



HERITAGE IMPACT ASSESSMENT

PROPOSAL for REMOVAL of an OUTBUILDING at  
**6545 CREDITVIEW ROAD**  
MISSISSAUGA, ONTARIO

**SM  
DA**

design + architecture



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## 1.0 PROPERTY INFORMATION

### 1.1 General Property Information

#### Name(s)

- 1.11: Historic Place Name  
Pearson-Harris Farm

#### Recognition

- 1.21: Authority  
City of Mississauga  
1.22: Inventory Number  
119

#### Location

- 1.31: Address  
6545 Creditview Road  
1.32: Postal Code  
L5N 8L1  
1.33: Lower Tier  
City of Mississauga

#### Coordinates of outbuilding proposed for demolition

- 1.41: Latitude  
43° 36' 37.3" north  
1.42: Longitude  
79° 43' 20.3" west

#### Boundaries

- 1.51: Lot  
Concession 3 WHS  
western three-fourths of Lot 8  
1.52: Property Area  
538,534 square metres

#### Zoning Bylaw(s)

- 1.61: Zoning  
G1 (greenlands - natural hazards)  
G2 (greenlands - natural features)  
OS2-16 (greenhouse, including accessory sales)  
H-OS2-17 (slope stability and erosion analysis provision)  
1.62: Status  
listed on the heritage register, but not designated  
1.63: Bylaw  
BL-0151/2020

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## 2.0 GENERAL INFORMATION

### 2.1 Detailed site history

#### 2.1.1 list of owners from the Land Registry Office

- Mississauga nation; ~1700
- acknowledgement of indigenous ownership; October 7, 1763
- British Crown; October 28, 1818
- Thomas Kennedy; June 25, 1821 (west half of Conc. III, Lot 8)
- William Perkins; December 10, 1821 (east half Conc III, Lot 8)
- James Pearson; April 8, 1847 (consolidation of both halves of Lot 8)
  - Robert Ramsey; November 26, 1865
- Samuel J. Pearson; March 5, 1873
  - William P. Fraser, et ux; February 3, 1912
  - Toronto Suburban Railway; October 23, 1913
  - James D. Steen; March 25, 1914
- Joseph B. Pearson; June 15, 1914
  - Hydro Electric Power Commission of Ontario; January 18, 1932
- David Wagstaff Harris and Roberta I. Harris (née, Ritchie); May 20, 1946
  - Ontario Department of Highways; January 17, 1956
- David John Darwent Harris, August 21, 1990
- City of Mississauga; August 5, 2009

#### 2.1.2 relevant information regarding associated individuals

##### Haudenosaunee Settlement

Tradition passed down through the generations state that the Haudenosaunee were the first to occupy the area that is now the City of Mississauga. The Haudenosaunee had no written language and, as a result left no documentation of their time here, but there is archaeological evidence that one or more communities associated with the Haudenosaunee people hunted, and possibly had small villages, in the area along the west shore of Lake Ontario and the rivers that flowed into it, including the Credit River.

##### Mississauga Nation

The Haudenosaunee appear to have moved out of this area in the early 1700s, either as a matter of natural migration, or by being forced out by Anishinabe people who moved into this area from northern Ontario.

French explorer Louis Armand Baron de Lahontan wrote in his diary of meeting indigenous people he referred to as the “Mississauge”.

In 1763, at the end of the of the Seven Years’ War, the British took possession of French territory in Canada. King George III issued a proclamation that declared the indigenous inhabitants as rightful owners of North America. The proclamation set forth conditions for the purchase of lands from representatives of the corresponding

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indigenous nations by the British crown. (Paragraphs 13 to 18 of this Royal Proclamation became Section 25 of Canada's Constitution Act of 1982, which now protects the land rights of Canada's first nations.

At a conference held in 1764 at Fort Niagara between representatives of the Crown and councilors of 22 indigenous nations, the Mississauga nation was acknowledged as the rightful owners of the land along the western shore of Lake Ontario, including the land that is now the City of Mississauga.

#### **British Crown**

In October 1818, representatives of the Mississauga nation signed Treaty 19 with William Claus (representative for King George III) to surrender their land from what is now Eglinton Avenue northward to the north boundary of present-day Peel Region. The subject property of this Heritage Impact Assessment is part of this land transfer.

From February to April 1819, Richard Bristol surveyed the southern part of the Treaty 19 surrender into lots and concessions for settlement. At this time the subject property became part of Concession III WHS (west of Hurontario Street), Lot 8.

#### **Thomas Kennedy and William Perkins**

About a year after the Treaty 19 lands were surveyed, settler Thomas Kennedy purchased the western half (~40.5 hectares) of Lot 8 of the 3rd Concession west of Hurontario Street, followed soon after by William Perkins who purchased the eastern half of Lot 8. It is not certain if Perkins settled his lot. (The nominal increase in the value of Perkins' land when he sold it in 1847 suggests that he had not improved the lot. Kennedy's portion of Lot 8 had increased in value when he sold, indicating that he was farming the land and had likely built a modest home.) If Kennedy's early years as a subsistence farmer follows the pattern of most early settlers in Mississauga at the time, he probably started out in a log cabin. In the following 26 years Kennedy likely expanded that first home – building a larger wood-frame home, and converting the first log cabin into an outbuilding or a summer kitchen annex to the newer home. Kennedy's farm would likely have expanded from subsistence farming to commercial crop farming between 1821 and 1847.

#### **James Pearson**

James Pearson purchased both halves of Lot 8 in 1847, consolidating them into one ~81 hectare farm. The simultaneous purchase of both lots by Pearson is a further indication that Perkins had never improved his farm. It would be a considerable coincidence for two neighbouring, unrelated farmers to both sell their farms at the same time. Based on the fact that Pearson purchased the Kennedy farm from Thomas' son, James, it is likely that the elder Kennedy had died or had for some other reason chosen to end farming his lot. So, while purchasing the Kennedy farm, Pearson arranged to purchase the vacant Perkins lot at the same time. Perkins, like many absentee owners, was likely holding his land while awaiting a buyer.

The Pearson family farmed Lot 8 for the next 99 years, although James did sell sections of his farm. The current property, consisting mostly of the former Kennedy

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farm and the western half of the easterly Perkins property, is ~53.9 hectares. The remaining ~27.0 hectares of Conc. III WHS, Lot 8 was sold in stages.

### **Selling Portions of the Farm**

The current property is smaller than the former Pearson farm. James Pearson sold the southeasternmost ~10 hectares to Robert Ramsay in 1865. James' son, Samuel inherited the Pearson farm in 1873 and retained it as is until February 1912 when the farm was leased to William P. Fraser, who was an investor with the Toronto Suburban Railway and part owner of the construction company formed by the TSR to build its electric railway line through Mississauga, from Toronto to Guelph. Once the surveyors for the Suburban Construction Company confirmed the alignment of the right-of-way of the electric railway through the Pearson farm (and other neighbouring farms through which the TSR was to build its line) the portion of the farm west of the TSR right-of-way was leased back to Samuel Pearson. Since the embankment for the railway line prevented Pearson's farm equipment from reaching the portion of the farm east of the line, Fraser retained this eastern portion. The farm west of the right-of-way remained with Pearson. As a result, the eastern boundary of the subject property today is the right of way of the former TSR line. The embankment that the TSR required through the Pearson farm (to achieve a level profile for the tracks) remains today, and is the easterly G2-zoned land. See image 1.2k.

One last portion of the farm was sold was sold by James. In 1914, he sold the southwesternmost ~10 hectares of his farm to David Steen. The Steen family owned the lot due south of the Pearson farm. Steen Drive is the main road through the current residential development on this portion of the former Pearson farm.

### **Minor Land Sales and Easements**

Three months after the Steen sale, the Pearson farm was granted to Samuel's son, Joseph B. Pearson. With the exception of a few easements and small land transfers (listed following), the current subject property is the ~53.9 hectare farm inherited by Joseph Pearson.

When the Toronto Suburban Railway ended service in 1931, the Hydro Electric Power Commission acquired its right-of-way and purchased additional land from Joseph Pearson to widen the corridor for a 13.2 kV electric transmission line.

### **David and Roberta Harris**

After 99 years, the subject property was sold by the grandson of James Pearson to David Harris in 1946. His family managed the farm for the next 63 years. The northeasternmost ~1.7 hectares of the Harris farm was sold to the Ontario Department of Highways in 1956 for construction of Highway 401. Before Highway 401, all other King's Highways in Ontario followed the alignment of an existing concession road. The 401 was the first highway in Ontario to be surveyed new, with alignment based on driving safety conditions and ease of construction. The angled lot line at the northeast corner of the current subject property is a result of these new highway standards.



### City of Mississauga

The subject property was inherited in 1990 by David W. Harris' son, David J.D. Harris. The use of the property as a commercial farm ended during the younger Harris' tenure. Various lessees over the next 19 years presented applications to the City for development of the former farm, ranging from commercial/industrial uses (Fitzwood Development) to a golf course (Creebank Developments), but these developments stalled pending a decision by the City of Mississauga to purchase the Harris Farm for greenland/open space uses. George Carlson (Ward 11 councilor at the time of the City's purchase) commented to the *Mississauga News* in November 2017 that ideas for use of the property ranged from, "leave it completely alone . . . to Disneyland".

The City purchased the subject property in 2009. In 2013, the City adopted the *Credit River Parks Strategy* for management of public lands along the Credit River, including 6545 Creditview Road.

The City has not moved forward substantially on these plans, to date, for public use of the farm but has proceeded with alterations to the property which have included removal of three disused underground fuel tanks.

With this application the City is proposing to remove the abandoned headerhouse/greenhouse building which has become overgrown with brush, and is a potential safety hazard.

### "Valley Home Farm"

Aside from one resource, *Meadowvale: Mills to Millennium*, where author Kathleen Hicks refers to the Pearson farm as "Valley Home Farm", there are no other contemporary directory or newspaper accounts that refer to the Pearson farm by this name. It is possible that the eastern portion of the former Pearson farm (retained by Fraser from 1913 and, as such, not part of the subject property today) was known by this name.

### 2.1.3 Indigenous history, where appropriate

As indicated in Section 2.1.2, it is possible that either, or both Haudenosaunee and Anishinabe people occupied this land or used it in some way as a temporary station for fishing on the Credit River. A detailed archaeological assessment is required to determine the extent of use of the subject property by indigenous inhabitants. The *Credit River Parks Strategy*, approved by the City in 2013, suggested that Harris Farm could be used as public demonstration for "organic farming and public gardens on a property that has a long, rich history of farm use". If the City chooses to proceed in this direction in the future, part of the public property could incorporate an indigenous demonstration farm similar to those developed by residents of the Credit Mission, formerly located where the Mississauga Golf and Country Club is now.

## **2.2 Complete listing and full written description of property**

### **2.2.1 built forms**

Note: This heritage impact assessment is an appendix to a heritage application requesting demolition of an outbuilding at 6545 Creditview Road in Mississauga. No alterations are proposed to other buildings or landscape features on the subject property.

A brief inventory of the buildings at 6545 Creditview Road is included here. Following this, details will be specifically in regard to the headerhouse/greenhouse building that is the subject of the corresponding heritage application.

#### **structures**

Typical of successful commercial farms in Mississauga from the late 19th and early 20th century, the Pearson-Harris farm retains a collection of farm buildings, arrayed in close proximity towards the centre of the property, with a former commercial farm to the east and south, and with a perimeter of woodlot trees which function as a wind barrier and also as a habitat for pollinating insects.

The first residence on this property likely dates back to the early 1820s – soon after the property was purchased by Thomas Kennedy. This home, likely made of logs was replaced by the earliest portion of the current main residence, likely dating to the 1870s. This estimate is based on the building materials (mostly brick, with a stone foundation) and the architectural style. Numerous annexes were added to the 1870s home including a northward extension of the main residence, an eastward extension of the earlier annex, and a long annex extending eastward from the rear of the 1870s main residence. The main residence looks westward towards the Credit River and Creditview Road, although the house is set back about 200 metres east from the river. Two smaller outbuildings are located in close proximity to the rear (east) of the main residence. The headerhouse/greenhouse is located across the laneway from the main residence. This complex of buildings is surrounded by a barrier of deciduous trees.

About 250 metres further east of the main residential complex of buildings and its treed perimeter is a complex of four buildings – one gabled shed, two Quonset sheds and a decommissioned silo. The existing gabled shed appears in the 1954 aerial image, along with a drive shed and barn. The drive shed was demolished between 1980 and 1985, as was the barn (except for its attached silo, which remains). The westerly of the two Quonset sheds was built sometime around 1995, and the second Quonset shed was added in 2004.

A steel truss bridge carries the farm laneway to the farm building complex from Creditview Road. The present bridge is new and recently constructed by the City of Mississauga but is similar in appearance to one previously present on the site that dated to the early 1940s.

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### **Details specific to the subject building structure**

The subject building faces northward toward the complex of residential buildings and outbuildings. This building is about 5.5 metres wide by 15.8 metres in length, with the front of the building facing north. This north facade has a large service door.

The building is divided into two relatively equal halves. The northerly section functions as a headerhouse. Plants that require stringent head and/or humidity conditions (notably nursery plants) are often grown in a greenhouse where temperature and humidity are controlled by a boiler, cooler and/or humidifier. This equipment is installed and monitored from a headerhouse. Heating/cooling pipes extend outward from the headerhouse to the greenhouse or to a greenhouse complex. There is an iron boiler in the headerhouse section of the subject building, with pipes extending southward into the attached greenhouse.

Connected to the headerhouse, the southerly half of the building is the remaining framework of a former greenhouse. An aerial photograph from 1960 indicates that the greenhouse section may have been a smaller segment of a larger greenhouse array located immediately south of the current building. (See image 2.2.3a.)

### **building materials**

The headerhouse is of wood frame construction in a board-and-batten style. The building has a rectangular plan and has an asphalt gable roof. The perimeter of the greenhouse segment is a half-height concrete wall. Extending upward from this wall is the metal framework from which the greenhouse glass was hung. The glass has been removed. Running along the perimeter of the greenhouse (the rear wall and the two side walls), and set about half a metre above the ground, is an array of iron exchanger pipes that drew heat and moisture into or out of the greenhouse area from the headerhouse section of the building.

### **building elements**

The headerhouse has a low concrete foundation, whereas the foundation of the greenhouse extends upward about one metre, with the steel skeleton of the greenhouse rising upward from this foundation. The greenhouse is physically and functionally separate of the headerhouse, but was necessarily attached to the headerhouse (and likely sealed, at an earlier date) to prevent moisture and heat from leaking between the two sections before flowing by convection into the greenhouse. (See images 2.3.2a and 2.3.2b)

### **architectural and interior finishes**

Both parts of the building served as a functional farm outbuilding so there are no notable exterior and interior design finishings. The interior walls of the headerhouse are merely the inward side of the exterior boards. The iron boiler sits atop a concrete slab foundation, as is typical of most headerhouse heating units. Greenhouses are, of course, made predominantly of glass, and since all the panes of this greenhouse have been removed, the remnants of the greenhouse appear more like a steel skeleton in a

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gable style. Some overhead wheels, cranks and chains remain from the time when these would have been used to open and close windows along the upper wall and the roof of the greenhouse to let cool air and rainwater in when desired and to prevent needed heat and moisture from escaping.

#### **natural heritage elements**

Trees have overtaken the greenhouse area. Of course these wouldn't have been there when the building was a functioning greenhouse. The trees are younger than the structure and have grown over the years that the headerhouse/greenhouse has been out of use. Some trees have grown upward and around the exchanger pipes. (See image 2.3.1h.)

#### **landscaping**

The only "landscaping" is inside the greenhouse section of the building, where trees have overtaken the abandoned greenhouse, and have begun to compromise the climate control piping running near to the ground of the greenhouse.

Outside, along the perimeter of the headerhouse/greenhouse it is evident that young, small trees and brush have begun to overtake the greenhouse from the sides and above. Refer to images 2.2.3b to 2.2.3f. In these five images, taken about four years apart in succession, show how the headerhouse/greenhouse building has been engulfed by natural vegetation growth. In the 2006 image, the subject building can clearly be seen. Sixteen years later, the subject building is completely obscured by trees and brush.

#### **archaeological resources**

An archaeological assessment has not been made of the headerhouse/greenhouse, but an assessment would likely yield important information about the history and function of the building.

### **2.2.2 conclusions regarding the significance and heritage attributes**

The Pearson-Harris farm is an important heritage resources in a modern city that has few surviving elements of its agriculture past.

The headerhouse/greenhouse is an important element of the farm because it serves as evidence that the farm families here were successful commercial market farmers. An important factor in the success of a nursery and/or fruit and vegetable farm is proximity to large markets. This made early Mississauga (when it was still mostly farmland) an excellent location for market products, being located so close to Hamilton and Toronto which had few local farms but a huge consumer demand for flowers and fresh fruits and vegetables. The Pearson and Harris families could also take advantage of the electric radial railway that ran along the east end of their farm. Unlike Mississauga's steam railroads (CN and CP, which operated large trains only a few times each day), the Toronto Suburban Railway ran frequent service (at one time, hourly as far as Georgetown) providing farmers along the way with quick, reliable access to their buyers in Toronto.



2.2.3  
Location maps



2.2.3a: greenhouse location, 1960



2.2.3b: greenhouse location, 2006





2.2.3c: greenhouse location, 2010



2.2.3d: greenhouse location, 2014





2.2.3e: greenhouse location, 2018



2.2.3f: greenhouse location, 2022





2.2.3g: 1877 property map (Walker & Miles)

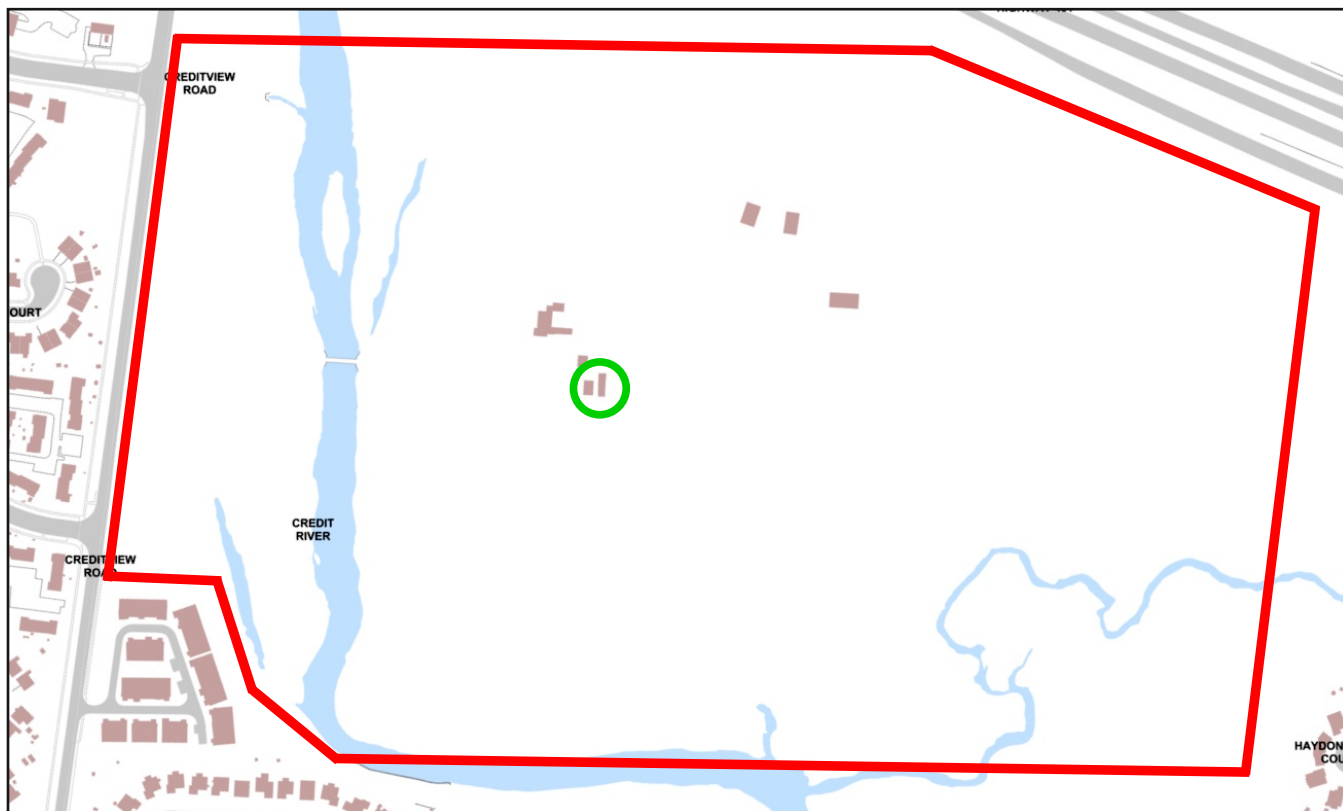


2.2.3h: 1954 aerial image (City of Mississauga)





2.2.3i: 2022 aerial image (City of Mississauga)



2.2.3j: solid fill image (City of Mississauga)

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### **2.2.3 location**

#### **location description**

The subject property, 6545 Creditview Road in the City of Mississauga is a ~52.85 hectare farm and residence located immediately south of Highway 401, on the east side of Creditview Road.

#### **buildings**

There is one large residential building on the property, and six outbuildings. All of the buildings are located in a cluster about 500 metres eastward from Creditview Road. The oldest segment of the main residence was likely built in the 1870s. There have been at least three large additions to this residence. The date of construction of the six outbuildings, including the subject building (the headerhouse/greenhouse) is undetermined. The headerhouse/greenhouse is evident in a 1954 aerial photograph.

#### **laneway**

A private laneway leads in a easterly direction into this group of buildings, crossing the Credit River on a metal truss bridge located about 200 metres eastward from Creditview Road.

#### **natural features**

The Credit River flows southerly through the west end of the subject property, turning sharply eastward at the south end of the property, and flowing along the south property line. Fletchers Creek flows southward through the southeast corner of the lot, entering the Credit River at the extreme south end of the property.

#### **existing land use**

The former farm at 6545 Creditview Road is no longer in use.

#### **zoning**

Four zoning bylaws are in effect at 6545 Creditview Road. Most of the property is zoned G1, which permits greenland uses, including trails and other passive recreational activities. Specific to this property, these are land which are either currently, or were previously, used as farmland.

Areas zoned as G2 are also greenland areas, like G1 but with restricted use to protect landform features. Specific to this property, the G2-zoned lands at the west end of the property are woodlots. The linear G2 zones to the east end of the property are the raised embankment of the former Toronto Suburban Railway corridor. This land gradually reverted to woodlot after the electric railway line was abandoned in 1931. (See image 2.2.3k.)

The area zoned OS2-16 is identified as open space but with the provision for greenhouses or outdoor markets. Specific to this property, this area is the current farmland to the east of the complex of buildings, including the subject building.

The area zoned H-OS2-17, at the northwest corner of the property is an area where open space uses are currently excluded due to potential erosion concerns.

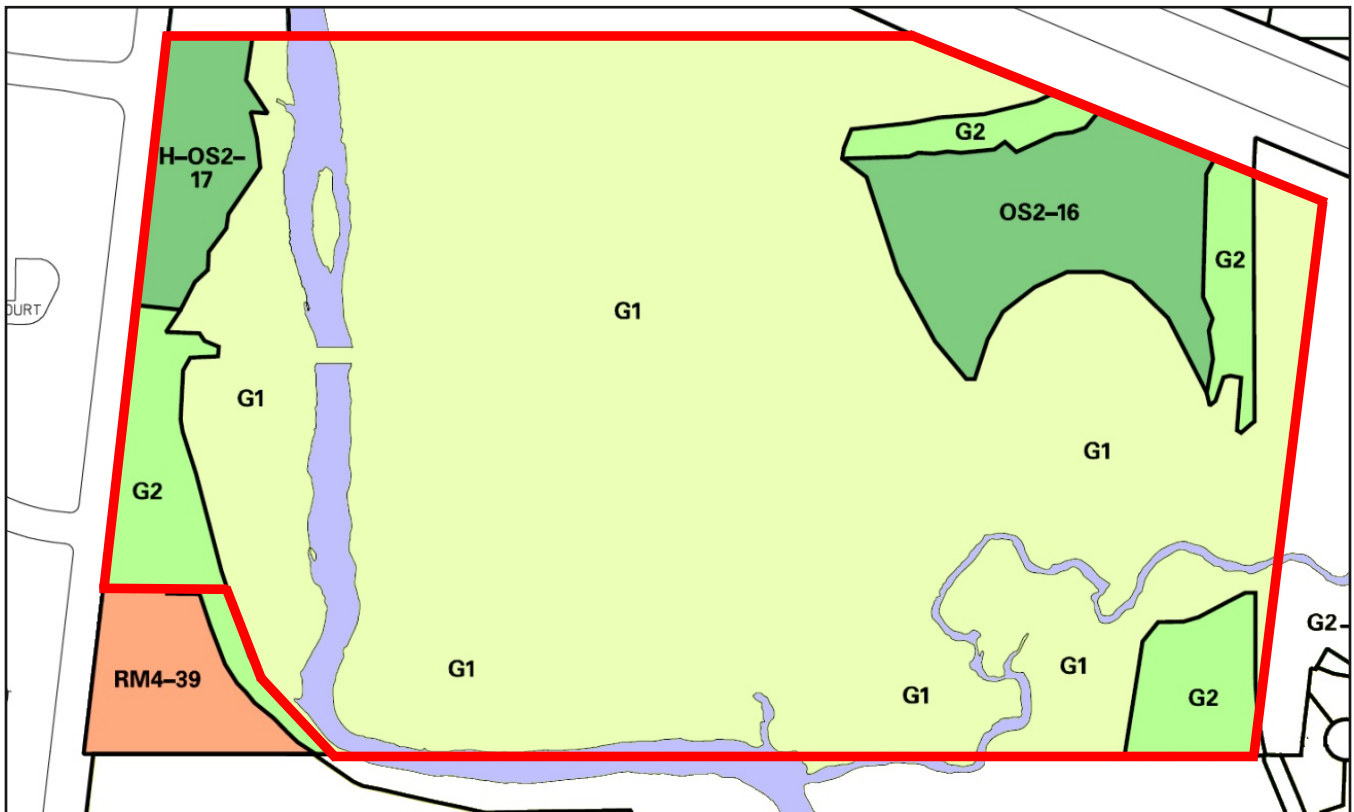
### land use of adjacent properties

This property is a large greenland area. The nearest adjacent land uses are over half a kilometre distant of the central cluster of buildings at the centre of the property.

The property to the north of 6545 Creditview Road – 1200 Old Derry Road – is separated from the subject property by the right-of-way of Highway 401, and is zoned G1-7, which permits farm use (the property's current use) or a golf course. The property to the east of 6545 Creditview Road is undeveloped land comprising the shallow valley of Fletchers Creek. It is an extension of the G1 zoning of the subject property. The easterly half of the lands to the south of 6545 Creditview Road is undeveloped woodlot comprising the valley of the Credit River. It is also zoned G1. The westerly half of the land south of the subject property is a 1978 residential subdivision, zoned R2. The Meadowvale South residential subdivision to the west of 6545 Creditview Road is also primarily zoned R2.

### Rivergate Place

The gated residential development at the southwest corner of the subject property was formerly part of the subject property, and was subdivided in 2004. It is zoned RM4-39, which permits only townhouses.



2.2.3k: zoning bylaw map (City of Mississauga)



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2.3.1  
Interior Images



2.3.1a: headerhouse - boiler



2.3.1b: headerhouse - west wall





2.3.1c: greenhouse - side (east) elevation



2.3.1d: greenhouse - looking north to rear (south) of headerhouse





**2.3.1e: greenhouse - pulley mechanism for opening and closing windows**



**2.3.1f: greenhouse - manifold and exchanger pipes extending from headerhouse**





2.3.1g: greenhouse - exchanger pipes at south end



2.3.1h: greenhouse - trees growing around exchanger pipes





**2.3.1i: - trees growing through exchanger pipes**



**2.3.1j: compromised greenhouse foundation**



**2.3.2a: headerhouse (left) and greenhouse**



**2.3.2b: misaligned link between building sections**



**2.3.2c: greenhouse - west elevation**



**2.3.2d: greenhouse - south elevation**



2.3.2  
Exterior Images



2.3.2e: headerhouse - front (north) elevation



2.3.2f: headerhouse - west (side) elevation



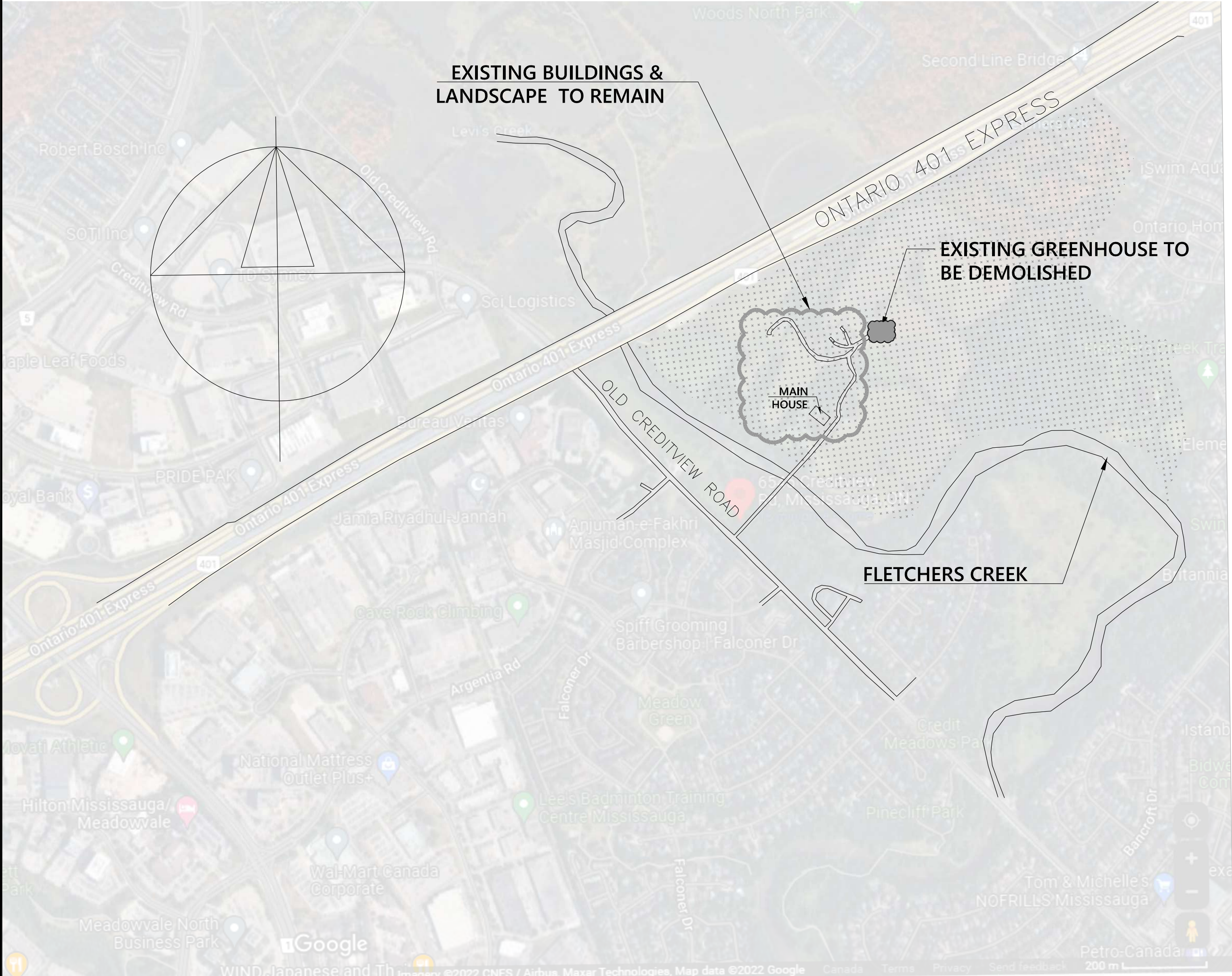


2.3.2g: headerhouse - birdhouse

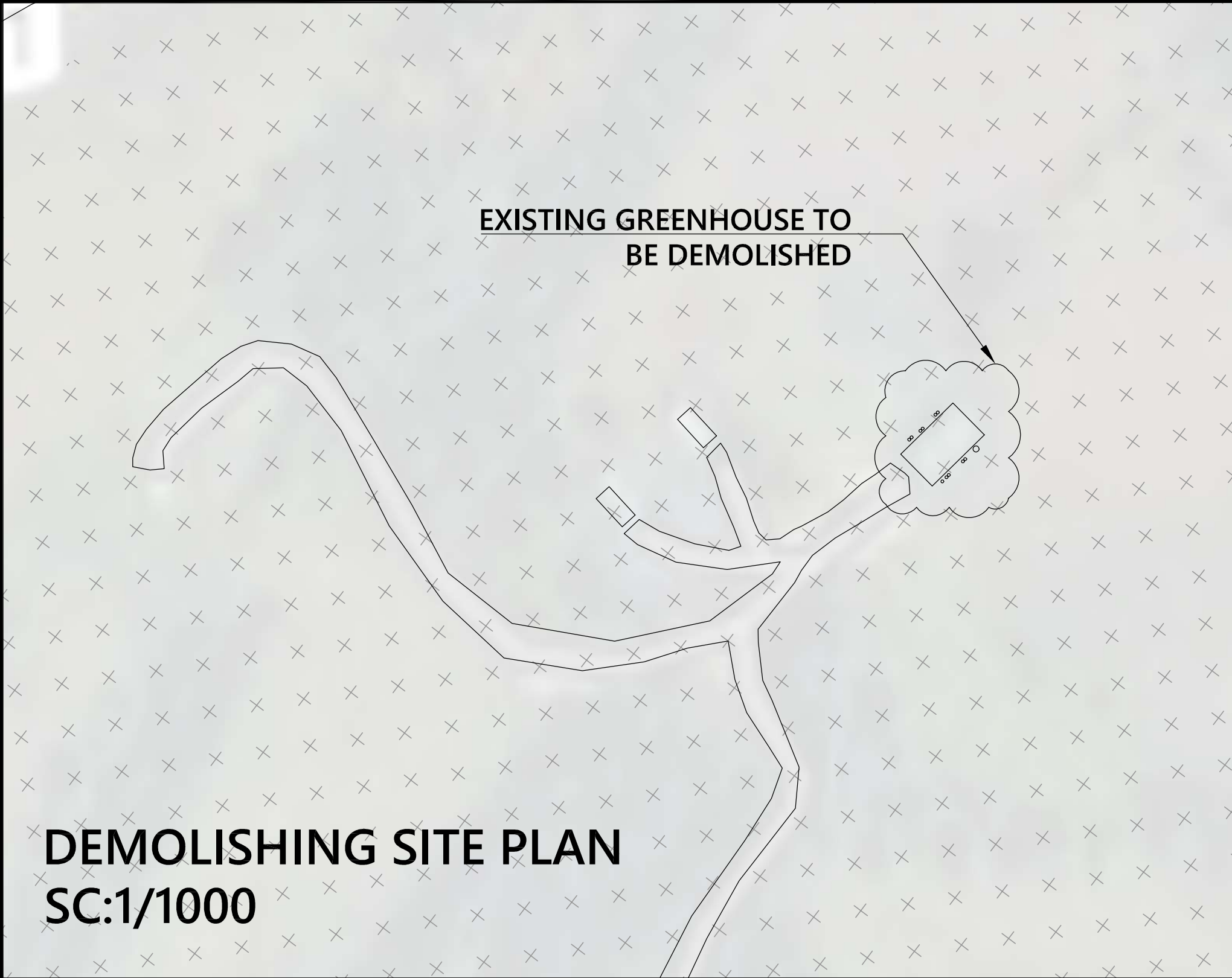


2.3.2h: headerhouse - electrical details





KEY PLAN SC:1/5000



**NOTE FOR CONTRACTOR:**

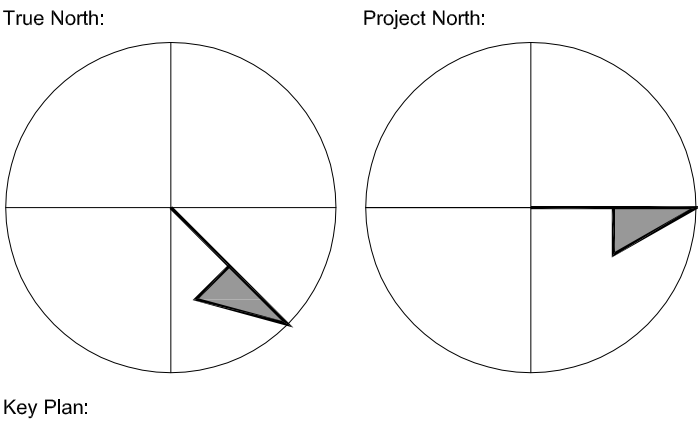
- CONTRACTOR SHALL DISCONNECT THE BURIED ELECTRICAL UTILITY FROM THE MAIN SOURCE AND CAP WIRE BELOW GROUND. IF ANY OTHER UTILITY CONNECTIONS TO THE BUILDING ARE DISCOVERED CONSULT WITH ARCHITECT
- REMOVE AND DISPOSE OF COMPLETE STRUCTURE OF WOOD STUD BUILDING, ALL INTERIOR AND EXTERIOR FINISHES, ALL FOOTINGS, FLOORS, ROOF AND FOUNDATIONS
- CONTRACTOR SHALL PROVIDE SUITABLE NATIVE EARTH MATERIAL TO ROUGH-GRADE ALL AFFECTED AREA



GREENHOUSE TO BE DEMOLISHED



- GENERAL DEMOLITION NOTES
- 1.CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
  2. CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
  3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
  4. CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY POSSIBLE ASBESTOS COTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK.
  5. AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
  6. CONTRACTOR SHALL NOT SCALE DRAWINGS.
  7. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN.
  8. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK.
  9. CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
  10. CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
  11. CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
  12. ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
  13. CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
  14. DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
  15. WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
  16. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT
  17. PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
  - 18.OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
  19. NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
  20. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.

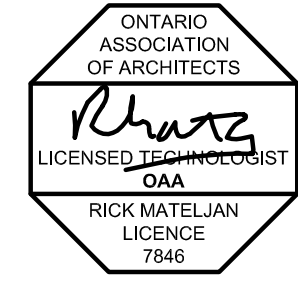


DEC 15, 2022 FOR REVIEW



**SMDA Design Ltd.**  
1492 WALLACE ROAD, UNIT 9  
Oakville ON L6L 2Y24  
Tel: 905 842 2848  
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Designer:	Engineer:
	

Project:

**CITY OF MISSISSAUGA**

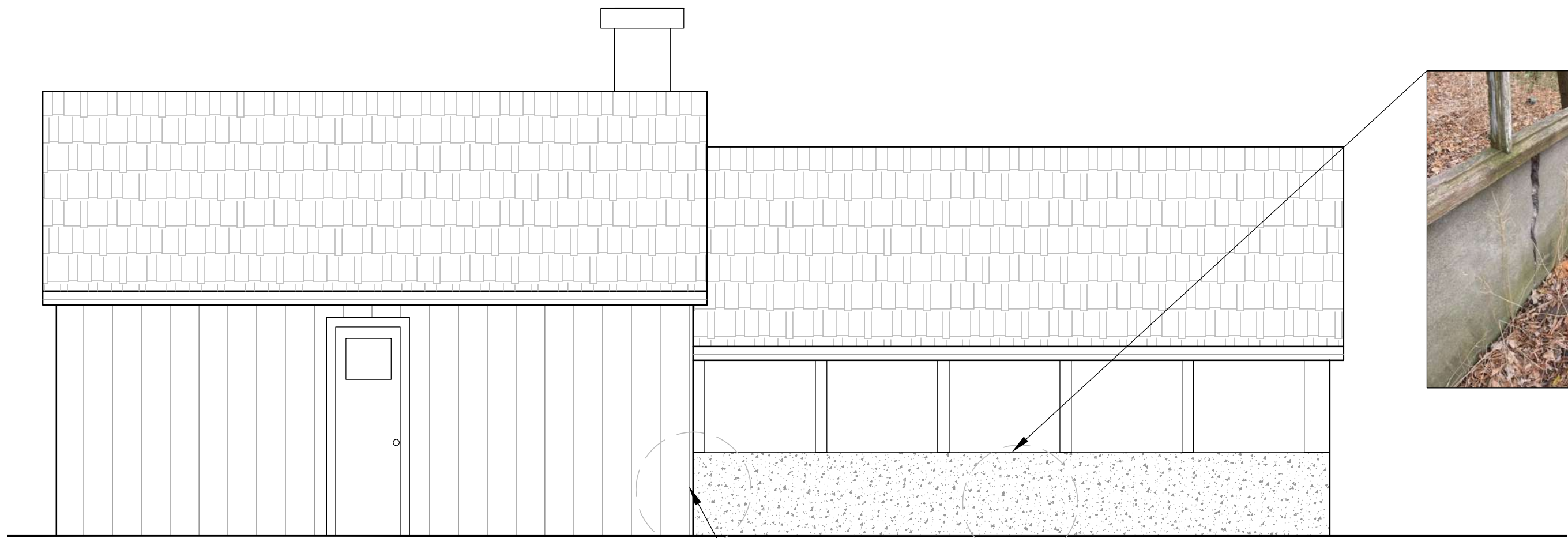
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MISSISSAUGA, ON L5N 8L1

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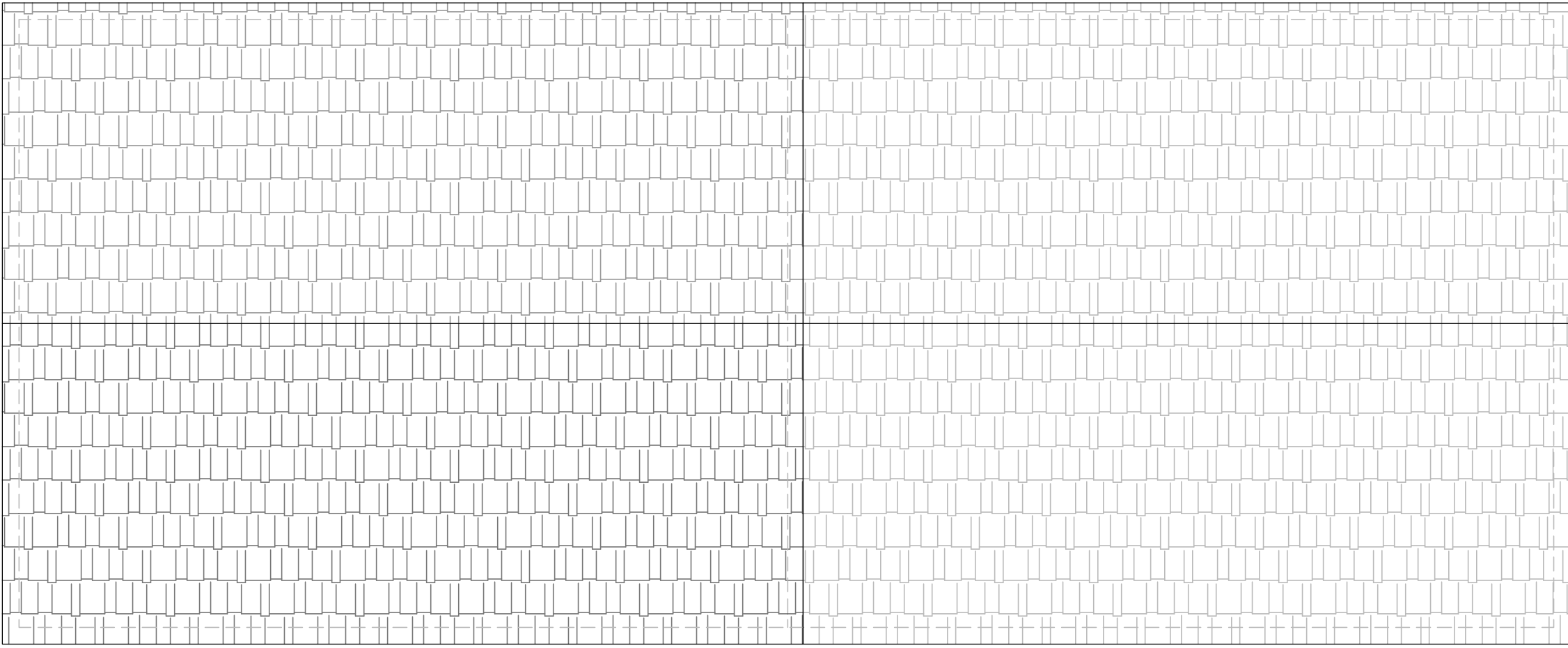
Design By:	Drawn By:	Approved By:
H.K	H.K	R.M
Scale:	Date:	Project No:
	DEC 2022	

Drawing No:

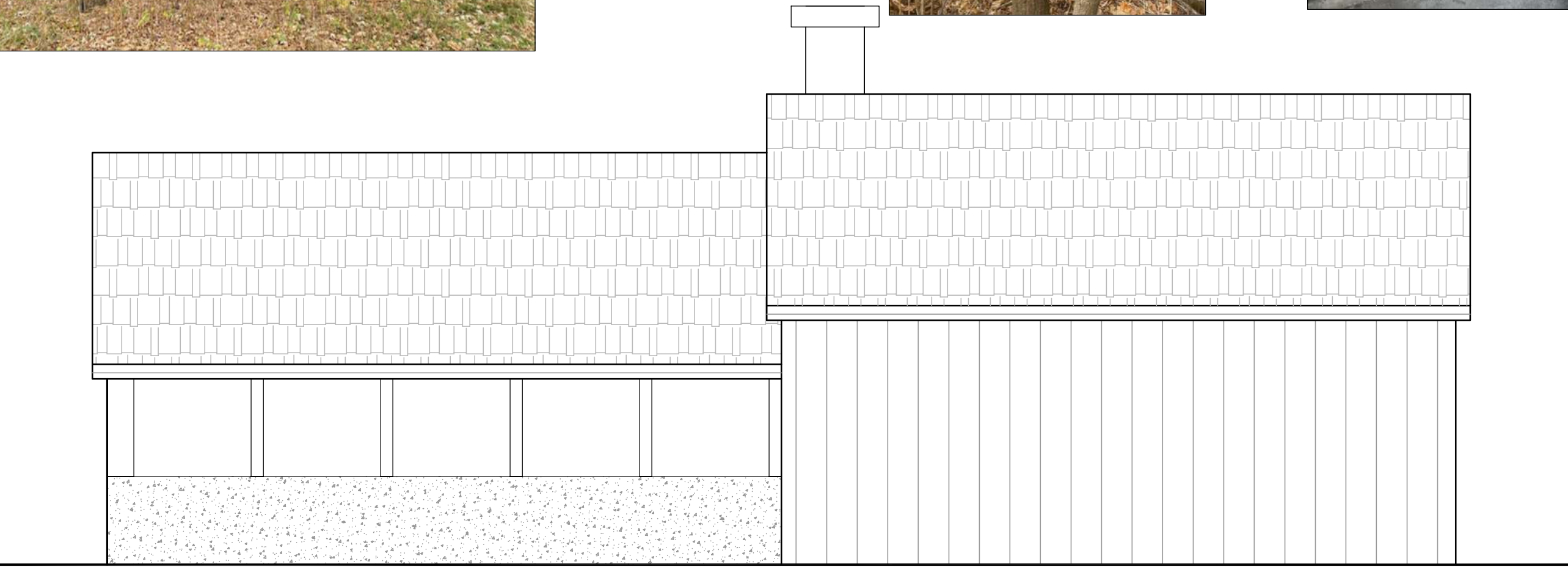




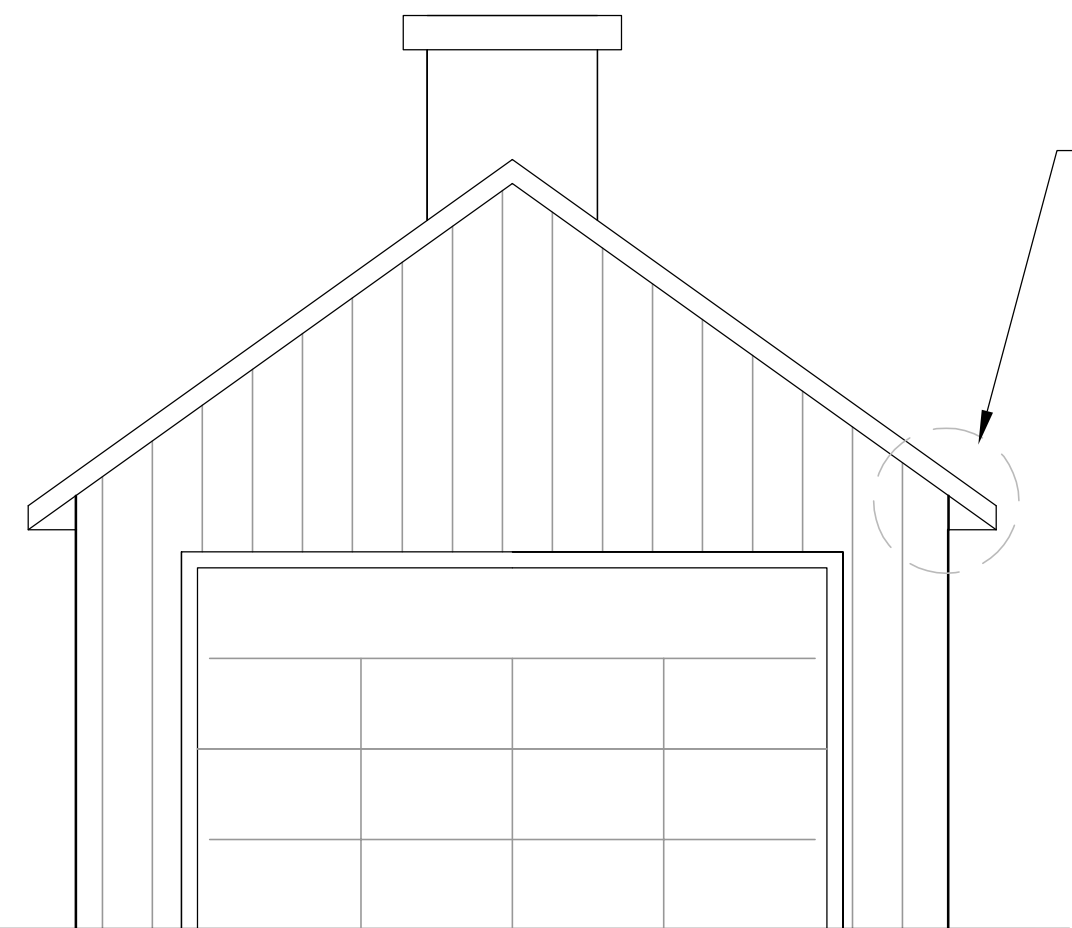
SIDE ELEVATION



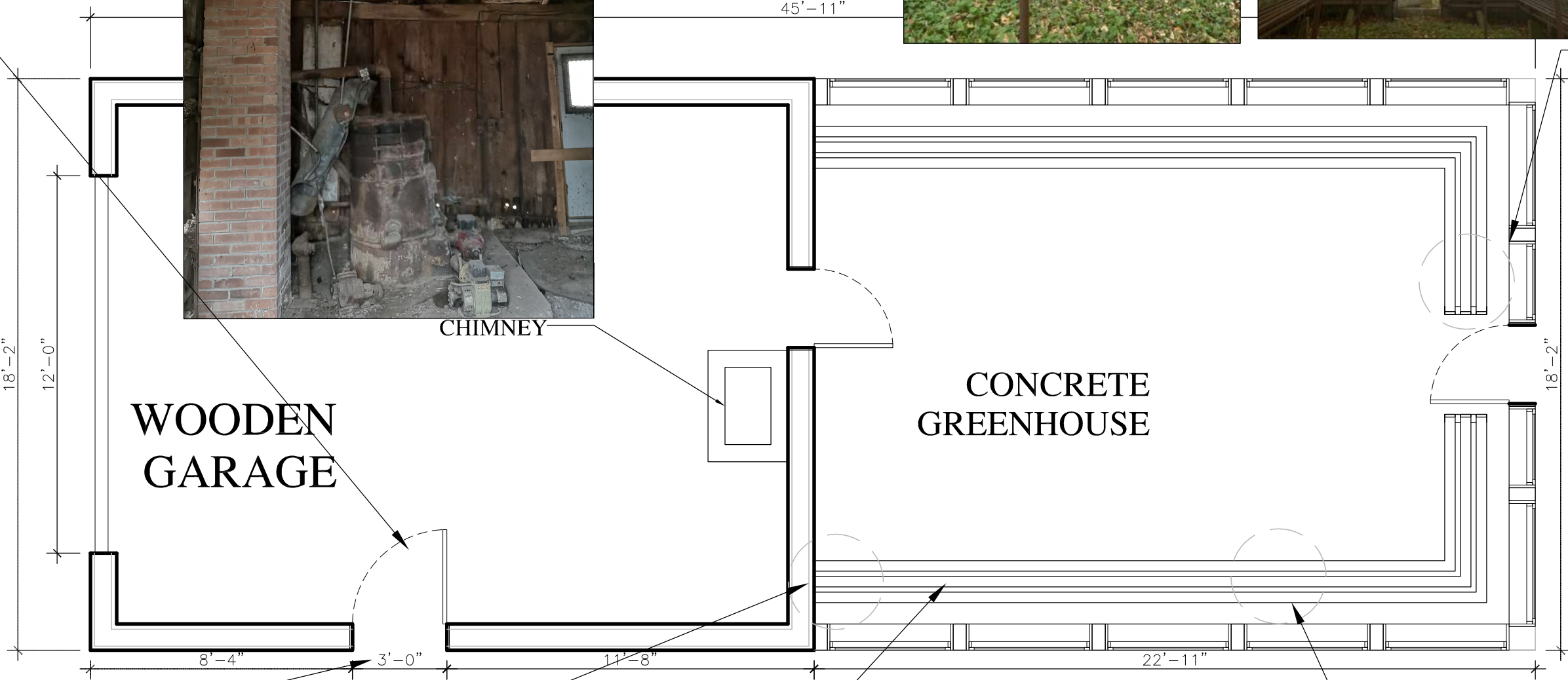
ROOF PLAN



SIDE ELEVATION



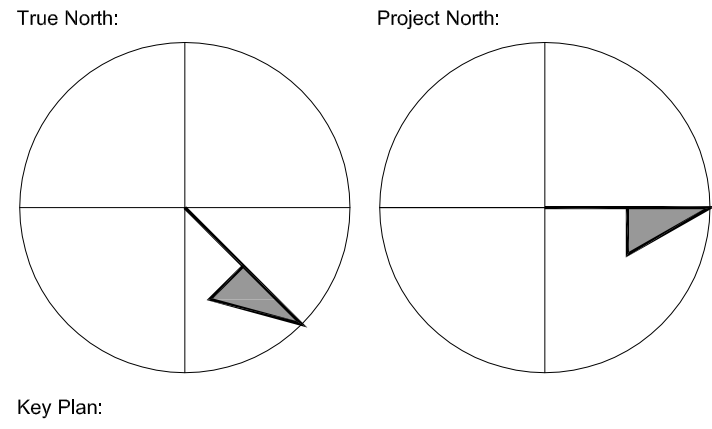
FRONT ELEVATION



PLAN



REAR ELEVATION





Key Plan:

DEC 15, 2022 FOR REVIEW



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Designer:  Engineer: 

Project: **CITY OF MISSISSAUGA**

6545 CREDITVIEW RD,  
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Sheet Title:

**PLANS & ELEVATIONS  
FOR DEMOLITION**

Design By: H.K.	Drawn By: H.K.	Approved By: R.M.
Scale: 1/4" = 1'-0"	Date: DEC 2022	Project No:

Drawing No:

**A1.1**



2.3.6  
Historic Images



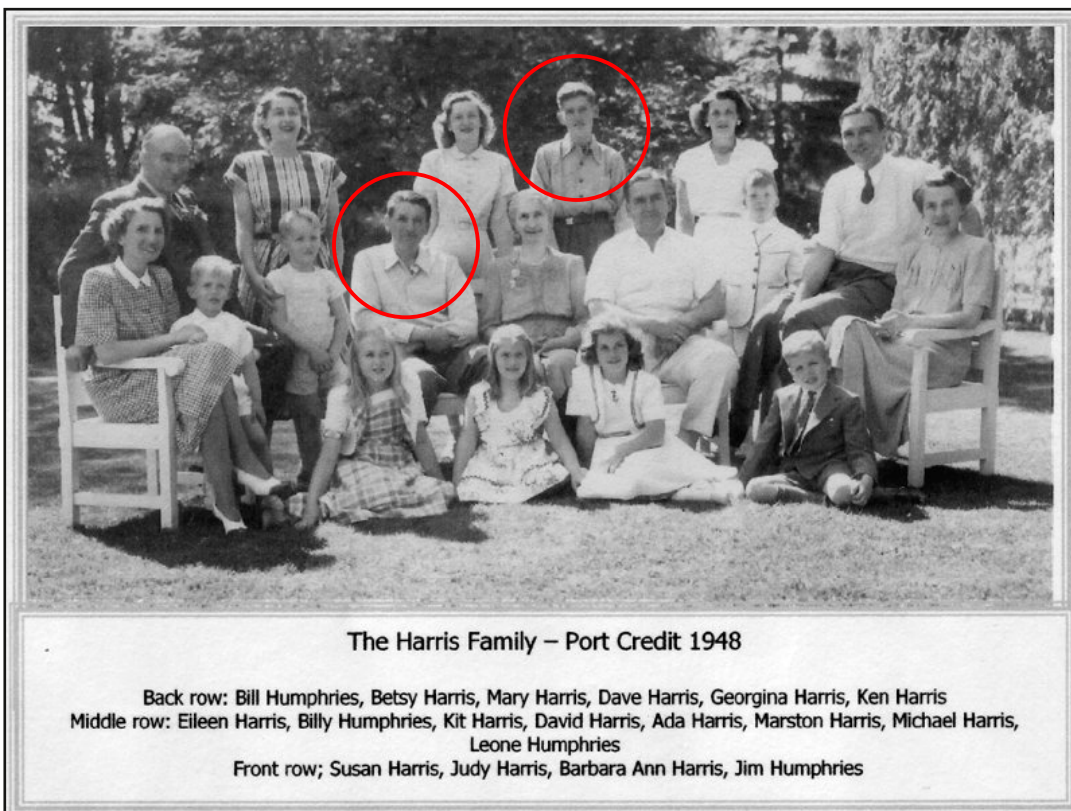
2.3.6a: 1922 topographic map



2.3.6b: 1964 topographic map



2.3.6c: Pearson-Harris Farm main residence



2.3.6d: David W. and David J.D. Harris and family





*2.3.6e: unutilized farm buildings*



*2.3.6f: abandoned car*





2.3.6g: former laneway bridge over Credit River (now replaced)



2.3.6h: former farm laneway and bridge (now replaced)

### **2.3.7 municipal/agency requirements that affect conservation**

Currently the subject property is zoned G1 greenland, with smaller areas zones G2 greenland where existing landform features (notably the embankment of the Toronto Suburban Railway right-of-way) should be retained. Otherwise the land is currently closed to the public and there are no immediate plans to develop the property so, in regard to zoning considerations, item 2.3.7 is not applicable at this time.

Items 2.4 to 2.8 of the City of Mississauga's Terms of Reference are not applicable. No new development is proposed with this application.

### **2.4 Proposed development outline**

### **2.5 Full architectural drawings**

### **2.6 Trees of heritage significance**

### **2.7 Alternative development options/mitigation measures**

### **2.8 Summary of conservation principles**

### **2.9 Proposed Demolition/Alterations**

#### **2.9.1 identification of demolished attributes**

It is proposed with the heritage application associated with this Heritage Impact Assessment to remove an abandoned and collapsing building at 6545 Creditview Road in Mississauga. This building was once used as a greenhouse, with an attached headerhouse that contained equipment to control the heat and humidity conditions in the greenhouse section.

The property was operated as a commercial farm up to the early 1990s. The property has been vacant and inaccessible to the public from 2009 when it was purchased by the City of Mississauga. With the former farm out of use, the headerhouse/greenhouse building no longer has a practical use.

In regard to the property's future, The *Credit River Parks Strategy* plan (approved by the City of Mississauga in 2013, but not yet implemented in regard to 6545 Creditview Road) proposes that the subject property could be used as a heritage farm, or some other form of demonstration farm. To this end, a new zoning bylaw for this property (Bylaw 0151-2020) was approved in 2020 to permit use of this property for a greenhouse or greenhouses and with an associated outdoor market. The OS2-16 zoning also permits training and development land uses, which would be applicable if a demonstration farm (as proposed as part of the *Credit River Parks Strategy*) is to be included as part of a plan for future development of 6545 Creditview Road.

In such a case, a greenhouse facility with a related headerhouse would be an



asset to the property. However the unsafe and decaying condition of the current headerhouse/greenhouse makes it unsuitable for inclusion in any future plans for this property.

### **2.9.2 identification of altered attributes**

No other buildings at 6545 Creditview Road will be moved or altered as part of this application. It will be necessary to clear some brush and small trees in close proximity to, and even inside, the building for which demolition is proposed. No large trees will need to be removed.

#### **2.10 Salvage Mitigation**

##### **2.10.1 relocation**

As noted in Section 2.9.1, the *Credit River Parks Strategy* indicates that future use of the subject property could include a demonstration farm, with its related greenhouses and open market. Zoning bylaw 0151-2020 was approved to permit the use of a greenhouse or greenhouses on this property. Since relocation of any building implies retention of that building in such a manner as to make it useful for relocation, it would be preferable to retain the subject building in situ, considering that future plans for the property include possible use of greenhouses and an associated open market.

Unfortunately retention cannot be considered feasible due to the poor condition of the subject building, and salvage and temporary storage of certain significant remnants of the building for possible reuse as part of a future heritage interpretation strategy is the only practical option.

##### **2.10.2 retention of ruins**

As noted in Section 2.9.1, a headerhouse/greenhouse complex could be an asset to the property at 6545 Creditview Road in the future, as identified in the 2013 *Credit River Parks Strategy* report. However, it would be impractical to retain the current headerhouse/greenhouse in its current unsafe and deteriorated condition. As seen in the images in Sections 2.3.1 and 2.3.2 of this HIA, the foundation of the greenhouse section is compromised by cracks. As a result of the lost integrity of the foundation, the steel skeleton of the greenhouse is sagging. All the glass panes have been removed. The roof of the headerhouse section is sagging and the walls appear to be structurally unsound. Roof joints and wall corners have been compromised by the decaying foundation.

The nature of the building is such that retention as a ruin is not practical. It would only continue to deteriorate, would become increasingly unsafe and would likely collapse in a relatively short period of time.

##### **2.10.3 symbolic conservation**

As noted in Section 2.9.1, a headerhouse/greenhouse complex could be an asset should the property be used in the future as a demonstration farm as identified in the 2013 *Credit River Parks Strategy* report. However, the current headerhouse/

greenhouse building is collapsing and could not, in its present condition, be considered useful as part of a proposal for public use of this property in the future.

There is, however, an opportunity to salvage and potentially re-use or display some elements of the existing headerhouse/greenhouse as part of a future greenhouse complex and related outdoor market and/or training and development facility associated with Mississauga's farming heritage. The elements that should be stored for future interpretation are the wheels, chains and mechanism (image 2.3.1.e) located at the top of the greenhouse roof that control the opening and closing of the greenhouse roof and the complex manifold arrangement of heating pipes (image 2.3.1.f). The heritage consultant should be on-site during the demolition process to supervise the removal of materials. Unless otherwise directed on-site by the consultant, the remaining materials can be discarded. Note that there is no intention to retain significant quantities of materials in the expectation of rebuilding the structure at a later date.

Salvaged elements as identified above should be stored by the City of Mississauga for possible future reuse or interpretation when plans for the property, as defined by the *Credit River Parks Strategy*, are finalized.



**Proposal map for Pearson-Harris Farm (Credit River Parks Strategy)**

## 3.0 SUMMARY STATEMENT

### Significance of the Heritage Attributes

#### 3.1.1 list of attributes

Being one of the last farms in Mississauga, one of the largest in the city, and one of the longest-running farms (170 years, and operated by just two families over 140 of those years), the Pearson-Harris farm is an important heritage resources within a large, modern city that has almost no surviving elements of its agriculture past.

The headerhouse/greenhouse is an important element of the farm because it serves as evidence that the farm families here were successful commercial market farmers. Greenhouses – especially ones like the subject greenhouse, with its own self-contained temperature and humidity control (located in the attached headerhouse) – were indicative of farms that grew nursery plants and fresh-market fruits. Flowers and seasonal fruits have a very short shelf life, and command a high price if they arrive at the market fresh. They are best grown in greenhouses where specific needs for sunlight and moisture can be controlled to optimize market value.

The headerhouse/greenhouse building is the main focus of this report, but a decision regarding the future of this structure must be considered in context of the overall property, and of future plans for the property.

Section 1.4.4 of the *Credit River Parks Strategy* notes, “the former Harris Lands is viewed as the future centre of urban agriculture in the City and home for organizations that promote sustainable living, environmental responsibility and community involvement through environmental stewardship.” Section 1.5.2 states, “the site includes a variety of Cultural Heritage features that are important to both local history and the character of the park.” See Appendix 1 of this report regarding proposals for 6545 Creditview Road as part of the *Credit River Parks Strategy*.

In its current deteriorated condition, the headerhouse/greenhouse at 6545 Creditview Road presents a potential safety hazard. Potential options in this situation would include:

- demolition and disposal,
- relocation,
- restoration,
- partial salvage for future reuse or interpretation at the subject property.

As discussed above, In this situation partial salvage is the recommended option, considering the potential for adaptive reuse of the property as a heritage farm or demonstration farm with greenhouses and an associated open market, as proposed in the City of Mississauga’s *Credit River Parks Strategy* report and as permitted through an updated bylaw allowing the use of greenhouses and associated developments at 6545 Creditview Road.



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### **3.1.2 impact of proposed development on the cultural heritage**

It is proposed with the heritage application associated with this Heritage Impact Assessment to remove an abandoned building at 6545 Creditview Road in Mississauga. The subject building is in poor condition and presents a potential safety hazard. Referring to the images in Sections 2.3.1 and 2.3.2 of this HIA, it is evident that the foundation of the building is decaying. The roof of the headerhouse section of the building is sagging. All that remains of the greenhouse section of the building is the compromised foundation, several surface cracks, and the collapsing greenhouse frame. The window panes have been removed. Small trees and brush are growing on what was the floor of the greenhouse. In some cases the trunks of these trees have grown around the extant exchanger pipes.

#### **demolition and disposal**

Based on the fact that future plans for the property include returning the property to use as a farm, demolition and disposal is not a preferred option. This option prevents possible reuse of building materials original to the farm from being incorporated into possible future greenhouses on the property as proposed by the *Credit River Parks Strategy* and by recently updated bylaws governing the subject property.

#### **relocation**

The building's physical condition makes relocation impossible.

#### **restoration**

It is impractical to restore the subject building in situ. The property is currently vacant and there is no firm timeline for redevelopment and/or reuse of the farm at 6545 Creditview Road. If the building were in better condition and more complete, it could be stabilized until a decision was made regarding future plans for the property, but the existing building is a safety hazard now and the extent of deterioration is such that any restoration would effectively be rebuilding with new components.

#### **salvage and reuse**

Retention of the entire building is not considered feasible due to the extent of structural decline of the subject building. As discussed above, salvage and temporary storage of certain discrete items of heritage interest should be implemented in anticipation that these items could be reused as part of a new structure or other heritage interpretation strategy on the property.

### **3.1.3 conservation/mitigation measures**

Because there is future potential for renewed farm activity on the subject property, as indicated by the aforementioned *Credit River Parks Strategy*, the most effective mitigation measure for items of potential heritage value in, and of, the

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headerhouse/greenhouse at 6545 Creditview Road is to have them retained in storage until future plans for the subject property are finalized, at which time it can be determined if these items have reuse or interpretive value at the subject property.

**3.1.4 Why conservation or mitigation measures are not appropriate**

As per Items 3.1.2 and 3.1.3 above, the recommended strategy is mitigation through conservation of elements of interest associated with the building.

## 4.0 RECOMMENDATION

### 4.1 Regulation 9/06, Ontario Heritage Act (2022)

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.

#### 4.1.1 does the property meet the criteria for designation

The headerhouse/greenhouse building at 6545 Creditview Road . . .

1. . . . is a wood-frame building of conventional design and as such, is not a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. . . . was built to serve as a functional farm building and, as such, does not display a high degree of craftsmanship or artistic merit.
3. . . . does not demonstrate a high degree of technical or scientific achievement.
4. . . . is associated with three families that were an important part of Mississauga's growth and success through the 19th and early 20th century as a centre of commercial and market-produce farming.
5. . . . has the potential to yield information that contributes to an understanding of a period when Mississauga was primarily an agricultural community. Few farms and farm buildings remain in the city to remind us of the city's once-predominant position as a centre for commercial and market-produce farming.



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6. . . . was likely built either by the Pearson or Harris families as a functional building and, as such, does not reflect the work of an architect or builder who is significant to a community. The Pearson and Harris families were significant to Mississauga as commercial farmers, but not specifically as architects or builders.

7. . . . is a representative example of a farm building used for growing nursery plants and fresh-market fruits which could obtain high value in nearby markets such as Hamilton and Toronto. Mississauga was uniquely situated to take advantage of two large consumer markets in close proximity. As such, the headerhouse/greenhouse is important in defining and supporting the character of Mississauga.

8. . . . is situated in a cluster of farm buildings on a property that was formerly a productive farm, and has not been significantly altered since then. As such, the headerhouse/greenhouse is linked to its surroundings physically, visually and historically, and has the potential to be functionally linked to its surroundings based on proposals for the subject property as identified in the *Credit River Parks Strategy*.

9. . . . is isolated from public view on a property which presently is not accessible to the community and, as such, cannot currently be considered a landmark. However the headerhouse/greenhouse does have the potential to be an important heritage building as part of a proposal to redevelop the property as a heritage and/or demonstration farm.

#### **4.1.2 Provincial Policy Statement – 2014**

In regard to the Provincial Policy Statement - 2020, which updates the Provincial Policy Statement - 2014, the headerhouse/greenhouse building in particular, and its contextual place as part of the former Pearson-Harris Farm is consistent with Item 2.6.1 of the Provincial Policy Statement, in that both the building and property contribute to a sense of place.

#### 4.1.3 conclusion

Of the nine criteria for determining the merit of a building or property for designation under Part IV or Part V of the Ontario Heritage Act, the headerhouse/greenhouse building at 6545 Creditview Road does meet four of these criteria, and has the potential to meet a fifth criteria (Item 9 of the Regulation 9/06) as part of a proposed revitalization of the subject property.

##### **architectural or physical (items 1 to 3 of Regulation 9/06)**

The headerhouse/greenhouse is not of architectural significance, although much could be learned about the processes for raising market-produce from a restored or rebuilt version of this building.

##### **historical (items 4 to 6)**

This building is one of a declining number of farm outbuildings that remain that can yield information on Mississauga's past as a centre for commercial agriculture.

##### **contextual (items 7 to 9)**

Situated on a farm property that has not been significantly altered since farming ended on the site in the 1990s, the headerhouse/greenhouse is unique in that it remains in its historical context.

The headerhouse/greenhouse at 6545 Creditview Road is, under the conditions set forth by Regulation 9/06, suitable for heritage protection. It must be taken into consideration, however, that the subject building is in poor condition and presents a potential safety hazard. [It is recommended that salvage of elements \(as identified above\) of](#)

[historical value, or of merit in regard to its former function, be undertaken and that these elements be stored pending a decision on the future of the subject property.](#)

Initiative 10 of the *Credit River Parks*

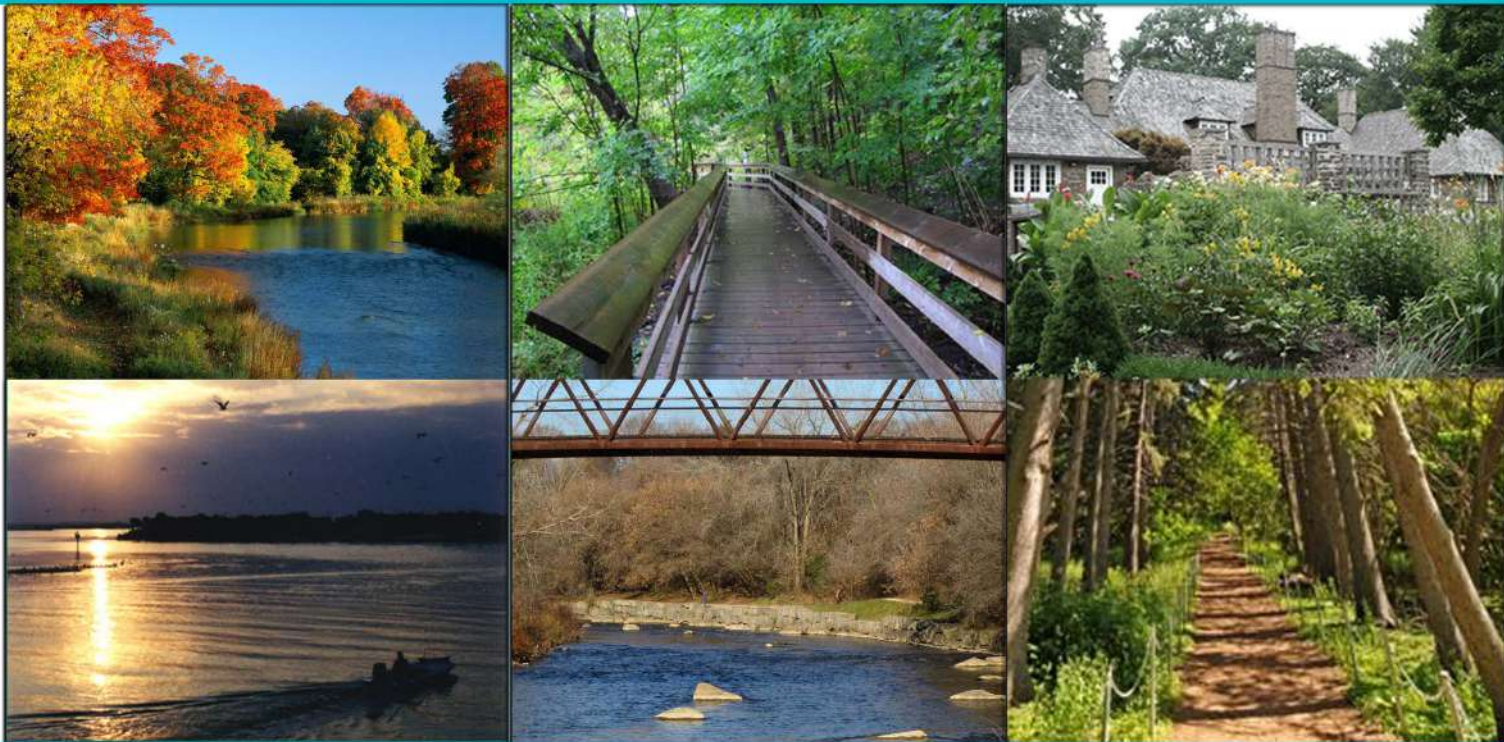
*Strategy* report identifies the potential benefits of a heritage and/or demonstration farm at 6545 Creditview Road. As a remnant of one of the functional farm buildings on the property elements of the subject building, either re-used as part of a new building or incorporated in some type of interpretation feature, would naturally be an attribute to the future development of these lands.

# CREDIT RIVER PARKS STRATEGY

**part 1 - the strategy**

**part 2 - the background**

**part 3 - the appendices**



prepared by

SCHOLLEN & Company Inc  
North-South Environmental Inc.  
Lura Consulting  
Aquafor Beech Ltd



### 1.3.5 Cultural Heritage

The CRP System study area is rich in cultural heritage resources affording tremendous opportunities for interpretation and celebration. The river valley is regarded as the thread that binds together all of the cultural heritage and archaeological resources and story lines within the historic areas of Meadowvale, Streetsville, Erindale and Port Credit (refer to Part 2 document Section 2.5.8.9 Cultural Heritage Context). Within the extent of the CRPS there exist numerous features that warrant interpretation. These range from First Nations encampments, to homesteads, mills and other built resources and landscapes.

For the purposes of evaluation and recommendation, the Cultural Heritage Resources within the study area have been categorized pursuant to the pending Mississauga Official Plan (2011).

#### 1.3.5.1 Cultural Heritage Properties

There are numerous cultural heritage resources and landscapes within and adjacent to the study area. The entire Credit River corridor itself is listed as a Cultural Landscape in the City of Mississauga's Heritage Register. Key features include visible remnants of hedgerows, dams, foundations, orchards, homesteads, church properties and cemeteries. By contrast many of the remnant mills or homesteads and dam sites are not well known by the general public. An extensive list of Heritage Designated and Listed Heritage properties as well as those identified through the Mississauga Cultural Landscape Inventory has been provided. Please refer to Figure 2.14 in Part 2 report.

There are a number of good examples of important culturally significant heritage features within the "Feature Sites" of the study including (but not limited to) the following:

- Sanford Farmhouse;
- Agricultural fields and outbuildings (former Sanford Farm and Harris lands);
- Mill remnants such as the Simpson Sawmill race; nearby Silverthorn Grist Mill (Sanford Farm); and, the Hyde Mill ruins (P-114, Streetsville Memorial Park);
- Vestiges of the historical Toronto Guelph Radial Railway (P-505, the former Harris Lands);
- Pearson-Harris Farmhouse, outbuildings and steel bridge (P-505, the former Harris lands);
- Timothy Street House (proximate to P-114, Streetsville Memorial Park);
- Leslie Log House which is OHA designated (P-462, the former Pinchin Lands);
- MacEwan House, Barn and outbuildings (P-331, Riverwood); and,
- Parker/Chappell House and Zaichuk Terrace (P-331, Riverwood).

Recommendations (Master Plan):

- Ensure cultural heritage features and cultural landscapes within the study including the Credit River itself, are protected and that proposed facilities near protected features mitigate impacts and establish buffers to such features where appropriate;
- Where appropriate, enable heritage features to be adapted for a suitable re-use in order to ensure the feature's upkeep and potential for restoration and interpretation;

#### 1.4.4 P-505 – former Harris Lands Reach

##### Existing Site Characteristics

The reach extends from the privately owned lands directly south of Highway #401 to the shared property boundary with “Feature Site” P-122 Credit Meadows Park. As a “Feature Site”, the property is viewed as the future centre of urban agriculture in the City and home for organizations that promote sustainable living, environmental responsibility and community involvement through environmental stewardship. Specific details with regard to the property are located within Section 1.5.2.

Existing parks within the proposed “Continuous Natural Corridor” include:

- P-505: the former Harris Lands; and,
- P-122: Credit Meadows Park.

Existing parks within the proposed “Transitional Beltlands” include:

- none

##### Proposed Initiatives

See Section 1.5.2 for details.



### 1.5.2 P-505 – Former Harris Lands

Yet unnamed Park #505 (the Former Harris Lands) is viewed as the future centre of urban agriculture in the City of Mississauga. The site is well-suited to serve as the home for organizations that promote sustainable living, environmental responsibility and community involvement through environmental stewardship. The former farmhouse and associated outbuildings are adaptable to accommodate the administrative and practical needs of an agency or agencies that can oversee the operation of the urban farm and deliver educational programs. The site has a long legacy of agricultural production dating back to 1821. Refer to Figure 1.9 for the Concept Plan for the property.

#### Theme

- The agricultural heritage of Mississauga; and,
- Urban agriculture, permaculture and organic food production integrated with a restored “Natural Corridor”.

#### Existing Features

The site includes a variety of Cultural Heritage features that are important to both local history and the character of the park. These include the following:

- Archaeological evidence of First Nations occupancy;
- The Pearson-Harris Farmhouse (Circa 1847);
- Toronto-Guelph Suburban Radial Railway (Circa 1917);
- The steel truss bridge (1947);
- Agricultural fields (cultural landscape); and,
- Creditview Road (links to agricultural past).

The site contains an Environmentally Significant Area as well as a portion of a regional Life Science Area of Natural or Scientific Interest (ANSI) (Meadowvale Station Woods). The site encompasses habitat for a number of species at risk.

Records indicate that bobolink and eastern meadowlark (both provincially and nationally threatened) were noted as probable breeders at this site in 2001 (North-South Environmental Inc., 2001), as part of Mississauga’s Natural Area Survey. This site has, however, been surveyed three times since the 2001 visit and bobolink and eastern meadowlark have not been noted again. Several butternut trees are located within the site. This species is regulated by the MNR under the Endangered Species Act (ESA).

A reach of Fletcher’s Creek crosses a portion of the property. Fletcher’s Creek provides habitat for redbreasted dace, a designated endangered species in Ontario. Habitat for redbreasted dace is regulated by the MNR under the ESA. Within the study area for the site, no erosion was identified for restoration (reach 12) as part of the CRAMS (2005). The river channel was assessed to be adjusting primarily through lateral migration and has well-vegetated banks. A storm outfall >2m in diameter is located on the west bank at the upstream extent of the property. This outfall is well-suited to retrofitting to achieve water quality objectives. A 750mm Regional sanitary sewer traverses the site in a north/south orientation and crosses the Credit River at the southern edge of the site. Easements for maintenance access to this sewer must not be impeded. The Credit River within this site is prone to ice jams that can be extensive, causing damage to vegetation and structures in the vicinity of the river. The Credit River offers suitable conditions to support canoeing and kayaking, including segments that can pose a challenge to experienced paddlers.

### Proposed Initiatives

All initiatives are subject to business plans/feasibility studies, funding discussions with site partners and approval through Council. Key elements proposed as components of the Concept Plan for this “Feature Site” include:

#### Natural Heritage:

- Retention of existing wetland areas and the reestablishment of former wetland areas;
- Potential Arboretum/Celebration Forest (separate evaluation)
- Protection of ecologically sensitive areas;
- Protections of local deer habitat;
- Woodland edge protection and management; and,
- Sugar bush management and expansion.

#### Cultural Heritage:

- Agricultural Heritage of Mississauga demonstrated through organic agriculture;
- Long-term potential for a greenhouse;
- Renovation of heritage listed farmhouse;
- Renovation of heritage listed bridge;
- Recognition of Toronto-Guelph Suburban Radial Railway through rail-trail;
- Interpretive Signage;
- Celebration Forest;
- Apiary;
- Agricultural education facilities;
- Compost and organic fertilizer production;
- Temporary farm market;
- Community Garden(s); and,
- Cultural meadow areas.

#### Identity:

- Urban agriculture demonstration site;
- Integrated use of alternative energy/generation;
- Youth volunteer and training centre;
- Kayak/canoe launch (removable);
- Kayak/canoe slalom (gates suspended from the existing bridge);
- Access for angling;
- Bird watching/nature appreciation;
- River Overlooks;
- Lookout tower (retrofit of existing silo);
- Washrooms; and,
- Informal picnic area.

#### Sustainability:

- River edge improvements at the confluence of Credit River and Fletcher’s Creek;
- Riparian improvements throughout river’s edge; and,
- Provision of an L.I.D. compliant parking lot.

#### Concept Plan Description:

The organic farm is proposed to showcase and enhance the Urban Agriculture Education and Demonstration Programming that has been developed in the City of



Mississauga through a permacultural approach to minimize dependence on outside sources for farm inputs including animal feed, fertilizer, etc.

A temporary farm market is proposed on the upland area of the site in the vicinity of the intersection of Creditview Road and Argentia Drive. This amenity is proposed to be situated north of the intersection to allow for future access to the lands to the north of the property. This facility may be required to be relocated in the future to accommodate this access and/or development of the parcel north of the site.

A community garden is proposed within the agricultural lands of the property to allow those interested in organic gardening the opportunity to put into practice the techniques promoted through the agricultural education component of the program proposed for this "Feature Site." A small utility building is recommended in the vicinity to support the community garden(s).

The agricultural components of the plan are intended to be integrated with proposed reforestation areas that will contribute to the establishment of a broader "Natural Corridor" along the Credit River that is largely distinct from proposed program areas and human activities. Winter activities proposed within the site could include cross-country skiing, sleigh rides and events centred around the restored farmhouse. The proposed "Natural Corridor" is to be centred on the river and is intended to include a linkage to Fletcher's Creek. Both watercourses will be protected within the proposed "Natural Corridor". Specific restoration initiatives proposed in the vicinity of Fletcher's Creek should be designed in consultation with MNR staff to ensure compatibility with the ESA and Redside Dace Recovery Strategy.

As noted within the Sanford Farm site, this property is also being evaluated for the purposes of an arboretum/celebration forest through a separate study. The "Celebration Forest" will be made up of native trees that have been planted by members of the community to commemorate important life events including births, weddings, anniversaries and the lives of loved ones that have passed on. The "Celebration Forest" is not intended to function as a cemetery, an area for the scattering of ashes or the performance of other funeral customs, rather it is envisioned as a landscape that will be both spiritually uplifting and ecologically restorative."

The Toronto-Guelph Suburban Radial Railway is proposed to be interpreted through signage and a trail that will illustrate the historic alignment of the railway loop. The alignment of a proposed trail will follow segments of the historic railway. Inserts could be incorporated into the surface of the trail to evoke the rails and ties of the former railway.

Erosion control works are forecasted to be implemented along a reach of the river that is located adjacent to Steen Drive. These works are not proposed to be implemented within the next decade, however, the Capital Works Forecast is updated on an annual basis and the timeline for funding and implementation may be altered as a result of this annual review process.



to be applied to the existing buildings within the site to promote sustainability and achieve energy conservation objectives.

Alternative energy generation is to be associated with the offices of the proposed sustainability centre. This feature may include varieties of small-scale wind-driven generators, solar and photovoltaic technologies and provide an educational opportunity to evaluate the performance of the sustainable technologies. The installation will be a landmark along the natural corridor. Similar technologies are also proposed

Facilities to support informal picnicking are proposed for smaller groups, in the form of single picnic tables with or without paving underneath. They should be distributed throughout the park.



**Relationship to Park System:**

This “Feature Site” is intended to be the centre of organic agricultural within the Park System, promoting opportunities for education on the topics of urban agriculture, permaculture, balcony gardening and fresh food production. Environmental initiatives proposed will strengthen the biodiversity of the valley and assist in attaining the objective of creating the “Natural Corridor” along the Credit River. Trails within the site will provide fundamental connections northward from Credit Meadows, completing an important link in the Park System.

**Program Considerations:**

This “Feature Site” encompasses 15.6 ha of tableland. Within the CRPS study area, lands that are located beyond the top of bank, outside of the regulatory flood plain and undeveloped are rare and present the potential to support uses that are not permitted within the valleylands. In response, the tableland area of the former Harris Lands “Feature Site” is proposed to include features to support programs and activities that cannot be accommodated within the Credit River valley. However, these uses are intended to be complementary to the natural heritage and educational objectives of the CRPS.

This site has approximately 3.68 acres (1.5 ha) of tableland adjacent Creditview Road containing (for the most part) sugar maple. The existing sugar maple stand is in decline. It is beyond the scope of this study to determine the cause of the decline. However, a combination of stresses may be contributing to the weakening of trees including severe weather, acid rain, insect damage, altered drainage and poor management practices. It is recommended that the health of the existing sugar maple stand be studied further in order to develop a management plan to ensure the sustainability of the stand of trees.

**Design Considerations:**

The reach of the Credit River within the site is prone to ice damage; consequently structures and trails that are proposed to be constructed in the area should be designed to withstand potential impacts. The effects of ice movement on proposed plantings along the river corridor should be considered in the process of developing restoration planting plans and selecting plant species. Species that can withstand periodic topping, such as shrub willow and dogwood should be utilized where potential damage resulting from ice movement is a concern.

All season access must also be considered in the placement, design and selection of materials for trails and other key components of the Concept Plan. This includes mitigation of ice flow impacts and potential flood risk from the river.

The owners of Sanford Farm who have historically worked these lands should be consulted to confirm the optimal location for agricultural fields with a specific focus on the types of crops that are best suited to be grown in certain areas based on soil types and moisture levels.

In spite of the long-term agricultural use, in the event of food production, it is recommended that soil tests be undertaken due to the proximity of this site to Highway #401.

**Future Studies Required:**

A meadow-bird survey carried out by a qualified ecologist will need to be conducted to confirm habitat usage and determine the appropriate composition of meadows

and reforestation areas that should be established within the “Natural Corridor” in order to support these grassland species. Field inventories will need to be conducted to confirm the presence of designated endangered species and species at risk.

A *Business Plan* will be required to verify the financial feasibility of the proposed Organic Farm and associated facilities on the Harris Lands. The plan should consider the business opportunities presented by collaborative fundraising models. The Business Plan may wish to draw from the feasibility study presently being pursued by Ecosource with regard to non-profit urban agriculture in Mississauga.

In addition, the Business Plan must determine the preferred scenario for the following:

- Development of a Sustainability Centre in the former farmhouse as an office for NGO(s);
- Operation of the temporary farm market; community garden(s); and,
- Overall site operations.

Prior to initiating agricultural production, an Organic Agricultural Management Plan should be completed to direct farming practices with the objective of minimizing potential impacts on water quality within the river. This plan should address flooding, field preparation, pest management, fertilizer application, soil conservation and overwintering practices. A design consultant, specializing in permaculture, should be retained to develop a detailed plan for the farm that is aimed at optimizing sustainability. An Operation Plan for the proposed alternative energy generation features will also be required in order to identify alternative business and marketing strategies to best run the site.

A planning study should be initiated to determine the optimal or best use of the tableland area of the site.

#### Policy & Regulation:

- It is recommended that parcels of land within the “Feature Site” that are zoned Agriculture (A) and Residential (RR) in the Zoning By-law be rezoned in order to recognize the requirements for urban agricultural use;
- The recognition of existing and future maintenance easements associated with sewers, SWM facilities and the like must be reviewed and recognized when undertaking detailed design of this feature site. The easements could result in limitations to positioning, design and programming of components of the Concept Plan;
- Plans for restoration or the construction of bridges, trails and infrastructure within 30m of the meander belt of Fletcher’s Creek will require a permit from the MNR. Additionally, detailed site review will be required to determine the preferred alignment of proposed trails in relation to natural heritage features. All development or site alteration within the floodplain should be positioned so as not to have any adverse effects on flooding or floodplain function in accordance with CVC policies and regulations (Ontario Regulation 160/06 under Section 28 of the Conservation Authorities Act);
- Proposed bridges and alterations proposed within the river will require the approval of DFO and will need to respect the *In-water Timing Window*. The proposed works may also require review by and approval from City of Mississauga Works Department;



- Once designated, approval from the Heritage Advisory Committee (HAC) will be required to facilitate the installation of the proposed alternative energy generation features in the vicinity of the farmhouse;
- The City is the sole owner of the site, however, the floodplain areas of the site are regulated by the CVC. A permit from CVC will be required to facilitate alternations within the Regulated Area;
- Edge management/enhancement policy areas are to be established for the interfaces of the “Feature Site” with residential areas to control encroachment, illegal access and dumping as well as control the spread of invasive species into the valleylands;
- The site includes butternut trees, a species at risk which requires protection as sanctioned by the provincial government;
- Restoration initiatives should have regard for River Valley Connections Outside of the Greenbelt as identified in the Region of Peel Official Plan, Schedule D3, April 2010; and Core Areas of the Greenlands System, Official Plan Schedule A, April 2010;
- The property is presently listed on the Mississauga Heritage Register. When it is fully designated through the Ontario Heritage Act, all initiatives will be subject to a Heritage Impact Statement and a Heritage Permit through Heritage Planning, Culture Division and the Heritage Advisory Committee; and,
- All proposed initiatives should have regard for the following City of Mississauga Official Plan Designations:
  - Green System - Schedule 1/1a, September 2010;
  - Natural Areas - Schedule 3, September 2010;
  - Public and Private Open Spaces – Schedule 4, September 2010; and,
  - Greenbelt/Natural Hazards – Schedule 10, September 2010.

#### Partnership Opportunities:

The implementation of the following initiatives could benefit from partnerships with charitable organizations, horticultural and agricultural industry associations or Public-Private Partnerships with private companies. The “Feature Site” provides an ideal environment to showcase and enhance the Urban Agriculture Education and Demonstration Programming that has been developed in Mississauga. These collaborative opportunities not only enhance the breadth of education available at this “Feature Site” but may allow for the development of collaborative fundraising approaches to match municipal investment.

Partnership and charitable organizations may include:

- Operation of the proposed Sustainability Centre including the urban organic farm office and education centre;
- Operation of the temporary farm market and community garden(s);
- Operation of the Alternative Energy Generation Features – wind energy, solar energy, biofuel companies etc.; and,
- Continued support of Ecosource, a Mississauga based charitable community organization as well as organizations such as the Horticultural Trades Association/ Landscape Ontario, Evergreen; and/or, the Canadian Nursery Landscape Association (CNLA).

Private Partnership & Associations may include:

- Celebration Forest;
- Beekeeping Demonstration Area (apiary);
- Urban Organic;

- Farm Market;
- Community Garden(s); and,
- Alternative Energy Generation Feature.

Volunteerism opportunities may include:

- Restoration plantings – in accessible areas and on flat terrain;
- Maintenance in terms of the collection of litter throughout the park and reporting on damaged amenities and vandalism;
- Maintenance of restoration plantings including weeding and watering;
- Invasive species monitoring and removal;
- Waste management and composting programs;
- Creation and maintenance of community garden(s) and urban agriculture plots; and,
- Naturalist organizations to conduct interpretive walks that explain the natural and cultural heritage features of the site having specific regard for the listed farmhouse and cultural landscape.

#### **Tourism/ Education and Community Outreach:**

The following initiatives could attract visitors to the site potentially attracting revenue and contributing to cross-promotion and economic benefits for other programs, activities and businesses in the area:

- Urban agriculture, historical farmhouse and demonstrations sites could be part of a historical and environmental tour operating in the area;
- Headquarters for local hiking association meetings and events;
- Kayaking/canoeing derbies;
- Research opportunities in permaculture, soil science and urban agriculture with UTM and University of Guelph;
- Volunteer/naturalist organizations to conduct interpretive walks that explain the natural and cultural heritage features of the site having specific regard for the former Radial Railway, agricultural heritage and significance of the Credit River environmentally and to First Nations mobility and encampments;
- Visits by school groups to learn about the alternative energy demonstration facility;
- Apiary - seminars i.e. bee keeping, honey making;
- Ecosource Canada – educational programs and volunteerism;
- Farm market; and,
- Urban-agricultural facility – educational courses and conferences.

#### **Initiatives, Implementation, Phasing & Costs:**

The following Implementation initiatives have been arranged in order of priority ranging from immediate to high to moderate to low as described in Section 1.4 Implementation Phasing. The cost estimates associated with the initiatives identified in the following section include costs associated with studies/fieldwork, consultation, design and construction works the cost estimates do not include easements land/acquisition, construction contingencies, and mobilization costs (refer Appendix L for detailed summary of costs).



### Initiative 1

- A. Renovation of the heritage bridge.
- B. Rehabilitation and improvement of accessibility of the existing vehicular access route. Improvements to surfacing as well as drainage.

#### Implementation:

- Geotechnical assessment
- Structural assessment
- Geomorphological assessment
- Archaeological assessment
- Topographic survey
- Consult MNR to secure permit for site alteration within the Regulated Area
- Consult CVC to secure permit for site alteration within the Regulated Area
- Consult Transport Canada Marine for the approval of works that may alter the ability to navigate the river under the Navigable Waters Protection Act (NWP)
- Conduct Cultural Heritage Assessment of potential historical importance of laneway and surrounding landscape elements
- Conduct transportation engineering assessment (entry to laneway)
- Conduct engineering assessment of existing laneway
- Consult traffic engineer and City T&W
- Heritage Impact Statement required until designated. Once designated a Heritage Impact Statement and a Heritage Permit is required)
- Consult Heritage

#### Phasing:

- A. 0-5 years
- B. Studies & Consultation 0-5 years
- B. Design & Construct 5-10 years

#### Cost:

- A. \$231,000
- B. \$310,000

### Initiative 2

- A. Construction of a section of the primary trail from Creditview Road.
- B. Design and installation of two (2) orientation signs.

#### Implementation:

- Conduct topographic survey
- Identify flood hazards
- Consult CVC to secure permit for site alteration within the Regulated Area
- Sign Layout and graphics completed to the satisfaction of Parks and Forestry through the Park Signage Plan
- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)

#### Phasing:

- A. Primary trail 5-10 years
- B. Orientation signage 5-10 years

#### Cost:

- \$94,250

<b>Initiative 3A</b>	– Construction of the Credit River Heritage Route
Implementation:	<ul style="list-style-type: none"> <li>– Environmental Impact Statement (EIS)</li> <li>– Refine trail route based on risk assessment</li> <li>– Consult CVC to secure permit for site alteration within the Regulated Area</li> <li>– Stake confirmed trail alignment in field</li> <li>– Geomorphological assessment</li> <li>– Geotechnical assessment</li> <li>– Hydrological assessment</li> <li>– Natural heritage assessment</li> <li>– Archaeological assessment</li> <li>– Topographic survey</li> <li>– Post construction monitoring and maintenance program for trail</li> <li>– Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> </ul>
Phasing:	– 0-5 years
Cost:	– \$231,000

<b>Initiative 3B</b>	– Construction of a bridge (20m span)
Implementation:	<ul style="list-style-type: none"> <li>– Geotechnical Investigations/Slope Stability Analysis</li> <li>– Fluvial Geomorphology Investigations</li> <li>– Structural assessment</li> <li>– Archaeological assessment</li> <li>– Consult MNR to secure permit for site alteration within the Regulated Area</li> <li>– Consult CVC to secure permit for site alteration within the Regulated Area</li> <li>– Consult Transport Canada Marine for the approval of works that may alter the ability to navigate the river under the Navigable Waters Protection Act (NWPA)</li> <li>– Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> </ul>
Phasing:	– 0-10 years
Cost:	– \$101,500

<b>Initiative 3C</b>	– Construction of one removable kayak and canoe launch
Implementation:	<ul style="list-style-type: none"> <li>– Construct kayak/canoe slalom gates</li> <li>– Hydrological assessment</li> <li>– Geotechnical assessment</li> <li>– Archaeological assessment</li> <li>– Structural engineering</li> <li>– Study potential impacts of ice jams on structures</li> <li>– CVC approval for development or site alteration within the Regulated Area</li> <li>– Secure approval from DFO</li> <li>– Secure approval from Transport Canada</li> <li>– Investigate potential to suspend gates from existing renovated bridge</li> </ul>



Phasing:	- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)
Cost:	- Removable kayak/canoe launch and slalom gate 5-10 years - Kayak/canoe and slalom gates \$56,344

<b>Initiative 3D</b>	- Design and installation of five (5) orientation signs
Implementation:	- Develop signage program - Sign Layout and graphics completed to the satisfaction of Parks and Forestry through the Park Signage Plan - Heritage Impact Statement required until designated. Once designated a Heritage Impact Statement and a Heritage Permit is required)
Phasing:	- 5-10 years
Cost:	- \$10,950

<b>Initiative 4</b>	- Construction of informal picnic opportunities.
Implementation:	- Provide access to building for washrooms
Phasing:	- 0-5 years
Cost:	- \$56,250

<b>Initiative 5</b>	- Construction of one overlook
Implementation:	- Hydrological assessment - Geotechnical assessment - Archaeological assessment - Structural engineering - Study potential impacts of ice jams on structures - CVC approval for development or site alteration within the Regulated Area - Secure approval from DFO - Secure approval from Transport Canada - Investigate potential to suspend gates from existing renovated bridge - Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)
Phasing:	- 5-10 years
Cost:	- \$62,250

<b>Initiative 6</b>	- Construction of a wetlands and drainage system
Implementation:	- Environmental Impact Statement - Stormwater Management Plan - Consult CVC to secure permit for site alteration within the Regulated Area - Geomorphology - Stormwater Engineering - Natural heritage assessment - Cultural heritage assessment - Archaeological assessment

- Potential impacts from ice jams
  - Geomorphological assessment
  - Geotechnical assessment
  - Hydrological assessment
  - Natural heritage assessment
  - Topographic Survey
  - Working drawings for wetland and drainage system enhancements
  - CVC for development or site alteration within the Regulated Area
  - Construct wetlands and drainage system
  - Post construction monitoring and maintenance program for drainage works
  - Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)
- Phasing: - 0-15 years
- Cost: - \$864,650

#### Initiative 7

##### Implementation:

- Completion of an edge and sugar bush management/expansion.
- Engage Natural Heritage Specialist and Arborist to prepare Edge Management and Forest Management Plans (review and apply Provincial Management Guidelines)
- CVC approval for development or site alteration within the Regulated Area
- Consult with City of Mississauga Forestry
- Implement Plan Recommendations
- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)

##### Phasing:

##### Cost:

- 0-15 years
- \$724,500

#### Initiative 8

##### Implementation:

- Construction of sustainable parking area #1. Incorporate L.I.D. techniques including stormwater quantity control and water quality improvement
- Topographic survey
- Geotechnical study
- Archaeological study
- L.I.D. Feasibility Study
- CVC approval for development or site alteration within the Regulated Area
- Consult with City of Mississauga engineering and T&W
- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)

##### Phasing:

##### Cost:

- Studies & consultation 0-5 years
- Design & construct 5-10 years
- \$537,250



<b>Initiative 9</b>	– Renovation of farm building and outbuildings to create sustainability office and organic farm service and storage building.	
Implementation:	<ul style="list-style-type: none"> <li>– Conduct feasibility study with cultural heritage specialist to review adaptive potential of existing farmhouse and out buildings; complete operations plan</li> <li>– Consult with NGOs to identify an organization to operate the organic farm complex and office</li> <li>– Engage architect/engineers to design the modifications and access roads</li> <li>– Engage accessibility specialist</li> <li>– Establish building/re-development and fire permits</li> <li>– Re-develop farm building and construct equipment storage buildings and access roads</li> <li>– Consult with potential NGO's for site such as Ecosource</li> <li>– Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> </ul>	
Phasing:	– Studies, Consultation & design	5-10 years
	– Construct	10-15 years
Cost:	– \$874,000	

<b>Initiative 10</b>	<ul style="list-style-type: none"> <li>– A. Implementation of urban-organic farm including the following:</li> <li>– B. Pedestrian Pathway through demonstration sites connecting to 2nd Line West</li> <li>– C. Bridge (20m span) across Fletcher's Creek east of "Feature Site"</li> <li>– D. Urban and organic agriculture demonstration sites</li> <li>– E. Sustainability office (in farmhouse) <ul style="list-style-type: none"> <li>i Urban agriculture office</li> <li>ii Compost/organic fertilizer production office</li> <li>iii Youth/volunteer training office</li> </ul> </li> <li>– F. Greenhouse</li> </ul>	
Implementation:	<ul style="list-style-type: none"> <li>– Toxicology and contamination testing</li> <li>– Environmental Impact Statement</li> <li>– Economic Impact Study</li> <li>– Business Plan and Operations Plan</li> <li>– Organic Agricultural Management Plan</li> <li>– Soil science/geotechnical, archaeological and cultural heritage assessments</li> <li>– Consult with Region of Peel</li> <li>– Consult with potential NGO's for site, such as Ecosource</li> <li>– Consult CVC to secure permit for site alteration within the Regulated Area</li> <li>– Consult with Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA)</li> <li>– Topographic survey</li> <li>– Geotechnical assessment</li> <li>– Geomorphological assessment</li> <li>– Structural assessment</li> <li>– Archaeological assessment</li> </ul>	

- Consult MNR to secure permit for site alteration within the Regulated Area
  - Consult urban agrarian/permaculture specialists to design demonstration plots
  - Establish agriculture production systems/schedules
  - Develop irrigation plan (L.I.D. rainwater harvesting)
  - Establish MOE permit 'to take water' (if no rainwater harvesting)
  - Consult Urban-Agricultural Specialists, University of Toronto Mississauga (UTM), local schools and colleges
  - Engage architect/engineer to design the research facility
  - Establish building/development and fire permits
  - Consult compost and fertilizer production companies
  - Engage architect/engineer to design the research facility
  - Consult greenhouse operators
  - Consult Ontario Greenhouse Alliance (TOGA)
  - Consult Health Canada
  - Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)
- |          |   |
|----------|---|
| Phasing: | <ul style="list-style-type: none"> <li>- A. Urban-organic farm      5-15 years</li> <li>- B. Pedestrian pathway      10-15 years</li> <li>- C. Bridge      10-15 years</li> <li>- D. Agriculture demonstration sites      0-5 years</li> <li>- E. Sustainability Office (in farmhouse) <ul style="list-style-type: none"> <li>i Urban agriculture office      5-10 years</li> <li>ii Compost/organic fertilizer production office      5-15 years</li> <li>iii Youth/volunteer training office      10-15 years</li> </ul> </li> <li>- F. Greenhouse      &gt;15 years</li> </ul> |
| Cost:    | <ul style="list-style-type: none"> <li>- A. Urban-organic farm      \$952,500</li> <li>- B. Pedestrian pathway      \$43,600</li> <li>- C. Bridge      \$101,000</li> <li>- D. Agriculture demonstration sites      \$753,500</li> <li>- E. Sustainability office (in farmhouse)      \$1,557,500 <ul style="list-style-type: none"> <li>i Urban agriculture office</li> <li>ii Compost/organic fertilizer production office</li> <li>iii Youth/volunteer training office</li> </ul> </li> <li>- F. Greenhouse      \$857,500</li> </ul>  |

#### Initiative 11

- Construction of a sustainable parking area #2 includes access road from Creditview Road. Incorporate L.I.D. techniques including stormwater quantity control and water quality improvements

#### Implementation:

- Topographic survey
- Geotechnical study
- Archaeological study
- L.I.D. Feasibility Study
- CVC approval for development or site alteration within the Regulated Area
- Consult with City of Mississauga engineering and T&W
- Consult with potential NGO's for site such as Ecosource



Phasing:	<ul style="list-style-type: none"> <li>- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> <li>- Studies &amp; consultation</li> <li>- Design &amp; construct</li> </ul>	<ul style="list-style-type: none"> <li>5-10 years</li> <li>10-15 years</li> </ul>
Cost:	<ul style="list-style-type: none"> <li>- \$342,750</li> </ul>	
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<b>Initiative 12</b>	<ul style="list-style-type: none"> <li>- A. Design and construction of two (2) entrance features</li> <li>- B. Implementation of landscape enhancements at entrance and access route</li> </ul>	
Implementation:	<ul style="list-style-type: none"> <li>- Conduct traffic study (pedestrian safety/crossing)</li> <li>- Consult City T&amp;W and Transportation Consultant for entry point and potential pedestrian crossing of laneway</li> <li>- Design pedestrian crossings (no signal)</li> <li>- Signal Warrant Study and permits (for main entry)</li> <li>- Consult with on-site NGO's/tenants</li> <li>- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> </ul>	
Phasing:	<ul style="list-style-type: none"> <li>- Studies &amp; consultation</li> <li>- Design &amp; construct</li> </ul>	<ul style="list-style-type: none"> <li>5-10 years</li> <li>10-15 years</li> </ul>
Cost:	<ul style="list-style-type: none"> <li>- A. Entrance features</li> <li>- B. Enhancement plantings</li> </ul>	<ul style="list-style-type: none"> <li>\$674,400</li> <li>\$111,000</li> </ul>
<hr/>		
<b>Initiative 13</b>	<ul style="list-style-type: none"> <li>- Construction of a community garden(s) and utility building</li> </ul>	
Implementation:	<ul style="list-style-type: none"> <li>- Consult with NGO's, Volunteer/Stewardship Organizations</li> <li>- CVC for development or site alteration within the Regulated Area</li> <li>- Establish building/development and fire permits</li> <li>- Consult with on-site NGO's/tenants</li> <li>- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> </ul>	
Phasing:	<ul style="list-style-type: none"> <li>- Studies &amp; consultation</li> <li>- Design &amp; construct</li> </ul>	<ul style="list-style-type: none"> <li>0-15 years</li> <li>10-15 years</li> </ul>
Cost:	<ul style="list-style-type: none"> <li>- \$187,000</li> </ul>	
<hr/>		
<b>Initiative 14</b>	<ul style="list-style-type: none"> <li>- Construction of a farm market</li> </ul>	
Implementation:	<ul style="list-style-type: none"> <li>- Business Plan to study most efficient use of tableland</li> <li>- Business Plan and Operations Plan</li> <li>- Economic Impact Study</li> <li>- Seek private partners and/or potential vendors</li> <li>- Consult with Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA)</li> <li>- Obtain licensing agreement</li> <li>- Engage architect/engineer to design structure</li> <li>- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> </ul>	
Phasing:	<ul style="list-style-type: none"> <li>- Studies &amp; Consultation</li> </ul>	<ul style="list-style-type: none"> <li>5-10 years</li> </ul>

Cost:	<ul style="list-style-type: none"> <li>- License, Design &amp; Construct</li> <li>- \$313,000</li> </ul>	10-15 years
<hr/>		
<b>Initiative 15</b>	<ul style="list-style-type: none"> <li>- A. Construction of a section of the secondary trail flanking demonstration sites and following the radial railway</li> <li>- B. Design and installation of two (2) orientation signs</li> </ul>	
Implementation:	<ul style="list-style-type: none"> <li>- Topographic survey</li> <li>- Geotechnical assessment</li> <li>- Cultural heritage assessment</li> <li>- Archaeological assessment</li> <li>- CVC approval for development or site alteration within the Regulated Area</li> <li>- Install with guidance from CVC</li> <li>- Install with guidance from City</li> <li>- Install with guidance from Heritage Mississauga (portion that follows radial railway)</li> <li>- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> </ul>	
Phasing:	<ul style="list-style-type: none"> <li>- A. Secondary trail</li> <li>- B. Orientation signage (secondary trail)</li> </ul>	5-10 years 5-10 years
Cost:	<ul style="list-style-type: none"> <li>- A. Secondary trail</li> <li>- B. Orientation signage (secondary trail)</li> </ul>	\$122,500 \$4,750

<b>Initiative 16</b>	<ul style="list-style-type: none"> <li>- Construction of an alternative energy demonstration area</li> </ul>	
Implementation:	<ul style="list-style-type: none"> <li>- Alternate Energy Generation Feasibility Study</li> <li>- Contamination testing</li> <li>- Prepare Operations Plan</li> <li>- Viewshed Analysis</li> <li>- CVC for development or site alteration within the Regulated Area</li> <li>- Consult with Region of Peel</li> <li>- Consult with MTO</li> <li>- Consult with public</li> <li>- Consult with NGO's</li> <li>- Consult with alternative energy source companies</li> <li>- Consult with Hydro One</li> <li>- Consult with on-site NGO's/tenants</li> <li>- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)</li> </ul>	
Phasing:	<ul style="list-style-type: none"> <li>- Studies</li> <li>- Consultation, design &amp; construct</li> </ul>	5-10 years 10-15 years
Cost:	<ul style="list-style-type: none"> <li>- \$1,681,500</li> </ul>	

<b>Initiative 17</b>	<ul style="list-style-type: none"> <li>- Construction of an apiary</li> </ul>	
Implementation:	<ul style="list-style-type: none"> <li>- Conduct Business and Operations Plans</li> <li>- Prepare Public Safety Plan</li> <li>- Contact Beekeeping Clubs/Organizations</li> <li>- Consult with Ontario Ministry of Agriculture, Food and Rural</li> </ul>	



Affairs (OMAFRA)  
 - Heritage Impact Statement required until designated. Once designated a Heritage Impact Statement and a Heritage Permit is required)  
 Phasing: - >15 years  
 Cost: - \$96,000

**Initiative 18**  
 Implementation: - Implementation of celebration forest  
 - Develop Commemorative Planting Strategy  
 - Apply for relevant grant/funding programs  
 - Consult with Heritage Mississauga  
 - Consult with City Heritage staff  
 - CVC approval for development or site alteration within the Regulated Area (contribution of trees to native canopy)  
 - Consult with local interest groups  
 - Consult with volunteer organizations and cemeteries  
 - Consult with other municipalities with similar programs  
 - Consult with on-site NGO's/tenants  
 - Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)  
 Phasing: - 10->15years  
 Cost: - \$136,500

**Initiative 19**  
 Implementation: - Implementation of woodland reforestation  
 - Conduct natural heritage assessment  
 - Conduct study impacts of flooding and ice jams  
 - Develop stewardship program  
 - Apply for relevant grant/funding programs  
 - CVC for development or site alteration within the Regulated Area  
 - Consult with UTM and colleges  
 - Consult with community organizations  
 - Consult with City of Mississauga Parks and Forestry  
 - Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)  
 Phasing: - 0->15years  
 Cost: - \$1,029,000

**Initiative 20**  
 Implementation: - Creation of meadow landscapes  
 - Natural heritage assessments to determine existing habitat and potential enhancement opportunities  
 - Conduct Archaeological Assessment(s) Stage 1 & 2 (if required)  
 - CVC approval for development or site alteration within the Regulated Area  
 - Consult with Heritage Mississauga  
 - Consult with Municipal operations staff  
 - Prepare cultivation, planting/seeding plans

	- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)	
Phasing:	- Studies & Consultation	5-10 years
	- Construct	10->15 years
Cost:	- \$190,700	

#### Initiative 21

Implementation:	- Design and installation of seven (7) interpretive signs	
	- Develop Interpretive Signage Plan	
	- Sign Layout and graphics completed to the satisfaction of Parks and Forestry through the Park Signage Plan	
	- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)	
Phasing:	- 5->15 years	
Cost:	- \$36,250	

#### Initiative 22

Implementation:	- Construction of a lookout tower (retrofit existing silo)	
	- Geotechnical Assessment	
	- Structural Assessment	
	- Design of retrofit scenario	
	- Heritage Impact Statement required until designated. Once designated, a Heritage Impact Statement and a Heritage Permit is required)	
Phasing:	- >15 years	
Cost:	- \$227,500	



**RICK MATELJAN** B. A. Lic. Tech. OAA CAHP  
 3566 Eglinton Ave. W., Mississauga, ON  
 (t) 416 315 4567 (e) rick.mateljan@smda.ca

## curriculum vitae

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### Education:

#### **Trinity College, University of Toronto**

- B. A. (4 year) (Specialist English, Specialist History)

#### **Ryerson Polytechnic University**

- detailing of residential and institutional buildings, OBC, technical and presentation drawing

#### **Royal Architectural Institute of Canada Syllabus Program**

- program of architectural education through practical and design studio experience

### Employment:

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2010 - Present

#### **SMDA Design Ltd. (Owner)**

- (formerly Strickland Mateljan Design Associates Ltd.)
- architectural design practice specializing in custom residential and small commercial /institutional projects, land development consultation, residential infill, adaptive re-use, heritage conservation
- contract administration, tendering, site review for private and institutional clients
- heritage and urban design consulting for complex infill projects
- responsible for management, business development, marketing and project delivery
- extensive experience with building technical issues, integration of building systems, barrier-free issues, change of use issues, Ontario Building Code
- extensive experience in multi-disciplinary team environments
- extensive experience in municipal approvals, heritage approvals
- Ontario Association of Architects licence with terms, conditions and limitations
- qualified to give expert testimony on matters of Urban Design and Heritage Conservation to Ontario Local Planning Appeal Tribunal (LPAT) (2019)

2001 - 2010

#### **Gren Weis Architect and Associates, Designer and Project Manager**

- design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdiction
- extensive client, consultant and building site involvement
- specialist at Municipal Approvals, Site Plan and Re-zoning approvals
- specialist at renovation and conservation of Heritage buildings, infill developments in Heritage communities

1993-2001

**Diversified Design Corporation, Owner**

- conceptual design, design development, working drawings, approvals for custom residential, institutional and commercial projects
- construction management and hands-on construction

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**Recent professional development:**

2022	Canadian Association of Heritage Professionals (Building Specialist)
2019	OAA Conference, Quebec City PQ
2018	Ontario Heritage Association Conference, Sault St. Marie ON
2017	RAIC/OAA Conference, Ottawa ON
2017	Ontario Heritage Association Conference, Ottawa ON
2012	OAA – Admission Course
2011	Ontario Heritage Association Conference, Cobourg ON
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	First appearance before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

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**Activities:**

2022-present	Member, OAA Integration Committee
2016-2019	Member, OAA Practice Committee
2015-present	Guest critic, Centennial College Architectural Technology Program
2014-2015	Guest critic, University of Waterloo Architectural Practice Program
2012-2022	Member, Board of Directors, OAAAS (President from 2018)
2011-2016	Member and contributing writer, Editorial Committee, OAA Perspectives magazine
2008-2015	Member, Board of Directors of Oakville Galleries (President 2011-2013)
2007-2020	Member, Mississauga Heritage Advisory Committee (vice-chair 2015-2019), member of the Heritage Award jury and Heritage Property Grant Panel
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)

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**Memberships:**

Ontario Association of Architects (OAA)  
 Canadian Association of Heritage Professionals (CAHP)  
 (former) Ontario Association of Applied Architectural Sciences (OAAAS)