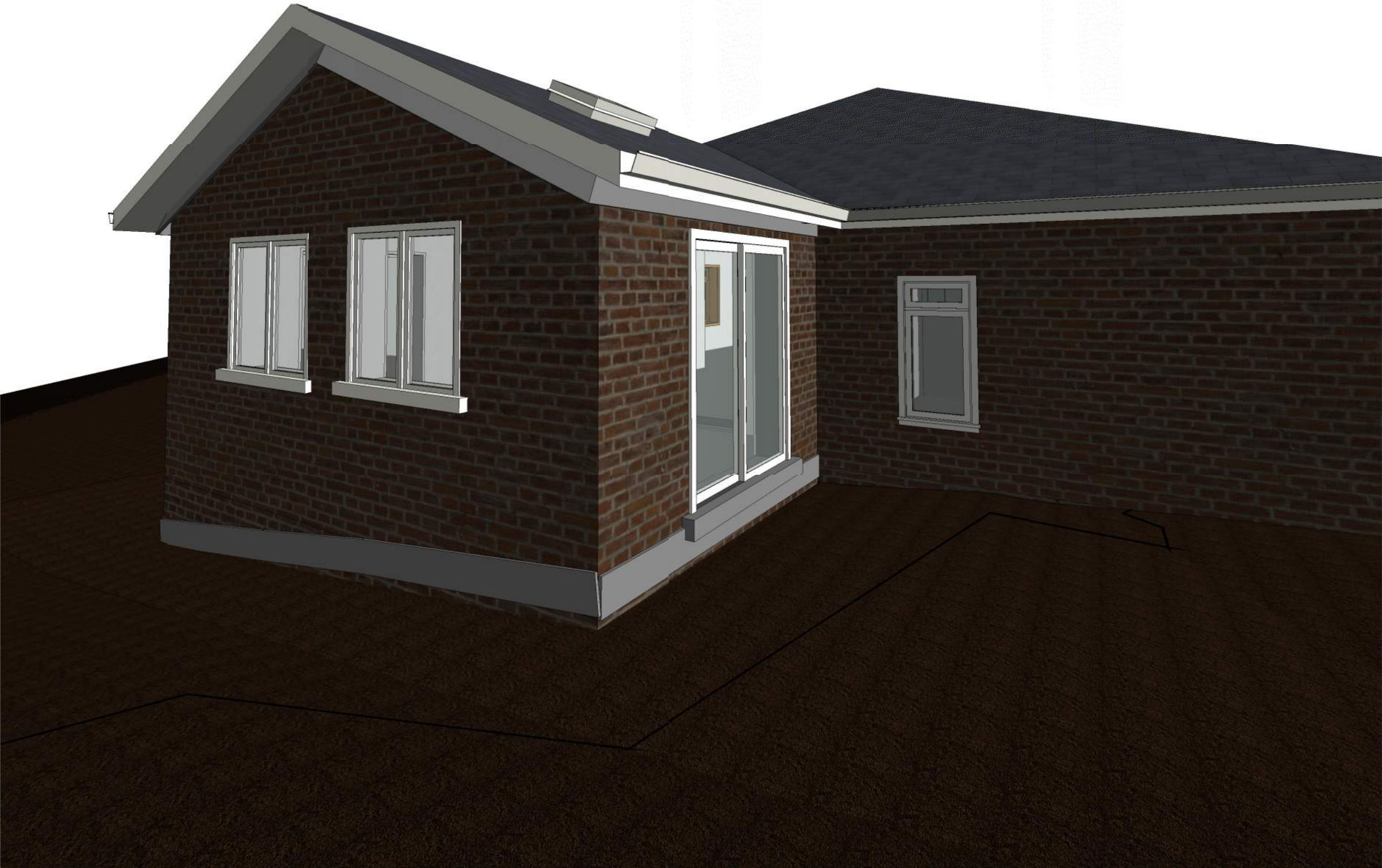




ARCHITECTURAL SHEET LIST			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision

A0-000	COVER	07/19/23	01
A0-001	SITE STATISTICS	07/19/23	02
A0-002	SITE PLAN	07/19/23	02
A0-003	FLOOR AREA PLAN	07/19/23	02
A0-004	CONSTRUCTION NOTES	07/19/23	02
A1-001	PROPOSED BASEMENT FLOOR PLAN	07/19/23	02
A1-002	PROPOSED GROUND FLOOR PLAN	07/19/23	02
A1-003	ROOF FLOOR PLAN	07/19/23	02
A2-001	PROPOSED NORTH & SOUTH ELEVATION	07/19/23	02
A2-002	PROPOSED EAST & WEST ELEVATION	07/19/23	02
A3-001	PROPOSED SECTION	07/19/23	01
A4-001	DOOR & WINDOW SCHEDULE	07/19/23	01
A4-002	DETAILS	07/19/23	01

Grand total: 13



PROJECT

1050 OLD DERRY RD  
MISSISSAUGA  
ON L5W 1A1

CLIENT

Owner

REVISIONS

No.	Description	Date
01	ISSUED FOR CLIENT	2023-07-19

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CONSULTANTS

TORONTO - CANADA416.546.2040info@qbsarchitects.com

DRAWING TITLE

COVER

DRAWN	CHECKED
PP	SA
SCALE @ ARCH D	DATE
As Noted	07/19/23

	GRAPHIC SCALE
--	---------------

PROJECT NO.


230122

STAGE	DRAWING NO.
ZC	A0-000

LOCATION	REVISION
MISSISSAUGA	01



FIRM NAME:  
QBS ARCHITECTS INC.  
1670 BAYVIEW AVENUE, SUITE 401  
TORONTO, ON  
M4G 3C2  
CERTIFICATE OF PRACTICE NUMBER: 5235  
NAME OF PROJECT: 230122  
LOCATION: 1050 OLD DERRY RD MISSISSAUGA



The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN.

NO. 1

ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL

QC REFERENCE:  
References are to Division B unless noted [A] for Division A or [C] for Division C.

1

PROJECT DESCRIPTION:

☐ CHANGE OF USE

☒ NEW

☒ ADDITION

☒ ALTERATION

☐ PART 11

☐ PART 3

☒ PART 9

11.1 TO 11.4

2.1.1 [A]

2.1.1 [A]

9.10.1.3

2

MAJOR OCCUPANCY(S):

GROUP C RESIDENTIAL OCCUPANCY

3.1.2.1 (1)

9.10.2

3

BUILDING AREA (m²):

EXISTING: 99

NEW: 118.26

1.4.1.2 [A]

1.4.1.2 [A]

4

GROSS AREA (m²):

EXISTING: 99

NEW: 118.26

1.4.1.2 [A]

1.4.1.2 [A]

5

NUMBER OF STOREYS:

ABOVE GRADE: 1

BELOW GRADE: 1

1.4.1.2 [A] & 3.2.1.1

1.4.1.2 [A] & 9.10.4

6

NUMBER OF STREET/FIRE FIGHTER ACCESS:

1

BELOW GRADE: 1

3.2.2.10 & 3.2.5

9.10.20

7

BUILDING CLASSIFICATION:

3.2.2.20-83

9.10.2

8

SPRINKLER SYSTEM PROPOSED:

☐ ENTIRE BUILDING

☐ SELECTED COMPARTMENTS

☐ SELECTED FLOOR AREAS

☐ BASEMENT ONLY

☐ IN LIEU OF ROOF RATING

☒ NOT REQUIRED

3.2.2.5

3.2.2.17

INDEX

9

STANDPIPE REQUIRED:

☐ YES

☒ NO

3.2.9

N/A

10

FIRE ALARM REQUIRED:

☐ YES

☒ NO

3.2.4

9.10.18

11

WATER SERVICE/SUPPLY IS ADEQUATE:

☒ YES (MUNICIPAL)

☐ NO

3.2.5.7

N/A

12

HIGH BUILDING:

☐ YES

☒ NO

3.2.6

N/A

13

CONSTRUCTION RESTRICTIONS:

☐ NON-COMBUSTIBLE PERMITTED

☒ COMBUSTIBLE REQUIRED

☐ BOTH

3.2.2.20-83

9.10.8

14

ACTUAL CONSTRUCTION:

☐ NON-COMBUSTIBLE

☒ COMBUSTIBLE

☐ BOTH

3.2.2.20-83

9.10.8

15

MEZZANINE(S) AREA (m²):

N/A

3.2.1.1 (3)&(8)

9.10.4.1

16

OCCUPANT LOAD BASES ON:

☐ #/PERSON

☒ DESIGN OF BUILDING

3.1.17

9.9.1.3

17

BASEMENT:

OCCUPANCY: C

LOAD: 2 PERSONS

1st FLOOR:

OCCUPANCY: C

LOAD: 4 PERSONS

2nd FLOOR:

OCCUPANCY: C

LOAD: 4 PERSONS

3rd FLOOR:

OCCUPANCY: C

LOAD: 4 PERSONS

ROOF:

OCCUPANCY: C

LOAD: 4 PERSONS

3.9

9.5.2

18

HAZARDOUS SUBSTANCES:

☐ YES

☒ NO

(EXPLAIN) BUILDING IS A HOUSE (EXEMPT)

3.3.1.2 & 3.3.1.19

9.10.1.3(4)

19

REQUIRED FIRE RESISTANCE RATING (FRR)

FLOORS

0 HOURS

LISTED DESIGN NO. OR DESCRIPTION (SG-2)

ROOF

0 HOURS

MEZZANINE

N/A HOURS

FRR OF SUPPORTING MEMBERS

LISTED DESIGN NO. OR DESCRIPTION (SG-2)

FLOORS

0 HOURS

ROOF

0 HOURS

MEZZANINE

N/A HOURS

3.2.2.20-83

3.2.1.4

9.10.8

9.10.9

20

SPATIAL SEPERATION- CONSTRUCTION OF EXTERIOR WALLS

WALL

AREA OF E.B.F. (sq.ft.)

L.D. (ft.)

L.H. OR H.L. (m)

PERMITTED MAX % OF OPENINGS

PROPOSED % OF OPENINGS (94%)

FRR (HOURS)

LISTED DESIGN OR DESCRIPTION

COMB. CONST.

COMB. CONST. NON-C. CLADDING

NON-COMB. CONSTR.

FRONT

EXISTING TO REMAIN

SIDE (NORTH)

EXISTING TO REMAIN

REAR

39.97

3.7

49.21

15

100%

SIDE (SOUTH)

92.89

8.63

65.77

17

100%

NEW BY-LAW

ZONING INFORMATION FOR 1050 OLD DERRY RD MISSISSAUGA									
ZONING: RD ( RESIDENTIAL DETACHED) R 01-32				(sq.m)		(sq.ft)			
MINIMUM LOT AREA				1050		11302			
ALLOWABLE COVERAGE: 35%				350		4580.25			
ALLOWABLE FSI: -				-		-			
EXISTING LOT AREA				1520 m²		16357 SF			
EXISTING BASEMENT FLOOR:				104 m²		1119 SF			
EXISTING GROUND FLOOR:				99 m²		1066 SF			
EXISTING TOTAL GFA:				99		1066			
EXISTING FSI:				99		1066			
EXISTING TOTAL COVERAGE: 6.5%				99		1066			
PROPOSED BASEMENT FLOOR				EXISTING TO REMAIN		EXISTING TO REMAIN			
PROPOSED GROUND FLOOR				118.26 m²		1273 SF			
PROPOSED TOTAL GFA				118.26 m²		1273 SF			
PROPOSED FSI				118.26 m²		1273 SF			
PROPOSED TOTAL COVERAGE: 7.76%				118.26 m²		1273 SF			
SETBACKS		ALLOWABLE		EXISTING		PROPOSED			
		(m)		(ft)		(m)		(ft)	
FRONT:		9		29.52		7.67		25.26	
REAR:		7.6		24.6		18.84		61.9	
SIDE (NORTH) :		7.9		12.91		11.48		37.8	
SIDE (SOUTH):		3.9		12.91		17.71		58.1	
BUILDING HEIGHT:		7.9		24.60		6.91		19.85	
BUILDING LENGTH:		22.25		72.89		39.40		129.1	
LOT FRONTAGE:		-		-		-		-	
MAXIMUM HEIGHT OF SPECIFIED PAIRS OF MAIN WALLS:		-		-		-		-	
PARAPET SPACE:		-		-		-		-	

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE 2012 OBC, AS AMENDED.
- ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE PROJECT.
- REPORT IN WRITING ALL DISCOVERED ERRORS OR OMISSIONS TO THE ARCHITECT AT ONCE.
- DO NOT SCALE DRAWINGS. USE LATEST SCALE DRAWINGS ONLY.
- CONTRACTOR TO VERIFY ALL VERTICAL AND HORIZONTAL SITE DIMENSIONS PRIOR TO COMMENCING WORK - INCLUDING EXTERIOR LANDSCAPING DIMENSIONS.
- CONTRACTOR TO PROVIDE PLYWOOD HOARDING AROUND THE PERIMETER OF THE JOB SITE BETWEEN THE PROPOSED NEW STRUCTURE TO THE PROPERTY LINE. IF ADDITIONAL STAGING/STORAGE AREA IS REQUIRED, CONTRACTOR TO APPLY FOR PERMIT TO BUILD HOARDING ON CITY PROPERTY. IN LIEU OF PLYWOOD HOARDING, A 7'-0" HIGH CHAIN LINK FENCE BY "FAST FENCE" OR EQUAL IS TO BE USED.
- SITE MUST BE SAFE AND SECURE AT ALL TIMES. CONTRACTOR RESPONSIBLE FOR LOCKING THE CONSTRUCTION GATE NIGHTLY.
- CONTRACTOR MUST POST "NO TRESPASSING" AND "DANGER-CONSTRUCTION AREA" SIGNS AS WELL AS ANY OTHER SIGNS REQUIRED BY ANY GOVERNING BODY, E.G. HEALTH AND SAFETY, ETC.
- EXISTING GRADE DIMENSIONS DISTURBED DURING CONSTRUCTION TO BE MAINTAINED UNLESS OTHERWISE NOTED ON LOT DRAINAGE PLAN. ALL BACKFILL MUST BE EVELED. ADD 4" TOPSOIL AND SOD IN ALL AREAS DISTURBED DURING CONSTRUCTION.
- REPAIRS TO EXISTING LANDSCAPING - USE TRIPLE MIX SOIL AT ALL PLANTING BEDS.
- REFER TO ARBORIST REPORT (WHERE APPLICABLE) FOR SPECIAL INSTRUCTION REGARDING EXCAVATION / CONSTRUCTION IN PROXIMITY TO MATURE TREES.
- EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
- ENSURE ADEQUATE BRACING OF FOUNDATION WALLS PRIOR TO BACKFILLING.
- ALL STRUCTURAL WOOD TO BE #2 SPRUCE OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE POSTS UNDER ALL BEAMS / GIRDER TRUSSES, ETC. POSTS TO RUN CONTINUOUS TO FOUNDATION OR EQUIVALENT SUPPORT.
- ALL STUMPS, ROOTS AND OTHER DEBRIS SHALL BE REMOVED FROM HE SOIL TO A MIN. DEPTH OF 12" IN UNEXCAVATED AREAS UNDER A BUILDING. WOOD DEBRIS REMOVAL SHALL EXTEND 2'- 0" MIN. BEYOND THE PERIMETER OF THE BUILDING.
- ALL WOOD SCRAPS AND FORMS SHALL BE REMOVED FROM AROUND THE FOUNDATIONS BEFORE BACKFILLING AND FROM UNDER EXTERIOR STEPS OR PORCHES BEFORE CONSTRUCTION IS COMPLETED.
- ALL EXISTING SURFACES ADJACENT TO NEW CONSTRUCTION AND THROUGH WHICH CONSTRUCTION MATERIALS AND CONTRACTOR'S FORCES MOVE ARE TO BE PROTECTED.
- PROVIDE TEMPORARY DUST BARRIERS AS REQUIRED TO MAINTAIN DUST FREE ENVIRONMENT FOR ALL BUILDING AREAS OCCUPIED BY OWNER / TENANTS.
- CONTRACTOR SHALL MAINTAIN THE JOB SITE AND WORK IN A TIDY CONDITION. DAILY CLEAN UP OF JOB SITE IS REQUIRED.
- REMOVE ALL CONSTRUCTION DEBRIS FROM SITE UNLESS OTHERWISE NOTED. ALL WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE WHICH IS IN DIRECT CONTACT WITH SOIL IS TO BE SEPARATED FROM CONCRETE WITH DAMP PROOFING MATERIAL (9.23.2.3 OBC)
- GARAGE ACCESS DOOR TO BUILDING TO BE C/W SELF CLOSURE MECHANISM AND GAS TIGHT.
- ALL WINDOWS LOCATED WITHIN 67" FROM GRADE, SHALL CONFORM TO CLAUSE 10.13 OF CSA STANDARD A440-M90 AND 9.7.6.1 OBC (RESISTANCE TO FORCED ENTRY). SUPPLY AND INSTALL 6" SMOOTH CUT LIMESTONE THRESHOLD / SILL AT ALL EXTERIOR DOORS / WINDOWS (INCLUDING BASEMENT).
- ALL GUARD RAILS ARE TO SUSTAIN MINIMUM LOADING AS PER OBC 4.1.10.1 AND 9.8.8 FOR HEIGHT AND SPACING OF PICKETS. HANDRAILS AND TO CONFIRM WITH 9.8.8 OBC.
- ALL INTERIOR TRIM TO BE POPLAR (PAINT) UNLESS OTHERWISE NOTED. EXTERIOR TRIM TO BE #1 CLEAR PINE (PAINT). NOTE: USE KIL ON ALL KNOTS PRIOR TO PRIMER COAT. ALL WOOD TO BE KEPT DRY AND MUST NOT BE PAINTED IN TEMPERATURES OF LESS THAN 10 DEGREES CELSIUS.
- ALL TRIM TO BE PRE-PAINTED (PRIMER + ONE COAT) PRIOR TO INSTALLATION.
- CONTRACTOR MUST RECEIVE PERMISSION FROM OWNER PRIOR TO INSTALLATION OF JOB SIGN.
- SEE INSTRUCTIONS TO CONTRACTOR FOR ADDITIONAL SPECIFICATIONS AND CASH ALLOWANCES.
- CONTRACTOR TO USE FLEXIBLE CORNER BEAD AT ALL RADIUSES DRYWALL EDGES.
- THESE WORKING DRAWINGS ARE BASED ON "MEASURED DRAWINGS" OF THE EXISTING BUILDING. NOT "RECORD DRAWINGS", WHICH ARE THE ORIGINAL CONSTRUCTION DRAWINGS REVISED TO REFLECT "AS BUILT" CONDITIONS. MEASUREMENTS HAVE BEEN TAKEN TO EXTERIOR SURFACES ONLY, AND EXCEPT WHERE NOTED NO ATTEMPT HAS BEEN MADE TO VERIFY HIDDEN CONDITIONS.
- NO REPRESENTATION IS MADE THAT THE BUILDING CONFORMS TO ANY CODE REQUIREMENTS, OR ANY CONSTRUCTION DRAWINGS THAT MAY HAVE BEEN PREPARED BY OTHERS.

ELECTRICAL SYSTEM

- CONTRACTOR TO COORDINATE STRUCTURAL JOISTS AND STUD LAYOUTS TO ACCOMMODATE THE ELECTRICAL POTLIGHTS, ETC. LOCATIONS.
- NOTE: REPORT ANY LAYOUT DISCREPANCIES TO THE ARCHITECT PRIOR TO THE INSTALLATION.
- SEE ALSO ATTACHED REFLECTED CEILING PLANS AND ELECTRICAL SPECIFICATIONS.
- CONTRACTOR TO INSTALL APPROVED ELECTRICAL PANEL(S) OF ADEQUATE SIZE TO HANDLE ALL ELECTRICAL REQUIREMENTS.
- CONTRACTOR TO ENSURE EXISTING ELECTRICAL PANEL(S) IS ADEQUATE TO SERVE BOTH EXISTING AND PROPOSED ADDITION'S POWER REQUIREMENTS.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ONTARIO HYDRO PERMIT.

SURVEY NOTE

- BUILDER / GENERAL CONTRACTOR MUST RETAIN THE SERVICES OF A PROFESSIONAL SURVEYOR FOR THE STAKING OUT OF NEW FOUNDATIONS. SURVEYOR MUST BE GIVEN 72 HOURS NOTICE BEFORE BEING REQUIRED ON SITE.

TO BEGIN DEMOLITION/CONSTRUCTION:

- SITE FENCING- BUILDER / GENERAL CONTRACTOR MUST ENCLOSE ENTIRE SITE WITH A FENCE THAT IS IN COMPLIANCE WITH THE CITY OF TORONTO MUNICIPAL CODE CHAPTER 363, ARTICLE III. THE MIN. REQUIREMENT IS A PLASTIC MESH FENCE, 1.2M HIGH, TIED TO POSTS SPACED NO MORE THAN 1.2M APART, WITH AN 11 GAUGE TOP AND BOTTOM WIRE THREADED THROUGH THE MESH AND LOOPED AROUND EACH POST.
- CONSTRUCTION NOISE- ANY CONSTRUCTION WHICH GENERATES NOISE IS PROHIBITED IN RESIDENTIAL AREAS BETWEEN THE HOURS OF 7:00PM ONE DAY TO 7:00AM THE NEXT DAY, 9:00AM ON SATURDAYS, AND ALL DAY SUNDAY AND STATUTORY HOLIDAYS.
- CALL FOR INSPECTIONS- THE BUILDER/ GENERAL CONTRACTOR IS REQUIRED TO NOTIFY THE BUILDING INSPECTION OFFICE AT VARIOUS STAGES OF CONSTRUCTION AS REQUIRED BY DIVISION C, PART 1, ARTICLE 1.3.5.1. OF THE ONTARIO BUILDING CODE. THE PHONE NUMBER FOR THE BUILDING INSPECTION OFFICE RESPONSIBLE FOR THE PROJECT'S AREA WILL BE INCLUDED IN THE PERMIT DOCUMENTS.
- PERMIT PLANS- THE PERMIT PLANS AND SPECIFICATIONS MUST BE ON THE SITE AT ALL TIMES. THE PERMIT PLANS AND SPECIFICATIONS PROVIDED TO THE BUILDER/ GENERAL CONTRACTOR WILL BE USED FOR INSPECTIONS.

PROJECT

1050 OLD DERRY RD  
MISSISSAUGA ON L5W 1A1

CLIENT

Owner



REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
01	ISSUED FOR CLIENT	2023-07-19

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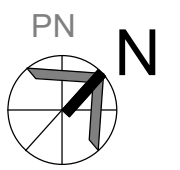
CONSULTANTS



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DRAWING TITLE

SITE STATISTICS

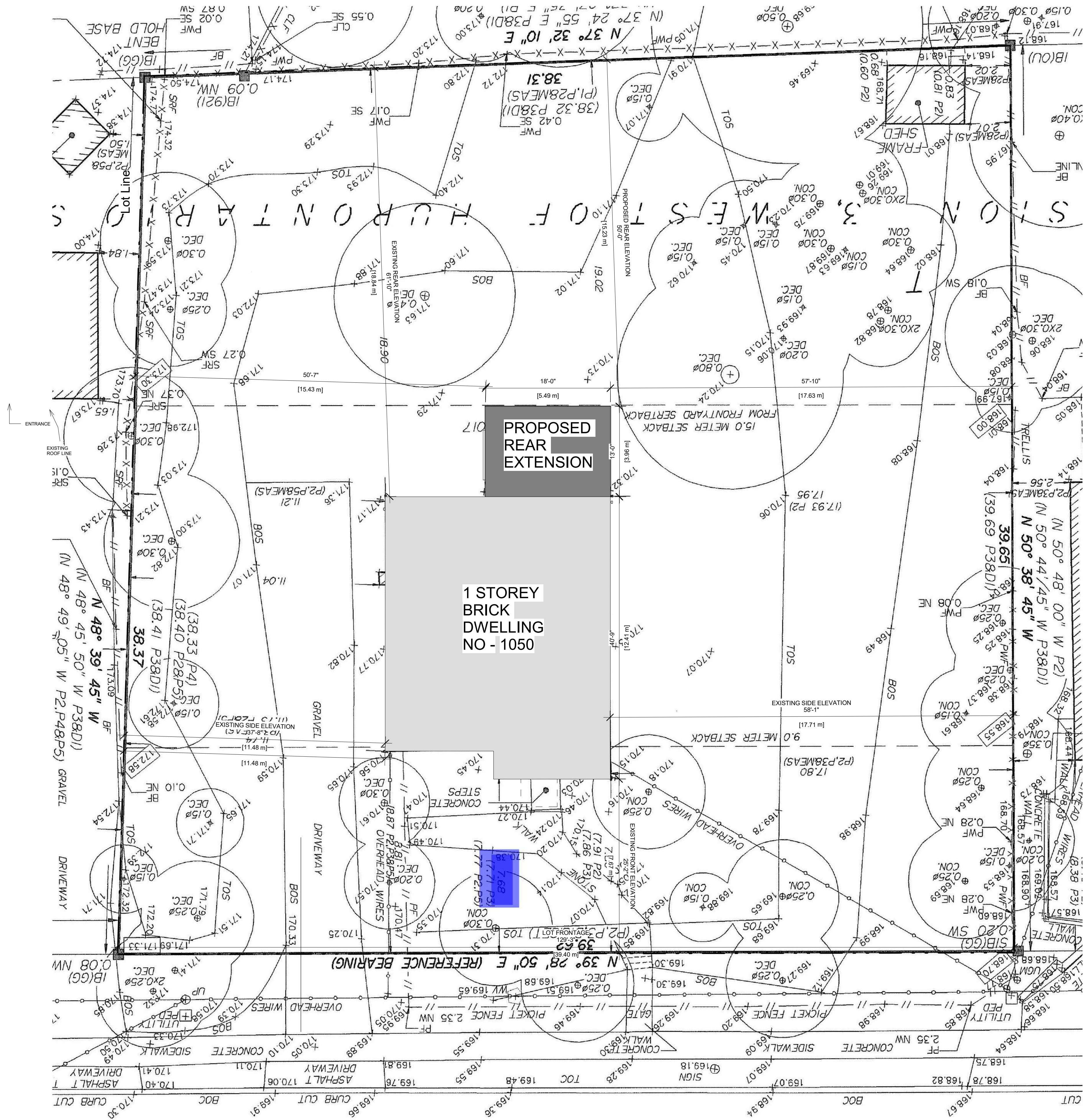
DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 12" = 1'-0"	DATE 07/19/23
	GRAPHIC SCALE

PROJECT NO. 230122

STAGE <b>ZC</b>	DRAWING NO. <b>A0-001</b>
--------------------	------------------------------

LOCATION MISSISSAUGA	REVISION <b>02</b>
-------------------------	-----------------------





1 SITE PLAN  
1/8" = 1'-0"

PROJECT

1050 OLD DERRY RD  
MISSISSAUGA  
ON L5W 1A1

CLIENT

Owner

REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
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CONSULTANTS

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DRAWING TITLE

SITE PLAN

DRAWN

PP

CHECKED

SA

SCALE @ ARCH D

As Noted 1/8" = 1'-0"

DATE

07/19/23

GRAPHIC SCALE

PROJECT NO.

230122

STAGE

DRAWING NO.

ZC

A0-002

LOCATION

MISSISSAUGA

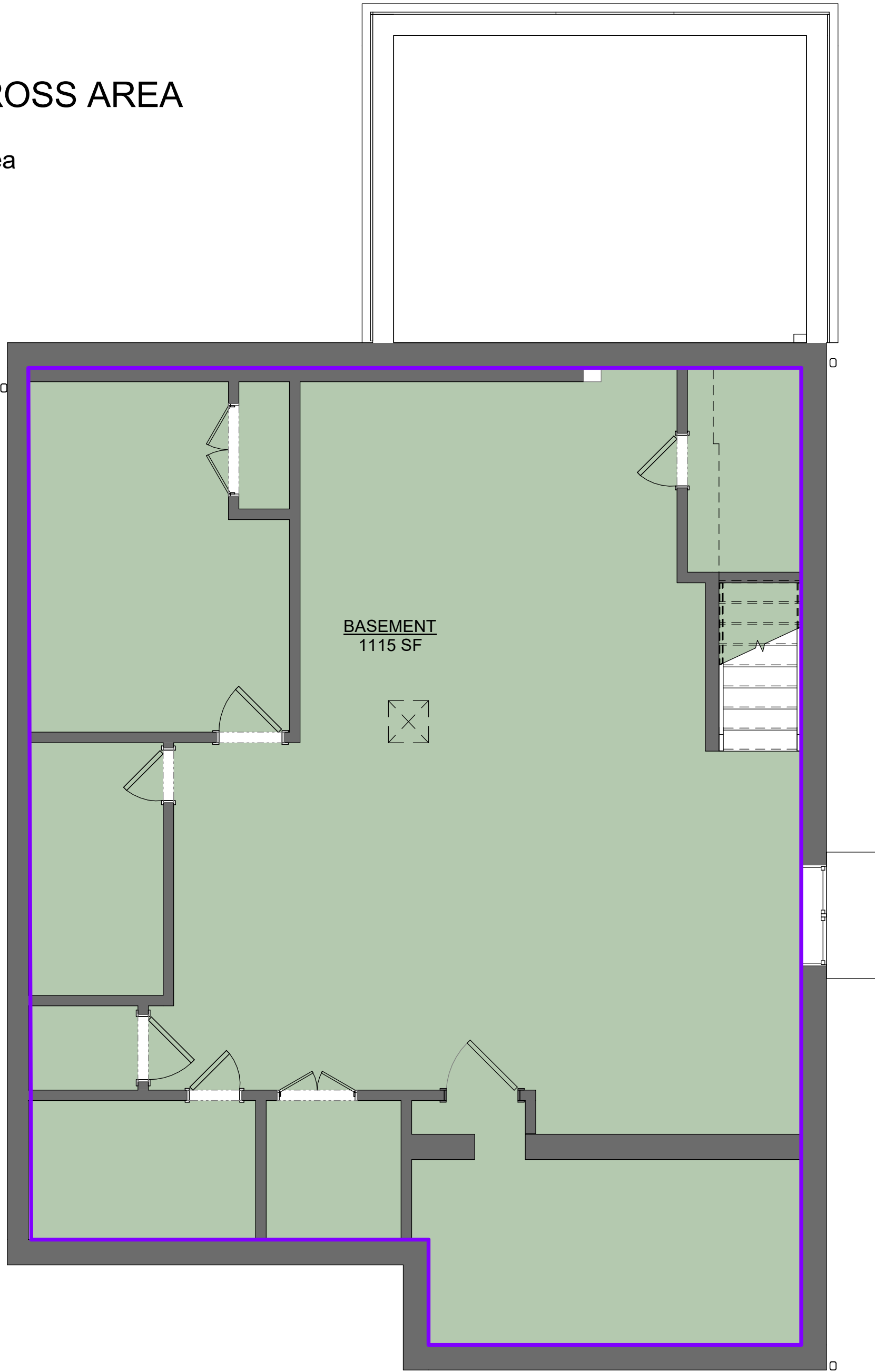
REVISION

02



BASEMENT GROSS AREA

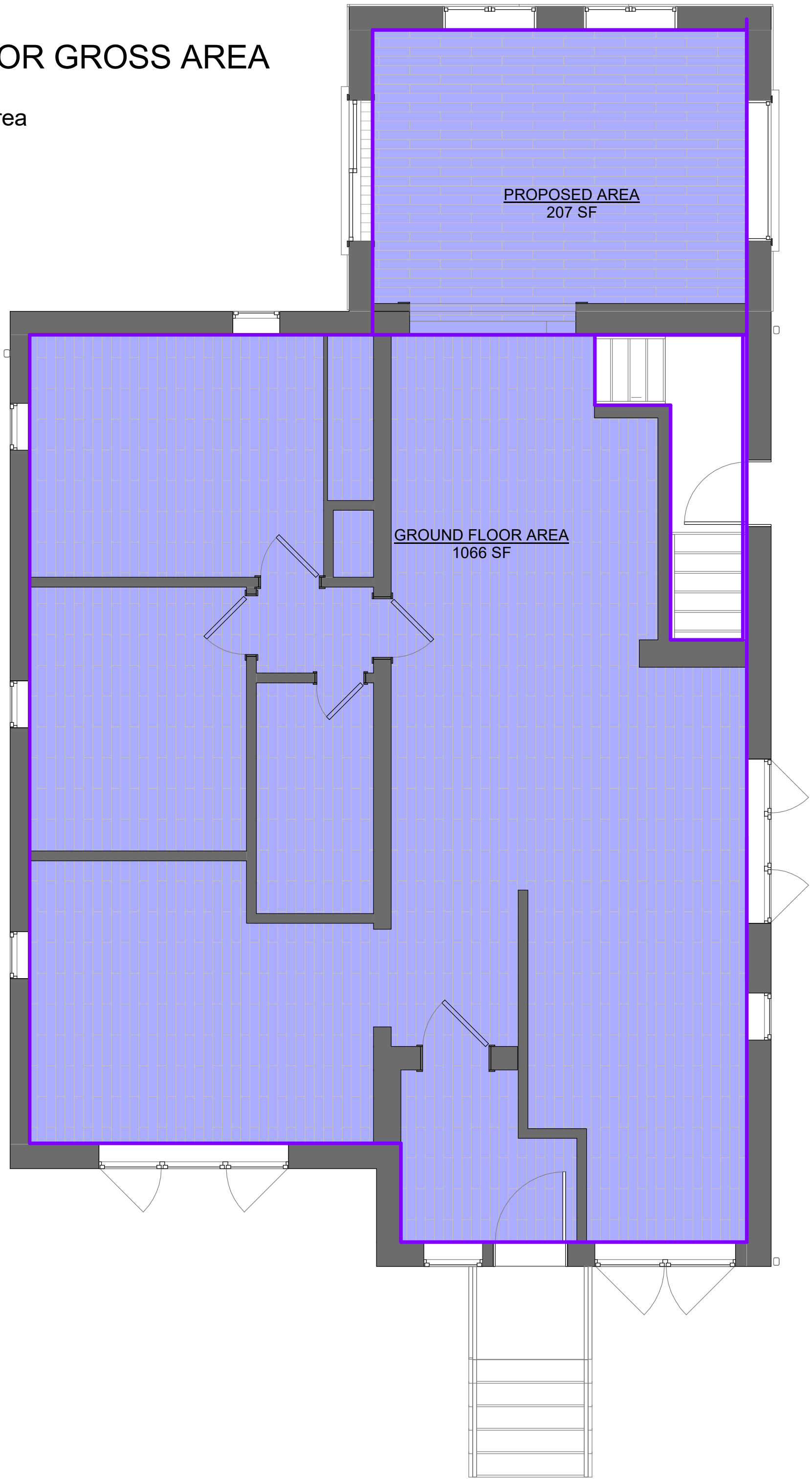
Gross Building Area



1 BASEMENT  
1/4" = 1'-0"

GROUND FLOOR GROSS AREA

Gross Building Area



2 GROUND FLOOR  
1/4" = 1'-0"

PROJECT

1050 OLD DERRY  
RD  
MISSISSAUGA  
ON L5W 1A1

CLIENT

Owner



REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
01	ISSUED FOR CLIENT	2023-07-19

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CONSULTANTS



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DRAWING TITLE

FLOOR AREA PLAN

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 1/4" = 1'-0"	DATE 07/19/23

PN N	GRAPHIC SCALE
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PROJECT NO.	230122
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STAGE ZC	DRAWING NO. A0-003
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LOCATION MISSISSAUGA	REVISION 02
-------------------------	----------------

1 EXTERIOR WALL - BRICK

- 3 1/2" NATURAL BRICK, COLOR TO MATCH EXISTING BRICK COLOR .
- TYPAR HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS; LAP & TAPE ALL JOINTS
- 1/2" ORIENTED STRAND BOARD
- 1" AIR SPACE
- 2 X 6 STUDS AT 16" O.C.
- BATT INSULATION (R-19 + 50)
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ACOUSITC TYPE SEALANT
- 1/2" DRYWALL.
- 5/8" TYPEX DRYWALL, WHERE SETBACK IS LESS THAN 4" AWAY FROM PROPERTY LINE.

3 POST + BEAM WALL CONSTRUCTION

- 1" X 8" / 1" X 10" CEDAR CLAPBOARD (PROFILE TO BE DETERMINED), PRE- STAINED STAINLESS STEEL NAILS
- TYPAR HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS; LAP & TAPE ALL JOINTS
- 1/2" ORIENTED STRAND BOARD
- R-28 STRUCTURAL INSULATED WALL PANELS
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- TIMBER FRAME (SIZE AS PER PLANS) FULLY JOINED EASTERN WHITE PINE (RED OAK DOUGLAS FIR)
- 1" X 8" T & G EASTERN WHITE PINE (STAIN TO BE DETERMINED)

4 ROOF CONSTRUCTION

- ASPHALT SHINGLES (25 YEARS) - COLOUR TO BE DETERMINED
- 1/2" PLYWOOD SHEATHING (WITH 'H' CLIPS IF USING TRUSSES)
- ROOF STRUCTURE AS SPECIFIED IN TRUSS PLAN AND LAYOUTS
- PROVIDE ICE AND WATER SHIELD EAVES PROTECTION TO EXTEND 36" MIN. BEYOND INTERIOR FACE OF EXTERIOR WALL. MIN. 3" LAP AND 6" END LAP (AS PER 9.26.5 OR)
- PREFINISHED ALUMINUM DRIPEDGE BELOW SHINGLES
- PREFIN. ALUMINUM EAVESTROUGH ON ALUMINUM FASCIA & VENTED ALUMINUM SOFFIT W/ INSECT SCREEN TO MATCH EXIST.
- 2 X 6 CEILING JOISTS @ 16" O.C.
- 2 X 9 1/2" STANDARD OR 2 X 8" HIGH DENSITY (R-40) BATT INSULATION - BAFFLE AS REQUIRED FOR VENTILATION
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- 1/2" DRYWALL.
- SKYLIGHT BY "VELUX" OR SIMILAR W/ TEMPERED DOUBLE GLAZED SEALED UNIT LOW-E AND ARGON FILLED
- INSTALL CW FLASHING KIT (ACCORDING TO TYPE OF ROOFING) AND AS PER MANUFACTURER SPECIFICATIONS
- NOTE: DOUBLE FRAME ALL SURROUNDING LUMBER AT SKYLIGHT ADJACENT FINISHED ROOF
- TO COMPLY WITH CAN/CSSB - 12.2-M89-7.3 SLOPED GLAZING AND SKYLIGHTS

6 EAVESTROUGH / DOWNPIPES

- 5" - 6" MAX WIDE PREFINISHED ALUMINUM EAVESTROUGH (COLOUR TO BE DETERMINED)
- 3" X 4" PREFINISHED ALUMINUM DOWNPIPES (COLOUR TO BE DETERMINED) C/W CONCRETE SPILL PAD (SLOPE AWAY FROM BUILDING)
- NOTE: DOWNPIPES ROUTING TO BE DISCUSSED W/ ARCHITECT PRIOR TO INSTALLATION.

7 SOFFIT

- PREFINISHED ALUMINUM SOFFIT WITH INSECT SCREENING
- LAY ALUMINUM PANELS WITH CORRUGATIONS PERPENDICULAR TO FASCIA
- SEE DRAWINGS FOR OVERHANG DIMENSION.

8 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH QBC 9.7)

- ALL WINDOWS ARE TO BE WOOD FRAMED CASEMENTS SEALED CLEAR WOOD INTERIOR AND "FLEXACRON" FACTORY PREFINISHED EXTERIOR SURFACES c/w FOLDING TYPE CRANK HANDLE
- ALL GLAZING TO BE CLEAR LOW "E" SEALED THERMOPANE UNITS, ARGON GAS FILLED, 7/8" OVERALL THICKNESS
- CONTRACTOR TO SUBMIT NAME AND TYPICAL DETAILS OF PROPOSED MANUFACTURER TO THE ARCHITECT FOR APPROVAL.
- NOTE: CONTRACTOR TO SUPPLY AND INSTALL 6" SMOOTH CUT LIMESTONE THRESHOLD AT ALL EXTERIOR DOORS AND 9" AT ALL WINDOWS (UNLESS OTHERWISE NOTED).

9 SILL PLATE

- 2 X 6 PRESSURE TREATED SILL PLATE SET ON CONTINUOUS MORTAR BED WITH DIA. 1/2" LONG (MIN. 4" IN CONCRETE); ANCHOR BOLTS AT 7'-10" MAX. O.C. INTO CONCRETE FILLED TOP COURSE
- ROLL TYPE FOAM GASKET BETWEEN PLATE AND BEDDING & 6 MIL POLY VAPOUR / AIR BARRIER (BLACK).

10 DRYWALL INSTALLATION

- ALL DRYWALL TO BE INSTALLED WITH BEVELLED EDGE JOINTS FACING EACH OTHER
- ONLY ONE HORIZONTAL JOINT WILL BE ALLOWED, IF AN ADDITIONAL HORIZONTAL JOINT IS REQUIRED DUE TO WALL HEIGHTS, THE JOINTS MUST BE PLACED AT THE BOTTOM OF THE WALL IN THE BASEBOARD AREA.
- USE 4'-6" WIDE BOARDS FOR 9'-0" HIGH CEILINGS.

11 ENGINEERED HARDWOOD FLOORING

- CONCRETE SUBFLOORS MUST BE DRY, SMOOTH (LEVEL WITHIN 3/16" IN A 10' RADIUS 1/8" IN 5') AND FREE OF STRUCTURAL DEFECTS. HAND SCRAPE OR SAND WITH A 20-GRIT
- #3-1/2" OPEN FACE PAPER TO REMOVE LOOSE, FLAKY CONCRETE. GRIND HIGH SPOTS IN CONCRETE AND FILL LOW SPOTS WITH A PORTLAND BASED LEVELING COMPOUND (MIN. 3,000 PSI). CONCRETE MUST BE FREE OF PAINT, OIL, EXISTING ADHESIVES, WAX, GREASE, DIRT AND CURING COMPOUNDS. THESE MAY BE REMOVED MECHANICALLY BUT DO NOT USE SOLVENT-BASED STRIPPERS UNDER ANY CIRCUMSTANCES. THE USE OF RESIDUAL SOLVENTS CAN PROHIBIT THE SATISFACTORY BOND OF FLOORING ADHESIVES.
- IT IS IMPORTANT TO ENSURE A PROPER BOND BETWEEN THE ADHESIVE AND THE CONCRETE, AND PLANKS OR STRIPS. ENGINEERED HARDWOOD FLOORING MAY BE INSTALLED ON-GRADE, ABOVE GRADE, AS WELL AS BELOW GRADE WHERE MOISTURE CONDITIONS ARE ACCEPTABLE
- LIGHTWEIGHT CONCRETE: LIGHTWEIGHT CONCRETE WITH A DRY DENSITY OF 100 POUNDS OR LESS PER CUBIC FOOT IS ONLY SUITABLE FOR ENGINEERED WOOD FLOORS WHEN USING THE FLOATING INSTALLATION METHOD. MANY PRODUCTS HAVE BEEN DEVELOPED AS SELF-LEVELING TOPPINGS OR FLOOR UNDERLAYMENTS. THESE INCLUDE CELLULAR CONCRETE, RESIN-REINFORCED CEMENTATIONS, UNDERLAYMENTS, AND GYPSUM-BASED MATERIALS. ALTHOUGH SOME OF THESE PRODUCTS MAY HAVE THE NECESSARY QUALIFICATIONS FOR UNDERLAYMENT FOR WOOD FLOORING INSTALLATIONS, OTHERS DO NOT.
- TO TEST FOR LIGHTWEIGHT CONCRETE, SCRAPE A COIN OR KEY ACROSS THE SURFACE OF THE SUBFLOOR.
- IF THE SURFACE POWDERS EASILY OR HAS A DRY DENSITY OF 100 POUNDS OR LESS PER CUBIC FOOT, USE ONLY THE FLOATING INSTALLATION METHOD. TO ENSURE A LONG-LASTING BOND, MAKE SURE THAT THE PERIMETER OF THE FOUNDATION HAS ADEQUATE DRAINAGE AND VAPOR BARRIER.
- WOOD SUBFLOORS: WOOD SUBFLOORS NEED TO BE WELL NAILED OR SECURED WITH SCREWS. NAILS SHOULD BE RING SHANKS AND SCREWS NEED TO BE COUNTER SUNK.
- THE WOOD SUBFLOOR NEEDS TO BE STRUCTURALLY SOUND AND DRY. IT SHOULD NOT EXCEED 13% MOISTURE PRIOR TO INSTALLATION.
- IF THE SUBFLOOR IS SINGLE LAYER, LESS THAN 3/4" THICK, ADD A SINGLE CROSS LAYER FOR STRENGTH AND STABILITY (MINIMUM 5/16" THICK FOR A TOTAL 1" THICKNESS).
- THIS IS TO REDUCE THE POSSIBILITY OF SQUEAKING.
- WOOD SUBFLOORS MUST BE FREE OF PAINT, OIL, EXISTING ADHESIVES, WAX, GREASE, DIRT, URETHANE, VARNISH, ETC.
- UNDERLAYMENT GRADE OSB (NOT THE WAX SIDE) IS ALSO A SUITABLE SUBFLOOR. PARTICLEBOARD IS NOT AN ACCEPTABLE SUBFLOOR FOR STAPLE OR NAIL DOWN INSTALLATIONS BUT CAN BE USED AS A SUBFLOOR IN GLUE-DOWN INSTALLATIONS.
- WHEN INSTALLING OVER EXISTING WOOD FLOORING, INSTALL AT RIGHT ANGLES TO THE EXISTING FLOOR.
- SUBFLOOR MOISTURE CHECK: ENGINEERED HARDWOOD FLOORING MAY BE USED FOR ABOVE-, ON-, AND BELOW-GRADE APPLICATIONS. ON ALL COMMON SUBSTRATES, ON-AND BELOW-GRADE APPLICATIONS ARE SUSCEPTIBLE TO MOISTURE AND SHOULD BE TESTED FOR MOISTURE PRIOR TO INSTALLATION IN SEVERAL LOCATIONS WITHIN THE INSTALLATION AREA.
- ACCEPTABLE CONDITIONS FOR ABOVE-, ON-, AND BELOW-GRADE APPLICATIONS ARE:
  - \* LESS THAN 3 LBS. /1000 SF / 24 HRS. ON A CALCIUM CHLORIDE TEST
  - \* OR AN ACCEPTABLE READING ON AN ELECTRONIC CONCRETE MOISTURE METER
  - \* WOOD SUBSTRATES MUST HAVE A MOISTURE READING OF LESS THAN 13% WHEN USING AN ELECTRONIC WOOD MOISTURE METER
- IMPORTANT NOTE: THE ABOVE IS A GUIDE LINE. INSTALLER MUST FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS ASSOCIATED WITH THE PRODUCT

12 INSULATED FLOOR ASSEMBLY

- FINISHED FLOORING OVER 3/4" T & G PLY SHEATHING GLUED AND SCREWED TO JOISTS; STAGGER JOINTS
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX" WITH ALL JOINTS SEALED W/ ACOUSTIC TYPE SEALANT
- JOISTS (AND CROSS BRIDGING IF APPLICABLE) AS NOTED IN PLAN
- 8" (R-30) HIGH DENSITY OR 9 1/2" (R-30) STANDARD BATT INSULATION ON GALVANIZED CHICKEN WIRE MESH STAPLED TO UNDERSIDE OF JOISTS
- SPRAY 5" (R-32) OF 2 LB / FTCU POLYURETHANE SPRAY FOAM BY "ISOFOAM"

13 DOORS

- SOLID WOOD (UNLESS NOTED OTHERWISE) 1 3/4" THICK WITH TWO RECESSED RAISED WOOD PANELS AS PER DETAIL SKETCH.
- DOOR HEIGHTS: ABOVE 9' CEILING 8'-0" DOORS
- 9' CEILING 7'-2"
- 8'-4" AND LESS 6'-8" (INCLUDING BASEMENTS)

14 FLASHING

- PROVIDE PREFINISHED ALUMINUM (COLOUR TO BE DETERMINED) IN ALL THE FOLLOWING LOCATIONS:
  - \* BENEATH JOINTED MASONARY SILLS
  - \* OVER BACKS AND TOPS OF PARAPET WALLS
  - \* OVER HEADS OF GLASS BLOCK PANELS
  - \* OVER HEADS OF WINDOWS AND DOORS SET FURTHER THAN 1/4 THE EAVES OVERHANG BELOW THE SOFFIT
  - \* AROUND CHIMNEYS, OR ANY ELEMENTS CROSSING ROOF SURFACES THAT ARE NOT SUPPLIED WITH MANUFACTURERS FLASHING
  - \* AT INTERSECTION OF ROOF SURFACES WITH EXTERIOR WALLS
  - \* AT ALL ROOF VALLEYS
- TYPAR HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS; LAP & TAPE ALL JOINTS
- 1/2" ORIENTED STRAND BOARD
- 2 X 4 STUDS AT 16" O.C.
- 3 1/2" DOW SM RIGID INSULATION / POLYURETHANE SPRAYED FOAM INSULATION
- 1/2" FOIL "THERMAX" INSULATION
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ACOUSITC TYPE SEALANT
- 1/2" DRYWALL.

15 PAINTING

- ALL INTERIOR WOOD TRIM: ONE COAT OIL BASED PRIMER, TWO (2) COATS SEMI-GLOSS OIL
- ALL DRYWALL SURFACES: ONE COAT LATEX SEALER, TWO (2) COATS SATIN / EGGSHELL LATEX
- ALL EXTERIOR WOOD TRIM: ONE COAT OIL BASED PRIMER, 2 COATS OIL FINISH - ENAMEL GLOSS
- ALL COLOURS TO BE SELECTED BY ARCHITECT / CLIENT
- NOTE: REPAINT ALL WOOD DOORS AND WINDOWS PRIME PLUS ONE FINISH COAT PRIOR TO INSTALLATION.

16 LEDGER BOARD

- CONTINUOUS 2 - 2 X 10 OR AS PER PLANS GLUED LEDGER BOLTED WITH STAGGERED 3/4" DIA. RAM SET RED HEAD DYNA BOLTS @ 18" O.C. - MIN. 2 1/2" EMBEDMENT IN EXISTING SOLID MASONRY WALL.

PROJECT

1050 OLD DERRY RD  
MISSISSAUGA ON L5W 1A1

CLIENT

Owner



REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
01	ISSUED FOR CLIENT	2023-07-19

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DRAWING TITLE

CONSTRUCTION NOTES

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted	DATE 07/19/23
PN N	GRAPHIC SCALE

PROJECT NO. 230122

STAGE ZC	DRAWING NO. A0-004
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LOCATION MISSISSAUGA	REVISION 02
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PROJECT

1050 OLD DERRY RD  
MISSISSAUGA  
ON L5W 1A1

CLIENT

Owner





REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
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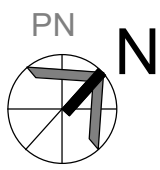


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DRAWING TITLE

PROPOSED BASEMENT FLOOR PLAN

DRAWN	PP	CHECKED	SA
SCALE @	ARCH D	DATE	
As Noted	1/4" = 1'-0"	07/19/23	

PN

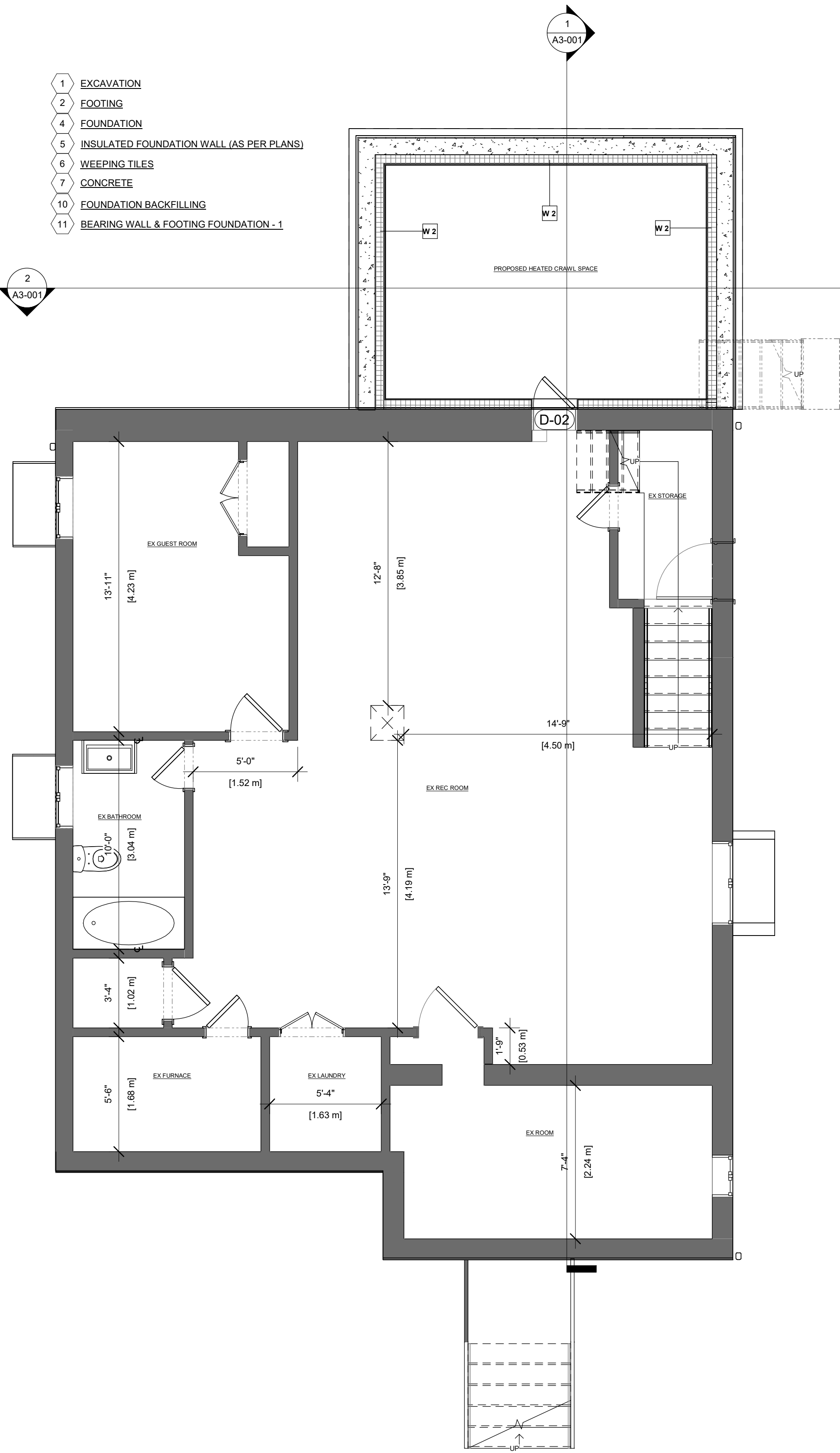
GRAPHIC SCALE

PROJECT NO.

230122

STAGE	DRAWING NO.
ZC	A1-001

LOCATION	REVISION
MISSISSAUGA	02



1 BASEMENT PLAN  
1/4" = 1'-0"

property line

PROJECT

1050 OLD DERRY RD  
MISSISSAUGA  
ON L5W 1A1

CLIENT

Owner

REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
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CONSULTANTS

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SARA ALMATHY LICENCE 6953

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DRAWING TITLE

PROPOSED GROUND FLOOR PLAN

DRAWN PP

CHECKED SA

SCALE @ ARCH D

DATE

As Noted 1/4" = 1'-0"

07/19/23

PN

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GRAPHIC SCALE

PROJECT NO.

230122

STAGE

DRAWING NO.

ZC

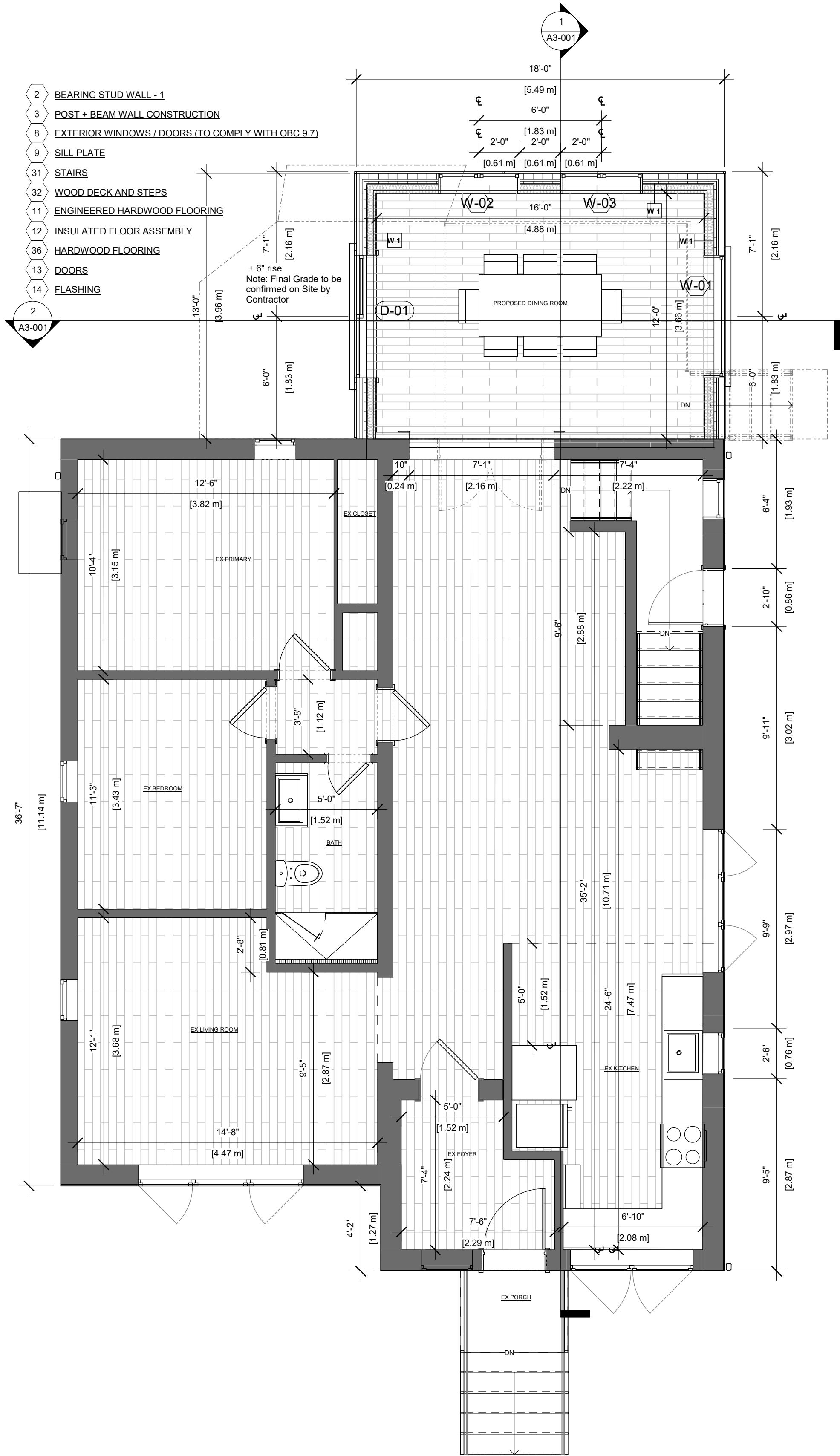
A1-002

LOCATION

MISSISSAUGA

REVISION

02



1 GROUND FLOOR PLAN  
1/4" = 1'-0"

PROJECT

1050 OLD DERRY RD  
MISSISSAUGA  
ON L5W 1A1

CLIENT

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CONSULTANTS

QBS ARCHITECTS INC

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DRAWING TITLE

ROOF FLOOR PLAN

DRAWN PP

CHECKED SA

SCALE @ ARCH D  
As Noted 1/4" = 1'-0"

DATE  
07/19/23

PN

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GRAPHIC SCALE

PROJECT NO.

230122

STAGE

DRAWING NO.

ZC

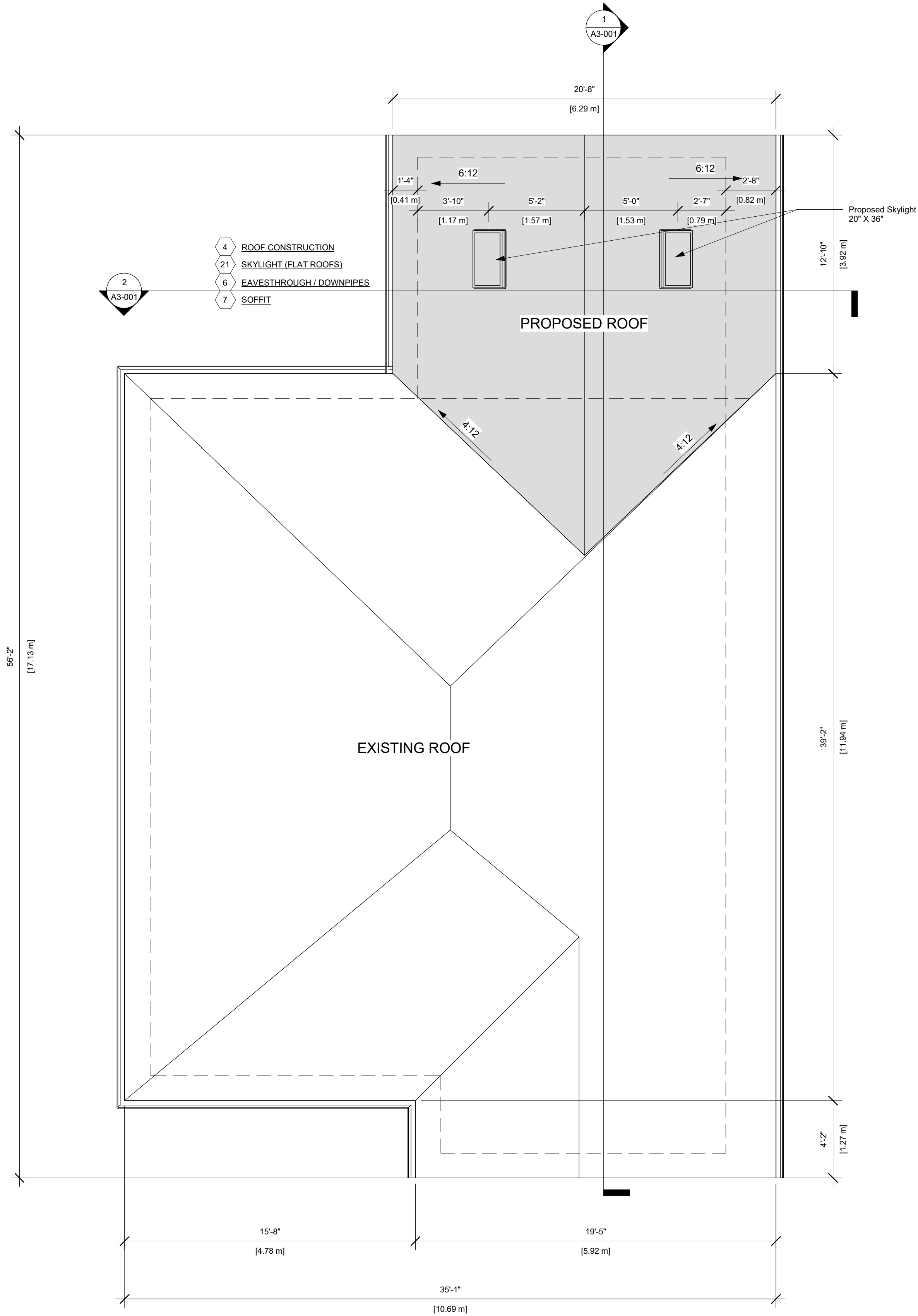
A1-003

LOCATION

REVISION

MISSISSAUGA

02



1 ROOF PLAN  
1/4" = 1'-0"





1 North Elevation  
1/4" = 1'-0"



2 South Elevation  
1/4" = 1'-0"


MATERIALS LEGEND	
	- NATURAL BRICK TO MATCH EXISTING
	- ASPHALT SHINGLES TO MATCH EXISTING
	- WHITE VINYL WINDOWS
	- WHITE VINYL SLIDING EXTERIOR DOOR
	- WHITE ALUMINUM FRAME SKYLIGHT

PROJECT

1050 OLD DERRY RD  
MISSISSAUGA  
ON L5W 1A1

CLIENT

Owner





REVISIONS

No.	Description	Date
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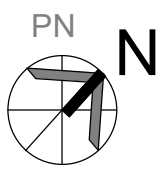


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DRAWING TITLE

PROPOSED NORTH & SOUTH ELEVATION

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 1/4" = 1'-0"	DATE 07/19/23



PN  
N

GRAPHIC SCALE

PROJECT NO.

230122

STAGE <b>ZC</b>	DRAWING NO. <b>A2-001</b>
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LOCATION MISSISSAUGA	REVISION <b>02</b>
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CONSULTANTS
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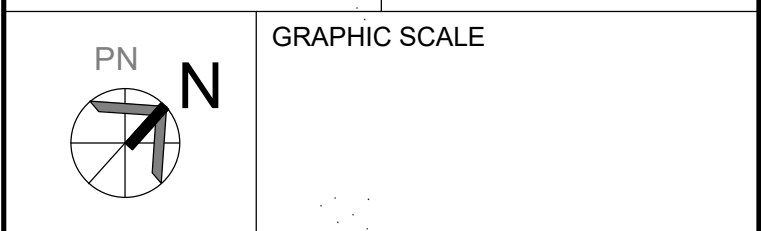


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DRAWING TITLE

**PROPOSED EAST & WEST  
ELEVATION**

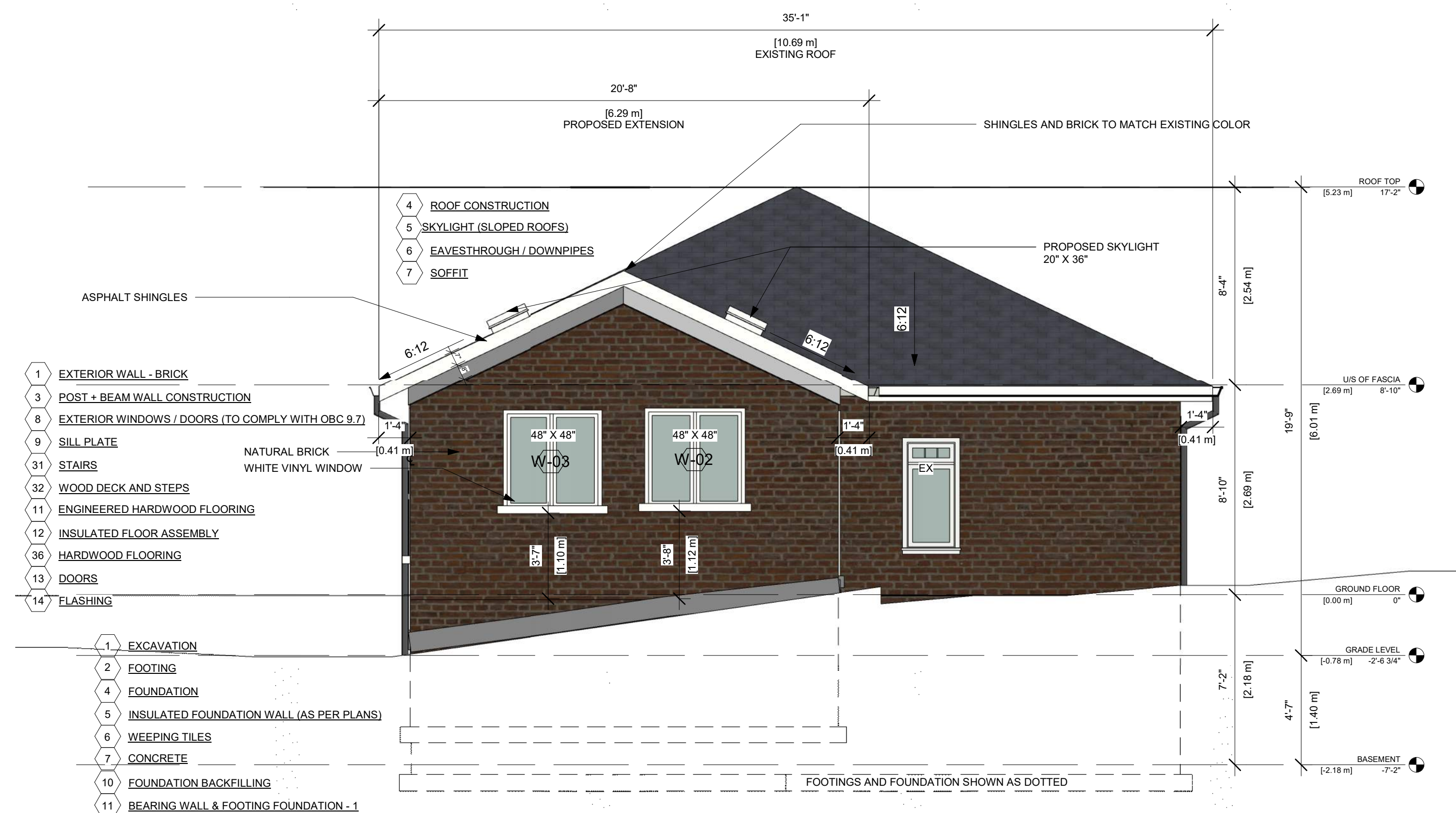
DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 1/4" = 1'-0"	DATE 07/19/23



PROJECT NO.	230122
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STAGE	DRAWING NO.
<b>ZC</b>	<b>A2-002</b>

LOCATION MISSISSAUGA	REVISION <b>02</b>
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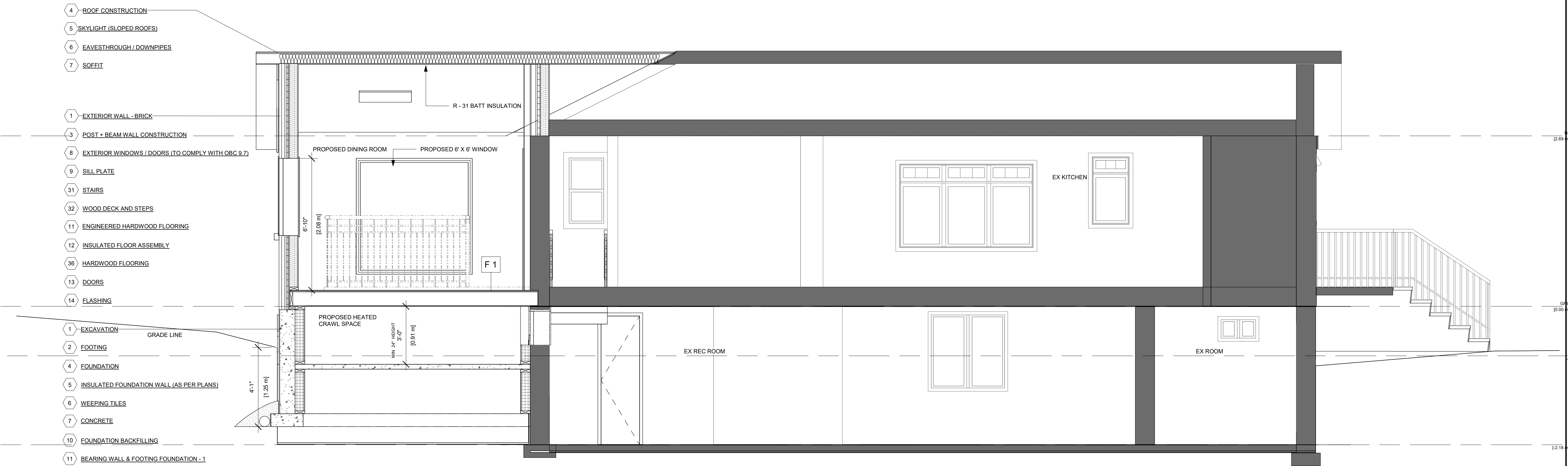


1 East Elevation  
1/4" = 1'-0"

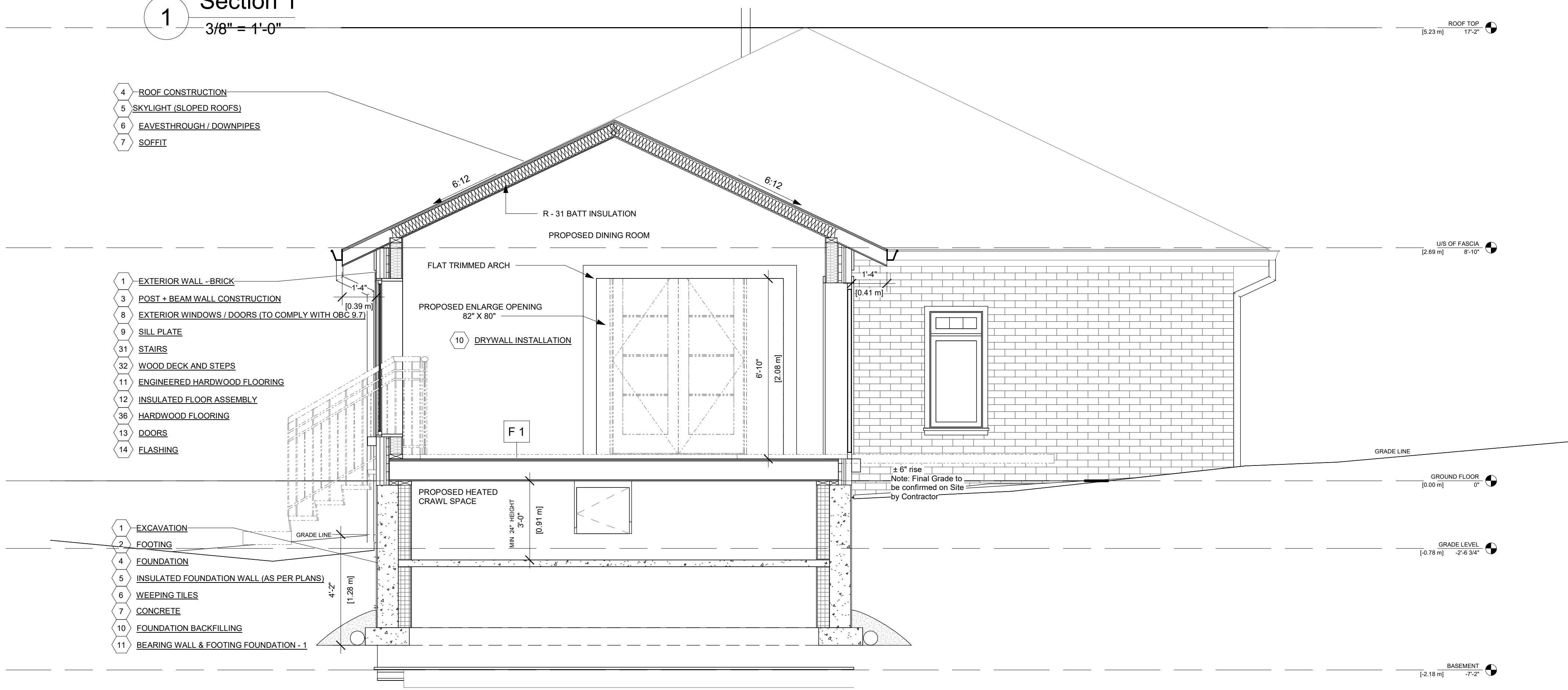


2 West Elevation  
1/4" = 1'-0"





1 Section 1  
3/8" = 1'-0"




2 Section 2  
3/8" = 1'-0"

PROJECT

**1050 OLD DERRY RD**  
**MISSISSAUGA**  
**ON L5W 1A1**

CLIENT

**Owner**





REVISIONS

No.	Description	Date
01	ISSUED FOR CLIENT	2023-07-19

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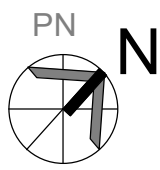


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DRAWING TITLE

**PROPOSED SECTION**

DRAWN	PP	CHECKED	SA
SCALE @	ARCH D	DATE	07/19/23
As Noted	3/8" = 1'-0"		



PN

GRAPHIC SCALE

PROJECT NO.

230122

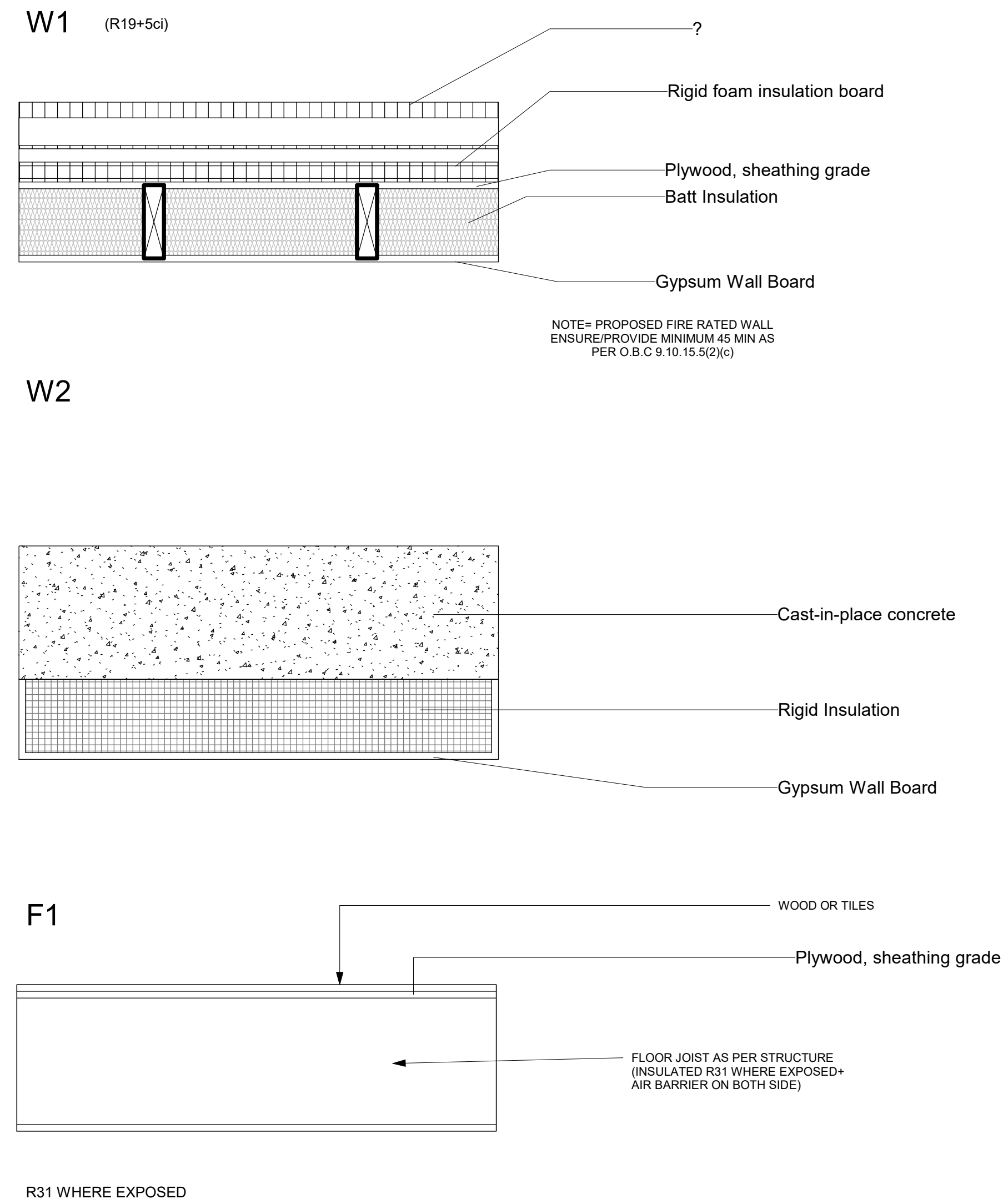
STAGE	DRAWING NO.
<b>ZC</b>	<b>A3-001</b>

LOCATION	REVISION
MISSISSAUGA	<b>01</b>



Door Schedule					
Mark	Level	Width	Height	Phase Created	Comments
D-01	GROUND FLOOR	6'-0"	6'-8"	New Construction	
D-02	GROUND FLOOR	2'-0"	1'-9"	New Construction	

Window Schedule					
Mark	Level	Width	Height	Phase Created	Sill Height
W - 01	GROUND FLOOR	6'-0"	6'-0"	New Construction	1'-8"
W - 02	GROUND FLOOR	4'-0"	4'-0"	New Construction	3'-8"
W - 03	GROUND FLOOR	4'-0"	4'-0"	New Construction	3'-9"



Window	W - 01 72" x 72"	W -02 48" x 48"	W -03 48" x 48"
Plan			
Elevation			
Door	D - 01 (Sliding Door) 72" x 80"	D -02 ( Access Door) 24" x 24'	
Plan			
Elevation			

PROJECT

1050 OLD DERRY RD  
MISSISSAUGA  
ON L5W 1A1

CLIENT

Owner

REVISIONS

No.	Description	Date
01	ISSUED FOR CLIENT	2023-07-19

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DRAWING TITLE

DOOR & WINDOW SCHEDULE

DRAWN  
PP

CHECKED  
SA

SCALE @  
As Noted

ARCH D  
As indicated

DATE  
07/19/23

GRAPHIC SCALE

PROJECT NO.

230122

STAGE  
ZC

DRAWING NO.  
A4-001

LOCATION  
MISSISSAUGA

REVISION  
01




PROJECT

1050 OLD DERRY RD  
MISSISSAUGA ON L5W 1A1

CLIENT

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REVISIONS

No.	Description	Date
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DRAWING TITLE

DETAILS

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CHECKED SA

SCALE @ ARCH D

DATE

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GRAPHIC SCALE

PROJECT NO.

230122

STAGE

DRAWING NO.

ZC

A4-002

LOCATION

REVISION

MISSISSAUGA

01

