181 LAKESHORE ROAD WEST HIA ADDENDUM

Subject: HERITAGE IMPACT ASSESSMENT ADDENDUM

Issued To: Paula Wubbenhorst

Heritage Planner

Mississauga City Hall, Suite 202

201 City Centre Drive Mississauga, ON L5B 4E4

paula.wubbenhorst@mississauga.ca

Project: 181 Lakeshore Road West Project #: 16-206-01

Prepared By: MM/JT/EM **Issued:** April 9, 2020

Dear Ms. Wubbenhorst,

This Heritage Impact Assessment (HIA) Addendum has been prepared by ERA Architects Inc., on behalf of the Port Credit West Village Partners Inc. ('the applicant') for the redevelopment of the property municipally known as 181 Lakeshore Road West (the 'Subject Site' or the 'site'). The Subject Site forms part of an approved phased development that includes the property municipally known as 70 Mississauga Road South, together known as 'Brightwater'. Specifically, this addendum describes the contemplated design of a temporary sales centre for Brightwater, and discusses associated impacts on the Mississauga Road Scenic Route Cultural Landscape, as well as adjacent recognized heritage properties.

This HIA Addendum is intended to be read in conjunction with a revised HIA and HIA addendum for Brightwater, issued by ERA Architects on November 1, 2018 (the '2018 HIA'), and February 4, 2020 (the '2020 HIA addendum'), respectively.

Site Description

The Subject Site, located at the southwest corner of Lakeshore Road West and Mississauga Road South, currently contains a decommissioned gas station. While the canopy and gas pumps have been removed, a one-storey former convenience store and car wash remain on-site. The buildings are located near the centre of the Subject Site, and along its western edge, respectively. Landscaping around the periphery of the former gas station consists of a mixture of deciduous and coniferous trees, shrubs, and lawn.

Heritage Recognition

The Subject Site is listed on the City of Mississauga Heritage Register as it forms part of the Mississauga Road Scenic Route Cultural Landscape (an update to the cultural landscape inventory is currently being undertaken by the City of Mississauga). The Subject Site is considered adjacent, as defined in the Provincial Policy Statement, 2020, to the western boundary of the Old Port Credit Village Heritage Conservation District (the 'HCD' or the 'District').



Application History

In November 2018, the applicant resubmitted a Zoning By-law Amendment (ZBA), Official Plan Amendment (OPA), and Draft Plan of Subdivision application for Brightwater that included the 2018 HIA. This followed two previous combined ZBA/OPA and Draft Plan of Subdivision submissions dated August 2017 and March 2018.

In 2018, the applicant appealed the ZBA/OPA and Draft Plan of Subdivision applications to the Local Planning Appeal Tribunal) ('LPAT') due to City Council's failure to make a decision within the timeframe prescribed in *The Planning Act*. In advance of the LPAT hearing, without prejudice conversations between the City and the applicant resulted in a settlement proposal that addressed, among other issues, the subdivision of Brightwater into constituent blocks, and a preliminary built form relationship with the adjacent Old Port Credit Village HCD. The settlement proposal, as outlined in a Staff report dated July 29, 2019, was adopted by City Council on July 31, 2019, and the LPAT Order was issued on November 15, 2019. The 2020 HIA addendum will be submitted to satisfy Draft Plan Condition 6.0 of the LPAT Order.

This HIA addendum, prepared at the request of municipal heritage staff, is included as part of a building permit application.

Development Description

Built Form

The temporary sales centre, as illustrated in the architectural drawings prepared by Giannone Petricone Associates (see Appendix A of this addendum), consists of a one-storey modular structure integrated in an L-shaped configuration with the one-storey former convenience store. The modular structure, built as an addition to the existing building, is proposed to be clad predominately in transparent glazing. In contrast, the exterior of the former convenience store will feature wood screening organized in a vertical pattern to obscure its current cladding.

Backlit aluminum signage reading 'Brightwater' is proposed along the northeast corner of the existing building. The former car wash along the western edge of the Subject Site will be retained, but is not proposed to be repurposed. For the duration of the Subject Site's use as a temporary sales centre, it will remain vacant and secured.

Vehicular access to surface parking is indicated from one point each along Lakeshore Road West and Mississauga Road South, while primary pedestrian access to the temporary sales centre is proposed along the west elevation of the former convenience store. This entry will be accessible from paved pathways leading from the existing sidewalks along Lakeshore Road West and Mississauga Road South.

Landscape

The landscape drawings, prepared by studioTLA and included as Appendix B of this addendum, retains and augments many of the existing landscape features on the Subject Site (e.g. paving units and trees). For the purpose of this addendum, focus will be on the landscape approach fronting Mississauga Road South given its municipal identification as a cultural landscape, and its proximity to the adjacent HCD.



Along the eastern edge of the Subject Site, fronting Mississauga Road South, all but two of the existing trees will be retained, and new plantings/sod laid to replace any damaged material. It is our understanding that tree protection fencing will be erected in accordance with City of Mississauga standards. New shrubs are proposed along the periphery of the surface parking lot to help define the space.

Heritage Response

The low-rise character of the proposed building, and contemplated landscape treatment, are compatible in character with the adjacent HCD, responding to policy direction contained within the Old Port Credit Village HCD Plan, and recommended mitigation measures in the 2018 HIA.

In absence of policy direction within the HCD Plan concerning materiality of adjacent properties, Section 6.1 of the 2018 HIA included a series of mitigation measures to help ensure a compatible built form relationship with the District. The selection of wood screening responds to these recommended mitigation measures by referencing the natural and textured quality of material found within the HCD. Further, the proposed use of both transparent glazing and wood screening breaks up the building's massing to reduce its visual weight relative to adjacent heritage fabric. This approach to materiality, along with the contemporary design of the temporary building, ensures that the development is compatible with, subordinate to, and distinguishable from the adjacent HCD.

As described above, the proposed landscape approach maintains all but two of the existing trees bordering Mississauga Road South. Where required, damaged plantings will also be replaced with new to match existing. As the contemplated landscape approach maintains and enhances much of the existing planting scheme, no adverse impact on the Mississauga Road Scenic Route Cultural Landscape is anticipated.

Conclusion

In light of the material outlined above, we find that the design approach for the temporary sales centre conserves the described cultural heritage value of the Old Port Credit Village HCD, and the Mississauga Road Scenic Route Cultural Landscape.

We trust that the information contained within this HIA addendum sufficiently addresses issues of potential impact on recognized heritage resources adjacent to the Subject Site. Please do not hesitate to contact us if you require further information or wish to discuss the contents of this letter.

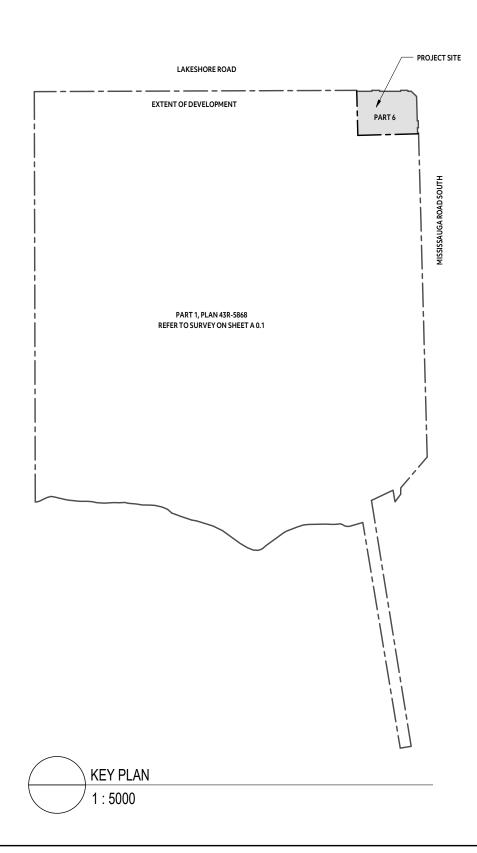
Sincerely,

Michael McClelland, Principal E.R.A. Architects Inc.

APPENDIX A

Architectural drawings prepared by Giannone Petricone Associates

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.



BRIGHTWATER SALES CENTRE

70 MISSISAUGA RD SOUTH MISSISSAUGA, ONTARIO

	Lot	Coverage	
Name	Area	Percentage	Comments
Site			
Open Site Area	4061 m²	91%	
	4061 m²	91%	
Sales Centre			
PROPOSED NEW CONSTRUCTION	123 m²	3%	
EXISTING SERVICE STATION	148 m²	3%	
NEW VESTIBULE	7 m²	0%	
	278 m²	6%	
Car Wash			
EXISTING CAR WASH	101 m ²	2%	
	101 m²	2%	
LOT AREA	4440 m²	100%	

3 Issued for Site Plan Approval

2 Issued for Preapplication Meeting1 Issued for Minor Variance

2020-02-05 2019-12-20 2019-10-04

Revision



giannone petricone associates

Giannone Petricone Associates Inc. Architects
462 Wellington Street West, Toronto, M5V 1E3,
T 416.591.7788 E mail@gpaia.com

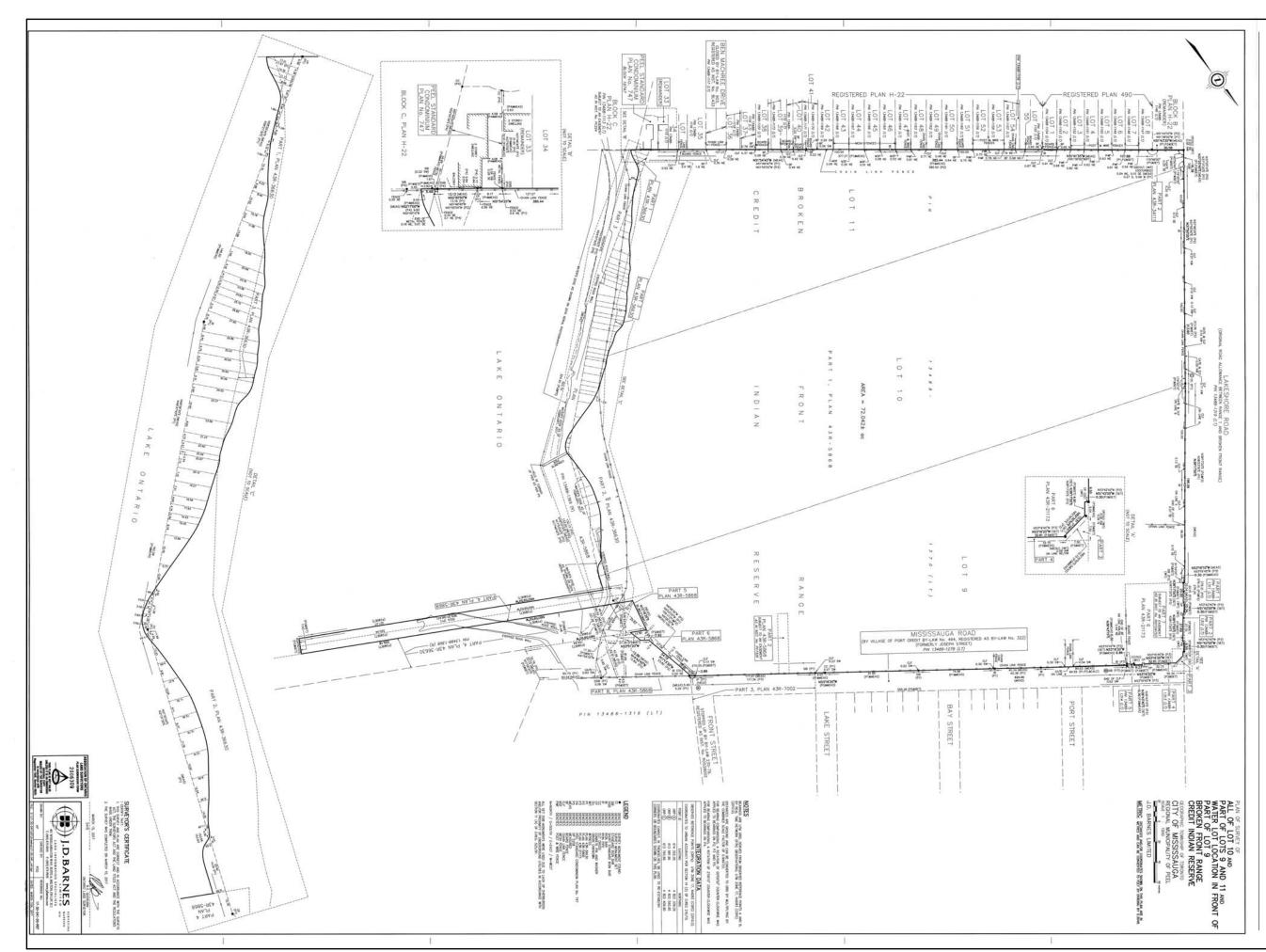
Brightwater Sales Centre

70 Mississauga Rd South, Mississauga, ON L5H 2H3

SHEET TITLE

COVER PAGE

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PROJECT START DATE:	09/18/19
PROJECT NO.:	19156
SHEET NUMBER	



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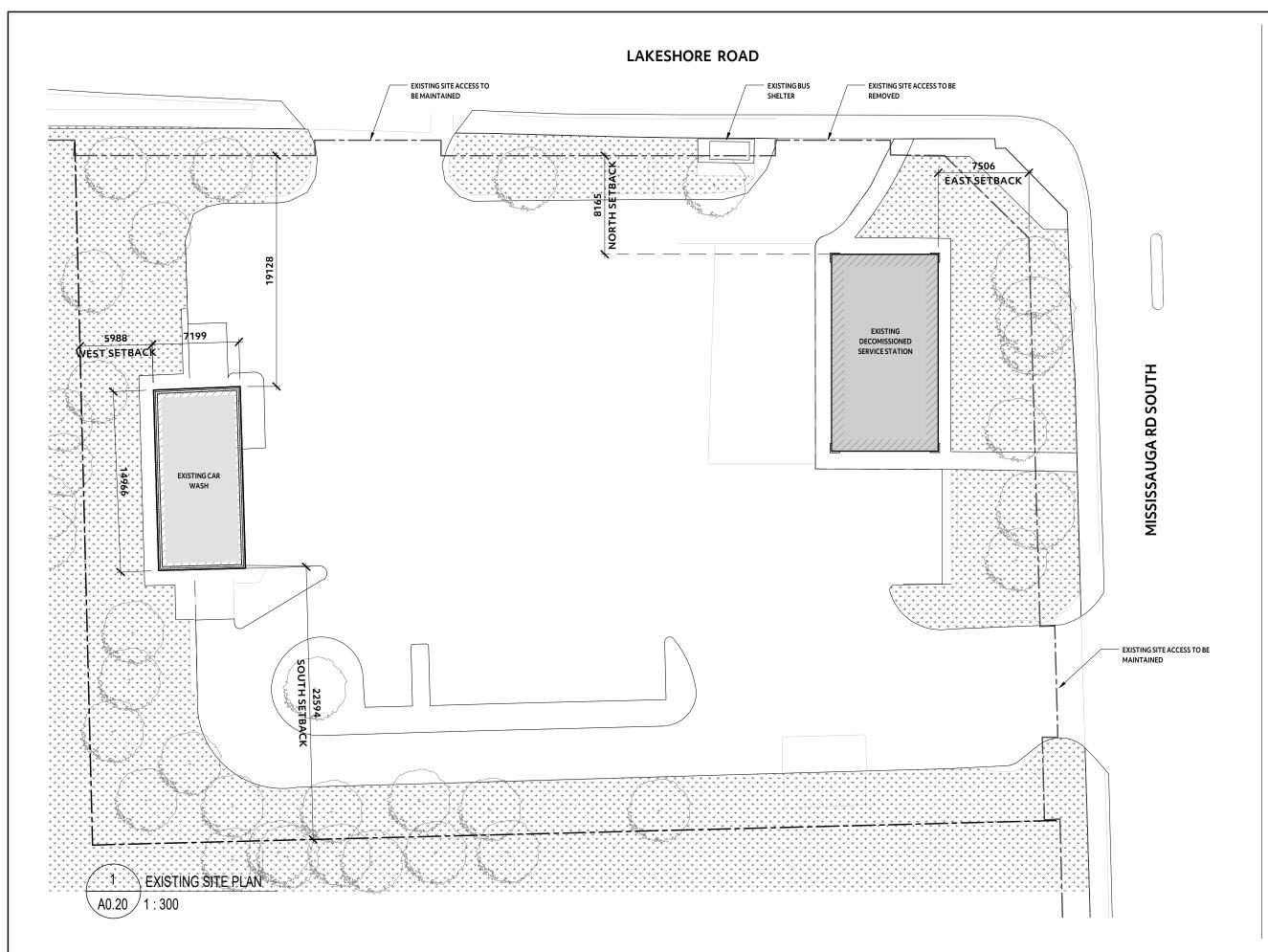
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SITE SURVEY

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SITE BOUNDARY

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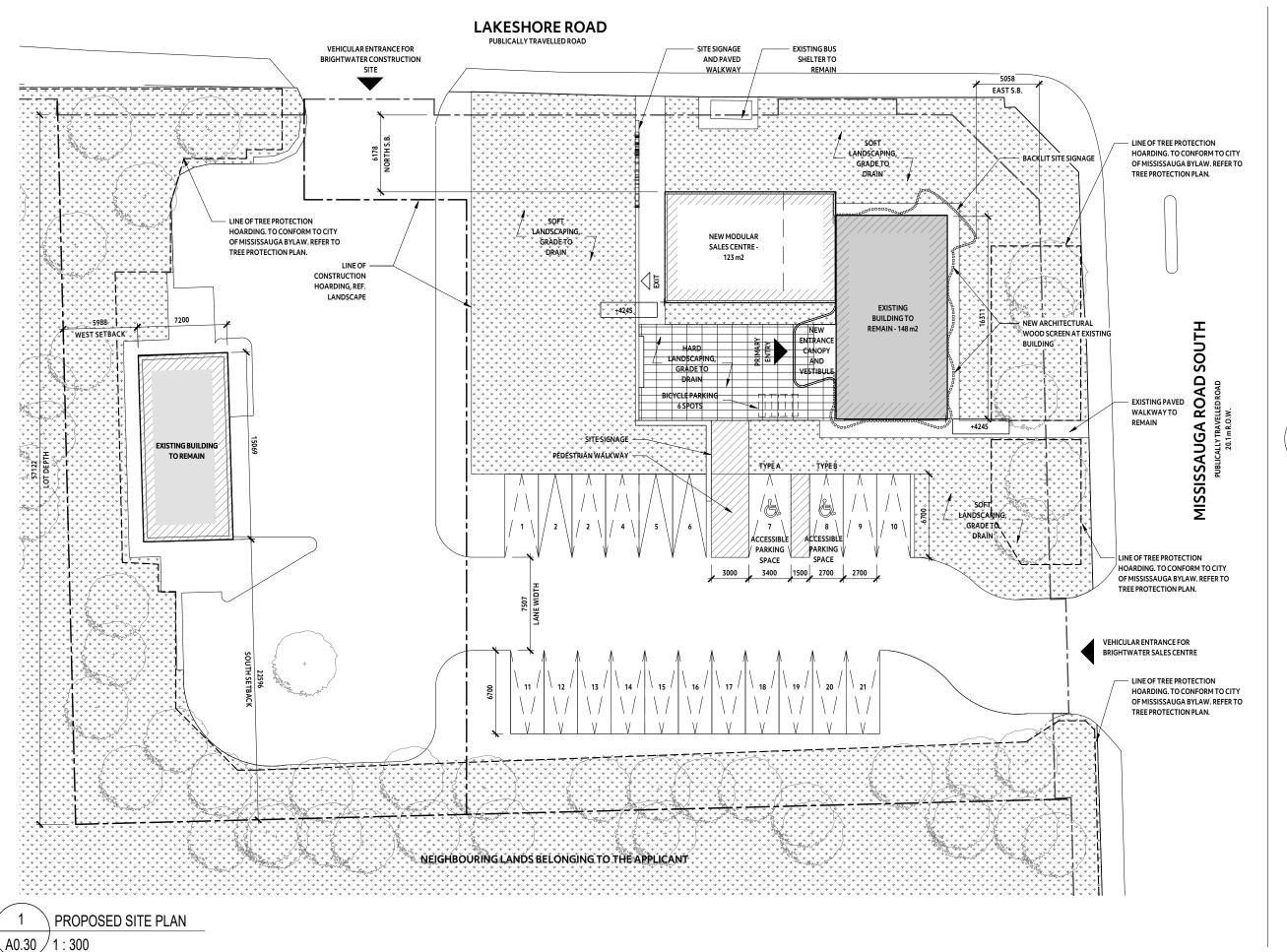
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EXISTING SITE PLAN

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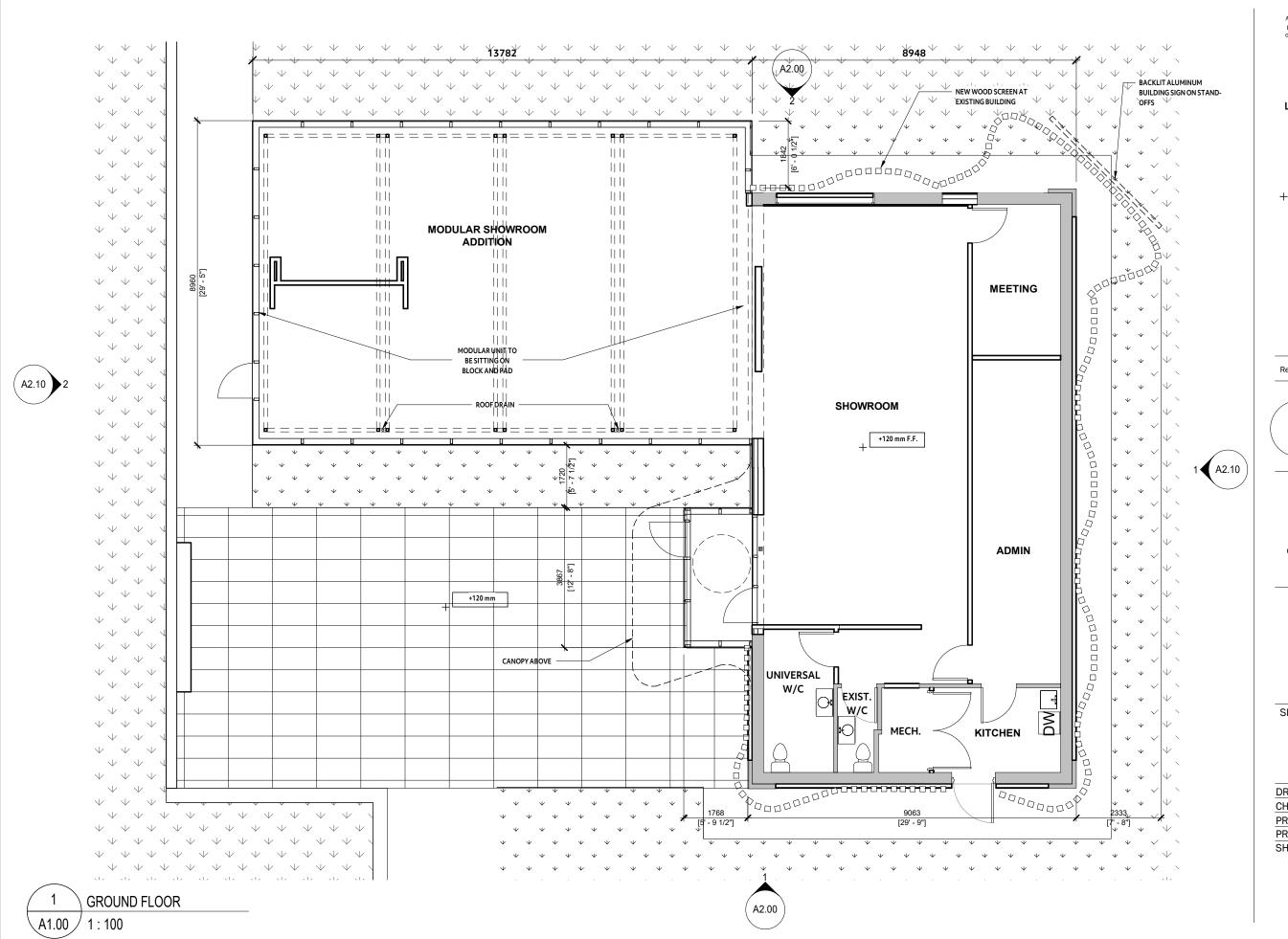
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PROPOSED SITE PLAN

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SPOT ELEVATION RELATIVE TO ESTABLISHED GRADE

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Brightwater Sales Centre

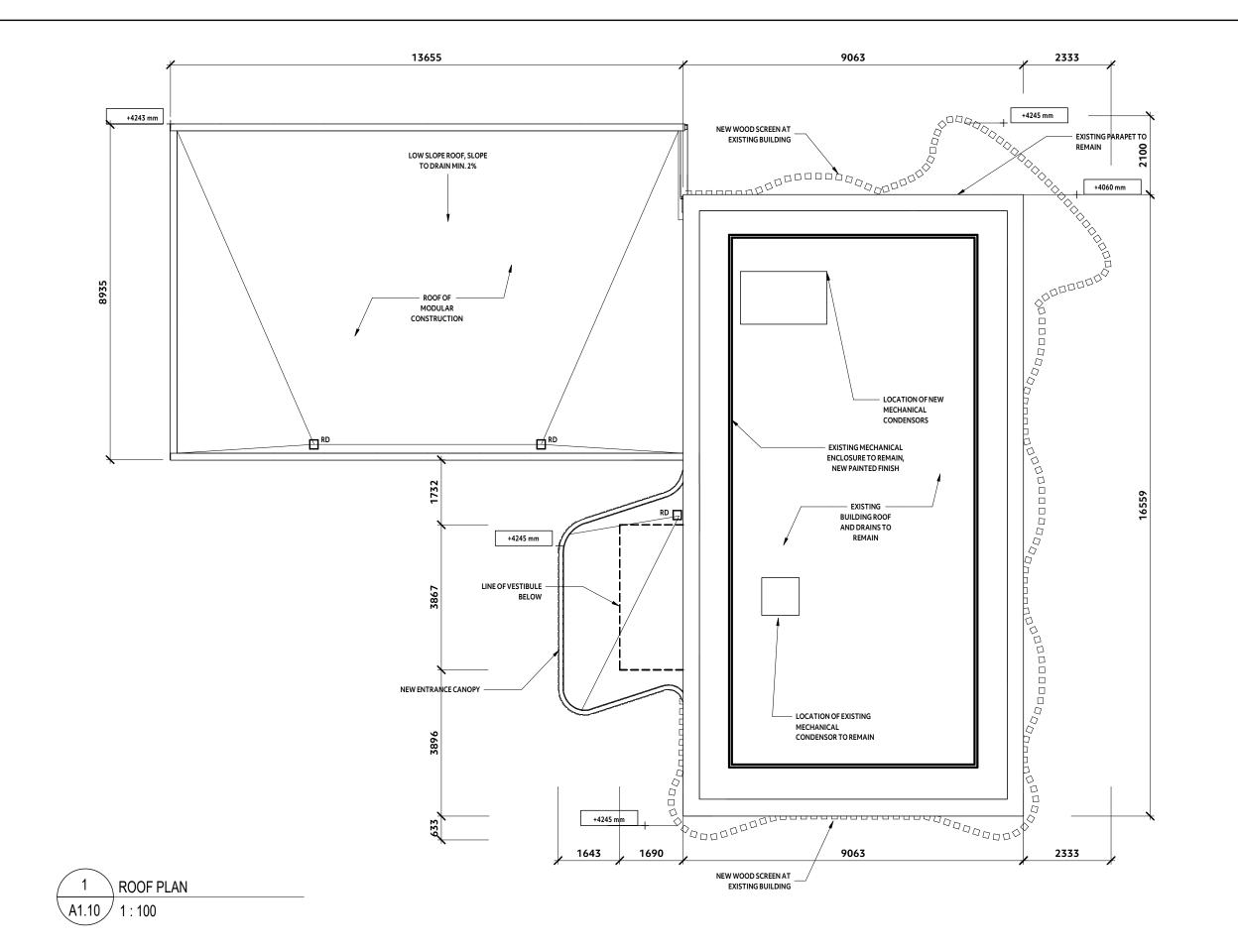
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GROUND FLOOR PLAN

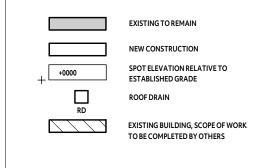
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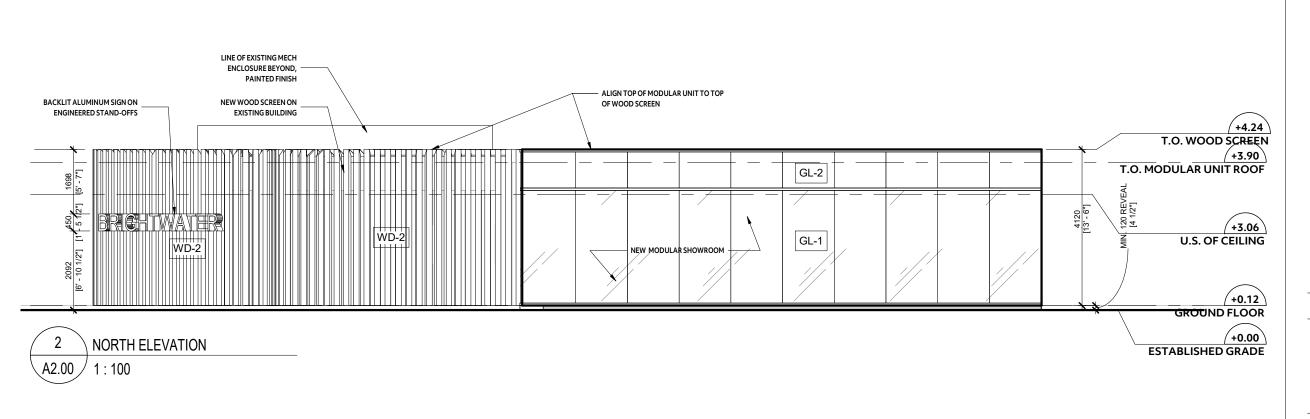
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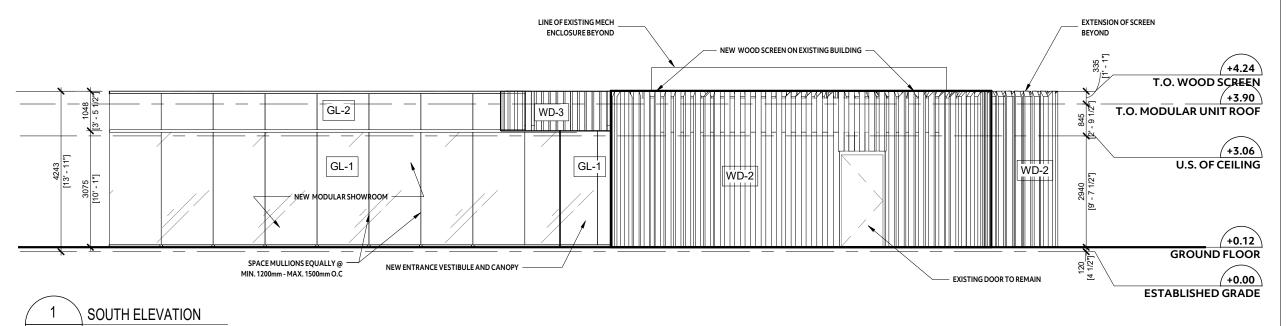
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ROOF PLAN

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LEGEND

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GL-2	BACKPAINTED INSULATED GLASS SPANDR PANEL
MTL-1	METAL FLASHING
WD-1	WOOD SOFFIT
WD-2	CUSTOM WOOD SCREEN
WD-3	WOOD CLADDING TO MATCH WD-2
PT-X	PAINTED FINISH
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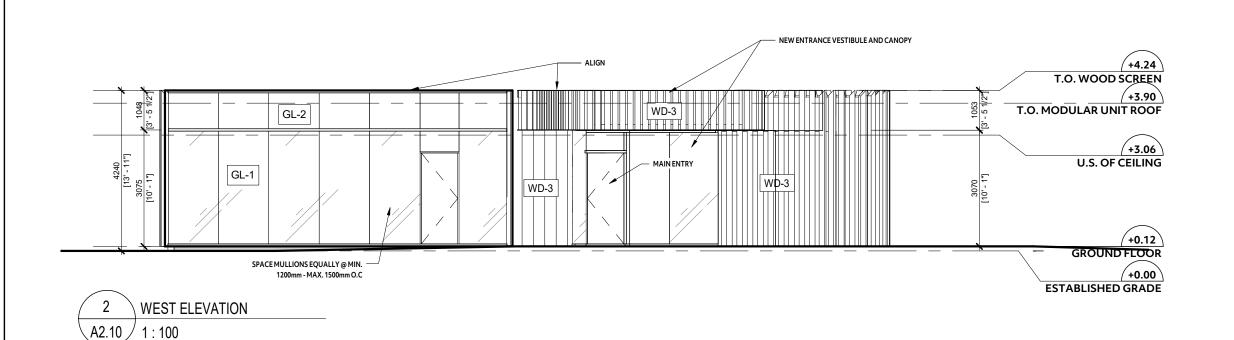
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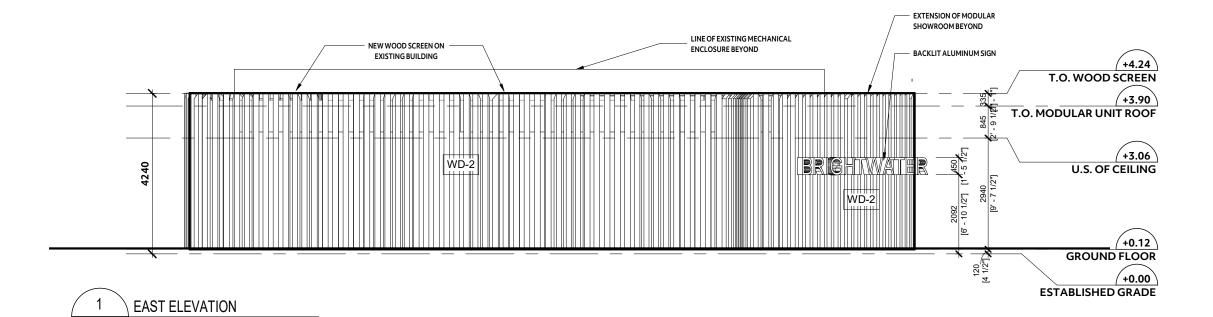
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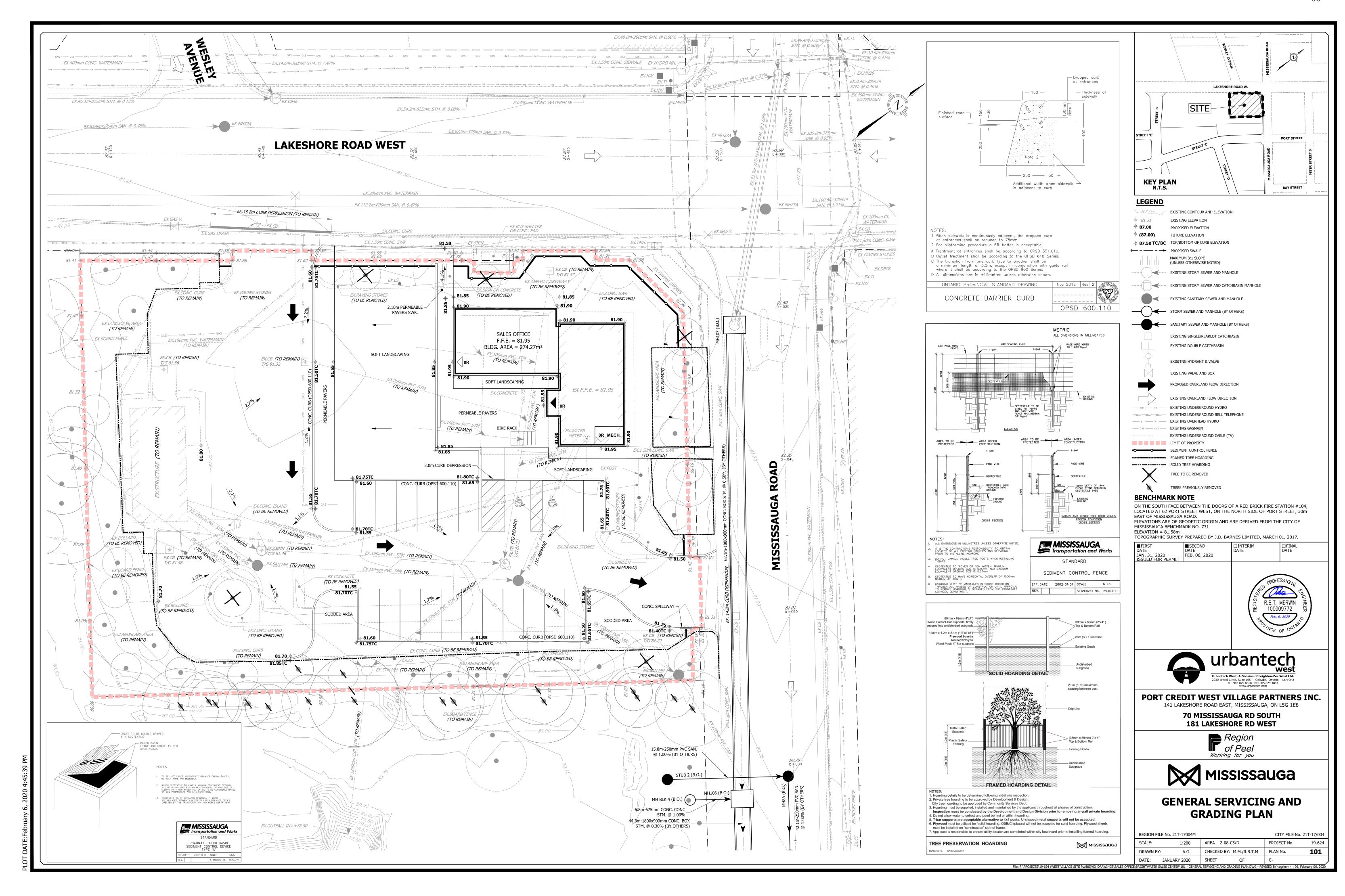
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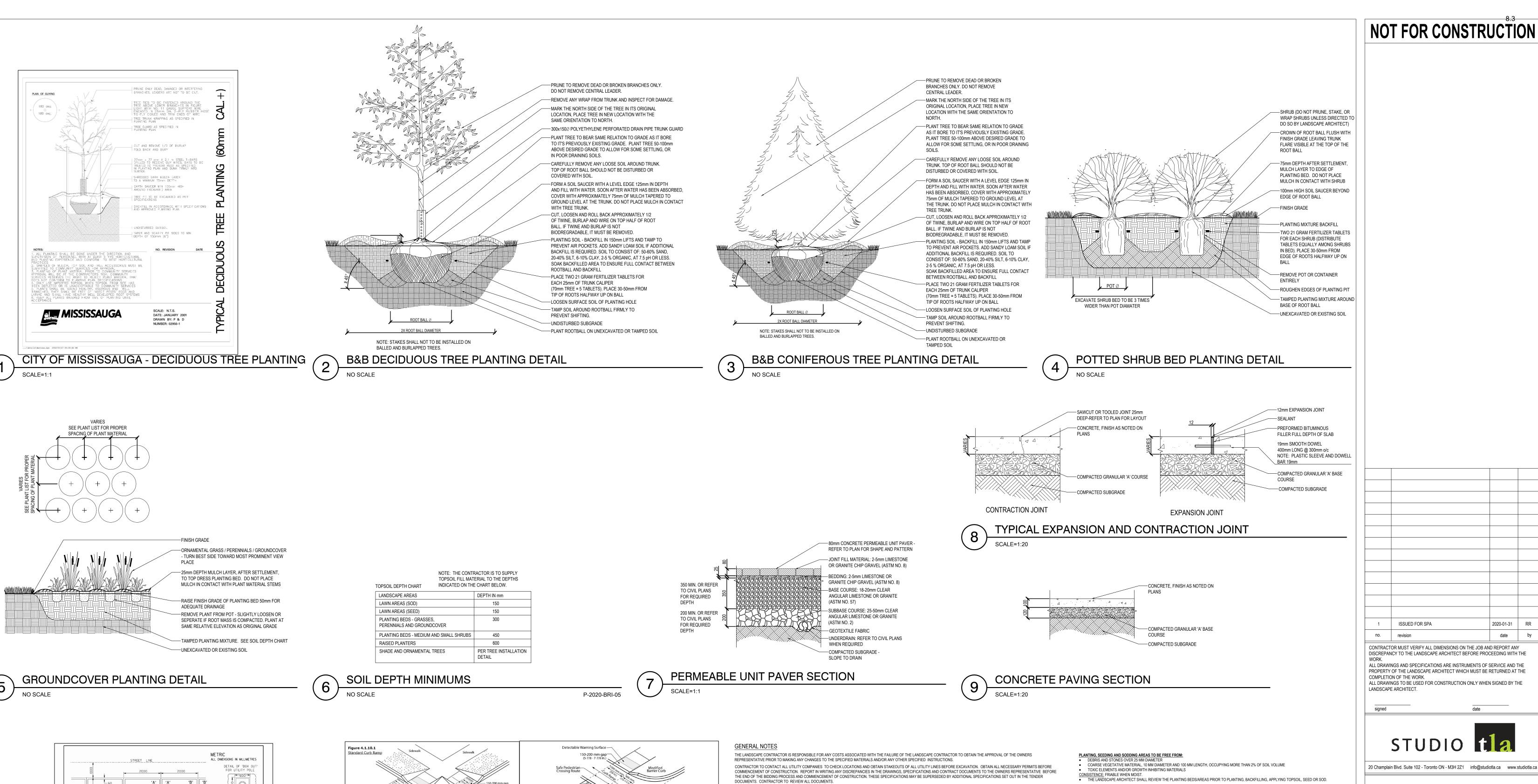
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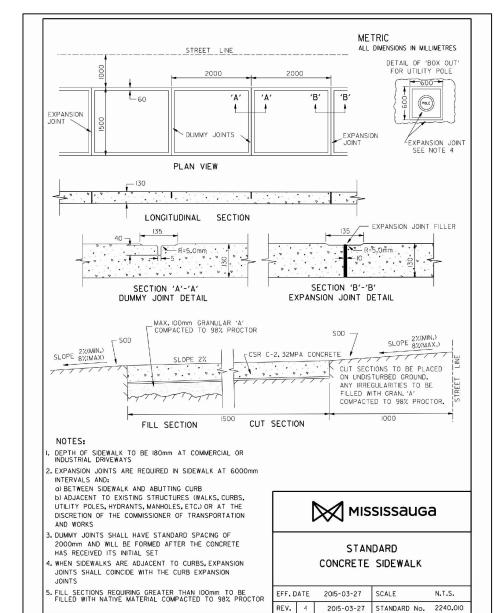
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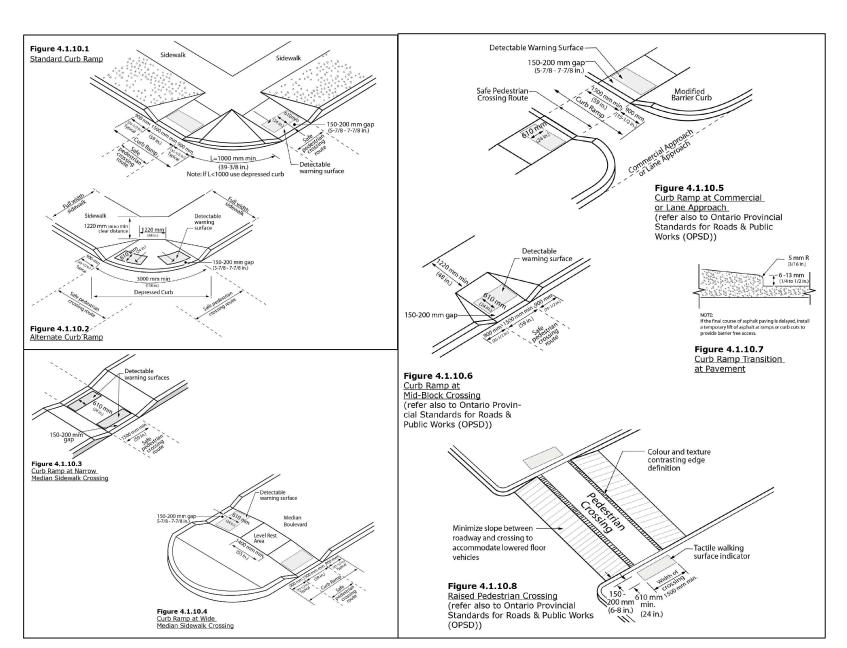


APPENDIX B

Landscape drawings prepared by studioTLA







REFER TO SOIL MANAGEMENT PLAN (SEPTEMBER 2015)

ROUGH GRADING ROUGH GRADE AND FILL AREAS TO ESTABLISH SUBGRADE AS REQUIRED. PROVIDE DRAINAGE PATTERN AS INDICATED ON DRAWINGS. ROUND SMOOTHLY ALL TOPS AND TOES OF SLOPES. COMPACT ALL AREAS TO 90% STANDARD PROCTOR DENSITY UNLESS SPECIFIED OTHERWISE. EXISTING TREES TO REMAIN ON SITE ARE TO BE PROTECTED AS PER MUNICIPAL

FINE GRADE ALL AREAS TO FINISHED GRADES AS SHOWN ON LAYOUT OR GRADING PLAN OR ARCHITECT'S SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM THE BUILDING, UNLESS SPECIFIED OTHERWISE. SLOPES MAY NOT EXCEED 25% (4:1) UNLESS OTHERWISE SPECIFIED.

LANDSCAPE CONTRACTOR TO PROVIDE A SOIL REPORT OF ANY NEW MATERIAL BROUGHT TO THE SITE. THE REPORT MUST CONFIRM TEXTURE, FERTILITY, SOURCE AND TEST TYPE. THE REPORT MUST ALSO CONFIRM THE SOIL IS FREE FROM HEAVY METALS, TOXIC ELEMENTS, AND GROWTH INHIBITING COMPONENTS. COORDINATE AS PER SOIL MANAGEMENT PLAN (SMP).

STOCK PILED ON SITE TOPSOIL MUST BE TESTED BY AGRI-FOODS LABORATORIES 503 IMPERIAL RD N, GUELPH, ON N1H 6T9 (519) 837-1600 - REFER TO APPENDIX C OF THE TENDER DOCUMENTS. A TOPSOIL BASIC TEST IS REQUIRED. BEFORE CONDUCTING TEST THE LANDSCAPE CONTRACTOR IS TO INQUIRE IF AN ATRAZINE AND/OR HEAVY METAL TEST IS REQUIRED. ALLOW AT LEAST 2 WEEKS FOR THE TEST(S) TO BE CONDUCTED PRIOR TO INSTILLATION ON SITE. SUBMIT TOPSOIL REPORT TO TERRAPLAN FOR REVIEW AND RECOMMENDATIONS FOR AMENDMENT ALL TOPSOIL MUST MEET SPECIFICATIONS.

STOCK PILED ON SITE PLANTING SOIL MUST BE TESTED BY AGRI-FOODS LABORATORIES 503 IMPERIAL RD N. GUELPH. ON N1H 6T9 (519) 837-1600 - REFER TO APPENDIX C OF THE TENDER DOCUMENTS. A SOIL BASIC TEST IS REQUIRED. BEFORE CONDUCTING TEST THE LANDSCAPE CONTRACTOR IS TO INQUIRE IF AN ATRAZINE AND/OR HEAVY METAL TEST IS REQUIRED ALLOW AT LEAST 2 WEEKS FOR THE TEST(S) TO BE CONDUCTED PRIOR TO INSTILLATION ON SITE. SUBMIT TOPSOIL REPORT TO TERRAPLAN FOR REVIEW AND RECOMMENDATIONS FOR AMENDMENT

MINERAL FERTILIZER: ADDED AS REQUIRED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT

MIXTURE OF MINERAL PARTICULATES, MICRO ORGANISMS AND ORGANIC MATTER WHICH PROVIDES SUITABLE MEDIUM FOR SUPPORTING INTENDED PLANT GROWTH. GRO-BARK GRO-TURF - ORGANIC TOP DRESS (905) 846-1515 OR APPROVED EQUAL SCARIFY THE SUBSOIL PRIOR TO THE SPREADING THE TOPSOIL. REMOVE ALL DEBRIS AND LEAVE A FINE-TEXTURED EVEN SURFACE. ALL TOPSOIL TO BE IMPORTED UNLESS PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. OBTAIN APPROVAL FOR THE QUALITY OF ANY IMPORTED TOPSOIL BEFORE DELIVERY TO THE SITE.

O CONSIST OF 35-50% SAND, 40-50% SILT, 8-14% CLAY, 4-8 % ORGANIC BY WEIGHT, PH BETWEEN 6.5 to 8 (THE CANADIAN SYSTEM OF SOIL CLASSIFICATION) PROVIDE RECENT SOIL REPORT PRIOR TO ORDER, FERTILIZER TO BE MIXED INTO SOIL OFF SITE AS REQUIRED.

ERTILIZER: AS REQUIRED BASED ON PROVIDED SOIL REPORT PRIOR TO ORDERING MAJOR SOIL NUTRIENTS PRESENT IN FOLLOWING RATIOS:

NITROGEN (N): 20 TO 40 MICROGRAMS OF AVAILABLE N PER GRAM OF SOIL.

PHOSPHORUS (P): 10 TO 20 MICROGRAMS OF PHOSPHATE PER GRAM OF SOIL. POTASSIUM (K): 80 TO 120 MICROGRAMS OF POTASH PER GRAM OF SOIL.

CALCIUM, MÀGNESIUM, SULPHUR AND MICRO-NUTRIENTS PRESENT IN BALANCED RATIOS TO SUPPORT GERMINATION AND/OR ESTABLISHMENT OF INTENDED VEGETATION.

NOTE: IF THE EXISTING SOIL CONDITIONS ARE CLAY OR WET IN NATURE. CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS OF A SUITABLE SOIL MIXTURE OR DRAINAGE DETAIL. FAILURE TO DO THIS MAY RESULT IN DELAY OF APPROVAL AND ACCEPTANCE.

PREPARATION OF PLANTING BEDS ALL PLANT BEDS TO BE CONTINUOUS. EXCAVATE ALL PLANTING BEDS TO THE DEPTH AS INDICATED ON THE DRAWINGS AND DETAILS. SCARIFY SIDES OF EXCAVATED SHRUB BEDS TO MINIMUM 38mm AND TREE PITS TO 150mm ENSURING SUBGRADE DRAINAGE MINIMUM 1%

ALL PLANTING BED EDGES TO BE MAINTAINED BY SOD EDGE TRIMMER. ALL PLANTING BEDS TO HAVE A 25mm (1") CUT AT EDGE TO MAINTAIN A CLEAN SEPARATION BETWEEN SOD AND BED. PREPARE THE PLANTING BEDS FOR PLANTING BEFORE THE DELIVERY OF THE PLANT MATERIAL TO THE JOB SITE.

USE #1 BLUEGRASS - FESCUE SOD SOD WHICH CONFORMS WITH THE SPECIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. ALL SODDED AREAS SHALL RECEIVE A MINIMUM OF 150mm (4") OF TOPSOIL SOD SLOPES ARE NOT TO EXCEED 4:1. IF APPROVED BY LANDSCAPE ARCHITECT A SLOPE IN EXCESS OF 4:1 TO BE PEGGED USING WOOD PEGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING ALL SODDED AND SEEDED AREAS TO A MINIMUM OF TWO (2) TIMES BEFORE FINAL

BACK FILL ALL PLANTING BEDS WITH A SOIL MIXTURE CONSISTING OF 35-50% SAND, 40-50% SILT, 8-14% CLAY, 4-8 % ORGANIC BY WEIGHT, pH BETWEEN 6.5 to 8.

PLANT MATERIALS: ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE AND SPECIES. ALL SHRUB AND TREE MATERIAL SHALL BE CONTAINER GROWN, POTTED, OR BALL AND BURLAP, UNLESS OTHERWISE NOTED. BARE ROOT PLANTING SHALL BE ACCEPTABLE FOR CERTAIN SPECIES DURING EARLY SPRING UPON APPROVAL OF THE LANDSCAPE ARCHITECT ONLY. CONTRACTOR SHALL MAKE REQUESTS FOR ALL SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF PLANTING

 ALL PLANT MATERIAL TO BE CLAY GROWN STOCK UNLESS OTHERWISE NOTED. ALL SHRUB AND TREE MATERIAL SHALL BE FREE OF INSECTS AND DISEASES AND HAVE HEALTHY ROOT SYSTEMS.

ALL STAKES TO BE REMOVED PRIOR TO WARRANTY COMPLETION OR AS DIRECTED BY THE CONSULTANT.

INSPECTION FOR SUBSTANTIAL PERFORMANCE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

PLANT MATERIAL SIZES AND CONDITIONS

 THE INDIVIDUAL PLANT GROUPING TOTAL AS ILLUSTRATED ON THE PLANTING PLAN SUPERSEDES THE ESTIMATED QUANTITY ON THE MASTER PLANT LIST. CONTRACTOR MUST REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING BEFORE COMMENCING ANY WORK.

CONTRACTOR WILL ASSUME FULL RESPONSIBILITY IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF DISCREPANCIES. ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED AS DETAILED, AND AS SHOWN ON THE LANDSCAPE DRAWING PLANT MATERIAL SIZES, SPACING, AND CONDITIONS ARE TO BE AS INDICATED ON THE LANDSCAPE DRAWING. USE ONLY PLANT MATERIAL TRUE TO NAME, SIZE, AND GRADE AS SPECIFIED ON PLANTING PLAN; PROVIDE SUFFICIENT LABELS OR MARKINGS TO INDICATE

CLEARLY THE VARIETY, SIZE AND GRADE OF EACH SPECIMEN, OR BUNDLE.

OBTAIN APPROVAL FOR SUBSTITUTIONS AS TO VARIETY, SIZE OR GRADE FROM THE LANDSCAPE ARCHITECT. USE ONLY NURSERY STOCK GROWN UNDER PROPER HORTICULTURAL PRACTICES, VIABLE, FREE FROM PEST AND DISEASE AND UNDAMAGED LANDSCAPE CONTRACTOR TO INSTALL NEW SOD AND NEW TOPSOIL AS PER SPECIFICATIONS AND GENERAL NOTES THROUGHOUT THE SITE AS DESIGNED NEW TOPSOIL AND SOD SHALL EXTEND THROUGH THE MUNICIPAL BOULEVARD TO THE REAR OF THE MUNICIPAL CURB.

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no.	revision	date	by
CONTRACT	TOR MUST VERIEV ALL DIMENSIONS ON THE IOR AN	ID DEDORT AND	/

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.

STUDIO 1



BRIGHTWATER SALES CENTRE 70 MISSISSAUGA RD SOUTH MISSISSAUGA, ONTARIO L5H 2H3

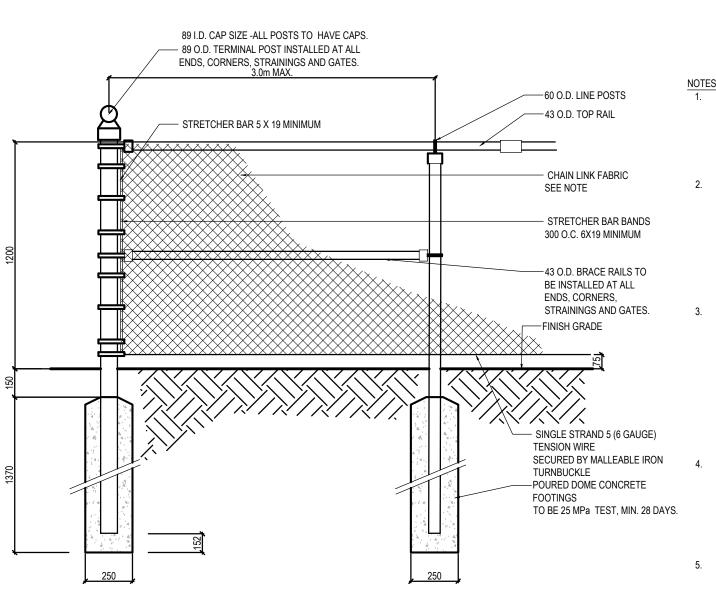
LANDSCAPE DETAILS

AS SHOWN



CITY OF MISSISSAUGA - CURB RAMP DETAIL LANDSCAPE GENERAL

P-2020-BRI-70



- 1. POSTS AND RAILS • END, CORNER AND GATE POSTS (TERMINAL POSTS): 90MM (3-1/2IN.) O.D., SCHEDULE 40 BUTT WELDED AND GALVANIZED. • LINE POSTS: 60MM (2-3/8IN) O.D., SCHEDULE 40 BUTT WELDED AND GALVANIZED.
- TOP AND BOTTOM RAILS; CENTRE BRACES; GATE FRAMES: 43MM (1-11/16 IN.) O.D., SCHEDULE 40 BUTT WELDED AND GALVANIZED. INSTALL BRACES AT ALL END, CORNER, STRAINING AND GATE POSTS. • MAXIMUM SPACING OF LINE POSTS 3.1M (10FT.) ON CENTRE.
- FENCE POST FOOTINGS SHALL BE MINIMUM 250MM(10 IN.) DIAMETER, 1.37M (4-1/2 FT.) DEEP, 25 MPA CONCRETE, 70MM MAX.
- SLUMP, 6% AIR ENTRAINED. • ALL POST HOLES TO BE DRILLED BY MECHANICAL MEANS. HOLES SHALL BE NEAT WITH VERTICAL SIDES. REMOVE ALL SURPLUS
- AFTER POST INSTALLATION, THE CONCRETE SHALL BE VIBRATED OR HAND RODDED TO PROVIDE A COMPLETE BOND. • TOP OF CONCRETE FOOTING TO BE 150MM (6 IN.) BELOW FINISHED GRADE. SLOPE CONCRETE AT TOP OF FOOTING AWAY FROM BACKFILL POST HOLES WITH GRANULAR FILL MATERIAL LEAVING NO VOIDS.
- CHAIN LINK FENCE
- FABRIC TO BE STYLE 5035, 50MM (2 IN.) OPENING, MINIMUM 9 GAUGE WOVEN, DIAMOND PATTERN, ZINC COATED, GALVANIZED WIRE. FABRIC TO BE KNUCKLED TOP AND BOTTOM, SMOOTH FINISH, AND FREE OF SHARP BURRS. COATING TO BE MINIMUM 488 • FABRIC TO BE HUNG ON THE PARK SIDE.
- FABRIC SHALL NOT BE HUNG UNTIL CONCRETE FOOTINGS HAVE CURED MINIMUM 48 HOURS. • FABRIC SHALL BE STRETCHED TIGHT AND SECURELY FASTENED IN ACCORDANCE WITH THE BEST PRACTICES COMMON TO THE
- THE SPACE BETWEEN THE SURFACE OF THE GROUND AND THE BOTTOM OF THE FABRIC SHALL NOT BE LESS THAN 25MM (1 IN.) AND SHALL NOT EXCEED 75MM (3IN.).PROVIDE STRAINING POSTS AS REQUIRED MAINTAINING REQUIRED GAP AT BOTTOM OF
- 4. FENCING HARDWARE
- THE TIE WIRE SHALL BE STYLE 35, 9 GAUGE HIGH STRENGTH ALUMINUM, SPACED AT 250 MM (10 IN.) INTERVALS AT TOP, CENTRE AND BOTTOM RAILS AND AT 300 MM (12 IN.) INTERVALS ON THE LINE POSTS.
- ENDS OF TIES TO BE TWISTED TWO FULL TURNS TO ENSURE RIGID CONNECTION OF FABRIC TO FRAMEWORK. • ALL FENCING TO BE COMPLETE WITH WATERPROOF POST CAPS SO DESIGNED AS TO FIT AND FASTEN SECURELY OVER THE POSTS AND CARRIES THE TOP RAIL, OFFSET BANDS AND RAIL CLAMPS OF SUITABLE SIZE, MANUFACTURED IN ACCORDANCE WITH BEST PRACTICE COMMON TO THE FENCING INDUSTRY.
- 5. CHAIN LINK FENCE PRIVACY COVERINGS/SCREENS • NO PRIVACY COVERS (I.E. PLASTIC WEAVE, CANVAS, CLOTH, CORRUGATED SHEET METAL, FIBRE GLASS PANELS ETC.) OF ANY KIND, ARE PERMITTED ON CHAIN LINK FENCING ABUTTING PARKLAND.

THE CORPORATION OF THE CITY OF MISSISSAUGA ACCESSIBLE PARKING SIGN REQUIREMENTS

Accessible Parking Signs shall be mounted on a level wall surface or mounted on a permanent post, pillar, or other suitable surface, conforming to the requirements or regulations made under the Highway Traffic Act and the Accessibility for Ontarians with Disabilities Act, and be located:

At a height of 1200 mm (47 in.) from the ground/floor surface to the bottom edge of the sign;

• If mounted on a post, the post shall be colour contrasted with the background

For parallel parking located toward the end of the parking space, on the opposite

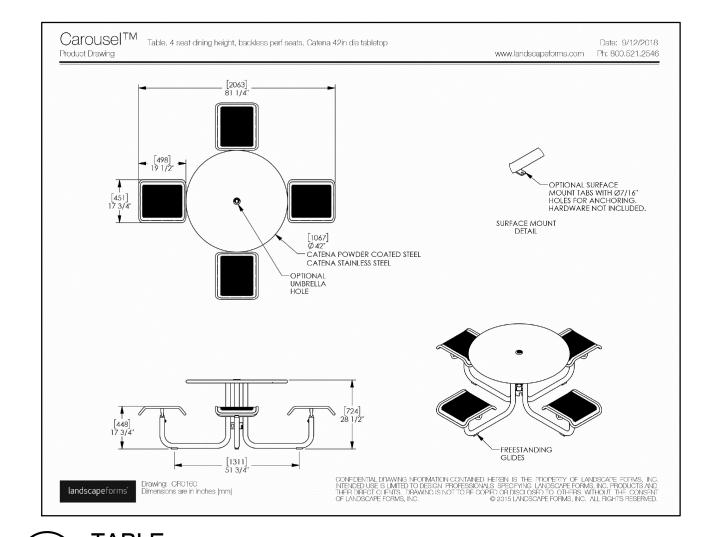
Each Type 'A' Parking Space shall have two (2) 150 mm x 300 mm (6 inches x 11 3/4

inches) signs, on the same sign post/wall mount and located immediately below the sign described in sections 9 and 11, with the words "Van Accessible" followed underneath with "Maximum Fine \$5,000.00", as illustrated in Schedule "C" of Accessible Parking By-

Each **Type 'B' Parking** Space shall have a 150 mm x 300 mm (6 inches x 11 ¾ inches) sign, on the same sign post/wall mount and located immediately below the sign described in sections 9 and 11, with the words "Maximum Fine \$5,000.00", as illustrated in Schedule "C" of Accessible Parking By-law 10-2016.

ACCESSIBLE PARKING BY-LAW # 10-2016

For perpendicular parking centred on the parking space; and



Black Letter 'P' and Border

Background

Border

and Border

Black Legend

BY PERMIT

ONLY**←**

1020 mm

20 mm Red Reflective Circular

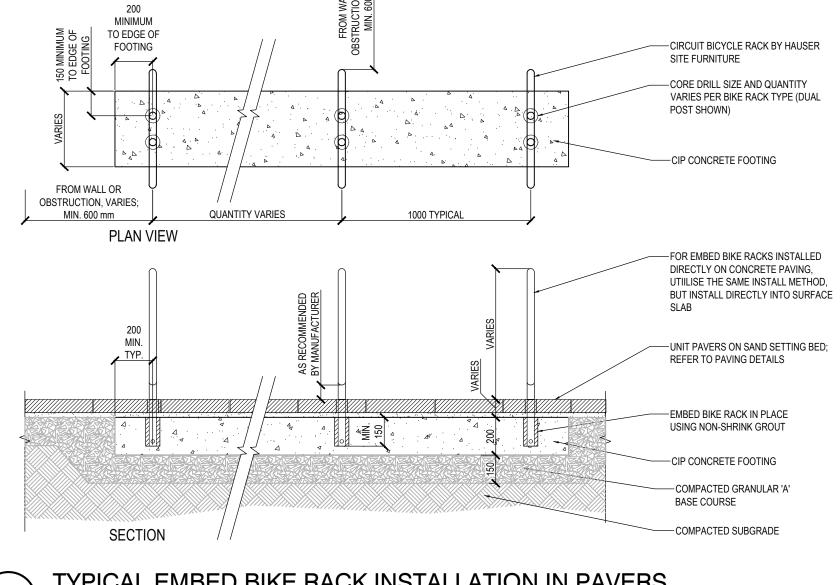
15 mm Red Reflective Stroke - White Reflective Background

White Reflective Symbol and

White Symbol and

Blue Background

_Blue Reflective Background



TYPICAL EMBED BIKE RACK INSTALLATION IN PAVERS

1.2M CHAIN LINK FENCE

Chase Park® Side Opening Litter Receptacle, With Sand Pan, With Lock Ø7/16" HOLES
FOR OPTIONAL ANCHORING.
NON-CORROSIVE MOUNTING
HARDWARE NOT INCLUDED.

BOTTOM VIEW

TRASH RECEPTACLE

Sign Face: 0.064 mm gauge aluminum sign blank white background holes-metro punched Secure the sign face to a post or wall with two galvanized 12 mm hex. head bolts and Black colour font (min. size 25 mm) - White Reflective Background 76.25 mm X 76.25 mm International Symbol of Access -One in Each Accessible Parking **Maximum Fine** Van \$5000.00 Accessible 100 mm X 100 mm Pressure Treated Wood or 75 mm Galvanized Standard Steel Pipe Post to be Cast 300 mm (11-3/4 in.) In Place in 300 mm Diameter Concrete Footing

300 mm min. x 450 mm min. 300 mm min. x

Van Type 'A'
Accessible Space Only

Maximum Fine \$5000.00

CITY OF MISSISSAUGA - ACCESSIBLE SIGNAGE

Anchor Plate Light Column OV2 8 8 Bolt circle 5" (126mm) MARTE MONTH CANADA TREATMEN MARTE MA

P-2020-BRI-53

LIGHT BOLLARD

OVB Bollard & Light Column Series

P-2020-BRI-100

OV2 Bollard & Light Column Series

7 LIGHT COLUMN

P-2020-BRI-101

P-2020-BRI-54

STUDIO ta

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE

ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE

2020-01-31 RR

date by

1 ISSUED FOR SPA

COMPLETION OF THE WORK.

LANDSCAPE ARCHITECT.

NOT FOR CONSTRUCTION

20 Champlain Blvd. Suite 102 - Toronto ON - M3H 2Z1 info@studiotla.ca www.studiotla.ca

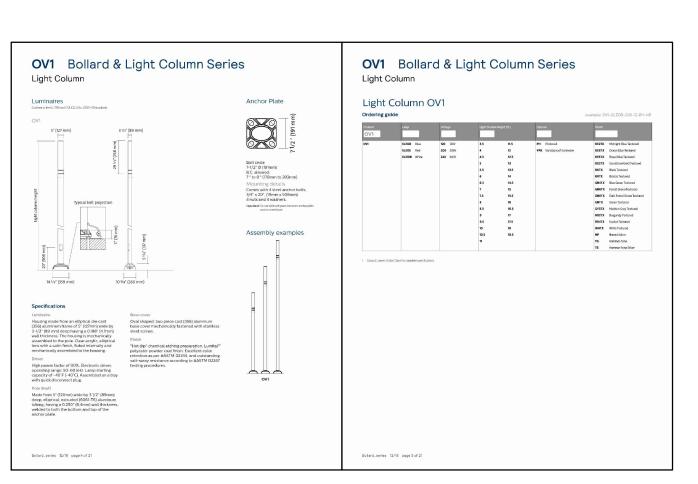
BRIGHTWATER SALES CENTRE 70 MISSISSAUGA RD SOUTH MISSISSAUGA, ONTARIO L5H 2H3

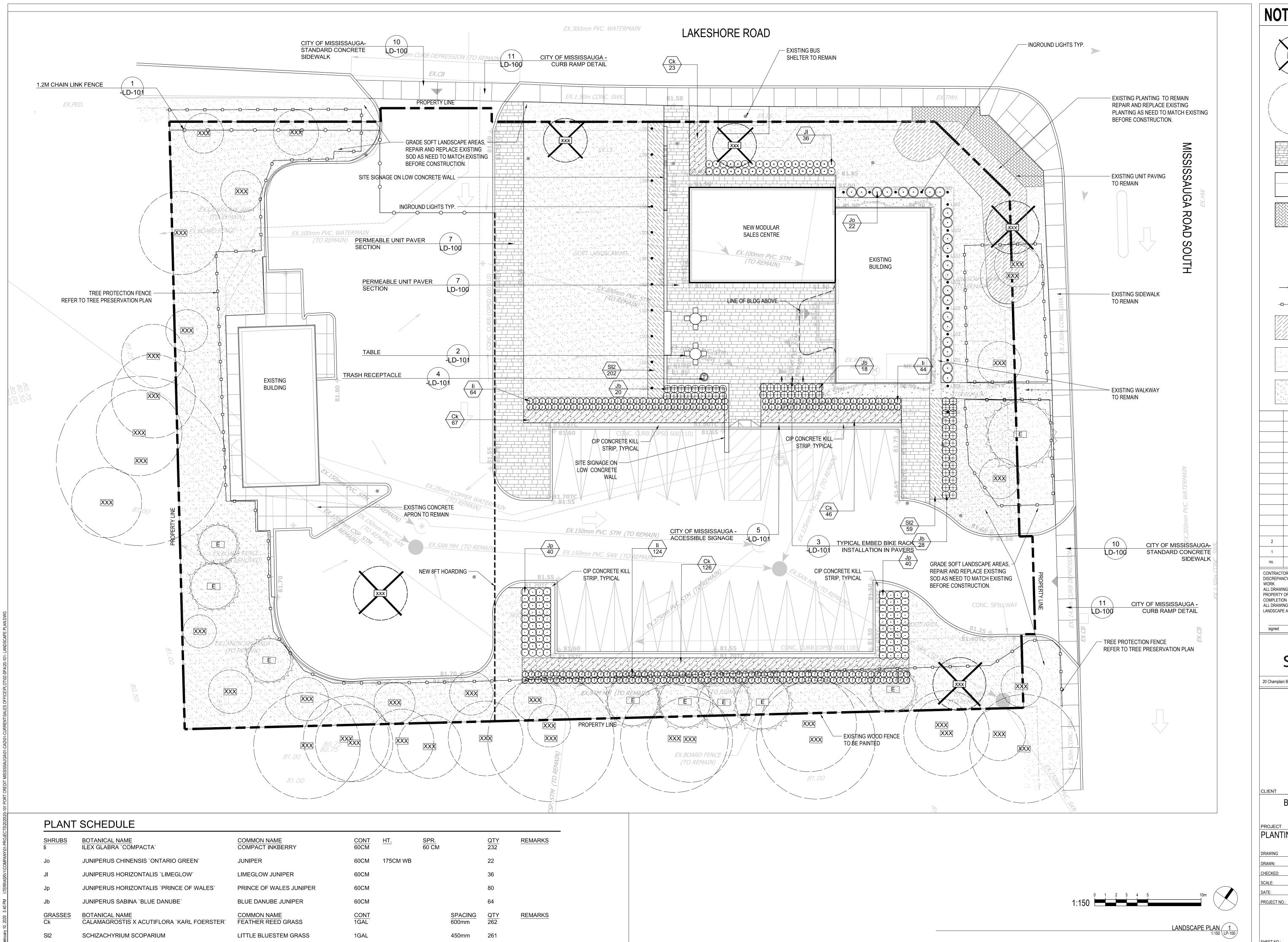
LANDSCAPE DETAILS

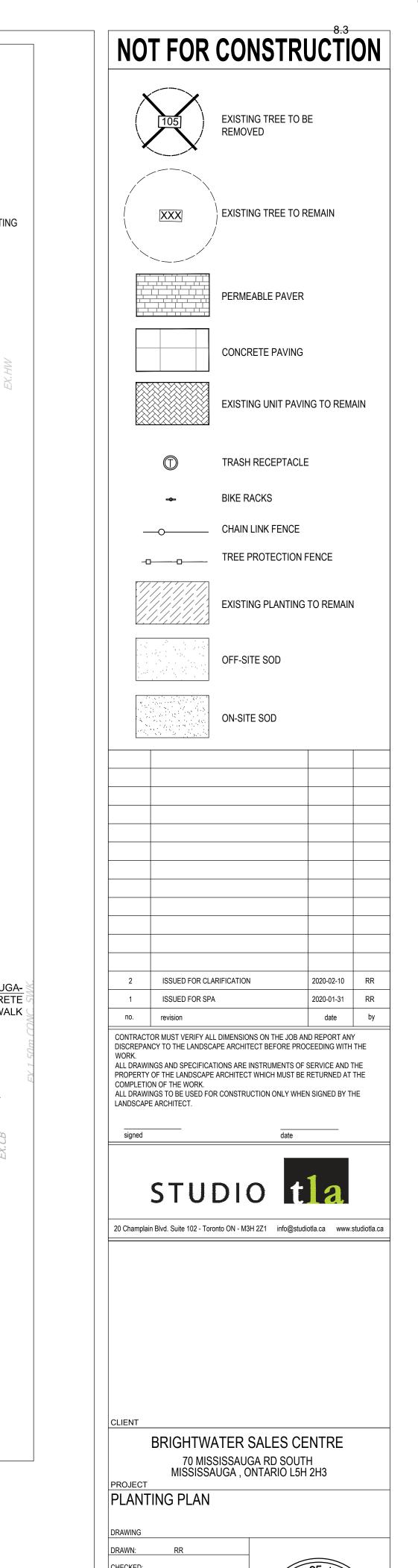
CHECKED: AS SHOWN

PROJECT NO.: 20-201

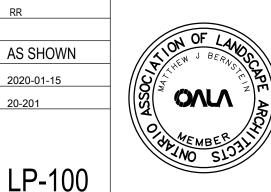
LD-101

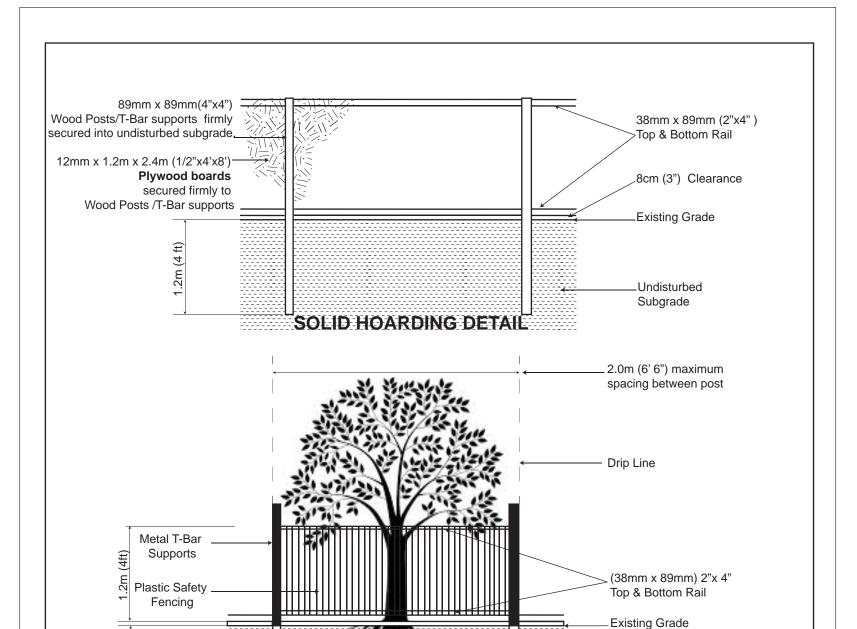






RAWN: RR
HECKED:
CALE: AS SHOWN
ATE: 2020-01-15





- 1. Hoarding details to be determined following initial site inspection.
- 2. Private tree hoarding to be approved by Development & Design; City tree hoarding to be approved by Community Services Dept.
- 3. Hoarding must be supplied, installed and maintained by the applicant throughout all phases of construction.
- Inspection must be conducted by the Development and Design Division prior to removing any/all private hoarding.
- 4. Do not allow water to collect and pond behind or within hoarding.
- 5. T-bar supports are acceptable alternative to 4x4 posts. U-shaped metal supports will not be accepted.
- 6. Plywood must be utilized for 'solid' hoarding. OSB/Chipboard will not be accepted for solid hoarding. Plywood sheets must be installed on "construction" side of frame.

FRAMED HOARDING DETAIL

7. Applicant is responsible to ensure utility locates are completed within city boulevard prior to installing framed hoarding.

TREE PRESERVATION HOARDING

MISSISSAUGA

Undisturbed

Subgrade

SCALE : N.T.S DATE : June 2017

TREE PROTECTION PLAN NOTES

I. TREE PROTECTION PERMITS AND PERMISSION

- 1.1 Refer to the Tree Inventory for tree specific details, including protection, removal, and injury information.
- 1.2 Tree permits must be obtained from the City of Mississauga for trees identified for removal.
- 1.3 work inside the drip line of a tree is considered an injury. The drip line is the area below the outermost branch tips of a tree.

2. TREE REMOVALS

2.1 Where the proposed work is in direct conflict with trees, tree removal is required, pending Forestry permit approval. Trees approved for removal must be removed prior to disturbance inside the drip line for

3. TREE PROTECTION FENCING

- 3.1 Tree protection fencing must be installed as shown on the tree protection plan. Fencing must be constructed as per the City of Mississauga Development and Design Hoarding Construction detail. Stockpiling of soil against tree protection hoarding is not permitted.
- 3.2 A sediment barrier is required on the site to contain fine particles. The sediment barrier must be installed such that any trenching is outside of the drip line of protected trees.
- 3.3 It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the plan and within the arborist report each morning. If disturbance is observed, it is to be repaired prior to work commencing on site that day.

4. REMOVAL OF EXISTING PARKING LOT CURB ALONG SOUTH SIDE OF SITE

- 4.1 Any roots exposed by excavation or trenching beyond of the tree drip lines must be cleanly cut. No tearing by machinery is permitted.
- 4.2 The existing parking lot curb along the south end of the site is to be removed as well as a portion of the asphalt parking lot, and replaced with soft ground surface. A new curb and surface parking lot is to be installed farther north (farther from existing trees).
- 4.3 The existing curb at the drip line of Trees 2003, 2005, 2006 is to be carefully removed using a non-toothed excavator bucket. The bucket is to peel the curb away from the adjacent soil. There is to be no excavation into the existing soil. Any tree roots that are exposed during this process are to be cleanly pruned by hand. If the size or quantity of exposed roots is deemed to affect the health or stability of the adjacent tree(s), removal may be required pending City of Mississauga approval.
- 4.4 Following removal of the curb and existing asphalt parking lot, sandy loam topsoil (50-60% sand; 20-40% silt; 6-10% clay; 2-5% organic; pH 7.5 or less) is to be added to match the surrounding grade as needed. Any roots exposed during the curb removal must be immediately covered with soil. Roots must not be permitted to dry out.

City of Mississauga Subdivision Requirements Manual Required Notes

3.5.2 Specifications for the Protection and Preservation of Existing Vegetation

. I All existing trees, which are to remain, shall be fully protected with hoarding to City standards, erected beyond their "drip line" prior to the issuance of the Erosion and Sediment Control Permit, to the satisfaction of the Community Services Department. Groups of trees and other existing plantings to be protected, shall be treated in a like manner with hoarding around the entire clump(s). Areas within the protective fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment

.2 No rigging cables shall be wrapped around or installed in trees. Surplus soil, equipment, debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

.3 The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

.4 Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully in accordance with accepted arboricultural practices.

.5 Where root systems of trees are exposed directly adjacent to or damaged by construction work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

.6 Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

.7 Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at the developer's own expense with trees of a size and species as approved by the Community Services Department.

.8 If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Community Services Department.

3.5.3 Standard Note "B"

Standard Note "B" shall be placed on all Grading Drawings and Tree Preservation Drawings:

"I hereby certify that this Tree Protection Plan is compatible with the proposed grading and municipal works for this development as submitted by the Consulting Engineers".

GENERAL NOTES

I. Bruce Tree Expert Company Ltd. provided the tree removal icons, tree protection barriers, and tree protection comments. Survey information was provided by JD Barnes Ltd. dated July 11, 2017. Site plan layout prepared by Giannone Petricone Associates Inc. dated Feb. 5 2020 and grading plans prepared by Urbantech West dated Jan. 21 2020.

LEGEND

Tree protection barrier at drip line of trees -Framed Hoarding

Tree protection barrier at drip line of trees -Solid Board Hoarding

TAG No. 100 Tree to be preserved

TAG No. 100 Tree to be removed

Tree previously TAG No. 100 removed or with removal permit previously obtained

> SITE BOUNDARY BOUNDARY OF SUBJECT LANDS OF **BUILDING EXTENTS**

+0000 SPOT ELEVATION

AREA OF LANDSCAPED BUFFER

2 Feb. 6 2020

Bruce Tree Expert Company Ltd.



I Jan. 27 2020 No. DATE

> 3-1750 The Queensway, Suite 1329 Toronto, ON M9C 5H5 e. contact@brucetree.com www.brucetree.com

TREE PROTECTION PLAN

Brightwater Sales Centre

SITE

70 Mississauga Rd. South & 181 Lakeshore Rd. West Mississauga, Ontario

Btec FILE 8137-4693 SCALE 1:300

TPP-1.2

Brightwater Sales Centre - Excerpted Tree Inventory

Inventory date: May, June, July, 2017 Inventory Update: Sep. 3 - 6, and 26 2019

Chart Details:

Tag No.: Inventoried trees identified by a number-stamped aluminum tag. Tree tag numbers carried over from 2013 and 2017 inventory, therefore certain tree tag number are no longer present on the site due to previous removal. NP indicates Not Present.

Species: Includes the botanical name and common name of each tree.

DBH: Diameter at breast height in cm, measured at 1.4m from the ground.

Overall Rating: Condition rating of tree based on health and structure, from good to fair to poor, and dead.

Trunk: Trunk structure rating from good to fair to poor based on external visual inspection.

Crown: Crown structure rating from good to fair to poor based on external visual inspection.

Health: Tree vitality rating from good to fair to poor based on external visual inspection.

Observations: Relevant structural and health observations that inform the overall tree rating.

Ownership: Location of tree on the site - private, subject site; municipal; adjacent, private; adjacent, municipal; adjacent, provincial; boundary (P&P) for provincial and private boundary trees; boundary (private) for boundary trees on shared private property; adjacent TBD, for trees located on adjacent property, ownership to be determined. Trees on shared private/municipal property lines were designated as private or municipal based on where more than 50% of the trunk appeared to be located, as per City of Mississauga Forestry direction.

Action: Proposed removal, injury, or preservation based on proposed grading and development work. An injury is any proposed work inside the drip line of the tree.

Tag No.	Species	DBH	Overall Rating	Trunk	Crown	Health	Observations	Ownership	Action
20 - 27	Removal permit issued	2017 for		diation					
675-	Removal permit issued 2017 for site remediation								
681	nemovar permit issued 2017 for site remediation								
699	Acer platanoides	42	Poor	F-P	Р	F-P	Seam on south side to main branch	private, subject site	Preserve
	(Norway maple)						union; extensive dieback		
700	Populus deltoides	13.5,	Fair	F-P	G	F	Narrow-angled branch union with	private, subject site	Preserve
	(Eastern cottonwood)	12, 10					included bark		
701	Populus deltoides	22.5	Fair	G	G	F		private, subject site	Preserve
	(Eastern cottonwood)								
702	NP (removed or expired	prior to	2017)						
703	Elaeagnus	16, 14	Dead	Р	Р	Р	Failed	private, subject site	Preserve
	<i>angustifolia</i> (Russian								
704	Salix fragilis (crack	19.5,	Fair	Р	F	G	Narrow-angled branch union with	private, subject site	Preserve
	willow)	50, 28					included bark, massive surface root		
705	Populus deltoides	26	Good	G	F	G		private, subject site	Preserve
	(Eastern cottonwood)								
1899	Removal permit issued				_	_			_
1989	Tilia cordata	27.5	Good	G	G	G		private, subject site	Preserve
1000	(Littleleaf linden) Tilia cordata	22	Fain			_	Naultinle byggebee et seves veigt et		Dunnamus
1990	(Littleleaf linden)	22	Fair	G	F-P	F	Multiple branches at same point of attachment and fused	private, subject site	Preserve
1991	Tilia cordata	24	Fair	G	F-P	F	attachment and ruseu	private, subject site	Remove - sales
1331	(Littleleaf linden)		''	,	' '	'		private, subject site	centre visibility
1992	Tilia cordata (Littleleaf	23	Good	G	F	G	Growing within island beside bus stop	private, subject site	
	linden)								shelter site lines
1993	Picea pungens	35	Good	G	G	G		private, subject site	Remove - sales
	(Colorado spruce)								centre visibility
1994	Syringa reticulata	27	Fair	G	F-P	F	Asymmetrical crown only to east;	private, subject site	Preserve
	(Japanese silk lilac)						cohort		
1995	Syringa reticulata	34	Fair	G	Р	G	Asymmetrical crown due to	private, subject site	Preserve
4006	(Japanese silk lilac)	45.5					competition; cohort		
1996	Syringa reticulata	15.5,	Fair	F	F	F	Codominant stems at 60 cm with start	private, subject site	Preserve
	(Japanese silk lilac)	11, 8					of included bark; multi stem from ground, not tree form		
1997	Syringa reticulata	13, 12,	Poor	F	P	G	Growing under #1998; stems bending;	private, subject site	Preserve
133,	(Japanese silk lilac)	8		'			asymmetrical	p. Water, subject site	
1998	Picea pungens	37	Good	G	G	G	,	private, subject site	Preserve
	(Colorado spruce)								
1999	Syringa reticulata	21	Good	G	F	F	Minor small diameter dead wood;	private, subject site	Preserve
	(Japanese silk lilac)						chlorotic		
2000	Syringa reticulata	24	Fair	G	F	F	Codominant branches at 15 m with	private, subject site	Preserve
	(Japanese silk lilac)						included bark; competing with		
							adjacent tree		
2001	Picea pungens	28.5	Poor	Р	G	G	Heaving out of ground, hazard	private, subject site	
	(Colorado spruce)								tree.

Tag	Species	DBH	Overall	Trunk	Crown	Health	Observations	Ownership	Action
No.			Rating						
2002	Picea pungens	29	Good	G	G	G	Extensive surface roots to west	private, subject site	Preserve
	(Colorado spruce)								
2003	Pinus nigra (Austrian	34.5	Fair	F	F	G	Codominant stems at 2 m with narrow-	private, subject site	Preserve
	pine)						angled union and included bark poor		
							aspect ratio		
2004	Picea pungens	22	Good	G	G	G		private, subject site	Preserve
	(Colorado spruce)								
2005	Pinus Nigra (Austrian	28, 13,	Poor	F	F-P	F-P	Asymmetrical due to shade, very	private, subject site	Preserve
	pine)	20					sparse		
2006	Pinus Nigra (Austrian	36	Fair	G	F	F	Asymmetrical due to shading	private, subject site	Preserve
	pine)								
2007-	Removal permit issued	2017 for	site reme	ediation					
2008									
2009	Acer platanoides	18	Fair	G	F	F		private, subject site	Preserve
	(Norway maple)								
2010	Acer platanoides	17.5	Poor	F-P	F-P	F-P	Crack on north side of trunk; basal	private, subject site	Preserve
	(Norway maple)						wound north side		
2011	Picea glauca	19.5	Fair	G	F	F	Crown somewhat sparse, moderate	private, subject site	Preserve
	(white spruce)						vitality		
2012	Pinus strobus (White	16, 7	Fair	F	F	G	Tree absent.	private, subject site	Preserve
	pine)								
2013	Picea glauca	28	Good	G	G	G	Branching to ground; located within	private, subject site	Remove - site
	(white spruce)						interlocking brick island in p. lot.		grading
2014	Pinus nigra	26.5	Fair	F-P	F	F	Significant lean east; crown somewhat	private, subject site	Preserve
	(Austrian pine)						sparse		
2015	Acer platanoides	21.5	Fair	F	F	F	Extensive surface roots with wounds	private, subject site	Preserve
	(Norway maple)								
2016	Acer platanoides	42	Fair	F	F-P	Р	Somewhat sparse crown; wound on	private, subject site	Preserve
	(Norway maple)						south side near base; extensive girdling		
							roots		
2017	Tilia cordata (Littleleaf	23	Good	G	F	G		private, subject site	Preserve
	linden)								

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Tree to be preserved

Tree protection barrier at drip line of trees -Framed Hoarding

TAG No. 100 () TAG No. 100 Tree to be removed

TAG No. 100

removed or with removal permit previously obtained

BOUNDARY OF SUBJECT LANDS OF +0000

BUILDING EXTENTS SPOT ELEVATION

SITE BOUNDARY

AREA OF LANDSCAPED BUFFER

I Jan. 27 2020 No. DATE

2 Feb. 6 2020

Bruce Tree Expert Company Ltd.



3-1750 The Queensway, Suite 1329 Toronto, ON M9C 5H5 p. 416.252.8769 f. 416.252.4574 e. contact@brucetree.com www.brucetree.com

TREE PROTECTION **PLAN** Brightwater Sales Centre

SITE

70 Mississauga Rd. South & 181 Lakeshore Rd. West Mississauga, Ontario

Btec FILE 8137-4693 SCALE 1:300

TPP-I.3