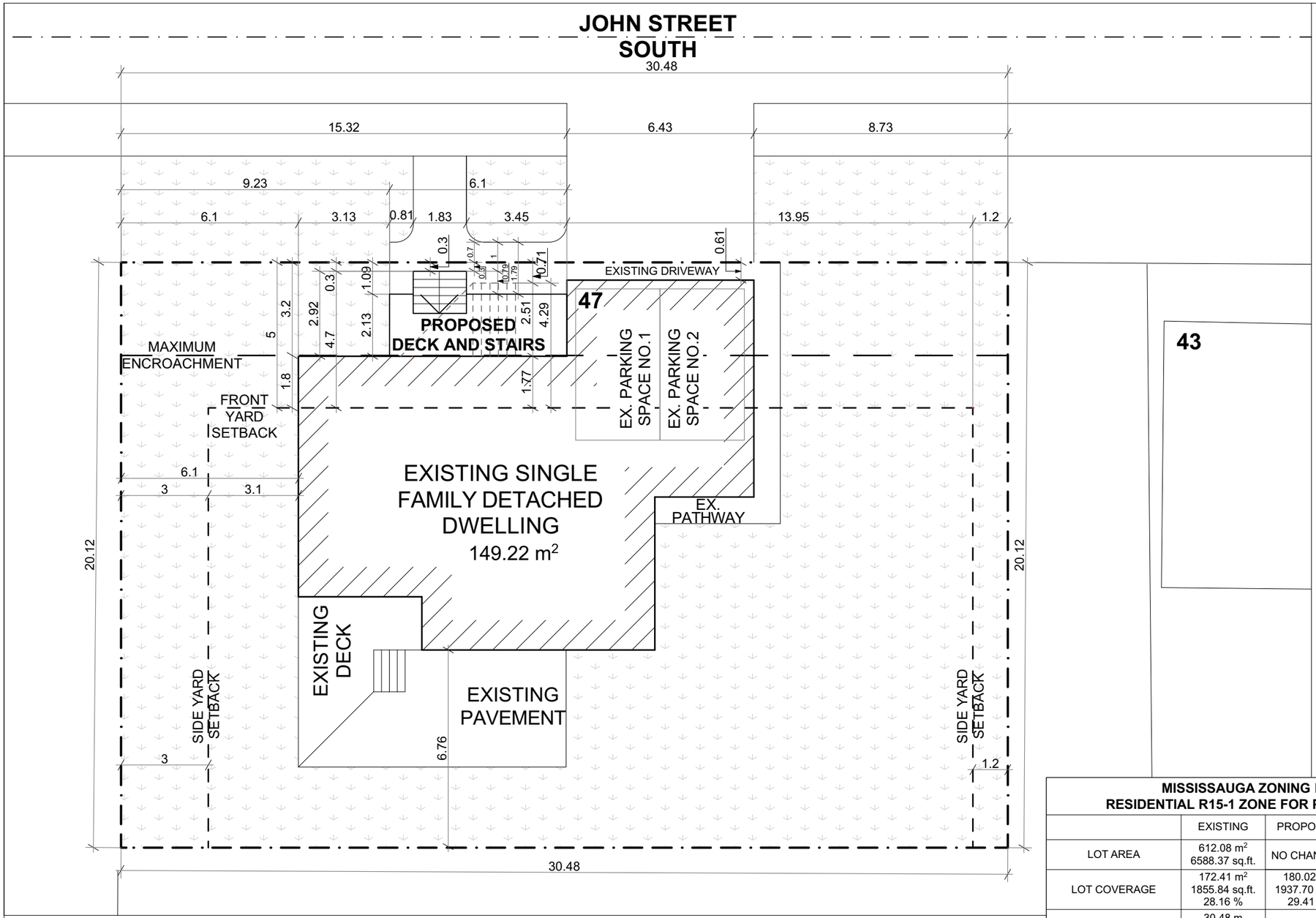

LEGEND

- EXISTING LOT BOUNDARY
- EXISTING DWELLING TO REMAIN
- ZONING BY-LAW SETBACKS
- LANDSCAPE AREA
- EXISTING ELEMENTS TO BE REMOVED

MISSISSAUGA ZONING BY-LAW 0225-2007
RESIDENTIAL R15-1 ZONE FOR PROPOSED FRONT PORCH

	EXISTING	PROPOSED	REQUIRED	COMPLIANT
LOT AREA	612.08 m² 6588.37 sq.ft.	NO CHANGES	MIN. 460 m² 4951.4 sq.ft.	YES
LOT COVERAGE	172.41 m² 1855.84 sq.ft. 28.16 %	180.02 m² 1937.70 sq.ft. 29.41 %	MAX. 40%	YES
LOT FRONTAGE	30.48 m 100'	NO CHANGES	MIN. 12 m 39' - 4 1/2"	YES
FRONT YARD SETBACK - SOUTH	**0.61 m 2'-0"**	**0.3 m 1'-0"**	**5 m 16'-4 7/8"**	**NO**
ENCROACHMENT OF FRONT PORCH	**4.29 m 14'-7/8"**	**4.7 m 15'-5"**	**MAX. 1.8m 5'-10 7/8"**	**NO**
DISTANCE FROM FRONT PORCH TO LOT LINE	0.72 m 2'-4 3/8"	0.3 m 0'-11 3/4"	MAX. 0.2m 7'-7/8"	/
BUILDING HEIGHT	6.23m 20'-5 1/4"	NO CHANGES	MAX. 9 m 29'-6 3/8"	YES
LANDSCAPE AREA	389.95 m² 4197.34 sq.ft. 63.70 %	357.23 m² 3845.17 sq.ft. 58.36 %	MIN. 40%	YES
DRIVEWAY WIDTH	6.43 m 21'-1 1/8" 21.09 %	NO CHANGES	LESSER OF 8.5m OR 50% OF LOT FRONTAGE	YES
PARKING	2	2	MIN. 2	YES

Appendix 1 - 47 John St S

PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
REV 4	

DESIGN FIRM

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CLIENT

Catherine Phelan and Rick Christiansen

PROJECT

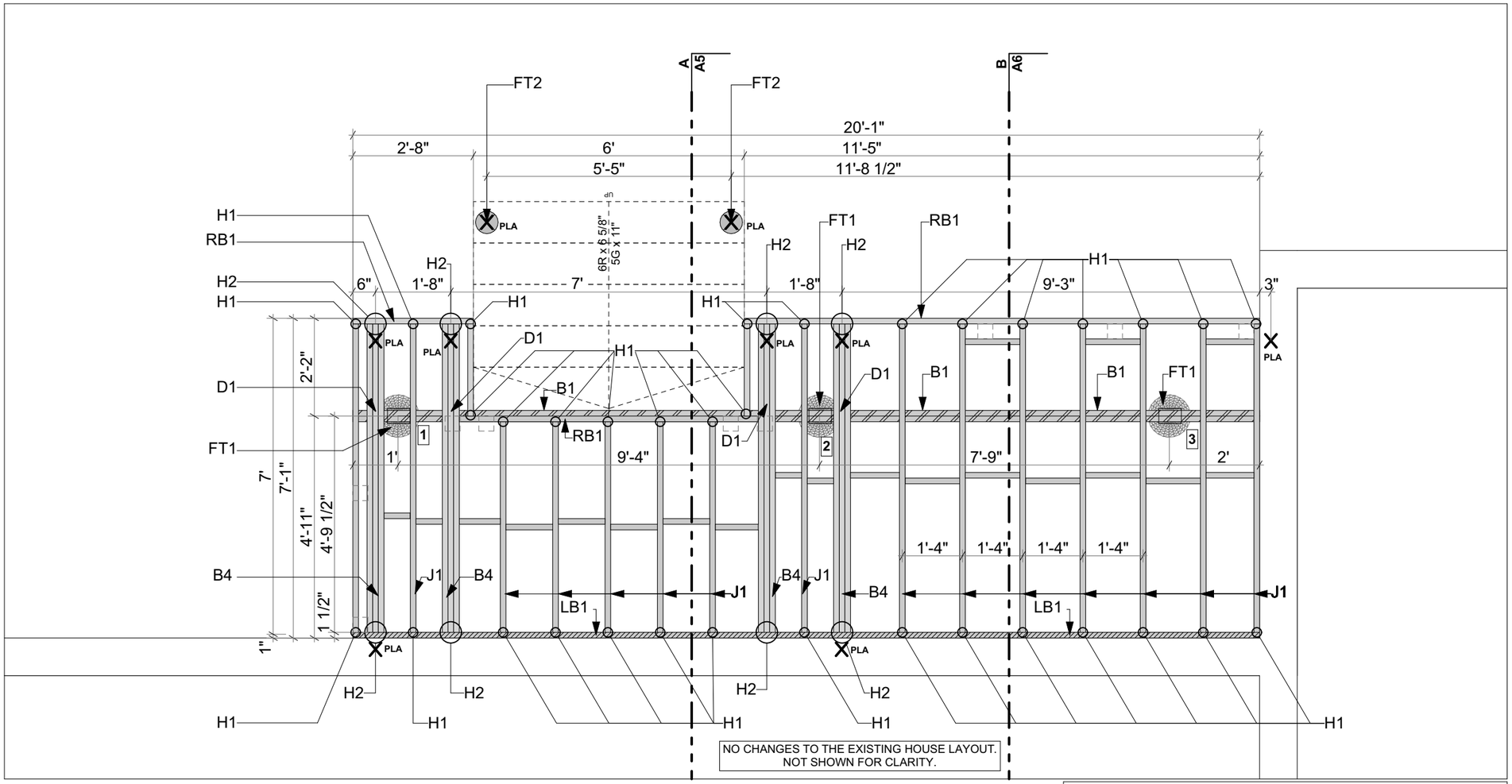
PROPOSED FRONT PORCH

47 John St S, Mississauga, ON L5H 2E7

TITLE

SITE PLAN

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE 1:150	SHEET A1



NO CHANGES TO THE EXISTING HOUSE LAYOUT.
NOT SHOWN FOR CLARITY.

LEGEND:

J1: 2"x8" S-P-F NO.1/NO.2 @ 16 O.C.

LB1: 2"x8" S-P-F NO.1/NO.2.

RB1: 2"x8" S-P-F NO.1/NO.2.

H1: SIMPSON STRONG-TIE LUS28 HANGERS WITH
(6) N10 COMMON NAILS FACE FASTENERS AND
(4) 10D COMMON NAILS JOIST FASTENERS

H2: SIMPSON STRONG-TIE LUS28-3 HANGERS WITH
(6) N10 FACE FASTENERS AND (4) 10D COMMON NAILS
CARRIED BEAM FASTENERS

B1: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x12" (3"x11-1/4")

B4: BUILT-UP S-P-F, NO.1/NO.2, 2"x8" 3-PLY (4-1/2"x7-1/4")

D1: DIAGONAL SUPPORT
BUILT-UP S-P-F, NO.1/NO.2, 2"x8" 3-PLY (4-1/2"x7-1/4")

PLA POINT LOAD FROM ABOVE

FT1: PRE-ENG HELICAL PIERS TO BE INSTALLED
BY OTHERS

FT2: 6" CONCRETE PIER SUPPORTING THE STAIR
RAILING POST, MIN. 48" BELOW GRADE

ENGINEERING STAMP

PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
REV 4	

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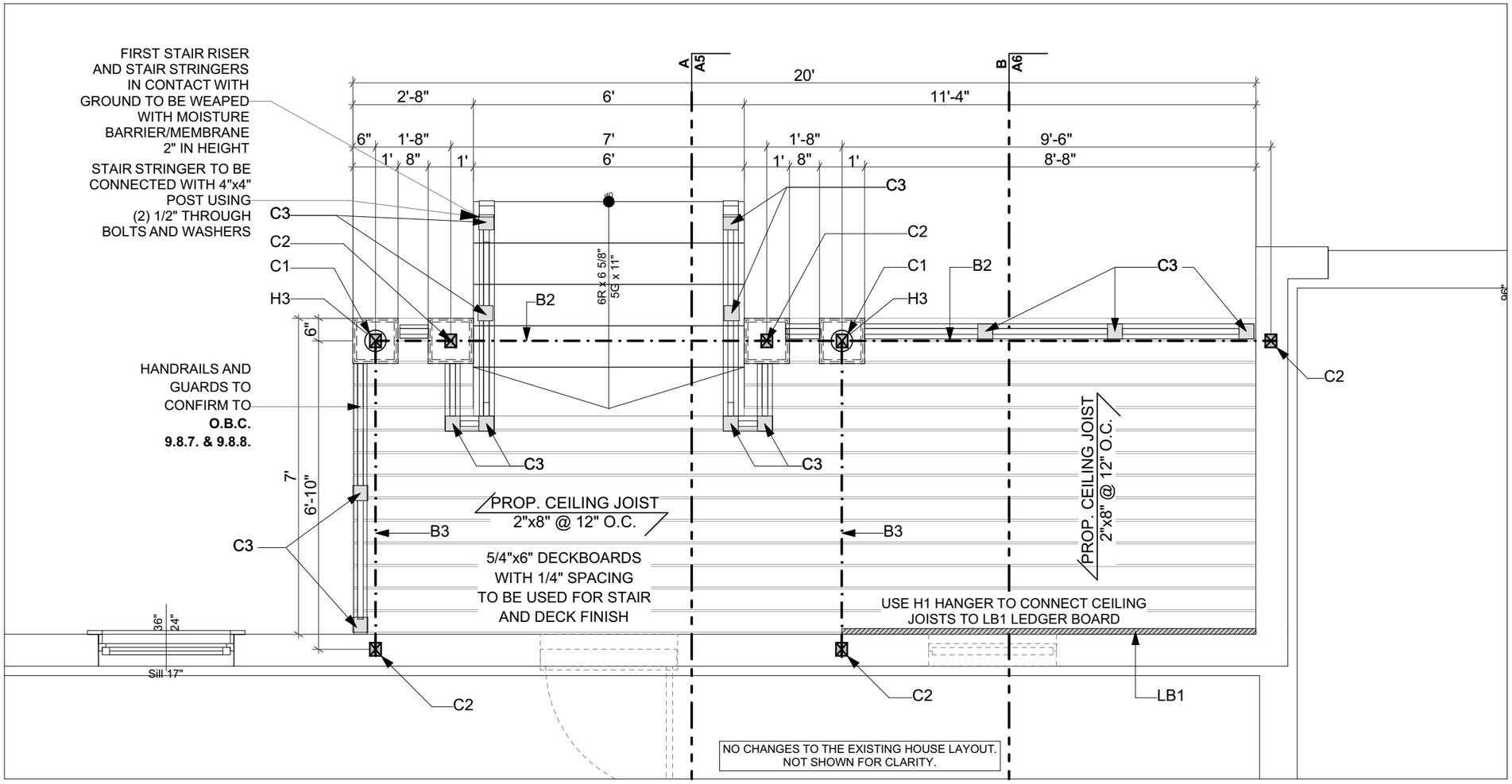
PROPOSED FRONT PORCH

47 John St S, Mississauga, ON L5H 2E7

TITLE

PROPOSED FLOOR CONSTRUCTION

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE 3/8" = 1'-0"	SHEET A2



LEGEND:

B2: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x10" (3"x9-1/4")

B3: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x10" (3"x9-1/4")

H1: SIMPSON STRONG-TIE LUS28 HANGERS WITH (6) N10 COMMON NAILS FACE FASTENERS AND (4) 10D COMMON NAILS JOIST FASTENERS

H3: SIMPSON STRONG-TIE HUS28-2 HANGERS WITH (6) N10 FACE FASTENERS AND (4) 10D COMMON NAILS JOISTS FASTENERS

C1: BUILT-UP S-P-F, NO.1/NO.2, 3-PLY 2"x4" (4-1/2"x3-1/2")

C2: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x4" (3"x3-1/2")

C3: DECORATIVE 4"x4" WOOD POST FOR GUARDS

LB1: 2"x8" S-P-F NO.1/NO.2.

ENGINEERING STAMP

PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
REV 4	

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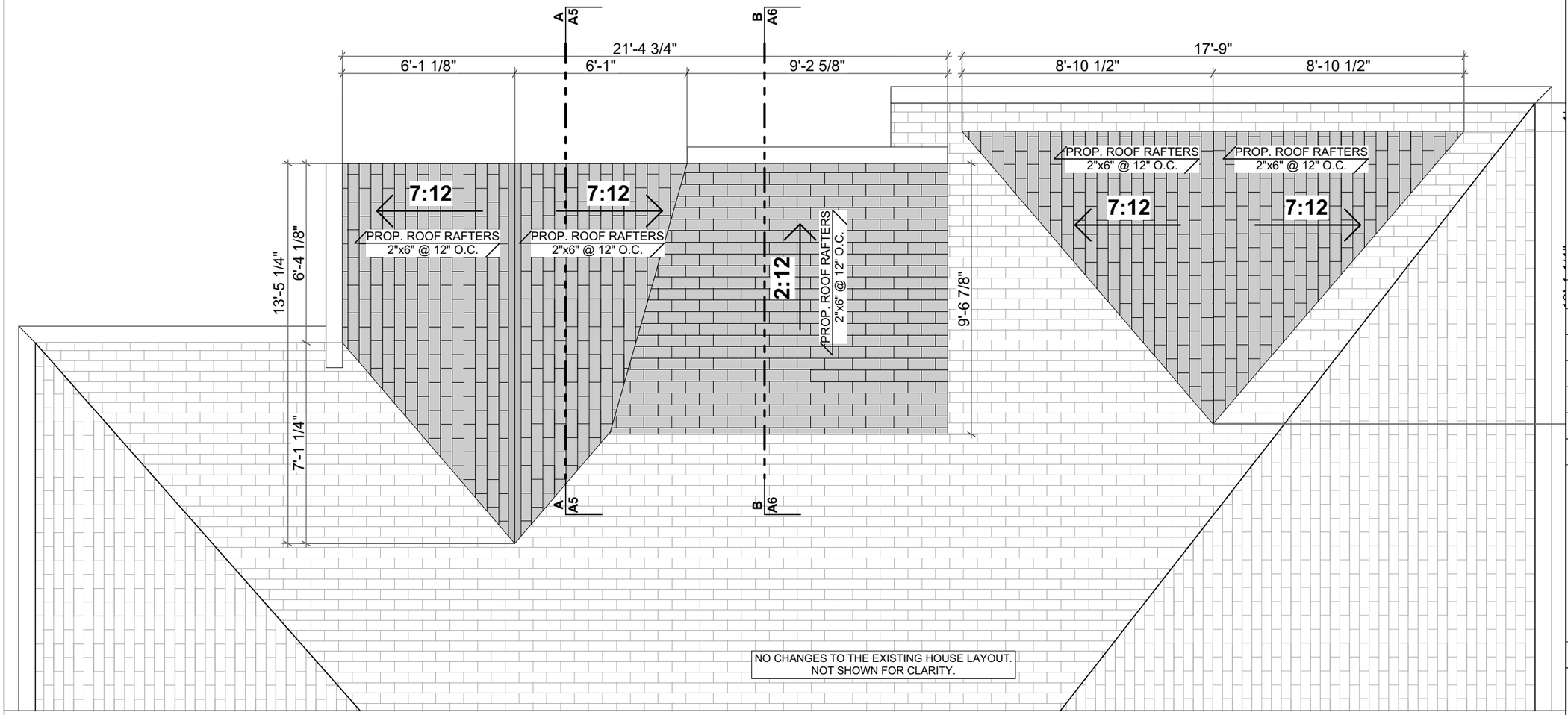
PROPOSED FRONT PORCH

47 John St S, Mississauga, ON L5H 2E7

TITLE

PROPOSED FRONT PORCH

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE 3/8" = 1'-0"	SHEET A3



LEGEND

- EXISTING ROOF - NO CHANGES
- PROPOSED ROOF - COVERED WITH ASPHALT SHINGLES

ENGINEERING STAMP

PROJECT NUMBER	22-KNG-164
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REV 4	

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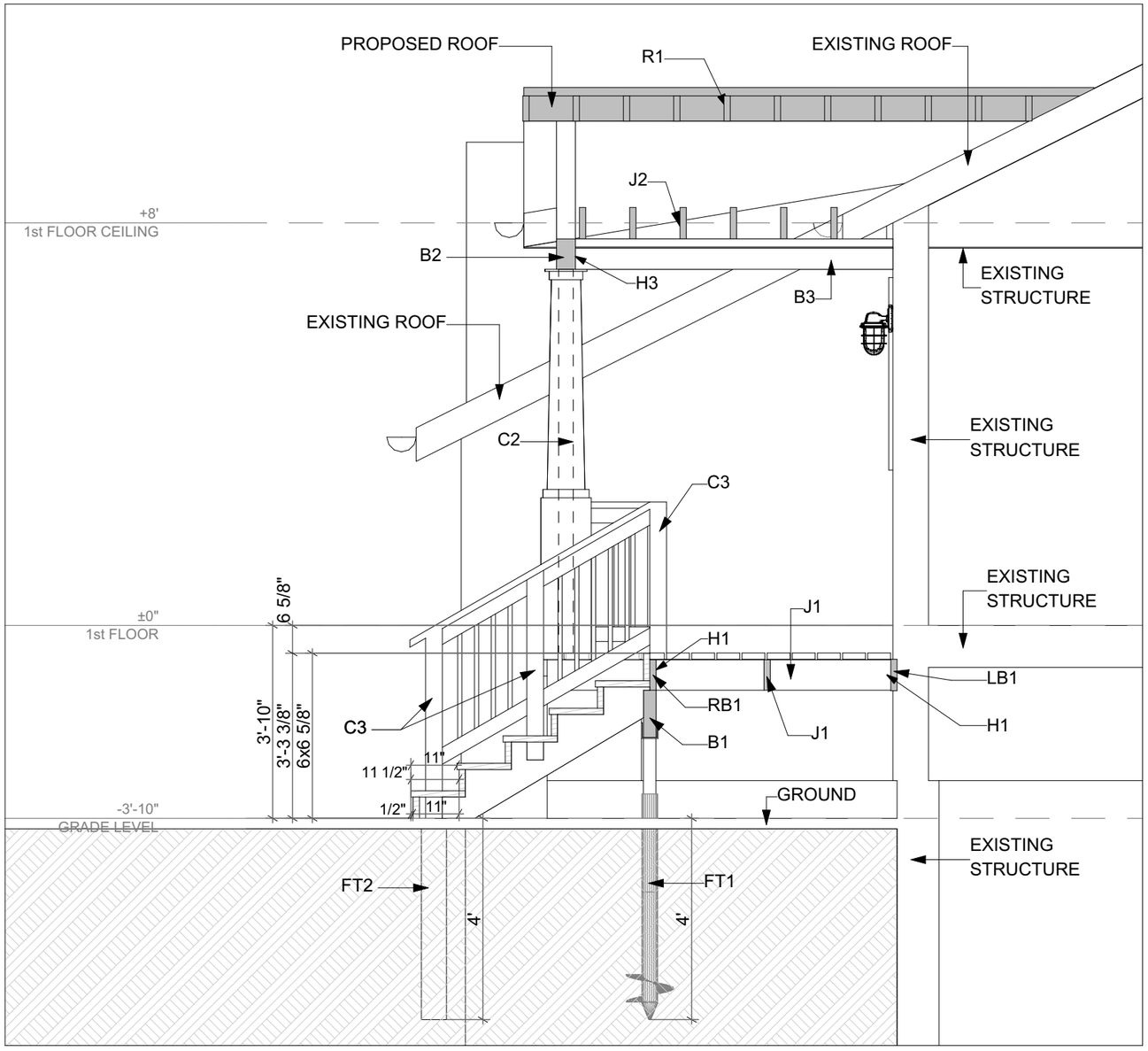
PROPOSED FRONT PORCH

47 John St S, Mississauga, ON L5H 2E7

TITLE

PROPOSED ROOF

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE 1/4" = 1'-0"	SHEET A4



LEGEND:

J1: 2"x8" S-P-F NO.1/NO.2 @ 16 O.C.

J2: 2"x8" S-P-F NO.1/NO.2 @ 12 O.C.

LB1: 2"x8" S-P-F NO.1/NO.2.

RB1: 2"x8" S-P-F NO.1/NO.2.

B1: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x12" (3"x11-1/4")

B2: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x10" (3"x9-1/4")

B3: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x10" (3"x9-1/4")

C2: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x4" (3"x3-1/2")

C3: DECORATIVE 4"x4" WOOD POST FOR GUARDS

R1: S-P-F NO.1/NO.2, 2"x6" @ 12 O.C.

H1: SIMPSON STRONG-TIE LUS28 HANGERS WITH (6) N10 COMMON NAILS FACE FASTENERS AND (4) 10D COMMON NAILS JOIST FASTENERS

H3: SIMPSON STRONG-TIE HUS28-2 HANGERS WITH (6) N10 FACE FASTENERS AND (4) 10D COMMON NAILS JOISTS FASTENERS

FT1: PRE-ENG HELICAL PIERS TO BE INSTALLED BY OTHERS

FT2: 6" CONCRETE PIER SUPPORTING THE STAIR RAILING POST, MIN. 48" BELOW GRADE

SCOPE OF WORK:

- (3) PRE-ENG HELICAL PIERS TO BE INSTALLED AS PER DRAWINGS FOR FRONT PORCH.
- SUPPORTING SADDLE (5 1/2" U-BRACKET) TO BE INSTALLED ON ALL HELICAL PIERS AND ADJUSTED TO THE SAME HEIGHT. MINIMUM 6" FROM THE GROUND.
- INSTALL 6" CONCRETE PIER SUPPORTING THE STAIR RAILING POST, MIN. 48" BELOW GRADE.
- CONCRETE PIERS SHALL BEAR ON SOLID GROUND AT A MINIMUM OF 48" BELOW GRADE FOR FROST PROTECTION.
- CONCRETE PIERS SHALL BE DEEPER IF SOLID GROUND IS NOT FOUND. BEARING CONDITIONS MUST BE VERIFIED BY THE BUILDING INSPECTOR PRIOR TO PLACEMENT OF CONCRETE.
- INSTALL PEEL-AND-STICK BITUMINOUS FLASHING MEMBRANE PRIOR TO THE LEDGER BOARD INSTALLATION.
- INSTALL 2"x8" PRESSURE TREATED DECK LEDGER BOARD, C/W 3 OFFSET ROWS OF 3 1/2" STRUCTURAL SCREWS.
- INSTALL FLASHING AS PER DETAIL TO DEFLECT WATER FROM THE LEDGER BOARD.
- DECK TO BE FRAMED USING 2"x8" @ 16" O.C. PRESSURE TREATED JOISTS AS PER DRAWING.
- 5/4"x6" DECKBOARDS WITH 1/4" SPACING TO BE USED FOR STAIR AND DECK FINISH.
- HANDRAILS AND GUARDS TO CONFIRM TO O.B.C. 9.8.7. & 9.8.8.
- TO PREVENT WEEDS FROM GROWING BENEATH YOUR DECK, YOU SHOULD APPLY A GROUND COVERING OF LANDSCAPE FABRIC, FOLLOWED BY 3–4 INCHES OF GRAVEL

O.B.C. Table 9.8.4.1.						
STAIR TYPE	ALL STEPS		RECTANGULAR TREADS			
	RISE, mm (in)		RUN, mm (in)		TREAD DEPTH, mm (in)	
	MAX.	MIN.	MAX.	MIN.	MAX.	MIN.
PRIVATE	200 (7 7/8)	125 (4 7/8)	355 (14)	255 (10)	355 (14)	235 (9 1/4)

ENGINEERING STAMP

PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
REV 4	

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PROJECT

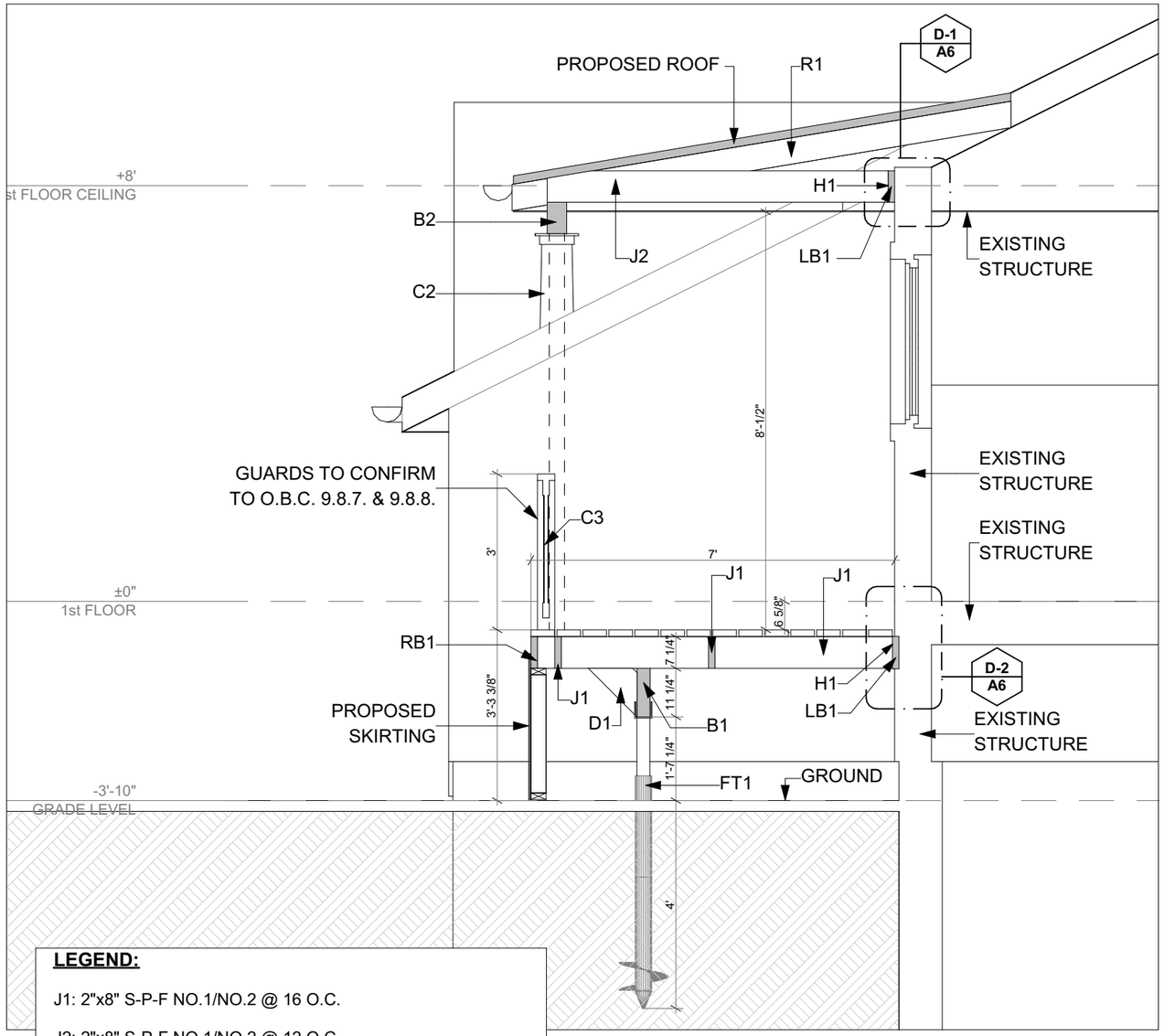
PROPOSED FRONT PORCH

47 John St S, Mississauga, ON L5H 2E7

TITLE

SECTION A-A

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE 3/8" = 1'-0"	SHEET A5



LEGEND:

J1: 2"x8" S-P-F NO.1/NO.2 @ 16 O.C.

J2: 2"x8" S-P-F NO.1/NO.2 @ 12 O.C.

LB1: 2"x8" S-P-F NO.1/NO.2.

RB1: 2"x8" S-P-F NO.1/NO.2.

B1: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x12" (3"x11-1/4")

B2: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x10" (3"x9-1/4")

H1: SIMPSON STRONG-TIE LUS28 HANGERS WITH
(6) N10 COMMON NAILS FACE FASTENERS AND
(4) 10D COMMON NAILS JOIST FASTENERS

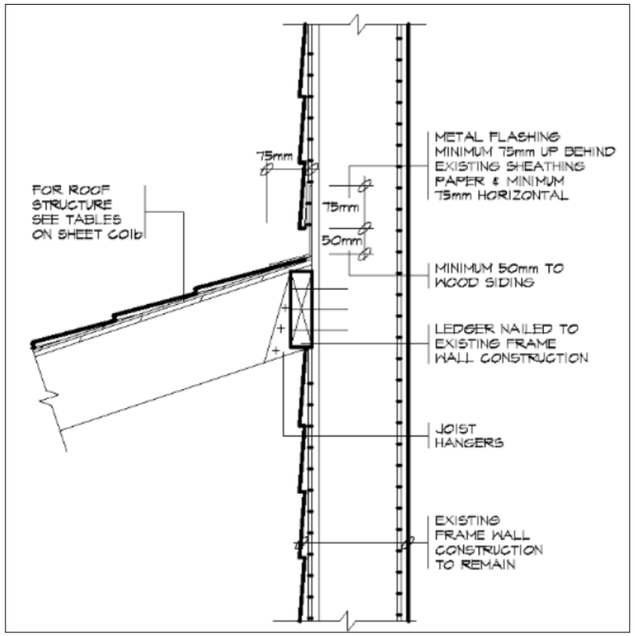
C2: BUILT-UP S-P-F, NO.1/NO.2, 2-PLY 2"x4" (3"x3-1/2")

C3: DECORATIVE 4"x4" WOOD POST FOR GUARDS

R1: S-P-F NO.1/NO.2, 2"x6" @ 12 O.C.

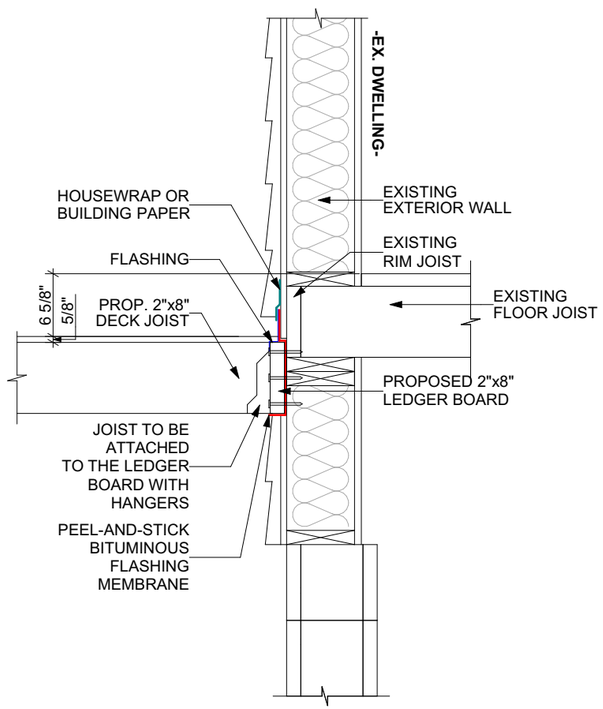
D1: DIAGONAL SUPPORT
BUILT-UP S-P-F, NO.1/NO.2, 2"x8" 3-PLY (4-1/2"x7-1/4")

STANDARD DETAILD D-1



DETAIL D-2 3/4" = 1'-0"

LEDGER BOARD CONNECTION DETAIL



ENGINEERING STAMP

PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
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PROJECT

PROPOSED FRONT PORCH

47 John St S, Mississauga, ON L5H 2E7

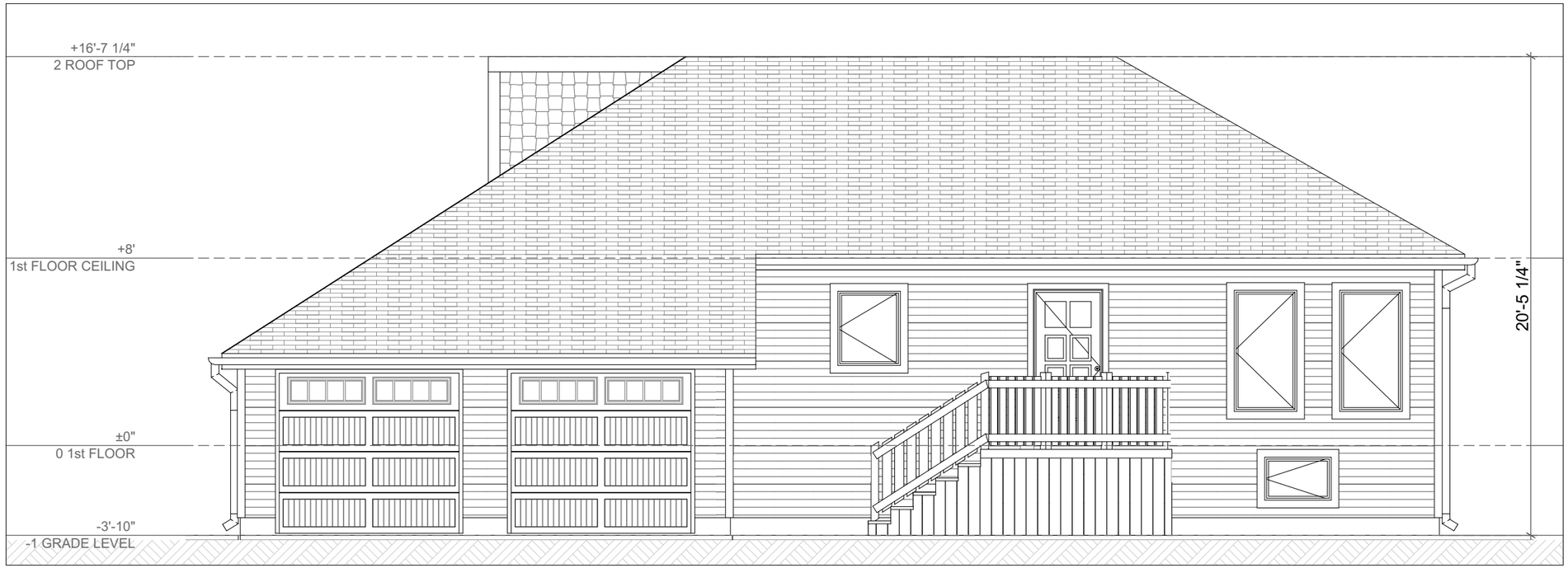
TITLE

SECTION B-B

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE 3/8" = 1'-0"	SHEET A6

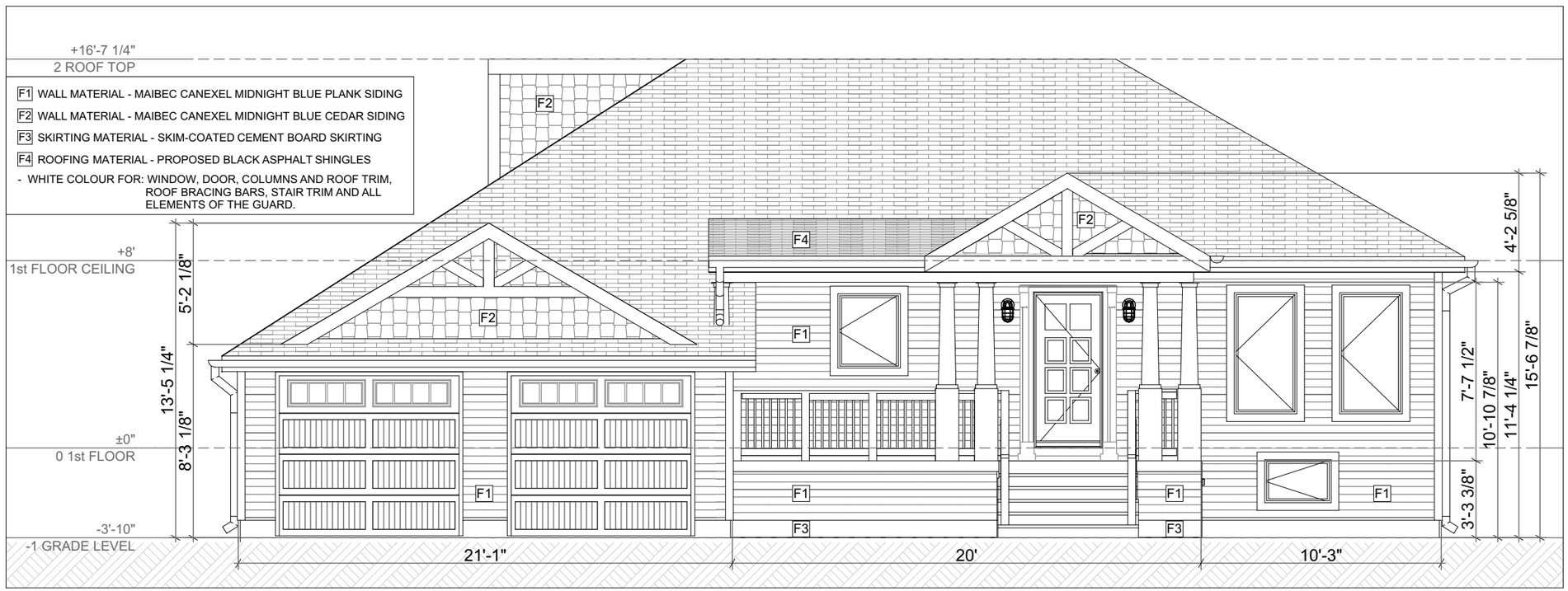
EXISTING SOUTH ELEVATION

3/16" = 1'-0"



PROPOSED SOUTH ELEVATION

3/16" = 1'-0"



ENGINEERING STAMP

PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
REV 4	

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PROPOSED FRONT PORCH

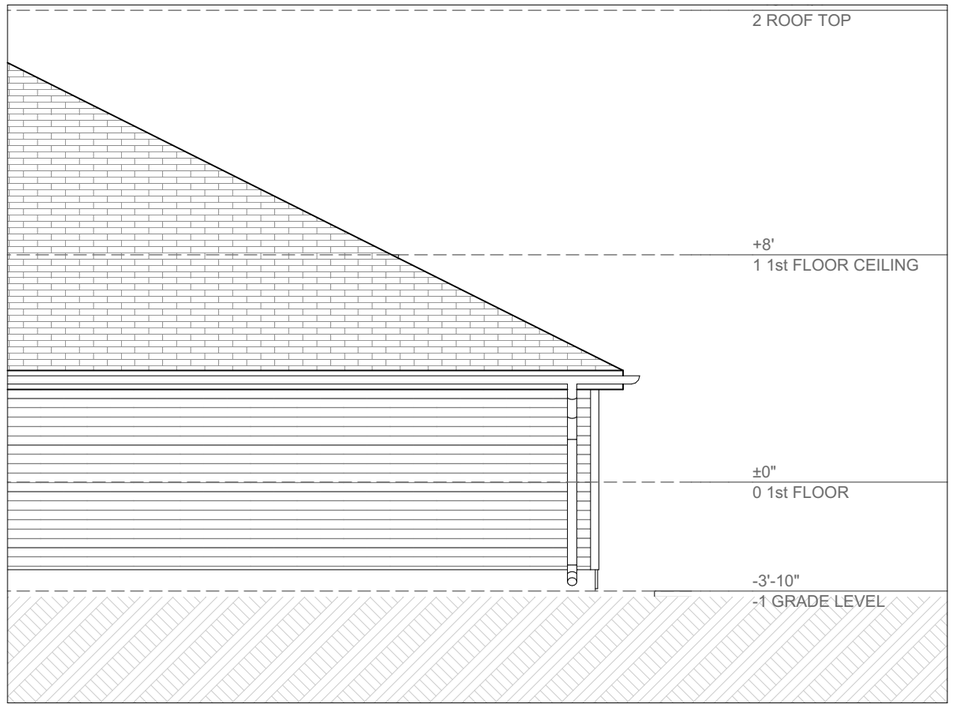
47 John St S, Mississauga, ON L5H 2E7

TITLE

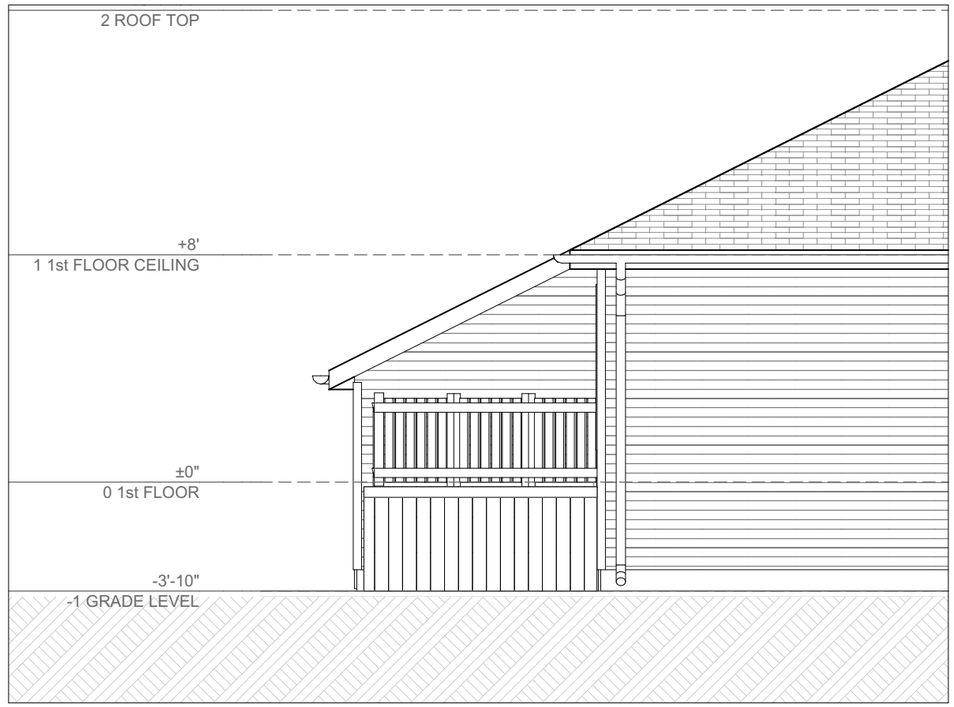
SOUTH ELEVATIONS

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE 3/16" = 1'-0"	SHEET A7

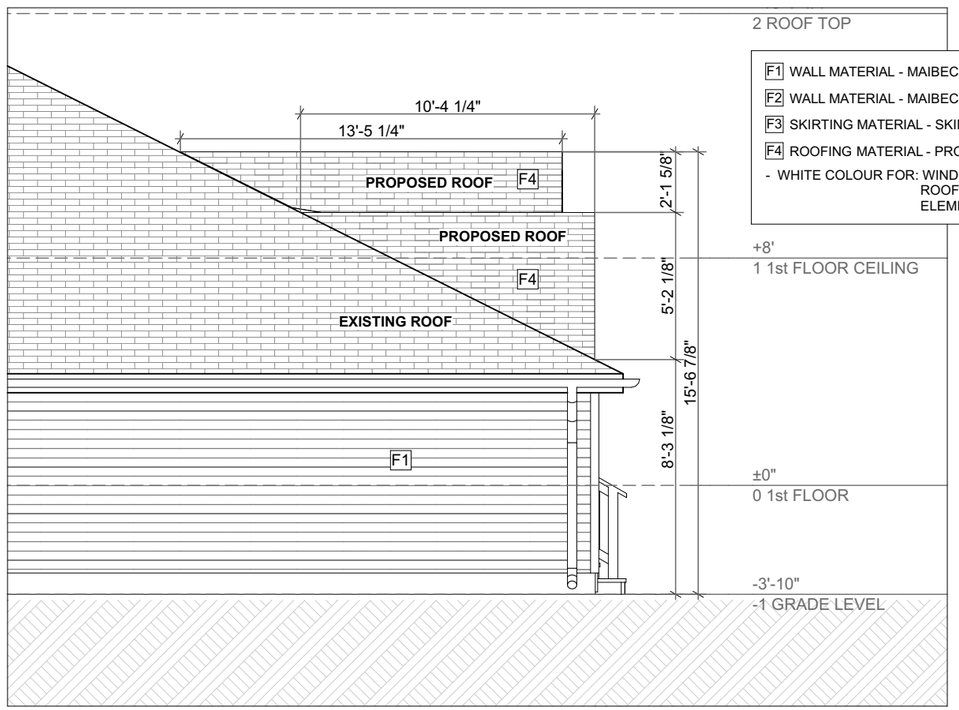
EXISTING WEST ELEVATION 3/16" = 1'-0"



EXISTING EAST ELEVATION 3/16" = 1'-0"

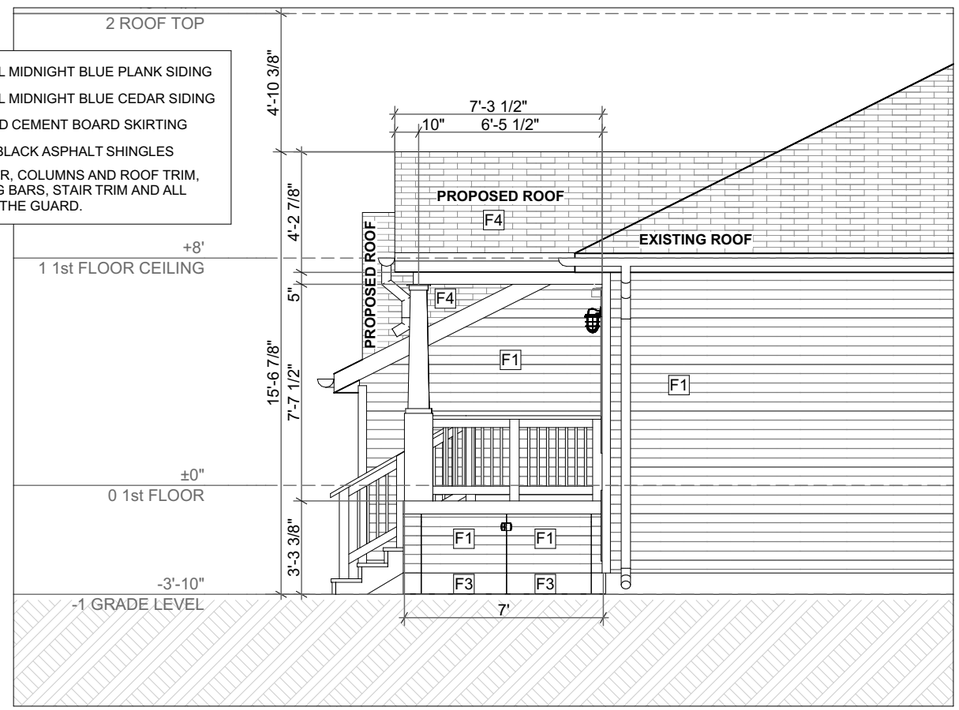


PROPOSED WEST ELEVATION 3/16" = 1'-0"



F1 WALL MATERIAL - MAIBEC CANEXEL MIDNIGHT BLUE PLANK SIDING
F2 WALL MATERIAL - MAIBEC CANEXEL MIDNIGHT BLUE CEDAR SIDING
F3 SKIRTING MATERIAL - SKIM-COATED CEMENT BOARD SKIRTING
F4 ROOFING MATERIAL - PROPOSED BLACK ASPHALT SHINGLES
- WHITE COLOUR FOR: WINDOW, DOOR, COLUMNS AND ROOF TRIM, ROOF BRACING BARS, STAIR TRIM AND ALL ELEMENTS OF THE GUARD.

PROPOSED EAST ELEVATION 3/16" = 1'-0"



ENGINEERING STAMP

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REV 1	
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PROJECT

PROPOSED FRONT PORCH

47 John St S, Mississauga, ON L5H 2E7

TITLE

ELEVATIONS

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE 3/16" = 1'-0"	SHEET A8

GENERAL NOTES:

ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:

- AUTHORITIES HAVING JURISDICTION.
- ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
- ONTARIO BUILDING CODE.
- ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
- ONTARIO FIRE CODE.
- ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.

CONTRACTOR SHALL:

- CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THEARCHITECT AND THE PARTIES INVOLVED.
- WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARESTAMPED AND SIGNED BY THE ARCHITECT.
- RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDINGBOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
- PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TOADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
- PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVINGJURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGEFOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKSDEPT., ETC.) TO CHECK ALL EXISTING LINES, PIPES, TREES, ETC.
- PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY ANDSTURDINESS) THAT DO NOT SHOW ON DRAWINGS.
- NOT PLACE MATERIALS OR OPERATE EQUIPMENT IN ADJACENT TO AN EXCAVATION IN AMANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.

SHOP DRAWINGS:

- THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAININGCONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OFTHE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALLREMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVETHE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THECONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BECONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELYTO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATIONAND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
- SEQUENCE OF SHOP DRAWINGS REVIEW:
  - CONTRACTOR
  - STRUCTURAL ENGINEER
  - ALL OTHER INVOLVED CONSULTANTS
  - ARCHITECT
- SHOP DRAWINGS SHALL BE PROVIDED FOR: STEEL, PREFAB. CONC., CANOPIES, WINDOWS,DOORS.

RENOVATION AND ADDITION CONSTRUCTION:

- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEMTO MATCH.
- ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED,CHECK WITH ARCHITECT.

BONDING EXISTING TO NEW CONSTRUCTION:

- PROVIDE 1/2" DIAMETER X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY ORHORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMING.
- PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS,WALLS AND FOUNDATION.
- SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS:

1. WOOD
- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086.
- BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED, STAMPED SPRUCE #2, UNLESS OTHERWISEMENTIONED.
- ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOODPRESERVATIVE.
- ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.

2. CONCRETE
- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE:25 MPa AND 35 MPa FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIRENTRAINMENT 6 %.
- MAXIMUM SLUMP 3".
- PROVIDE SEALANT - TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
- REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 58.

3. STEEL
- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY).
- SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
- ALL EXPOSED STEEL SHALL BE GALVANIZED.
- STEEL GRADE
- HOLLOW SECTION: G 40.21-M 350W
- I BEAMS & COLUMNS: G 40.21-M 350W
- O.W.S.J.: LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTIONSHALL NOT EXCEED 1/300 OF SPAN.
- WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
- ALL BOLTS A 325 BOLTS.
- FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

4. MINIMUM STRUCTURAL BEARING
(PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)
- WOOD JOIST: 2"
- WOOD BEAMS: 4"
- STEEL BEAM: 8"
- STEEL LINTEL: 8"
- O.W.S.J: 6" ON MASONRY & 2 1/2" ON STEEL & SHALL HAVE 4" DEEP SHOES.

5. MASONRY
- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
- PROVIDE GALVANIZED STANDARD BLOCK-LOCK EACH 2ND COURSE.
- VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
- PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
- VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TOPREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BEPROVIDED IN FOUNDATION WALLS MORE THAN 82'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSHWITH OPENING JAMBS.

6. FOUNDATION
- FOOTING AND SONOTUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTEDENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF,SOIL SHALL BE CHECKED BY SOIL ENGINEER.
- DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
- ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH4'-0" DEEP FOUNDATION.
- PROVIDE 5/8" DIA. x 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
- TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
- PROVIDE MIN 8" x 2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL.

7. COLUMNS
- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERSTO PREVENT LATERAL MOVEMENT.

8. DESIGN LOADS
UN FACTORED DESIGN LOADS
1. SNOW LOAD = kPa (PART 9 DESIGN, Ss= 1.1 kPa, Sr = 0.4kPa)
2. ROOF DEAD LOAD = 0.75kPa
3. SECOND FLOOR DEAD LOAD=0.75kPa
4. MAIN FLOOR DEAD LOAD=1.0kPa
5. OCCUPANCY LIVE LOAD=1.9kPa
6. WIND PRESSURE q(1/50) = 0.44 Kpa
7. ASSUMED SOIL BEARING CAPACITY =75 kPa
8. GUARDS TO BE BUILT ACCORDING TO OBC 2014 SB-7

ENGINEERING STAMP

PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
REV 4	

DESIGN FIRM

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KINGSWOOD ENGINEERS

CLIENT

Catherine Phelan and Rick Christiansen

PROJECT

PROPOSED FRONT PORCH

47 John St S, Mississauga, ON L5H 2E7

TITLE

GENERAL NOTES

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE N/A	SHEET A9

EXISTING

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3D VIEWS

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE N/A	SHEET A10

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REV 3	
REV 4	

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3D VIEWS

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE N/A	SHEET A11

EXISTING

PROPOSED

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PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
REV 4	

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TITLE

3D VIEWS

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE N/A	SHEET A12

EXISTING

PROPOSED

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REV 1	
REV 2	
REV 3	
REV 4	

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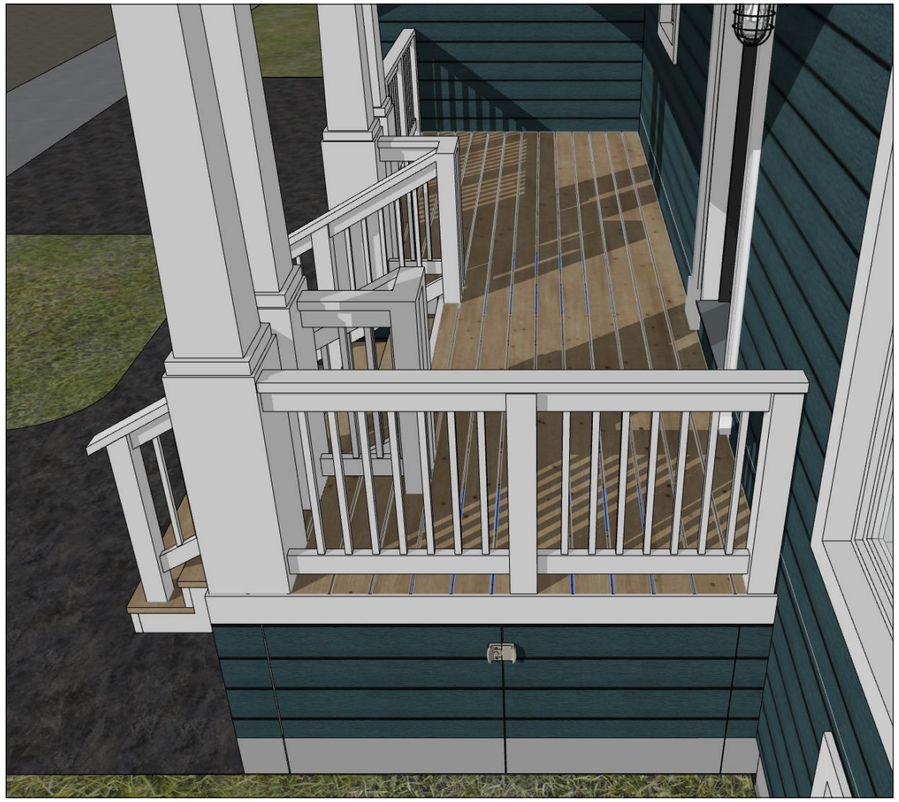
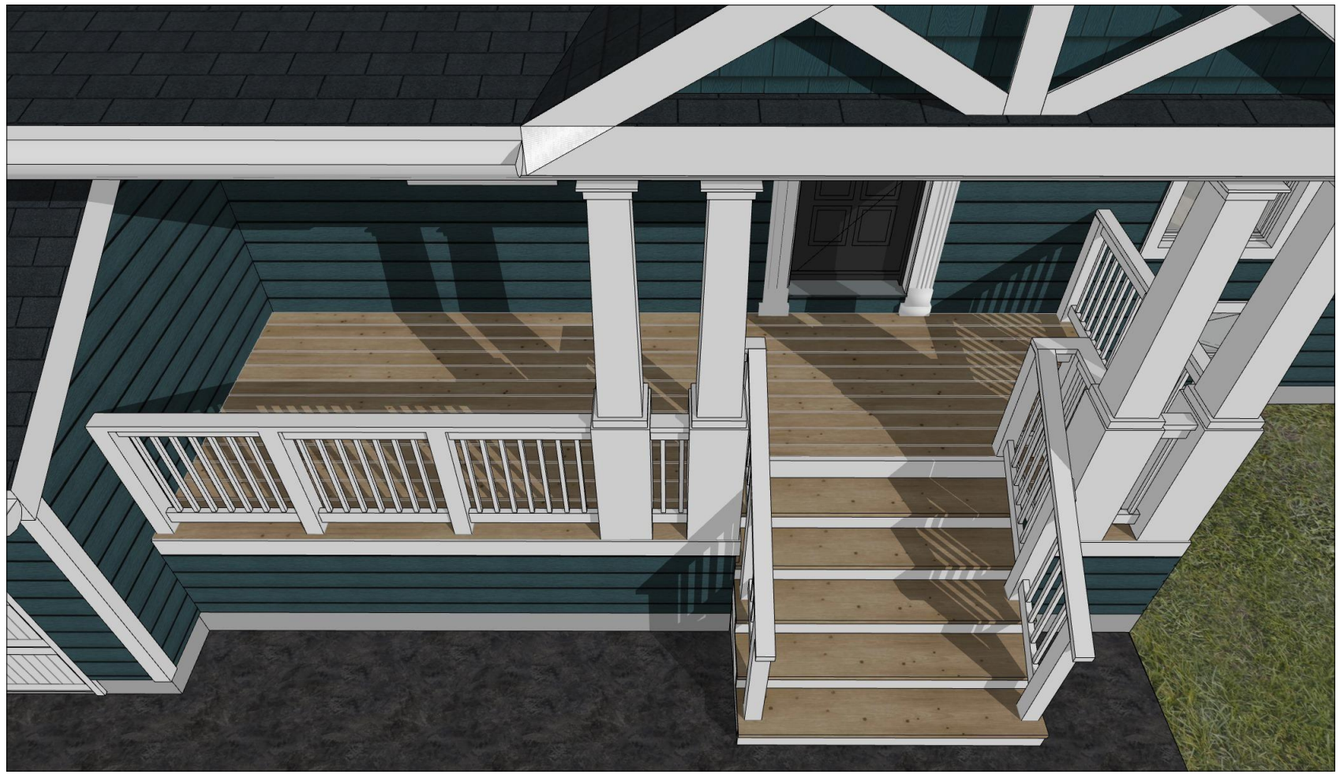
TITLE

3D VIEWS

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE N/A	SHEET A13





ENGINEERING STAMP

PROJECT NUMBER	22-KNG-164
DRAFTER / DATE	EL/ 1/20/2023
REV 1	
REV 2	
REV 3	
REV 4	

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TITLE

3D VIEWS - PROPOSED

DATE	1/20/2023
PAPER SIZE	TABLOID
SCALE N/A	SHEET A14