



ERA Architects Inc.  
#600-625 Church St  
Toronto ON, M4Y 2G1

## 181 LAKESHORE ROAD WEST HIA ADDENDUM

**Subject:** HERITAGE IMPACT ASSESSMENT ADDENDUM

**Issued To:** Paula Wubbenhorst  
Heritage Planner  
Mississauga City Hall, Suite 202  
201 City Centre Drive  
Mississauga, ON L5B 4E4  
paula.wubbenhorst@mississauga.ca

**Project:** 181 Lakeshore Road West

**Project #:** 16-206-01

**Prepared By:** MM/JT/EM

**Issued:** April 9, 2020

Dear Ms. Wubbenhorst,

This Heritage Impact Assessment (HIA) Addendum has been prepared by ERA Architects Inc., on behalf of the Port Credit West Village Partners Inc. ('the applicant') for the redevelopment of the property municipally known as 181 Lakeshore Road West (the 'Subject Site' or the 'site'). The Subject Site forms part of an approved phased development that includes the property municipally known as 70 Mississauga Road South, together known as 'Brightwater'. Specifically, this addendum describes the contemplated design of a temporary sales centre for Brightwater, and discusses associated impacts on the Mississauga Road Scenic Route Cultural Landscape, as well as adjacent recognized heritage properties.

This HIA Addendum is intended to be read in conjunction with a revised HIA and HIA addendum for Brightwater, issued by ERA Architects on November 1, 2018 (the '2018 HIA'), and February 4, 2020 (the '2020 HIA addendum'), respectively.

### Site Description

The Subject Site, located at the southwest corner of Lakeshore Road West and Mississauga Road South, currently contains a decommissioned gas station. While the canopy and gas pumps have been removed, a one-storey former convenience store and car wash remain on-site. The buildings are located near the centre of the Subject Site, and along its western edge, respectively. Landscaping around the periphery of the former gas station consists of a mixture of deciduous and coniferous trees, shrubs, and lawn.

### Heritage Recognition

The Subject Site is listed on the City of Mississauga Heritage Register as it forms part of the Mississauga Road Scenic Route Cultural Landscape (an update to the cultural landscape inventory is currently being undertaken by the City of Mississauga). The Subject Site is considered adjacent, as defined in the Provincial Policy Statement, 2020, to the western boundary of the Old Port Credit Village Heritage Conservation District (the 'HCD' or the 'District').



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### **Application History**

In November 2018, the applicant resubmitted a Zoning By-law Amendment (ZBA), Official Plan Amendment (OPA), and Draft Plan of Subdivision application for Brightwater that included the 2018 HIA. This followed two previous combined ZBA/OPA and Draft Plan of Subdivision submissions dated August 2017 and March 2018.

In 2018, the applicant appealed the ZBA/OPA and Draft Plan of Subdivision applications to the Local Planning Appeal Tribunal) ('LPAT') due to City Council's failure to make a decision within the timeframe prescribed in *The Planning Act*. In advance of the LPAT hearing, without prejudice conversations between the City and the applicant resulted in a settlement proposal that addressed, among other issues, the subdivision of Brightwater into constituent blocks, and a preliminary built form relationship with the adjacent Old Port Credit Village HCD. The settlement proposal, as outlined in a Staff report dated July 29, 2019, was adopted by City Council on July 31, 2019, and the LPAT Order was issued on November 15, 2019. The 2020 HIA addendum will be submitted to satisfy Draft Plan Condition 6.0 of the LPAT Order.

This HIA addendum, prepared at the request of municipal heritage staff, is included as part of a building permit application.

### **Development Description**

#### *Built Form*

The temporary sales centre, as illustrated in the architectural drawings prepared by Giannone Petricone Associates (see Appendix A of this addendum), consists of a one-storey modular structure integrated in an L-shaped configuration with the one-storey former convenience store. The modular structure, built as an addition to the existing building, is proposed to be clad predominately in transparent glazing. In contrast, the exterior of the former convenience store will feature wood screening organized in a vertical pattern to obscure its current cladding.

Backlit aluminum signage reading 'Brightwater' is proposed along the northeast corner of the existing building. The former car wash along the western edge of the Subject Site will be retained, but is not proposed to be repurposed. For the duration of the Subject Site's use as a temporary sales centre, it will remain vacant and secured.

Vehicular access to surface parking is indicated from one point each along Lakeshore Road West and Mississauga Road South, while primary pedestrian access to the temporary sales centre is proposed along the west elevation of the former convenience store. This entry will be accessible from paved pathways leading from the existing sidewalks along Lakeshore Road West and Mississauga Road South.

#### *Landscape*

The landscape drawings, prepared by studioTLA and included as Appendix B of this addendum, retains and augments many of the existing landscape features on the Subject Site (e.g. paving units and trees). For the purpose of this addendum, focus will be on the landscape approach fronting Mississauga Road South given its municipal identification as a cultural landscape, and its proximity to the adjacent HCD.



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Along the eastern edge of the Subject Site, fronting Mississauga Road South, all but two of the existing trees will be retained, and new plantings/sod laid to replace any damaged material. It is our understanding that tree protection fencing will be erected in accordance with City of Mississauga standards. New shrubs are proposed along the periphery of the surface parking lot to help define the space.

### **Heritage Response**

The low-rise character of the proposed building, and contemplated landscape treatment, are compatible in character with the adjacent HCD, responding to policy direction contained within the Old Port Credit Village HCD Plan, and recommended mitigation measures in the 2018 HIA.

In absence of policy direction within the HCD Plan concerning materiality of adjacent properties, Section 6.1 of the 2018 HIA included a series of mitigation measures to help ensure a compatible built form relationship with the District. The selection of wood screening responds to these recommended mitigation measures by referencing the natural and textured quality of material found within the HCD. Further, the proposed use of both transparent glazing and wood screening breaks up the building's massing to reduce its visual weight relative to adjacent heritage fabric. This approach to materiality, along with the contemporary design of the temporary building, ensures that the development is compatible with, subordinate to, and distinguishable from the adjacent HCD.

As described above, the proposed landscape approach maintains all but two of the existing trees bordering Mississauga Road South. Where required, damaged plantings will also be replaced with new to match existing. As the contemplated landscape approach maintains and enhances much of the existing planting scheme, no adverse impact on the Mississauga Road Scenic Route Cultural Landscape is anticipated.

### **Conclusion**

In light of the material outlined above, we find that the design approach for the temporary sales centre conserves the described cultural heritage value of the Old Port Credit Village HCD, and the Mississauga Road Scenic Route Cultural Landscape.

We trust that the information contained within this HIA addendum sufficiently addresses issues of potential impact on recognized heritage resources adjacent to the Subject Site. Please do not hesitate to contact us if you require further information or wish to discuss the contents of this letter.

Sincerely,

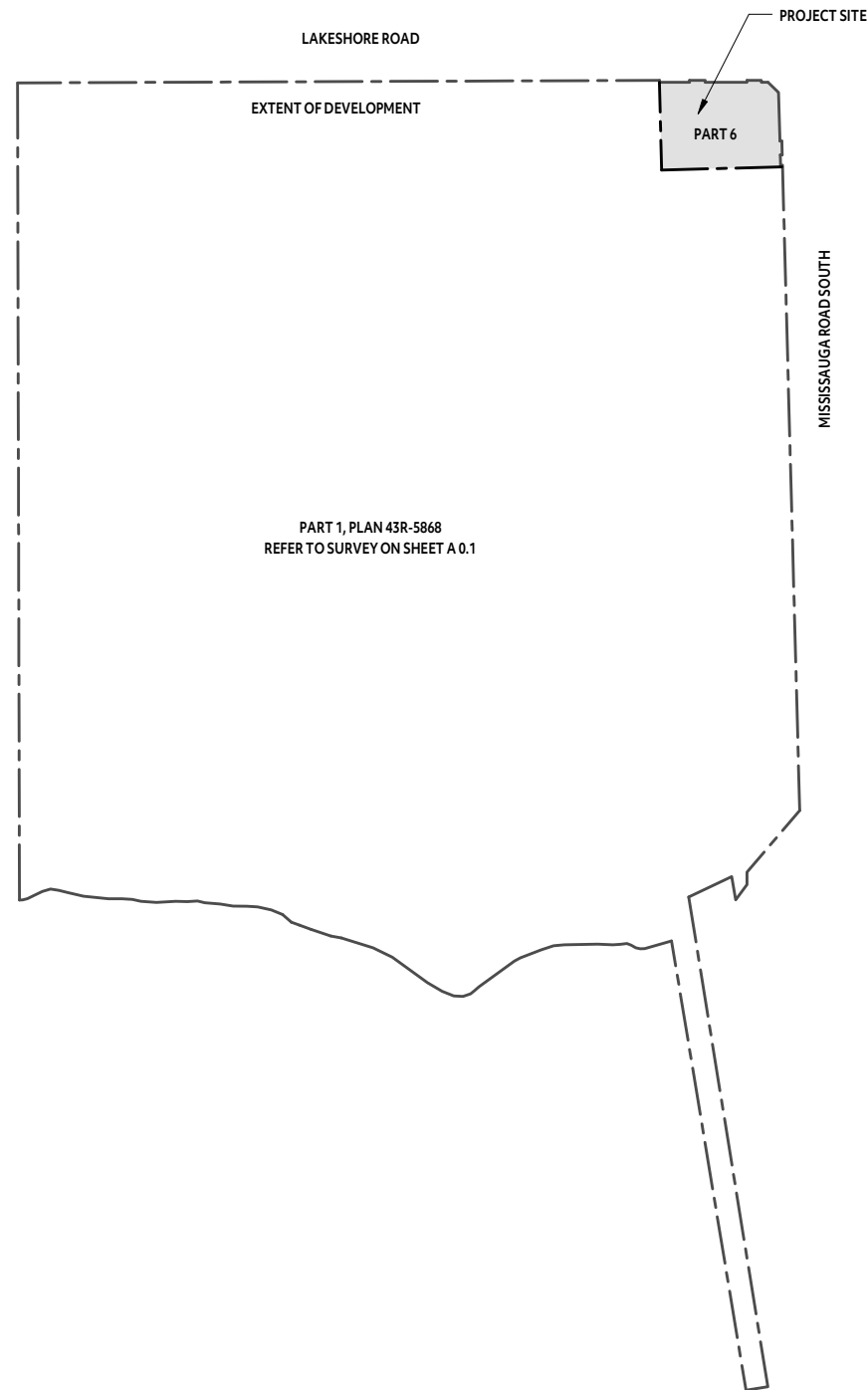
A handwritten signature in black ink, appearing to read 'Michael McClelland', with a stylized flourish at the end.

Michael McClelland, Principal  
E.R.A. Architects Inc.

## APPENDIX A

Architectural drawings prepared by Giannone Petricone Associates





KEY PLAN  
1 : 5000

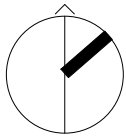
# BRIGHTWATER SALES CENTRE

70 MISSISSAUGA RD SOUTH  
MISSISSAUGA, ONTARIO

Lot Coverage			
Name	Area	Percentage	Comments
Site			
Open Site Area	4061 m <sup>2</sup>	91%	
	4061 m <sup>2</sup>	91%	
Sales Centre			
PROPOSED NEW CONSTRUCTION	123 m <sup>2</sup>	3%	
EXISTING SERVICE STATION	148 m <sup>2</sup>	3%	
NEW VESTIBULE	7 m <sup>2</sup>	0%	
	278 m <sup>2</sup>	6%	
Car Wash			
EXISTING CAR WASH	101 m <sup>2</sup>	2%	
	101 m <sup>2</sup>	2%	
LOT AREA	4440 m <sup>2</sup>	100%	

3	Issued for Site Plan Approval	2020-02-05
2	Issued for Preapplication Meeting	2019-12-20
1	Issued for Minor Variance	2019-10-04

Revision	Date
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giannone  
petricone  
associates

Giannone Petricone Associates Inc. Architects  
462 Wellington Street West, Toronto, M5V 1E3,  
T 416.591.7788 E mail@gpaia.com

## Brightwater Sales Centre

70 Mississauga Rd South, Mississauga, ON  
L5H 2H3

SHEET TITLE

COVER PAGE

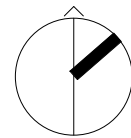
DRAWN BY:	CK
CHECKED BY:	AV / CF
PROJECT START DATE:	09/18/19
PROJECT NO.:	19156
SHEET NUMBER	

A0.00

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

3	Issued for Site Plan Approval	2020-02-05
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**Brightwater Sales Centre**

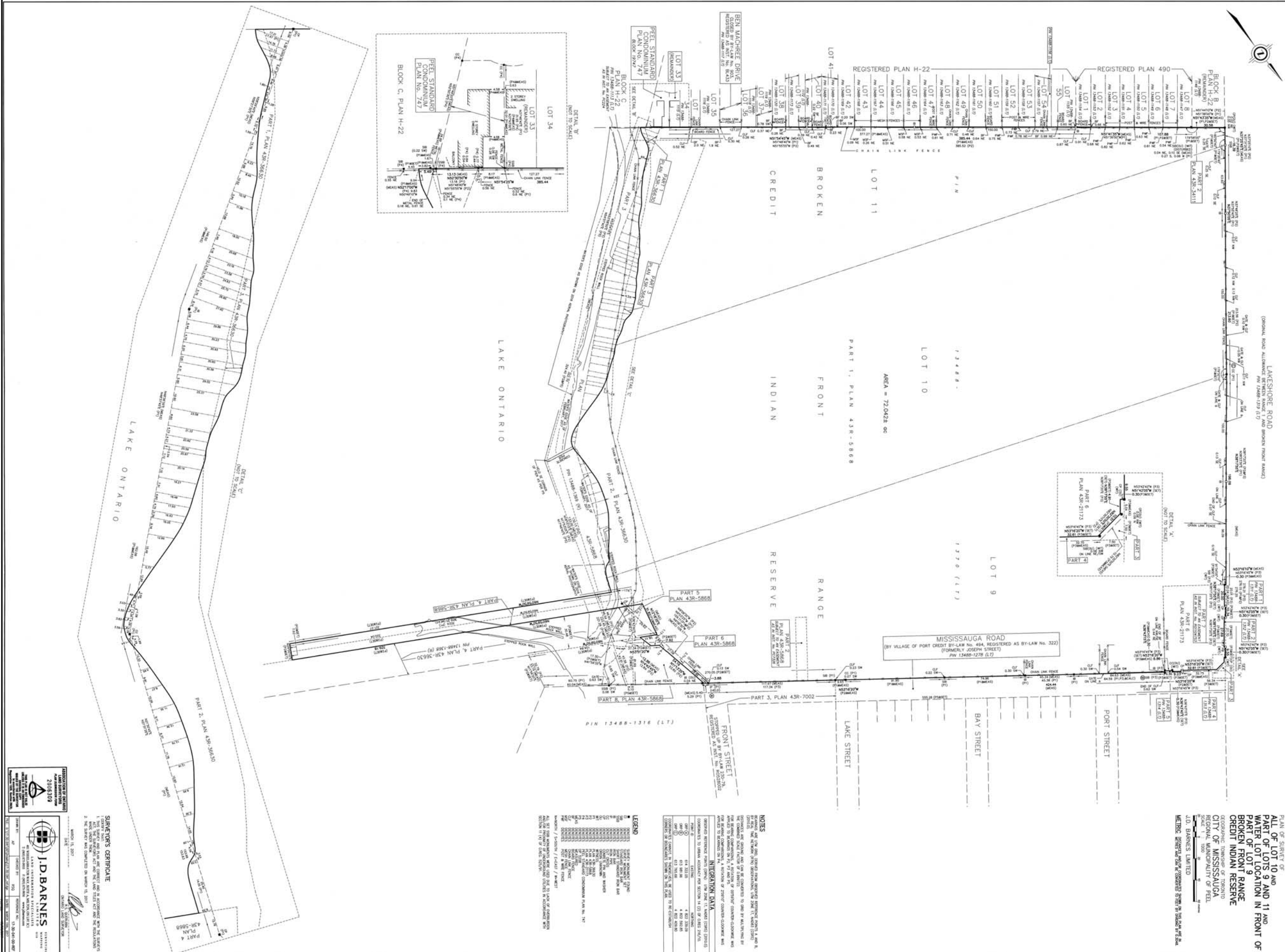
70 Mississauga Rd South, Mississauga, ON  
L5H 2H3

SHEET TITLE

**SITE SURVEY**

DRAWN BY:	CK
CHECKED BY:	AV / CF
PROJECT START DATE:	10/02/19
PROJECT NO.:	19156
SHEET NUMBER	

**A0.10**



**NOTES**

1. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEY ACT, R.S.O. 1990, CHAPTER S.5, AND THE REGULATION, R.R.O. 1990, CHAPTER R.61, AND THE SURVEY ACT, R.S.O. 1990, CHAPTER S.5, AND THE REGULATION, R.R.O. 1990, CHAPTER R.61, AND THE SURVEY ACT, R.S.O. 1990, CHAPTER S.5, AND THE REGULATION, R.R.O. 1990, CHAPTER R.61.

2. THE SURVEY WAS CONDUCTED ON MARCH 15, 2017.

3. THE SURVEY WAS CONDUCTED BY J.D. BARNES LIMITED.

4. THE SURVEY WAS CONDUCTED BY J.D. BARNES LIMITED.

5. THE SURVEY WAS CONDUCTED BY J.D. BARNES LIMITED.

6. THE SURVEY WAS CONDUCTED BY J.D. BARNES LIMITED.

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8. THE SURVEY WAS CONDUCTED BY J.D. BARNES LIMITED.

9. THE SURVEY WAS CONDUCTED BY J.D. BARNES LIMITED.

10. THE SURVEY WAS CONDUCTED BY J.D. BARNES LIMITED.

**2018-2019**

**J.D. BARNES LIMITED**

1000 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1S 1T6

TEL: (416) 291-1111 FAX: (416) 291-1112

WWW.JDBARNES.COM

DATE: MARCH 15, 2017

SCALE: 1" = 100'

PROJECT NO.: 19156

SHEET NO.: 10

TOTAL SHEETS: 10

DATE: MARCH 15, 2017

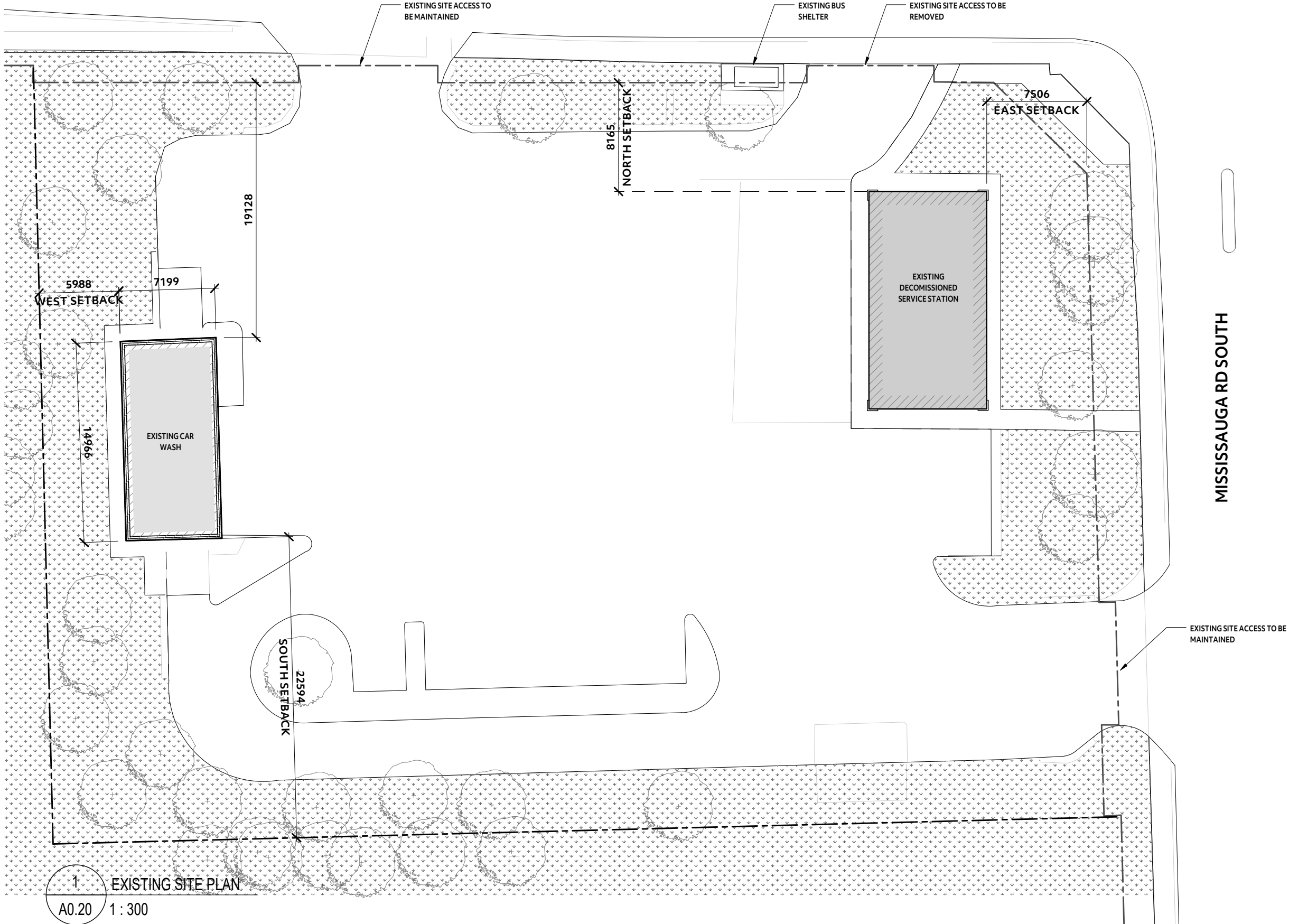
SCALE: 1" = 100'

PROJECT NO.: 19156

SHEET NO.: 10

TOTAL SHEETS: 10

LAKESHORE ROAD

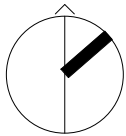


SITEPLAN LEGEND

- SITE BOUNDARY
- BOUNDARY OF SUBJECT LANDS OF APPLICATION
- /// BUILDING EXTENTS
- +0000 SPOT ELEVATION RELATIVE TO ESTABLISHED GRADE

3	Issued for Site Plan Approval	2020-02-05
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Revision	Date
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Brightwater Sales Centre

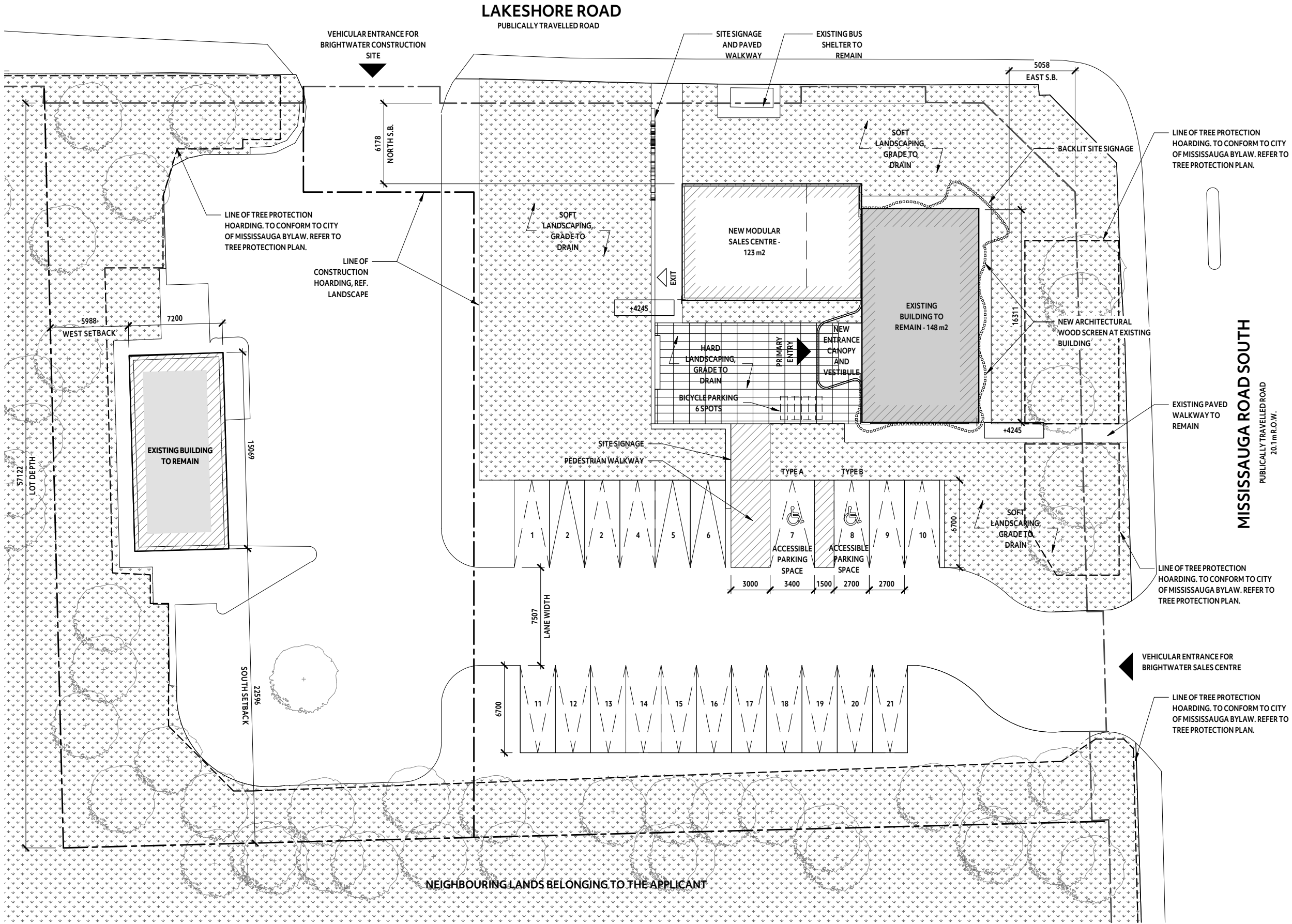
70 Mississauga Rd South, Mississauga, ON  
L5H 2H3

SHEET TITLE

EXISTING SITE PLAN

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PROJECT START DATE:	09/26/19
PROJECT NO.:	19156
SHEET NUMBER	

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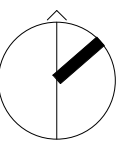


**SITEPLAN LEGEND**

- SITE BOUNDARY
- BOUNDARY OF SUBJECT LANDS OF APPLICATION
- /// BUILDING EXTENTS
- +0000 SPOT ELEVATION RELATIVE TO ESTABLISHED GRADE

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**Brightwater Sales Centre**

70 Mississauga Rd South, Mississauga, ON  
L5H 2H3

SHEET TITLE

**PROPOSED SITE PLAN**

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CHECKED BY:	AV / CF
PROJECT START DATE:	09/26/19
PROJECT NO.:	19156
SHEET NUMBER	

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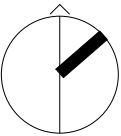
LEGEND

- SITE BOUNDARY
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- +0000

SPOT ELEVATION RELATIVE TO ESTABLISHED GRADE

3	Issued for Site Plan Approval	2020-02-05
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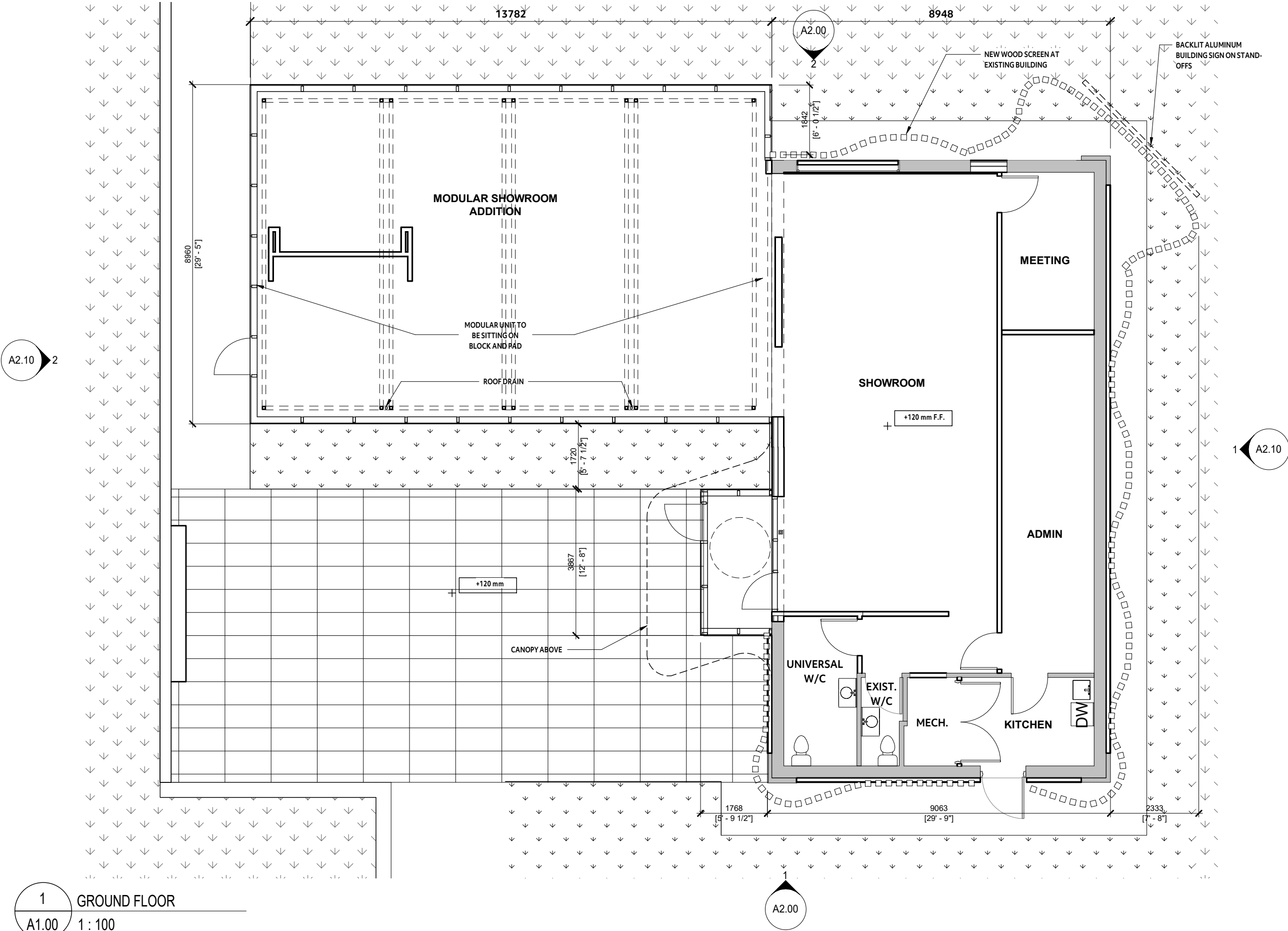
70 Mississauga Rd South, Mississauga, ON  
L5H 2H3

SHEET TITLE

GROUND FLOOR PLAN

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PROJECT START DATE:	09/18/19
PROJECT NO.:	19156
SHEET NUMBER	

A1.00





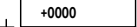


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1 A2.10

A2.00

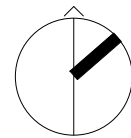
1  
A1.00 GROUND FLOOR  
1 : 100

## LEGEND

	EXISTING TO REMAIN
	NEW CONSTRUCTION
	SPOT ELEVATION RELATIVE TO ESTABLISHED GRADE
	ROOF DRAIN
	EXISTING BUILDING, SCOPE OF WORK TO BE COMPLETED BY OTHERS

3	Issued for Site Plan Approval	2020-02-05
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Revision	Date
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## Brightwater Sales Centre

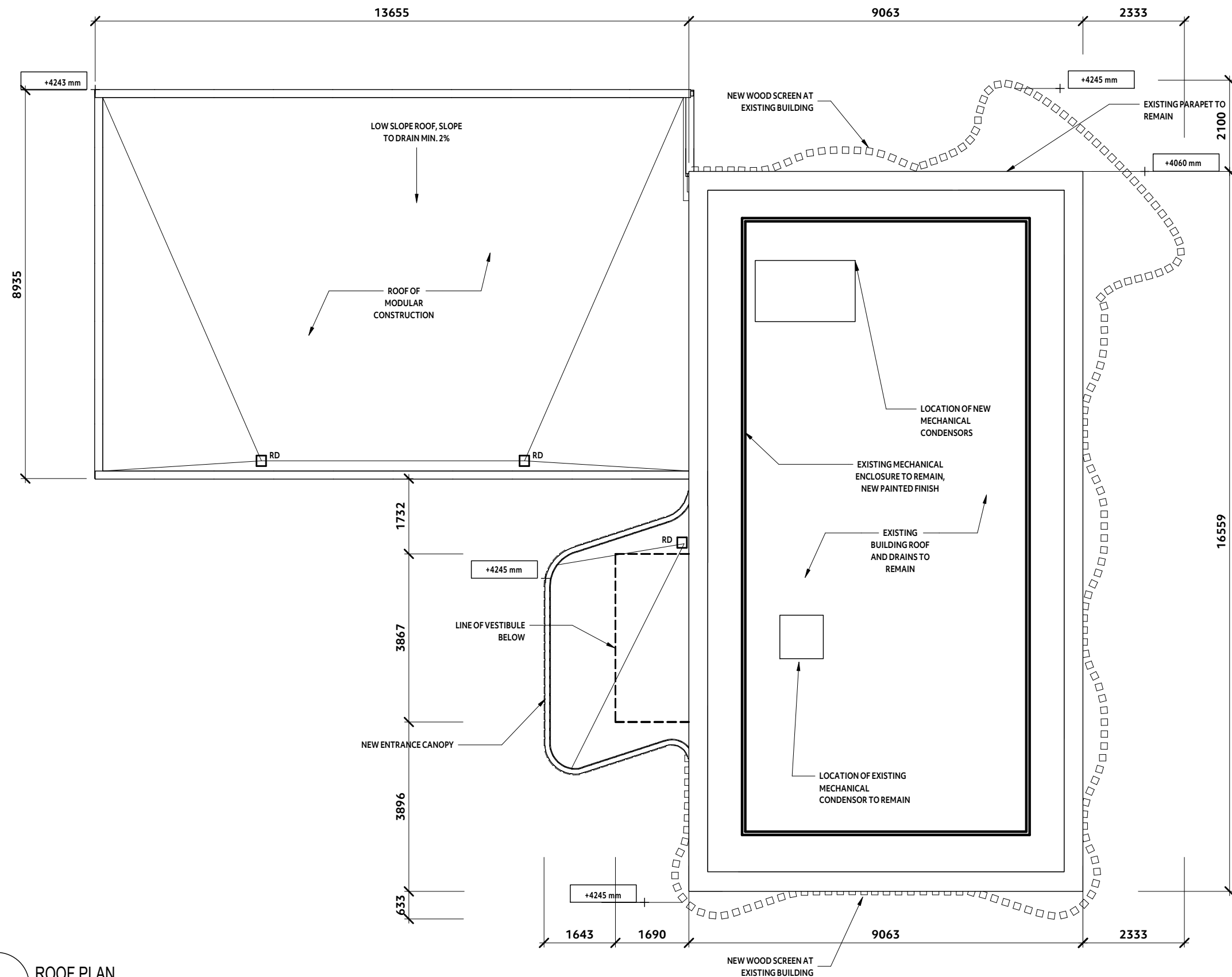
70 Mississauga Rd South, Mississauga, ON  
L5H 2H3

## SHEET TITLE

## ROOF PLAN

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CHECKED BY:	AV / CF
PROJECT START DATE:	09/19/19
PROJECT NO.:	19156
SHEET NUMBER	

# A1.10



1 ROOF PLAN  
A1.10 1:100

## LEGEND

GL-1	SSG CURTAIN WALL WITH VISION GLAZING
GL-2	BACKPAINTED INSULATED GLASS SPANDREL PANEL
MTL-1	METAL FLASHING
WD-1	WOOD SOFFIT
WD-2	CUSTOM WOOD SCREEN
WD-3	WOOD CLADDING TO MATCH WD-2
PT-X	PAINTED FINISH
PT-X	PAINTED FINISH

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**Brightwater Sales Centre**

70 Mississauga Rd South, Mississauga, ON  
L5H 2H3

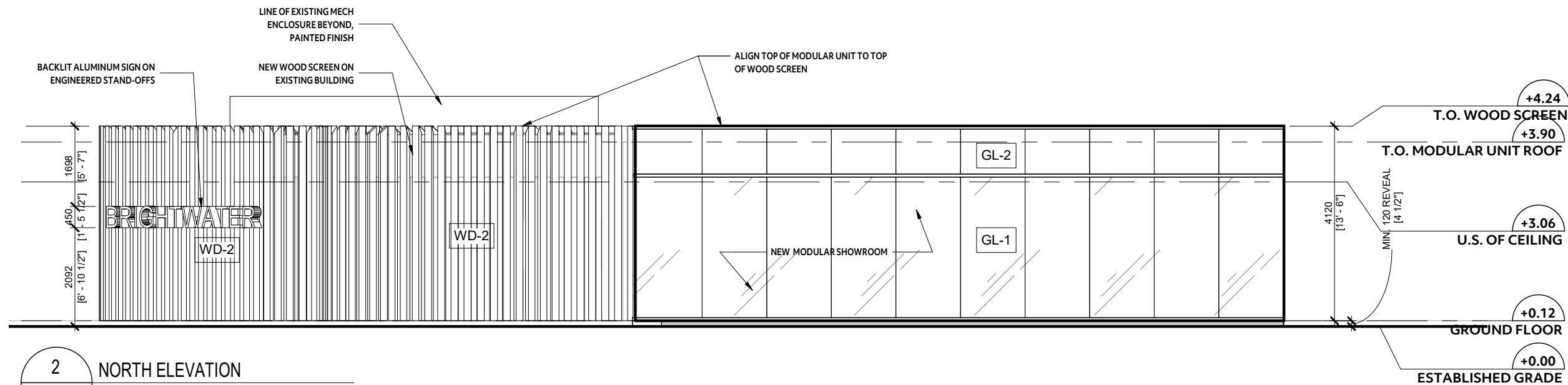
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**ELEVATIONS**

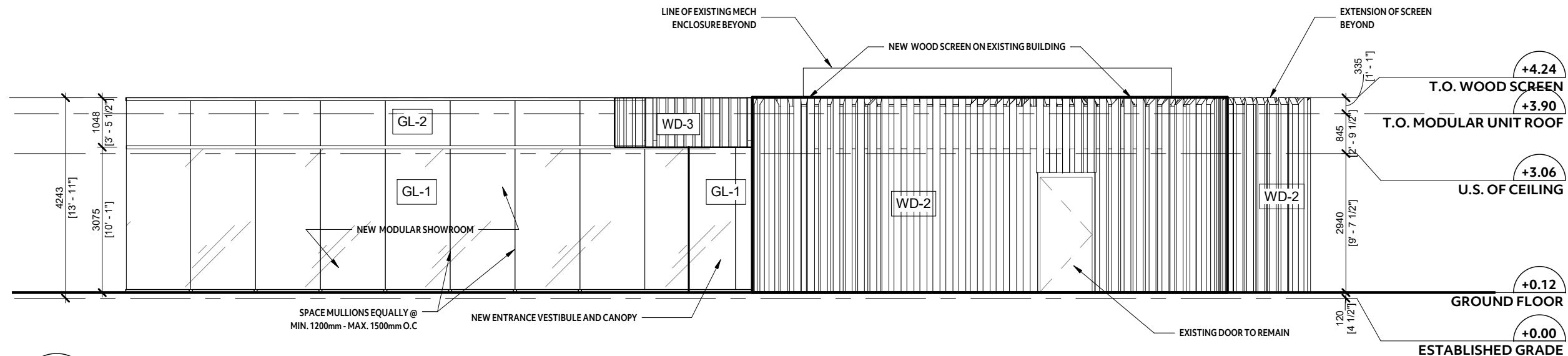
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PROJECT START DATE:	09/19/19
PROJECT NO.:	19156
SHEET NUMBER	

**A2.00**

PLOT DATE: 2020-02-05 4:56:06 PM



2 NORTH ELEVATION  
A2.00 1 : 100



1 SOUTH ELEVATION  
A2.00 1 : 100

LEGEND

GL-1	SSG CURTAIN WALL WITH VISION GLAZING
GL-2	BACKPAINTED INSULATED GLASS SPANDREL PANEL
MTL-1	METAL FLASHING
WD-1	WOOD SOFFIT
WD-2	CUSTOM WOOD SCREEN
WD-3	WOOD CLADDING TO MATCH WD-2
PT-X	PAINTED FINISH
PT-X	PAINTED FINISH

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Brightwater Sales Centre

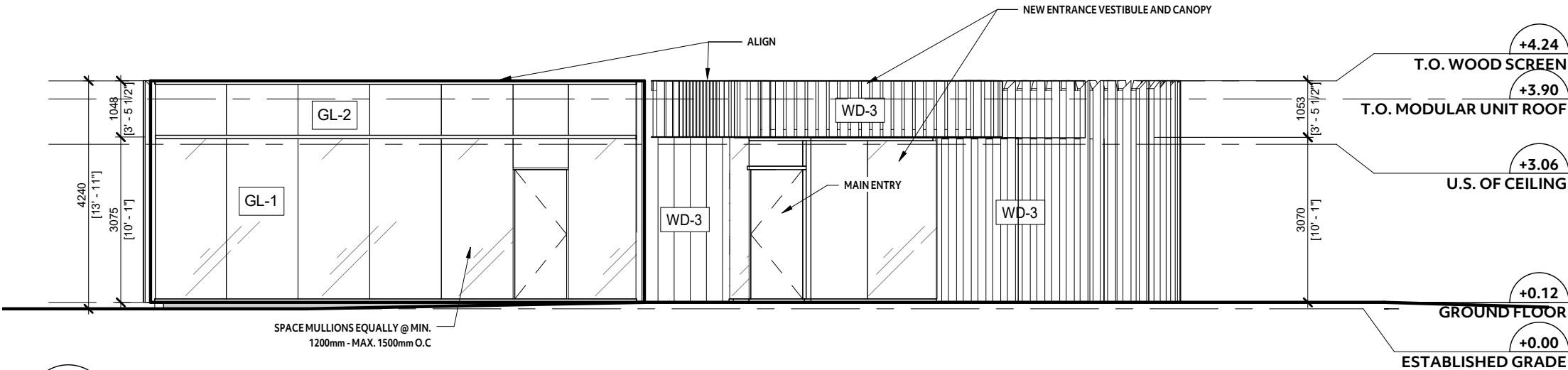
70 Mississauga Rd South, Mississauga, ON  
L5H 2H3

SHEET TITLE

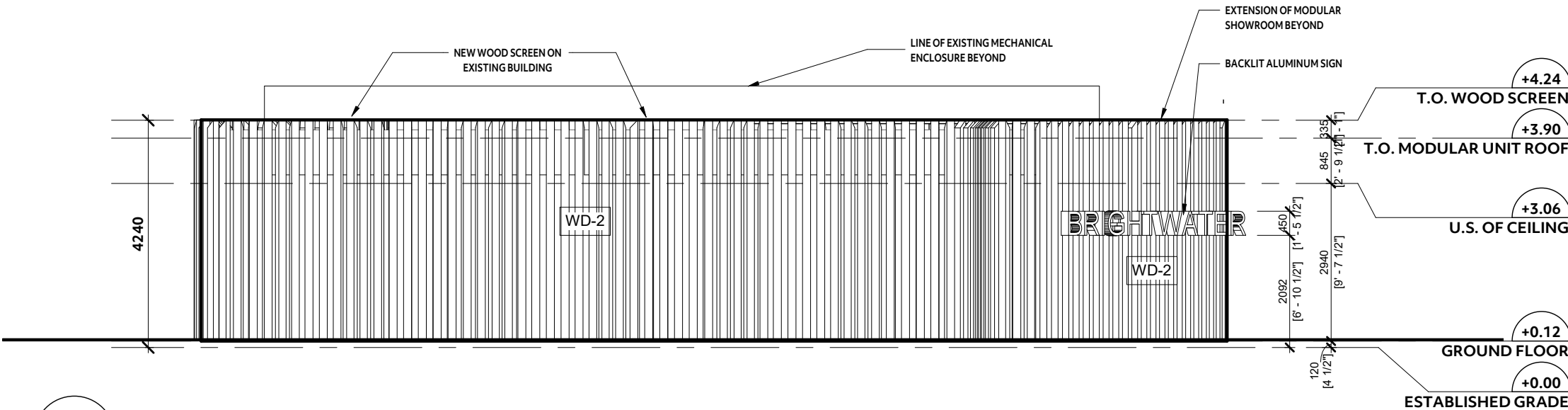
ELEVATIONS

DRAWN BY:	CK
CHECKED BY:	AV / CF
PROJECT START DATE:	09/19/19
PROJECT NO.:	19156
SHEET NUMBER	

A2.10



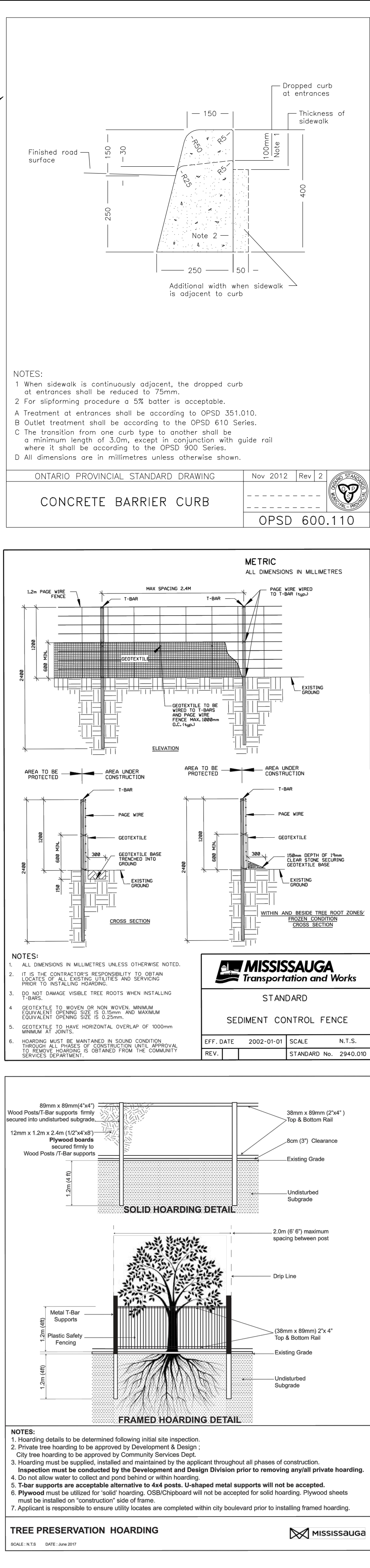
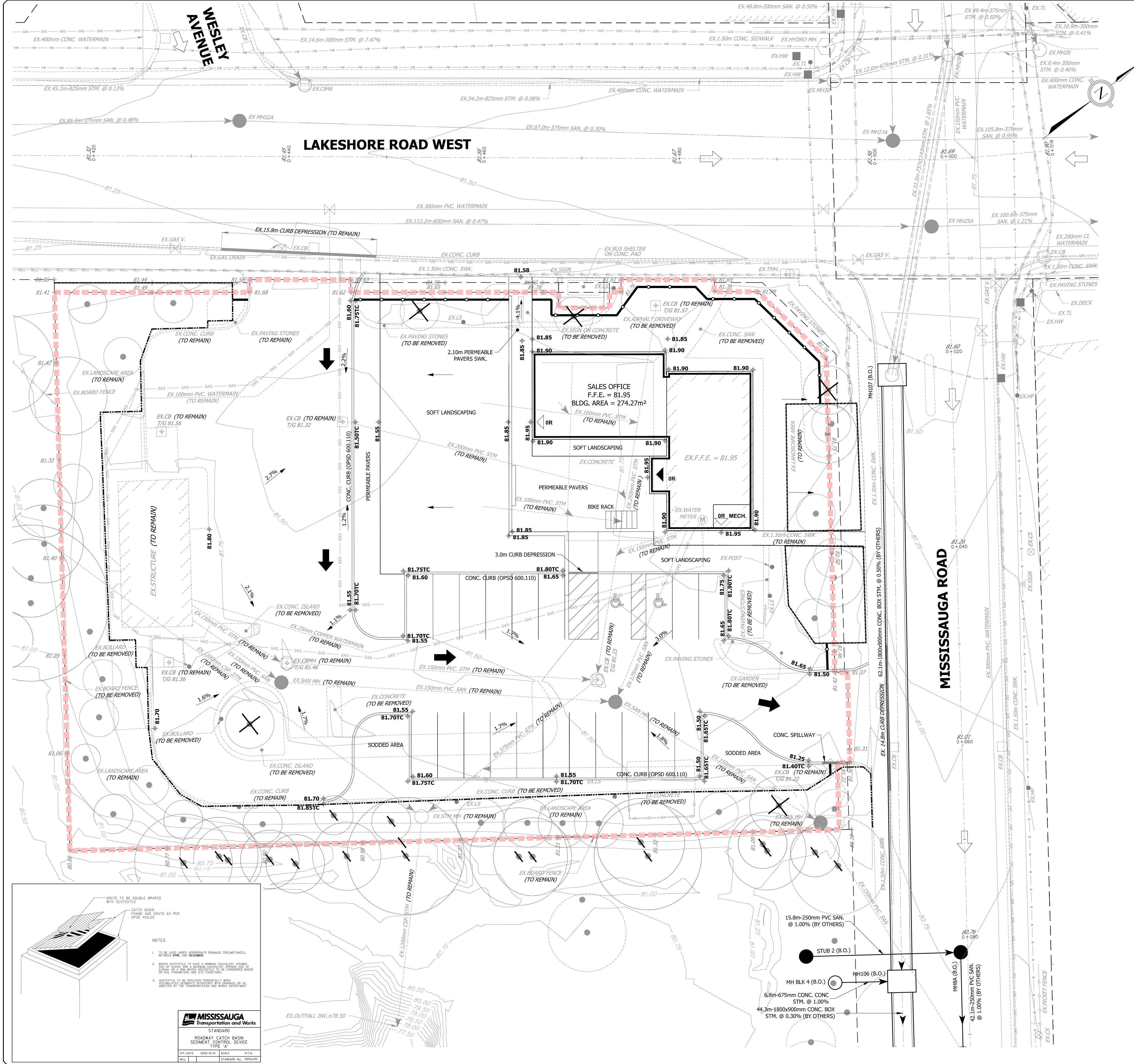
2 WEST ELEVATION  
A2.10 1 : 100



1 EAST ELEVATION  
A2.10 1 : 100



PLOT DATE: February 6, 2020 4:45:39 PM



**KEY PLAN**  
N.T.S.

**LEGEND**

- EXISTING CONTOUR AND ELEVATION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- FUTURE ELEVATION
- TOP/BOTTOM OF CURB ELEVATION
- PROPOSED SWALE
- MAXIMUM 3:1 SLOPE (UNLESS OTHERWISE NOTED)
- EXISTING STORM SEWER AND MANHOLE
- EXISTING STORM SEWER AND MANHOLE
- EXISTING SANITARY SEWER AND MANHOLE
- STORM SEWER AND MANHOLE (BY OTHERS)
- SANITARY SEWER AND MANHOLE (BY OTHERS)
- EXISTING SINGLE/REARLOT CATCHBASIN
- EXISTING DOUBLE CATCHBASIN
- EXISTING HYDRANT & VALVE
- EXISTING VALVE AND BOX
- PROPOSED OVERLAND FLOW DIRECTION
- EXISTING OVERLAND FLOW DIRECTION
- EXISTING UNDERGROUND HYDRO
- EXISTING UNDERGROUND BELL TELEPHONE
- EXISTING OVERHEAD HYDRO
- EXISTING GASMAIN
- EXISTING UNDERGROUND CABLE (TV)
- LIMIT OF PROPERTY
- SEDIMENT CONTROL FENCE
- FRAMED TREE HOARDING
- SOLID TREE HOARDING
- TREE TO BE REMOVED
- TREES PREVIOUSLY REMOVED

**BENCHMARK NOTE**

ON THE SOUTH FACE BETWEEN THE DOORS OF A RED BRICK FIRE STATION #104, LOCATED AT 62 PORT STREET WEST, ON THE NORTH SIDE OF PORT STREET, 30m EAST OF MISSISSAUGA ROAD. ELEVATIONS ARE OF GEODETIC ORIGIN AND ARE DERIVED FROM THE CITY OF MISSISSAUGA BENCHMARK NO. 731 ELEVATION = 81.58m TOPOGRAPHIC SURVEY PREPARED BY J.D. BARNES LIMITED, MARCH 01, 2017.

FIRST DATE	SECOND DATE	INTERIM DATE	FINAL DATE
JAN. 31, 2020	FEB. 06, 2020		

ISSUED FOR PERMIT

**MISSISSAUGA Transportation and Works**

STANDARD

SEDIMENT CONTROL FENCE

EFF. DATE: 2002-01-01 SCALE: N.T.S.

REV. 1

**urbantech west**

urbantech west, A Division of Leighton-Zac West Ltd.  
2000 Brantford Circle, Suite 105 - Cambridge, Ontario L9B 0P2  
Tel: 905.879.8818 Fax: 905.879.4804  
www.urbantech.com

**PORT CREDIT WEST VILLAGE PARTNERS INC.**  
141 LAKESHORE ROAD EAST, MISSISSAUGA, ON L5G 1E8

**70 MISSISSAUGA RD SOUTH**  
**181 LAKESHORE RD WEST**

**Region of Peel**  
Working for you

**MISSISSAUGA**

**GENERAL SERVICING AND GRADING PLAN**

REGION FILE NO. 21T-17004M	CITY FILE NO. 21T-17004	
SCALE: 1:200	AREA: Z-08-C5/D	PROJECT No. 19-624
DRAWN BY: A.G.	CHECKED BY: M.M./R.B.T.M	PLAN No. 101
DATE: JANUARY 2020	SHEET OF C-	



**APPENDIX B**

Landscape drawings prepared by studioTLA

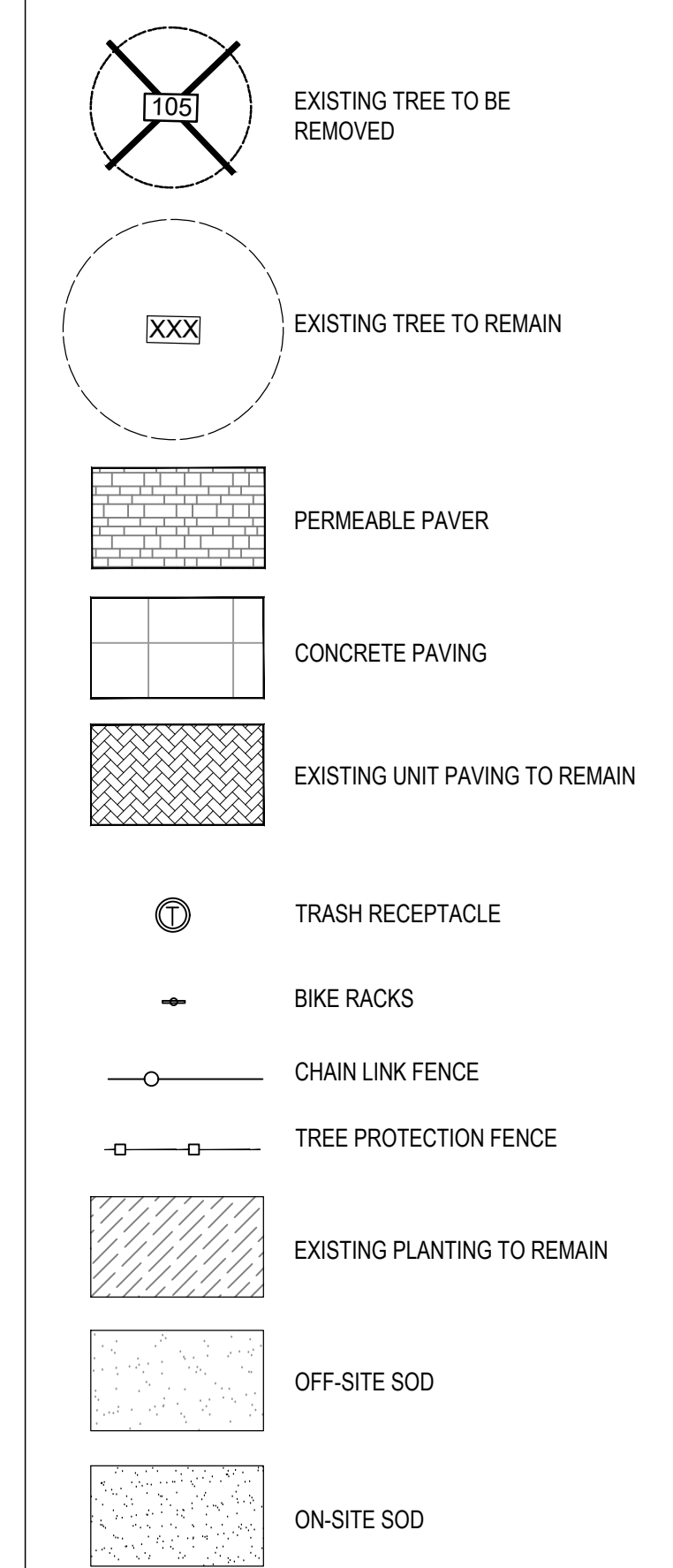












CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.  
ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

STUDIO 

20 Champlain Blvd. Suite 102 - Toronto ON - M3H 2Z1 [info@studiotla.ca](mailto:info@studiotla.ca) [www.studiotla.ca](http://www.studiotla.ca)

PROJECT  
PLANTING PLAN

SHEET NO.: LP-100

SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	HT.	SPR.	QTY	REMARKS
II	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	60CM		60 CM	232	
Jo	JUNIPERUS CHINENSIS 'ONTARIO GREEN'	JUNIPER	60CM	175CM	WB	22	
Jl	JUNIPERUS HORIZONTALIS 'LIMEGLOW'	LIMEGLOW JUNIPER	60CM			36	
Jp	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	PRINCE OF WALES JUNIPER	60CM			80	
Jb	JUNIPERUS SABINA 'BLUE DANUBE'	BLUE DANUBE JUNIPER	60CM			64	
GRASSES	BOTANICAL NAME	COMMON NAME	CONT		SPACING	QTY	REMARKS
Ck	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1GAL		600mm	262	
SI2	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS	1GAL		450mm	261	





GENERAL NOTES

1. Bruce Tree Expert Company Ltd. provided the tree removal icons, tree protection barriers, and tree protection comments. Survey information was provided by JD Barnes Ltd. dated July 11, 2017. Site plan layout prepared by Giannone Petricone Associates Inc. dated Feb. 5 2020 and grading plans prepared by Urbantech West dated Jan. 21 2020.

LEGEND

- Tree protection barrier at drip line of trees - Framed Hoarding
- Tree protection barrier at drip line of trees - Solid Board Hoarding
- Tree to be preserved
- Tree to be removed
- Tree previously removed or with removal permit previously obtained
- SITE BOUNDARY
- BOUNDARY OF SUBJECT LANDS OF APPLICATION
- BUILDING EXTENTS
- SPOT ELEVATION
- AREA OF LANDSCAPED BUFFER

2	Feb. 6 2020
1	Jan. 27 2020
No.	DATE

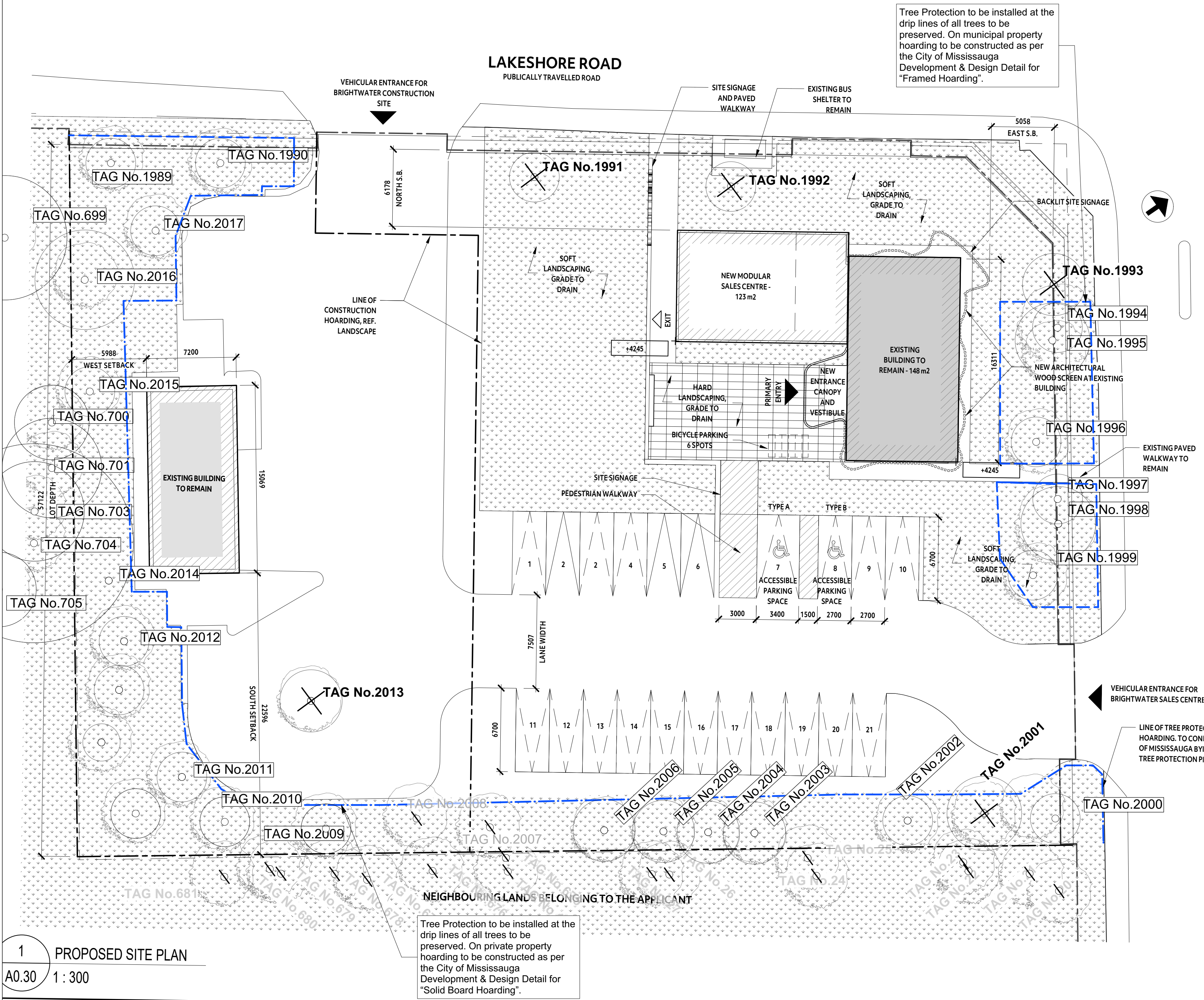
**Bruce Tree Expert Company Ltd.**  
3-1750 The Queensway, Suite 1329  
Toronto, ON M9C 5H5  
p. 416.252.8769 f. 416.252.4574  
e. contact@brucetree.com  
www.brucetree.com

TITLE  
**TREE PROTECTION PLAN**  
Brightwater Sales Centre

SITE  
70 Mississauga Rd. South &  
181 Lakeshore Rd. West  
Mississauga, Ontario

Brec FILE 8137-4693 SCALE 1:300

TPP-1.1



1 PROPOSED SITE PLAN  
A0.30 1 : 300

Tree Protection to be installed at the drip lines of all trees to be preserved. On private property hoarding to be constructed as per the City of Mississauga Development & Design Detail for "Solid Board Hoarding".

Tree Protection to be installed at the drip lines of all trees to be preserved. On municipal property hoarding to be constructed as per the City of Mississauga Development & Design Detail for "Framed Hoarding".



GENERAL NOTES

1. Bruce Tree Expert Company Ltd. provided the tree removal icons, tree protection barriers, and tree protection comments. Survey information was provided by JD Barnes Ltd. dated July 11, 2017. Site plan layout prepared by Giannone Petricone Associates Inc. dated Feb. 5 2020 and grading plans prepared by Urbantech West dated Jan. 21 2020.

LEGEND

- Tree protection barrier at drip line of trees - Framed Hoarding
- Tree protection barrier at drip line of trees - Solid Board Hoarding
- TAG No. 100

Tree to be preserved
- TAG No. 100

Tree to be removed
- TAG No. 100

Tree previously removed or with removal permit previously obtained
- SITE BOUNDARY
- BOUNDARY OF SUBJECT LANDS OF APPLICATION
- BUILDING EXTENTS
- +0000

SPOT ELEVATION
- AREA OF LANDSCAPED BUFFER

2	Feb. 6 2020
1	Jan. 27 2020
No.	DATE

Bruce Tree Expert Company Ltd.

BRUCE TREE  
LANDSCAPE DESIGN

3-1750 The Queensway, Suite 1329  
Toronto, ON M9C 5H5  
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TITLE

**TREE PROTECTION PLAN**

Brightwater Sales Centre

SITE

**70 Mississauga Rd. South & 181 Lakeshore Rd. West**

Mississauga, Ontario

Btec FILE 8137-4693 SCALE 1:300

TPP-1.2

TREE PROTECTION PLAN NOTES

1. TREE PROTECTION PERMITS AND PERMISSION

- 1.1 Refer to the Tree Inventory for tree specific details, including protection, removal, and injury information.
- 1.2 Tree permits must be obtained from the City of Mississauga for trees identified for removal.
- 1.3 work inside the drip line of a tree is considered an injury. The drip line is the area below the outermost branch tips of a tree.

2. TREE REMOVALS

2.1 Where the proposed work is in direct conflict with trees, tree removal is required, pending Forestry permit approval. Trees approved for removal must be removed prior to disturbance inside the drip line for safety.

3. TREE PROTECTION FENCING

3.1 Tree protection fencing must be installed as shown on the tree protection plan. Fencing must be constructed as per the City of Mississauga Development and Design Hoarding Construction detail. Stockpiling of soil against tree protection hoarding is not permitted.

3.2 A sediment barrier is required on the site to contain fine particles. The sediment barrier must be installed such that any trenching is outside of the drip line of protected trees.

3.3 It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the plan and within the arborist report each morning. If disturbance is observed, it is to be repaired prior to work commencing on site that day.

4. REMOVAL OF EXISTING PARKING LOT CURB ALONG SOUTH SIDE OF SITE

4.1 Any roots exposed by excavation or trenching *beyond* of the tree drip lines must be cleanly cut. No tearing by machinery is permitted.

4.2 The existing parking lot curb along the south end of the site is to be removed as well as a portion of the asphalt parking lot, and replaced with soft ground surface. A new curb and surface parking lot is to be installed farther north (farther from existing trees).

4.3 The existing curb at the drip line of Trees 2003, 2005, 2006 is to be carefully removed using a non-toothed excavator bucket. The bucket is to peel the curb away from the adjacent soil. There is to be no excavation into the existing soil. Any tree roots that are exposed during this process are to be cleanly pruned by hand. If the size or quantity of exposed roots is deemed to affect the health or stability of the adjacent tree(s), removal may be required pending City of Mississauga approval.

4.4 Following removal of the curb and existing asphalt parking lot, sandy loam topsoil (50-60% sand; 20-40% silt; 6-10% clay; 2-5% organic; pH 7.5 or less) is to be added to match the surrounding grade as needed. Any roots exposed during the curb removal must be immediately covered with soil. Roots must not be permitted to dry out.

City of Mississauga Subdivision Requirements Manual Required Notes

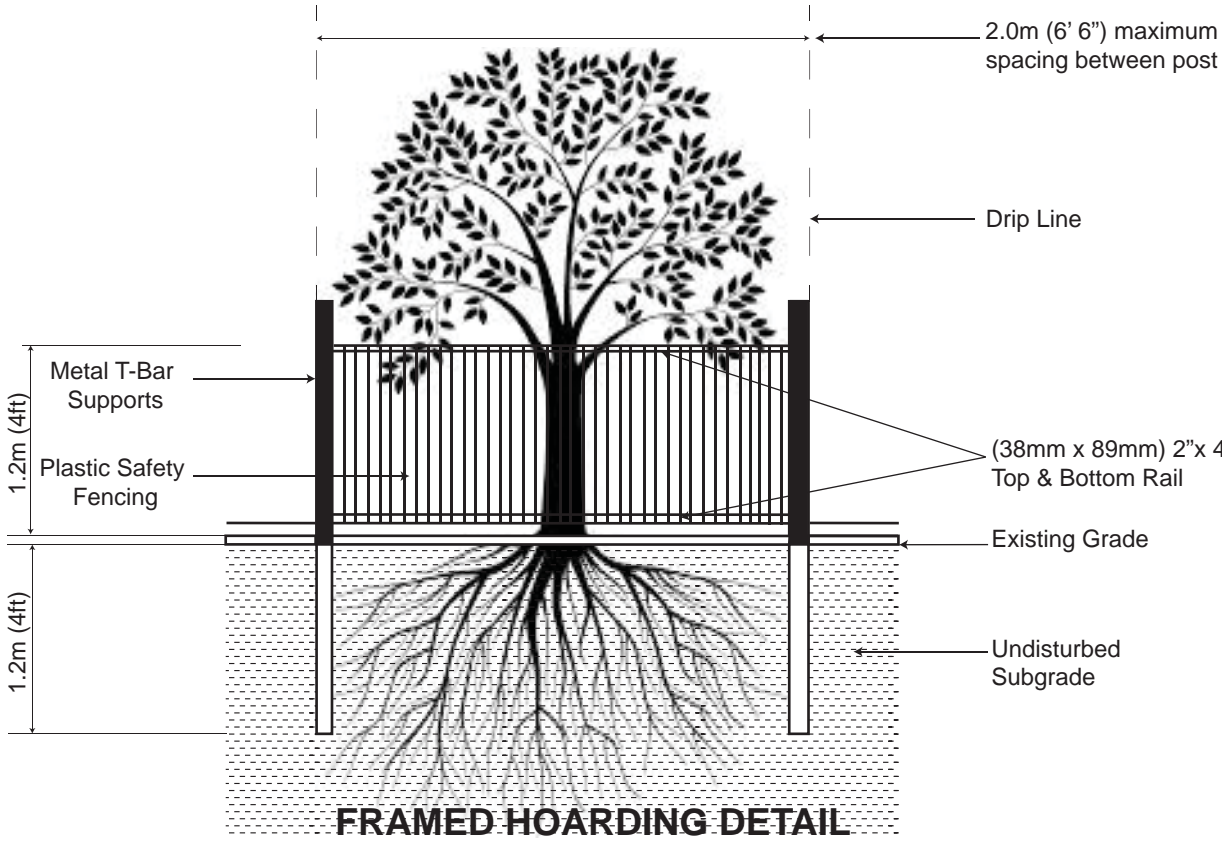
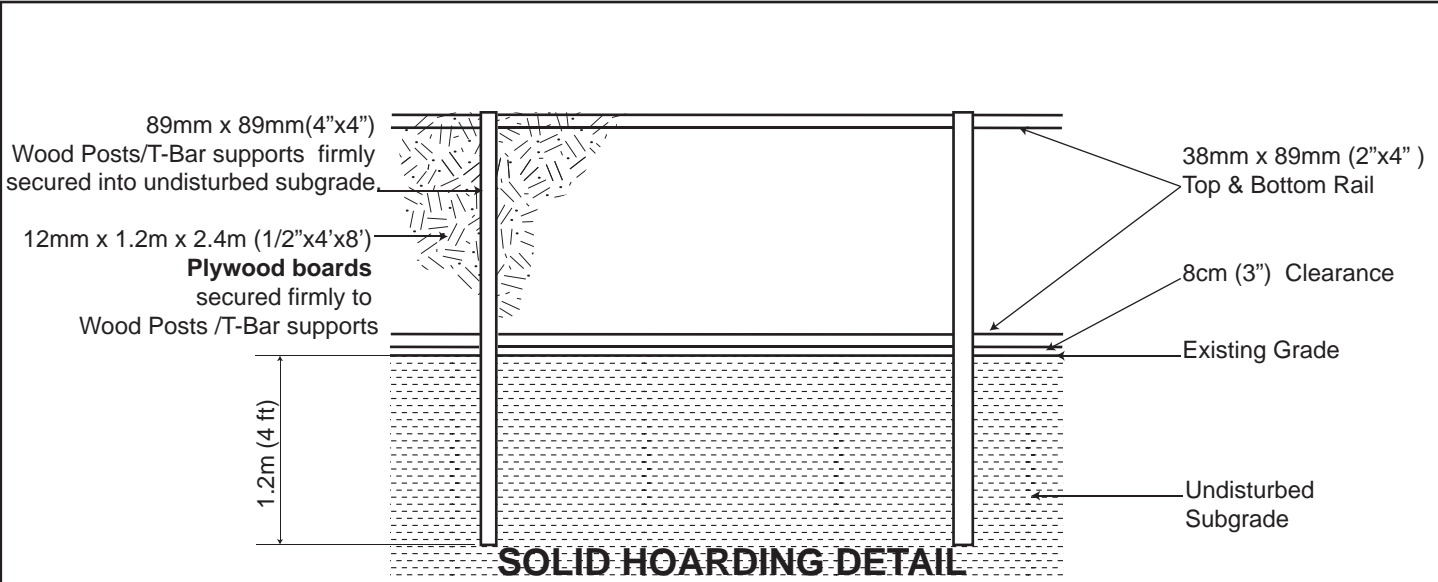
3.5.2 Specifications for the Protection and Preservation of Existing Vegetation

- 1 All existing trees, which are to remain, shall be fully protected with hoarding to City standards, erected beyond their “drip line” prior to the issuance of the Erosion and Sediment Control Permit, to the satisfaction of the Community Services Department. Groups of trees and other existing plantings to be protected, shall be treated in a like manner with hoarding around the entire clump(s). Areas within the protective fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.
- 2 No rigging cables shall be wrapped around or installed in trees. Surplus soil, equipment, debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.
- 3 The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.
- 4 Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully in accordance with accepted arboricultural practices.
- 5 Where root systems of trees are exposed directly adjacent to or damaged by construction work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.
- 6 Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.
- 7 Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at the developer's own expense with trees of a size and species as approved by the Community Services Department.
- 8 If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding, to the satisfaction of the Community Services Department.

3.5.3 Standard Note “B”

Standard Note “B” shall be placed on all Grading Drawings and Tree Preservation Drawings:

“I hereby certify that this Tree Protection Plan is compatible with the proposed grading and municipal works for this development as submitted by the Consulting Engineers”.



- NOTES:**
1. Hoarding details to be determined following initial site inspection.
  2. Private tree hoarding to be approved by Development & Design ; City tree hoarding to be approved by Community Services Dept.
  3. Hoarding must be supplied, installed and maintained by the applicant throughout all phases of construction. **Inspection must be conducted by the Development and Design Division prior to removing any/all private hoarding.**
  4. Do not allow water to collect and pond behind or within hoarding.
  5. **T-bar supports are acceptable alternative to 4x4 posts. U-shaped metal supports will not be accepted.**
  6. **Plywood** must be utilized for ‘solid’ hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on “construction” side of frame.
  7. Applicant is responsible to ensure utility locates are completed within city boulevard prior to installing framed hoarding.

TREE PRESERVATION HOARDING

SCALE : N.T.S. DATE : June 2017



### Brightwater Sales Centre - Excerpted Tree Inventory

Inventory date: May, June, July, 2017

Inventory Update: Sep. 3 - 6, and 26 2019

Chart Details:

Tag No.: Inventoried trees identified by a number-stamped aluminum tag. Tree tag numbers carried over from 2013 and 2017 inventory, therefore certain tree tag number are no longer present on the site due to previous removal. NP indicates Not Present.

**Species:** Includes the botanical name and common name of each tree.

DBH: Diameter at breast height in cm, measured at 1.4m from the ground.

**Overall Rating:** Condition rating of tree based on health and structure, from good to fair to poor, and dead.

Trunk: Trunk structure rating from good to fair to poor based on external visual inspection.

Crown: Crown structure rating from good to fair to poor based on external visual inspection.

Health: Tree vitality rating from good to fair to poor based on external visual inspection.

**Observations:** Relevant structural and health observations that inform the overall tree rating

**Ownership:** Location of tree on the site - private, subject site; municipal; adjacent, private; adjacent, municipal; adjacent, provincial; boundary (P&P) for provincial and private boundary trees; boundary (private) for boundary trees on shared private property; adjacent TBD, for trees located on adjacent property, ownership to be determined. Trees on shared private/municipal property lines were designated as private or municipal based on where more than 50% of the trunk appeared to be located, as per City of Mississauga Forestry direction.

**Action:** Proposed removal, injury, or preservation based on proposed grading and development work. An injury is any proposed work inside the drip line of the tree.

Tag No.	Species	DBH	Overall Rating	Trunk	Crown	Health	Observations	Ownership	Action
20 - 27	Removal permit issued 2017 for site remediation								
675-681	Removal permit issued 2017 for site remediation								
699	<i>Acer platanoides</i> (Norway maple)	42	Poor	F-P	P	F-P	Seam on south side to main branch union; extensive dieback	private, subject site	Preserve
700	<i>Populus deltoides</i> (Eastern cottonwood)	13.5, 12, 10	Fair	F-P	G	F	Narrow-angled branch union with included bark	private, subject site	Preserve
701	<i>Populus deltoides</i> (Eastern cottonwood)	22.5	Fair	G	G	F		private, subject site	Preserve
702	NP (removed or expired prior to 2017)								
703	<i>Elaeagnus angustifolia</i> (Russian)	16, 14	Dead	P	P	P	Failed	private, subject site	Preserve
704	<i>Salix fragilis</i> (crack willow)	19.5, 50, 28	Fair	P	F	G	Narrow-angled branch union with included bark, massive surface root	private, subject site	Preserve
705	<i>Populus deltoides</i> (Eastern cottonwood)	26	Good	G	F	G		private, subject site	Preserve
1899	Removal permit issued 2017 for site remediation								
1989	<i>Tilia cordata</i> (Littleleaf linden)	27.5	Good	G	G	G		private, subject site	Preserve
1990	<i>Tilia cordata</i> (Littleleaf linden)	22	Fair	G	F-P	F	Multiple branches at same point of attachment and fused	private, subject site	Preserve
1991	<i>Tilia cordata</i> (Littleleaf linden)	24	Fair	G	F-P	F		private, subject site	Remove - sales centre visibility
1992	<i>Tilia cordata</i> (Littleleaf linden)	23	Good	G	F	G	Growing within island beside bus stop	private, subject site	Remove - bus shelter site lines
1993	<i>Picea pungens</i> (Colorado spruce)	35	Good	G	G	G		private, subject site	Remove - sales centre visibility
1994	<i>Syringa reticulata</i> (Japanese silk lilac)	27	Fair	G	F-P	F	Asymmetrical crown only to east; cohort	private, subject site	Preserve
1995	<i>Syringa reticulata</i> (Japanese silk lilac)	34	Fair	G	P	G	Asymmetrical crown due to competition; cohort	private, subject site	Preserve
1996	<i>Syringa reticulata</i> (Japanese silk lilac)	15.5, 11, 8	Fair	F	F	F	Codominant stems at 60 cm with start of included bark; multi stem from ground, not tree form	private, subject site	Preserve
1997	<i>Syringa reticulata</i> (Japanese silk lilac)	13, 12, 8	Poor	F	P	G	Growing under #1998; stems bending; asymmetrical	private, subject site	Preserve
1998	<i>Picea pungens</i> (Colorado spruce)	37	Good	G	G	G		private, subject site	Preserve
1999	<i>Syringa reticulata</i> (Japanese silk lilac)	21	Good	G	F	F	Minor small diameter dead wood; chlorotic	private, subject site	Preserve
2000	<i>Syringa reticulata</i> (Japanese silk lilac)	24	Fair	G	F	F	Codominant branches at 15 m with included bark; competing with adjacent tree	private, subject site	Preserve
2001	<i>Picea pungens</i> (Colorado spruce)	28.5	Poor	P	G	G	Heaving out of ground, hazard	private, subject site	Remove - hazard tree.

Tag No.	Species	DBH	Overall Rating	Trunk	Crown	Health	Observations	Ownership	Action
2002	<i>Picea pungens</i> (Colorado spruce)	29	Good	G	G	G	Extensive surface roots to west	private, subject site	Preserve
2003	<i>Pinus nigra</i> (Austrian pine)	34.5	Fair	F	F	G	Codominant stems at 2 m with narrow-angled union and included bark poor aspect ratio	private, subject site	Preserve
2004	<i>Picea pungens</i> (Colorado spruce)	22	Good	G	G	G		private, subject site	Preserve
2005	<i>Pinus Nigra</i> (Austrian pine)	28, 13, 20	Poor	F	F-P	F-P	Asymmetrical due to shade, very sparse	private, subject site	Preserve
2006	<i>Pinus Nigra</i> (Austrian pine)	36	Fair	G	F	F	Asymmetrical due to shading	private, subject site	Preserve
2007-2008	Removal permit issued 2017 for site remediation								
2009	<i>Acer platanoides</i> (Norway maple)	18	Fair	G	F	F		private, subject site	Preserve
2010	<i>Acer platanoides</i> (Norway maple)	17.5	Poor	F-P	F-P	F-P	Crack on north side of trunk; basal wound north side	private, subject site	Preserve
2011	<i>Picea glauca</i> (white spruce)	19.5	Fair	G	F	F	Crown somewhat sparse, moderate vitality	private, subject site	Preserve
2012	<i>Pinus strobus</i> (White pine)	16, 7	Fair	F	F	G	Tree absent.	private, subject site	Preserve
2013	<i>Picea glauca</i> (white spruce)	28	Good	G	G	G	Branching to ground; located within interlocking brick island in p. lot.	private, subject site	Remove - site grading
2014	<i>Pinus nigra</i> (Austrian pine)	26.5	Fair	F-P	F	F	Significant lean east; crown somewhat sparse	private, subject site	Preserve
2015	<i>Acer platanoides</i> (Norway maple)	21.5	Fair	F	F	F	Extensive surface roots with wounds	private, subject site	Preserve
2016	<i>Acer platanoides</i> (Norway maple)	42	Fair	F	F-P	P	Somewhat sparse crown; wound on south side near base; extensive girdling roots	private, subject site	Preserve
2017	<i>Tilia cordata</i> (Littleleaf linden)	23	Good	G	F	G		private, subject site	Preserve

### 8.3

## GENERAL NOTES

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## LEGEND






Tree protection barrier  
at drip line of trees -  
Framed Hoarding

Tree protection barrier  
at drip line of trees -  
Solid Board Hoarding

TAG No. 100 ☒ Tree to be preserved

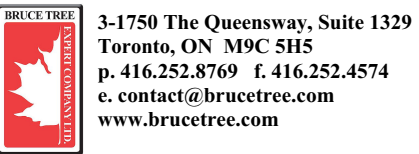
TAG No. 100  Tree to be removed

AG No. 100  Tree previously removed or with removal permit previously obtained

	SITE BOUNDARY
	BOUNDARY OF SUBJECT LANDS OF APPLICATION
	BUILDING EXTENTS
	SPOT ELEVATION
	AREA OF LANDSCAPED BUFFER

2	Feb. 6 2020
1	Jan. 27 2020
do.	DATE

**Bruce Tree Expert Company Ltd.**



TITLE

# TREE PROTECTION PLAN

## Brightwater Sales Centre

SITE

70 Mississauga Rd. South &  
181 Lakeshore Rd. West  
Mississauga, Ontario

Btec FILE 8137-4693 SCALE 1:300

# TPP-1.3