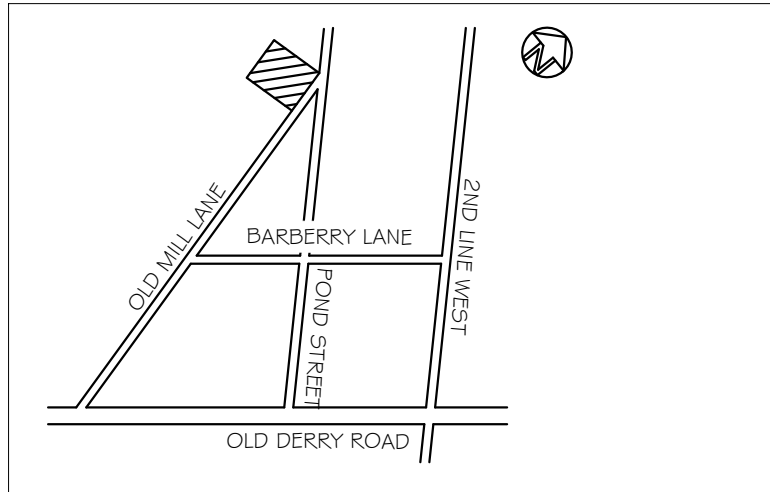


2023-01-27 9:55:23 AM, ISO full bleed B2 (500.00 x 707.00 MM)

REVISED HERITAGE PERMIT APPLICATION

DRAWING LIST:

A100	SITE PLAN
A301	BASEMENT PLAN
A302	1ST FLOOR PLAN
A303	2ND FLOOR PLAN
A304	ROOF PLAN
A400	EAST ELEVATION (FRONT)
A401	NORTH ELEVATION
A402	WEST ELEVATION
A403	SOUTH ELEVATION
A500	SECTION A-A
A501	SECTION B-B
A502	SECTION C-C
A503	SECTION D-D
A504	SECTION E-E
A505	SECTION F-F
A506	SECTION G-G
A509	FRONT PORCH DETAILS
A600	GARAGE PLANS
A601	GARAGE ELEVATIONS



KEY PLAN

SPI - 20 - 85 W11
BP 21 - 6804

GENERAL NOTES:

- I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA UNDER FILE NUMBER
SP1 - 20 - 85 W11
- [ARCHITECT'S, ENGINEER'S, OR OWNER'S ORIGINAL SIGNATURE]
- THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA, DEVELOPMENT AND DESIGN DIVISION.
- TREE HOARDING IS TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
- VEGETATION CLEARING AND TREE REMOVAL ACTIVITIES SHOULD BE AVOIDED APRIL-OCTOBER OF EACH YEAR TO PROTECT THE BREEDING SEASONS OF MIGRATORY BIRDS & BATS.
- GRADES MUST BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
- THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED.
- ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.
- CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.
- ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTITUTED WITH TOPSOIL AND SOD PRIOR TO RELEASE OF SECURITIES.
- ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE.
- THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY
- ONCE ALL WORKS ARE COMPLETE, THE APPLICANT IS TO CONTACT THE PLANNING AND BUILDING DEPARTMENT, DEVELOPMENT AND DESIGN DIVISION, AT (905) 896-5511 FOR AN INSPECTION PRIOR TO HOARDING BEING REMOVED.
- RE-USE EXISTING UTILITY CONNECTIONS FOR WATER, GAS & SANITARY SEWER.

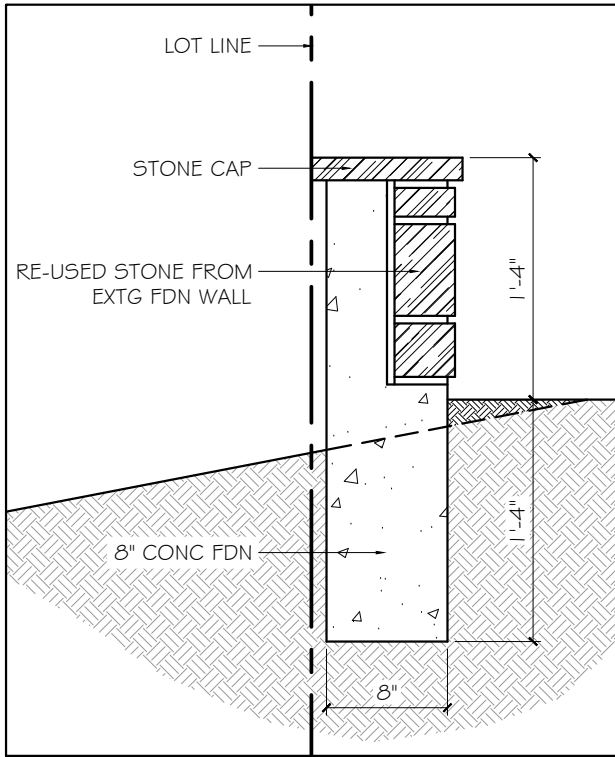
LEGEND

- DENOTES EXISTING TO BE REMOVED
- DENOTES EXISTING GROUND FLOOR FOOTPRINT
- DENOTES NEW GROUND FLOOR FOOTPRINT
- DENOTES SECOND FLOOR STRUCTURE & ROOF OVERHANGS
- DENOTES DWELLING ENTRANCE
- DENOTES BRICK / PAVERS
- DENOTES TREE CANOPY DRIPLINE WITH TREE PROTECTION ZONE
- DENOTES MAINTENANCE HOLE
- DENOTES DIAMETER
- DENOTES TOP OF CURB
- DENOTES BOTTOM OF CURB
- DENOTES DOOR SILL ELEVATION
- DENOTES PROPERTY IDENTIFIER
- DENOTES OVERHEAD UTILITY CABLES
- DENOTES DOWNSPOUT
- DENOTES WINDOW WELL (0.46 PROJ. X VARIED LENGTH)
- DENOTES TREE PRESERVATION HOARDING
- DENOTES PERMITTED TREE REMOVAL
- DENOTES SITUATION FENCING
- DENOTES NEW TREE TO BE PLANTED (SEE ARBORISTS REPORT)

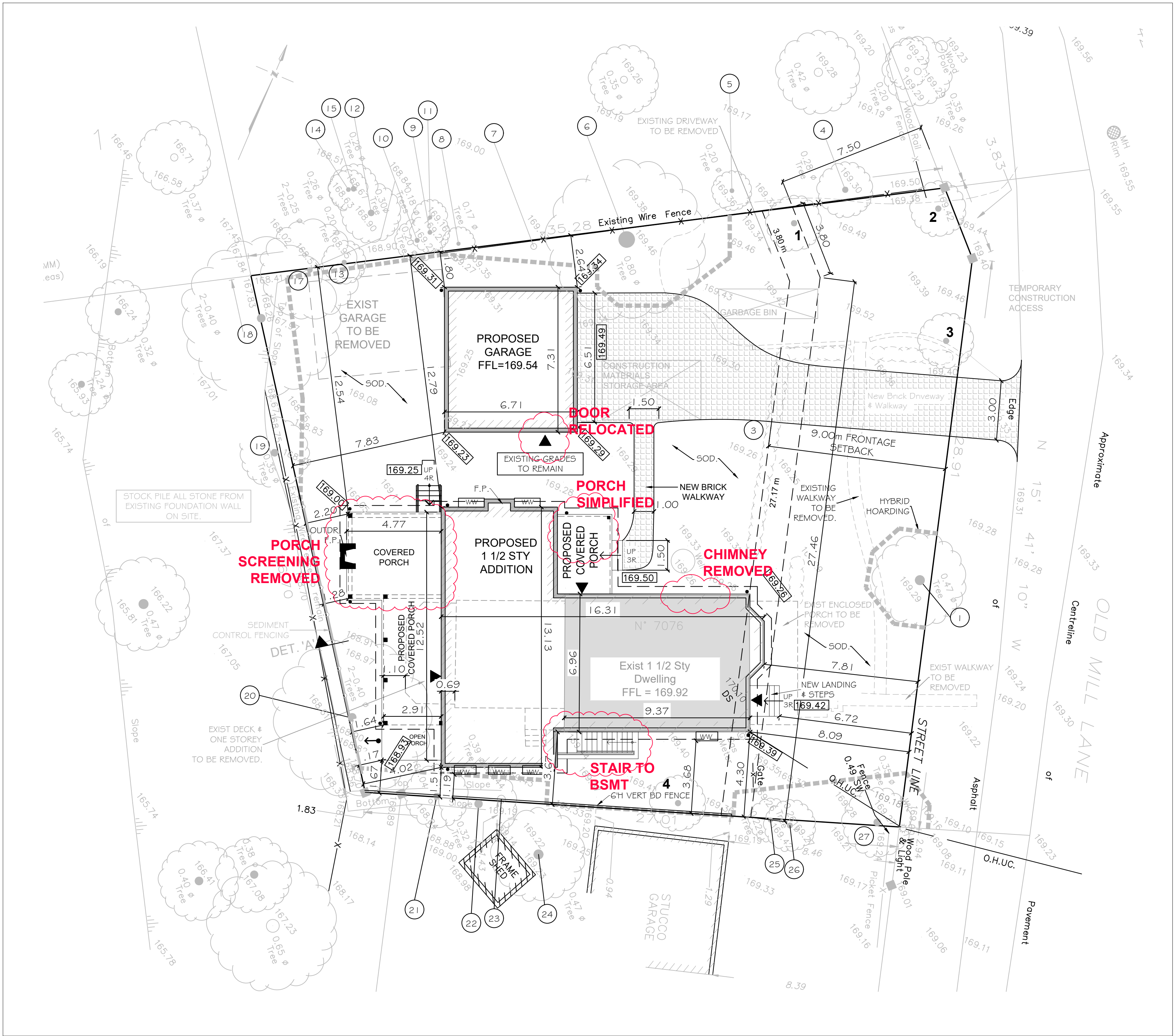
PROJECT STATISTICS

ADDRESS: 7076 OLD MILL LANE			
ZONING: R1-32 RESIDENTIAL			
LOT AREA:			932.24 M ²
LOT FRONTAGE:			31.27 M
BUILDING HEIGHT			
AVERAGE GRADE			169.29
ESTABLISHED GRADE			169.15
HEIGHT TO MID-POINT:			7.30
HEIGHT TO HIGHEST RIDGE:			9.24
HEIGHT TO UNDERSIDE OF EAVES:			5.15
GROSS FLOOR AREA:			
	EXISTING:	PROPOSED:	TOTAL:
GROUND FLOOR:	67.65 M ²	100.35 M ²	168.00 M ²
SECOND FLOOR:	67.78 M ²	26.22 M ²	94.00 M ²
TOTAL GFA:	135.43 M ²	126.57 M ²	262.00 M ²
ALLOWABLE G.F.A. (160m ² + .10 x lot area)			253.22 M ²
LOT COVERAGE:			
	EXISTING:	PROPOSED:	TOTAL:
DWELLING FOOTPRINT:	67.65 M ²	100.35 M ²	168.00 M ²
GARAGE:	33.07 M ²	15.98 M ²	49.05 M ²
PORCH: (side at front)		11.07 M ²	11.07 M ²
DECK, PORCH & SCREENED PORCH: (back)		24.62 M ²	24.62 M ²
OTHER:			
TOTAL LOT COVERAGE:		27.1%	252.74 M ²
ALLOWABLE LOT COVERAGE		25%	233.06 M ²
AVERAGE GRADE CALCULATIONS:			
	A	B	
1. CENTRELINE OF STREET	169.55	169.23	
2. FRONT SIDE LOT LINES	169.42	169.12	
3. FRONT YARD SETBACK	169.32	169.36	
4. 15M BACK FROM PREVIOUS ELEVATION	169.35	169.98	
SUM OF GRADE ELEVATIONS		1354.33	
AVERAGE GRADE		169.29	
LANDSCAPED SOFT AREA			
FRONT YARD AREA:			296.54
HARD SURFACE AREAS:			10.8% 31.91
TOTAL LANDSCAPED SOFT AREAS:			89.2% 264.63

LOT 43
REGISTERED PLAN TOR-5
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEL
(FORMERLY THE TOWNSHIP OF TORONTO, COUNTY OF PEEL)



1 DETAIL 'A' (OPTIONAL)

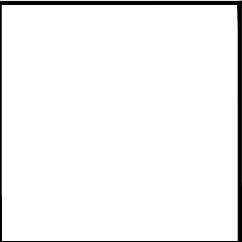
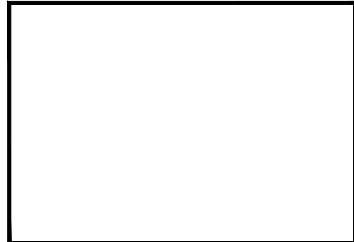


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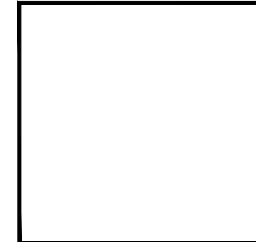
No.	Revision/Issue	Date
3	CHANGE TO PORCHES	102522
2	CONSTRUCTION ISSUE NO.2	121421
1	CONSTRUCTION ISSUE NO.1	112221

No.	Revision/Issue	Date

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905-760-9688 mark.evans@piccogroup.com

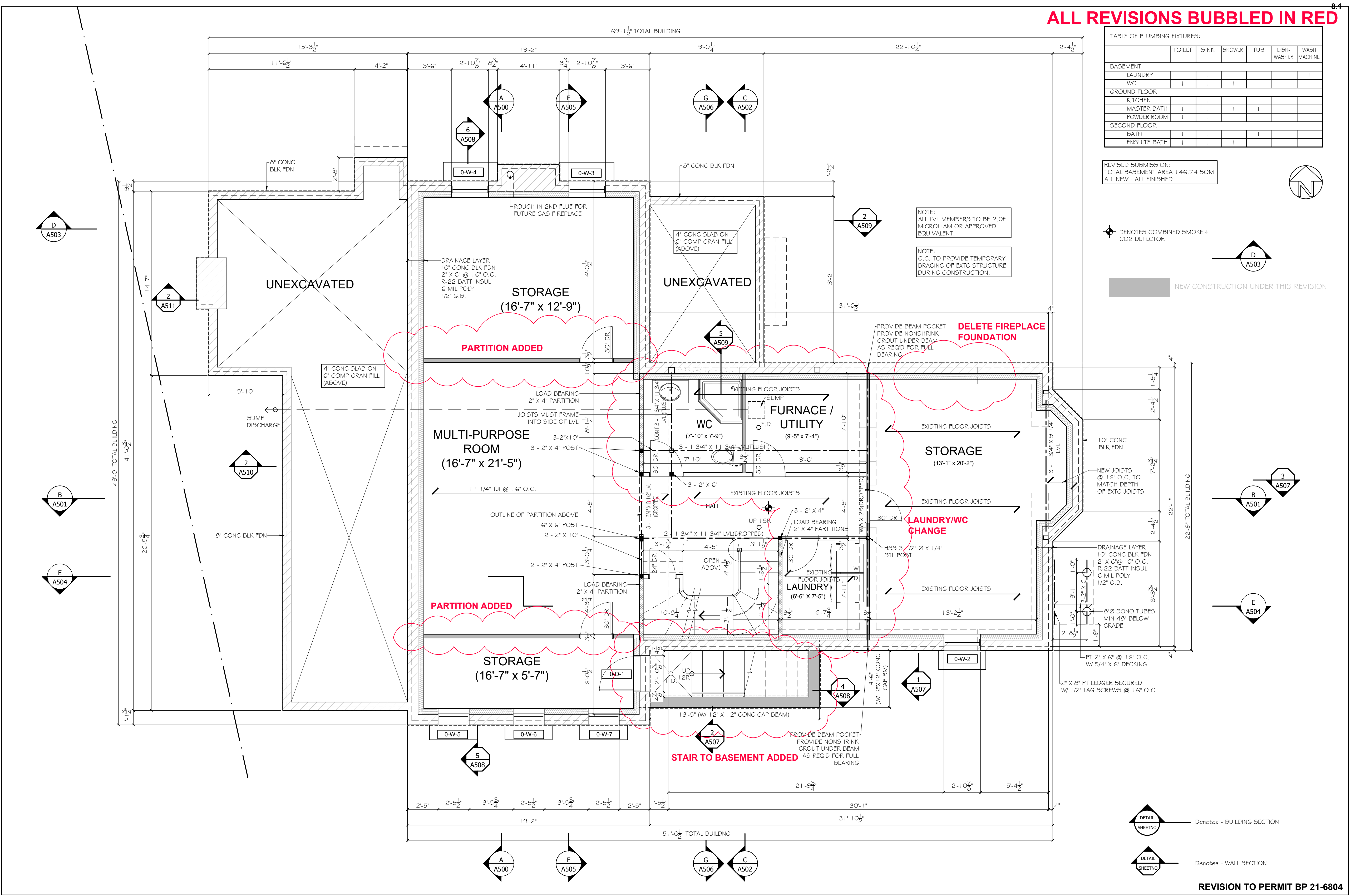


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5265 Steeles Ave. West, Toronto, ON, M9L 2W2
Bus: 905 532 0063 / Fax: 905 760 9699 / Cell: 647-409-9844

Project Name & Address:
PROPOSED ADDITION & RENOVATIONS & DETACHED GARAGE FOR: ANDREA STEWART
7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780

The SPI - 20 - 85 W11	
SITE PLAN	
Project No. 19-74	Sheet A100
Date MARCH 19, 2020	
Scale 1:125	

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5	CONSTRUCTION ISSUE NO.2	121421
4	CONSTRUCTION ISSUE NO.1	112221
3	CHANGE TO CONCRETE BLK FDN	110221
2	STONE FOUNDATION REMOVED	091321
1	CLARIFICATION OF AREAS ADDED	050521
No.	Revision/Issue	Date

8	CHANGES TO ROOM LAYOUTS	102522
7	CHANGES TO ROOM LAYOUTS	090922
6	UPDATE PER JELDWIN	121521
No.	Revision/Issue	Date

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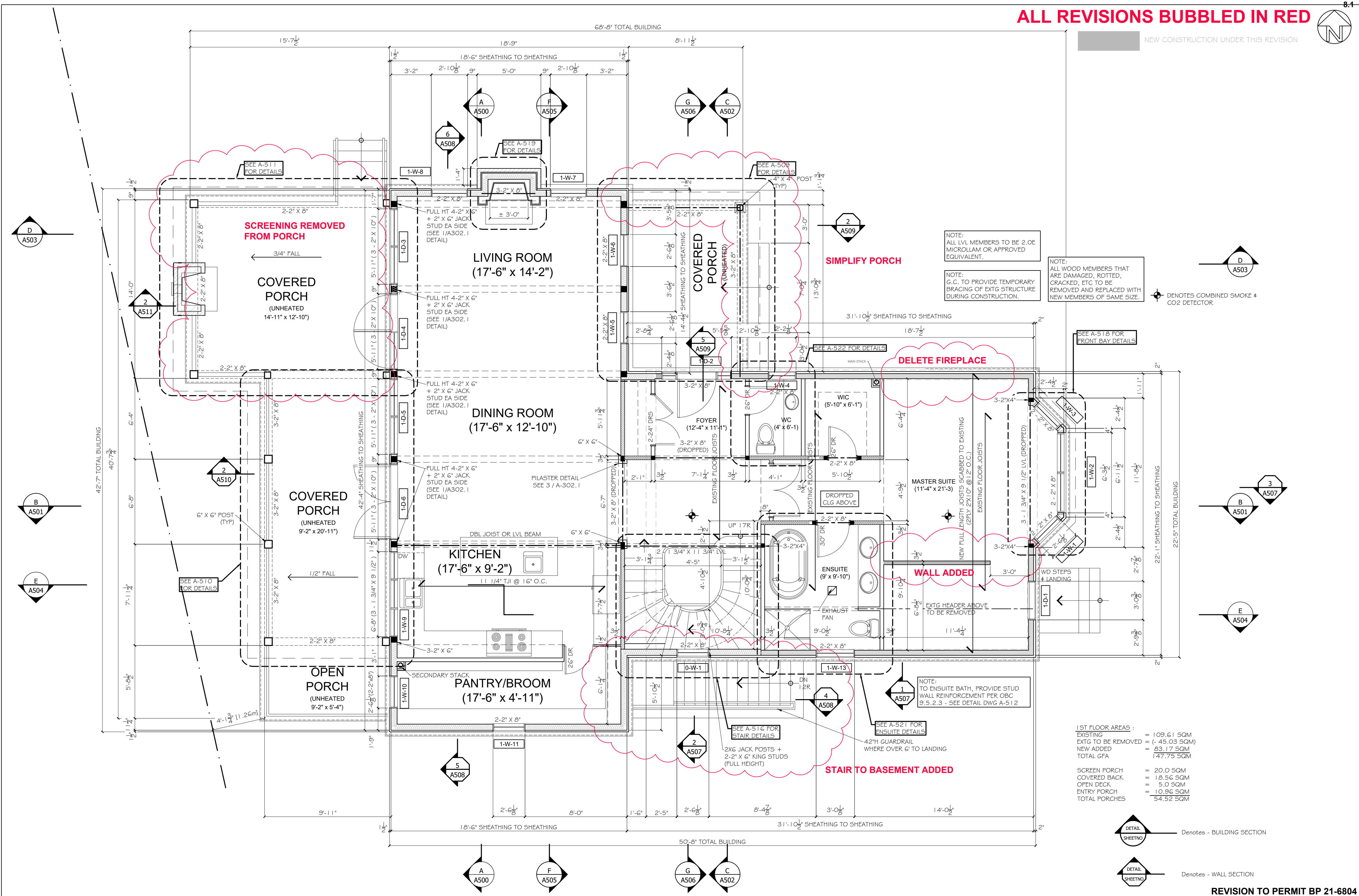
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Project Name & Address:
PROPOSED ADDITION & RENOVATIONS & DETACHED GARAGE FOR: ANDREA STEWART
7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780

BASEMENT PLAN
Project No. 19-74
Date MARCH 19, 2020
Scale 1/4"= 1'-0"
Sheet **A301**



5	C.I. REMOVED	091322
4	CHANGES TO MASTER SUITE	090922
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	112221
1	'UNHEATED' AREA NOTES ADDED	050521
No.	Revision/Issue	Date

6	PORCH CHANGES	1025222
No.	Revision/Issue	Date

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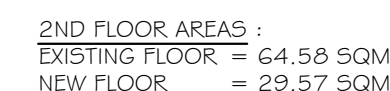
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Bus: 905.533.0083 / Fax: 905.760.9699 / Cell: 647.409.9841

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ANDREA STEWART
7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780

Title:		Sheet
1ST FLOOR PLAN		A302
Project No. 19-74		
Date MARCH 19, 2020		
Scale 1/4" = 1'-0"		

NEW CONSTRUCTION UNDER THIS REVISION

 DENOTES COMBINED SMOKE & CO2 DETECTOR



 Denotes - WALL SECTION

6	CHANGE TO HOME OFFICE	102522
No.	Revision/Issue	Date

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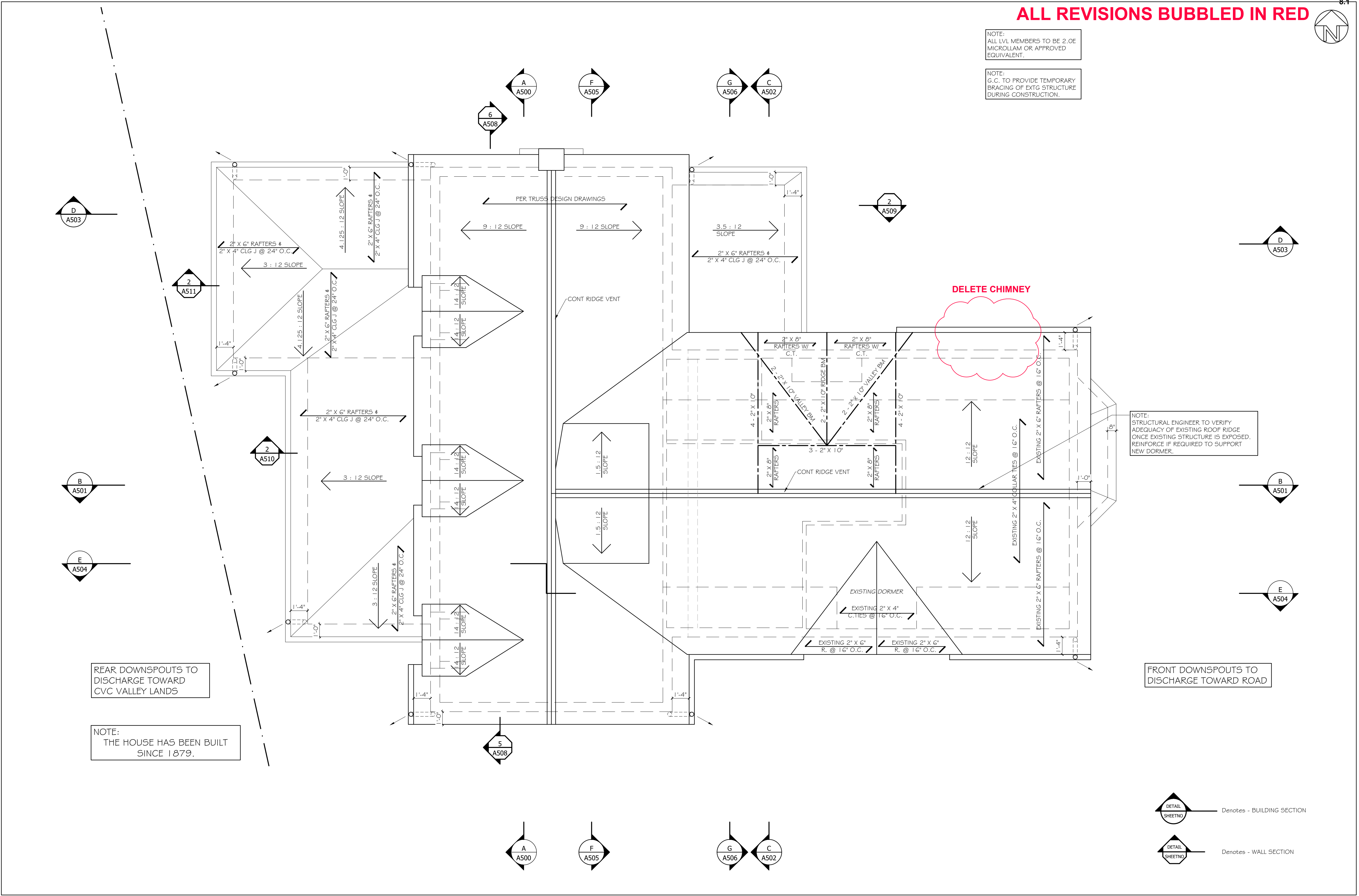
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TEL: 416-291-8888 FAX: 416-291-8889

Title: SPI - 20 - 85 W11 2ND FLOOR PLAN	
Project No. 19-74	Sheet A303
Date MARCH 19, 2020	
Scale 1/4" = 1'-0"	

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NOTE:
ALL LVL MEMBERS TO BE 2.0E
MICROLAM OR APPROVED
EQUIVALENT.

NOTE:
G.C. TO PROVIDE TEMPORARY
BRACING OF EXTG STRUCTURE
DURING CONSTRUCTION.

NOTE:
STRUCTURAL ENGINEER TO VERIFY
ADEQUACY OF EXISTING ROOF RIDGE
ONCE EXISTING STRUCTURE IS EXPOSED.
REINFORCE IF REQUIRED TO SUPPORT
NEW DORMER.

FRONT DOWNSPOUTS TO
DISCHARGE TOWARD ROAD

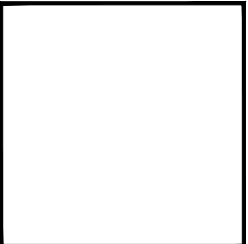
REAR DOWNSPOUTS TO
DISCHARGE TOWARD
CVC VALLEY LANDS

NOTE:
THE HOUSE HAS BEEN BUILT
SINCE 1879.

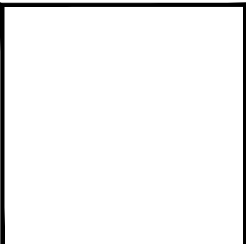
No.	Revision/Issue	Date
3	MASTER SUITE CHIMNEY REMOVED	090922
2	CONSTRUCTION ISSUE NO.2	121421
1	CONSTRUCTION ISSUE NO.1	112221

No.	Revision/Issue	Date

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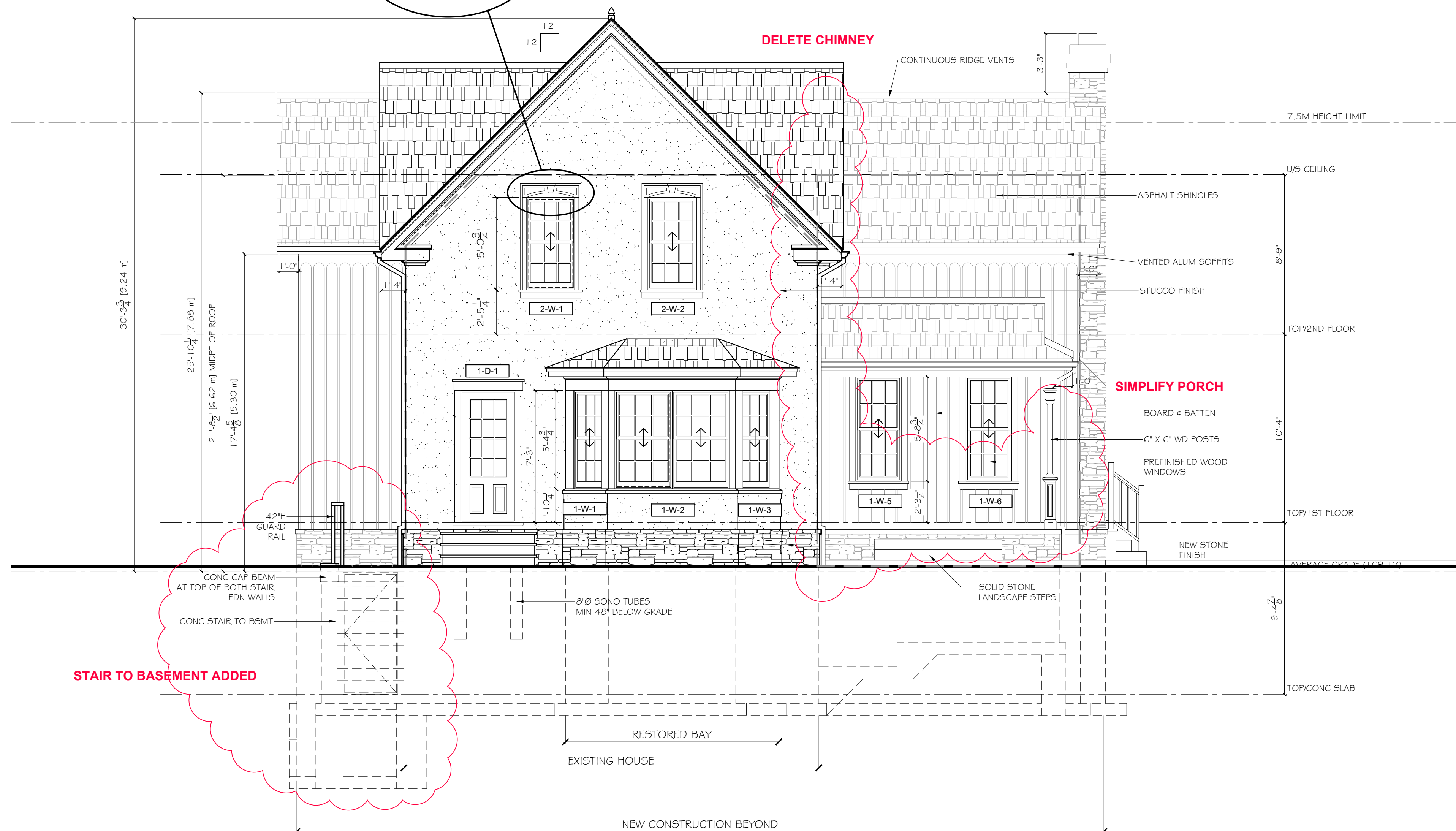
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Bus: 905 532 0083 / Fax: 905 760 9699 / Cell: 647-409-9844

Project Name & Address:
**PROPOSED ADDITION & RENOVATIONS &
DETACHED GARAGE FOR:
ANDREA STEWART
7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780**

Title: SPI - 20 - 85 W11	
ROOF PLAN	
Project No. 19-74	Sheet
Date MARCH 19, 2020	A304
Scale 1/4" = 1'-0"	

	2-W-1	1.07
	2-W-2	1.07
LIMITING DISTANCE = 14.41 M	1-D-1	1.82
AREA OF EXPOSED BLDG FACE = 43.63 SQM	1-W-1	0.76
ALLOWABLE % OF GLAZED OPENINGS = 100%	1-W-3	0.76
ALLOWABLE GLAZED OPENINGS = 43.63 SQM	1-W-2	2.68
OPENINGS SHOWN = 8.16 SQ M (18.7%)	TOTAL	8.16

LIMITING DISTANCE = 26.00M AREA OF EXPOSED BLDG FACE = 28.69 SQM ALLOWABLE % OF GLAZED OPENINGS = 28.69 SQM OPENINGS SHOWN = 2.34 SQ M (8.2%)	1-W-5 1.17 1-W-6 1.17 TOTAL 2.34
--	---



5	PORCH CHANGES	102522
4	MASTER SUITE FIREPLACE REMOVED	091322
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	112221
1	STONE FOUNDATION REMOVED	091321
No.	Revision/Issue	Date

No.	Revision/Issue	Date

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ANDREA STEWART
7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780**

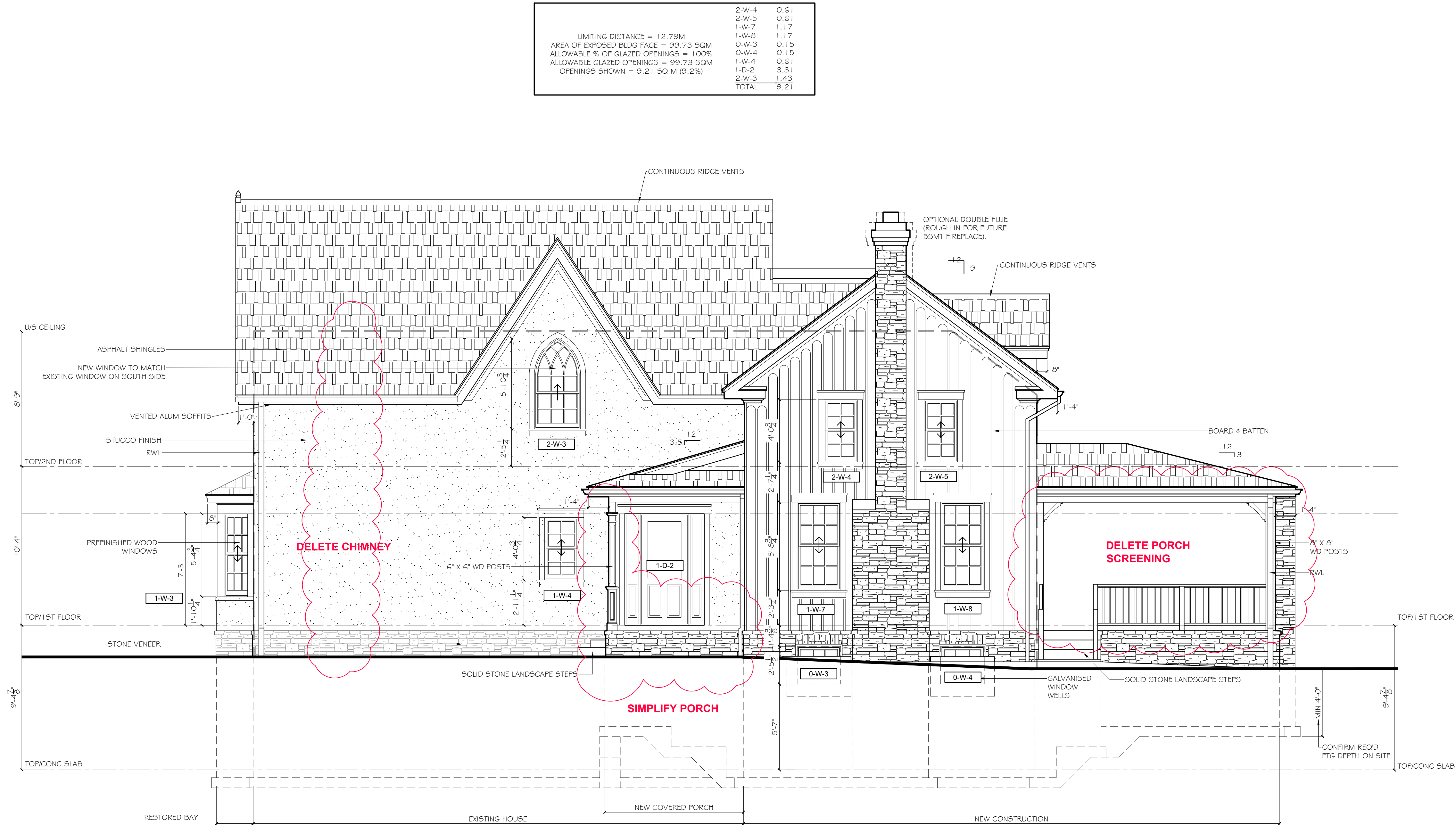
Title: **SPI - 20 - 85 W1**
EAST ELEVATION
(FRONT)

Project No. 19-74	Sheet A400
Date MARCH 19, 2020	
Scale 1/4" = 1'-0"	

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8-1



5	MASTER SUITE FIREPLACE REMOVED	091322
4	UPDATE PER JELDWIN	121521
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	112221
1	STONE FOUNDATION REMOVED	091321
No.	Revision/Issue	Date

6	PORCH CHANGES	102522
No.	Revision/Issue	Date

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Project Name & Address
PROPOSED ADDITION & RENOVATIONS & DETACHED GARAGE FOR: ANDREA STEWART
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Title	SPI - 20 - 85 W11	
	NORTH ELEVATION	
Project No.	19-74	Sheet
Date	MARCH 19, 2020	A401
Scale	1/4" = 1'-0"	

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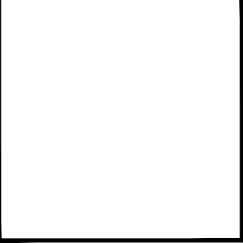
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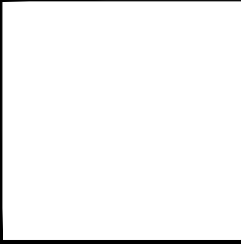
No.	Revision/Issue	Date
4	CHANGE TO PORCH	102522
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	112221
1	STONE FOUNDATION REMOVED	091321

No.	Revision/Issue	Date

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Project Name & Address:
PROPOSED ADDITION & RENOVATIONS & DETACHED GARAGE FOR:
ANDREA STEWART
7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780

Title: **SPI - 20 - 85 W11**
WEST ELEVATION
Project No: 19-74
Date: MARCH 19, 2020
Scale: 1/4" = 1'-0"
Sheet: **A402**

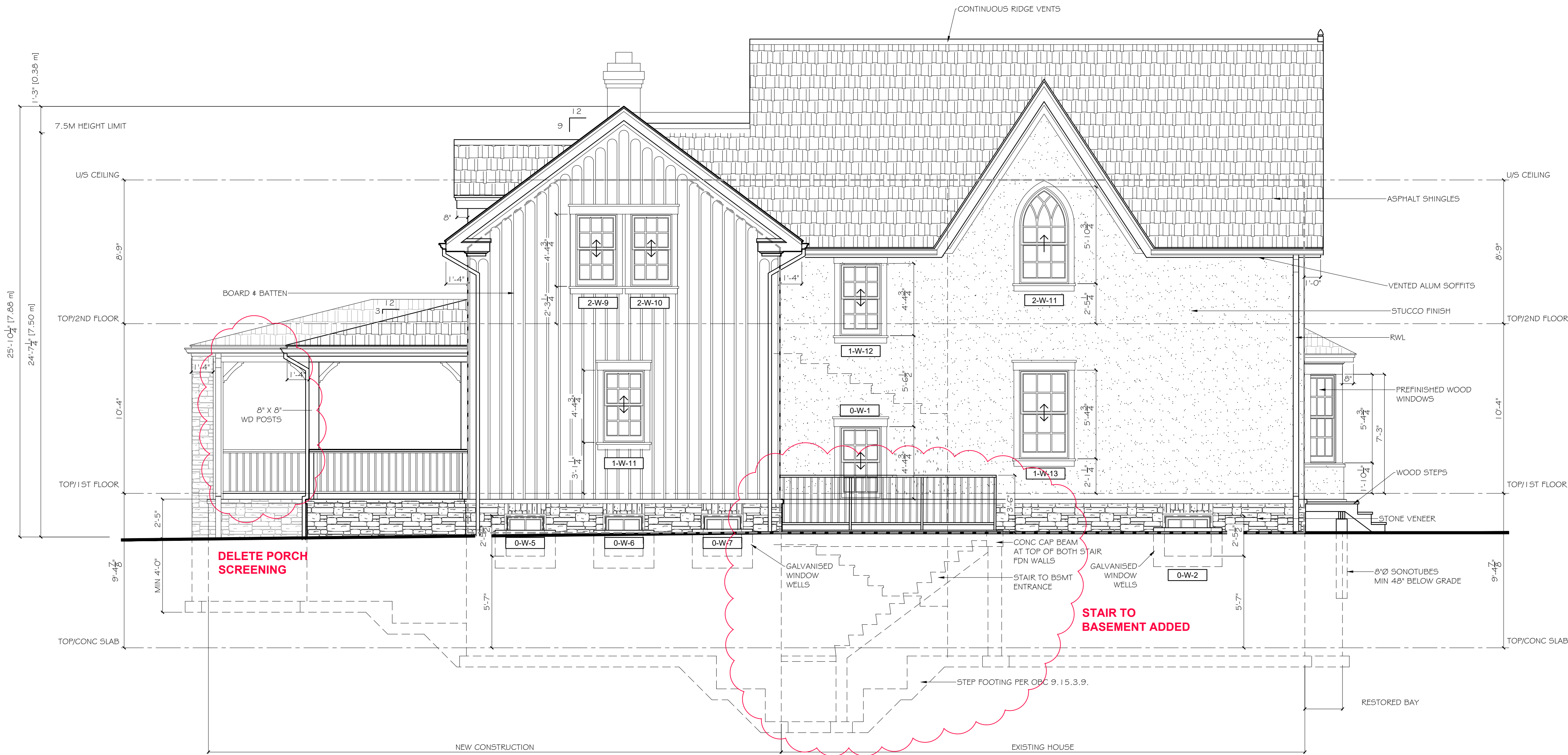
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2-W-9	0.79
2-W-10	0.79
1-W-11	0.79
0-W-5	0.15
0-W-6	0.15
0-W-7	0.15
TOTAL	2.82

LIMITING DISTANCE = 1.51 M
AREA OF EXPOSED BLDG FACE = 35.8 SQM
ALLOWABLE % OF GLAZED OPENINGS = 8.5%
ALLOWABLE GLAZED OPENINGS = 3.04 SQM
OPENINGS SHOWN = 2.82 SQ M (7.9%)

1-W-12	0.94
0-W-1	0.94
1-W-13	1.48
2-W-11	1.43
0-W-2	0.26
TOTAL	5.05

LIMITING DISTANCE = 3.67 M
AREA OF EXPOSED BLDG FACE = 64.7 SQM
ALLOWABLE % OF GLAZED OPENINGS = 23%
ALLOWABLE GLAZED OPENINGS = 14.88 SQM
OPENINGS SHOWN = 5.05 SQ M (7.8%)



5	WINDOW & CHIMNEY REMOVED	091322
4	UPDATE PER JELDWIN	121521
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	111221
1	STONE FOUNDATION REMOVED	091321
No.	Revision/Issue	Date

6	CHANGE TO PORCH	102522
No.	Revision/Issue	Date

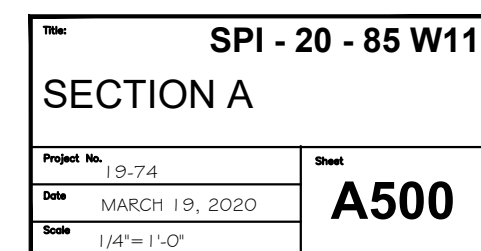
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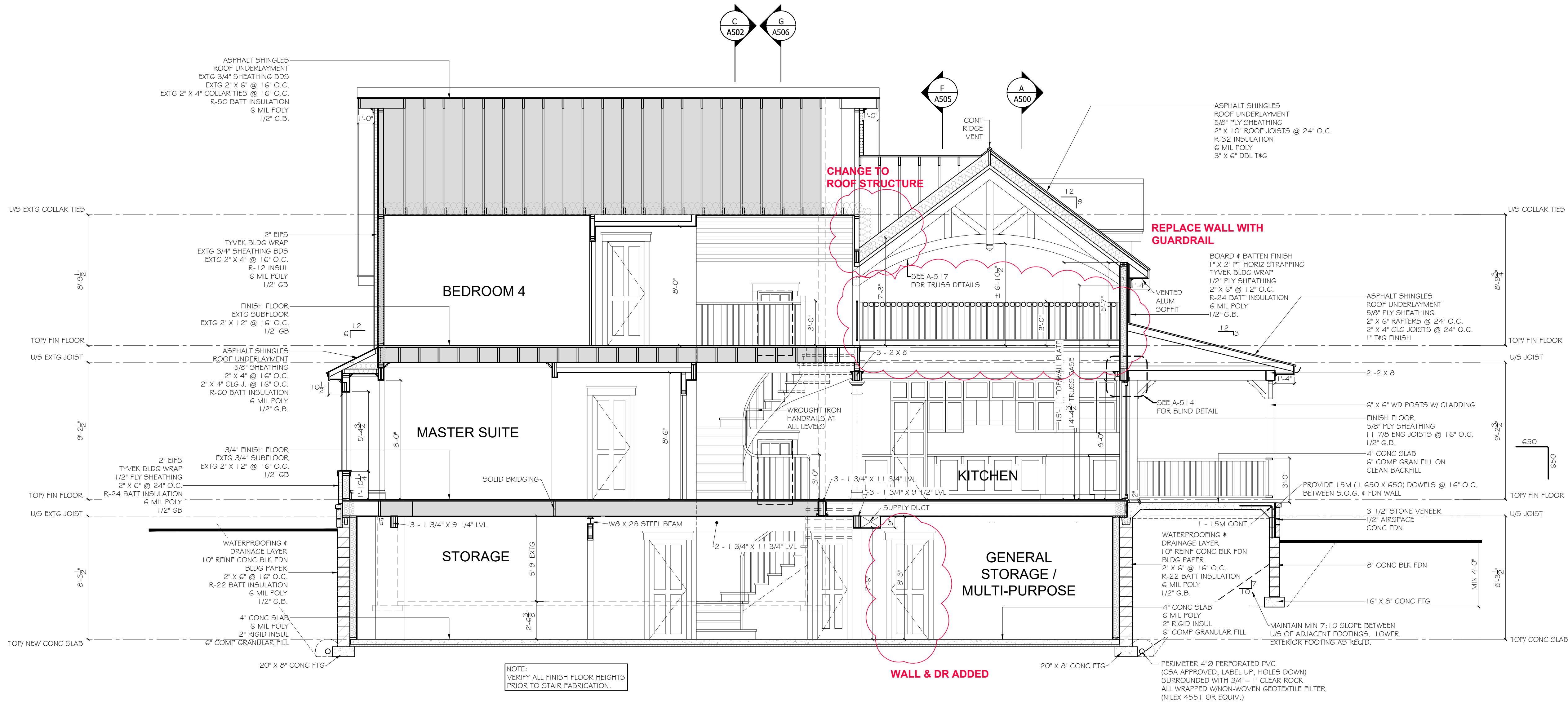
Project Name & Address:
PROPOSED ADDITION & RENOVATIONS & DETACHED GARAGE FOR: ANDREA STEWART
7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780

Title:	SPI - 20 - 85 W11
SOUTH ELEVATION	
Project No.	19-74
Date	MARCH 19, 2020
Scale	1/4" = 1'-0"
Sheet	A403



2023-01-27 10:02:34 AM, ISO full bleed B2 (500.00 x 707.00 MM)

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REVISION TO PERMIT BP 21-6804

5	CHANGE TO BSMT LAYOUT	102522
4	C.I. REMOVED	091322
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	112221
1	STONE FOUNDATION REMOVED	091321
No.	Revision/Issue	Date

No.	Revision/Issue	Date

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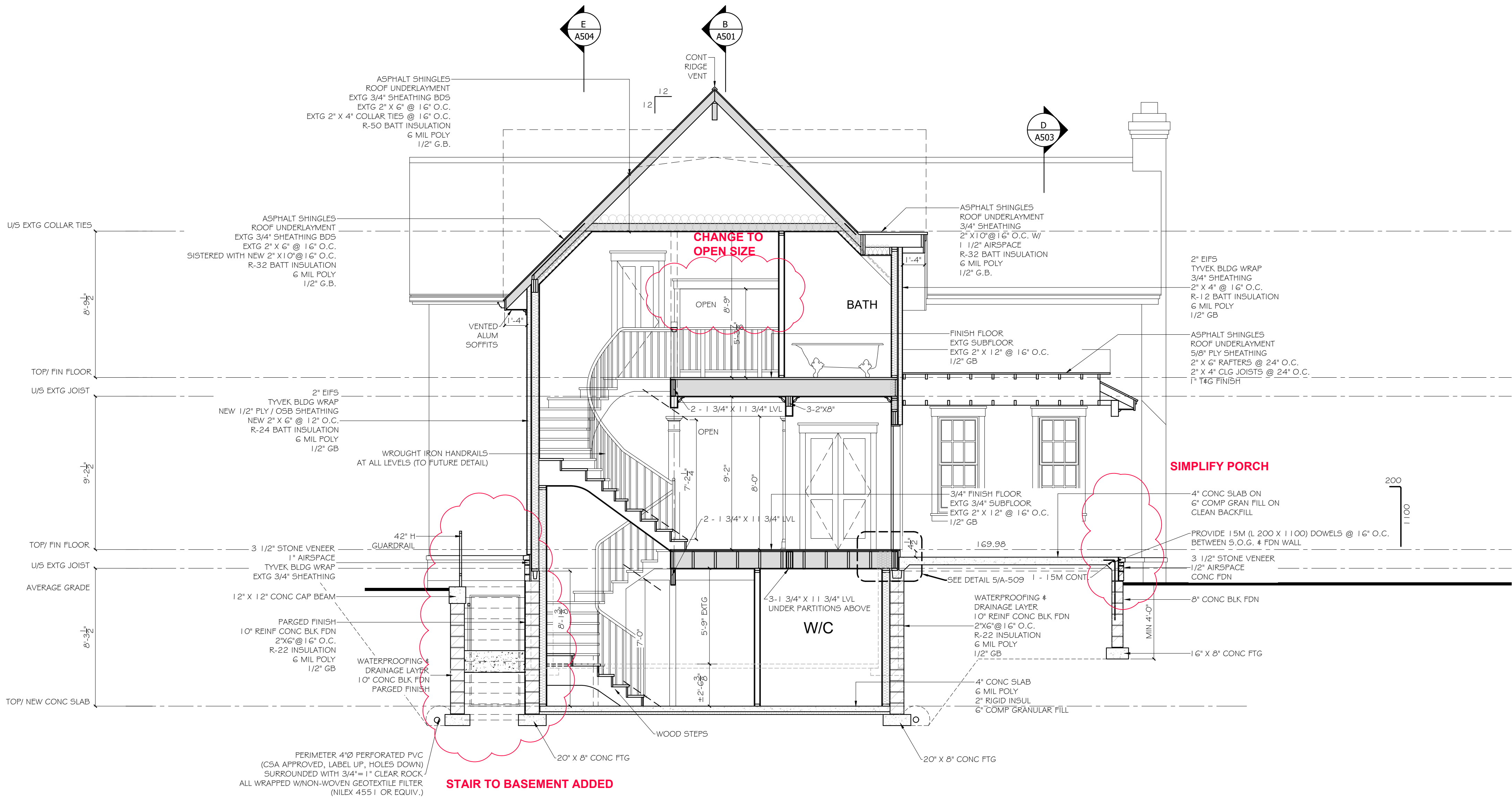
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Project Name & Address:
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7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780

Title:
SECTION B
Project No. 19-74
Date MARCH 19, 2020
Scale 1/4"=1'-0"
Sheet **A501**

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REVISION TO PERMIT BP 21-6804

No.	Revision/Issue	Date
4	CHANGE TO PORCH	102522
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	112221
1	STONE FOUNDATION REMOVED	091321

No.	Revision/Issue	Date

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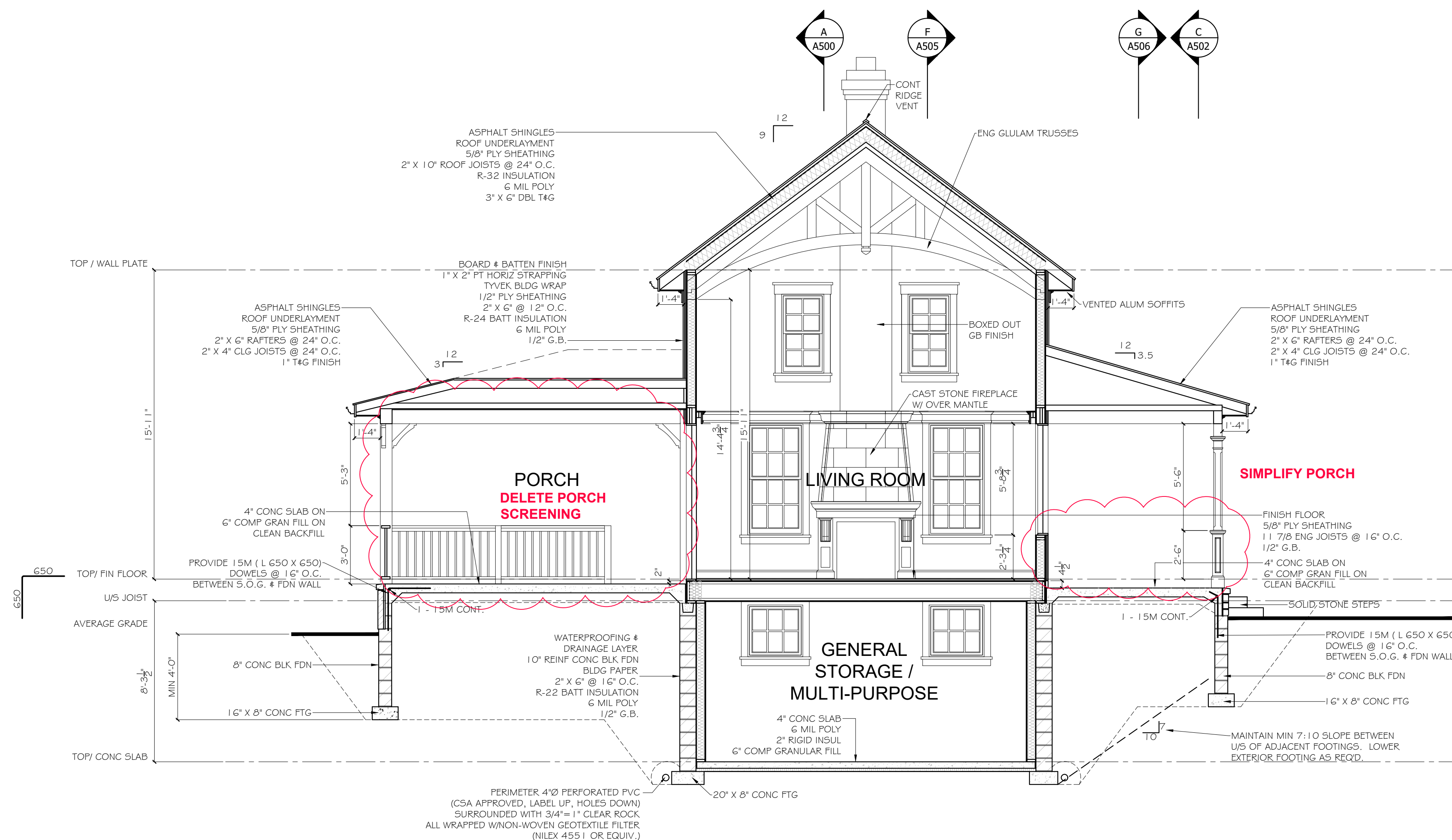
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7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780

Title:
SECTION C

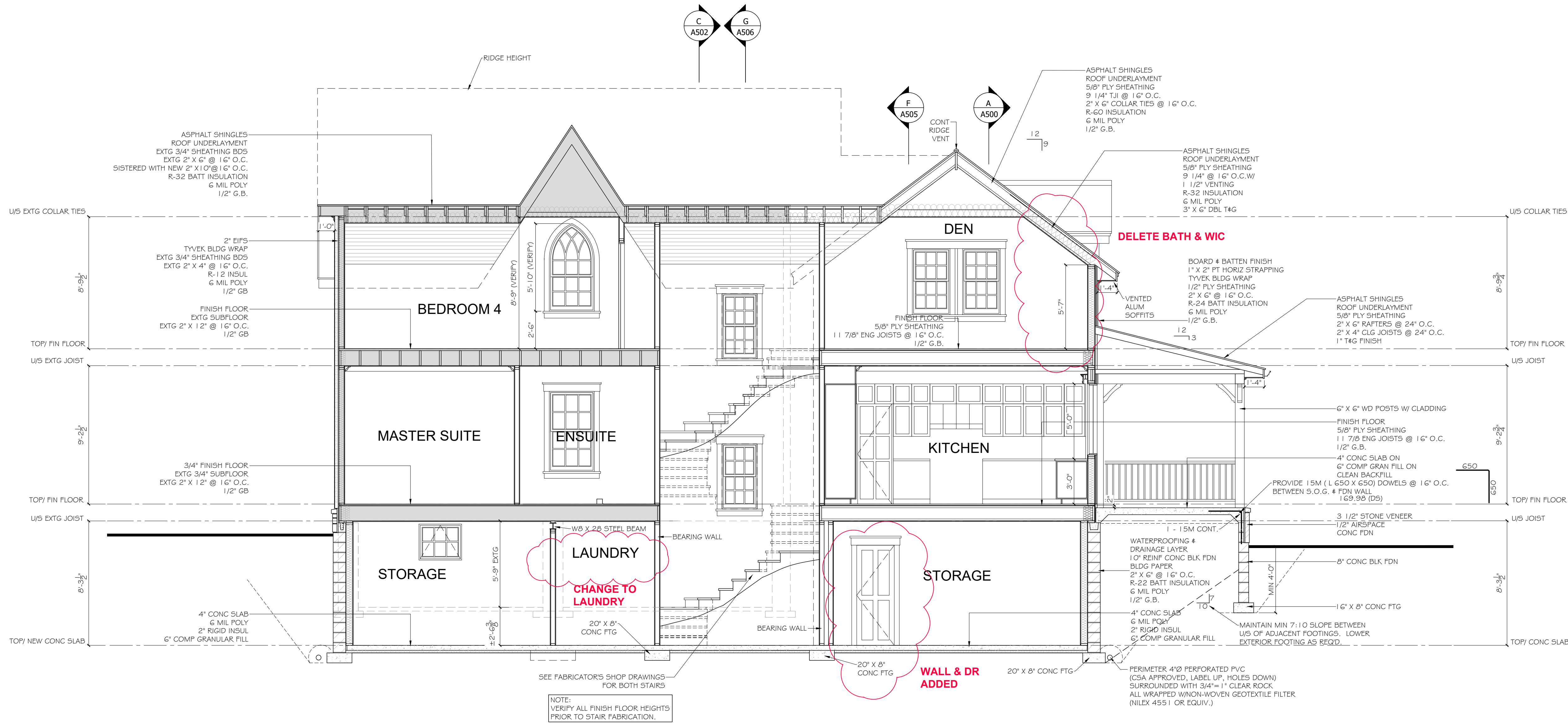
Project No. 19-74
Date MARCH 19, 2020
Scale 1/4"=1'-0"
Sheet
A502



Title		SPI - 20 - 85 W11	
SECTION D			
Project No.		Sheet	
19-74		A503	
Date MARCH 19, 2020			
Scale 1/4" = 1'-0"			

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REVISION TO PERMIT BP 21-6804

5	CHANGE TO BSMT LAYOUT	102522
4	C.I. REMOVED	091322
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	112221
1	STONE FOUNDATION REMOVED	091321
No.	Revision/Issue	Date

No.	Revision/Issue	Date

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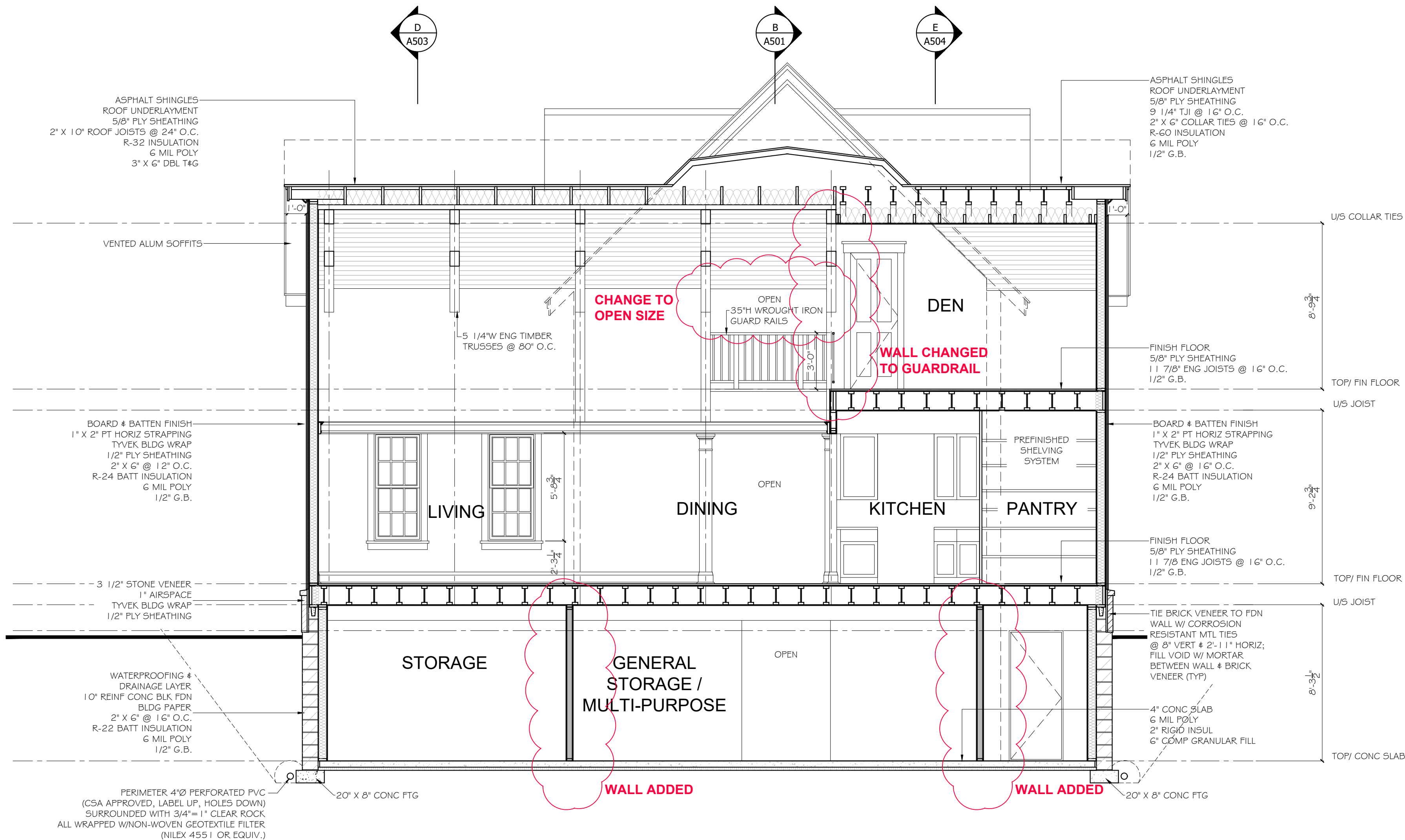
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Project Name & Address:
**PROPOSED ADDITION & RENOVATIONS & DETACHED GARAGE FOR:
ANDREA STEWART
7076 MILL STREET, MEADOWVALE VILLAGE
416-433-5780**

SECTION E
Project No. 19-74
Date MARCH 19, 2020
Scale 1/4"=1'-0"
Sheet **A504**

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5	CHANGE TO BSMT LAYOUT	102522
4	C.I. REMOVED	091322
3	CONSTRUCTION ISSUE NO.2	121421
2	CONSTRUCTION ISSUE NO.1	112221
1	STONE FOUNDATION REMOVED	091321
No.	Revision/Issue	Date

No.	Revision/Issue	Date
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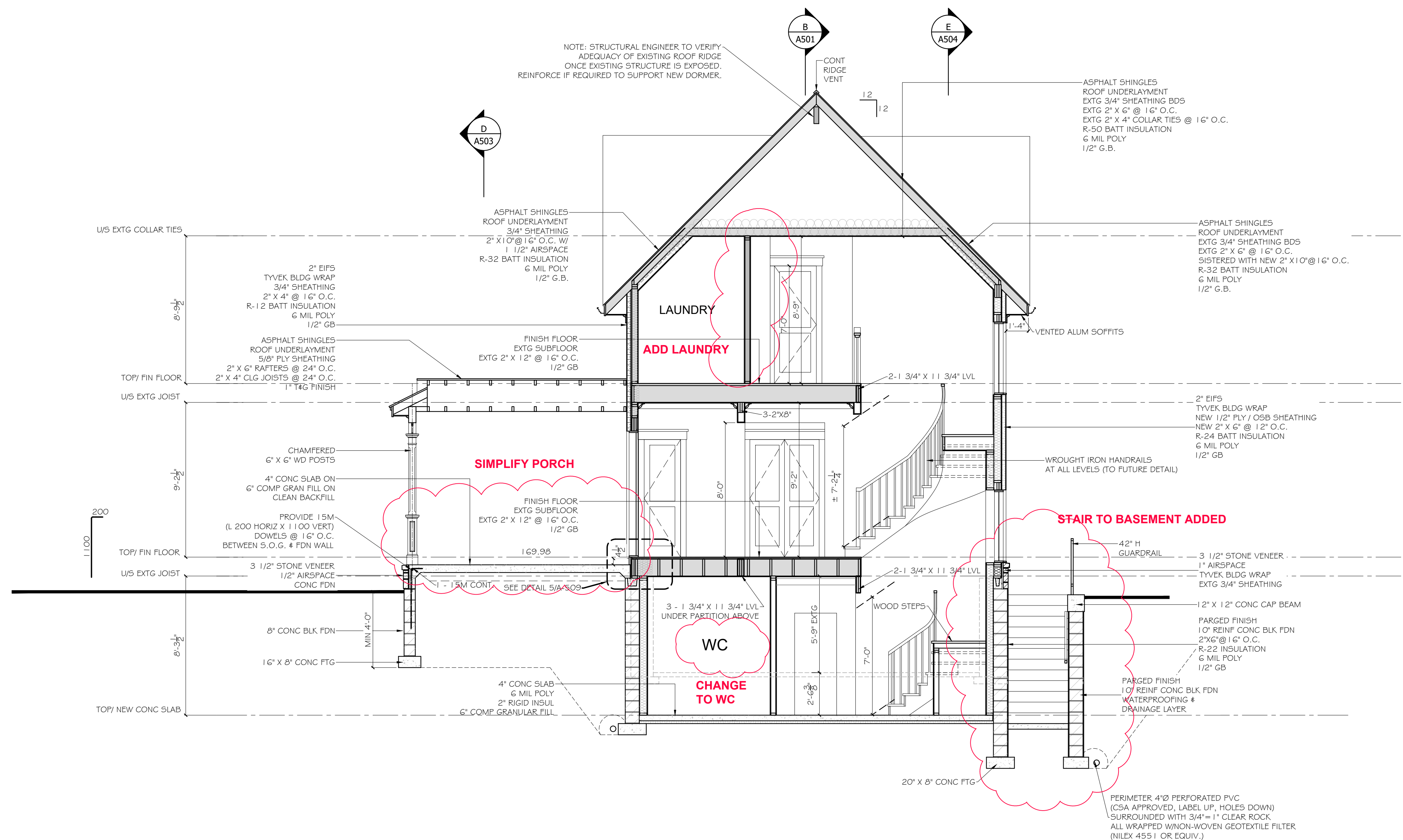
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Project Name & Address:
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Rev:	SPI - 20 - 85 W11
Section:	SECTION F
Project No.:	19-74
Date:	MARCH 19, 2020
Scale:	1/4"= 1'-0"
Sheet:	A505



REVISION TO PERMIT BP 21-6804

5	CHANGE TO PORCH	102522
4	STAIRWELL WINDOW REMOVED	091322
3	CONSTRUCTION ISSUE NO.2	12142
2	CONSTRUCTION ISSUE NO.1	112222
1	STONE FOUNDATION REMOVED	09132
No.	Revision/Issue	Date

No.	Revision/Issue	Date

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Page 10 of 10

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 DETACHED GARAGE FOR:
 ANDREA STEWART
 7076 MILL STREET, MEADOWVALE VILLAGE
 416-433-5780**

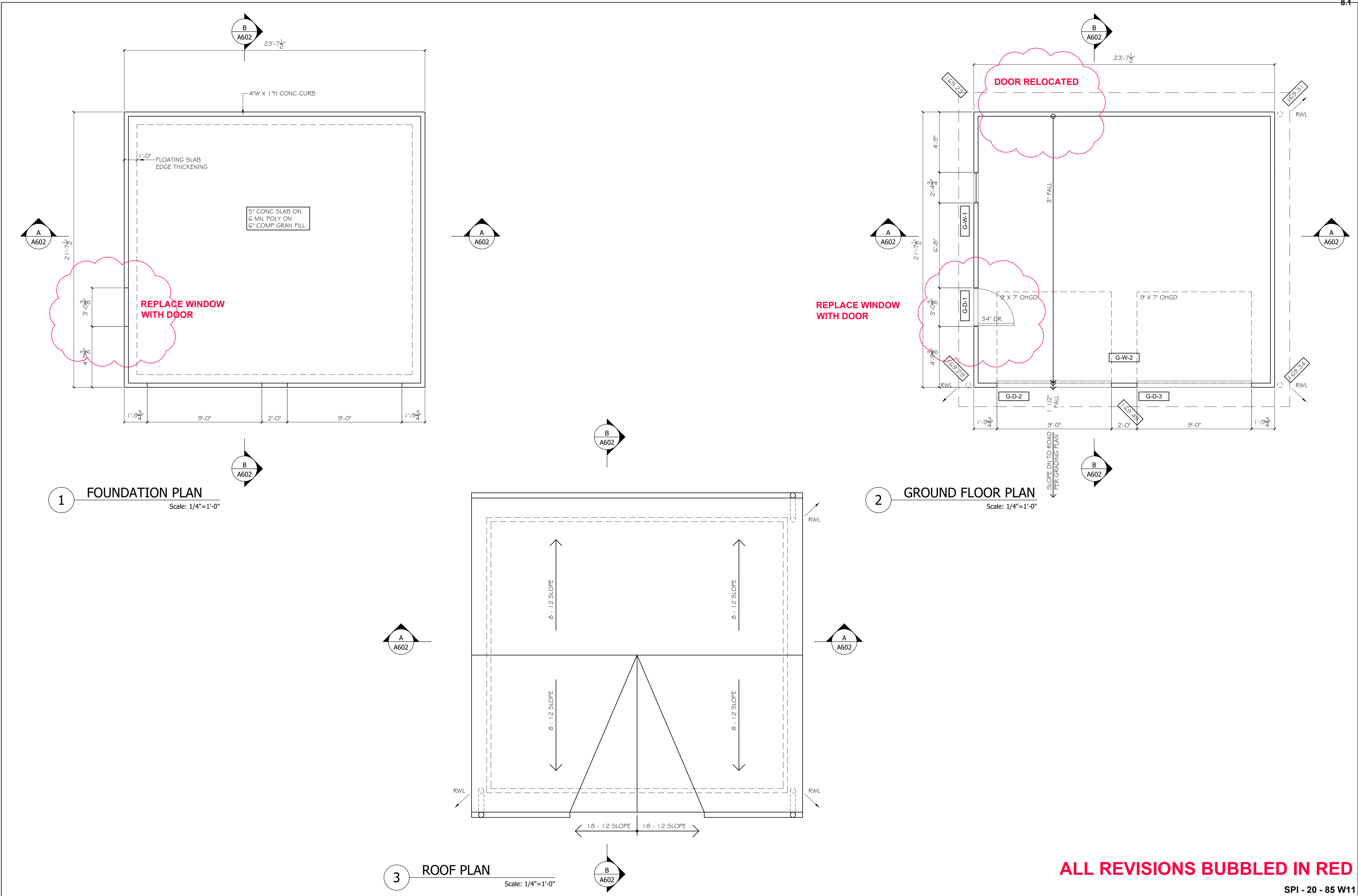
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SECTION G		
Project No.	19-74	Sheet A506
Date	MARCH 19, 2020	
Scale	1/4" = 1'-0"	



SPI - 20 - 85 W11

Title		FRONT PORCH DETAILS
Project No.		
Date		
Scale		
19-74 MARCH 19, 2020 AS NOTED		Sheet A509

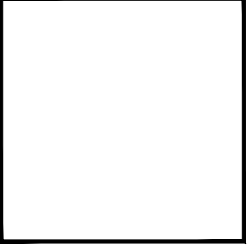
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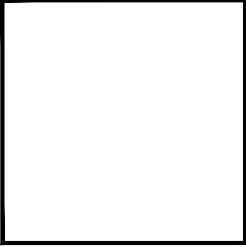
3	UPDATE PER JELDOWEN	121521
2	CONSTRUCTION ISSUE NO.2	121421
1	CONSTRUCTION ISSUE NO.1	112221
No.	Revision/Issue	Date

No.	Revision/Issue	Date
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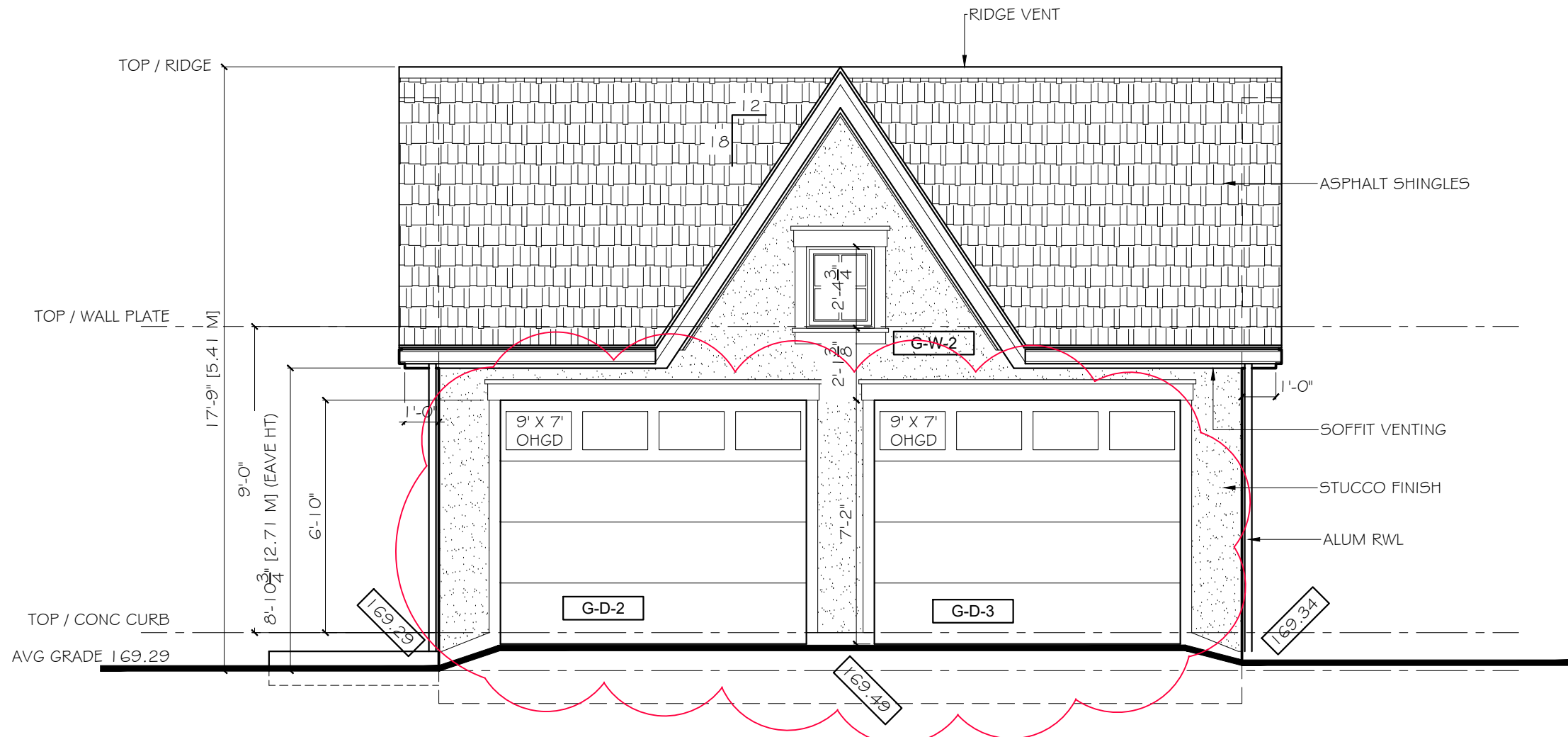
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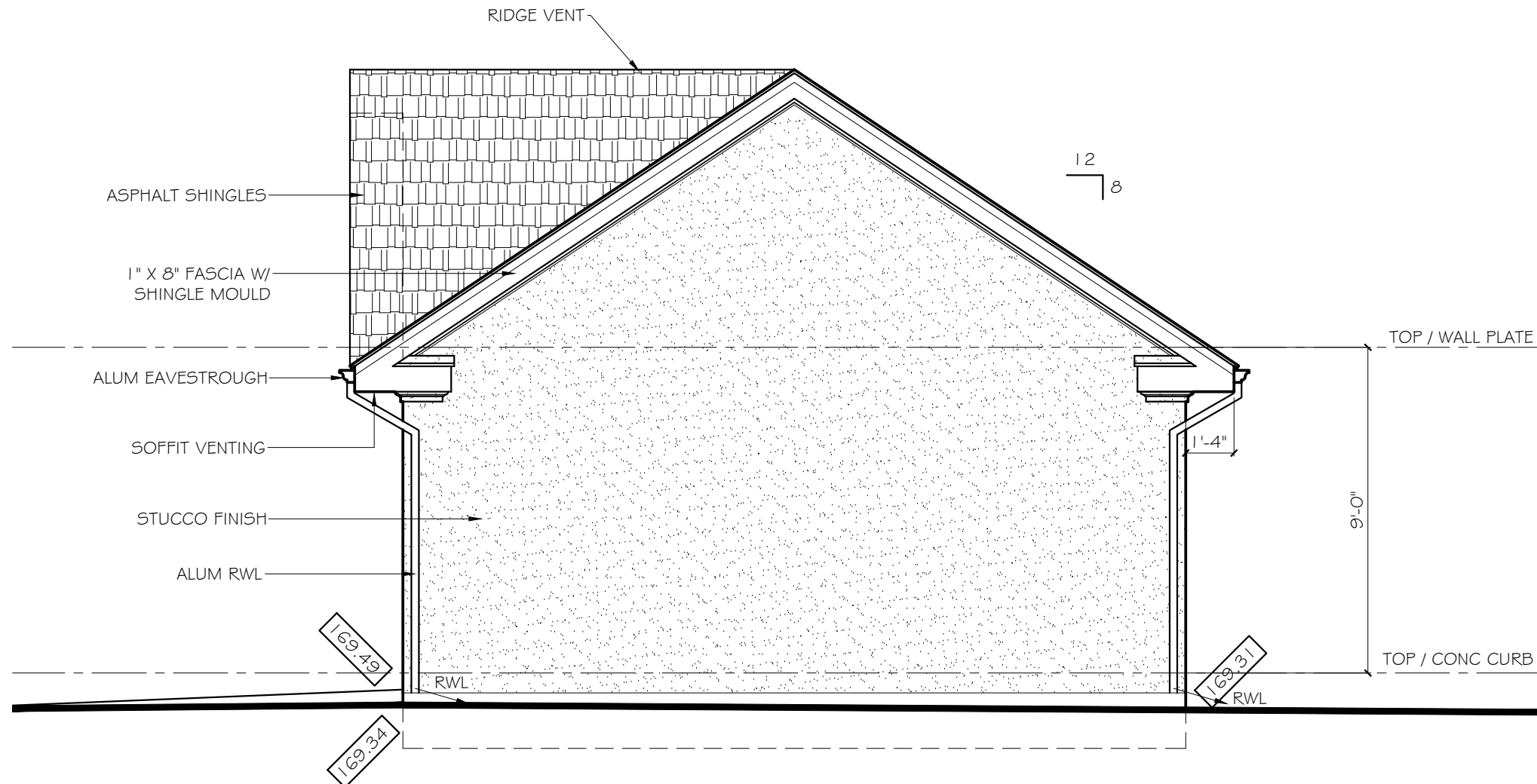
GARAGE PLANS	
Project No. 19-74	Sheet
Date MARCH 19, 2020	A600
Scale 1/4"=1'-0"	

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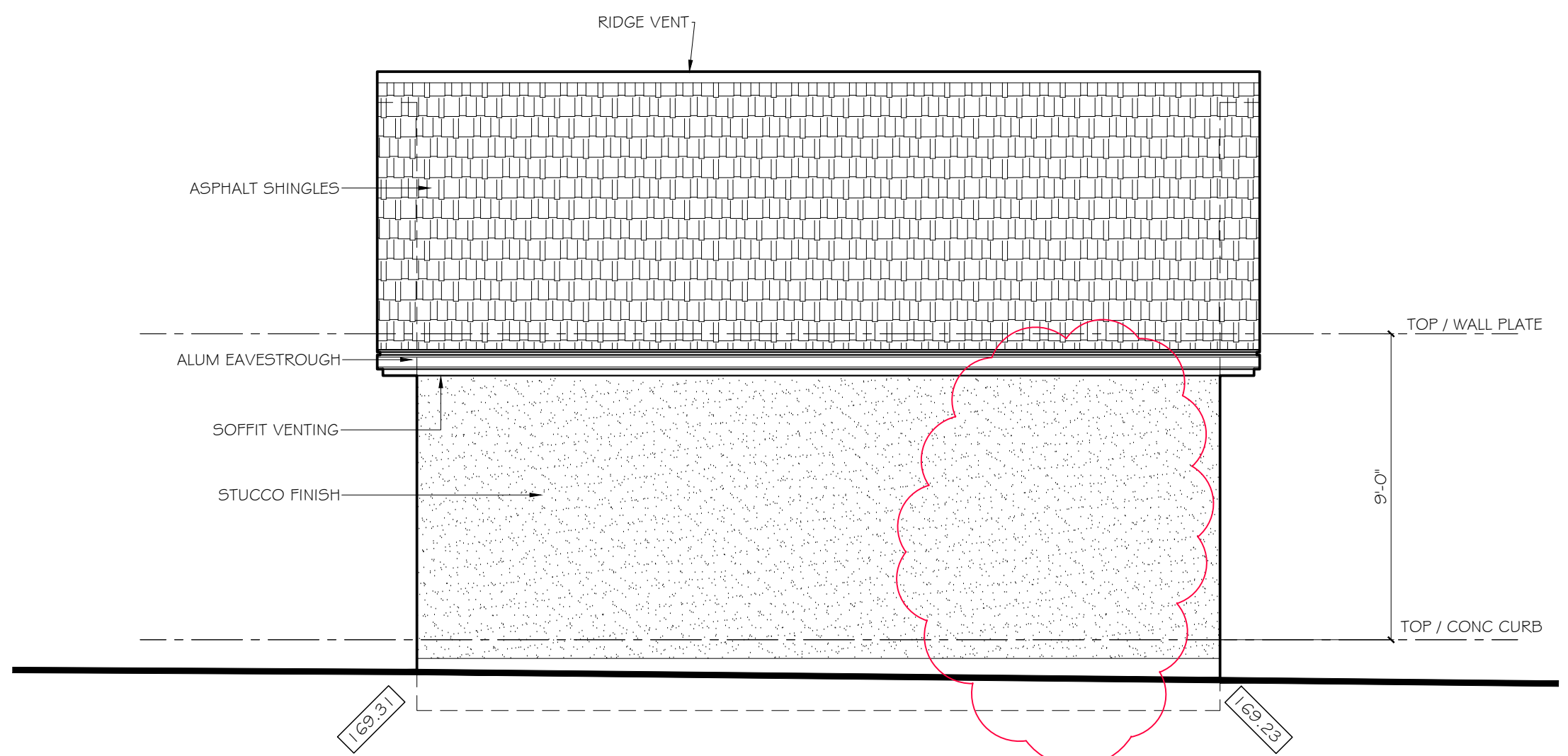
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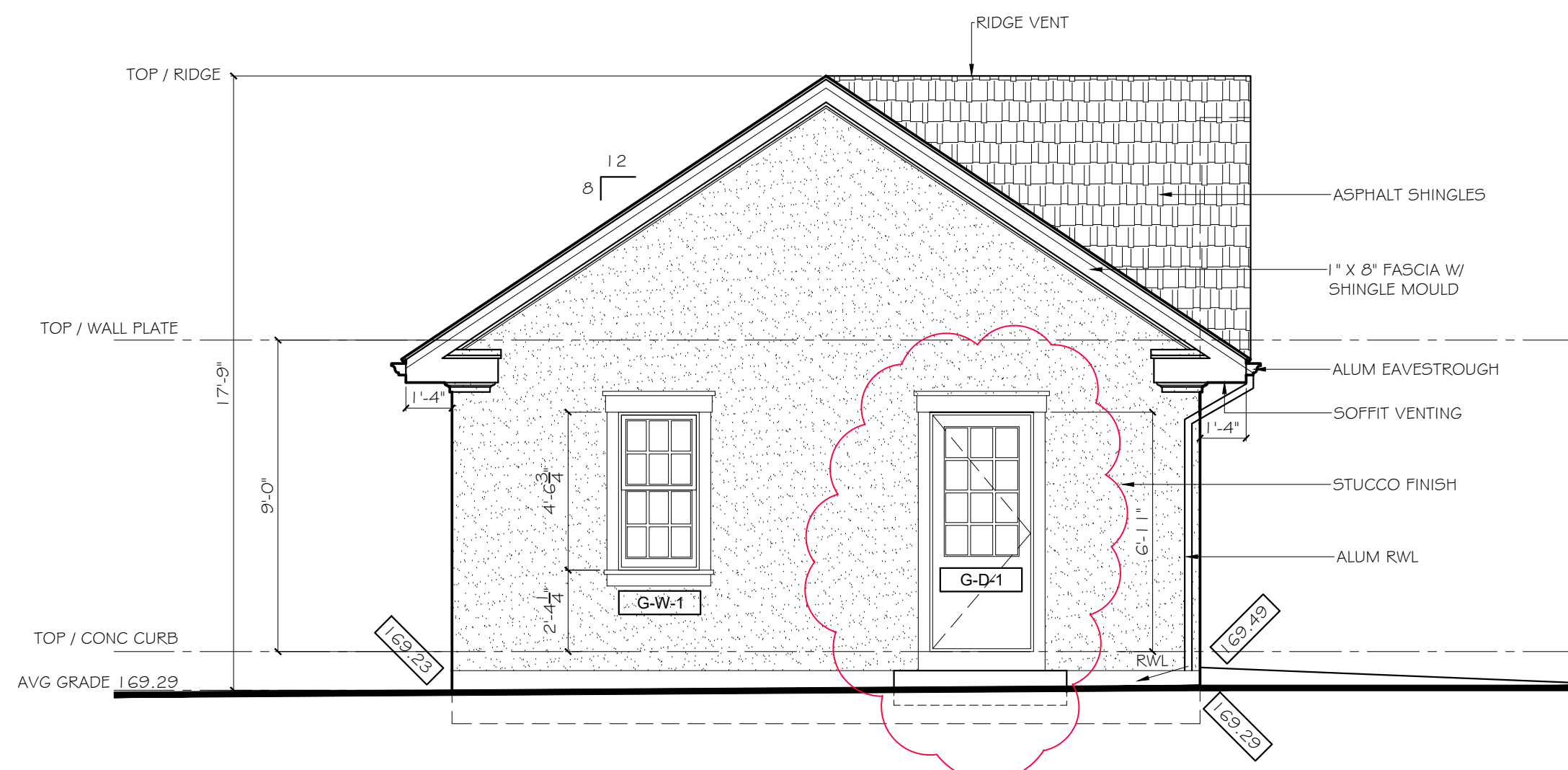
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Scale: 1/4"=1'-0"



2 NORTH ELEVATION
Scale: 1/4"=1'-0"



3 WEST ELEVATION
Scale: 1/4"=1'-0"



4 SOUTH ELEVATION
Scale: 1/4"=1'-0"

No.	Revision/Issue	Date
4	CHANGE TO O/H DOOR	102522
3	UPDATE PER JELDOWEN	121521
2	CONSTRUCTION ISSUE NO.2	121421
1	CONSTRUCTION ISSUE NO.1	112221

No.	Revision/Issue	Date

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The GARAGE ELEVATIONS

Project No.	19-74	Sheet	A601
Date	MARCH 19, 2020		
Scale	1/4"=1'-0"		