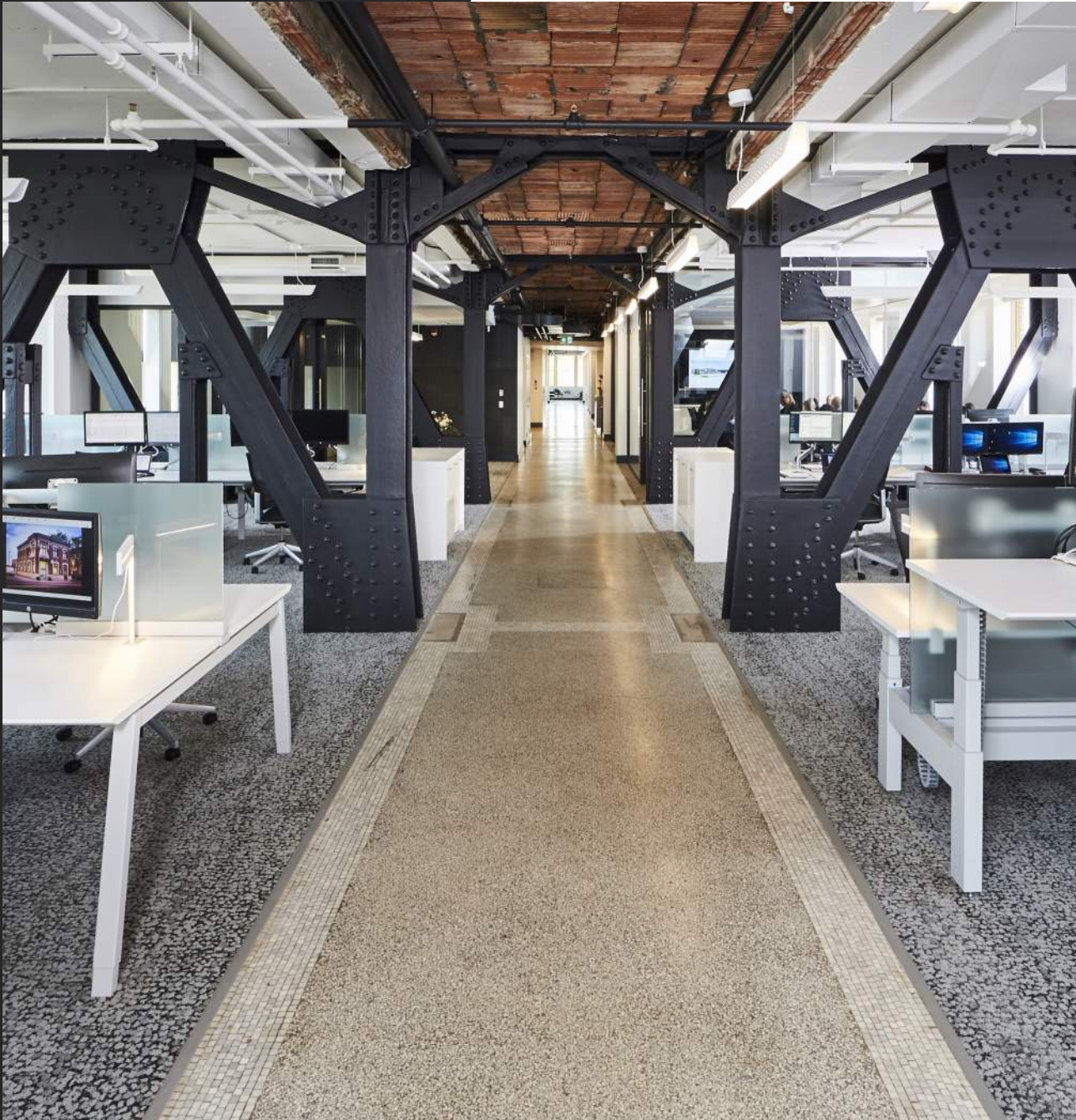




Cultural Heritage Impact Assessment Report

PRIVATE RESIDENCE // 1170 BIRCHVIEW DRIVE CITY OF MISSISSAUGA

September 2023



mcCallumSather

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Heritage Department

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1.0 Introduction to the report

1.1 Executive Summary

Background

The subject land is 1170 Birchview Drive which is located in City of Mississauga, ON. McCallumSather ('mCs') was retained by 2257686 Ontario Inc. ('Client') to prepare a scoped Cultural Heritage Impact Assessment ('CHIA') report to evaluate the impact of the proposed building renovation and extension on the attributes of adjacent designated heritage property at 1173 Queen Victoria Avenue which is located rear to the subject site.

The subject site is comprised of a residential building, a front yard and a back yard with a pool and existing trees. Per City of Mississauga's Property Information page, this property does not hold a Heritage status as of today¹.

Purpose

A pre-consultation meeting with City Staff and client was held to discuss the proposal and receive comments on the proposed renovations and extension on the subject site. City Heritage Analyst Andrew Douglas shared that a CHIA is required to ensure that the proposed development does not negatively impact the adjacent heritage resource. This September 2023 CHIA report describes the proposed development and assesses for any direct or indirect impacts to the adjacent cultural heritage. This CHIA will be reviewed by Staff and once approved will be a pre-requisite for a future Building Permit Submission to the City.

Cultural Heritage Value

The subject property does not hold a heritage status as of today. It is located within the Clarkson-Lorne Park District that exhibits a unique character, provide examples of historical development patterns, and contains cultural heritage resources. The subject site is also located adjacent to a designated heritage property at 1173 Queen Victoria Avenue. All other adjacent properties located at 1180, 1162 and 1171 Birchview Drive are not listed on the Heritage Register.

Proposed Development

The owner is proposing renovations to an existing house on site. A 2-storey extension to the rear of the existing house along with an extension to the existing basement is also proposed.

Assessment

Our assessment has validated that the proposed renovations and extension will not negatively impact the adjacent heritage resource at 1173 Queen Victoria Avenue. Our recommendations are based on the following main points:

Our recommendations are based on the following main points:

- Maintain appropriate physical relationships and visual settings that contribute to the contextual significance of the adjacent heritage resource.

Conclusion

- The proposed development will retain the adjacent heritage property in its current state resulting in no impacts to the built heritage resource.

1 <https://www.mississauga.ca/apps/#/property/view/heritage>

1.2 Contact Information

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1.3 Purpose

This CHIA:

- is required in support of future Building Permit application for the proposed works;
- will assess the impacts of the work on the heritage attributes of the adjacent property and provide strategies to mitigate those impacts if required.

As per Info Sheet No. 5 of the Ministry of Culture, Tourism and Sport Heritage Tool kit publication: Heritage Resources in the Land use Planning Process, potential negative impacts to cultural heritage resources include but are not limited to:

- Destruction of any, or part of any, significant heritage attributes or features
- Removal of natural heritage features, including trees
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
- A change in land use where the change in use negates the property's cultural heritage value
- Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources

The scope of this CHIA report involves the protection and management of the cultural heritage resources in a way that their heritage values, attributes and integrity are retained¹ and the evaluation of the proposed development and its impact on the site using Ontario Regulation 9/06.

¹ What is meant by “conserved”? Infosheet #1, Cultural Heritage and Archaeology Policies 2.6, Provincial Policy Statement (PPS 2005) Page 3

2.0 Introduction to the Subject Site

2.1 Site Overview & Context

Municipal Address	1170 Birchview Drive, City of Mississauga, ON L5H 3C9
Legal Description	PLAN 336 LOT 3
Lot Area	Approximately 2,567.94 square metres parcel of land (Figure 3).
Location & Boundaries	The subject site is rectangular in shape and has an approximate frontage along Birchview Drive of 30.44 metres. The subject site is located northwest of the Lorne Park Road and Birchview Drive intersection in the Clarkson-Lorne Park Neighbourhood of the City of Mississauga.
Context	The subject site is dominantly surrounded by one to 2 storey detached family dwellings.
Official Plan Designation	The subject lands are designated 'Residential Low Density I' on Schedule 10 – Land Use Designations and identified as 'Clarkson-Lorne Park Neighbourhood Character Area' on Schedule E - Urban Structure.
Zoning Description	The subject lands are zoned Residential (R2-5) as per the City of Mississauga Zoning By-law 0225-2007. The "D1" zone permits detached dwellings.

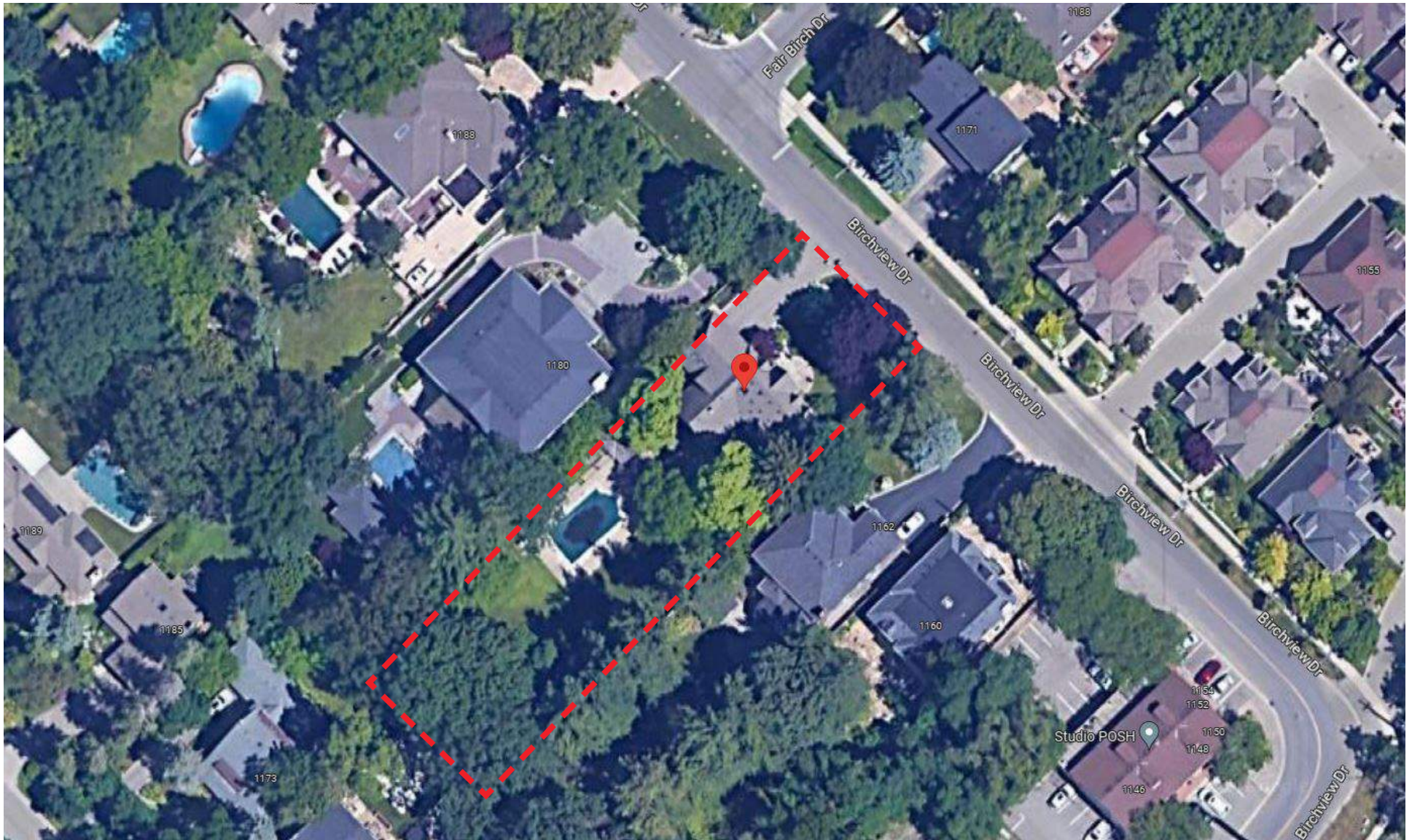


Figure 1. Aerial View Image showing the location of the subject site. (Source: Google Earth).Annotated by mCs to show the subject site extents (approximate).

3.0 Condition Assessment

3.1 Existing Condition - Site

A representative of mcCallumSather Architects visited the subject site on August 9, 2023 to view and document the existing conditions. All photos have been taken by mCs unless noted otherwise.

The subject site is roughly rectangular in shape and consists of one property municipally known as 1170 Birchview Drive. The site consists of a two-storey detached dwelling with a basement, that includes a two car garage, an asphalt driveway sloping down to Birchview Drive (Figure 2) towards the front of the house and a pergola structure at the south-west rear end of the property with a pool and two wood sheds. The basement level was not be accessed at the time of the visit.

The existing house has a deep setback of roughly 12m. The subject site slopes upwards as we move from the front to the rear of the lots. Mature trees and peripheral vegetation at the rear of the lot were also observed on site.

The existing house is proposed to be retained and a new two-storey addition with a basement is proposed for the site. The use of the site will be maintained as existing i.e. Residential.

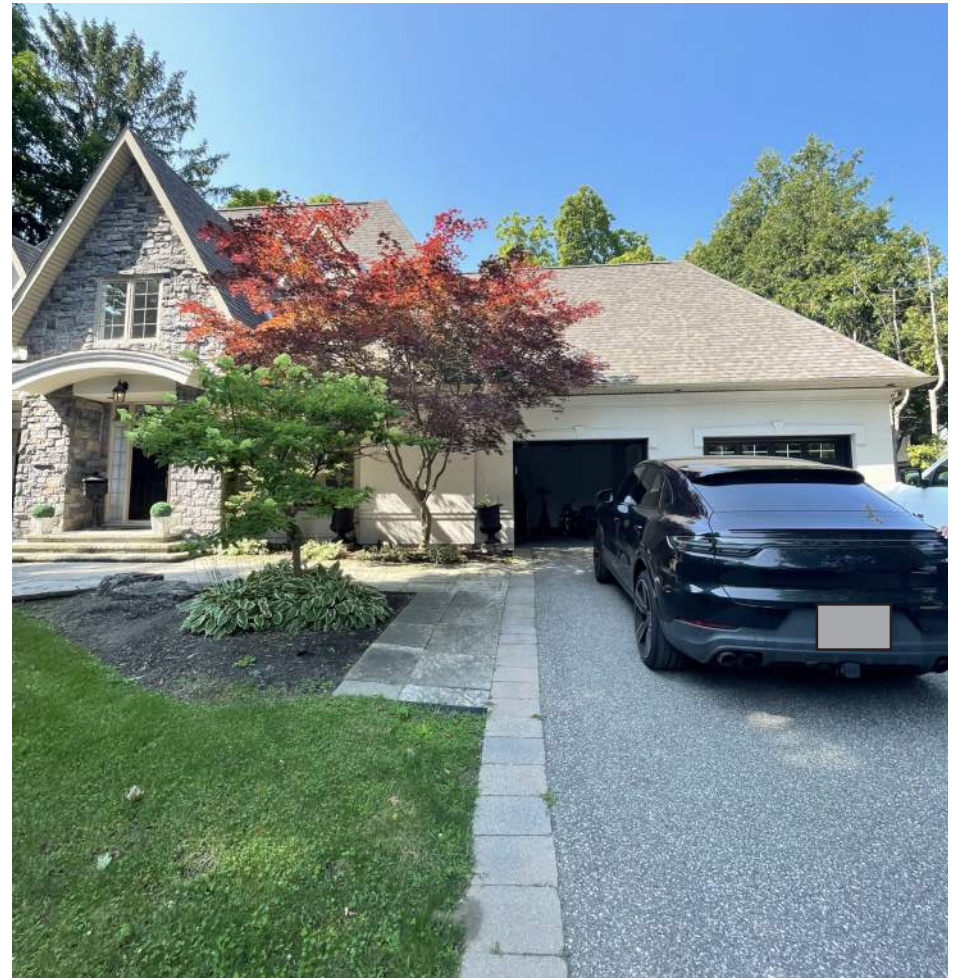


Figure 2. View of the house at the subject site from Birchview Drive.



Figure 3. Rear view of the existing house - looking northwest from the backyard.



Figure 4. Rear view of the existing house - looking north from the backyard.



Figure 5. Side view of the existing house - looking northwest from the backyard.



Figure 6. Side view of the existing house - looking northeast from the backyard.



Figure 7. View of the rear outdoor paved area with the pool and the existing pergola on the right.



Figure 8. View of the rear outdoor deck where the new addition is proposed.



Figure 9. View of the existing fence and vegetation separating the subject site and the adjacent heritage lot - looking southeast from the backyard.



Figure 10. View of the existing house and site - looking north from the rear end of the lot.

3.0 Historical Research & Analysis

3.1 Site History and Context

The Credit River valley and a large tract of territory around it became the traditional hunting lands of the Mississauga, part of the larger Ojibwa cultural group early in the 18th century¹. The souther and south-western Ontario was occupied by the Ojibwa by the end of the 17th century.

By the end of the 18th century, settlement was seen in what later became Upper Canada and eventually Ontario. In the first years of the 19th century it was becoming clear that European settlement was only going to increase along lakes Ontario and Erie. Two treaty land acquisitions created Toronto Township (now Mississauga). In 1805-1806, the Mississauga chiefs signed Treaty 14, known as the Head of the Lake Purchase. Mississauga sold their lands around the Credit River, retaining a reserve on the river and a one-mile wide stretch of land on either side of the river for fishing and hunting.² This 1805 surrender of the lakefront portion of the Mississauga Tract, stretching from York to Burlington Bay resulted in three townships being surveyed: Toronto in the east; Trafalgar in the centre; and Nelson in the west³. The Mississauga Purchase in the southern half of Toronto Township was surveyed by Samuel Wilmot into 200 acre lots.⁴ This area was divided into three 'ranges' and identified as the Credit Indian Reserve (CIR) in land registry documents.

The second treaty was signed in 1818 and was known as the Ajetance Purchase or Treaty 19. It surrendered 2,622 km² of Mississauga land to the Crown. In exchange, the Mississaugas of the Credit were to receive £522 and 10 shillings in goods every year. After further encroachments from settlers, the Mississauga surrendered more land along the Credit River in treaties 22 and 23, signed in 1820. They received £51 between the parcels of land. Treaty 22 also promised them 200 acres (0.8 km²) on the bank of the Credit River.¹

Historically the subject site was part of a 30-hectare resort area that was established in 1879 in the Lorne Park Estates, at the foot of Lorne Park Road. This area was a big tourist attraction and was also considered "Cottage Country"². By 1930s the resort atmosphere changed to residential. The heritage building at 1173 Queen Victoria Avenue is a good example of one of the few remaining cottages and is thus a designated heritage property.

1 Mississauga Heritage Web Site, Aboriginal Culture; <http://www.heritagemississauga.com/page/AboriginalCulture>.

2 Kathleen A. Hicks, Port Credit: Past to Present (Mississauga Library System: Mississauga, ON, 2007), p. xiii

3 Kevin Plummer, Historicist: The Credit Village The Mississaugas' thriving agricultural village on the Credit River, 1826-1847.

4 D. B. Simpson, "Major Samuel Street Wilmot," Association of Ontario Land Surveyors, <https://www.aols.org/sites/default/files/Wilmot-S.S.pdf>, pp. 108-11.

1 Nick Moreau, Mississauga, The Canadian Encyclopedia, <https://www.thecanadianencyclopedia.ca/en/article/mississauga>

2 Heritage Mississauga, Lorne Park Estates. <https://heritagemississauga.com/lorne-park-estates/#:~:text=Lorne%20Park%20originated%20as%20a,north%20side%20of%20Lakeshore%20Road>.

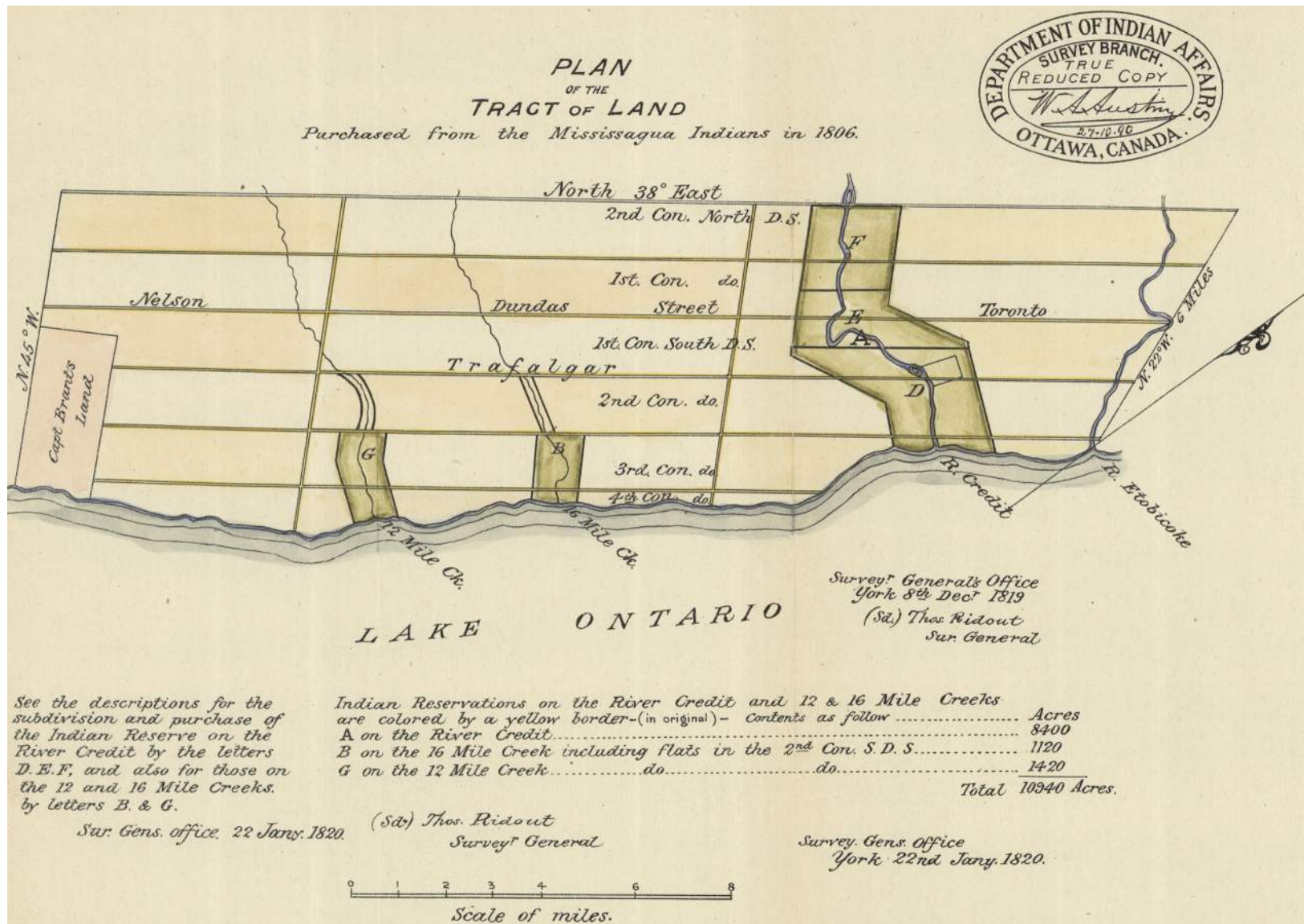


Figure 11. Plan of the Tract of Land purchased from the Mississauga Indians in 1806, Surveyor General's Office, January 22, 1820. From Canada, Indian Treaties and Surrenders from 1680 to 1890 (Brown Chamberlain, Queen's Printer, 1891). Retrieved online from: <https://digital.library.yorku.ca/yul-1153582/plan-tract-land-purchased-mississauga-indians-1806>

3.2 Clarkson-Lorne Park Neighbourhood

The subject site is located in the Clarkson-Lorne Park Neighbourhood as per Schedule 9 Character Areas¹. The subject site is in close proximity to the Lorne-Park Road Corridor per the Clarkson-Lorne Park District . South of the subject site is the Lorne Park Estate area which is believed to be named after John George Edward Henry Douglas Sutherland Campbell, 9th Duke of Argyll, Marquess of Lorne, who served as the fourth Governor General of Canada from 1878 to 1883².

Originating from a resort area at the southernly end of Lorne Park Road, Lorne Park Estates was a tourist destination. The affluent background of the owners of the properties was demonstrated through beautiful impressive two and three story cottages on spacious lots. A number of the summer homes built were designed by Edmund Burke in the English Arts and Crafts Style as two storeys with deep verandahs and balconies to catch the breeze of Lake Ontario. It was only after the World War II that the area saw owners residing permanently.

Even today the area around the subject site (north of the Lorne Park Estates) demonstrates single family detached dwellings character with majority of the buildings two to three storey tall and placed on deep lots with generous front, rear and side yard setbacks. It is critical that all future proposed developments be compatible with and enhance the character of this neighbourhood.

¹ http://www6.mississauga.ca/online/planbldg/MOP/Schedules/Sched_9_CharacterAreas.pdf

² Heritage Mississauga. Retrieved online from: <https://heritagemississauga.com/lorne-park/>

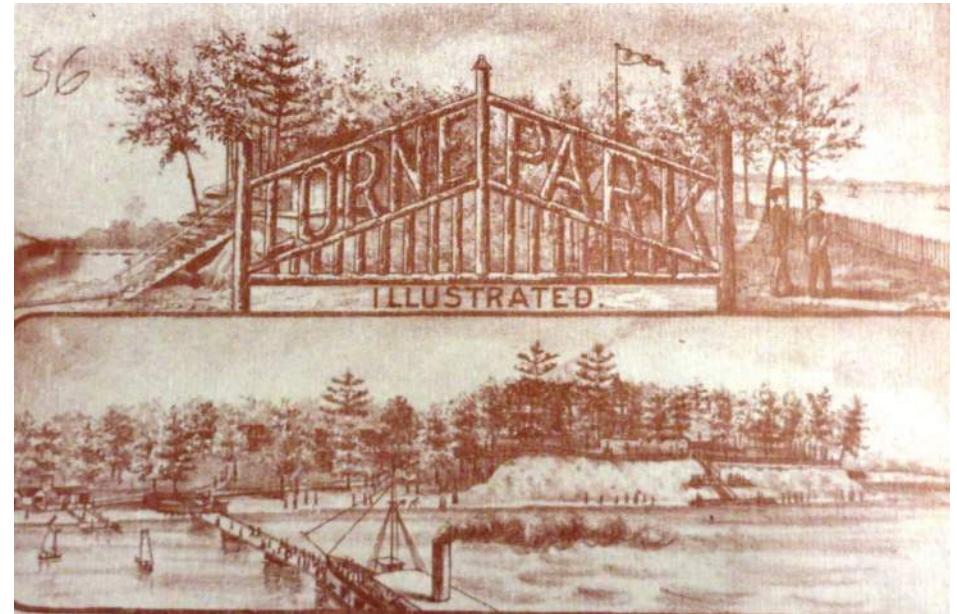


Figure 12. Lorne Park Postcard, 1886. Retrieved online from: <https://www.modernmississauga.com/main/2021/8/25/the-history-of-mississaugas-lorne-park-whats-with-the-names>

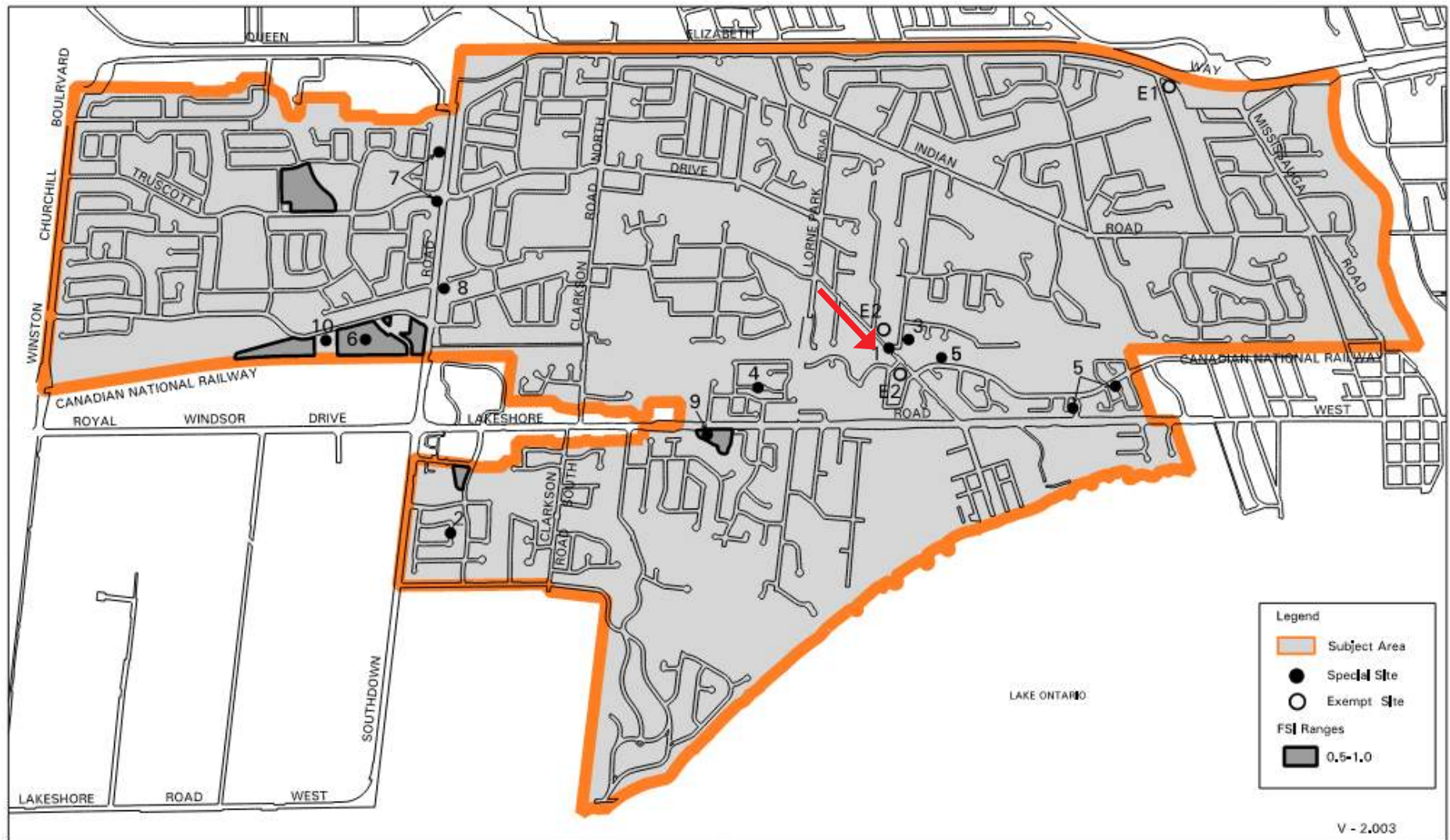


Figure 13. City of Mississauga Official Plan - Part 3. Section 16.5 Clarkson-Lorne Park - Neighbourhood Character Area Map. Annotated by mCs to show the approximate location of the subject site. Retrieved online from: http://www6.mississauga.ca/online/planbldg/MOP_CouncilApproved/16-%20Neighbourhoods_Sept%2016.pdf

3.3 Adjacent cultural heritage resources

The intent of this section is to provide written and visual descriptions of the adjacent property. An Assessment of the compatibility of the proposed design in relation to these adjacent cultural resources will be detailed in section 4.

The subject property is adjacent to the following Designated heritage property:

- 1173 Queen Victoria Avenue

The subject property is also in close proximity to the following listed heritage property:

- 1197 Birchview Drive

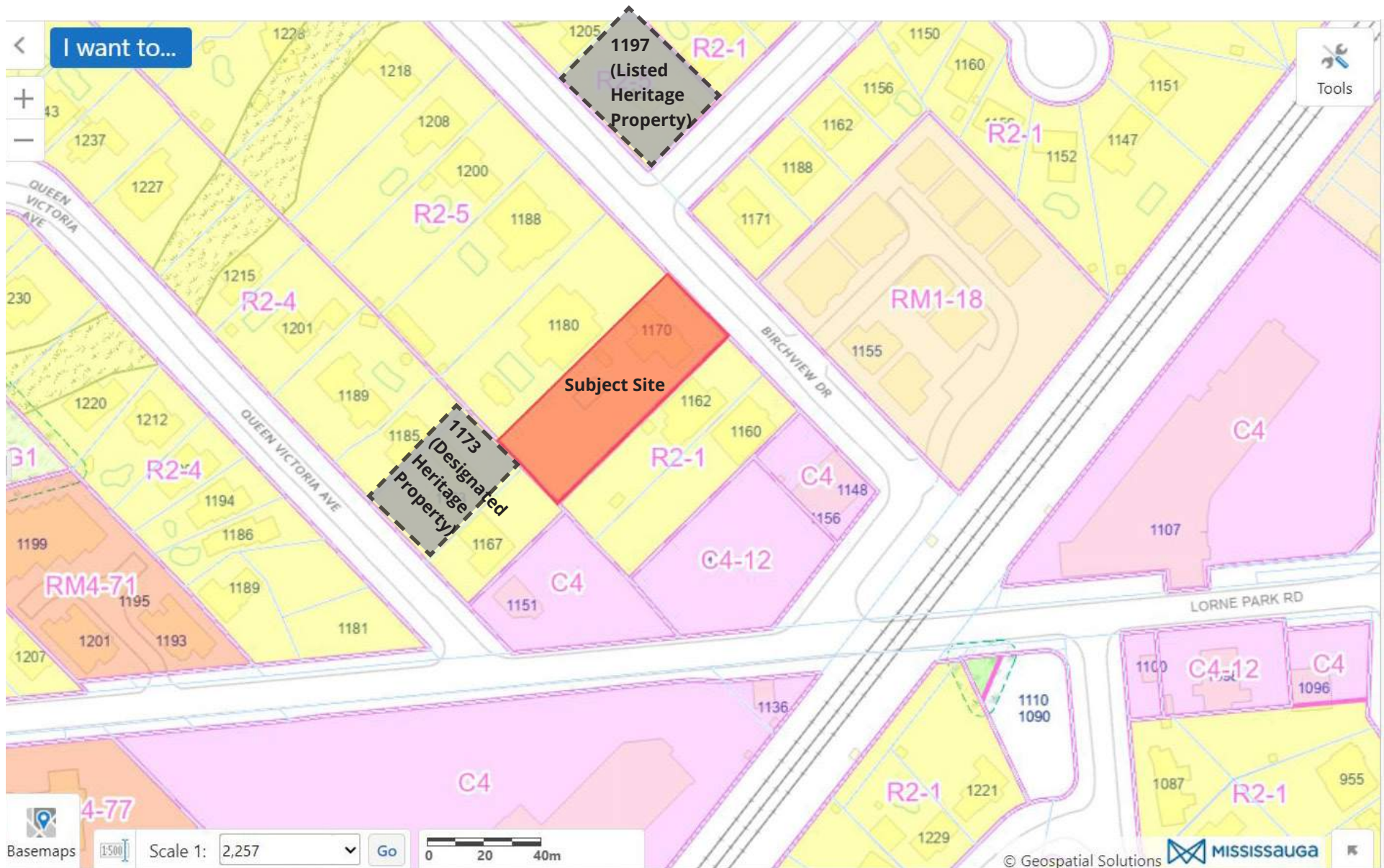


Figure 14. Zoning Information Map, City of Mississauga. Website showing the subject site in red and the adjacent cultural heritage resource at 1173 Queen Victoria Avenue and at 11. Retrieved from: <https://ext.maps.mississauga.ca/Html5Viewer/index.html?viewer=IZBL.HTML5&pin=1108700>

1173 Queen Victoria Avenue

This property is located adjacent to the subject site and is a Designated Heritage property.



Figure 15. Designated Heritage Property located at 1173 Queen Victoria Avenue (Paul Dubniak, 2009¹)

1 <https://www.historicplaces.ca/en/rep-reg/image-image.aspx?id=15538#i1>

The following archival documentation was retrieved from Historic Places Canada¹:

DESCRIPTION OF HISTORIC PLACE

The Canavan House is located at 1173 Queen Victoria Avenue, on the east side of Queen Victoria Avenue, just north of Lorne Park Road in the City of Mississauga. The one-and-a-half storey rough cast stucco residence, with half-timbering, was constructed in circa 1914.

The property was designated, by the City of Mississauga in 2002, for its cultural heritage value, under Part IV of the Ontario Heritage Act, By-law 002-2002.

HERITAGE VALUE

Located on Queen Victoria Avenue, the Canavan House sits on a wide lot, in an older residential neighbourhood within the Lorne Park area. The house is set well back from the road like most other houses on the street. The abundance of mature trees and landscaping is in keeping with the style of the house, creating an overall cottage-like character.

The Canavan House reflects the evolution and development of the Lorne Park community. In 1913 the property was subdivided into a registered subdivision and Queen Victoria Avenue was created. Despite having many owners, few alterations were made to the house, with the exception of a rear addition, in 1966.

The Canavan House is a good example of the Bungalow style of architecture, with its low extended roof and prominent porch.

1 Canavan House, 1173, Queen Victoria Avenue, City of Mississauga, Ontario
<https://www.historicplaces.ca/en/rep-reg/image-image.aspx?id=15538#i1>

The home also exhibits Tudor elements with the vertical half-timbering on the gable ends. The ground floor exterior is finished with white, rough cast stucco over red brick.

The house has a large, gently sloping roofline that extends on the west façade to cover the expansive porch. The porch roof is supported by large rounded pillars in the Tuscan style, symmetrically placed, and spaced by floor to ceiling multi-paned windows. These windows continue on the south elevation, creating a large glazed porch. The distinctive glassed-in porch sets the structure apart from other homes on the streetscape.

Sources: Corporate Report: Heritage Designation of 1173 Queen Victoria Avenue, Ward 2 City of Mississauga, June 26, 2001; The City of Mississauga By-law 002-2002.

CHARACTER-DEFINING ELEMENTS

Character defining elements that contribute to the heritage value of the Canavan House include its:

- one-and-a-half storey rough cast stucco and half-timbering exterior
- steeply pitched side-gable roof
- large dormer window with three bays and casement windows in each
- Tuscan style pillars
- brick chimney
- 35 paned windows on the south and west elevations
- 21 paned door on the centre of the west elevation flanked by sidelights of 21 panes each



Figure 16. Front facade of the Designated Heritage Property located at 1173 Queen Victoria Avenue (August 2023)

4.0 Heritage Planning Policies

The property at 1170 Birchview Drive is located in the Clarkson-Lorne Park Neighbourhood in City of Mississauga. It is not on the City's Heritage Register.

Several provincial and municipal Planning policies should be considered during the decision-making process. Responses to these in relation to these applicable policies have been addressed in the following sub-section.

4.1 Provincial & Municipal Policies

A. Provincial Policy Statement ('PPS')

The PPS 2020 identifies conservation of resources of significant architectural, cultural, historical, archaeological, or scientific interest as a provincial interest and it further recognizes that protecting cultural heritage and archaeological resources has economic, environmental, and social benefits, and contributes to the long-term prosperity, environmental health, and social well-being of Ontarians. The following sections of the PPS 2020 recognize the importance of identifying and evaluating built heritage and cultural heritage landscapes:

2.6 Cultural Heritage and Archaeology

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Response: There are no built heritage resources on site. No alterations are proposed to the adjacent heritage resource at 1173 Queen Victoria Avenue or at 1197 Birchview Drive.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved."

Response: The proposal does not alter or negatively impact the heritage attributes of the adjacent Heritage Resources. No significant views will be impacted by the proposed renovations or extension at the subject site.

The proposed addition will be integrated to the rear of the existing house with more than 50 m of buffer the new built and the adjacent heritage house lot line. An existing landscaping buffer including plants, bushes and mature trees also lines the rear edge of the subject site which offers restricted views to the heritage property. No critical views were found. Furthermore no existing views to the adjacent heritage property are impacted.

There are no anticipated changes in grade that would negatively impact the adjacent building.

B. A Place to Grow - Growth Plan for The Greater Golden Horseshoe (Office Consolidation 2020)

The Greater Golden Horseshoe (GGH) is one of the North America's fastest growing regions. The GGH City Region includes the City of Toronto and 15 surrounding counties. The subject property is located within the identified 'Urban Growth Centre' in the Schedule 4 of this planning document. Like other provincial plans, this Plan builds upon the policy foundation provided by the PPS and provides additional and more specific land use planning policies to address issues facing specific geographic areas in Ontario. This Plan is to be read in conjunction with the PPS.

The following policy stated under *Section 4.2.7 Cultural Heritage Resources of the Growth Plan for GGH¹* (August 2020 Consolidation) is applicable and relevant for the subject property and its associated development:

1. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.

Response: The proposed development supports this residential development while retaining and protecting the existing the adjacent cultural heritage resources.

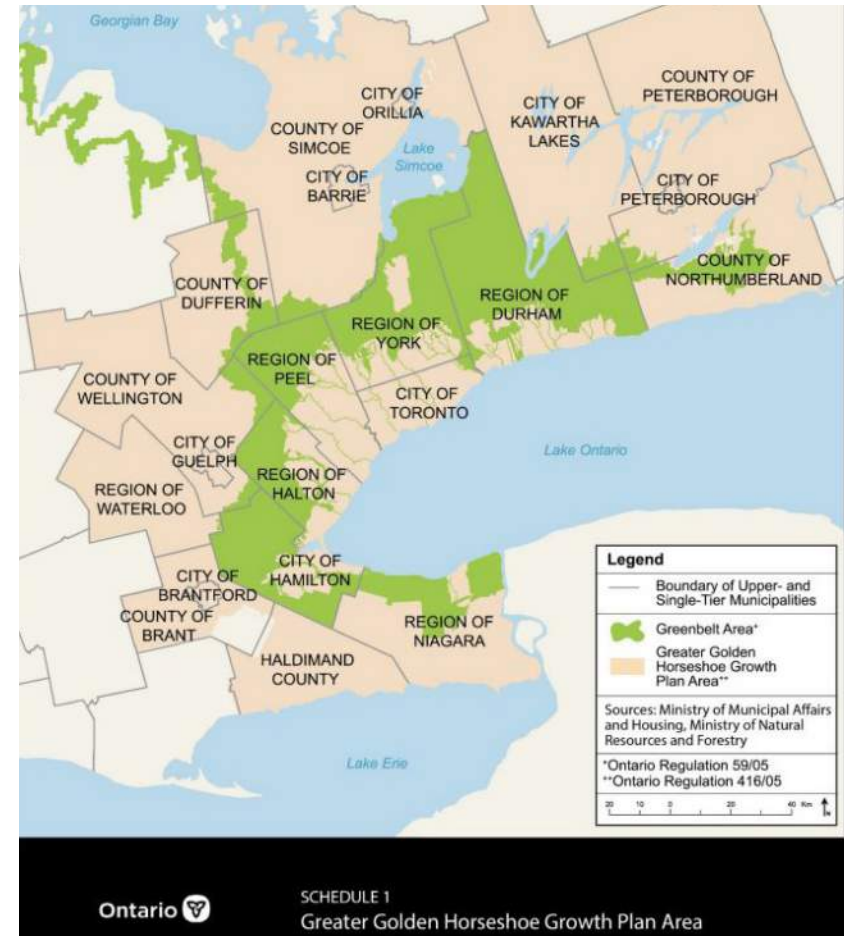


Figure 17. Urban Growth Map - Schedule 1 showing Region of Peel as a Green Belt and Growth Plan Area (Source: A plan to Grow, Growth Plan for the Greater Golden Horseshoe. Retrieved online from: <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>)

1 4.2.7 Cultural Heritage Resources, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

C. Region of Peel Official Plan (ROP OP, April 2022)

The Region encourages and supports conservation of the cultural heritage resources of all peoples whose stories inform the history of Peel. The Region recognizes the significant role of heritage in establishing a shared sense of place, contributing to environmental sustainability and developing the overall quality of life for residents and visitors to Peel. The Region supports the identification, conservation and interpretation of cultural heritage resources, including but not limited to the built heritage resources, structures, archaeological resources, and cultural heritage landscapes (including properties owned by the Region or properties identified in Regional infrastructure projects), according to the criteria and guidelines established by the Province¹.

The subject property is located within the Region of Peel's "Urban System Area²" (Region of Peel Official Plan Schedule E1 – Regional Structure).

The following guidelines and policies stated under Section 3.6 Cultural Heritage of the ROP OP are applicable and relevant for the subject property and its associated development:

3.6.11 Direct the local municipalities to only permit development and site alteration on adjacent lands to protected heritage property where the proposed

¹ Section 3.6 Cultural Heritage, Region of Peel Official Plan (2021 Consolidation). Retrieved online from: https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-april2022.pdf

² Region of Peel, Official Plan. Regional Structure Schedule E1, November 2022. Retrieved online from: https://www.peelregion.ca/officialplan/download/_media/approved-schedules.pdf

property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Response: The cultural heritage attributes of the adjacent heritage properties are conserved. No negative impacts from the proposed development were found.

D. City of Mississauga Official Plan (COM OP, Office Consolidation 2023)

City Council adopted Mississauga's current Official Plan in March, 2023. The following guidelines and policies stated under Section 7.5 Heritage Planning of the Mississauga Official Plan provide direction for development on or adjacent to the heritage resource:

The following guidelines and policies stated under Section 7.5 Heritage Planning of the OP¹ are applicable and relevant for the subject property and its associated development:

7.5.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction

7.5.2.3 Development adjacent to a cultural heritage property will be encouraged

¹ Heritage Planning, Cultural Heritage Resources, Mississauga Official Plan (Office Consolidation March 3, 2023). Retrieved from: https://www.mississauga.ca/wp-content/uploads/2023/04/Mississauga-Official-Plan_Chapter07-Complete-Communities-March3-2023.pdf

to be compatible with the cultural heritage property.

Response: This Heritage Impact Assessment makes appropriate recommendations and assesses any potential impacts to adjacent heritage resource. The proposed development is compatible in setting, scale and materiality with the existing adjacent and neighboring cultural heritage resources and does not negatively impact the cultural heritage resource at 1173 Queen Victoria Avenue.

Response: The proposed extension will have no adverse impact on adjacent neighbours as no overshadowing and privacy impacts are found. The addition will be two storeys and is compatible with the design of the existing building on site.

E. Clarkson-Lorne Park District Policies of Mississauga Plan (Official Plan) 2012

The subject site is located within the Clarkson-Lorne District. The Clarkson-Lorne Park District Policies of Mississauga Plan came into effect 2003 May 05.

The following guidelines and policies are applicable and relevant for the subject property and its associated development:

4.7.3.2 Infill Housing

e. ensure that new development has minimal impact on its adjacent neighbours with respect to overshadowing and overlook;

f. encourage buildings to be one to two (1-2) storeys in height. The design of the building should de-emphasize the height of the house and be designed as a composition of small architectural elements, i.e. projecting dormers and bay windows;

5.0 Proposed Development

5.1 Description of the proposed development

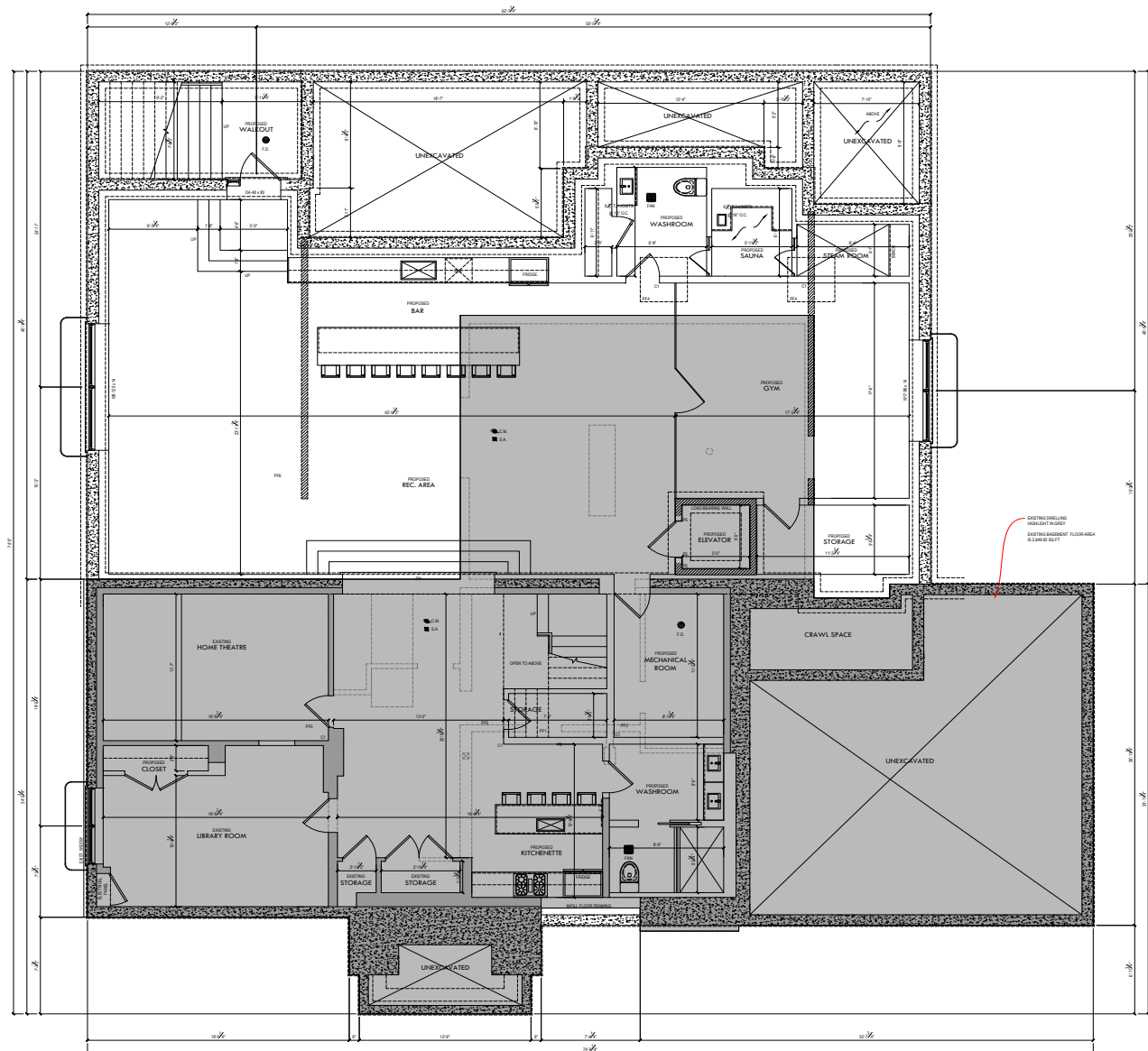
This part of the CHIA describes the proposed development of the subject site. This description is based on the Design Drawings package (August 2023) prepared by Lucid Homes Inc. (Architects).

The owner is proposing renovations to an existing house on site. A 2-storey extension to the rear of the existing house along with an extension to the existing basement is also proposed.

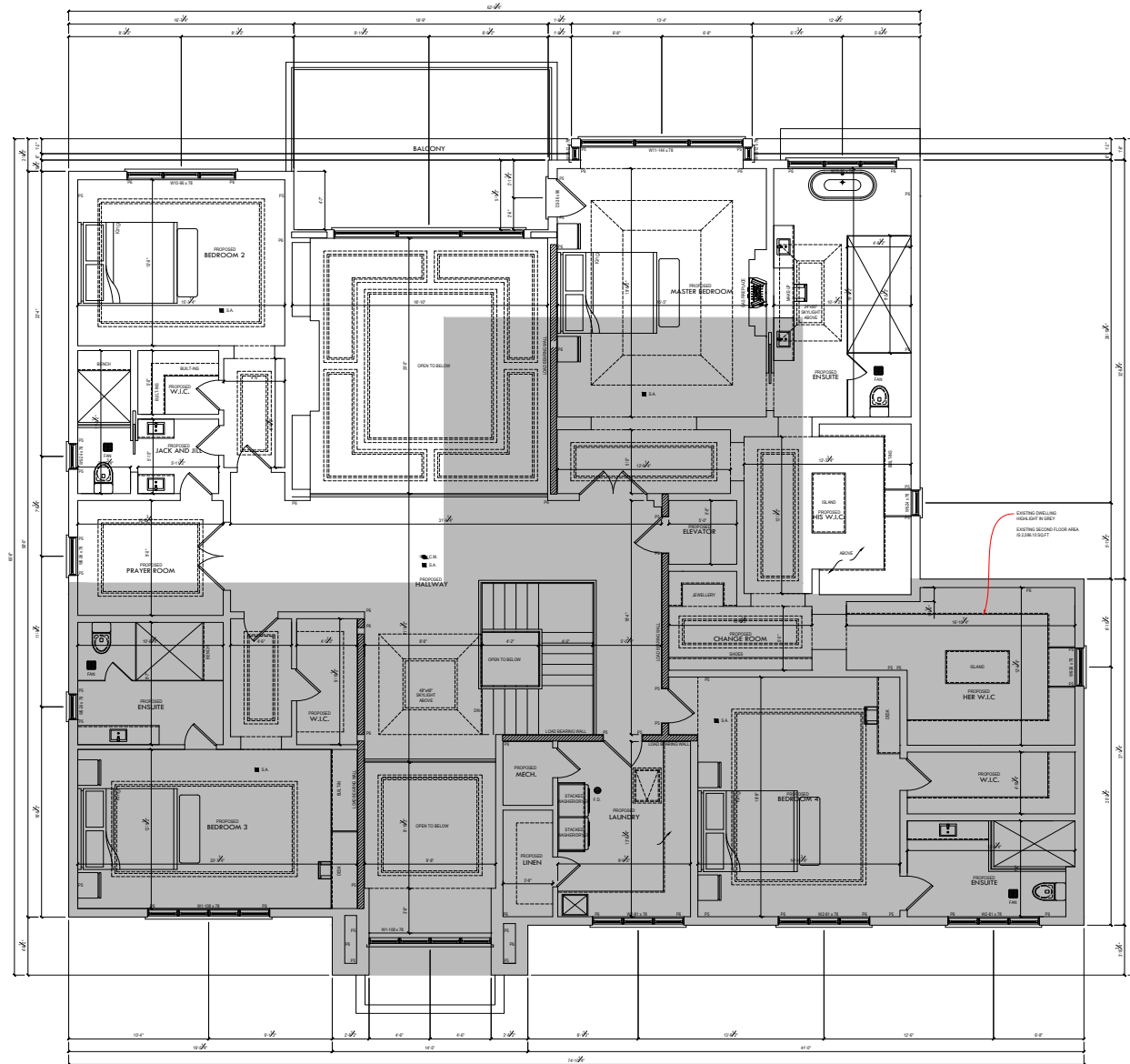
The following design principles will be utilized to guide the development towards a contextual and sensitive response to this location:

- Residential use;
- Rear extension to maintain the front yard depth and streetscape character;
- Use of contextual exterior cladding materials &
- Contextual massing to ensure compatibility with adjacent existing fabric









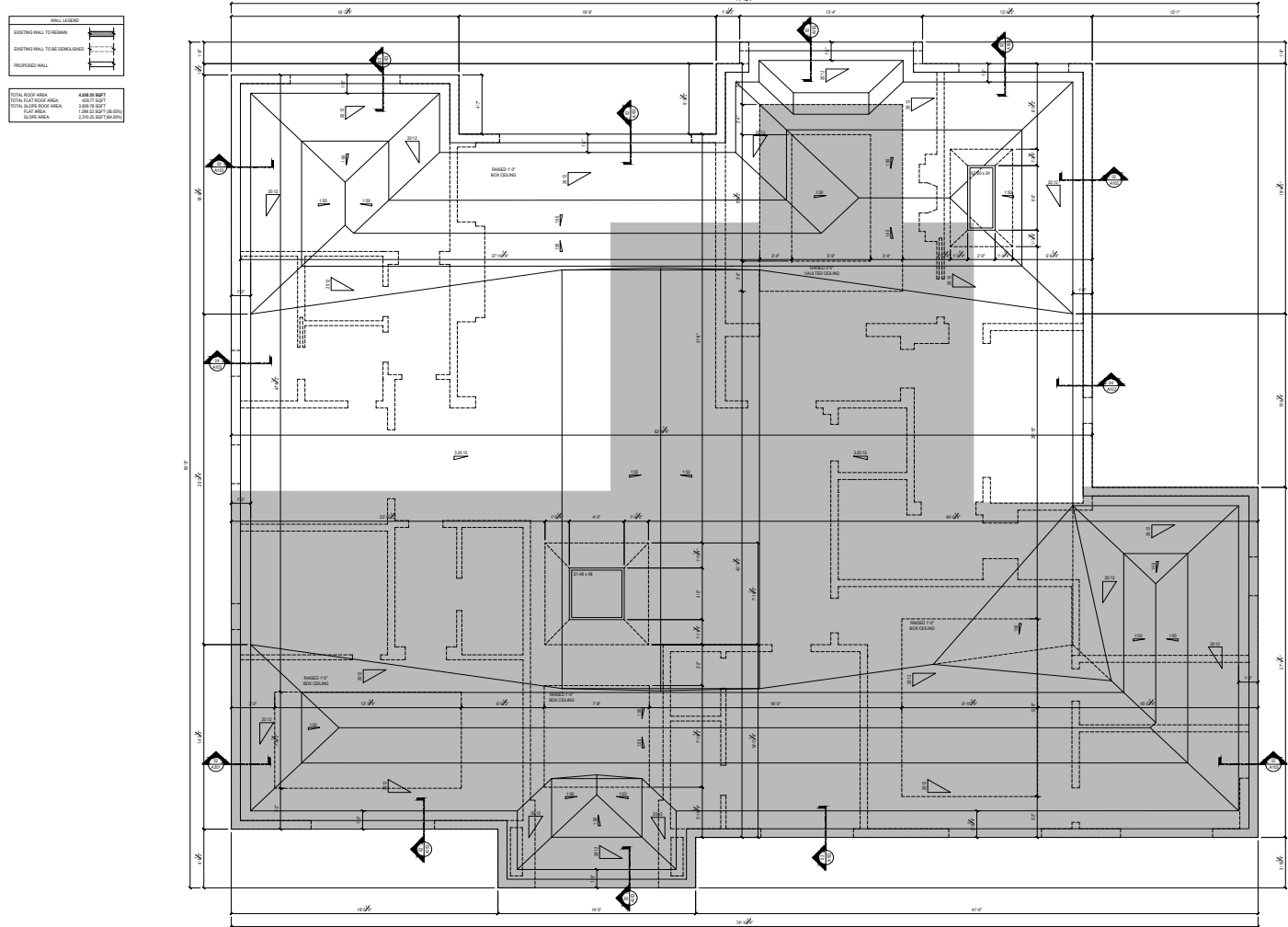


Figure 22. Roof Plan for the proposed Development, Lucid Homes Inc., August 2023



Figure 23. Front Facade of the subject site, Lucid Homes Inc., August 2023



Figure 24. Proposed Side Facade (East) of the subject site, Lucid Homes Inc., August 2023



6.0 Description of Impacts

Impacts can be described as 'direct' when cultural heritage landscapes and/or built heritage resources will be removed or significantly altered by a proposed development activity or 'indirect' when cultural heritage resources are disrupted by the introduction of physical, visual, audible or atmospheric elements that are not in keeping with their character and, or setting. When determining the effects, a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MTCS Heritage Resources in the Land Use Planning Process advises that the following direct and indirect adverse impacts be considered:

Potential Impacts

Impact of Destruction

There are no existing buildings proposed to be demolished. The proposed development does not alter or demolish the existing adjacent cultural heritage resources. No impacts are found as no heritage attributes are identified on site.

Impact of Proposed Alterations

The proposed extension is an addition to the rear of the existing building. No negative impacts are found as proposed massing, materials and height are compatible to the existing building and to the adjacent fabric.

Shadow Impacts

No negative impacts found as the proposed addition will be 2 storeys and there is a significant buffer between the proposed extension and the adjacent heritage building.

Isolation Impacts

There are no isolation impacts as no heritage attributes are identified on-site. No alterations are proposed to any neighboring/adjacent heritage buildings.

Visual Impacts

The design is sympathetic to the adjacent surrounding context. The heritage resource identified on the south side of the subject site will maintain its relationships to Queen Victoria Avenue, and views to or from them will not be obscured or obstructed. There are no impacts to views by the proposed development because there are no views identified as heritage attributes.

A Change in Land Use

The building will continue to provide a residential streetscape. No negative impacts are found.

Land Disturbances

Construction activity and potential excavation has potential to cause limited and temporary impacts. However, as there is significant buffer between the proposed addition and the adjacent heritage property to the rear of the subject site no impacts are anticipated.

Results of Impact Assessment

The preceding assessment has determined that the proposed extension will have no direct impacts the attributes of the adjacent heritage resource.

7. Conclusion & Recommendations

The owner is proposing renovations to an existing house on site. A 2-storey extension to the rear of the existing house along with an extension to the existing basement is also proposed.

Our assessment has validated that the proposed renovations and extension will not negatively impact the adjacent heritage resource at 1173 Queen Victoria Avenue. Our recommendations are based on the following main points:

Our recommendations are based on the following main points:

- Maintain appropriate physical relationships and visual settings that contribute to the contextual significance of the adjacent heritage resource.

Conclusion

- The proposed development will retain the adjacent heritage property in its current state resulting in no impacts to the built heritage resource.

8. Appendices

Appendix A: References

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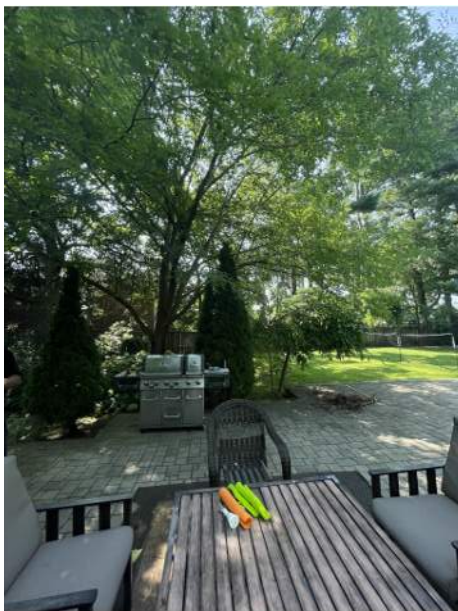
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Appendix B: Site Photos, August 9, 2023 mcCallumSather Architects Inc.

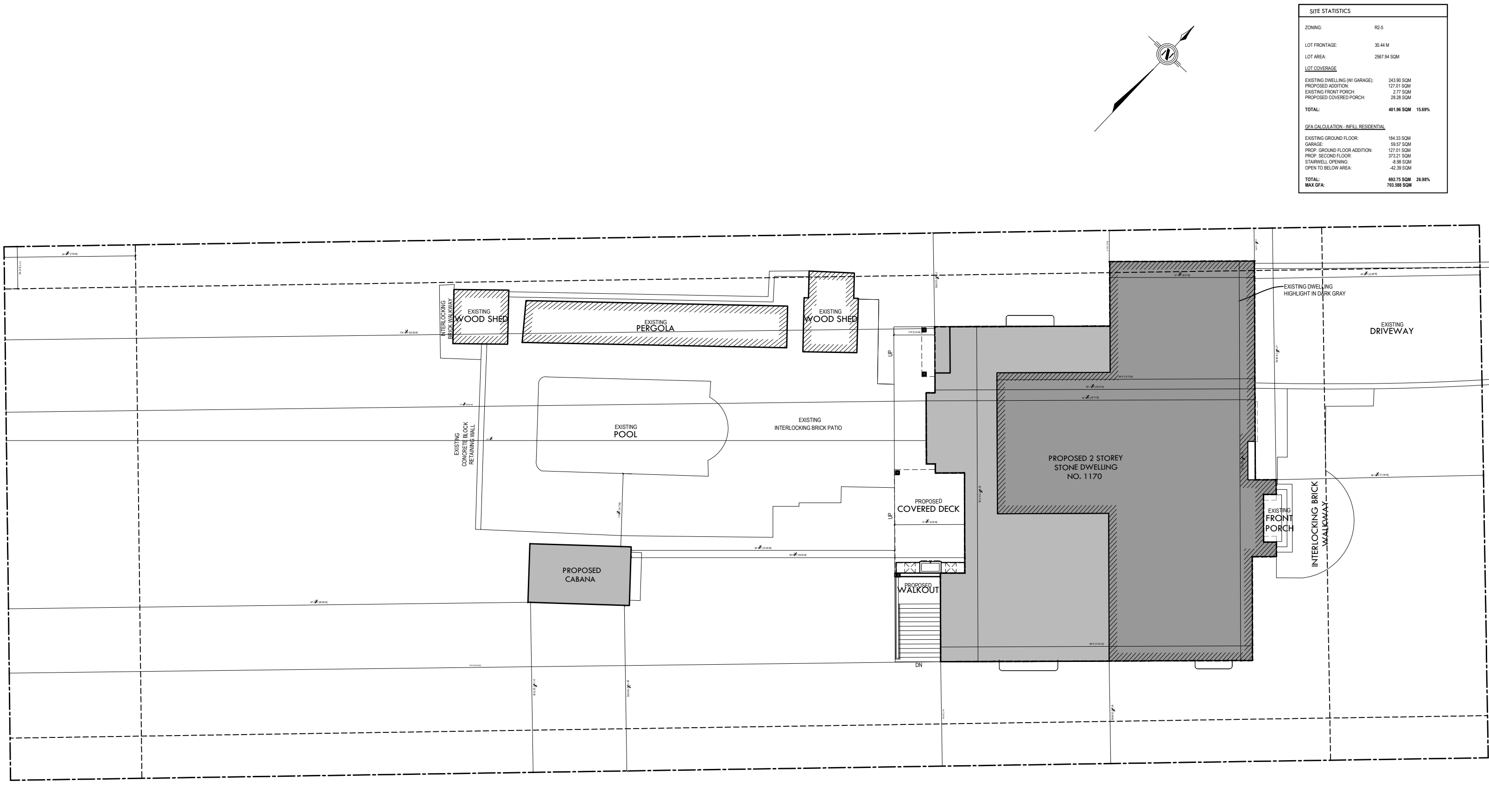








Appendix C: Design Development Drawings, Lucid Homes Inc., August 2023



SITE STATISTICS	
ZONING:	R2-S
LOT FRONTAGE:	35.44 M
LOT AREA:	2967.94 SQM
LOT COVERAGE	
EXISTING DWELLING (W/ GARAGE):	243.90 SQM
PROPOSED ADDITION:	127.01 SQM
EXISTING FRONT PORCH:	2.27 SQM
PROPOSED COVERED PORCH:	28.28 SQM
TOTAL:	401.96 SQM 15.60%
GFA CALCULATION - INFILL RESIDENTIAL	
EXISTING GROUND FLOOR:	184.33 SQM
GARAGE:	59.57 SQM
PROP. GROUND FLOOR ADDITION:	127.01 SQM
PROP. SECOND FLOOR:	373.21 SQM
STAIRWELL OPENING:	4.88 SQM
OPEN TO BELOW AREA:	-42.39 SQM
TOTAL:	465.73 SQM 21.90%
MAX GFA:	765.58 SQM

1:200
SITE PLAN




LUCID HOMES
CUSTOM HOME AND RENOVATION DESIGN
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OAKVILLE ON - L6J 7T5
T: 416.566.6588 E: INFO@LUCIDHOMES.CA
WWW.LUCIDHOMES.CA

GENERAL NOTES

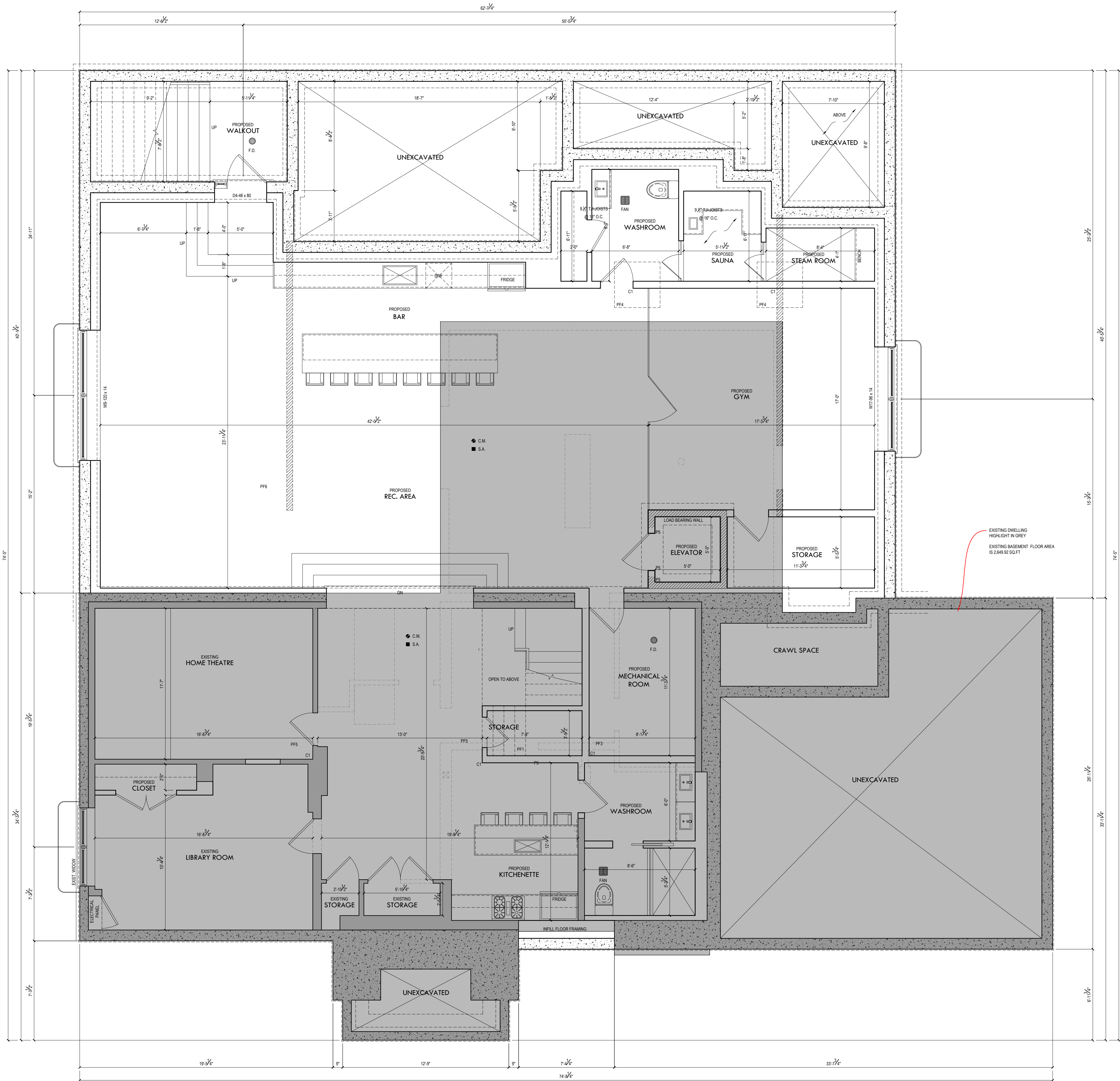
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DRAWING TITLE: SITE PLAN
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 1170 BIRCHVIEW DR, MISSISSAUGA
PROJECT NO: 2022-097 **SCALE:** 1:200
SHEET NO. SP

WALL LEGEND	
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
PROPOSED WALL	



10.4 CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SHAFT TRUSSES MATCH WITH ON SITE CONDITIONS. PRIOR TO ORDERING OF TRUSSES, DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM GRIDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GRIDER TRUSSES IN LVL DESIGNS

ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 2" ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS

ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

SOIL NOTES

IF THERE IS EVIDENCE OF MORE THAN 10% ORGANICS IN NATIVE SOIL, FILL SHALL BE REPLACED WITH SAND/AGGREGATE FILL UNDER SLAB FOUNDATIONS TO BEAR ON NATURAL UNDISTURBED SOIL

BEARING SOIL CAPACITY OF 120 KPA MIN. TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION



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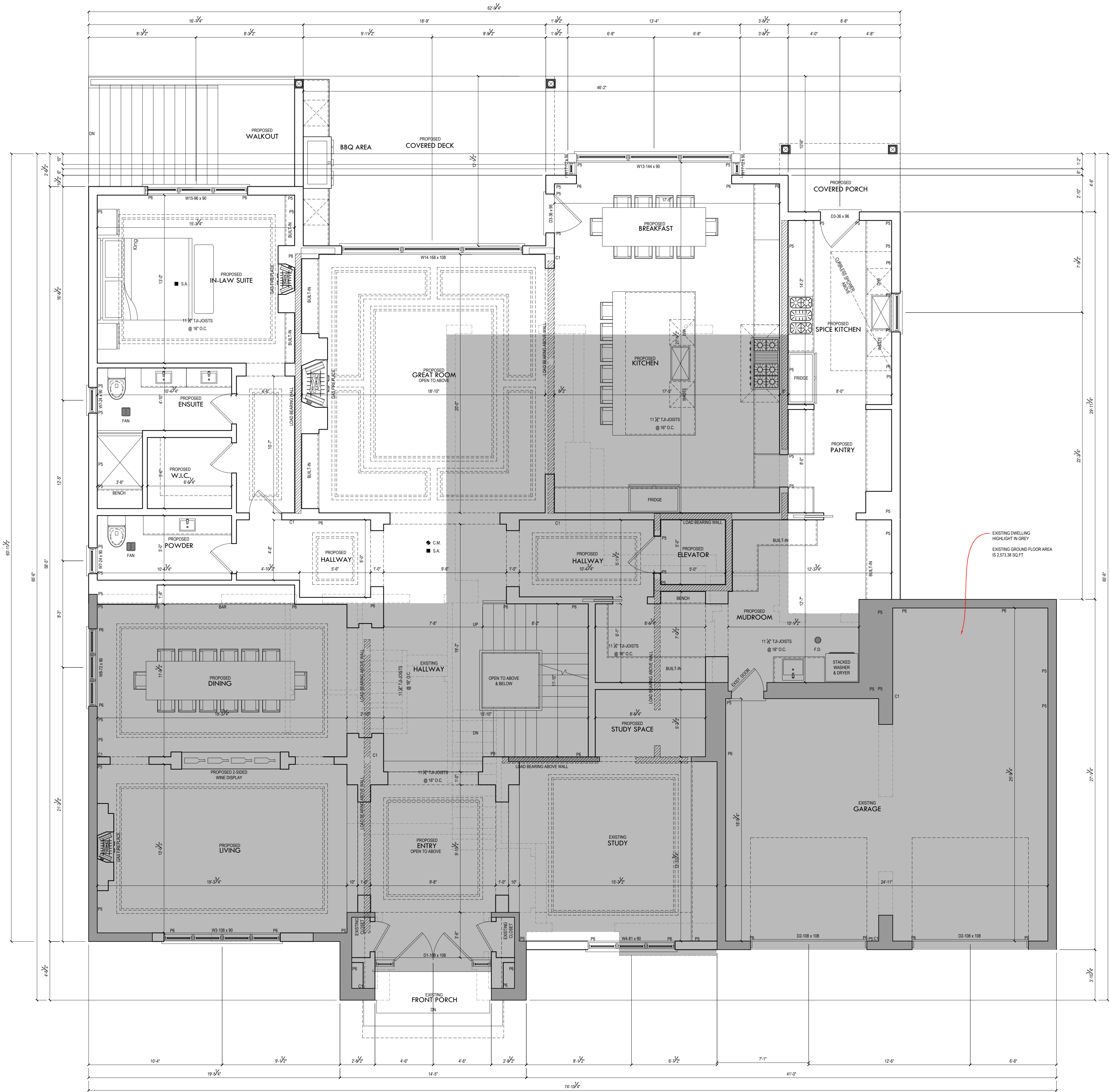
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DRAWING TITLE: BASEMENT FLOOR PLAN
DRAWN BY: PR CHECKED BY:
ADDRESS: 1170 BIRCHVIEW DR. MISSISSAUGA
PROJECT NO: 2022-087 SCALE: 3/16" = 1'-0"
SHEET NO: A100

WALL LEGEND	
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
PROPOSED WALL	



10.4
CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SHAP-OF TRUSSES MATCH WITH ON SITE CONDITIONS. PRIOR TO ORDERING OF TRUSSES, DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM ORDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM ORDER TRUSSES IN LVL DESIGNS

ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 2"

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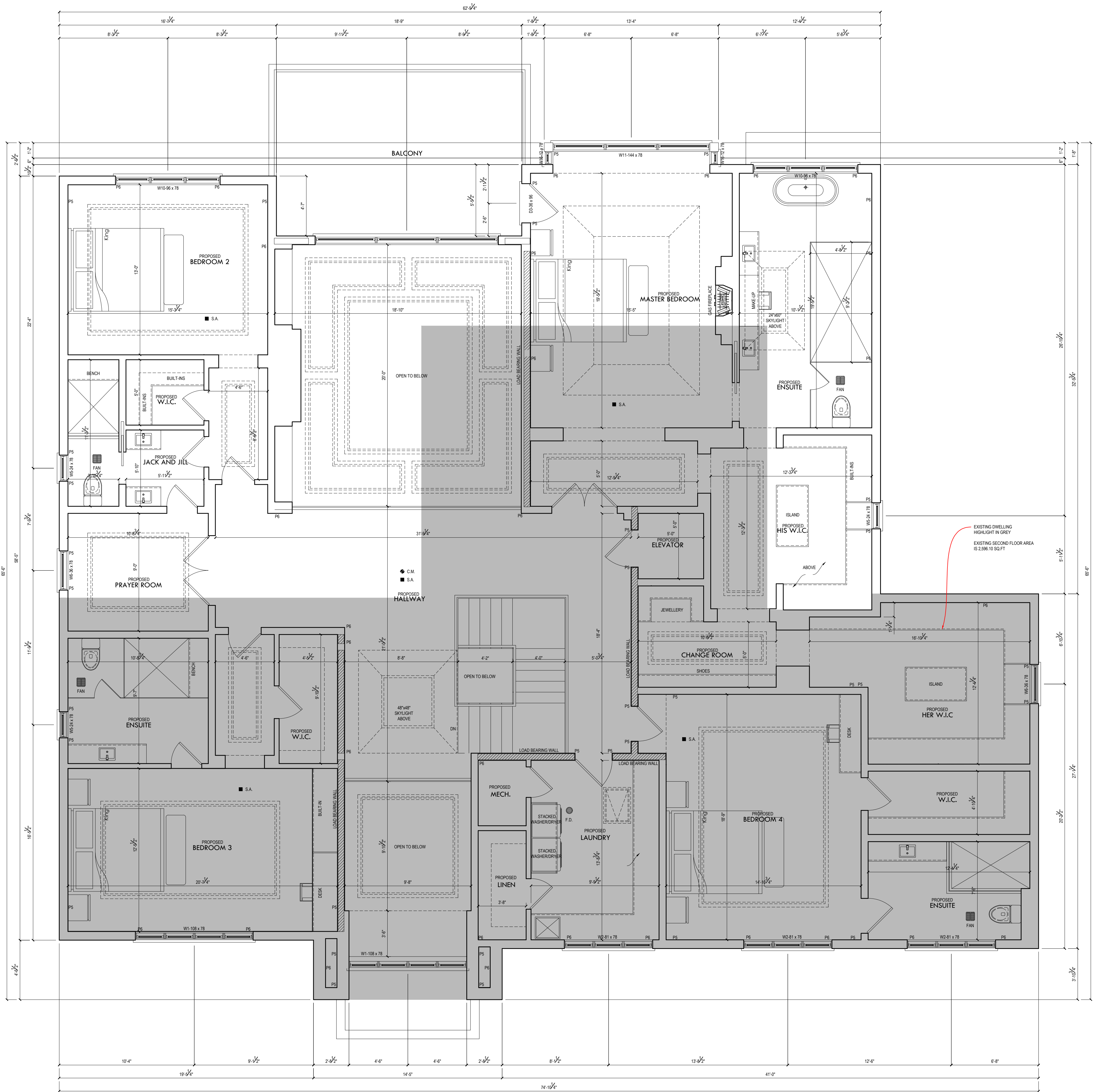
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DRAWING TITLE: GROUND FLOOR PLAN
DRAWN BY: PR CHECKED BY:
ADDRESS: 1170 BIRCHVIEW DR. MISSISSAUGA
PROJECT NO: 2022-087 SCALE: 1/4" = 1'-0"
SHEET NO: **A101**



WALL LEGEND	
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
PROPOSED WALL	

10.4
CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SHAK-UP TRUSSES MATCH WITH ON-SITE CONDITIONS. PRIOR TO ORDERING OF TRUSSES, DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES.

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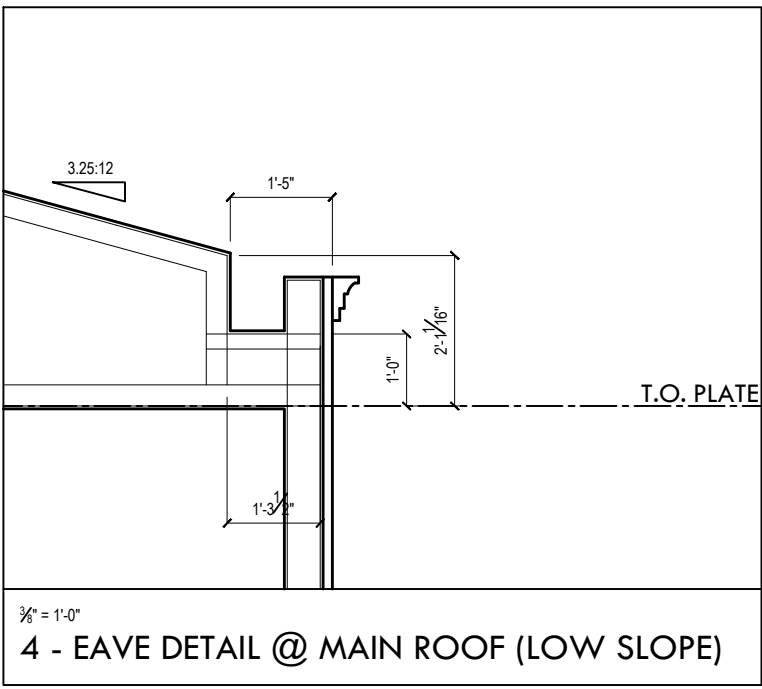
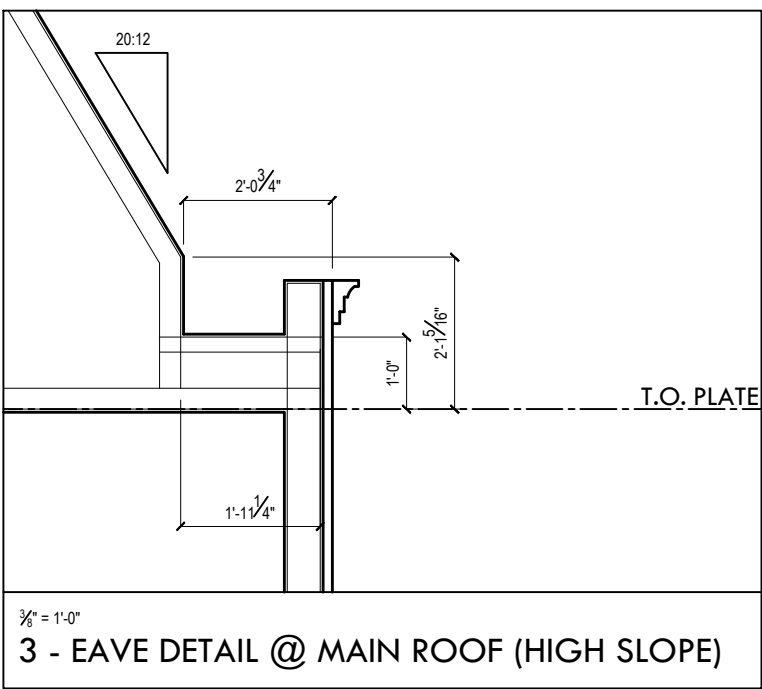
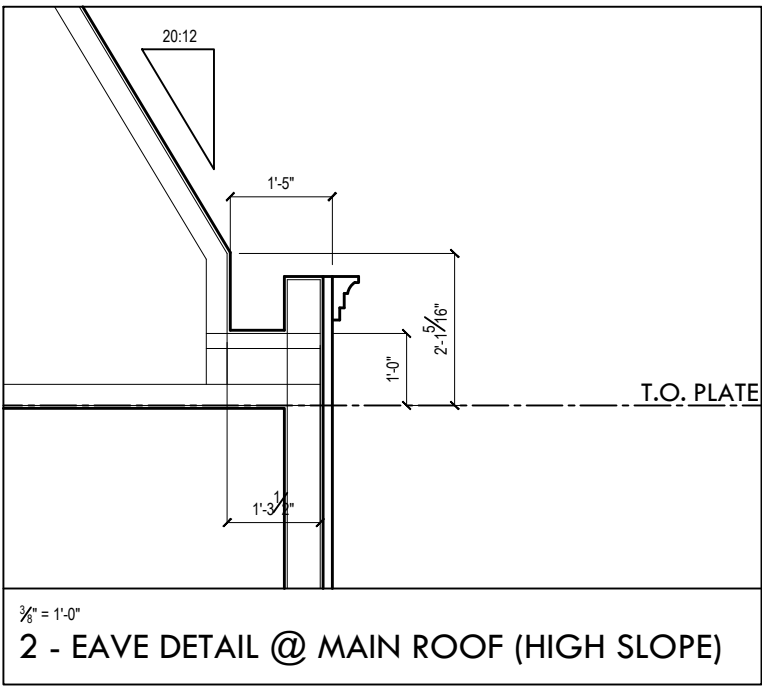
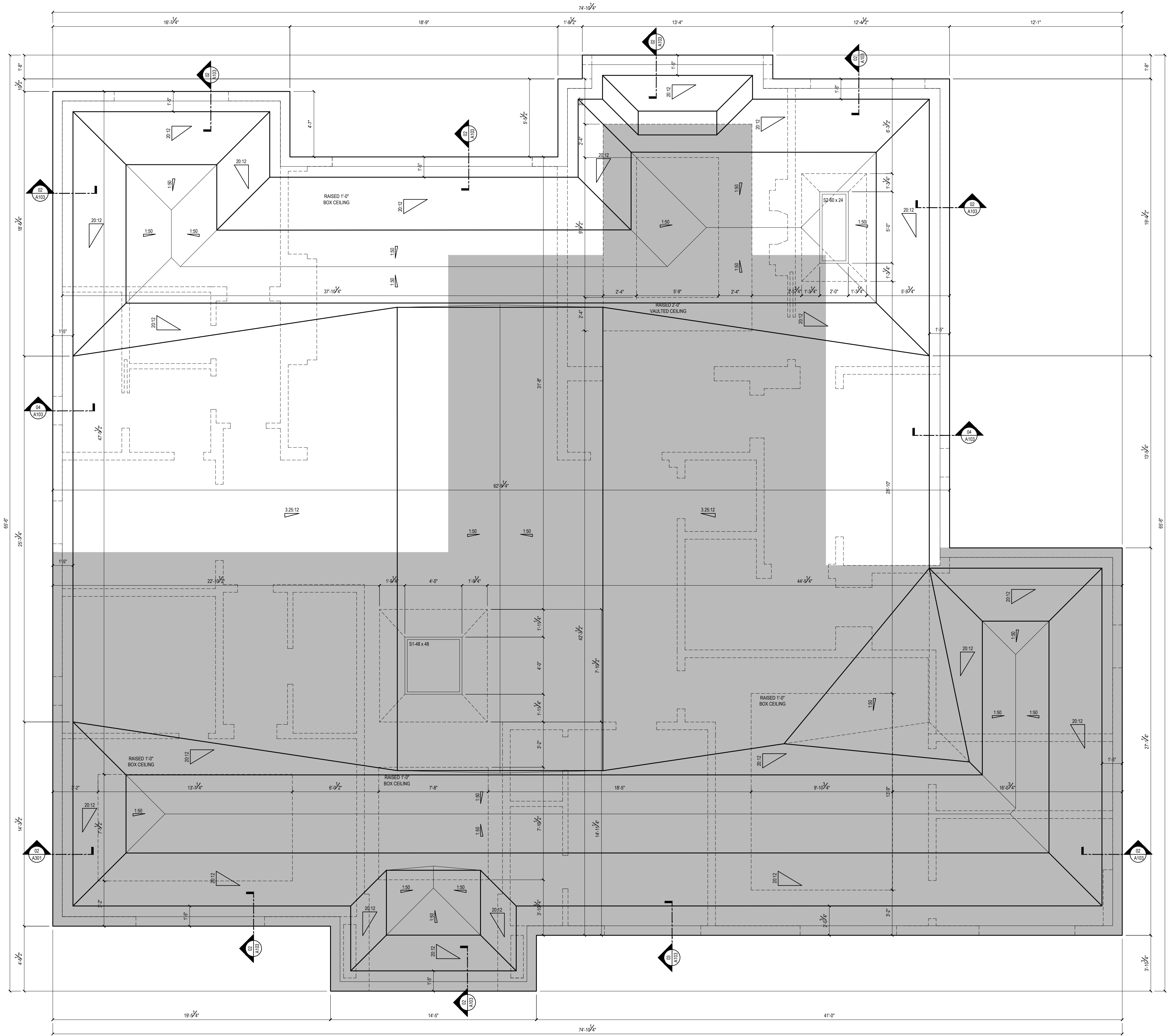
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DRAWING TITLE: SECOND FLOOR PLAN
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PROJECT NO.: 2022-087
SHEET NO.: A102

WALL LEGEND	
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
PROPOSED WALL	

TOTAL ROOF AREA:	4036.55 SQFT
TOTAL FLAT ROOF AREA:	428.77 SQFT
TOTAL SLOPE ROOF AREA:	3607.78 SQFT
FLAT AREA:	1,285.53 SQFT (36.00%)
SLOPE AREA:	2,310.25 SQFT (64.00%)



10.4
CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SHAP-OF TRUSSES MATCH WITH ON SITE CONDITIONS. PRIOR TO ORDERING OF TRUSSES, DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM ORDER TRUSSES NOT SHOWN ON DRAWINGS.
MANUFACTURERS TO ACCOUNT FOR POINT LOADS FROM ORDER TRUSSES IN LVL DESIGNS

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FRONT ELEVATION



REAR ELEVATION

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ADDRESS: 1170 BIRCHVIEW DR. MISSISSAUGA
PROJECT NO: 2022-087 SCALE: 1/4" = 1'-0"
SHEET NO: **A201**

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITION PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS.
MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS

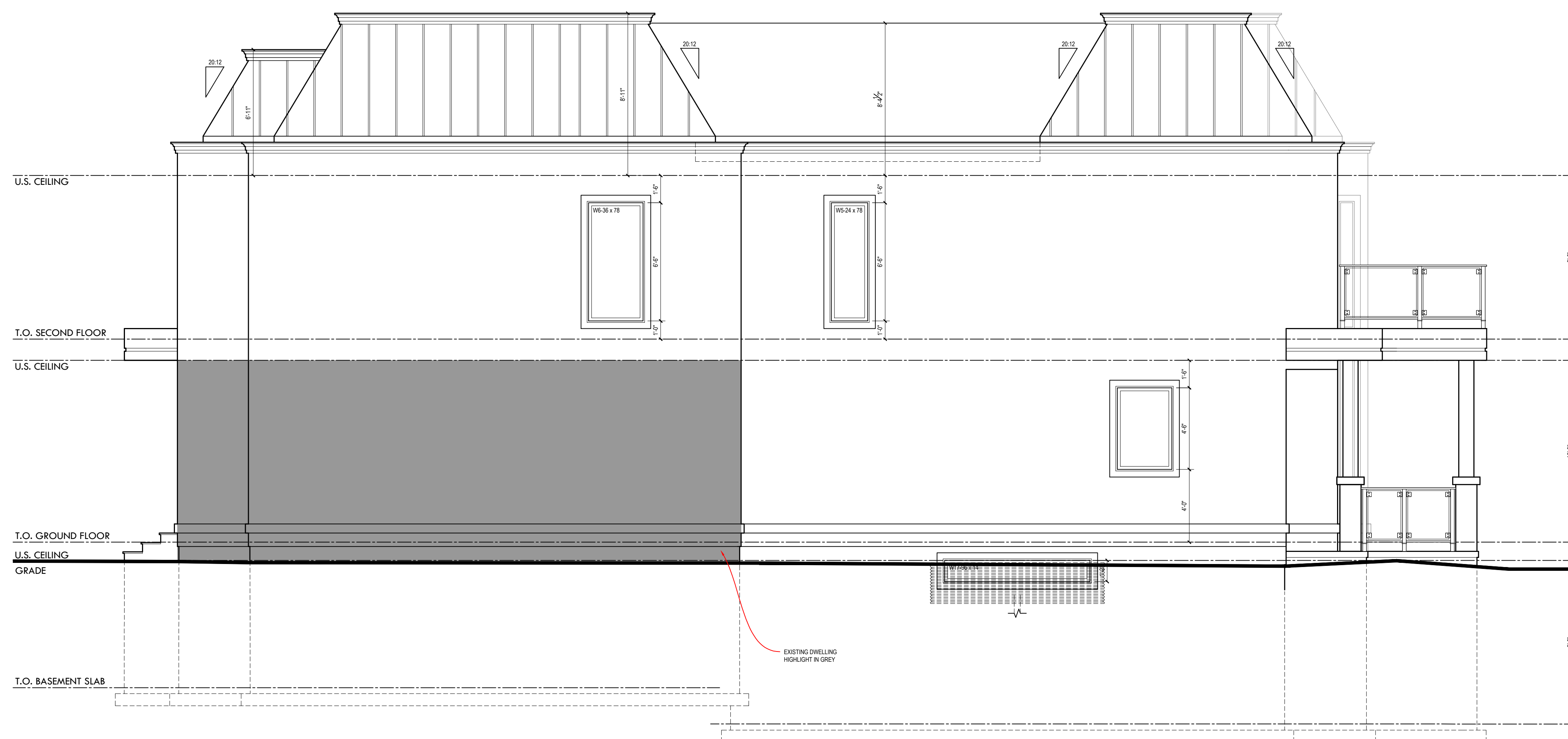
ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 2"

ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS

ANY DISCREPANCIES DISCOVERED SHALL BE
REPORTED TO THE DESIGNER IMMEDIATELY



1/4"=1'-0"
LEFT ELEVATION



RIGHT ELEVATION



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DRAWING TITLE: ARCHITECTURAL ELEVATION
DRAWN BY: PR CHECKED BY:
ADDRESS: 1170 BIRCHVIEW DR, MISSISSAUGA
PROJECT NO: 2022-097 SCALE: 1/4" = 1'-0"
SHEET NO. A202