

HERITAGE IMPACT ASSESSMENT



1141 CLARKSON ROAD NORTH
City of Mississauga

22 SEP 2022

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
Built Heritage Consultant
mhobson@bell.net

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1.0 INTRODUCTION

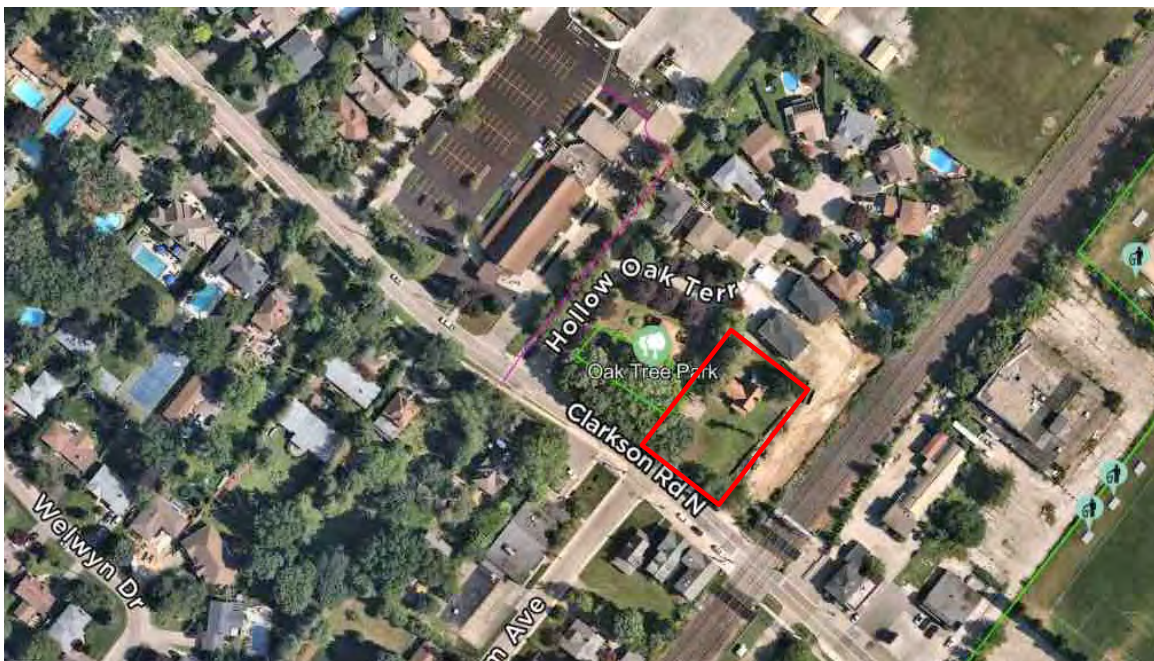
Preparation of this report included site investigation, a review of relevant heritage policies and applicable legislation, a review of existing historical research, and consultation with heritage staff. Two previous heritage reports were consulted:

- *HIA 1141 Clarkson Road North* (ASI, June 2017)
- *HIA 1130-1140 Clarkson Road North* (AREA Architects, March 2021)

The ASI report was submitted with a planning application to build two new dwellings on an empty lot directly behind the subject property on Hollow Oak Terrace. The previous assessment determined that construction of the proposed dwellings would not have any negative impacts on heritage attributes. The ASI report included a heritage evaluation according to criteria in *Ontario Regulation 09/06* and concluded that the subject property had historical and contextual value. The consultant concurs with this evaluation. The previous assessment undertaken by ASI considered indirect impacts of a proposed development adjacent to the subject property. This report considers direct impacts of a proposed development that includes demolition of the subject dwelling.

2.0 LOCATION

The subject property is located on the northeast side of Clarkson Road North between Oak Tree Park and the CN railway line that crosses Clarkson Road North just to the south of the subject property.



AERIAL VIEW – 1141 Clarkson Road North – situated between the railway line and Oak Tree Park

3.0 SITE DESCRIPTION

The subject property is a rectangular lot that contains the Clarkson-Paisley House, a 2-storey dwelling built in 1860 for Henry Shook Clarkson that was enlarged and altered in the late 1930s for Walter Paisley. The dwelling is situated in the centre of the lot and oriented towards Clarkson Road North. There is a driveway on the north side of the house that extends past the house and is lined by a row of mature pine trees along the north side.

There is a railway line and level crossing to the south of the subject property. The property backs onto a residential neighbourhood. To the north is a small public park called Oak Tree Park and to the north of that is St. Christopher's Roman Catholic Church and School.



STREETSCAPE VIEWS – 1141 Clarkson Road North – Oak Tree Park to the north, the railway crossing to the south and vacant heritage buildings across the street

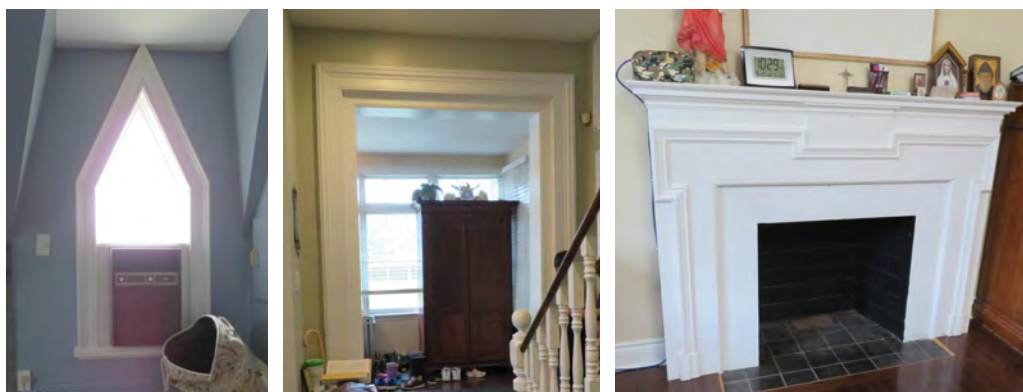
The subject dwelling is currently being used as a private day school and appears to be well maintained. The c.1860 cottage that appears in historic photos is incorporated into the current dwelling, but it has been heavily altered including a sunporch addition across the front elevation, a large two storey addition on the north side, a small 1-storey addition at the rear, and application of a synthetic stucco on the exterior. There is a mix of different windows styles including some 6 over 6 wood sash windows and one Gothic style pointed window from c.1860.

The foundation is not visible on the exterior or interior. Given that the c.1860 dwelling does not appear in this location on the 1877 County Atlas map and given that the Henry Shook Clarkson farmhouse appears to have been located in the southwest corner of Lot 28 near Lakeshore Road West, it is possible that the c.1860 portion of the Clarkson-Paisley House was relocated to the subject property sometime in the late 19th or early 20th century. Historic photos from c.1910 confirm that it was in this location by that time. Destructive testing would be required to determine the date of construction of the foundation.

There are 3 blueprints dated 1936 at the City of Toronto Archives in the Eric Hounsom fonds related to alterations made to the subject dwelling for Walter Paisley. The blueprints are generally consistent with the current west side and rear elevations but are not consistent with the current front and north side elevations. The current sunporch on the front of the house and 2-storey addition on the north side have been attributed to Eric Hounsom based on the cohesiveness of the design, but this cannot be confirmed by surviving evidence.



EXTERIOR - 1860 Gothic Revival cottage - 1936 blueprint for alterations - 2021 current conditions



INTERIOR - pointed Gothic Revival style window in the gable on the south elevation – wood trim around the front entrance on the west elevation that is now enclosed in the sunporch – one of two identical Greek Revival style fireplaces on the 1st floor

4.0 HERITAGE PLANNING CONTEXT

The subject property is *Listed* on the *Municipal Heritage Register* as the Clarkson-Paisley House because it contains the c.1860 dwelling of Henry Shook Clarkson that was enlarged and altered in the late 1930s by Walter Edwin Paisley. It is one of four built heritage resources on Clarkson Road North associated with the Clarkson family. The Warren Clarkson House, a fifth resource associated with the Clarkson family and Clarkson's Corners is also located nearby but it is now separated from Clarkson Road North by a modern subdivision. It is located south of the railway line at 1084 Feeley Court.

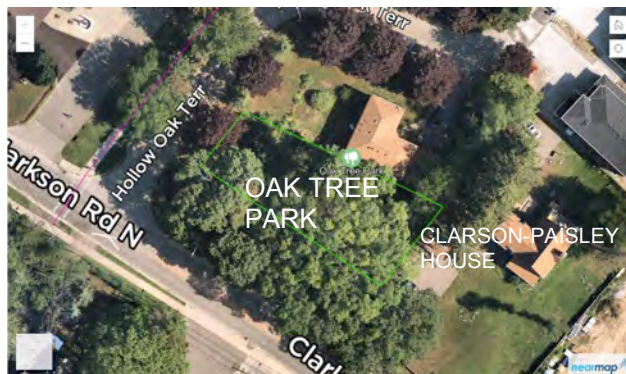
Warren Clarkson was one of the earliest settlers in the area, he was responsible for creating Clarkson Road North and operating the first General Store and Post Office in Clarkson. His son William operated the store and post office, and his son Henry operated the family farm. William's daughter Edith took over operation of the store and post office until her death in 1919.

Therefore, three generations of the Clarkson family made a significant contribution to this area in the 19th and early 20th century.



HERITAGE MAPPING (source: ASI, 2017) – the Clarkson-Paisley House is one of four built heritage resources on Clarkson Road North associated with the Clarkson family. It contains Henry Shook Clarkson farmhouse (c.1860) that was extensively altered and enlarged by Walter Paisley in the late 1930s.

The subject property is adjacent to a small public park called Oak Tree Park that contains one of the oldest oak trees in Mississauga. Commemorative markers have been installed in front of the park but there is currently no safe pedestrian access to these markers because there is no sidewalk on the east side of Clarkson Road North in this location.



OAK TREE PARK – the subject property is adjacent to Oak Tree Park where there is a heritage protected White Oak and existing heritage plaques. There is currently no sidewalk or safe pedestrian access to these commemorative markers.

5.0 HISTORICAL CONTEXT

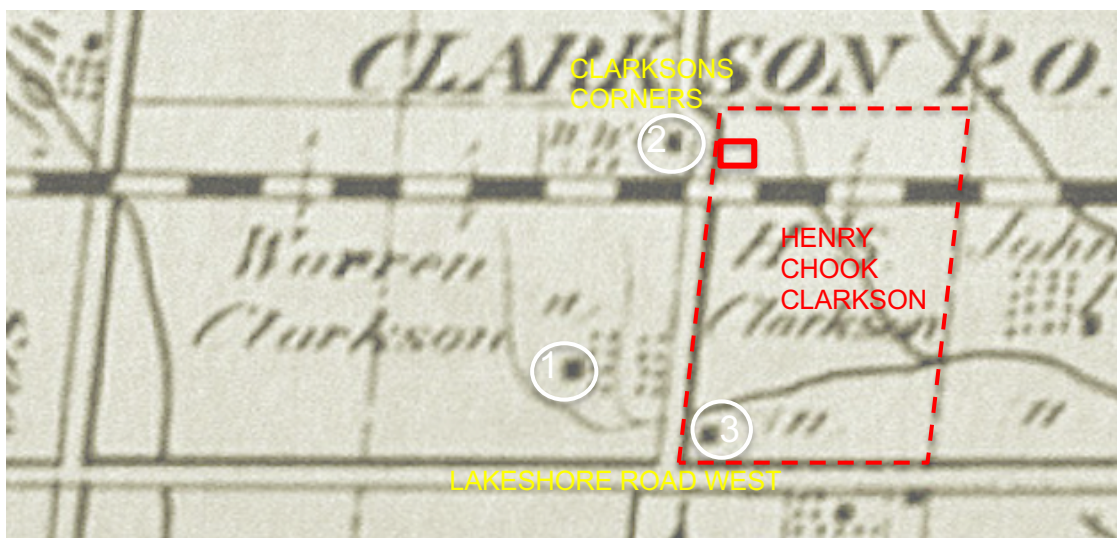
Warren Clarkson & Clarksons Corners

The subject property is located in the south Part of Lot 28, Concession 2 South of Dundas Street in the City of Mississauga (formerly Toronto Township). Originally set aside by the Crown as a Clergy Reserve, it was not released until 1834 when it was purchased by Edgar Neave, the builder of Benares, a large Estate that is now a museum at 1503 Clarkson Road North. In 1835, Neave sold 50 acres in the south part of Lot 28 to Warren Clarkson. Clarkson was already well established in the area and owned the southern portions of the adjoining Lots 29 and 30 that he had purchased in 1819.

Warren Clarkson built the first general store and post office on Clarkson Road North, just north of the Village of Clarkson. He improved the road in front of his store and by 1850 it was known as Clarkson's Road (now Clarkson Road North). In 1855, the Great Western Railway line and station was completed. The line crossed Clarkson's property and the station on Clarkson's Road became known as Clarkson Station. Warren's son William operated the store and built a home next door. William's daughter Edith built a house just north of the store and eventually ran the store and post office until her death in 1919. Warren's son Henry oversaw the Clarkson Farm.

Henry Shook Clarkson & the Clarkson Farm

In 1856, Warren Clarkson transferred his 50 acres in the south part of Lot 28 to his son Henry Shook Clarkson. After a brief stint in the United States in the late 1850s as a railway surveyor, Henry returned to Clarkson in 1860 to assist his father in running the family farm. The 1877 County Atlas shows a farmhouse in the southwest corner of the Lot 28 near Lakeshore Road but does not show a house in the location of the subject dwelling. It is therefore possible that the farmhouse shown on the 1877 map is the Henry Shook Farmhouse and that it was later relocated to the subject property.

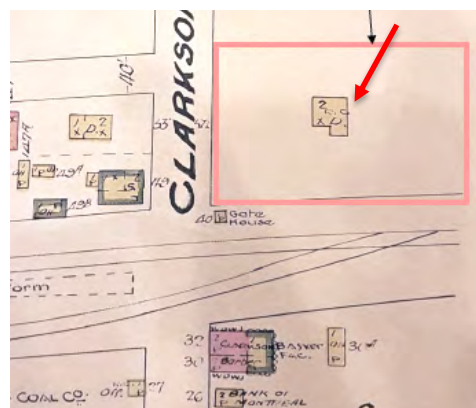


1877 MAP - 1. Warren Clarkson House (1084 Feeley Court) 2. William Warren Clarkson House (1130 Clarkson Road North) 3. **Henry Shook Clarkson House (relocated? to 1141 Clarkson Road North)**

A historic photo dated c.1910 shows the Henry Shook house in its current location, just north of the railway crossing on Clarkson Road North. This is confirmed by the 1911 Fire Insurance Plan that shows the farmhouse in its present location without the later additions. Therefore, it seems that it may have been relocated from the southwest corner of Lot 28 to 1141 Clarkson Road North in the early 1900s.



c.1910 HISTORIC PHOTOS [Mississauga Library System]



1911 FIRE INSURANCE PLAN

The only surviving historic photos of the Henry Shook Clarkson House are from the early 20th century. They show a modest Gothic Revival style cottage with brick chimneys and decorative bargeboards in the gables. The cottage appears to be rotated 45 degrees, with the narrow side elevation facing Clarkson Road North and the front three bay façade with centre gable facing the railway line. The more typical orientation of this type of house form is for the longer elevation with the centre gable to face the road and the front entrance to be located under the front gable. The two end wall chimneys are visible in the c.1910 photo and it is unusual to have a front entrance in an end wall. The French windows that appear only on the west elevation are further evidence that the west elevation was modified to reorient the house toward Clarkson Road.



GOTHIC REVIVAL STYLE COTTAGE – a popular style for rural residences in Ontario from the 1850s-70s [*The Canadian Farmer*, 1865] – 3 bays by 2 bays wide, with the front entrance on the long elevation below the gable and chimneys on the end walls

Walter Edwin Paisley

In 1936, Walter Paisley purchased the subject property from the Clarkson family and retained ownership until 1960. Paisley was a councilor in Toronto Township in the 1950s and involved in the federal Liberal Party.

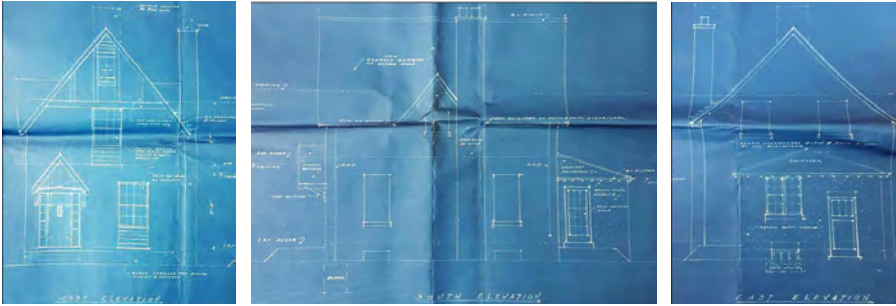
In the same year that he purchased the house, Paisley retained Toronto architect Eric W. Hounsom to make alterations. There are three blueprints in the City of Toronto Archives for changes to the west, south and east elevations. The changes to the west elevation include removal of the Gothic bargeboard, installation of half-timbering in the gable, and installation of medieval style projecting roof over the main entrance. None of these Tudor Revival details have survived. The French windows on the west elevation were altered to match the 6 over 6 sash on the west elevation. The west chimney was removed and a new chimney was built on the south elevation that overlaps the edge of the centre gable. A one-storey addition with a hipped roof was built at the rear. This addition remains but the roof has been altered to accommodate a roof deck. There is no blueprint for the north elevation where there is now a large addition. It is presumed that this addition and the sunporch were also designed by Eric Hounsom but may have been built later. Aerial photos from 1954 show the footprint of the house as it appears today, confirming that this change was made during Walter Paisley's ownership. A synthetic stucco was applied over the exterior at this time to give the old cottage and the new Arts & Crafts style additions a cohesive finish.



1937-39 HISTORIC PHOTO [MISSISSAUGA MUSEUMS] – the house after renovations were done with Tudor details including half timbering in the gable and a one-storey addition at the back – these alterations are consistent with the Hounsom blueprints – the two-storey addition on the north side has not been built yet

Eric W. Hounsom (1904-1974)

Eric Wilfred Hounsom was a Toronto architect active from 1929-69. He is primarily known for his work with Kaplan & Sprachman, an architectural firm that specialized in theatre design, where he assisted with the design and construction of over 60 theatres across Canada between 1934 and 1953. After a brief partnership with another architect, he joined the provincial Department of Public Works as supervising architect and held that role until his retirement in 1969.



1936 ERIC HOUNSOM – three blueprints thought to be associated with alterations made for Walter Paisley in the late 1930s for the west (front), south and east elevations [City of Toronto Archives]

Subsequent Ownership

The surrounding area changed dramatically in the post-WWII era. Aerial photos from the 1950s and 60s show the transformation of land uses around the subject property. Farmland around the house still visible until 1966, was gradually subdivided and built on. In the 1980s a residential subdivision was built behind the subject property and a St. Christopher's Church and school were built to the north.



WALTER PAISLEY HOUSE – the Henry Shook Clarkson house after major remodeling and additions were made for Walter Paisley in the 1930s [Heritage Mississauga]

After 1960, the subject dwelling was converted for various non-residential uses including a retail store, accounting office and a spa. It is currently being used as a private day school by a religious organization.



CURRENT CONTEXT – post office to the left and vacant heritage buildings to the right

6.0 HERITAGE VALUE

The subject building is known as the Clarkson-Paisley House. It was originally built c.1860 as a vernacular Gothic Revival farmhouse and extensively altered and enlarged in the late 1930s in an Arts & Crafts style.

- It has historical value due to its associations with Henry Shook Clarkson (1834-1901) who was the son of early settler Warren Clarkson, for whom the village of Clarkson is named. Henry managed the Clarkson family's orchards located on the east side of Clarkson Road North, in Lot 28.
- It has contextual value because it contributes to an understanding of Clarkson's transition from farmland to suburban neighbourhood, as an example of a c.1860 farmhouse that was renovated and enlarged in the late 1930s.

Evaluation According to Ontario Regulation 09/06

CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
1. Design of physical value:		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	It is an example of a c.1860 Gothic Revival style farmhouse that was extensively renovated and enlarged in the late 1930s in an Arts & Crafts style.
ii) Displays a high degree of craftsmanship or artistic merit	NO	It displays a moderate degree of craftsmanship and artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement	NO	It is a 2.5-storey frame dwelling built using conventional methods and materials.
2. Historical or associative value		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	<u>YES</u>	It is associated with Henry Shook Clarkson (1834-1901) who was the son of Warren Clarkson, after whom Clarkson is named. Henry managed the Clarkson family's orchards on the east side of Clarkson Road North, in Lot 28.
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	NO	It does not have potential to yield further understanding.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	NO	Additions and alterations made c.1937 have been attributed to Eric Hounsom (1904-1974), a Toronto architect who is primarily significant as a theatre designer. It is not considered to be

		representative of his work because it is a renovation of an existing dwelling rather than a stand-alone design.
3. Contextual Value		
i) Is important in defining, maintaining, or supporting the character of an area	NO	The character of the area contains a mix of residential and institutional uses and appears to be in a state of transition. There are vacant heritage properties across the street and there is new development occurring south of the railway line.
ii) Is physically, functionally, visually, or historically linked to its surroundings	<u>YES</u>	It is historically linked to a cluster of 19 th and early 20 th century buildings associated with the Clarkson family on Clarkson Road North. The cluster includes the Clarkson General Store (#1130-32), the William Clarkson House (#1140), the Edith Clarkson House (#1160).
iii) Is a landmark	NO	It has not been identified as a landmark. It is not included on the <i>Heritage Tour of Clarkson</i> published by Heritage Mississauga.

Evaluation summary:

the subject building meets 2 criteria and has local historical and contextual value to the community of Clarkson.

7.0 PROPOSED DEVELOPMENT

The applicant proposes to demolish the Clarkson-Paisley House and redevelop the site with a low-rise mixed-used development that includes commercial space at ground level, with residential units above. The site is zoned C-4, so the proposed development is permitted under the current zoning.



PROPOSED SITE PLAN

[VGA van Groll & Associates Inc.]

The preliminary development proposal has been revised based on input from heritage staff, the heritage committee, and the heritage consultant to better fit within the historic context of the area and to commemorate the historical and contextual values associated with the Clarkson-Paisley House and adjacent built heritage resources.



PRELIMINARY PROPOSAL

[VGA van Groll & Associates Inc.]



VISIONING EXERCISE

The massing of the proposed development has been re-configured as a U-shaped structure with the larger 3-storey massing located at the rear of the site stepping down to 2-storeys at the front of the site to maintain a pedestrian-scaled architecture on Clarkson Road North. Parking is provided at the rear of the development. There are 17 parking spaces, including 2 accessible spaces for the commercial units at ground level. An underground parking garage will be constructed to provide 34 parking spaces and tenant storage spaces for the residential units.



PROPOSED DEVELOPMENT – village character & commemorative courtyard [VGA van Groll & Associates Inc.]

The proposed development is built around a courtyard that is open to Clarkson Road North. The arms that extend towards Clarkson Road North are 2-storeys in height and have architectural detailing on three elevations because they will be visible from Clarkson Road North, the proposed courtyard, the railway crossing to the south, and Oak Tree Park to the North.



PROPOSED DEVELOPMENT – entrance from Clarkson Road North [VGA van Groll & Associates Inc.]

The intention is to reflect the scale, massing, materials, and design elements associated with the Clarkson-Paisley House and to maintain an intimate pedestrian scale along Clarkson Road North in order to strengthen the village character. The proposed cladding materials are wood clapboard and red brick in reference to the historic buildings of Clarkson and to break up the massing of the proposed building. The proposed layout will enhance pedestrian connections on the north side of Clarkson Road North, where currently there is no sidewalk. A new sidewalk and street trees are proposed that will animate this side of the street and make Oak Tree Park more accessible.

In addition to the design measures that reference the heritage building and the historic village context, the internal courtyard has been conceived as a publicly accessible outdoor space. Four ornamental fruit trees will be planted in this area to commemorate the former orchards associated with the Henry Shook Clarkson farmhouse, and more generally to commemorate the significance of Clarkson as an important commercial fruit growing area in the 19th and early 20th centuries.



CLARKSON'S AGRICULTURAL HERITAGE – commercial fruit growing - apple & pear orchards



1954 AEIRAL PHOTO – large orchard behind the subject property

The revised proposal takes a commemorative approach to convey stories and themes associated with the historic place. The themes and approaches are outlined in further detail in Appendix E: Interpretation Strategy.

8.0 HERITAGE IMPACT ASSESSMENT

Consideration of Alternative Development Options

Retention or Partial Retention in Situ

The heritage building is situated in the centre of the lot and the lot is not large enough to accommodate development beside or behind the house.

- Therefore, retention or partial retention *in situ* is not feasible.

Relocation within the Site

The owner has explored the possibility of relocating the heritage building within the site and integrating it into the development, at the request of the heritage committee. He met with Laurie McCulloch Movers and obtained a quote for relocating the building. The cost was estimated to be approximately \$425,000, based on a single move to a permanent foundation. This does not include the cost of constructing a new foundation for the heritage building or the cost of alterations required to integrate it into the new development and renovate it for commercial use. The owner has been advised by the building mover that relocation is complicated due to the age of the original farmhouse and the fact that it was extensively modified in the 1930s. The owner has also been advised that the house would not meet the building code for commercial use because it still contains some old knob-and-tube wiring and the staircase is narrow and has uneven risers. There is no air-conditioning and the interior has small rooms separated by loadbearing walls. It would therefore require significant renovations to make it suitable for commercial use within the development.

- Therefore, it is understood that the cost of relocating and renovating the heritage building is prohibitive for a low-rise development on a small site.

Furthermore, since excavation for an underground parking garage is being proposed, the heritage building would have to be moved twice. It would first have to be moved to a temporary location so that site excavation and foundation work could occur. In order to facilitate relocation, services to the house would be disconnected and the house would remain vacant and sitting on temporary piles until it could be moved to a permanent foundation.

- Therefore, it is understood that relocation is not desirable because the heritage building would be vacant and boarded up for a considerable amount of time and would be an eyesore in an established residential neighbourhood.

Relocation Off Site

Relocation to another site is not feasible because there is no other location available.

- Therefore, relocation to another site is not an option.

Proposed Mitigation Strategies

The revised development proposal has employed design measures to mitigate heritage impacts in the following ways:

- the proposed layout is complimentary to the scale and character of the historic village context and onsite parking that will not be visible from the street has been provided
- the architectural design and cladding materials reference the architecture of the Walter-Paisley House and adjacent built heritage resources
- the development includes a publicly accessible courtyard space that is open to Clarkson Road North and contains seating and ornamental fruit trees to commemorate the former orchards maintained by Henry Shook Clarkson, and the importance of Clarkson as a commercial fruit growing area in the 19th and early 20th century

The revised development proposal provides community benefits that will enhance the historic character of Clarkson in the following ways:

- the development includes landscaping and pedestrian enhancements along the Clarkson Road frontage, including a new sidewalk and pedestrian paths into the site
- the development will reintroduce commercial activities to Clarkson and may be a stimulus for redevelopment of the vacant heritage buildings located across the street.
- the development includes a sidewalk on Clarkson Road North that will provide safe pedestrian access to Oak Tree Park so that people will be able to read the commemorative markers that are installed there

9.0 CONCLUSIONS & RECOMMENDATIONS

The proposed demolition of the Clarkson-Paisley House will result in the loss of a built heritage resource that has historical and contextual significance to the local community, due to the following:

- it has historical value due to its associations with Henry Shook Clarkson (1834-1901) who was the son of early settler Warren Clarkson, for whom the village of Clarkson is named. Henry managed the Clarkson family's orchards located on the east side of Clarkson Road North, in Lot 28.
- It has contextual value because it contributes to an understanding of Clarkson's transition from farmland to suburban neighbourhood as an example of a c.1860 farmhouse that was renovated and enlarged in the late 1930s.

Alternative development options have been explored and are not feasible.

Given that the structure has limited architectural value, the excessive costs associated with moving and rehabilitating it for a new use cannot be justified. It is therefore recommended, that the owner be permitted to demolish the structure to facilitate the proposed redevelopment of

the site in a manner that is compatible with the character of the area. And that the historical and contextual values be commemorated within the new development.

It is recommended that an interpretive feature be installed in the courtyard that communicates the themes that are identified in Appendix E Interpretive Strategy as:

1. the evolution of Clarkson from an agricultural area to a suburban neighbourhood
2. the importance of Clarkson as a major fruit growing area in Ontario in the 19th and early 20th century
3. the contribution of Henry Shook Clarkson and the Clarkson and Shook families to the agricultural and commercial development of Clarkson

The applicant is encouraged to consult with the following stakeholders in developing the interpretive feature:

- City of Mississauga staff
- Heritage Advisory Committee
- Heritage Mississauga

The applicant is encouraged to consult with an Arborist regarding the selection of the commemorative trees and provide guidelines for their care and maintenance.

10.0 SOURCES

Heritage Policy Documents

City of Mississauga, *Heritage Register*. Available online.
 -----, *Mississauga Official Plan* (Oct 2021)
 -----, *Terms of Reference for Heritage Impact Assessments* (June 2017)
 Ministry of Tourism & Culture Ontario, *Ontario Heritage Act* (2005)
 -----, *Ontario Heritage Toolkit* (2006)
 Ministry of Municipal Affairs and Housing Ontario, *Provincial Policy Statement* (2020)
 Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

Previous Heritage Reports

AREA Architects. *Cultural Heritage Impact Assessment; 1130-1140 Clarkson Road North, Mississauga, Ontario*. (March 2021)
 ASI, *Heritage Impact Assessment; 1141 Clarkson Road North, Mississauga, Ontario* (June 2017)

Historical Background

Blumenson, John. *Ontario Architecture; A Guide to Styles and Building Terms 1784 to the Present* (1990)
 Heritage Mississauga, *A Heritage Tour; Clarkson, Strawberry Capital of Ontario* (August 2019)
 Hicks, Kathleen A. *Clarkson and its Many Corners* (2003)
 Hill, Robert. See entry for 'Hounsom, Eric Wilfrid (1904-1974)', *Biographical Dictionary of Architects in Canada 1800-1950*. Available online.
 Mississauga Library System, 'Historic Images Gallery; Clarkson', available online.
 Toronto Archives, *Fonds 1248; Eric Hounsom fonds – Series 1344, File 5; Alteration and addition to residence, Clarkson, Ont., for Mr. Paisley. 1 folder of architectural drawings dated 1936. Drawings by Ernest Steadman.*

11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 10 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION



1.0 WEST ELEVATION - view from Clarkson Road North



2.0 WEST ELEVATION (FRONT) – there is a large lawn in front of the house



3.0 WEST & SOUTH ELEVATIONS - sun porch addition on the front elevation



4.0 SOUTH ELEVATION – original front elevation - later chimney and 1-storey rear addition



5.0 EAST ELEVATION (REAR) – one storey rear addition with roof deck



6.0 EAST ELEVATION (REAR)– T-shaped building form



7.0 REAR YARD & REAR ELEVATION – row of mature pine trees along the edge of the driveway



8.0 DRIVEWAY – view towards Clarkson Road North



9.0 INTERIOR – 1ST FLOOR – main staircase – 19th century components with later modifications



10.0 INTERIOR – 1ST FLOOR – view towards the sun porch – 19th century wood trim around the doorway



11.0 INTERIOR – 1ST FLOOR – view through to the sun porch – window on the side elevation - 19th century trim around doorway and window



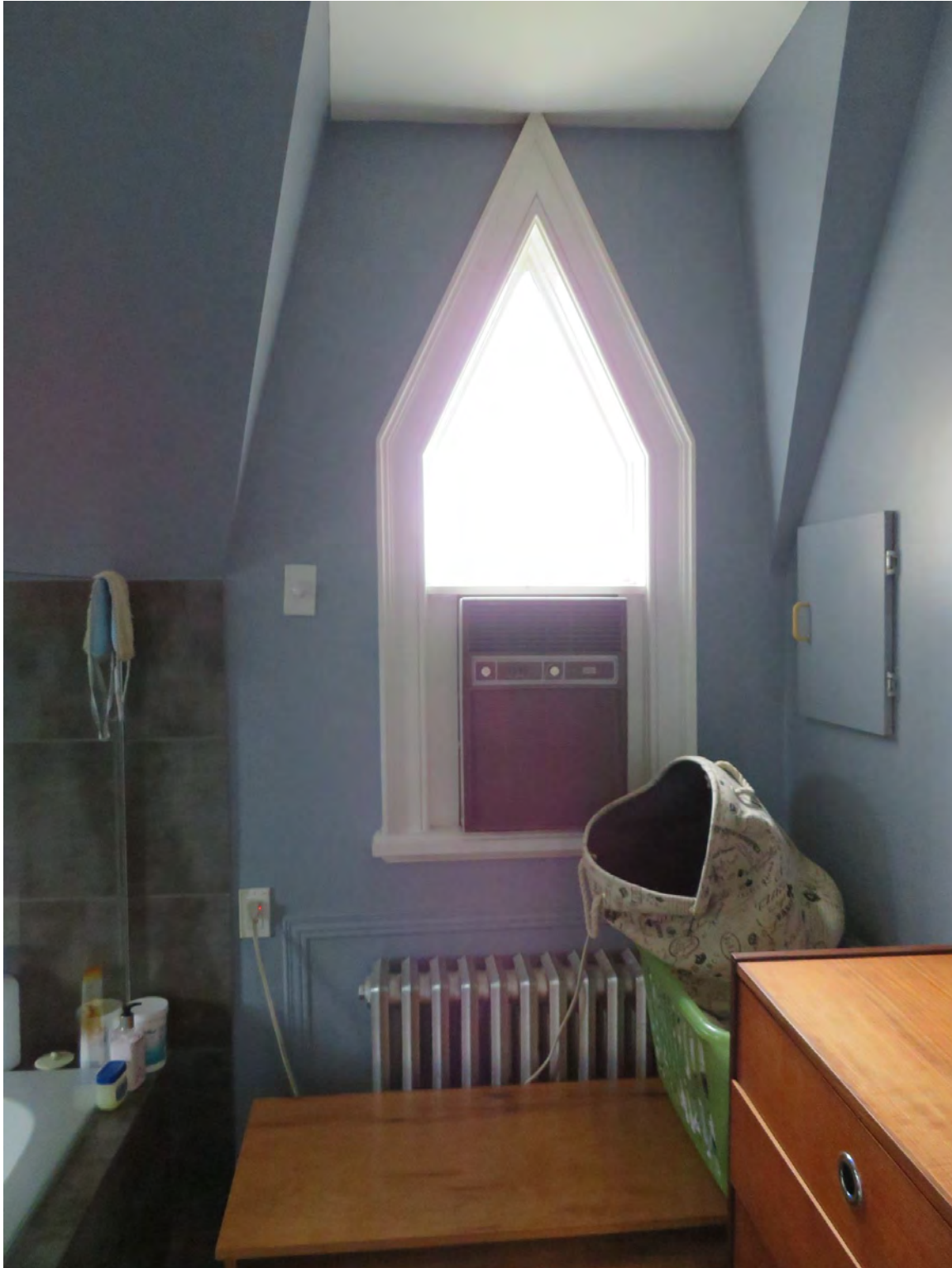
12.0 INTERIOR – 1ST FLOOR – FIREPLACE 1 – 19th century stone fireplace surround with a Greek Revival design



13.0 INTERIOR – 1ST FLOOR – FIREPLACE 2 - 19th century stone fireplace surround with a Greek Revival design



14.0 INTERIOR – STAIRCASE TO 2ND FLOOR – 19th century baseboard – later modifications



15.0 INTERIOR – 2ND FLOOR BATHROOM – 19th century Gothic window on the side elevation (original front elevation)

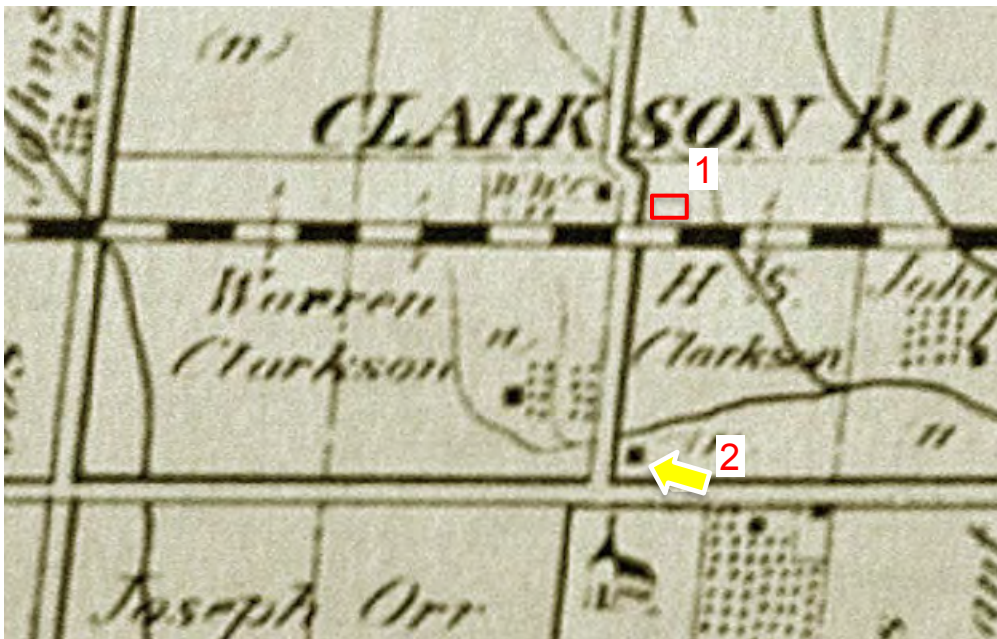


16.0 INTERIOR – 3RD FLOOR – the attic space has been converted to a Chapel

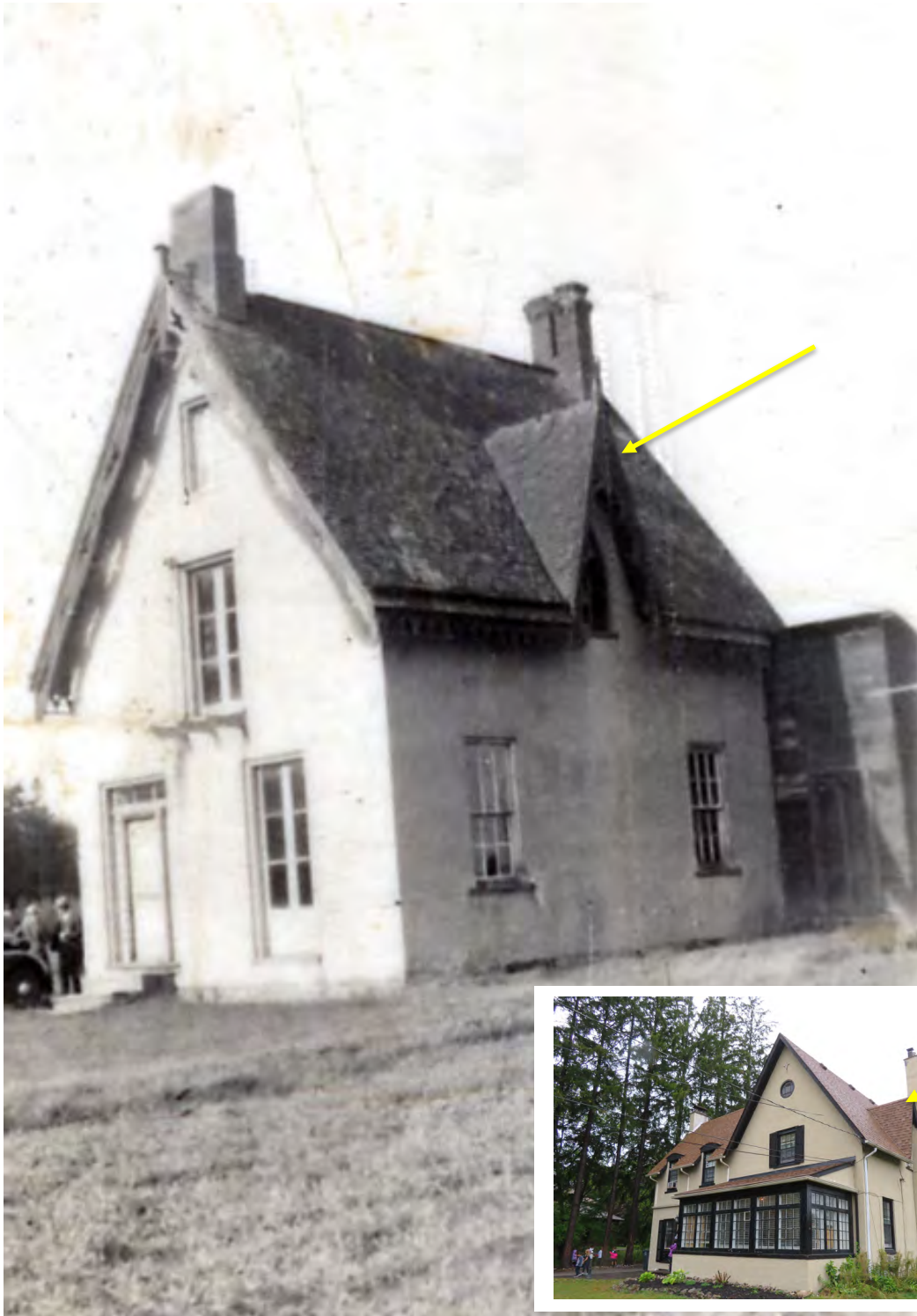
APPENDIX B: HISTORIC DOCUMENTATION



1859 TREMAINE MAP – at this time the land is owned by WARREN CLARKSON and there are no buildings in the location of the subject building



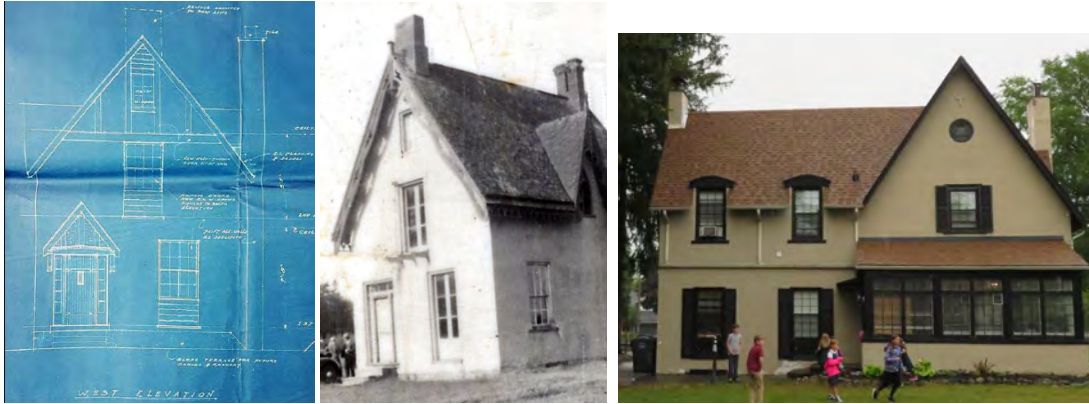
1877 COUNTY ATLAS – at this time the land is owned by HENRY SHOOK CLARKSON – 1. there are still no buildings in the location of the subject building – 2. the only building on the parcel belonging to HENRY SHOOK CLARKSON is a dwelling located in the southwest corner of the lot – it is possible that this house was relocated to Clarkson's corners



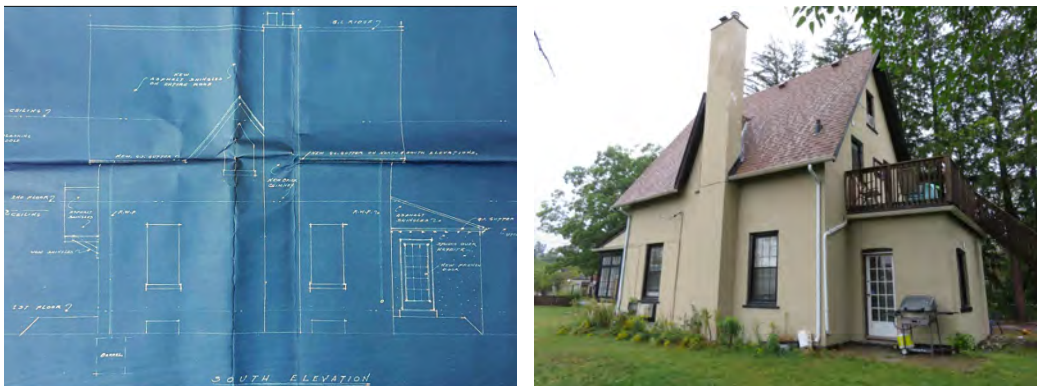
c.1860 PHOTO – identified as the HENRY SHOOK CLARKSON house on Lot 28, Conc. 2 SDS. This corresponds to the building footprint recorded in the 1936 FIRE INSURANCE PLAN – the stylistic differences between the two elevations suggests that the elevation facing Clarkson Road was modified. [HERITAGE MISSISSAUGA] – inset photo of the subject property

CLARKSON'S CORNERS:

- 1141 Clarkson Road North, MISSISSAUGA



WEST ELEVATION – the current conditions do not reflect the original c.1860 design or the 1936 alterations – the large addition on the north side, the sun porch and the round window in the gable are later alterations



SOUTH ELEVATION – the south elevation corresponds to the 1936 blueprints – the chimney added at this time clips the side of the gable



EAST ELEVATION – the 1936 rear addition corresponds to the 1936 blueprints but it now has a roof deck instead of a hipped roof – the large addition on the north side is a later alteration

1936 ARCHITECTURAL BLUEPRINTS – alterations and 1-storey rear addition for Walter Paisley – drawings by Ernest Steadman, a draftsman in the office of Eric Hounsom [City of Toronto Archives: Eric Hounsom fonds]



UNDATED PHOTOGRAPH – taken after additions and alterations were made by WALTER EDWIN PAISLEY – the house is now referred to locally as the CLARKSON-PAISLEY HOUSE [Mississauga Library System]



1980 PHOTO – CLARKSON-PAISLEY HOUSE – at this time it contains the offices of Withey & Addison Management Consultants [Mississauga Library System]



1989 PHOTO – CLARKSON-PAISLEY HOUSE – at this time it contains the offices of Withey & Addison Management Consultants [Mississauga Library System]



1989 PHOTO – CLARKSON-PAISLEY HOUSE – at this time it contains the offices of Withey & Addison Management Consultants [Mississauga Library System]

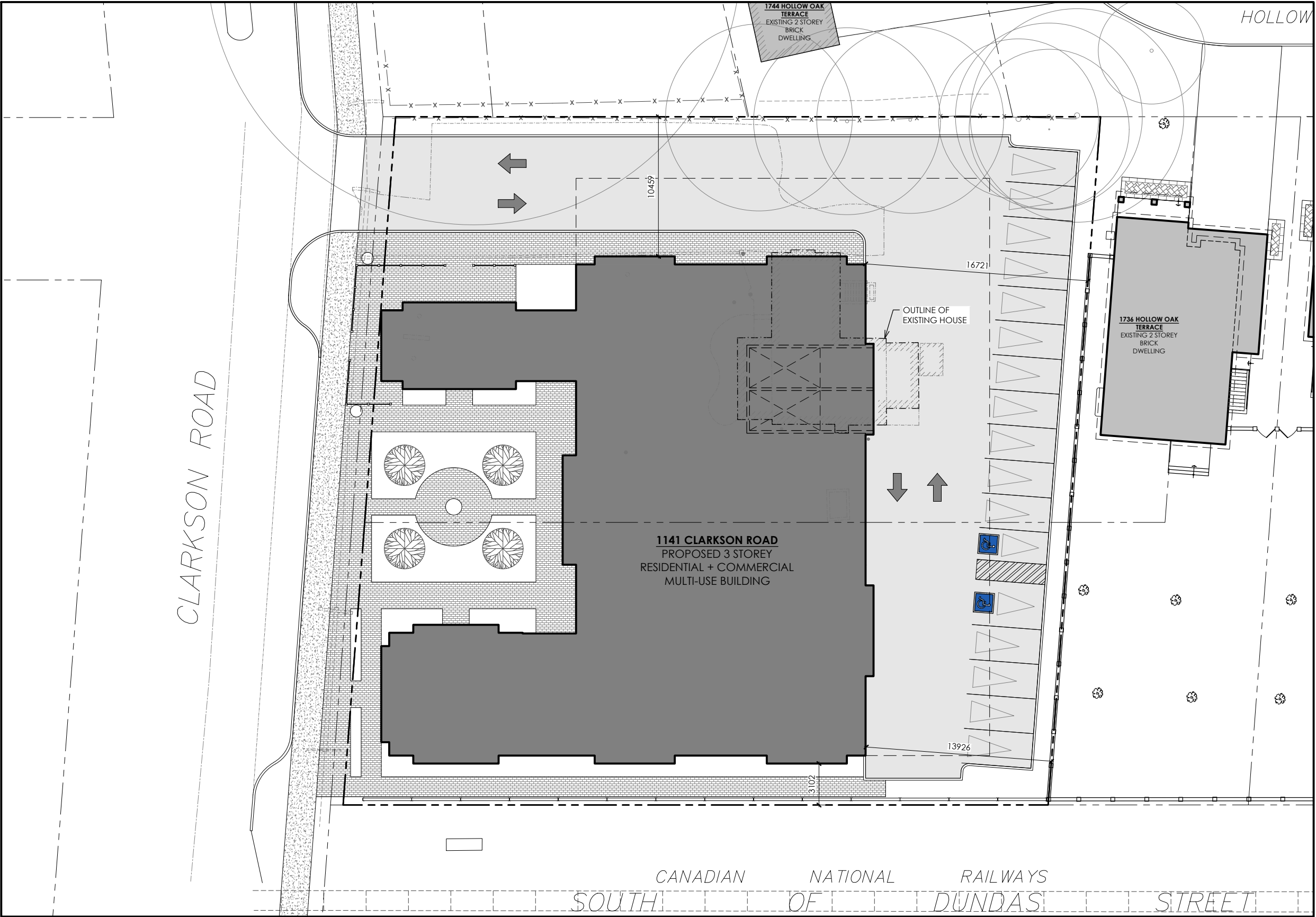
Identifier: **J782**[View full size image](#)

Clarkson Paisley House, Clarkson

Subject	Historic buildings - Ontario - Clarkson (Mississauga)
Image type	Slide
Date of Resource	1980
Date Built	1890
Location	1141 Clarkson Road North
Agency	Mississauga Library System
Keywords	historic buildings, walter edwin paisley, henry clarkson, eric hounsom, withey, addison, clarkson, mississa
Conditions of Use	Terms of Use & Privacy Statement

1141 Clarkson Road North. Conc 2 SDS, pt. Lot 28. A small portion of this house is presumed to have been built by Henry Clarkson. In 1936 Walter Edwin Paisley commissioned a major alteration and expansion. His architect was Eric W. Hounsom, known for the Art Deco University Theatre on Bloor Street, Toronto. Paisley was Toronto Township Ward 2 Councillor in 1953 and 1954. This is a two-and-a-half storey residential structure, later used as a commercial building. At the time this picture was taken in 1980, it was the offices of Withey and Addison Management Consultants. The building is listed on the Heritage Register. Description as of July 2011.

SITE PLAN STATISTICS	
LOT AREA	2,724m²
BUILDING GFA	
BASEMENT LEVEL	1,580m²
GROUND LEVEL	1,054m²
SECOND LEVEL	1,054m²
THIRD LEVEL	825m²
TOTAL GFA	4,513m²
USE MIX	
LEVEL	USES INCLUDED
PARKING LEVEL	34 PARKING SPACES + TENANT STORAGE
GROUND LEVEL	17 PARKING SPACES + COMMERCIAL SPACE + OFFICE SPACE + LANDLORD STORAGE + COMMON SPACES
SECOND LEVEL	7 RESIDENTIAL UNITS + OFFICE SPACES
THIRD LEVEL	7 RESIDENTIAL UNITS + OFFICE SPACE



22.09.20

1141 CLARKSON ROAD
REDEVELOPMENT SITE PLAN







APPENDIX E: INTERPRETIVE STRATEGY

THEMES:

1. the evolution of Clarkson from an agricultural area to a suburban neighbourhood
2. the importance of Clarkson as a major fruit growing area in Ontario in the 19th and early 20th century
3. the contribution of Henry Shook Clarkson and the Clarkson and Shook families to the agricultural and commercial development of Clarkson



1141 CLARKSON ROAD NORTH

[K. HICKS]

Henry Shook Clarkson house and orchards, c. 1920



1101 CLARKSON ROAD NORTH

[CLARKSON AT THE CROSSROADS]

Clarkson Co-Operative Cold Storage Facility (1948) and James Pengilley's orchards.

James Pengilley had purchased 22 acres from the Mildred Mitchell estate in 1937, Lot 28, Con 2, south of the railway tracks, east side of Clarkson Road North. Mildred Mitchell had inherited the property from her father Henry Shook Clarkson (1834-1901)



SHOOK FAMILY PICNIC, 1897

[K. HICKS]

Robert SHOOK was President of the Clarkson-Dixie Fruit Growers Association at the time of his death in 1929. Henry Shook CLARKSON'S was related to the Shook family through his mother and was named after his grandfather Henry SHOOK. Like the Clarksons, the Shooks were early settlers and commercial fruit growers.



CLARKSON'S CORNERS. c.1900

[MISSISSAUGA LIBRARY]

The area is named after Warren CLARKSON who established the first grocery store and post office and owned farmland on both sides of Clarkson Road North, much of it in orchards



CLARKSON STATION, c.1900

[MISSISSAUGA LIBRARY]

Warren CLARKSON was instrumental in bringing the railway that would support the growth of the commercial fruit growing industry in Clarkson. The station was called Clarkson's station and later shortened to Clarkson. By 1900, there was two-track operation and in 1906 a Class I fruit platform was added to accommodate the expanding fruit business. In 1948 a large Co-operative Cold Storage Facility was built south of the tracks on the former Clarkson orchards by the Clarkson-Dixie Fruit Growers' Association.

TORONTO DAILY STAR, THURSDAY, NOVEMBER 25, 1937

LOBLAW Markets

Ontario APPLE Week at Loblaws

Ontario has produced an abundant crop of FINE Quality Eating and Cooking Apples. Our buyers, after carefully scrutinizing the Clarkson and Burlington districts, offer this week a choice selection from the orchards of James Pengilly, Jr., and Fred Bell & Sons.

Blenheim Orange Apples 6-qt. Basket 23c <small>For Cooking and Eating</small>	McIntosh Red Apples 6-qt. Basket 29c <small>Excellent for Eating and Cooking</small>
Greening Apples 6-qt. Basket 23c <small>The Finest Cooking Apple</small>	Baxter Apples 4-lb. 15c <small>Excellent for Baking and Cooking</small>

The farmers of Clarkson were celebrities in Toronto, famous for the freshness and quality of their market fruits and vegetables.

1937 ADVERTISEMENT

[CLARKSON AT THE CROSSROADS]

James Pengilly had purchased 22 acres from the Mildred Mitchell estate in 1937, Lot 28, Con 2, south of the railway tracks, east side of Clarkson Road North. Mildred Mitchell had inherited the property from her father Henry Shook Clarkson (1834-1901). There are four varieties listed; Blenheim Orange, McIntosh Red, Greening & Baxter.



CLARKSON PAISLEY HOUSE

Walter Edwin PAISLEY purchases the old Henry Shook CLARKSON farmhouse and extensively alters and enlarges it. Paisley was a Toronto businessman who purchased the property as a retreat from city life. He served as a local councillor for Toronto Township in 1953. He engaged Toronto architect Eric Hounsom to design a large addition and update the farmhouse in an Arts & Crafts style.



ORNAMENTAL CRABAPPLE – proposed planting of 4 commemorative trees in the courtyard

Ornamental crabapples are attractive and hardy trees suitable for urban settings. The 'crabapple' is a member of the 'malus' or apple family and was often grown alongside other domesticated orchard apples in Ontario.



RENDERING OF THE PROPOSED MEMORIAL COURTYARD

The courtyard will be planted with 4 ornamental fruit trees and an interpretive feature will be installed at the centre of the courtyard.

CHRONOLOGY

DATE	EVENT
1816	Warren CLARKSON marries Susan SHOOK, daughter of Henry SHOOK
1819	Warren CLARKSON purchases the south portion of Lots 29 & 30, Con 2 and built a 4-room timber frame house on a stone foundation. It was replaced by a larger house completed in 1825.
1835	Birth of Warren & Susan CLARKSON'S second son: Henry Shook CLARKSON (named after his maternal grandfather)
1835	Warren CLARKSON establishes CLARKSON'S GROCERY STORE
1835	Warren CLARKSON purchases 50 acres in Lot 28, Con 2 from Edgar NEAVE
1855	GREAT WESTERN RAILWAY line is completed and CLARKSON'S STATION is built
1856	Warren CLARKSON transfers his 50 acres in Lot 28, Con 2 to his son Henry S.
1856-60	Henry Shook CLARKSON is working in the US as a surveyor-foreman for the railroad
1860	Henry Shook CLARKSON returns to help run the family's grocery store & farm in Clarkson. It is believed that he built the house that is now known as the Clarkson Paisley House located at 1141 Clarkson Road North at this time.
1882	Death of Warren CLARKSON. William takes over the store and runs the farm on the west side of Clarkson Road. Henry Shook CLARKSON remains on the east acreage and runs the farm in Lot 30. Upon their deaths, their children inherited their properties and parts are sold off in the next few decades.
1900	Two-track operation begins on the railway line through Clarkson.
1901	Death of Henry Shook CLARKSON. Survived by his daughter Mildred (Mrs. Phillip Mitchell)
1906	A 155-m Class 1 fruit platform is added in 1906 to accommodate the expanding soft fruit business in Clarkson
1936	James PENGILLY purchases 22 acres from the Mildred (CLARKSON) Mitchell estate in Lot 28, Con 2, south of the railway tracks, east of Clarkson Road North.
1937	Walter PAISLEY purchases the Henry Shook CLARKSON house and renovates and enlarges it. It is believed that Toronto architect Eric HOUNSOM designed the Arts & Crafts style renovations.
1947	James PENGILLEY sells property for a Co-Operative Fruit Storage Facility that is completed in 1948.

Sources: *Clarkson and its Many Corners* by Kathleen A. Hicks
Clarkson at the Crossroads