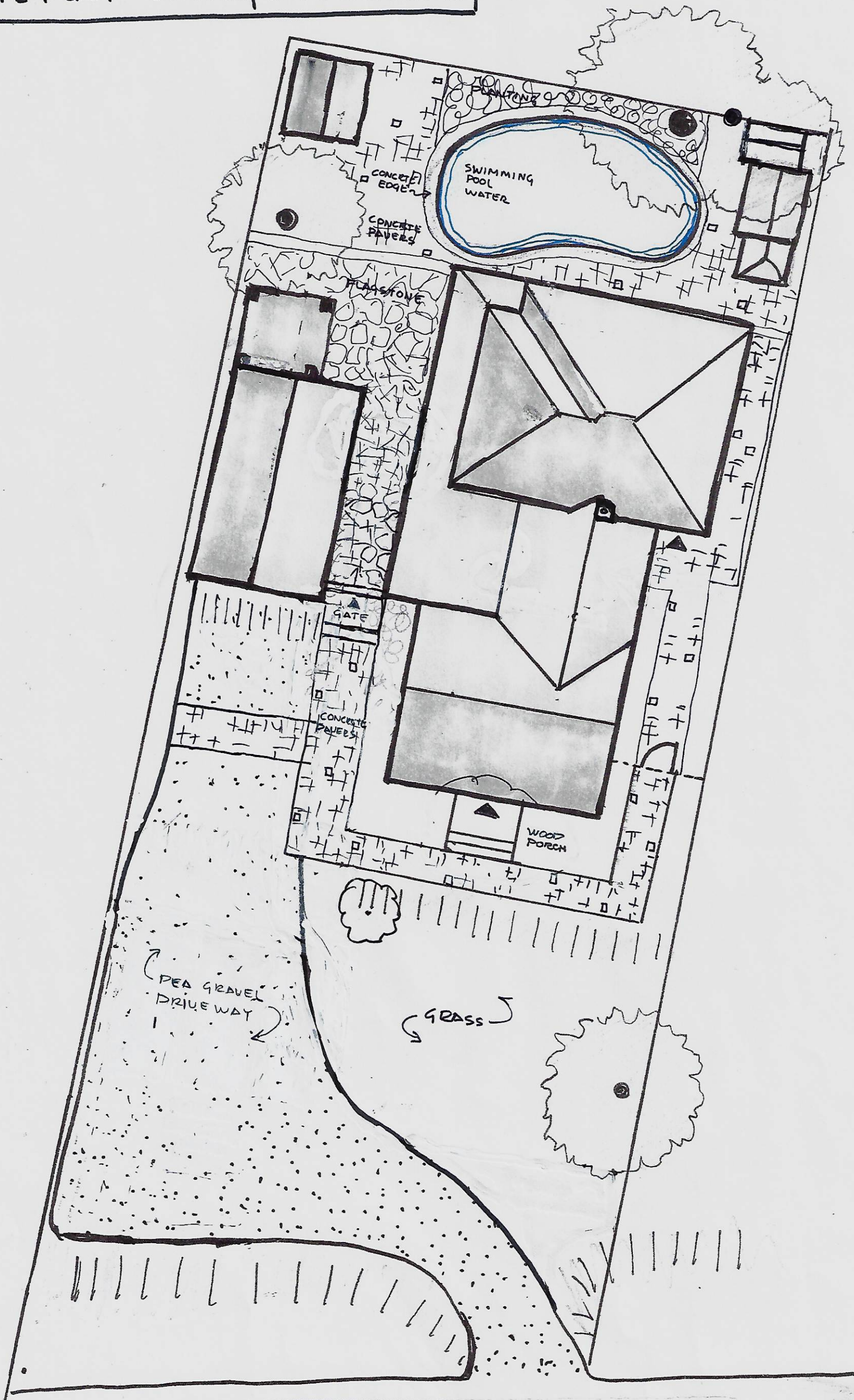


DESIGNERS COLLABORATIVE

(416) 579-0916

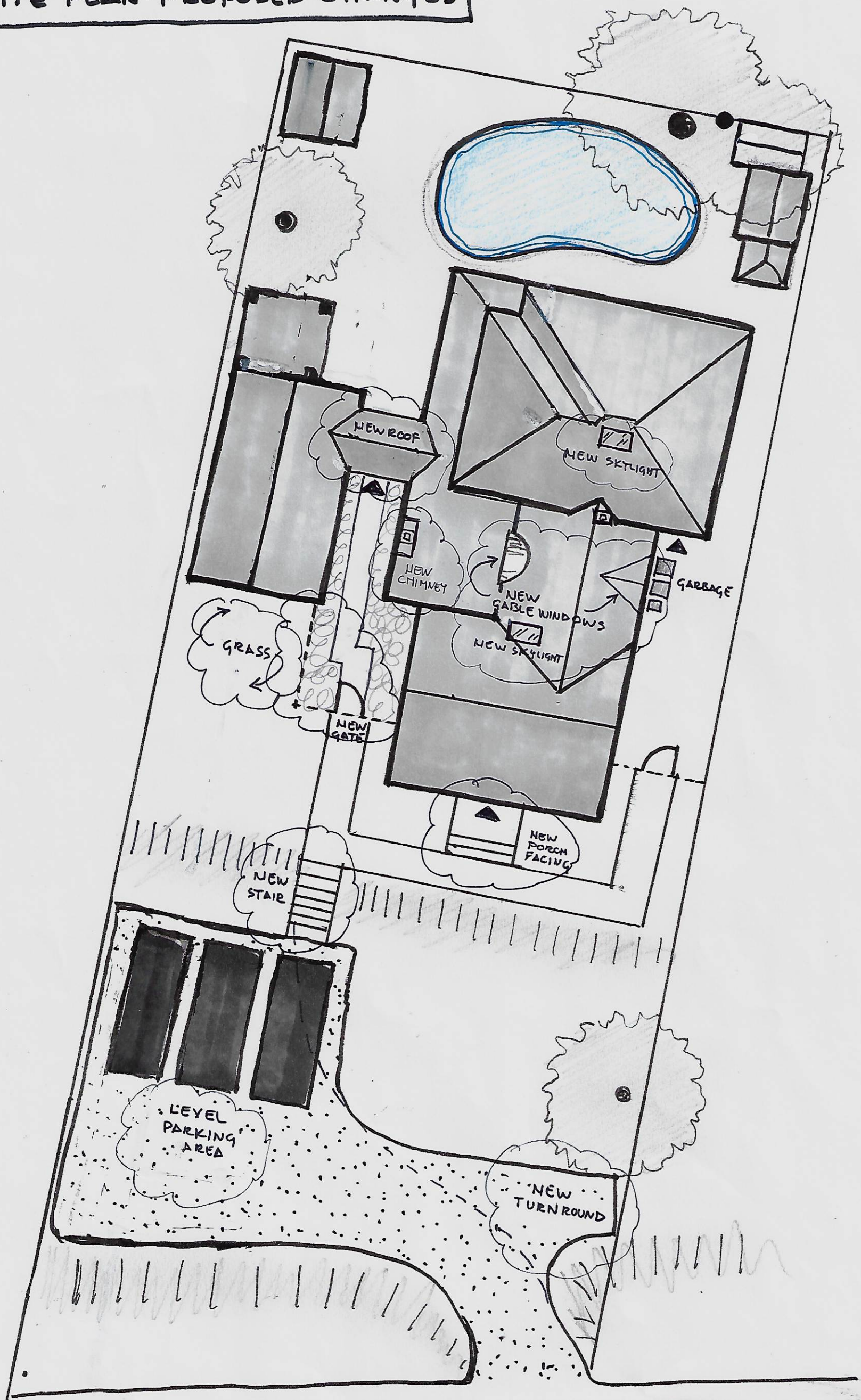
SITE PLAN - EXISTING WITH MATERIALS



27 MILL STREET



SITE PLAN - PROPOSED CHANGES



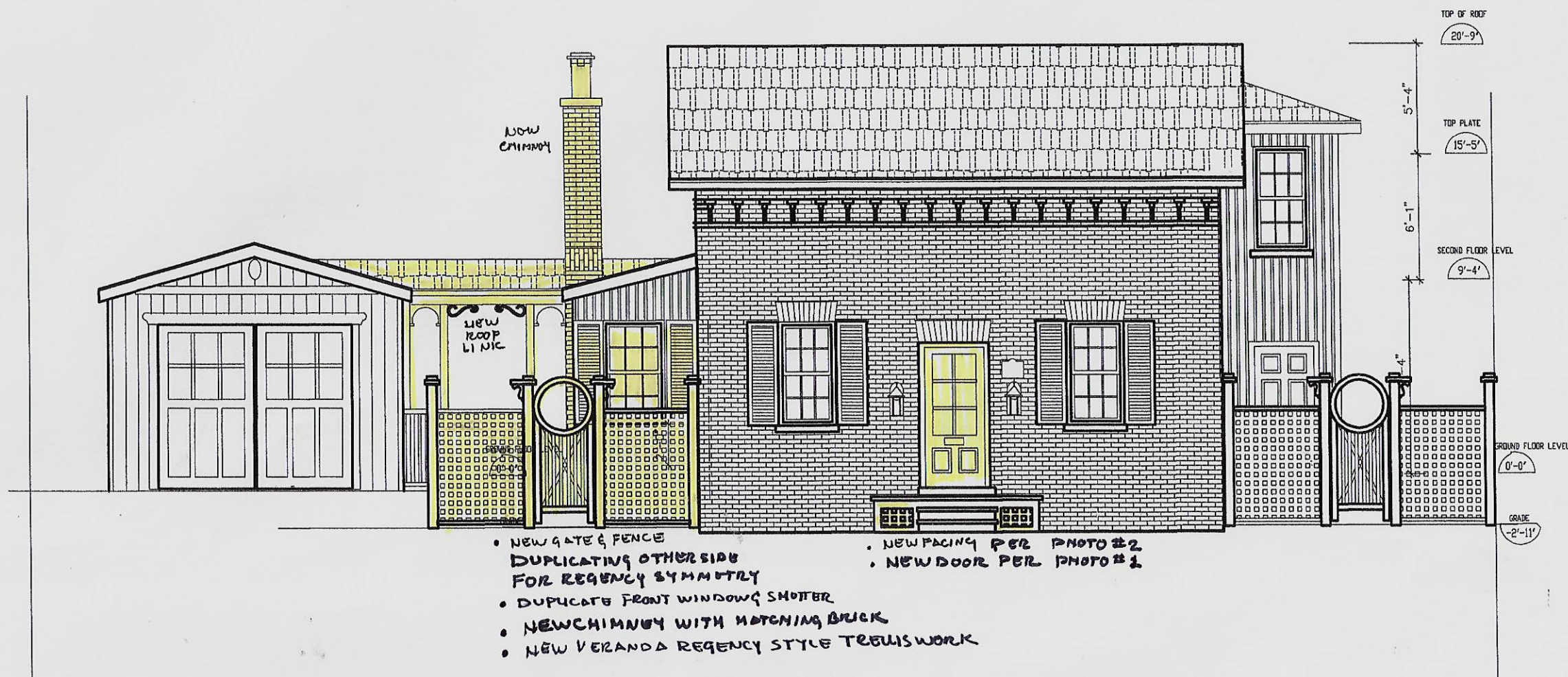
27 MILL STREET

Nov. 24 / 2022



27 MILL STREET
PROPOSED FRONT ELEVATION

NOV. 24 / 2022



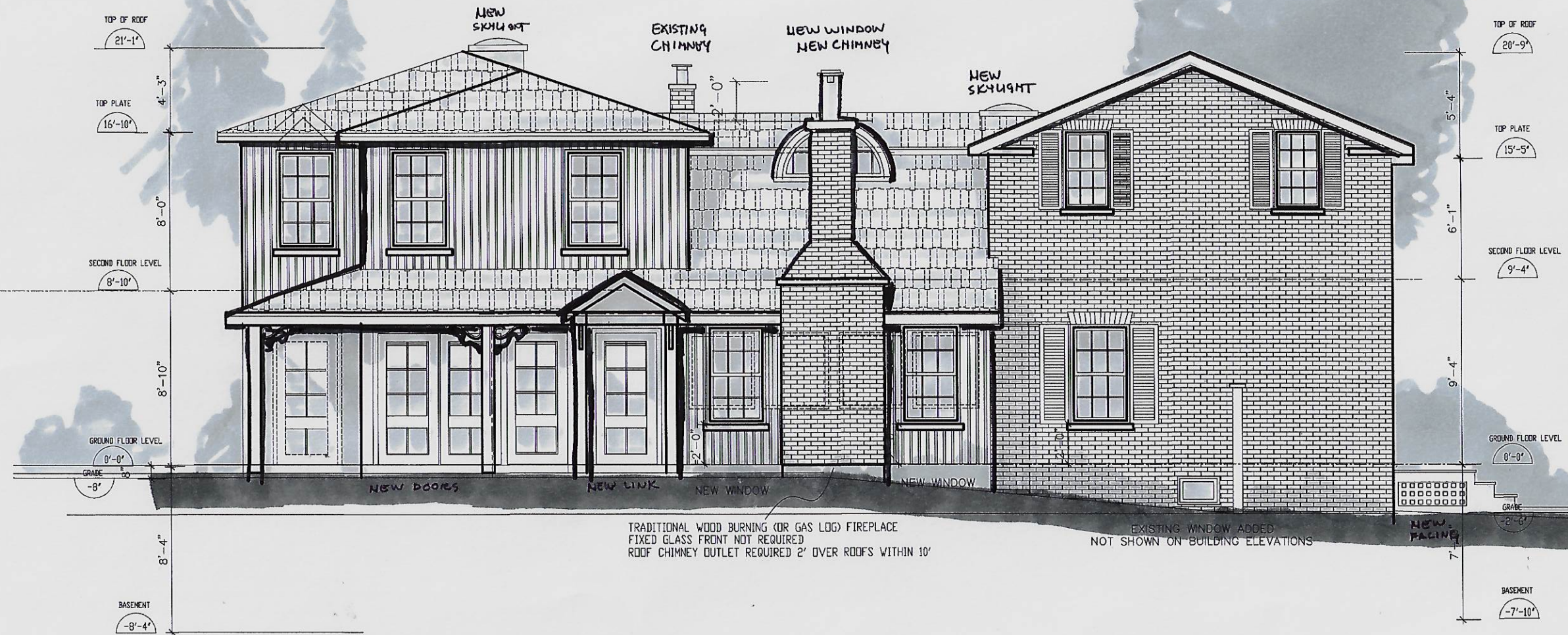
27 MILL STREET

PROPOSED FRONT ELEVATION

MATERIALS:

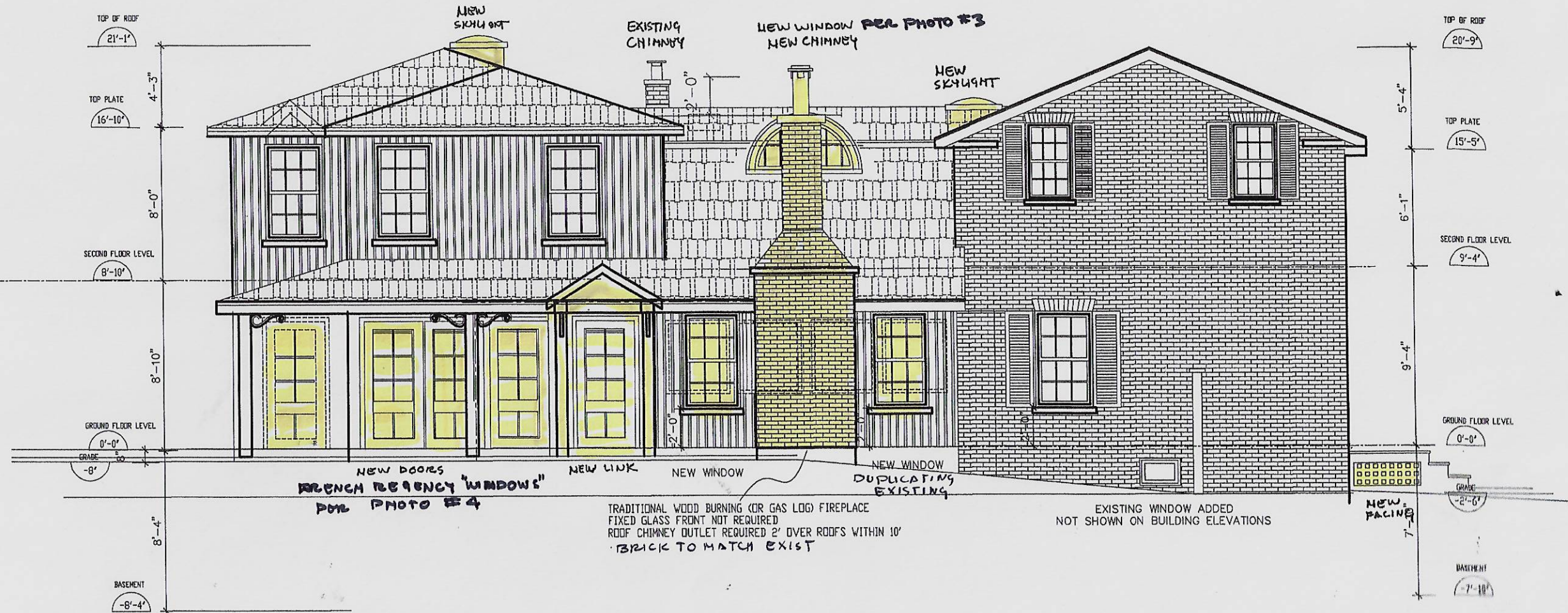
- NEW WINDOWS • 3x4 MUTTEN DIVIDED ~~PIKE~~ WINDOWS • WHITE / 1/4" CLAR THERMOPANE GLASS
- NEW DOORS • PINE DOORS & FRAME & DIVISIONS PAINTED WHITE / 1/4" CLAR THERMOPANE GLASS
- NEW PORCH & TRELLISWORK • PINE & CEDAR STRUCTURE & DETAILS, PAINTED WHITE TO MATCH EXISTING
- SKYLIGHTS • ALUMINUM FRAME, DOUBLE TINTED ACRYLIC, - ASPHALT FACED CHIMNEY.
- HALF-ROUND GABLE ROOF • STANDING SEAM - COPPER SHEETING.

NOV. 24 / 2022



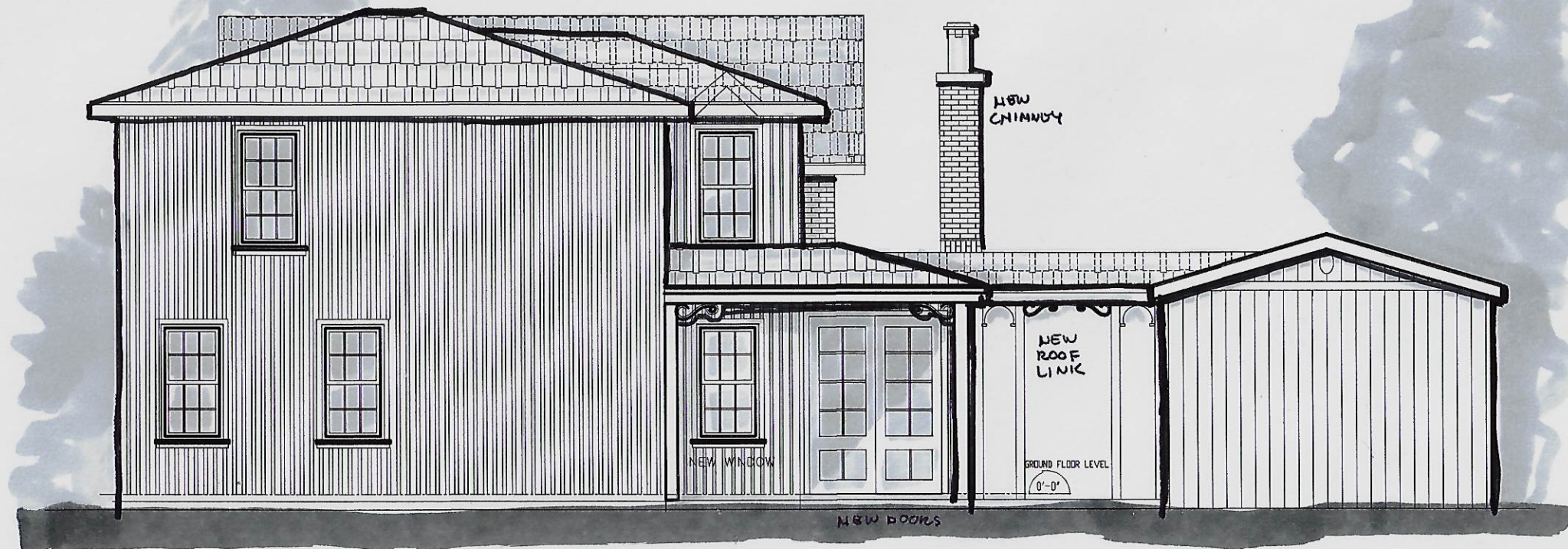
27 MILL STREET
PROPOSED EAST ELEVATION

Nov. 24/2022



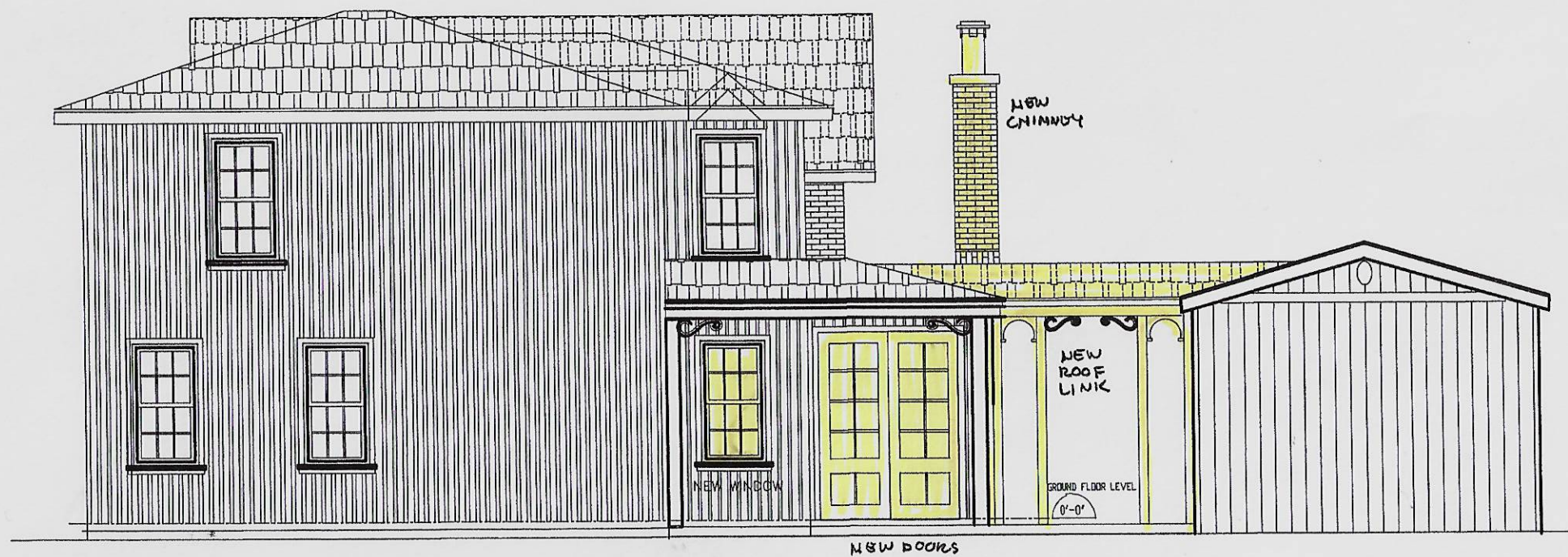
27 MILL STREET PROPOSED EAST ELEVATION

NOV. 24/2011



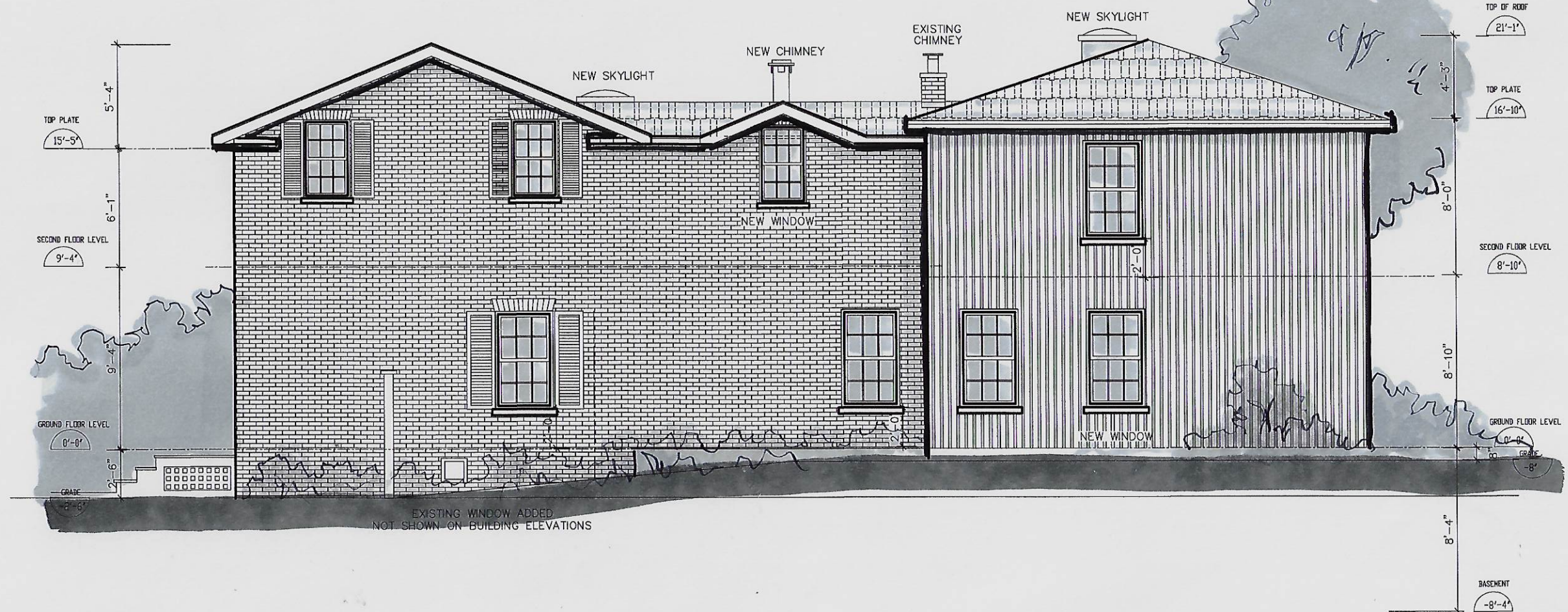
27 MILL STREET
PROPOSED SOUTH ELEVATION

NOV. 24/2022



27 MILL STREET
PROPOSED SOUTH ELEVATION

NOV. 24/2022

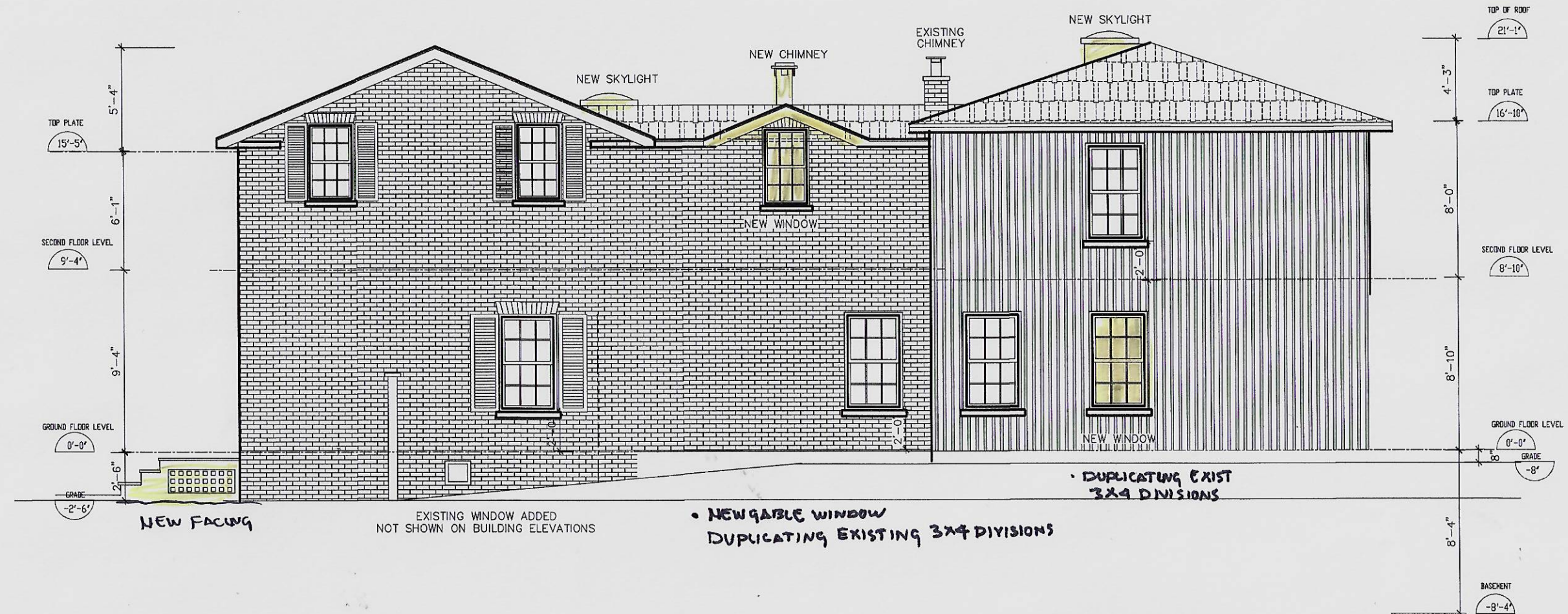


27 MILL STREET

PROPOSED WEST ELEVATION

bach. of arch.

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27 MILL STREET
PROPOSED WEST ELEVATION

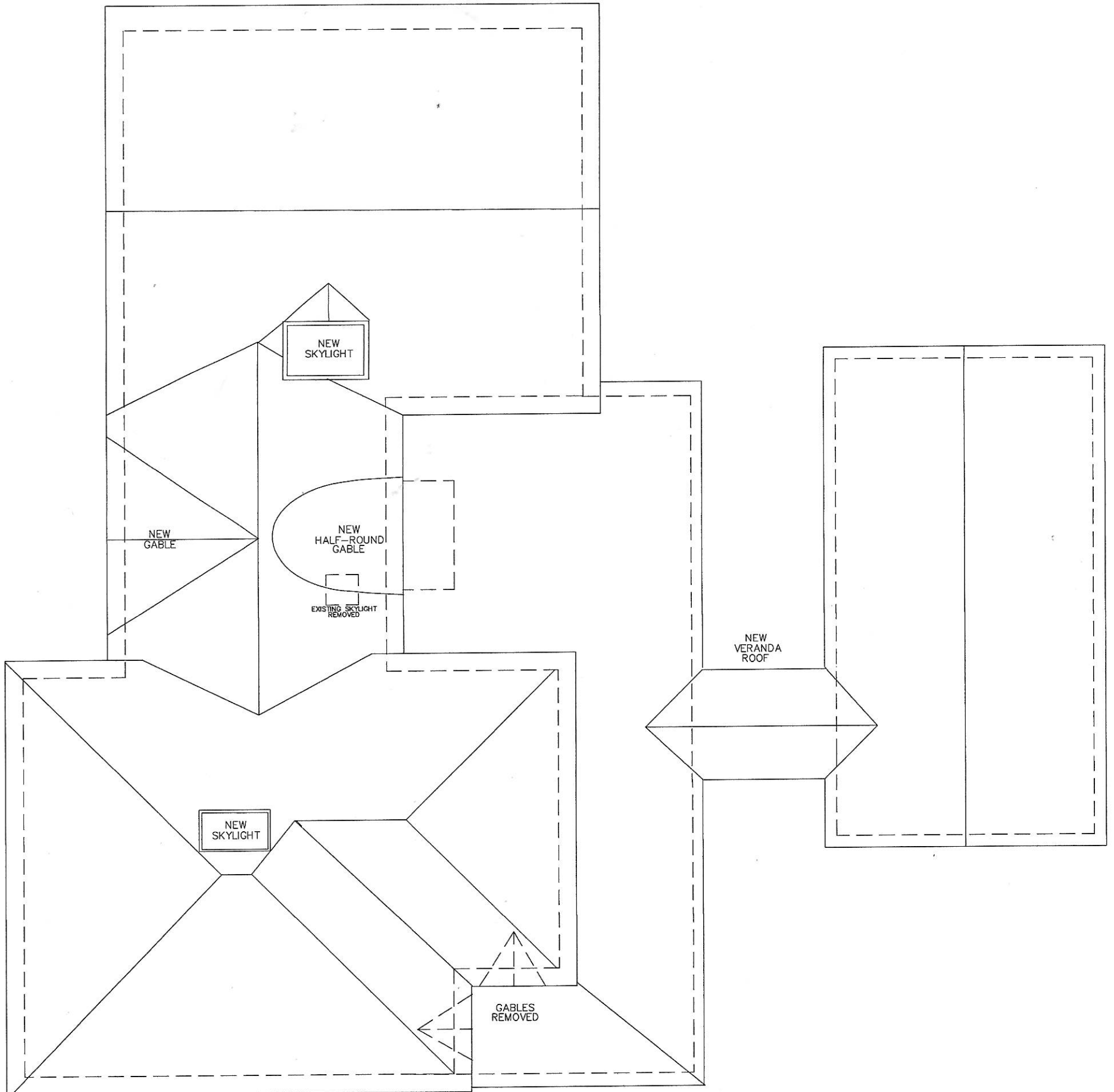
NOV. 24/2021

c. grandfield

bach. of arch.

194 Howland Ave., M5R 3B6

(416) 579-0916



27 MILL STREET
ROOF PLAN

Nov.25,2022



c. grandfield

bach. of arch.

194 Howland Ave., M5R 3B6

(416) 579-0916

27 MILL STREET

SITE PLAN

Referencing attached proposed site plan drawing:

- 1) Sod existing driveway leading to studio building and level and create three parking spaces linked to house by new concrete stairway. Pave remaining driveway with asphalt and add extention for turn around.
- 2) Replicate existing trelliswork fence and gate to west on the east of existing brick house for regency symetry. Create kitchen garden area between buildings leading to new breezeway covered link for side door.

NOTE: See elevations for details and appearance of other changes located on site plan.

PROPOSED FRONT ELEVATION

Referencing attached front elevation drawing:

- 1) Replace existing front door with a wood door replicating the original as shown on historical photograph below. Photo #1
- 2) Rebuild face of porch to match in detail attached historical photograph on 25 Thomas Street below. Photo#2
- 3) Replicate existing 3’X5’wood 6 over 6 double–hung windows on east side board&batten addition with shutters.
- 4) Replicate existing trelliswork fence and gate to west on the east of existing brick house for regency symetry.
- 5) Add chimney matching brick onto existing addition between house and garage.
- 6) The historical style is famous for bringing the shade of verandas and trelliswork to Canada with Officers returning from British Indian & Southern Colonies which is present on the east and south elevations of the existing addition to the dwelling. To show a hint of it and create a functional protected side entry to the dwelling the veranda roof has been extended between the existing two structures with the appropriate wood trimwork and matching existing shingles.

PROPOSED EAST ELEVATION

Referencing attached east elevation drawing starting at the north end working south:

- 1) Replicate existing 3’X5’ wood 6 over 6 double–hung windows on east side board&batten addition to replace both existing square windows.
- 2) Add new fireplace brick wall and chimney matching existing brickwork and mortar to face to go with new proposed fireplace to be added inside dwelling as center–piece to living room.
- 3) The historical style is famous for bringing the shade of verandas and trelliswork to Canada with Officers returning from British Indian & Southern Colonies which is present on the east and south elevations of the existing addition to the dwelling. To show a hint of it and create a functional protected side entry to the dwelling the veranda roof has been extended between the existing two structures with the appropriate wood trimwork and matching existing shingles.
- 4) Replace existing modern french doors of addition with what would have been called French full length ”windows”at the time. The proposed doors are designed based upon the period doors of Rideau Hall.Photo#3
- 5) Existing 2nd floor bedroom contrary to the OBC has no source natural exterior ventalation or light. The fan window proposed is similar to the gable on the roof of the Metropolitan Bank dating from this period.Photo#4
- 6) Proposed two skylights over internal staircases, their chimney’s not visiable from the street are faced with shingles to match existing to under state their presence.

PROPOSED SOUTH ELEVATION

- 1) The historical style is famous for bringing the shade of verandas and trelliswork to Canada with Officers returning from British Indian & Southern Colonies which is present on the east and south elevations of the existing addition to the dwelling. To show a hint of it and create a functional protected side entry to the dwelling the veranda roof has been extended between the existing two structures with the appropriate wood trimwork and matching existing shingles.
- 2) Add chimney matching brick onto existing addition between house and garage.

PROPOSED WEST ELEVATION

- 1) On ground floor replicate existing 3’X5’wood 6 over 6 double–hung window on board&batten addition for existing bathroom.
- 2) On second floor replicate existing smaller wood 6 over 6 double–hung window into new gable for existing dark bedroom.
- 3) Proposed two skylights over internal staircases, their chimney’s not visiable from the street are faced with shingles to match existing to under state their presence.



PHOTO #1 • 27 MILL ST. FRONT DOOR.



PHOTO #2 • 25 THOMAS ST. - PORCH DETAIL,

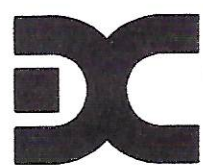


PHOTO # 3 . 242 QUEEN ST. FAN GABLE DETAIL

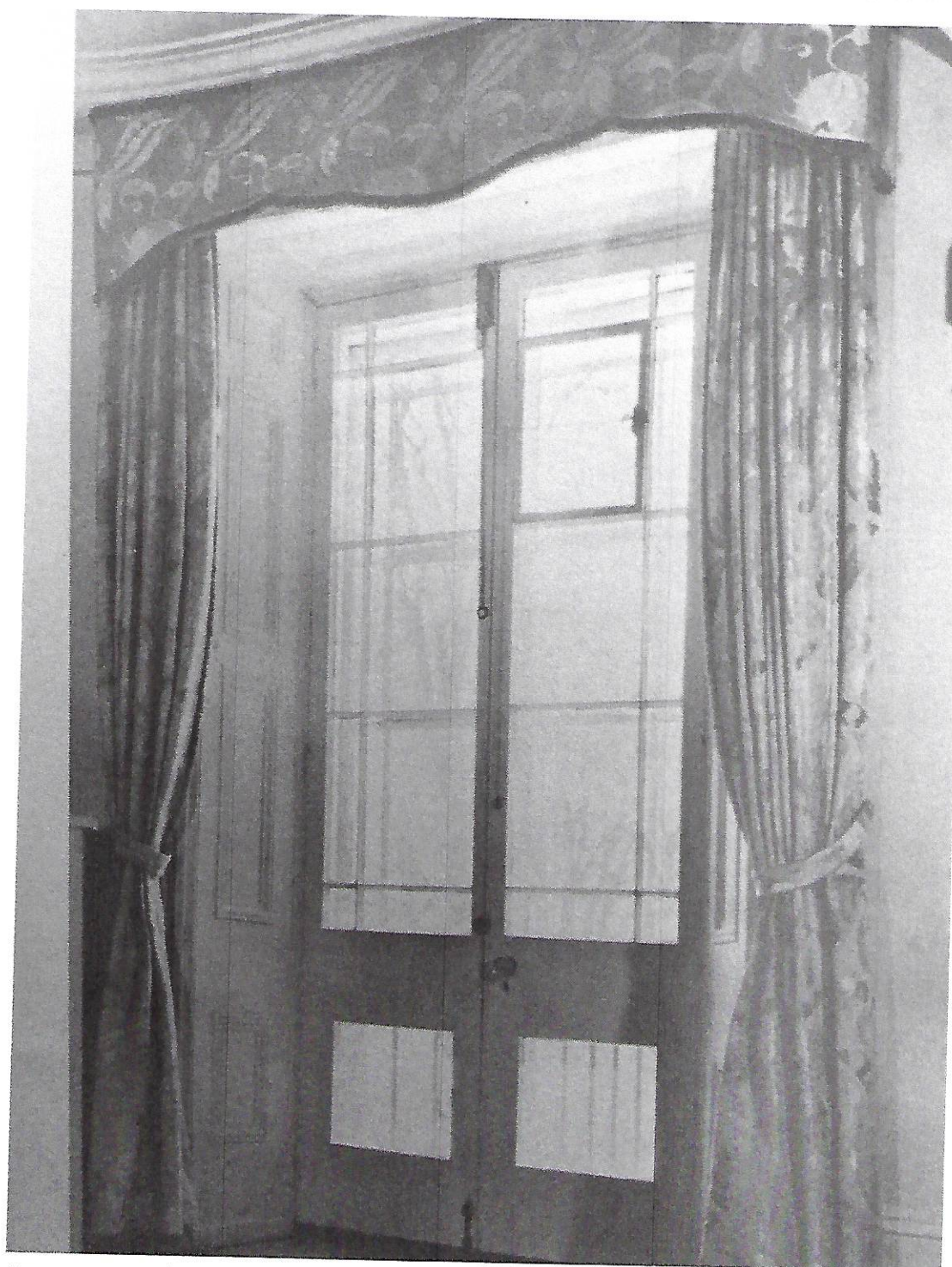


PHOTO # 4 . REGENCY FRENCH "WINDOW"