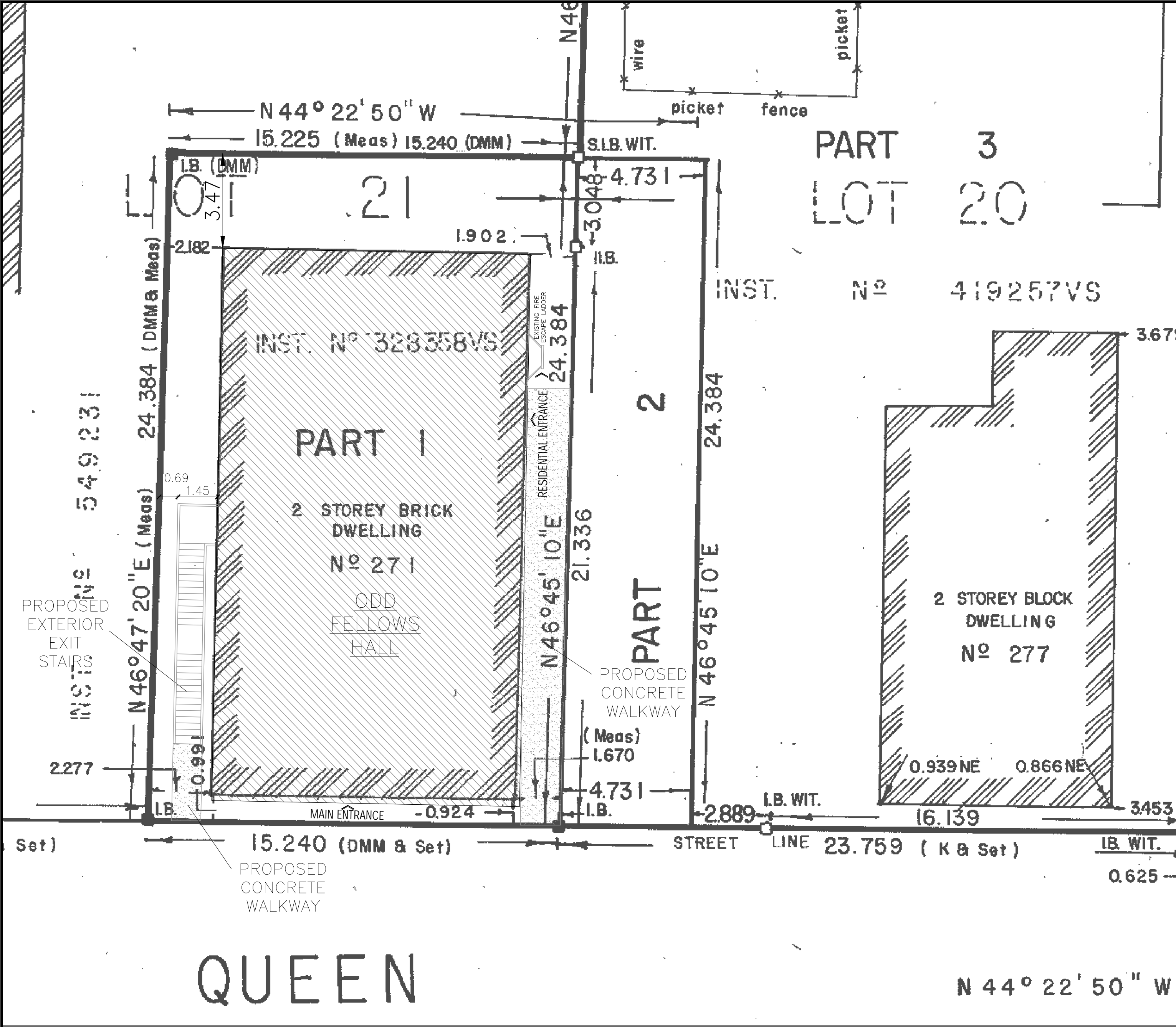
After several unsuccessful tests to remove the paint, my research has led me to conclude that the paint is actually a "masonry paint", which is a cementitious coating which is nearly impossible to remove. Some of the only *potentially* successful methods are highly specialized and expensive Jos-type abrasives such as the Quintek machine.

For this reason I would suggest that re-painting the existing painted sections of the facade may be the best way to improve the aesthetic condition of the building. Unfortunately the difficulty and cost in removing the render make this the only viable option at this point.

Please advise Praveen and the city heritage department with your professional opinion on the matter so that Praveen may move forward with the restoration of the building.

Thank you,

Daniel Arellano
Owner/Operator
Arcana Restoration Ltd.



KEY PLAN:



AIR PHOTO:



SITE STATISTICS				
DESCRIPTION	BY-LAW	EXISTING	PROPOSED	TOTAL
ZONED	C4			
LOT AREA		477.3 m ²	NIL	477.3 m ²
LOT FRONTAGE		15.24 m	NIL	15.24 m
LOT DEPTH		24.58 m	NIL	24.58 m
COVERAGE:				
LOT COVERAGE % (FIRE ESCAPE NOT CONSIDERED)		61 %	NIL	61 %
BUILDING HEIGHT:				
- BUILDING HEIGHT FROM GRADE AVERAGE		13.26m	NIL	13.26m
BUILDING SETBACK				
- FRONT		0.924 m	NIL	0.924 m
- SIDE (NORTH)		2.182 m	1.14 m	1.14 m
- REAR		3.42 m	NIL	3.42 m
- SIDE (SOUTH)		1.67 m	NIL	1.67 m
GROSS FLOOR AREA				
- MAIN FLOOR (NON-RESIDENTIAL)		205.5 m ²	NIL	205.5 m ²
- SECOND FLOOR (RESIDENTIAL)		229.5 m ²	NIL	229.5 m ²
- MEZZANINE (RESIDENTIAL)		18.8 m ²	NIL	18.8 m ²
- TOTAL GFA		453.8 m ²	NIL	453.8 m ²
- FSI 453.8/477.3 = 0.95		0.85	NIL	0.85
PARKING				
- MAIN FLOOR (RETAIL STORE IN A C4 ZONE) 1.918 X 4.0 = 7.7 SPACES		0 SPACES	NIL	0 SPACES
- SECOND FLOOR (RESIDENTIAL APARTMENTS) 4 X 1.25 = 5.0 SPACES		0 SPACES	NIL	0 SPACES
- MEZZANINE FLOOR (RESIDENTIAL APARTMENTS) INCLUDED IN ABOVE		0 SPACES	NIL	0 SPACES
- TOTAL REQUIRED PARKING = 12.7 (13 SPACES)		0 SPACES	NIL	0 SPACES
ACCESSIBLE PARKING				
- TOTAL NUMBER OF REQUIRED ACCESSIBLE PARKING PER TABLE 3.1.3.1 13 X 0.04 = 0.52 (1 SPACE)		0 SPACES	NIL	0 SPACES
LOADING SPACES				
- TOTAL NUMBER OF REQUIRED LOADING SPACES PER TABLE 3.1.4.3 = 1 SPACE		0 SPACES	NIL	0 SPACES

SURVEY CREDIT:

I require this plan to be deposited under the Registry Act.

Date : Dec 2/02

G.V. Consoli
G.V. CONSOLI Q.L.S.

CAUTION : THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

PLAN 43R -10548

RECEIVED AND DEPOSITED

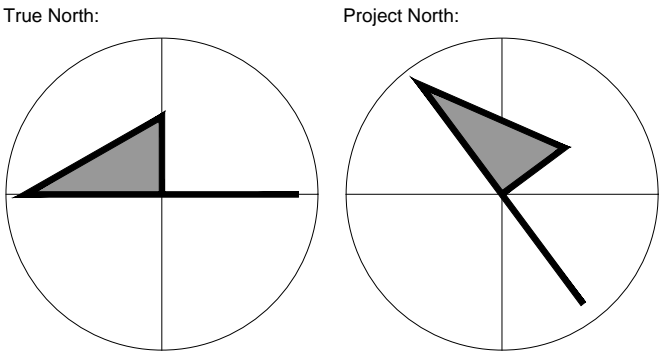
Date : DECEMBER 22, 1982

A. Grant
A. Grant LAND REGISTRAR FOR THE REGISTRY DIVISION OF PEEL (Nº 43)

PLAN of SURVEY of
LOTS 19, 20 and PART of LOT 21
REG'D PLAN STR-3
Formerly in the Village of Streetsville, County of Peel, now in the
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL
Scale : 1:250 AS SHOWN

0 1 3 6 10 15 20 metres

G.V. CONSOLI Q.L.S. — 1982



Key Plan:

31	2022-04-22	Revised Plan	RM
30	2022-04-18	Underpinning permit	RM
29	2022-04-04	Revised Plan	RM
28	2022-03-01	Revised Plan	RM
27	2022-01-27	Revised Stat's	RM
26	2021-12-17	Site Plan Approval	RM
25	2021-12-07	Site Plan Approval	RM
24	2021-12-01	Coordination	RM
23	2021-11-10	Coordination	RM
22	2021-09-06	Heritage Approval	RM
No.	Date	Issued/Revision	By:



SMDA design ltd.
1492 Wallace Road, Unit 9, Oakville ON
L6L 2Y2 Tel: 416 315 4567
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Designer:

ONTARIO ASSOCIATION OF ARCHITECTS
Rick Mateljan
LICENSED TECHNOLOGIST
O.A.A.
RICK MATELIJAN
LICENCE 7846

Engineer:

Project:
271 Queen st S
Odd Fellows

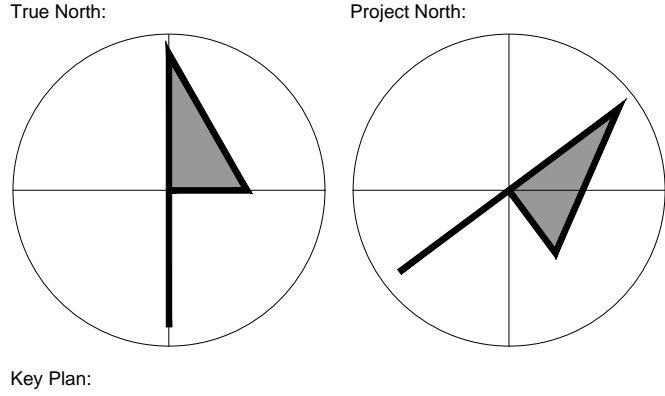
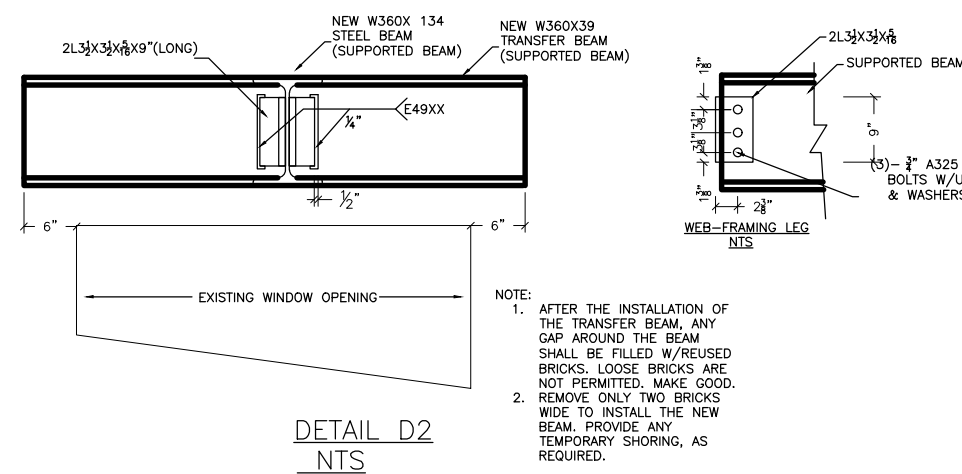
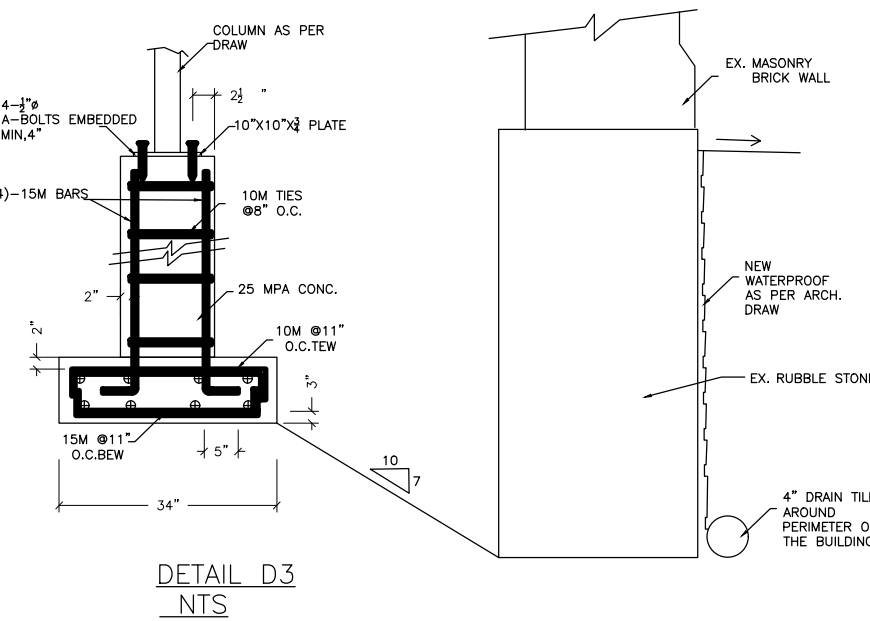
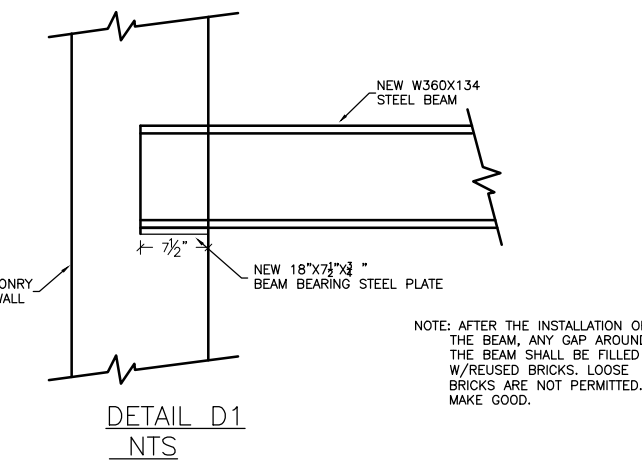
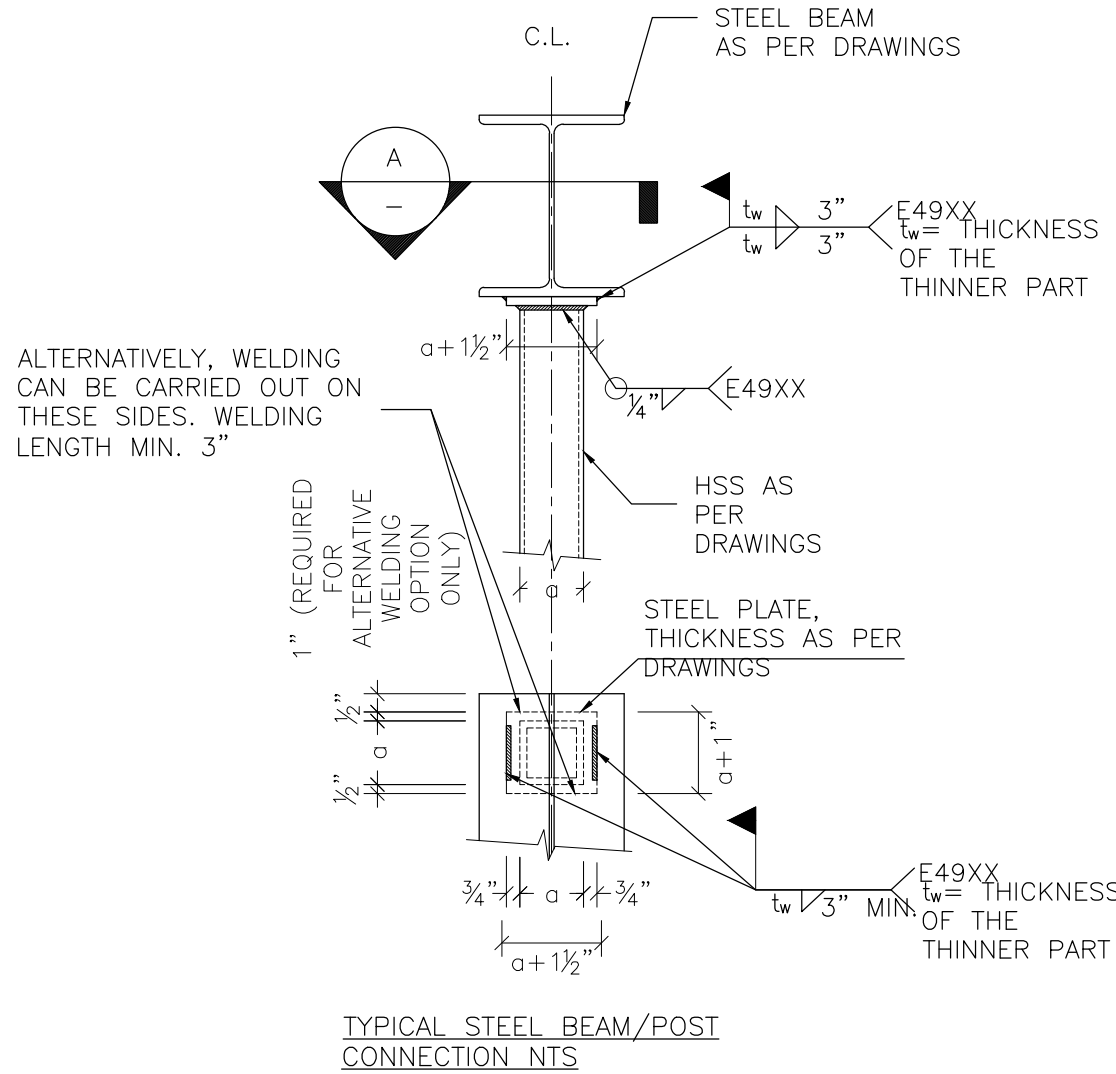
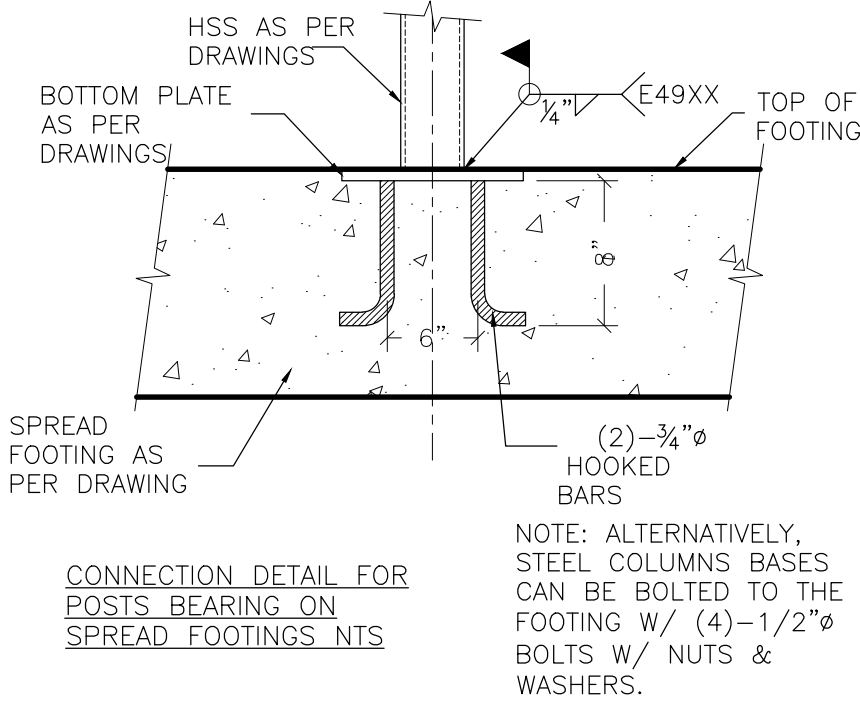
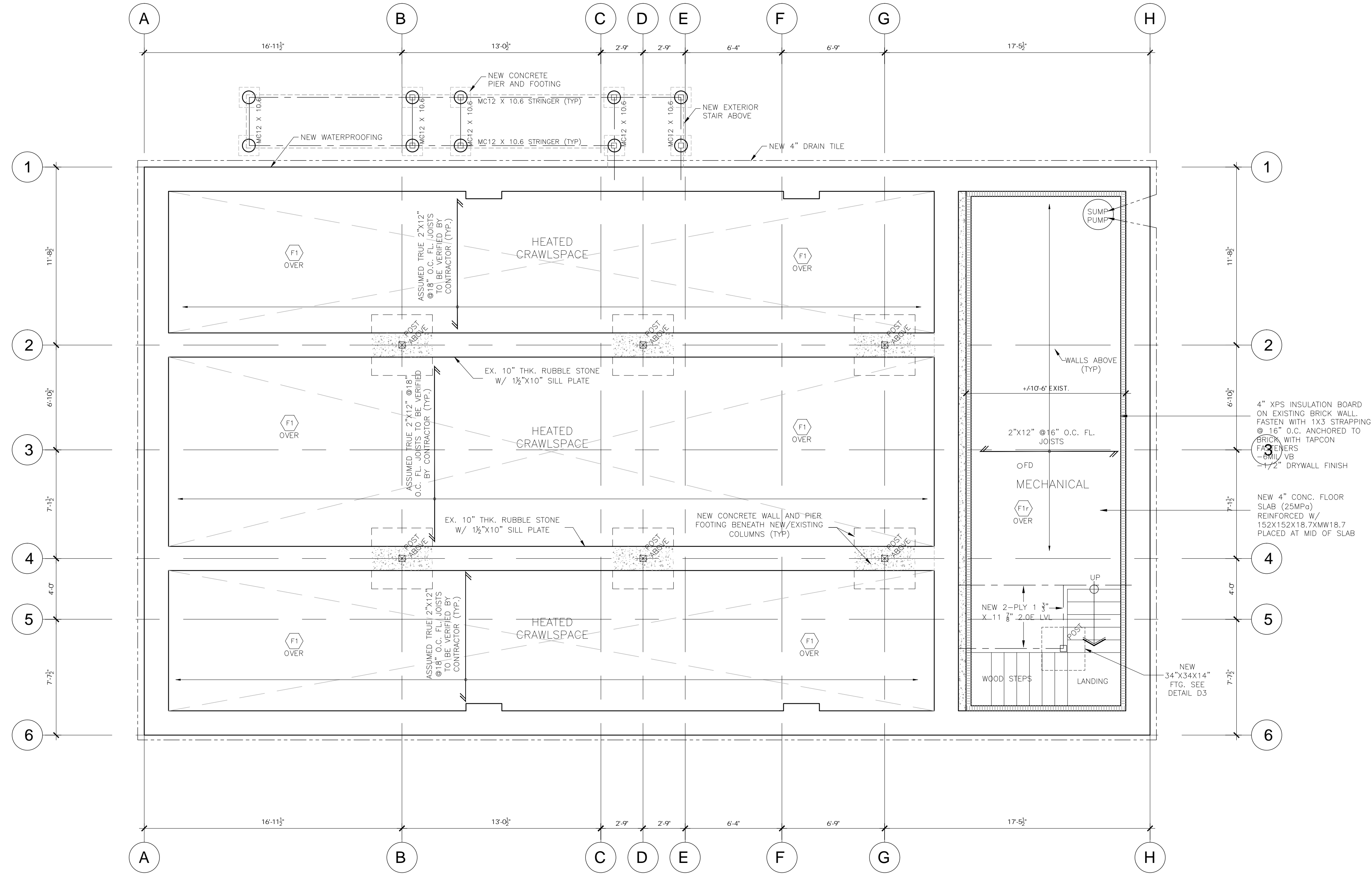
Sheet Title: Site Plan		
Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1:100	Date: 2020-02-27	Project No:
Drawing No:		

A001.1

NOTES:
1- CONTRACTOR TO VERIFY ALL THE ASSUMPTIONS AND REPORT TO THE CONSULTANTS OF ANY DISCREPANCIES.
2- CONTRACTOR TO INSPECT ALL THE STRUCTURAL MEMBERS AND REPORT TO THE CONSULTANTS OF ANY DISCREPANCIES.
3- IN ALL CASES, ANGLE OF REPOSE 7V:10H BETWEEN ADJACENT FTOS. SHALL BE MAINTAINED.
4- DAMAGED JOISTS SHALL BE REPLACED, USE THE SAME GRADE AND SIZE AS THE EXISTING.
5- REPAIR ALL THE DAMAGED PARTS OF THE FOUNDATION WALLS. PORTION TO BE REPAIRED SHALL BE REPLACED W/ CONCRETE.

DESIGN LOADS:
DL: 1.25 KPA (NO CONC. TOPPING)
LL: 4.80 KPA

SOIL BEARING CAPACITY OF 125 KPA TO BE VERIFIED.

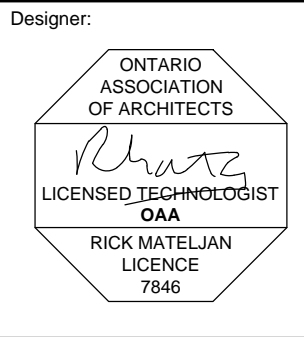
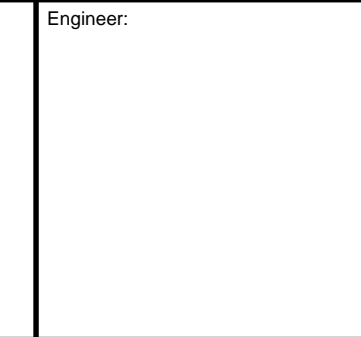


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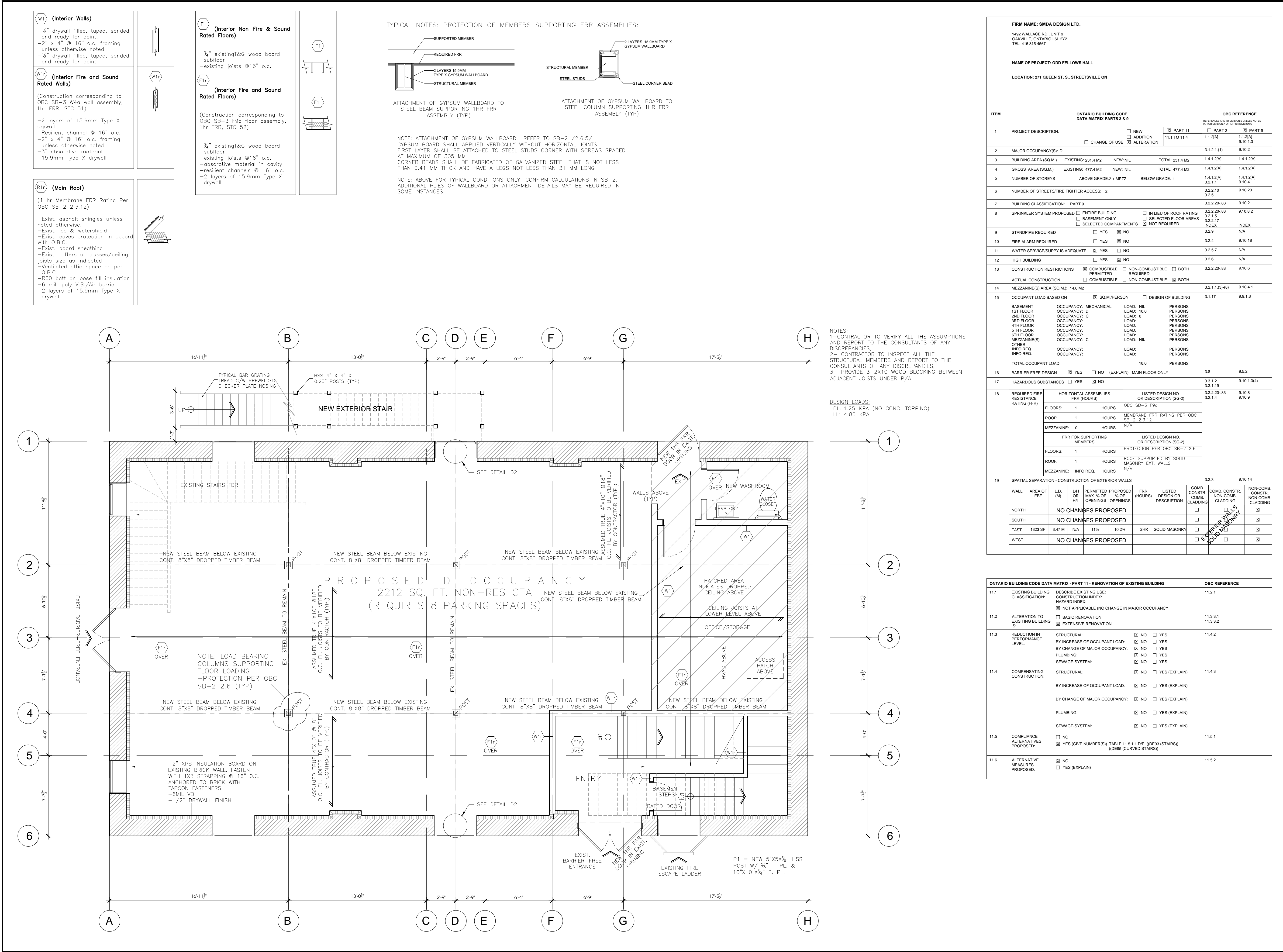
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Designer:	Engineer:
	

Project:
271 Queen st S
Odd Fellows

Design By:	Drawn By:	Approved By:
R.H.M.	R.H.M.	R.M.
Scale:	Date:	Project No:
1/4"=1'-0"	2020-02-27	
Drawing No:		

A002.1



W1 (Interior Walls)

- 1/2" drywall filled, taped, sanded and ready for paint.
- 2" x 4" @ 16" o.c. framing unless otherwise noted
- 1/2" drywall filled, taped, sanded and ready for paint.



W1r (Interior Fire and Sound Rated Walls)

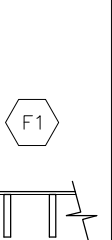
(Construction corresponding to OBC SB-3 W4a wall assembly, 1hr FRR, STC 51)

- 2 layers of 15.9mm Type X drywall
- Resilient channel @ 16" o.c.
- 2" x 4" @ 16" o.c. framing unless otherwise noted
- 3" absorptive material
- 15.9mm Type X drywall



F1 (Interior Non-Fire & Sound Rated Floors)

- 3/4" existing T&G wood board subfloor
- existing joists @ 16" o.c.



F1r (Interior Fire and Sound Rated Floors)

(Construction corresponding to OBC SB-3 F9c floor assembly, 1hr FRR, STC 52)

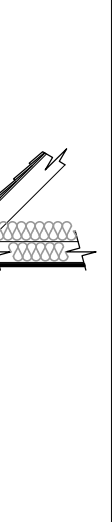
- 3/4" existing T&G wood board subfloor
- existing joists @ 16" o.c.
- absorptive material in cavity
- resilient channels @ 16" o.c.
- 2 layers of 15.9mm Type X drywall



R1r (Main Roof)

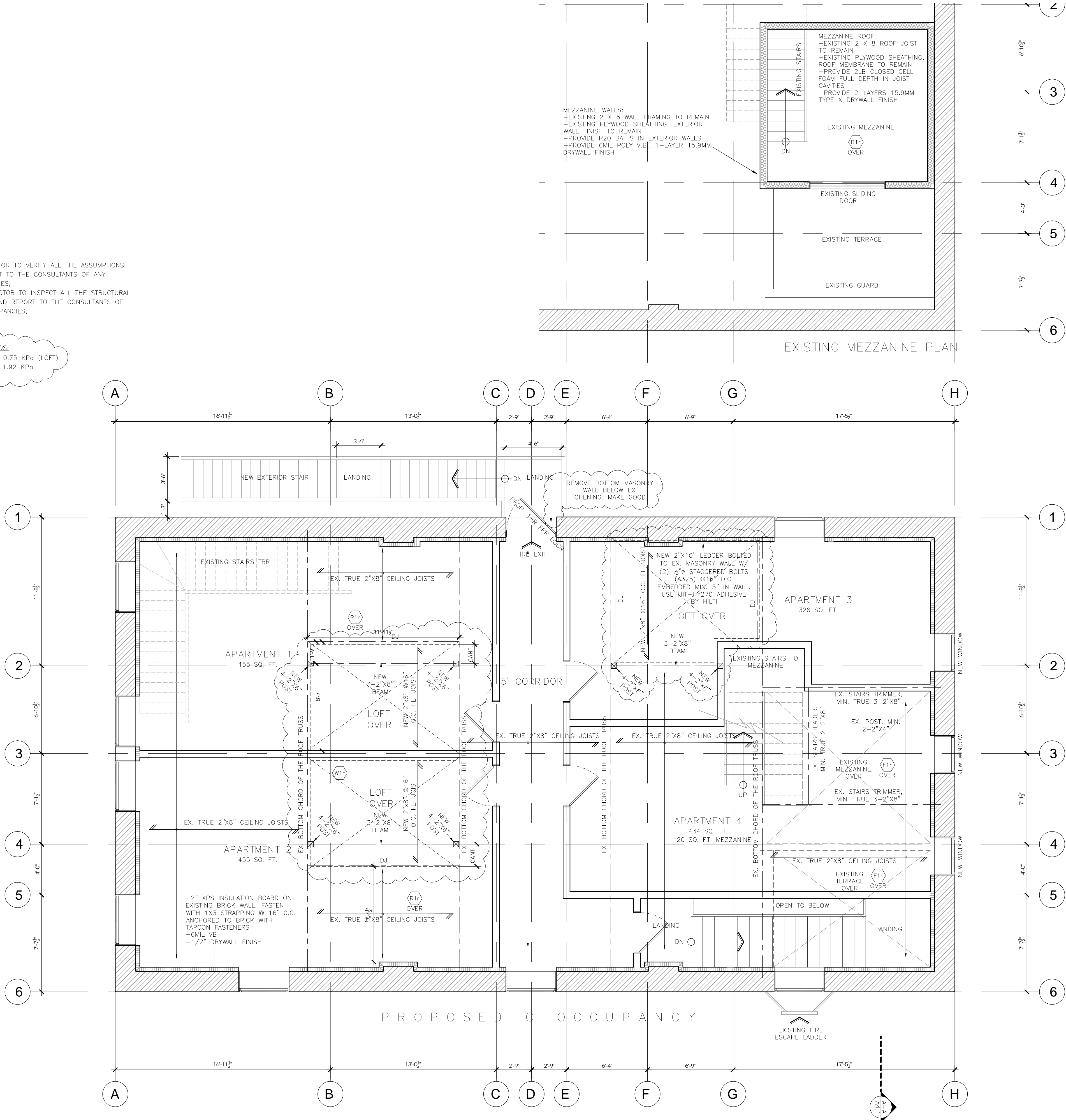
(1 hr Membrane FRR Rating Per OBC SB-2 2.3.12)

- Exist. asphalt shingles unless noted otherwise.
- Exist. ice & watershed
- Exist. eaves protection in accord with O.B.C.
- Exist. board sheathing
- Exist. rafters or trusses/ceiling joists size as indicated
- Ventilated attic space as per O.B.C.
- R60 batt or loose fill insulation
- 6 mil. poly V.B./Air barrier
- 2 layers of 15.9mm Type X drywall

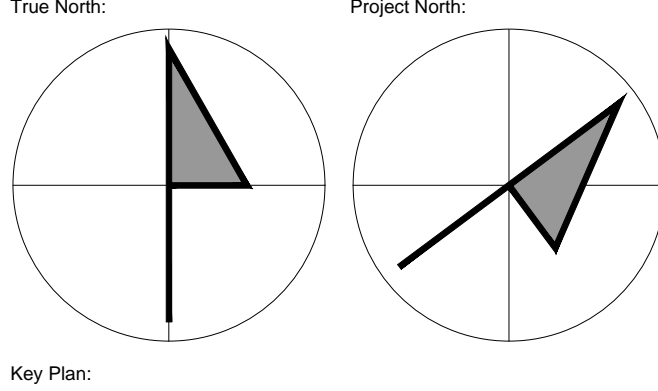
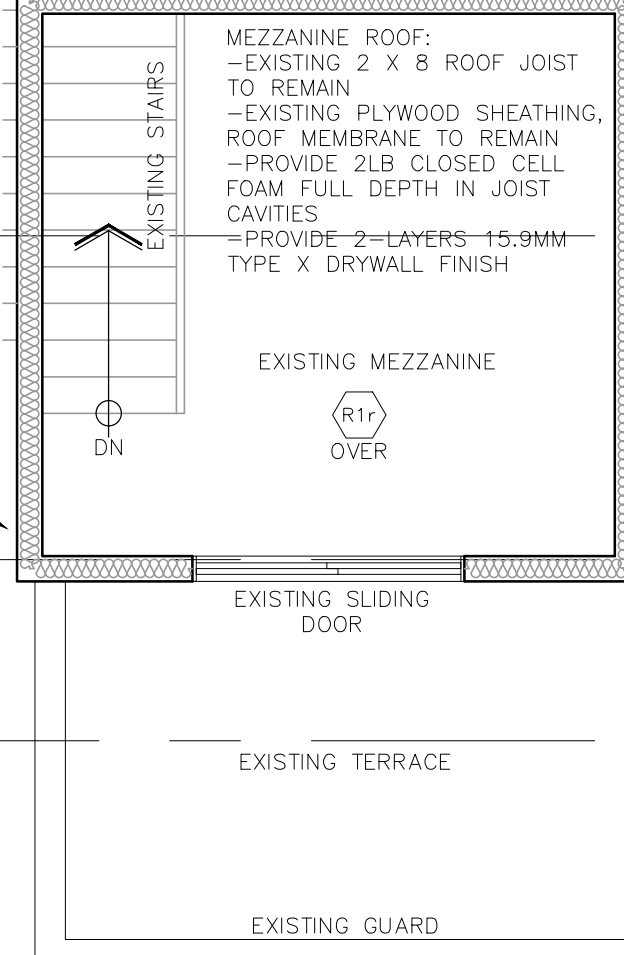


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DESIGN LOADS:
DL: 0.75 KPa (LOFT)
LL: 1.92 KPa



MEZZANINE WALLS:
-EXISTING 2 X 6 WALL FRAMING TO REMAIN
-EXISTING PLYWOOD SHEATHING, EXTERIOR WALL FINISH TO REMAIN
-PROVIDE R20 BATTS IN EXTERIOR WALLS
-PROVIDE 6MIL POLY V.B., 1-LAYER 15.9MM DRYWALL FINISH



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Designer:

RICK MATELIAN
LICENCE 7846

Engineer:

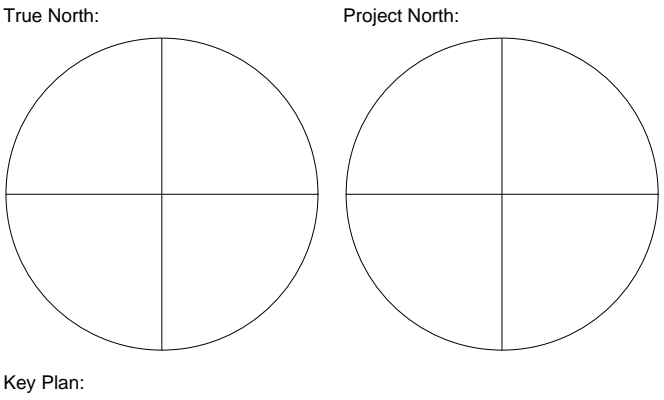
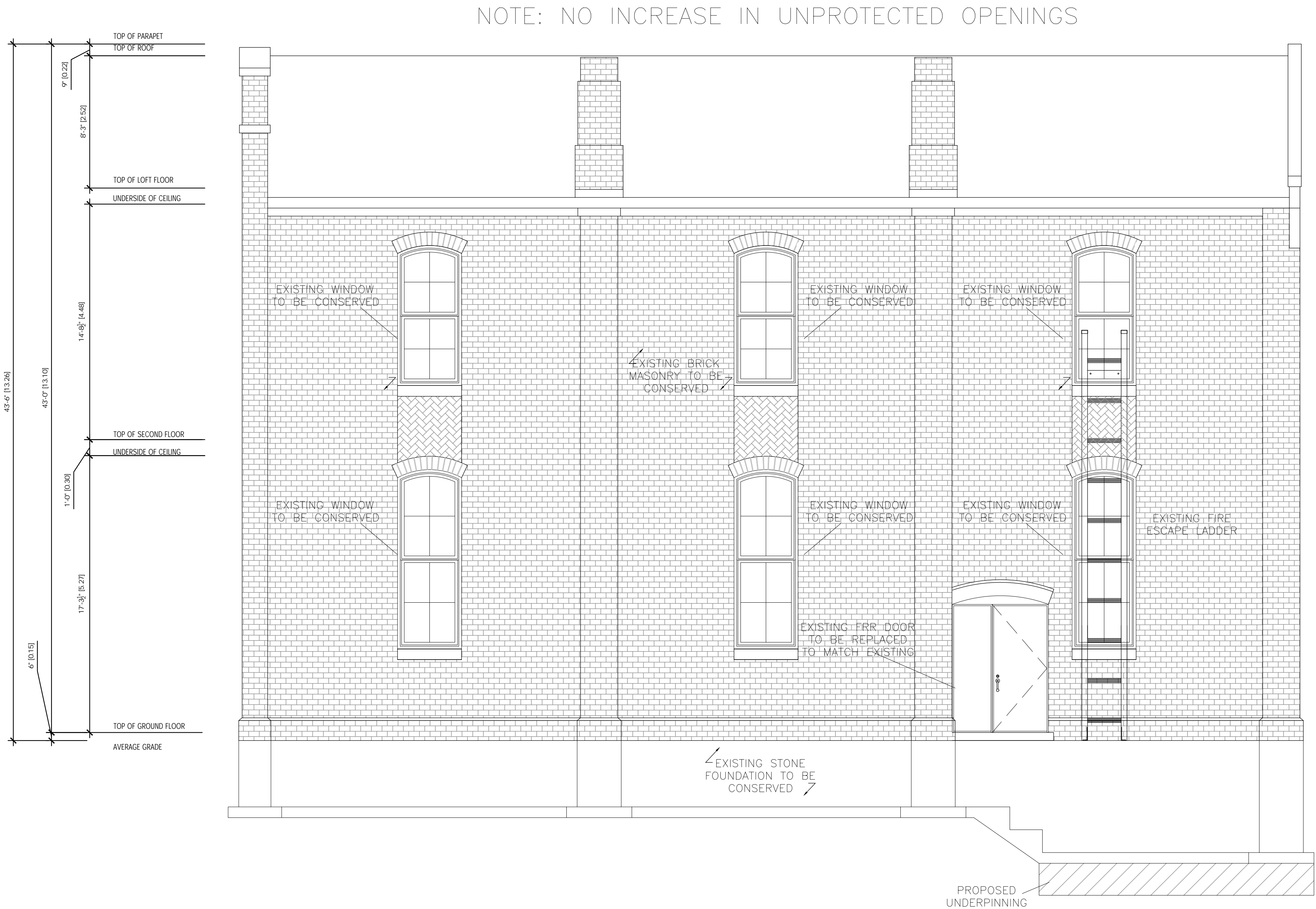
RICK MATELIAN
LICENCE 7846

Project:
**271 Queen st S
Odd Fellows**

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-02-27	Project No:

Drawing No:
A002.3

Second Floor Plan



31	2022-04-22	Revised Plan	RM
30	2022-04-18	Underpinning permit	RM
29	2022-04-04	Revised Plan	RM
28	2022-03-01	Revised Plan	RM
27	2022-01-27	Revised Stat's	RM
26	2021-12-17	Site Plan Approval	RM
25	2021-12-07	Site Plan Approval	RM
24	2021-12-01	Coordination	RM
23	2021-11-10	Coordination	RM
22	2021-09-06	Heritage Approval	RM
No.	Date	Issued/Revision	By:



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Designer:

Engineer:

Project:

271 Queen st S
Odd Fellows

Sheet Title:

South Elevation

Design By:	Drawn By:	Approved By:
R.H.M.	R.H.M.	R.M.
Scale:	Date:	Project No:
1/4"=1'-0"	2020-02-27	

Drawing No:

A003.1



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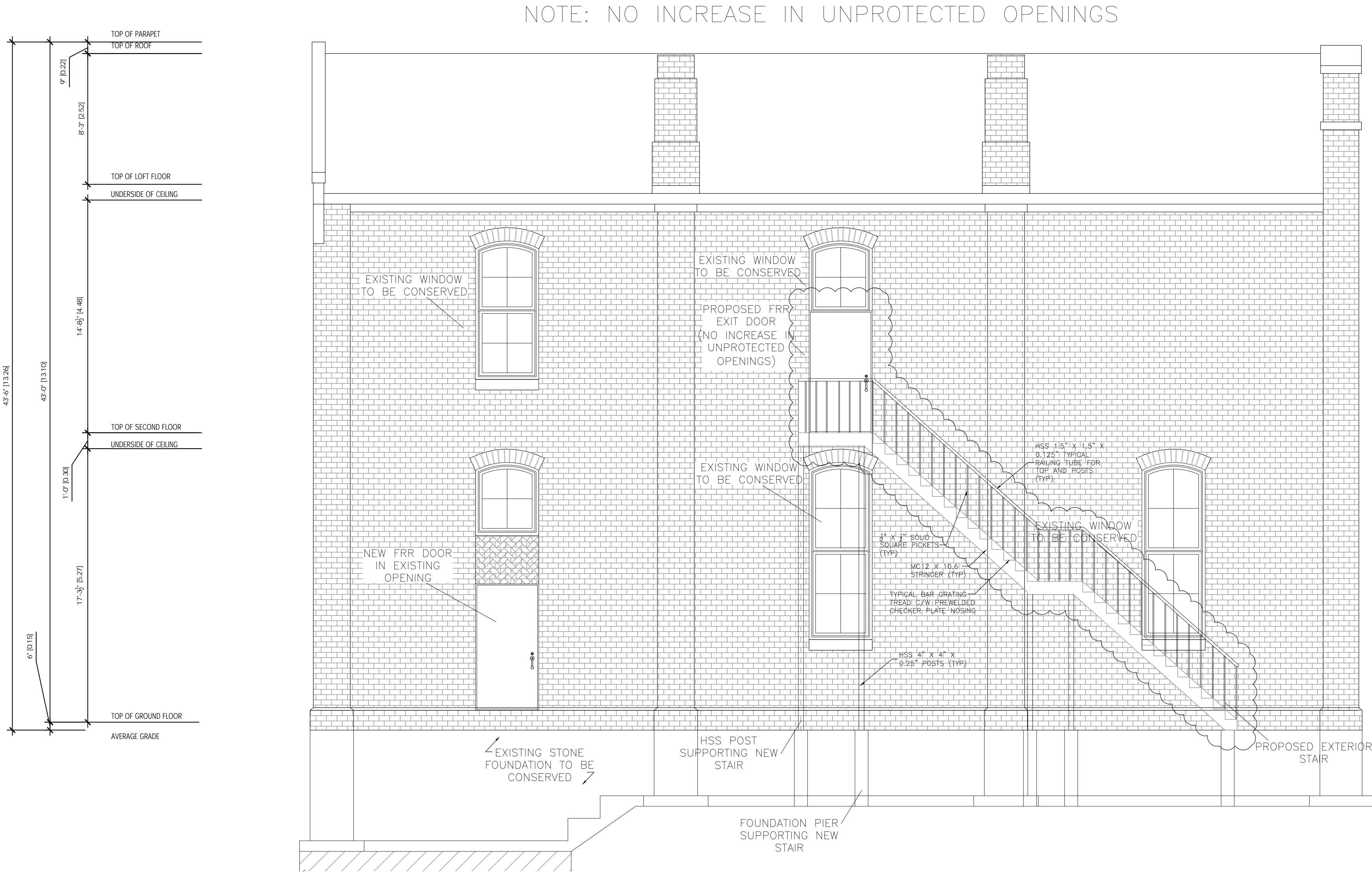
Project:

271 Queen st S

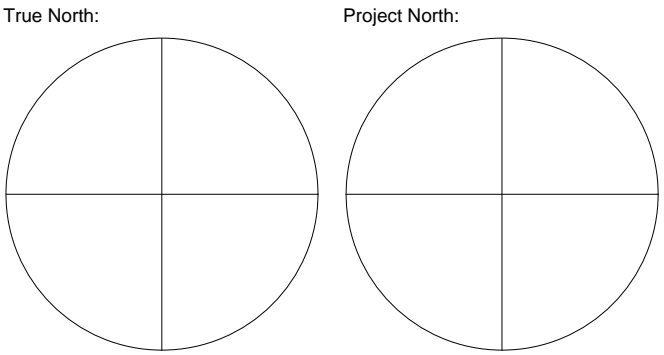
Odd Fellows

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-02-27	Project No:

A003.2



EXISTING NORTH ELEVATION



Key Plan:

31	2022-04-22	Revised Plan	RM
30	2022-04-18	Underpinning permit	RM
29	2022-04-04	Revised Plan	RM
28	2022-03-01	Revised Plan	RM
27	2022-01-27	Revised Stat's	RM
26	2021-12-17	Site Plan Approval	RM
25	2021-12-07	Site Plan Approval	RM
24	2021-12-01	Coordination	RM
23	2021-11-10	Coordination	RM
22	2021-09-06	Heritage Approval	RM
No.	Date	Issued/Revision	By:



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Designer: ONTARIO ASSOCIATION OF ARCHITECTS Rick Mateljan LICENSED TECHNOLOGIST OAA RICK MATELIAN LICENCE 7846	Engineer:
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Project:
271 Queen st S
Odd Fellows

Sheet Title:

North Elevation

Design By: R.H.M.	Drawn By: R.H.M.	Approved By: R.M.
Scale: 1/4"=1'-0"	Date: 2020-02-27	Project No:

Drawing No:

A003.3

