

CONSERVATION PLAN



60 CUMBERLAND DRIVE
Port Credit, Mississauga ON

03 April 2024

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
BUILT HERITAGE CONSULTANT

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1.0 INTRODUCTION

Preparation of this report included site investigation, a review of relevant heritage policies and applicable legislation, historical research, and consultation with heritage planning staff at the City of Mississauga.

This *Conservation Plan* is based on architectural and structural drawings provided by the applicant, including architectural drawings by Gren Weis Architect and a structural assessment and structural drawings by Gamaley & Associates Engineers. This information is included in the appendix of this report.

2.0 LOCATION & SITE DESCRIPTION

The subject property is located at 60 Cumberland Drive in Port Credit, Mississauga. Cumberland Drive is a quiet residential street that runs parallel to the Lake Ontario shoreline. Properties on the south side of Cumberland Drive are waterfront lots.

The subject dwelling is a 2-storey buff brick structure with a basement and an attached 2-storey garage with no basement. The house and garage have a low sloped roof hidden behind a raised brick parapet. The windows are wood frame and include wood casement windows, a large vertical fixed window on the front elevation, and two corner windows on the 2nd floor of the garage. The glazing bars are horizontal. The doors are wood with small glazed panels. The house and garage have a rectangular plan with a brick link connecting them in an L-shaped arrangement.

The house is set back from Cumberland Drive and built close to the east side property line. The front yard has a circular driveway and there is a stone planter and terrace across the front of the house. The rear elevation has a cantilevered balcony with metal railings across the 2nd floor.



VIEW FROM CUMBERLAND DRIVE

[Phinney Real Estate]



VIEW FROM LAKE ONTARIO

[Phinney Real Estate]

3.0 HERITAGE PLANNING CONTEXT

The subject property was recently Designated by the City of Mississauga under Part IV of the *Ontario Heritage Act*. The Statement of Cultural Heritage Value and the list of Heritage Attributes protected under the *Designation By-law* are provided below in Section 5.0 of this report.

4.0 HISTORICAL CONTEXT

Hiawatha-on-the-Lake, 1921

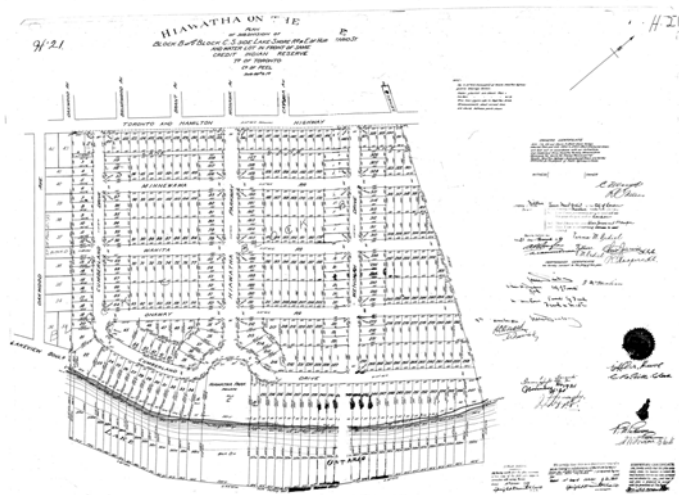
Historically, the subject property is associated with a residential subdivision called 'Hiawatha-on-the-Lake' registered in 1921 by Wrights Ltd. Realtors (Lot 6, Plan 21). 'Hiawatha on the Lake' is just east of the village of Port Credit on Block B and Part of Block C on the south side of Lakeshore Road and East of Hurontario Street and water lots in front of the Credit Indian Reserve. When the subdivision was laid out in 1921, this was undeveloped land in Toronto Township between the village of Port Credit and the Adamson Estate to the east.

Street names in the subdivision referenced Indigenous words and included Minnewawa Road, Onaway Road, Wenonah Drive and Hiawatha Parkway. Hiawatha Parkway terminated at a private park on the lake. Cumberland Drive was a curved road through the subdivision that followed the lakeshore. The premium lots in the subdivision were the lots on the south side of Cumberland Drive which had waterfront. The subject property is one of these premium lots with waterfront. The subject dwelling is unique in the subdivision for its International Style architecture. Other houses in the area are predominantly built in an Arts & Crafts or Period Revival style.

The proximity to the Village and the lake, the curved line of Cumberland Drive, and the provision of shared parkland for the exclusive use of the residents of the suburb reflects Garden City planning principles. A **1921 Brochure for the Hiawatha-on-the-Lake** described it as an 84-acre parcel with 2,400 feet of beach, beautifully wooded areas and generous sized lots. It was close to the highway, served by radial and bus lines, walking distance to schools, providing "a pleasant environment for your home and family as well as a profitable investment". In addition, provision was made for hydro-electric service for "any purchaser requiring Hydro", still a novelty in many households at this time.



1877 COUNTY MAP – in 1921, 84 acres east were purchased for a new residential suburb called Hiawatha-on-the-Lake



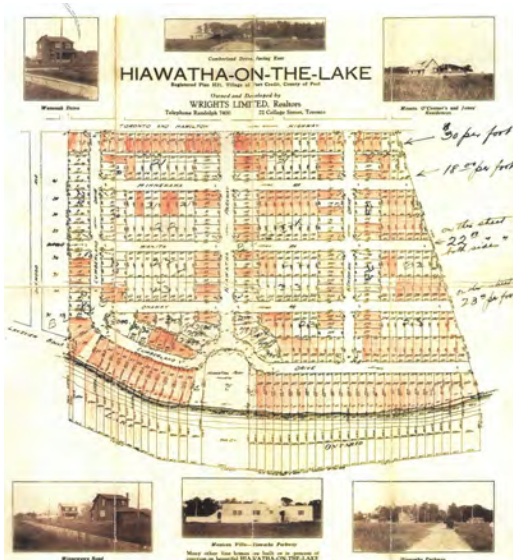
1921 Plan of Subdivision for Hiawatha-on-the-Lake



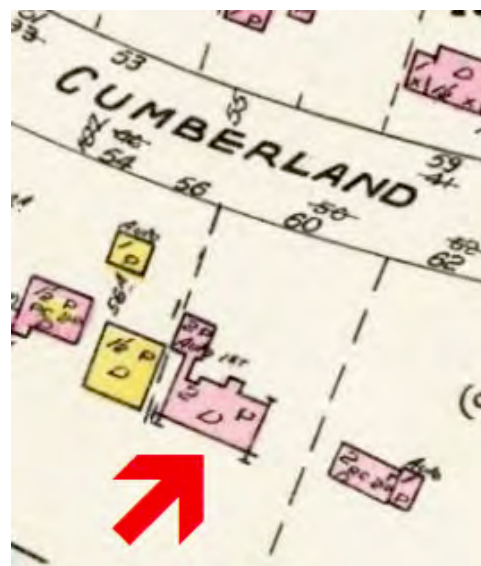
1921 Brochure for Hiawatha-on-the-Lake

The Linke House, 1940

The house at 60 Cumberland Drive was built for **Kurt & Agnes Linke** in 1940. According to a 1981 interview with Agnes Link, the Toronto house builder **Alfred Samit** designed the house. The earliest visual record of the Linke House is the **1952 Fire Insurance Plan**. The outline on the 1952 plan corresponds to the existing footprint and shows the house, link and garage as it is today.



1921 Brochure for Hiawatha-on-the-Lake [source: TOPCA]



1952 Fire Insurance Plan

Kurt Linke is described in records as a silverware manufacturer. He established a successful company called **Silverware Products Canada** that operated from around 1932 to 1957 and produced Art Deco style lamps and light fixtures. Linke built a brick factory and casting foundry for his business on River Street in Toronto, both designed by the Toronto architect Benjamin Brown (1890-1974). Architectural drawings by Brown for Linke's factory and foundry are in the Ontario Jewish Archives in Toronto.



SILVERWARE PRODUCTS CANADA – Art Deco lamps

Agnes Linke retained ownership until her death in 1996. **Photos from the 1980s** show the house during her ownership. The house was sold by the Trustees of her Estate in 2000 to John Strimas. In 2023, Strimas sold it to the current owner.



1981 PHOTOS of 60 Cumberland Drive



[Mississauga Library System]



1989 PHOTO of 60 Cumberland Drive – the gate posts and iron fence seen here have been replaced - the light fixture at the front door remains but has been covered

5.0 STATEMENT OF CULTURAL HERITAGE VALUE

The following statement and list of heritage attributes prepared by heritage staff is included in the Designation By-law:

Statement of Cultural Heritage Value or Interest

The house at 60 Cumberland Drive, known as the Samit-Linke House, was constructed circa 1940 for Agnes and silversmith Kurt Linke. Based on oral history, Alfred A. Samit designed the house. Samit had a "colourful" life, including participating in the Russian Revolution before fleeing to Germany. The house is unique and well designed; it offers a pleasing interplay of rectilinear forms with subtle asymmetry to create visual interest. With remnants of Art Nouveau mixed with the simplicity of high Modernism, it exhibits early International Style architecture.

The property has design value because it is a rare surviving example of an International Style house in Mississauga. It also displays artistic merit. The Province defines "artistic merit" as "showing imaginative skill in arrangement or execution."

Built and designed by European immigrants, in an avant-garde style, the property has contextual value because it is a local landmark due to its distinct style.

Heritage Attributes

- Flat roof
- Monochromatic colour
- Overall shape and form based on rectilinear volumes, combination of symmetry and asymmetry, i.e. central bay and garage section to side, including chimney
- Balance of symmetrical and asymmetrical arrangement of fenestration
- Elongated vertical window in front bay
- Simplicity, i.e. simple sills, no window or door surrounds, no cornices or lintels
- Multipaned steel frame windows, panes with horizontal emphasis
- Small windows compared to building mass
- Corner window above the garage
- Its visibility from Cumberland Drive
- Cantilevered second floor in rear
- Offset bricks that form horizontal lines
- The circular driveway which provides access to the garage and front entrance – this was likely part of the original design

6.0 CURRENT CONDITIONS

The subject dwelling is generally in good condition and retains most of its original exterior and interior features. The following condition issues and alterations were noted based on a limited visual inspection:

on the exterior:

- there is localized deterioration of brick and mortar in the roof parapets
- there is some soiling on the brick consistent with the age of the building
- there is a large shear crack visible in the 2nd floor corridor between the house and garage
- the stone wall for the planters in front of the house are giving way in some locations
- a wooden deck and stairs have been built over the stone steps at the front entrance
- a protective covering has been installed over an original exterior light fixture feature on the front elevation
- the rear elevation has been altered with the addition of modern windows and doors

on the interior:

- wall-to-wall carpeting has been installed on top of some of the original wood flooring on the 1st floor
- the fireplaces surrounds do not appear to be original
- some of the original bathroom fixtures have been replaced

7.0 CONSERVATION APPROACH

The conservation approach is a rehabilitation that includes:

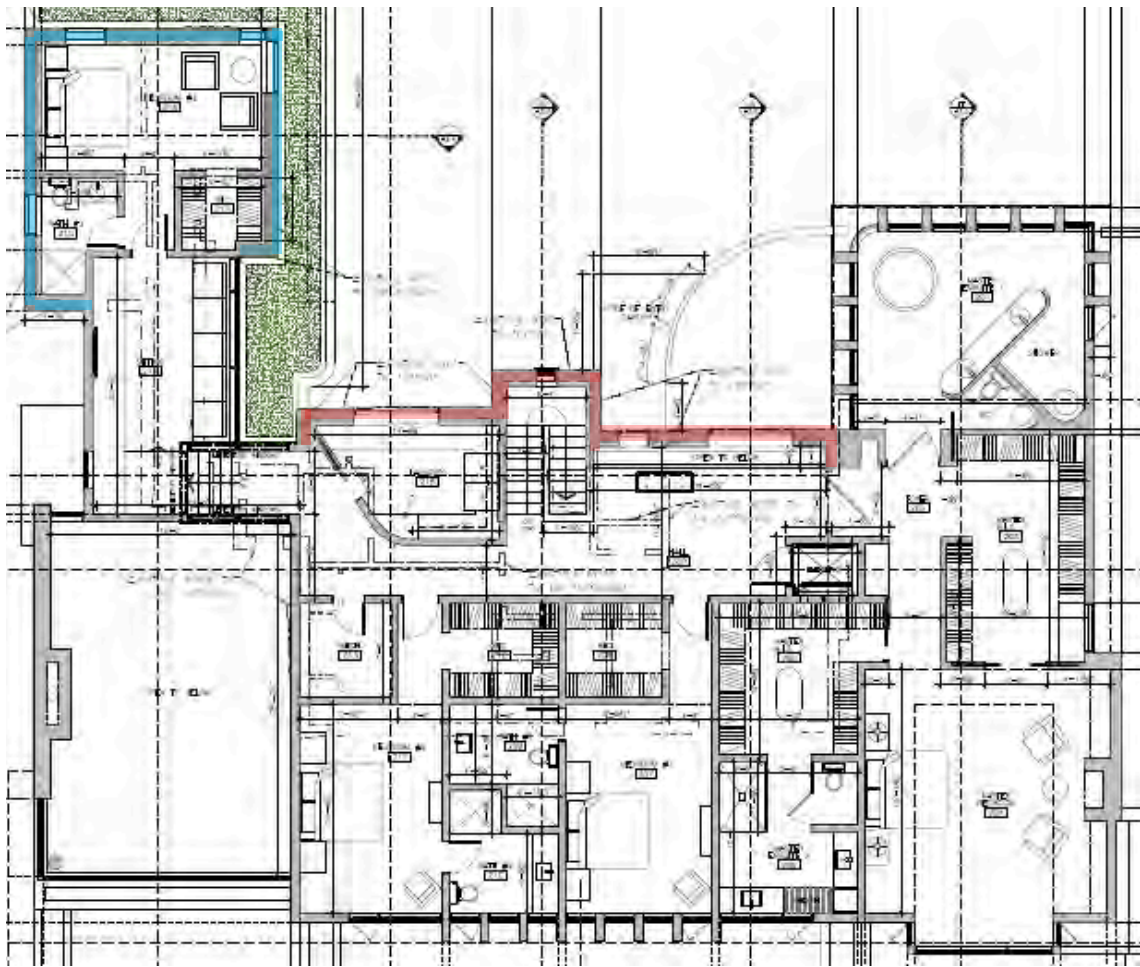
- preservation *in situ* of the front wall of the house
- preservation of the 2nd floor of the garage through dismantling and rebuilding
- demolition of the rear portions of the house, 1st floor of the garage and link structure between the house and garage
- construction of new side and rear additions
- removal of stone planters, stone steps, and stone terrace in front of the house and installation of new landscaping
- installation of a new paved driveway with a hammer-head configuration

The intent is to preserve the heritage attributes identified in the *Designation by-law* and to integrate them into a larger dwelling that retains the original character of the International style house and introduces a respectful contemporary layer to the composition.

Additional space will be created by increasing the footprint to the rear, adding a 2-storey addition on the east side of the house, and building a new link to the garage with useable space on the ground floor. The additions will have contemporary detailing and cladding materials, including large vertical panels and glazing on the side addition and corrugated metal cladding on the garage and link. The 1st floor of the garage will be enlarged to accommodate three garage bays. The existing 2nd floor above the garage will be dismantled and rebuilt in the same location above the expanded 1st floor of the garage so that the original relationship between the house and garage and the distinctive corner window detail that is unique to the garage will be preserved.



FRONT ELEVATION



2ND FLOOR PLAN

PROPOSED ALTERATIONS

█ heritage wall to be retained *in situ*

[GREN WEIS ARCHITECTS]

█ heritage walls to be dismantled & rebuilt

8.0 IMPACTS OF THE PROPOSED DEMOLITION & NEW DEVELOPMENT

The proposed demolition will result in loss of the rear portions of the heritage building to accommodate the proposed alterations

The proposed alterations will add a contemporary layer that is responsive to the original layout and protected heritage fabric and will be distinct and subordinate to the retained heritage portion that will remain the central focus of the composition.

This approach is being taken so that the footprint of the house can be enlarged at the rear and can be seamlessly integrated into the proposed additions. It will also allow for greater ceiling heights in the new interior. The massing of the addition will step up slightly at the back to accommodate the higher ceiling heights and the new floorplan utilizes double height spaces behind the heritage façade so that the new floorplan is compatible with the placement of doors and windows in the heritage façade.

The existing layout of the house includes a very small kitchen, no mud room and no ground floor connection to the garage. The proposed addition on the east side and expanded footprint behind the heritage façade will better utilize the full width of the lot and will wrap around the west side to provide a large kitchen and more convenient ground floor connection between the house and garage with additional spaces for a mudroom and pantry.

This approach allows for preservation of the protected heritage attributes and accommodations for the new owner that will support ongoing use of the heritage building as a private dwelling. The protected heritage attributes identified in the *Designation By-law* will be preserved by retaining the front façade *in situ* and dismantling and rebuilding the 2nd floor of the garage. This approach will preserve the heritage components that are visible from Cumberland Drive and preserve the original form and massing of the heritage building as seen from the street.

Impacts of the proposed undertaking on the heritage attributes are outlined in the table below:

HERITAGE ATTRIBUTE	PROPOSED UNDERTAKING
Flat roof	To be replaced with new to match
Monochromatic colour	To be preserved
Overall shape and form based on rectilinear volumes, combination of symmetry and asymmetry	To be preserved through partial retention and integration into respectful contemporary additions
Balance of symmetrical and asymmetrical arrangement of fenestration	To be preserved on the retained portions
Elongated vertical window in front bay	To be replaced with new to match
Simplicity, i.e.; simple sills, no windows or door surround, no cornices or lintels	To be preserved on the retained portions
Multipaned *steel frame windows, panes with horizontal emphasis *original windows are wood construction	To be replaced with new aluminum-clad wood windows to match on the retained portions

Small windows comparted to building mass	To be preserved on the retained portions
Corner window above the garage	To be replaced with new to match.
Visibility from Cumberland Drive	To be maintained
Cantilevered *2nd floor in the rear *only the balcony is cantilevered	To be demolished
Off-set brick that from horizontal lines	To be preserved on the retained portions
Circular driveway which provides access to the garage and front entrance	To be altered to a hammer-head configuration.



CUMBERLAND DRIVE STREETSCAPE – 60 Cumberland Drive and adjacent properties [Gren Weis Architects]

9.0 PLANNING PERMISSIONS REQUIRED FOR THE PROPOSED ALTERATIONS

The residential use is entirely consistent with the area. The proposed alterations meet the current zoning by-law in terms of overall lot coverage but will require approval through the Committee of Adjustment for the following:

	PERMITTED	PROPOSED	HERITAGE COMMENT
Height	7.5 m min	9.5 m	Exceeds by 2.5 m. <ul style="list-style-type: none"> Adjacent dwellings are a similar height to the proposed height
West side yard	1.2 m min	0.74 m	Below the minimum by less than 1m <ul style="list-style-type: none"> This is an existing condition of the heritage portion to be preserved that is not consistent with current zoning
Dwelling depth	20 m max	29.6 m	Exceeds the maximum by 9.6 m <ul style="list-style-type: none"> This is in part due to the deep front setback of the heritage façade that is being retained 'in situ'.
Projection of garage beyond the front wall or exterior side wall of the 2 nd storey	0.0 m	5.60 m	Exceeds requirement by 5.6 m <ul style="list-style-type: none"> This is an existing condition of the heritage portion to be preserved that is not consistent with current zoning

These variances are required in order to preserve the heritage components and construct the proposed additions. A complete list of site statistics is provided in the appendix of this report. The COA hearing is scheduled for May 30th, 2024.

10.0 SHORT TERM CONSERVATION MEASURES

The short-term conservation measures are the interventions required to accommodate the proposed changes and are outlined below.

In order to retain the heritage façade *in situ*, it must be temporarily secured to a retention frame so that the rear portions can be demolished. Drawings and specifications for the retention frame and procedures for securing the heritage façade to the frame and demolishing the rear portions of the building have been prepared by Gamaley & Associates Engineers and are included in the appendix of this report.

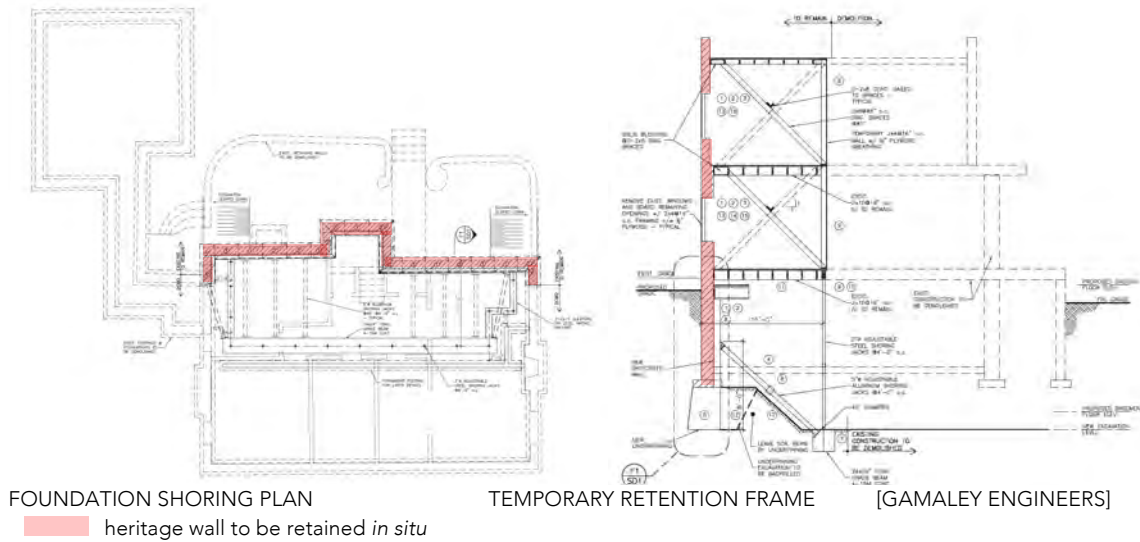
Façade Retention Plan

The retention process outlined on the drawings includes the following steps:

- remove the interior finishes, interior partition walls and windows to expose the structural components
- review the structural components and repair any deficient conditions
- install the diagonal bracing and construct temporary plywood support walls
- remove the basement floor slab
- install new underpinning in sections
- review existing foundation, repair any deficient conditions and construct a shotcrete backing wall
- excavate a trench and install a concrete beam 10 feet away from the front wall and install shoring jacks, keeping soil berm on the interior for additional support

Once the north wall is secured to the retention frame, demolition of the rear portion and new construction will be undertaken in a controlled process:

- cut off and remove parts to the rear through a controlled demolition process so that the retained wall portion is not damaged
- excavate the new basement
- construct the new footings and foundations
- construct the new 1st floor framing and remove the original framing in 8 foot sections
- remove the temporary basement shoring after 1st floor framing is built
- construct the new 2nd floor framing and remove the original framing in 8 foot sections
- remove the temporary 1st floor bracing after 2nd floor framing is built
- repair above grade masonry walls as work progresses, fill in pockets from old beams with brick and grout, parge the walls, and prepare for pocketing in of new structural steel beams
- construct the new roof structure and remove original framing in 8 foot sections
- remove the temporary 2nd floor bracing after roof structure is
- construct the new basement floor slab



Salvage Strategy

A list of potential salvage items from the interior has been provided to the applicant and is included in the appendix of this report. The intent is to have a salvage company remove these items prior to demolition. The salvage list includes Art Deco style doors and light fixtures.

Brick salvaged from the rear portions of the building will be used as a repair material to ensure a good match. This brick will be used to repair deteriorated brick in the roof parapet. Salvaged brick will also be used for walls around the new front terrace.

Dismantling & Rebuilding Strategy

The 2nd floor of the garage will be dismantled as part of the demolition work and the salvaged brick will be stored on site. After the new foundation and 1st floor are built, it will be reconstructed using the salvaged brick wall and brick window lintels. The new mortar will be compatible with the buff brick and the colour, width and profile of the existing mortar will be matched. The garage has been documented with measured drawings and photographs by Green Weis Architects to ensure that it is rebuilt accurately. A qualified mason will carry out the work to ensure that it is compatible with the original materials and workmanship. Conservation guidelines for documentation, dismantling and rebuilding of the garage are provided in Appendix F of this report.



SALVAGE ITEMS: buff brick, Art Deco interior doors & light fixtures

11.0 LONG TERM CONSERVATION MEASURES

Long-term conservation measures are undertakings required to ensure the long-term protection of the heritage attributes. These undertakings include maintenance of the brick and mortar as well as seasonal monitoring of the new interface between old and new fabric.

Monitoring of the condition of the retained and rebuilt heritage walls in their new state should include regular visual inspection for loose or missing mortar, cracks, out-of-plane movement, saturation, efflorescence, or spalling. Periodic maintenance of the brick and mortar, sealants and flashings should be undertaken by qualified masons using materials and workmanship that is compatible with the 1940 buff brick and lime-based mortar of the heritage walls.

Regular maintenance can usually be undertaken without a heritage permit. However, heritage staff should be consulted prior to making changes that may affect the heritage attributes.

12.0 SOURCES

Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784-1984* (1986)

City of Mississauga, 'Architectural Styles in Mississauga, (2010)'. The subject dwelling is used as an example of 'International Style' architecture in Mississauga.

https://www.mississauga.ca/file/COM/Mississauga_Architectural_Styles_2010.pdf

----- Heritage Planning Staff, '60 Cumberland Drive: Research and Evaluation Report' (2021)

Ministry of Tourism, Culture & Sport (MTCS), *Eight Guiding Principles in the Conservation of Built Heritage Properties*

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

Port Credit Explore, "Port Credit's Intersections reveal its Poetic Past" blogpost Feb 24, 2023.

<https://www.portcredit.com/blog/port-credit-s-intersections-reveal-its-poetic-past/>

Town of Port Credit Association (TOPCA), *Port Credit Neighbourhoods: Hiawatha-on-the-Lake*.

<https://www.topca.net/neighbourhoods/Hiawatha.htm>

13.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a *Master of Arts in Architectural History* from the University of Toronto and a *Diploma in Heritage Conservation* from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian & Conservation Specialist at Taylor Hazell Architects in Toronto, and 12 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION



FRONT ELEVATION

Phinney Real Estate



FRONT ELEVATION

Phinney Real Estate



REAR VIEW FROM LAKE ONTARIO

Phinney Real Estate



WOOD STEPS & METAL HAND RAILS AT THE FRONT ENTRANCE (original stone steps maybe below?)



EXTERIOR LIGHT FIXTURE? (appears to be an original feature set into the brick corner that may be intact beneath the protective covering)



FRONT ENTRANCE DOOR – WOOD WITH GLAZING



GEOMETRIC STONE TERRACE



FRONT ELEVATION – WOOD STORM WINDOWS



FRONT ELEVATION – WOOD CASEMENT WINDOWS



FRONT ELEVATION & CURVED STONE PLANTER



CURVED STONE STEPS AT THE SECONDARY ENTRANCE



SECONDARY ENTRANCE & GARAGE LINK



GARAGE & LINK STRUCTURE – note the 2nd floor corridor linking the house and garage and the brick arch below with an iron gate to the side yard



GARAGE INTERIOR – 1ST FLOOR



GARAGE INTERIOR – 1ST FLOOR – concrete block walls with wood framing above



GARAGE – wood casement windows



GARAGE – corner window



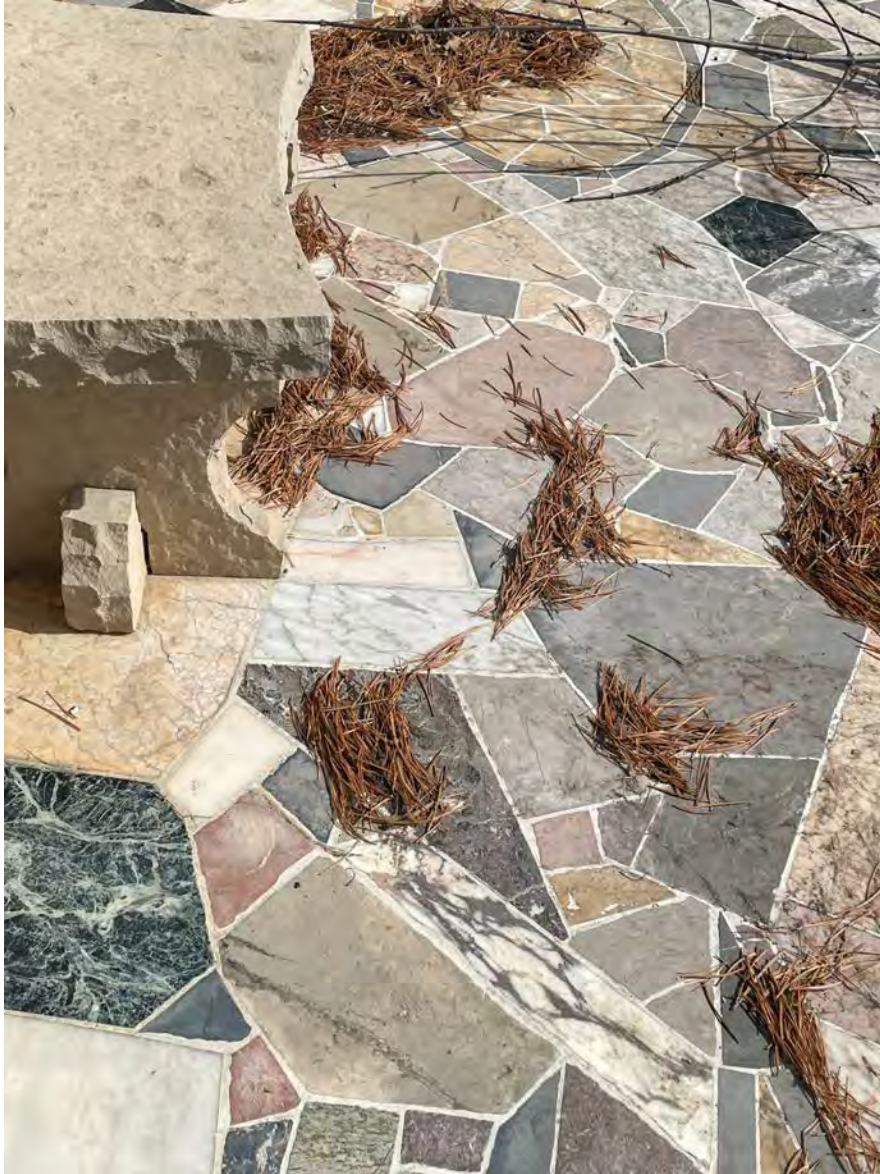
SIDE & REAR ELEVATION – end wall chimney - cantilevered balcony with metal railings



REAR YARD & VIEW TO LAKE ONTARIO



SIDE & REAR ELEVATION – cantilevered balcony with metal railings on the rear elevation



FLAGSTONE TERRACE



INTERIOR – 1ST FLOOR – LIVING ROOM & DINING ROOM



INTERIOR – 1ST FLOOR - FIREPLACE



INTERIOR – 1ST FLOOR - STUDY



INTERIOR – 1ST FLOOR - STUDY



INTERIOR – 1ST FLOOR - KTICHEN



INTERIOR – 1ST FLOOR – MAIN HALL



INTERIOR – MAIN STAIR



INTERIOR – MAIN STAIR



INTERIOR – 2ND FLOOR HALLWAY



INTERIOR – 2ND FLOOR - BATHROOM





INTERIOR – 2ND FLOOR - BEDROOM



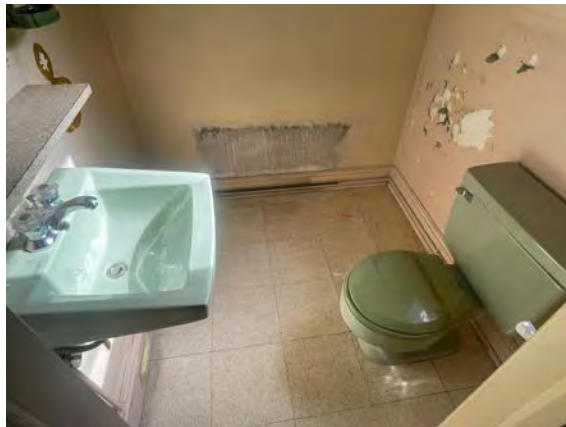
INTERIOR - BASEMENT



INTERIOR – GARAGE LINK – 2ND FLOOR – large shear crack through the plaster



INTERIOR - GARAGE – 2ND FLOOR - BEDROOM



INTERIOR – GARAGE – 2ND FLOOR - BATHROOM



INTERIOR - GARAGE – 2ND FLOOR - BEDROOM – corner window

APPENDIX B: POTENTIAL SALVAGE ITEMS



BUFF BRICK – salvaged brick can be used as a repair material



EXTERIOR DOORS



IRON GARDEN GATE



INTERIOR DOORS & ORIGINAL HARDWARE



INTERIOR LIGHT FIXTURES



BATHROOM FIXTURES



KITCHEN SINK



LAUNDRY SINK



OAK PARQUET FLOORING



WOOD WALL PANELING



DOOR CHIME

Notice of Intention to Pass a By-Law to Designate 60 Cumberland Drive to be of Cultural Heritage Value and Interest Pursuant to the Provisions of the *Ontario Heritage Act* (R.S.O. 1990, Chapter 0.18)

Take Notice that the Council of The Corporation of the City of Mississauga intends to pass a by-law under Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, to designate the lands and premises located at 60 Cumberland Drive (Ward 1) in the City of Mississauga, in the Province of Ontario as of October 27, 2021 (GC-0542-2021).

The subject property is a residential property located at 60 Cumberland Drive.

Statement of Cultural Heritage Value or Interest

The house at 60 Cumberland Drive, known as the Samit-Linke House, was constructed circa 1940 for Agnes and silversmith Kurt Linke. Based on oral history, Alfred A. Samit designed the house. Samit had a “colourful” life, including participating in the Russian Revolution before fleeing to Germany. The house is unique and well designed; it offers a pleasing interplay of rectilinear forms with subtle asymmetry to create visual interest. With remnants of Art Nouveau mixed with the simplicity of high Modernism, it exhibits early International Style architecture.

The property has design value because it is a rare surviving example of an International Style house in Mississauga. It also displays artistic merit. The Province defines “artistic merit” as “showing imaginative skill in arrangement or execution.”

Built and designed by European immigrants, in an avant-garde style, the property has contextual value because it is a local landmark due to its distinct style.

Heritage Attributes

- Flat roof
- Monochromatic colour
- Overall shape and form based on rectilinear volumes, combination of symmetry and asymmetry, i.e. central bay and garage section to side, including chimney
- Balance of symmetrical and asymmetrical arrangement of fenestration
- Elongated vertical window in front bay
- Simplicity, i.e. simple sills, no window or door surrounds, no cornices or lintels
- Multipaned steel frame windows, panes with horizontal emphasis
- Small windows compared to building mass
- Corner window above the garage
- Its visibility from Cumberland Drive
- Cantilevered second floor in rear
- Offset bricks that form horizontal lines
- The circular driveway which provides access to the garage and front entrance – this was likely part of the original design

Further information respecting the notice of intention to designate the property is available from the municipality upon request at heritage.planning@mississauga.ca or 905-615-3200, ext. 4061.

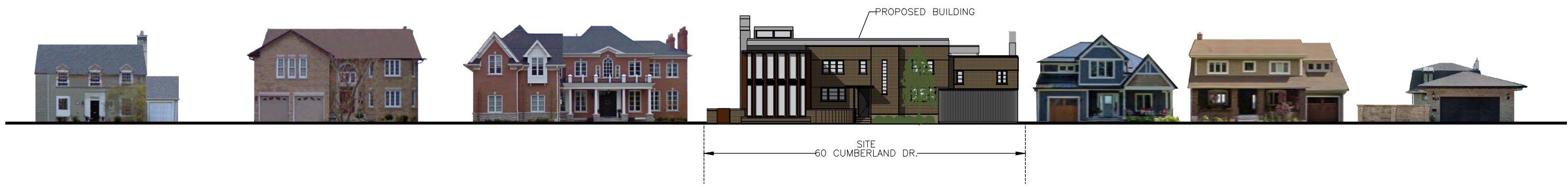
Any notice of objection to this notice of intention to designate the property, setting out the reason for objection and all relevant facts, must be served upon the City Clerk within 30 days of the first publication of this notice. **Notice of objection to the designation may be served on the City no later than 4:30 p.m. on December 14, 2023** to the following address: City Clerk, The Corporation of the City of Mississauga, 300 City Centre Drive, 2nd floor, Mississauga, ON, L5B 3C1.

Dated at the City of Mississauga

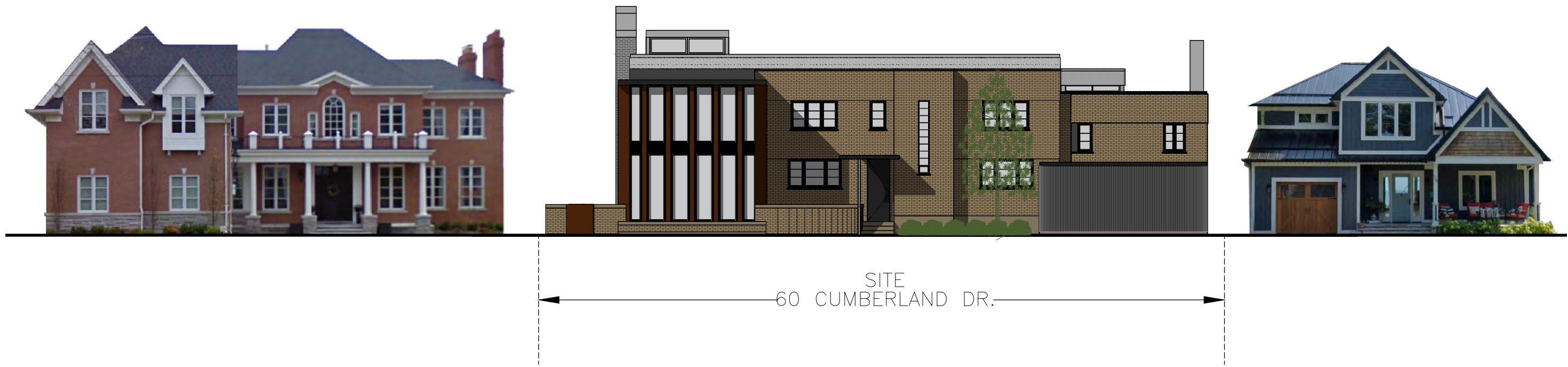
Diana Rusnov, City Clerk

This 14th day of November, 2023

City of Mississauga



1 STREETScape ALONG CUMBERLAND DR.

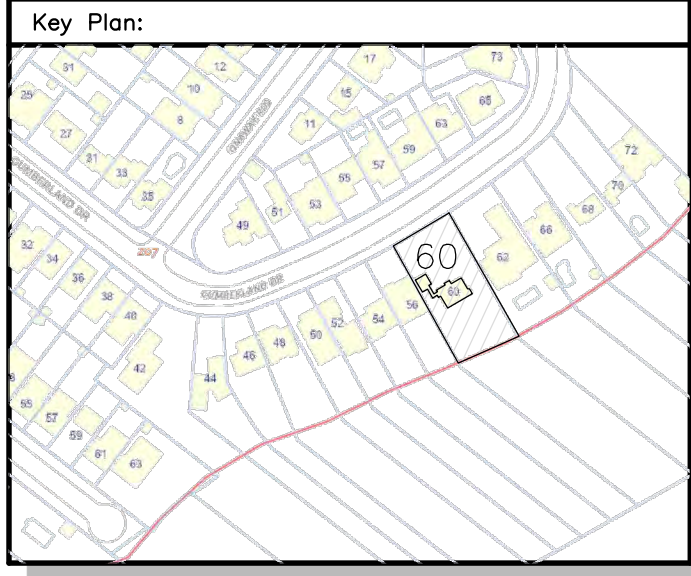
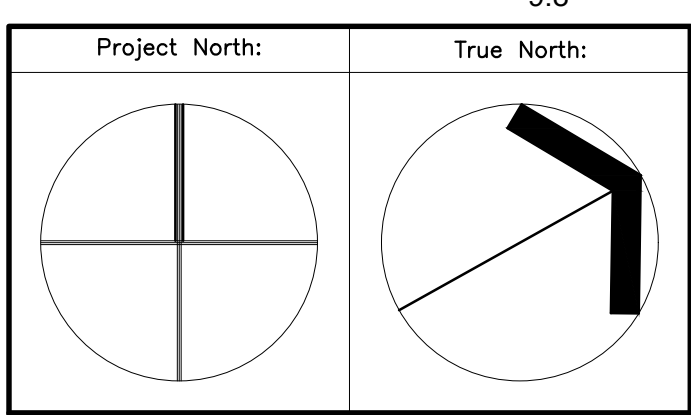
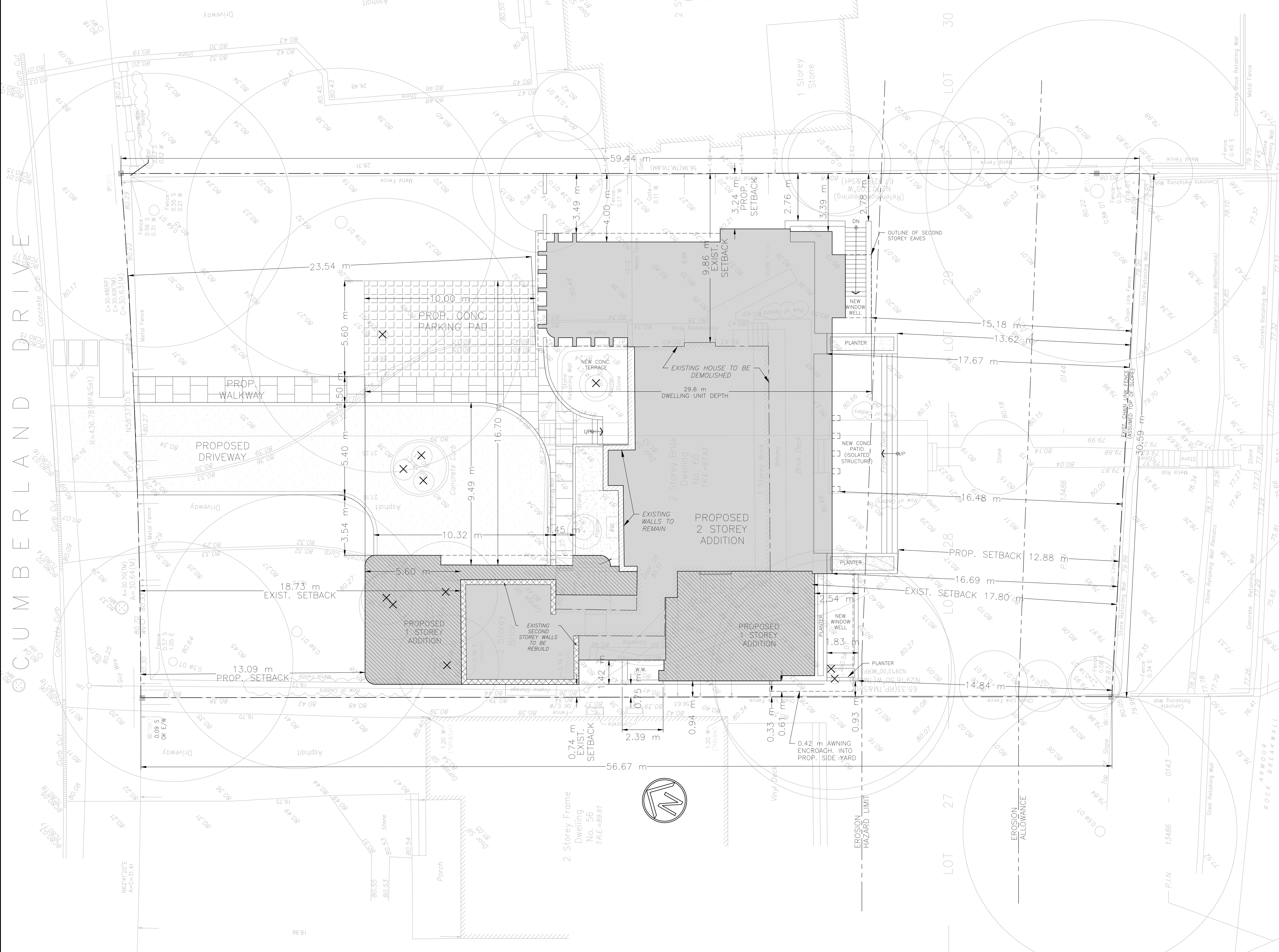


2 PARTIAL STREETScape ALONG CUMBERLAND DR.

ZONING STATISTICS			
MUNICIPAL ADDRESS	60 CUMBERLAND DR, MISSISSAUGA ON	LOT AREA	1769.62 m ²
ZONE	R15-9	AVERAGE GRADE	80.22 m

VAR. ID	DESCRIPTION	EXISTING	PROPOSED	DIFFERENCE FROM EXISTING	REQ. AS PER ZONING BY-LAW 0225-2007	
	LOT COVERAGE:	181.48 m ²	466.43 m²	ADD. 284.95 m ²	—	
	LOT COVERAGE %	10.26 %	26.36 %	ADD. 16.10 %	MAX. 30 %	
	GROSS FLOOR AREA (GFA):					
	Basement	76.87 m ²	313.72 m²	ADD. 236.85 m ²	—	
	First Floor	136.32 m ²	347.86 m²	ADD. 211.54 m ²	—	
	Second Floor	157.45 m ²	337.52 m²	ADD. 180.07 m ²	—	
	TOTAL:	370.64 m ²	999.10 m²	ADD. 628.46 m ²	—	
	GFA %:	20.94 %	56.46 %	ADD. 35.52 %	N/A	
	FRONT YARD SETBACK	18.73 m	13.09 m	LESS 5.64 m	MIN 12.0 m	
	REAR YARD SETBACK	17.80 m	12.88 m	LESS 4.92 m	MIN 7.5 m	
	INTERIOR YARD (EAST) SETBACK	9.86 m	3.24 m	LESS 6.62 m	MIN 1.2 m	
2	INTERIOR YARD (WEST) SETBACK	0.74 m	0.74 m	—	MIN 1.2 m	*
3	BUILDING HEIGHT (FLAT ROOF)	7.71 m	9.5 m	ADD. 1.79 m	MAX 7.5 m	*
5	DWELLING DEPTH	18.14 m	29.6 m	ADD. 11.46 m	MAX 20.0 m	*
1	PROJECTION OF GARAGE BEYOND THE FRONT WALL OR EXTERIOR SIDE WALL OF THE SECOND STOREY	0.0 m	5.60 m	ADD. 5.60 m	MAX 0.0 m	*
	DRIVEWAY WIDTH	8.78 m	5.40 m	LESS 3.38 m	MAX 8.5 m	
4	HEIGHT OF EAVES FROM AVERAGE GRADE	3.92 m	9.2 m	ADD. 5.28 m	MAX 6.4 m	*
	FRONT YARD AREA	583.13 m ²	412.59 m²	LESS 170.54 m ²	—	
	PAVED AREA IN FRONT YARD	143.91 m ²	92.97 m²	LESS 50.94 m ²	—	
	PAVED AREA % OF FRONT YARD	24.7 %	22.5 %	LESS 2.2%	MAX 50%	
6	RANGE OF INCREASED DRIVEWAY WIDTH (10.5 m) FROM GARAGE FACE	—	16.70 m	—	MAX 6.0 m	*
7	ENCROACHMENT OF AWNING INTO SIDE YARD	0.00 m	0.42 m	ADD. 0.42 m	MAX 0.00 m	*

* VARIANCE



No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

Note:
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 LICENCE 3216

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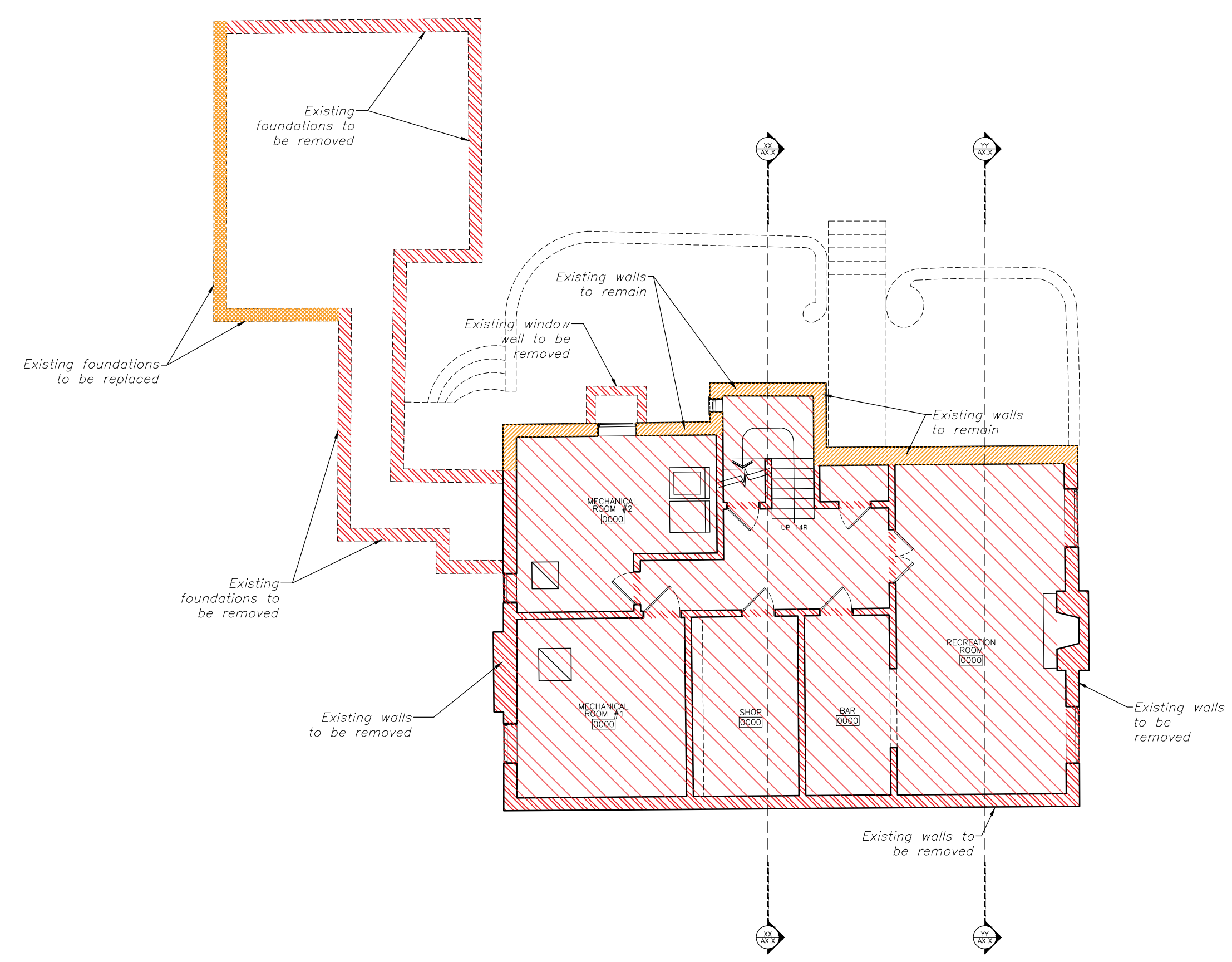
Project:
Residence
 60 Cumberland Dr
 Mississauga, ON

Sheet Title:
**Design Development
 Site Plan**

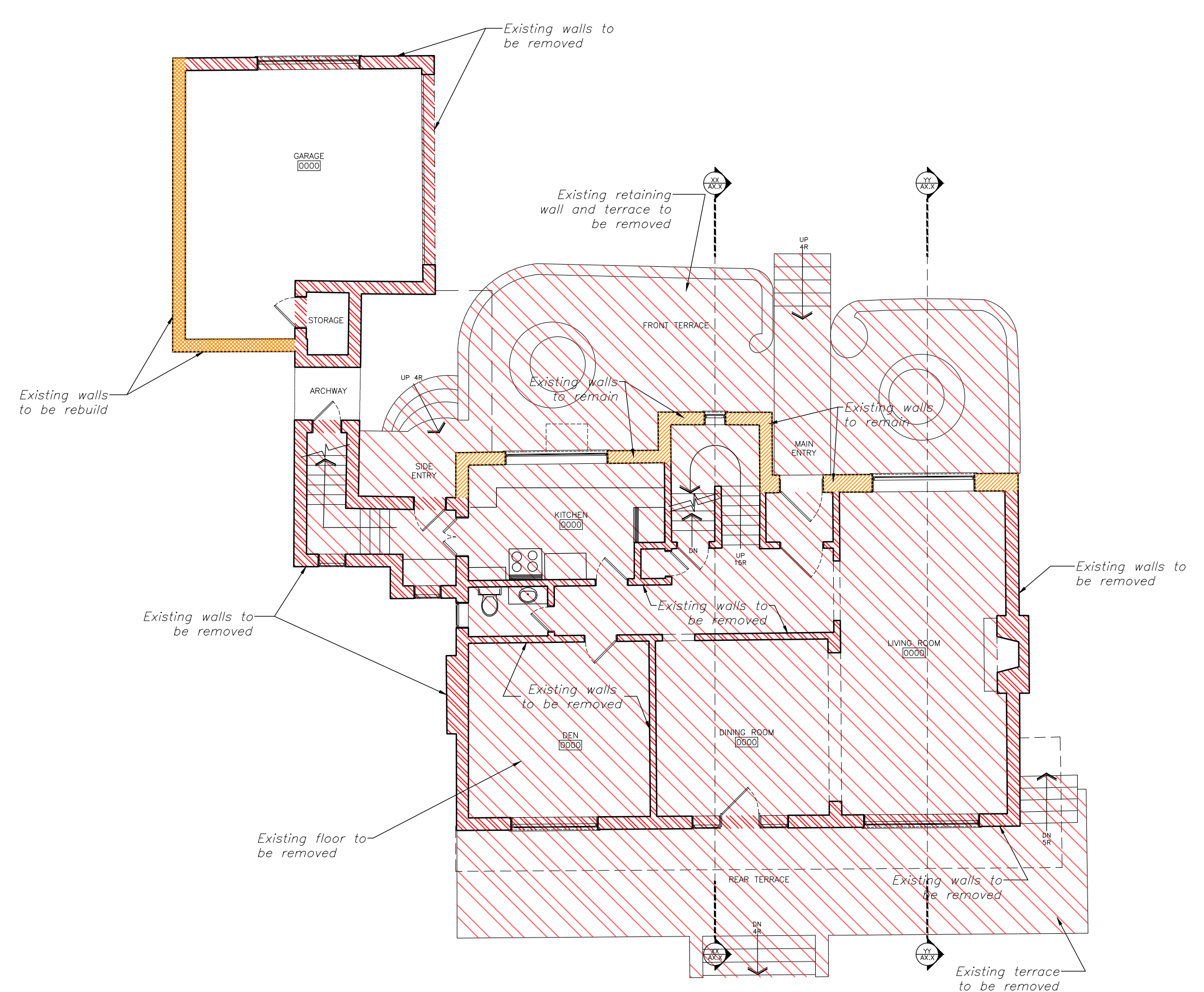
Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 1/8" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13

Drawing No.:
A0.1
 or:
 2024-04-02

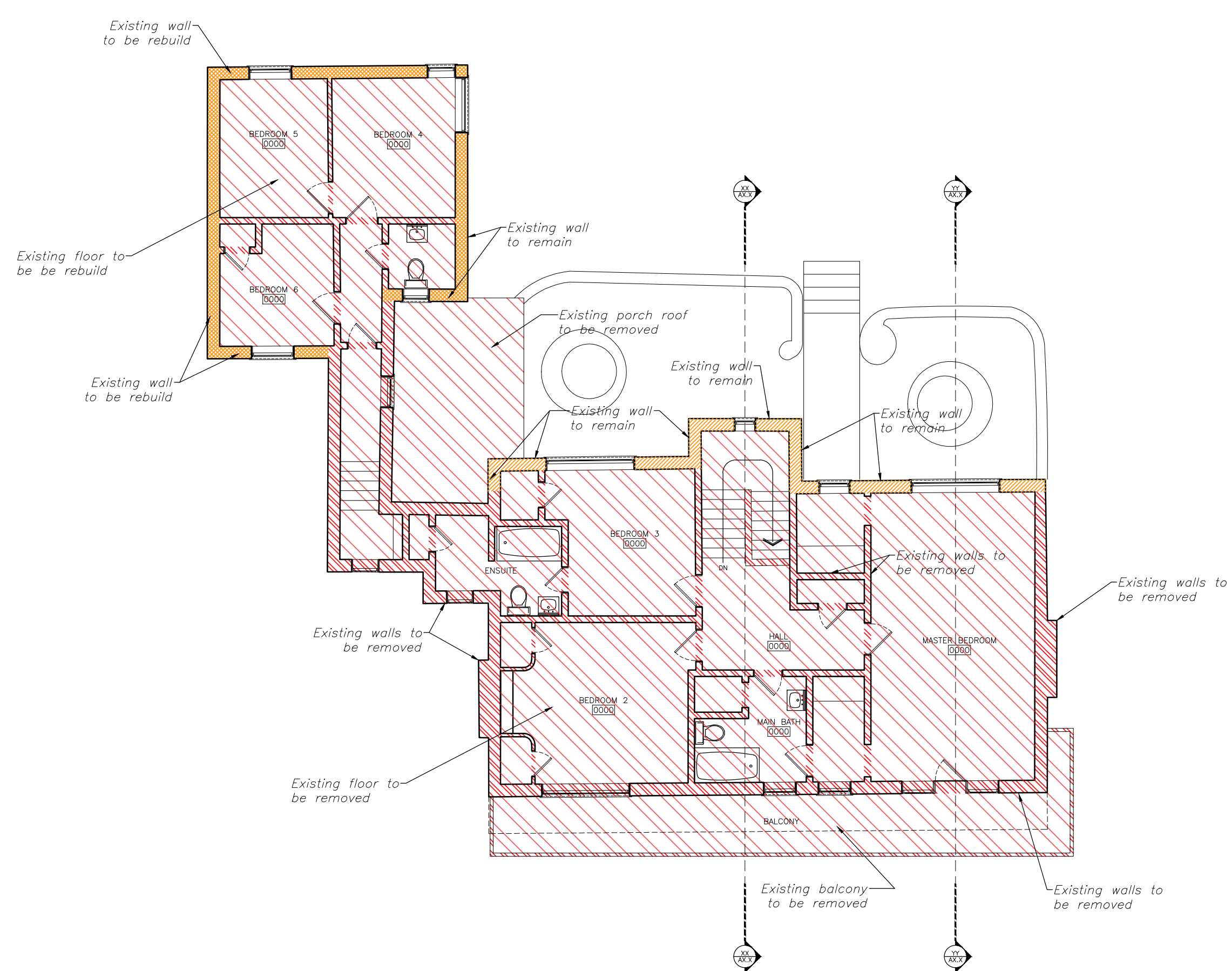
Project North:	True North:
Key Plan:	



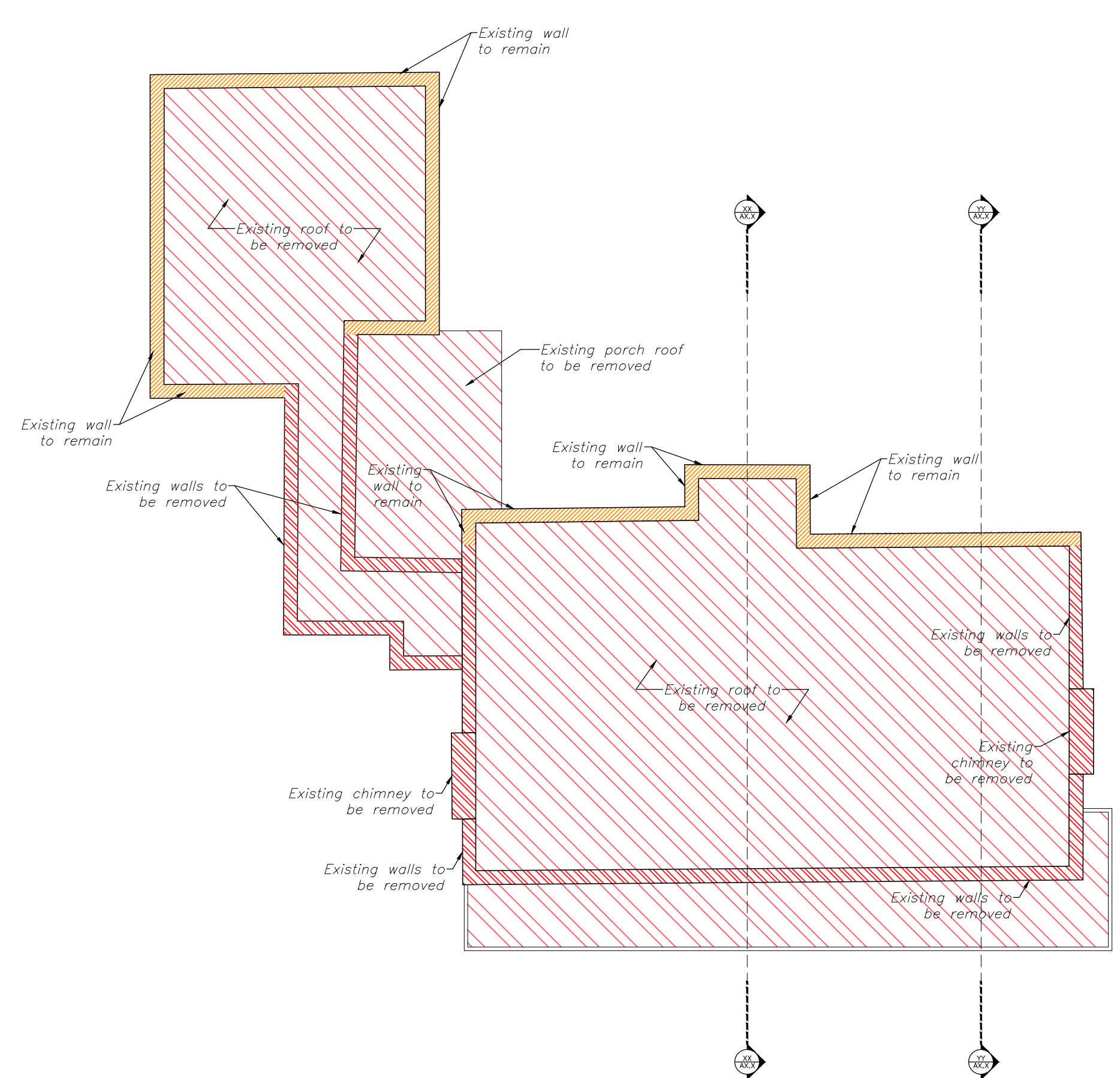
1 BASEMENT PLAN – EXISTING
 A1.1 Scale: 1/8" = 1'-0"



2 FIRST FLOOR PLAN – EXISTING
 A1.1 Scale: 1/8" = 1'-0"



3 SECOND FLOOR PLAN – EXISTING
 A1.1 Scale: 1/8" = 1'-0"



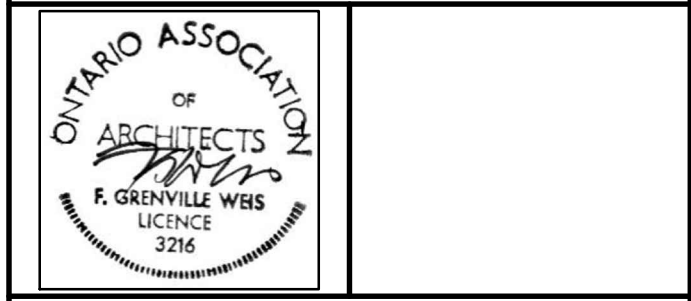
4 ROOF PLAN – EXISTING
 A1.1 Scale: 1/8" = 1'-0"

LEGEND

- Existing walls to be retained
- Existing walls to be rebuilt
- Existing walls to be removed
- Existing floor/roofs to be removed

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

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Project:

Residence
 60 Cumberland Dr
 Mississauga, ON

Sheet Title:

**EXISTING PLANS
 DEMOLITION**

Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 1/8" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13

Drawing No:

A1.1

of:

2024-04-02

Project North:	True North:
Key Plan:	

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

No.	Date:	Issue/Revision	By:

Note:
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Ontario L6K 3B7
Tel (905) 842-1314

Project:
Residence
60 Cumberland Dr
Mississauga, ON

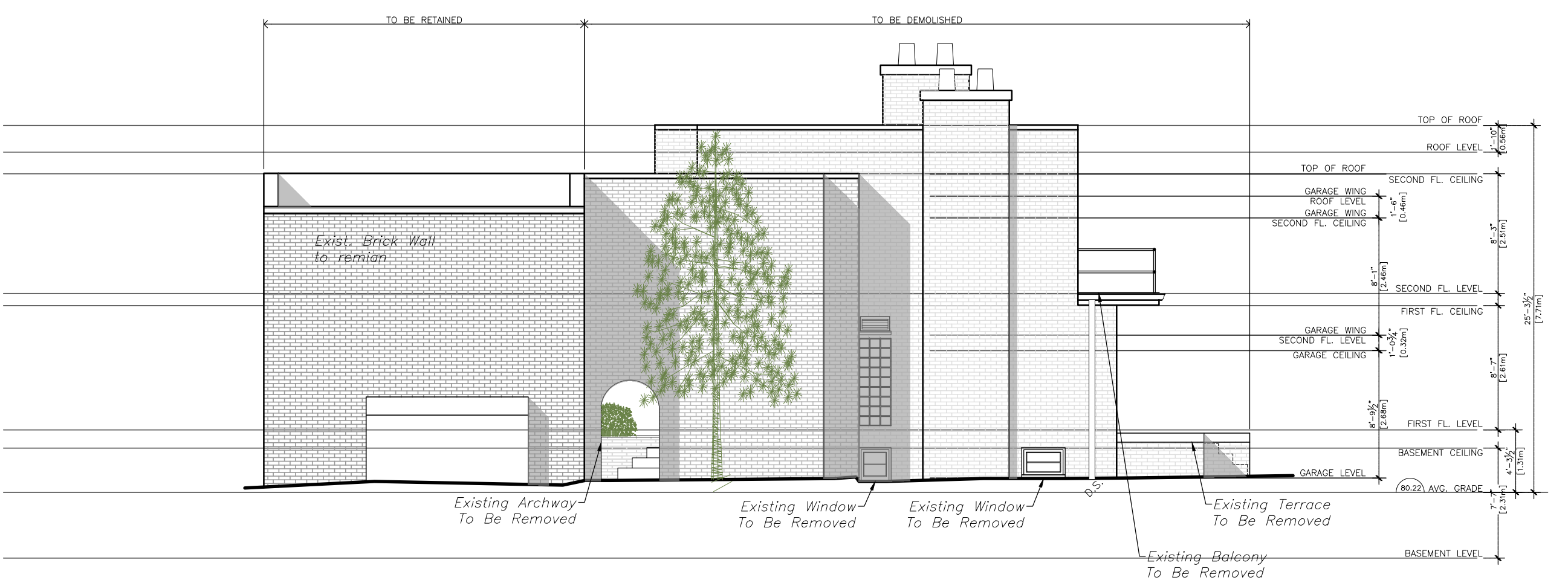
Sheet Title:
**EXISTING ELEVATION
EXISTING SECTIONS
DEMOLITION**

Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 1/8" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13

Drawing No:
A1.2 of:



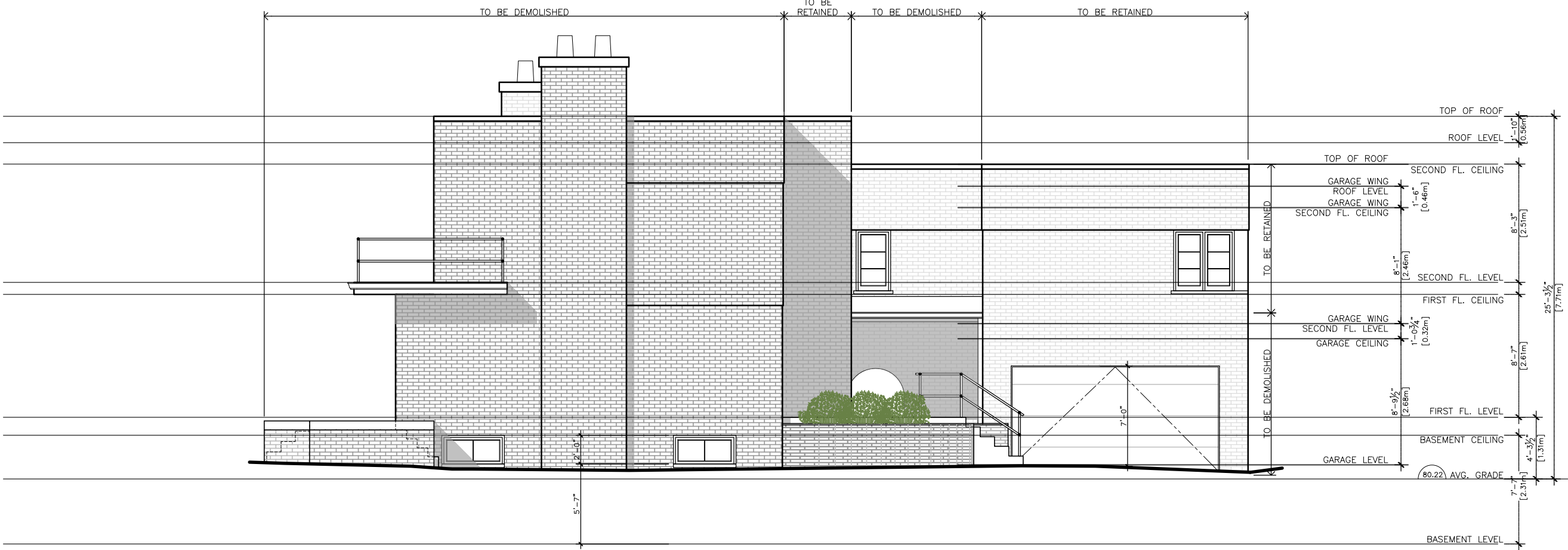
1 NORTH ELEVATION - EXISTING
A1.2 Scale: 1/8" = 1'-0"



2 NORTH ELEVATION - EXISTING
A1.2 Scale: 1/8" = 1'-0"



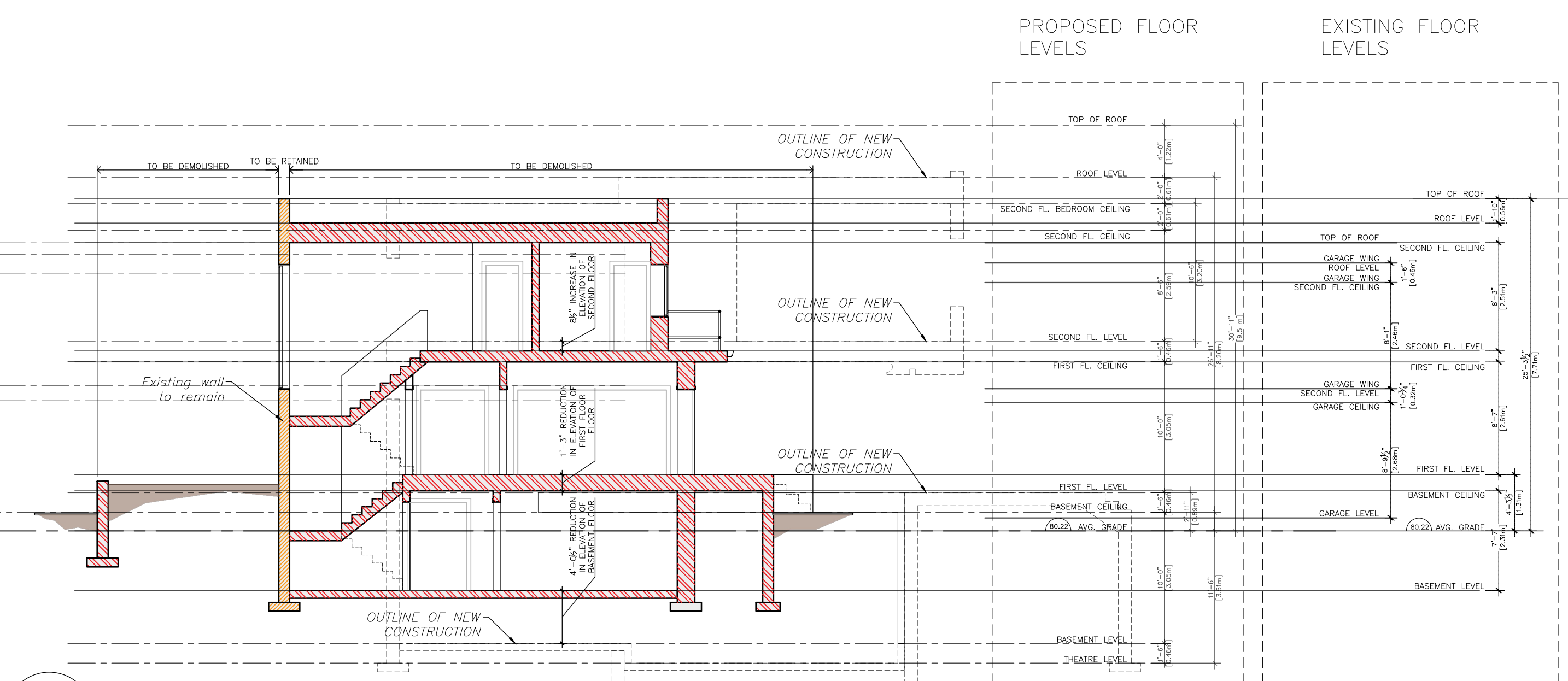
3 NORTH ELEVATION - EXISTING
A1.2 Scale: 1/8" = 1'-0"



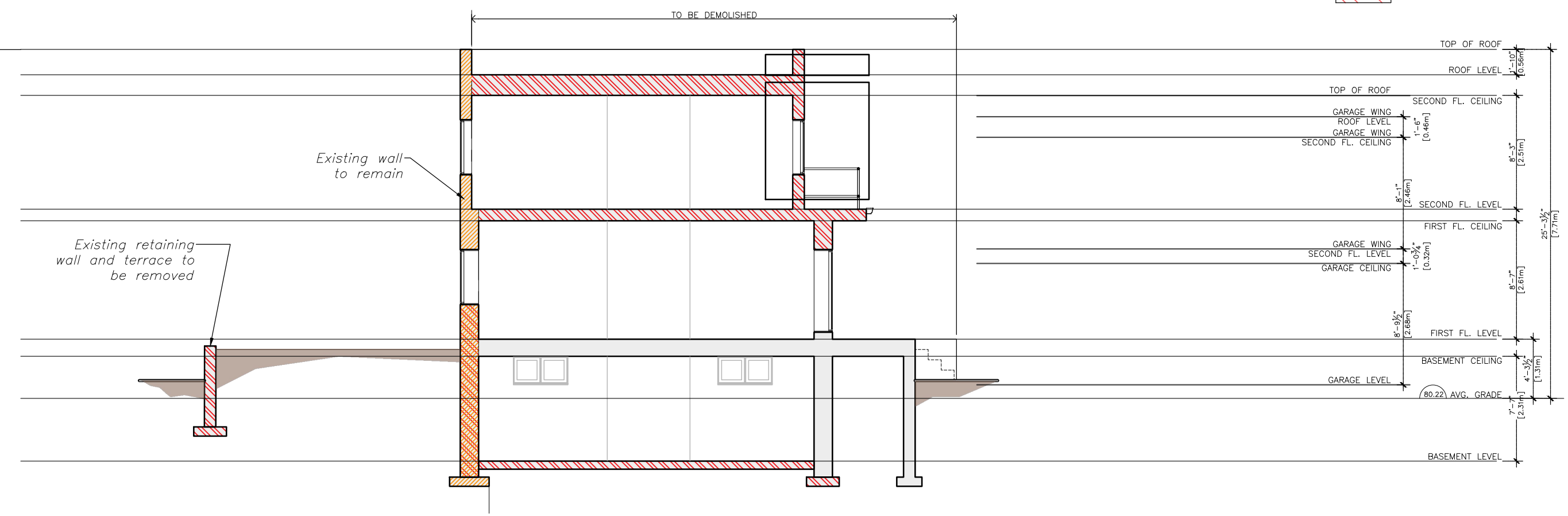
4 NORTH ELEVATION - EXISTING
A1.2 Scale: 1/8" = 1'-0"

LEGEND

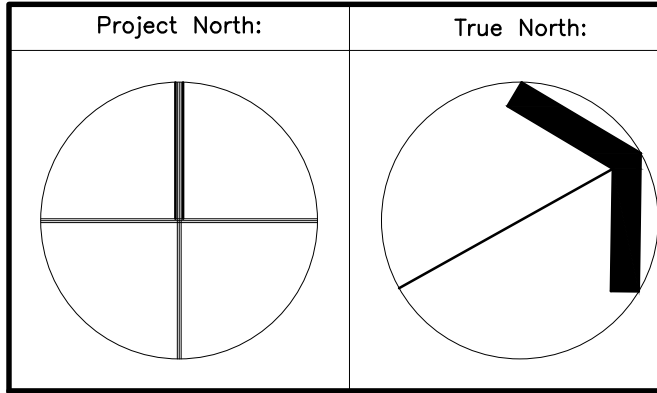
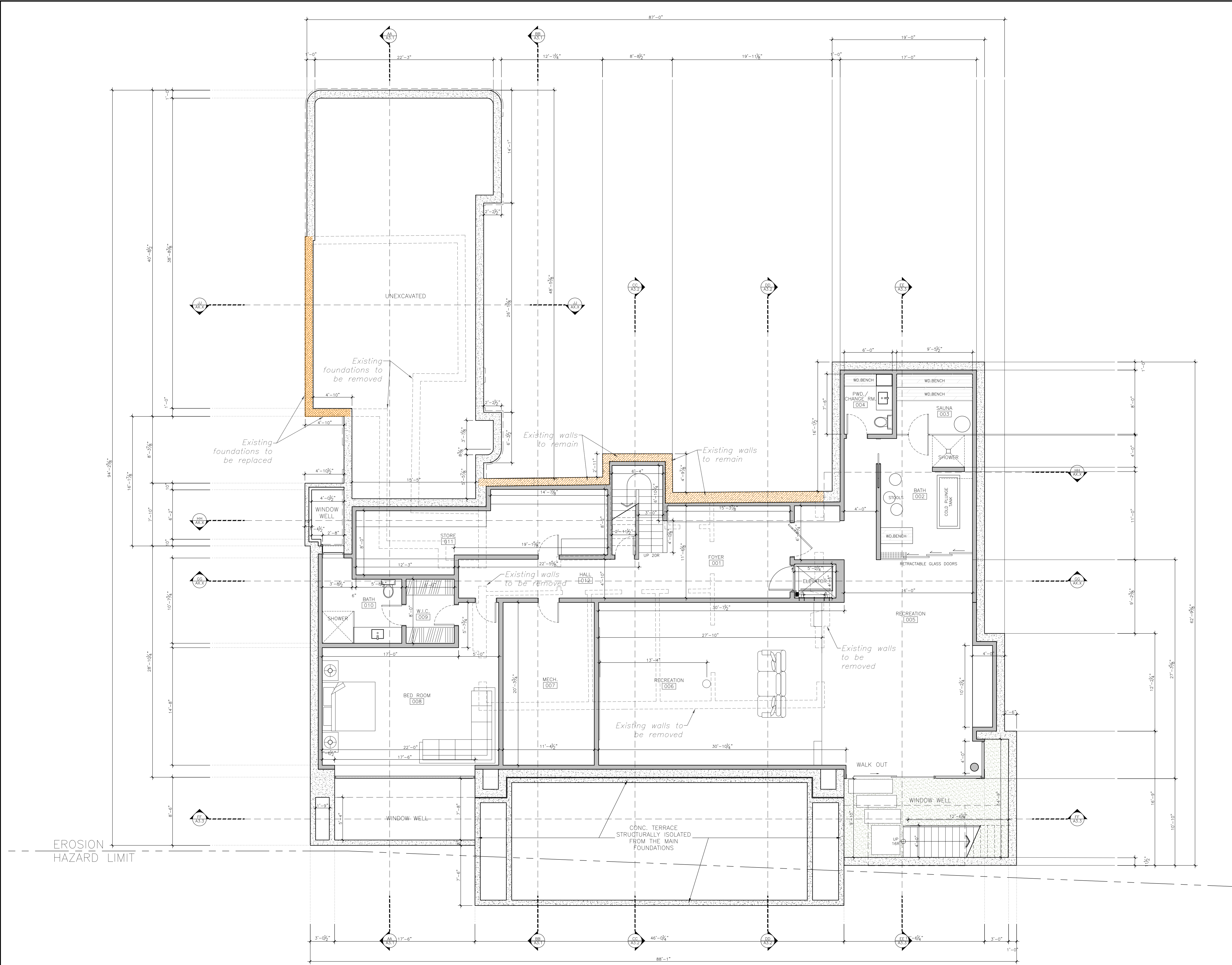
- Existing walls to be retained
- Existing walls to be rebuilt
- Existing walls to be removed
- Existing floor/roofs to be removed



5 SECTION XX - EXISTING
A1.2 Scale: 1/8" = 1'-0"



6 SECTION YY - EXISTING
A1.2 Scale: 1/8" = 1'-0"



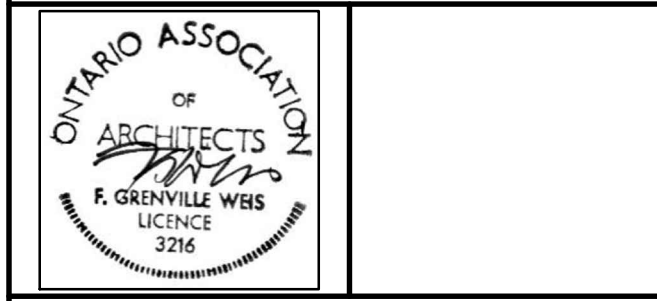
Key Plan:

No.	Date:	Issue/Revision	By:

No.	Date:	Issue/Revision	By:

Drawing Issues/Revisions:

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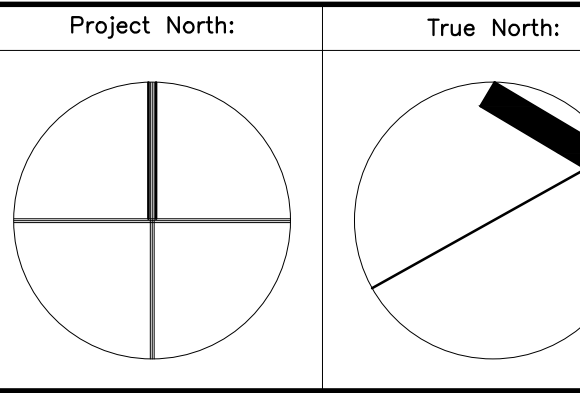
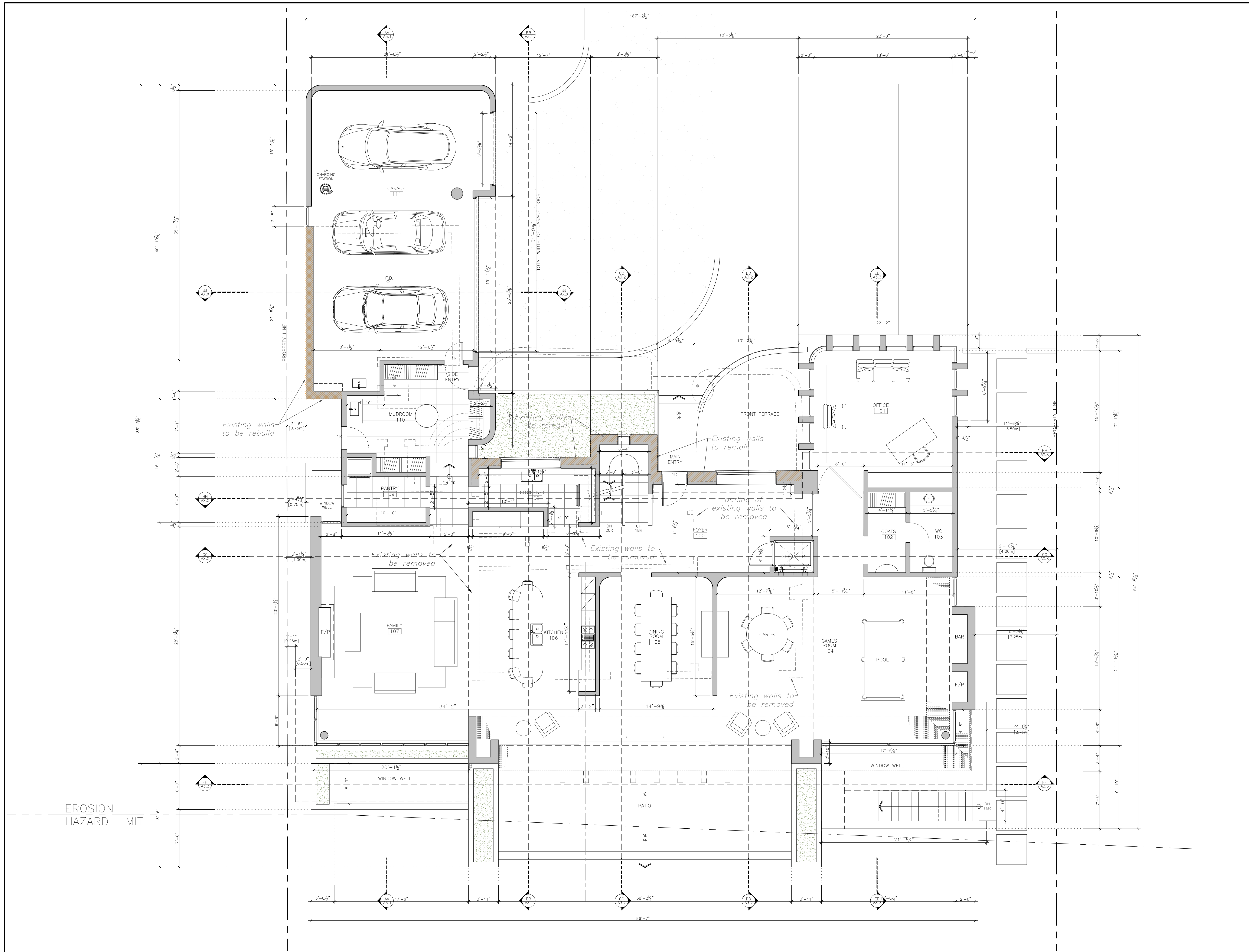
GREY WEIS ARCHITECT AND ASSOCIATES
341 Kerr Street
Suite 210 Oakville
Ontario L6K 3B7
Tel (905) 842-1314

Project:
Residence
60 Cumberland Dr
Mississauga, ON

Sheet Title:
Design Development
Basement Floor Plan
PROPOSED

Design By: G.W.
Drawn By: A.S.
Approved By: G.W.
Scale: 3/16" = 1'-0"
Drawing Start: 2024-01-23
Project No.: ROPOSED

Drawing No: **A2.1**



Key Plan:

No.	Date:	Issue/Revision	By:

Drawing Issues/Revisions:

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Architect: Gren Weis Architect and Associates
Consultant: F. Grenville Weis

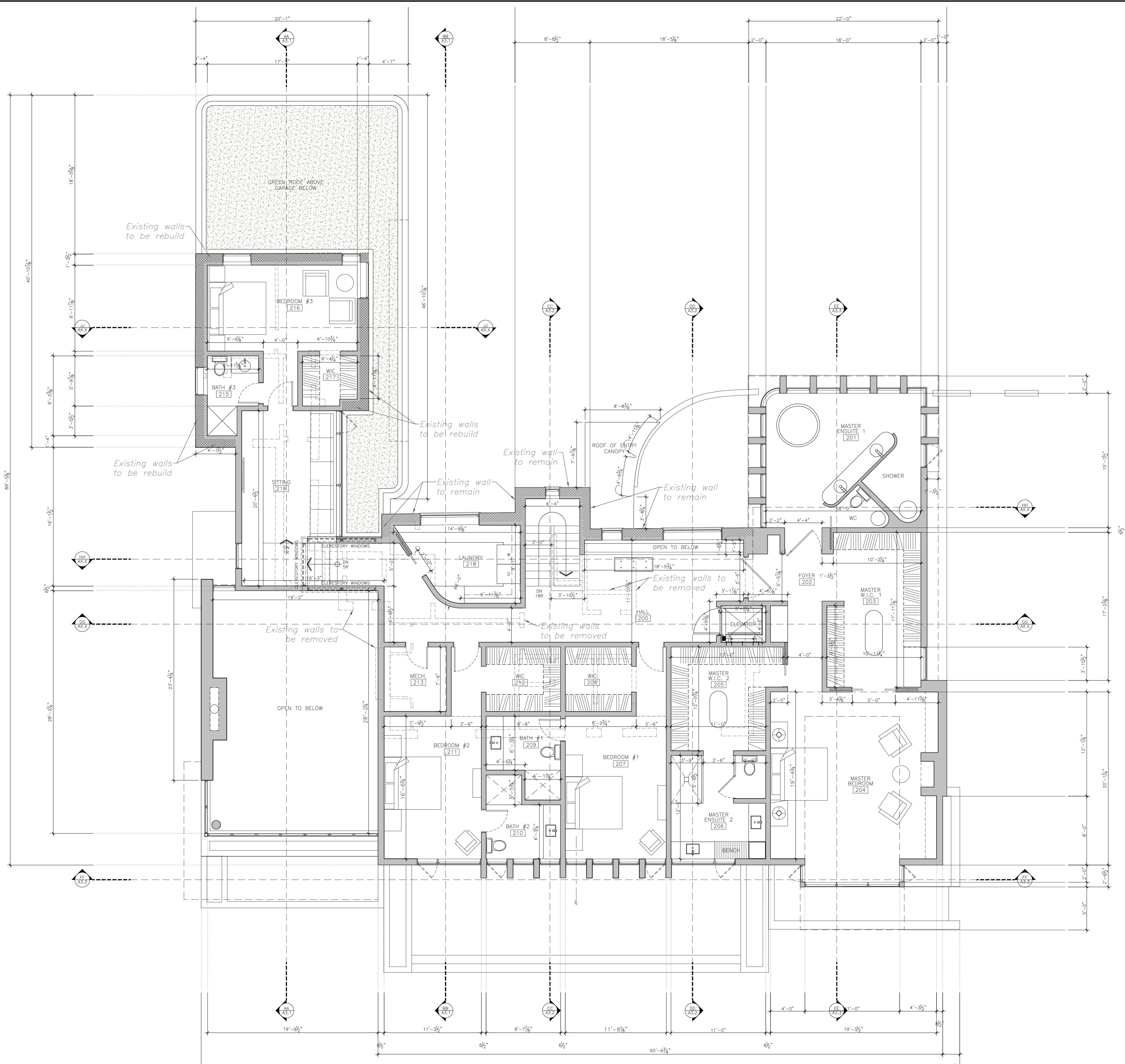
GREN WEIS ARCHITECT AND ASSOCIATES
341 Kerr Street
Suite 210 Oakville
Ontario L6K 3B7
Tel (905) 842-1314

Project: **Residence**
60 Cumberland Dr
Mississauga, ON

Sheet Title:
**Design Development
First Floor Plan
PROPOSED**

Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 3/16" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13

Drawing No: **A2.2** Of:
2024-04-02



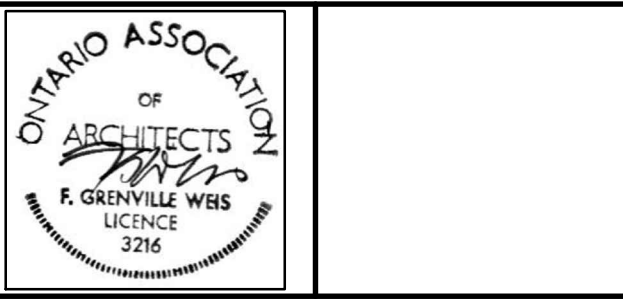
Project North:	True North:		
Key Plan:			
No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			
Note:			
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		Consultant	
GREY WEIS ARCHITECT AND ASSOCIATES			
341 Kerr Street Suite 210 Oakville Ontario L6K 3B7 Tel (905) 842-1314			
Project:			
Residence			
60 Cumberland Dr			
Mississauga, ON			
Sheet Title:			
Design Development Second Floor Plan PROPOSED			
Design By:	Drawn By:	Approved By:	
G.W.	A.S.	G.W.	
Scale:	Drawing Start:	Project No.:	
3/16" = 1'-0"	2024-01-23	23.13	
Drawing No:			
A2.3			
Of:			
2024-04-02			

Project North:	True North:
Key Plan:	

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

No. Date: Issue/Revision By:

Note:
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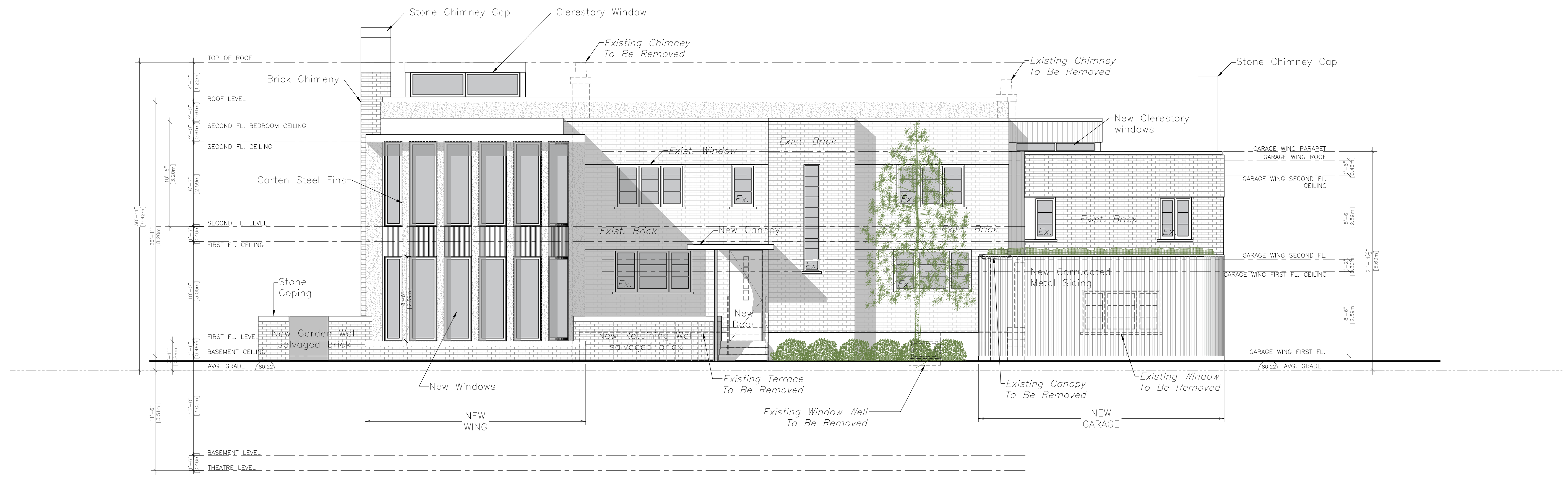
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 341 Kerr Street
 Suite 210 Oakville
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 Tel (905) 842-1314

Project:
Residence
 60 Cumberland Dr
 Mississauga, ON

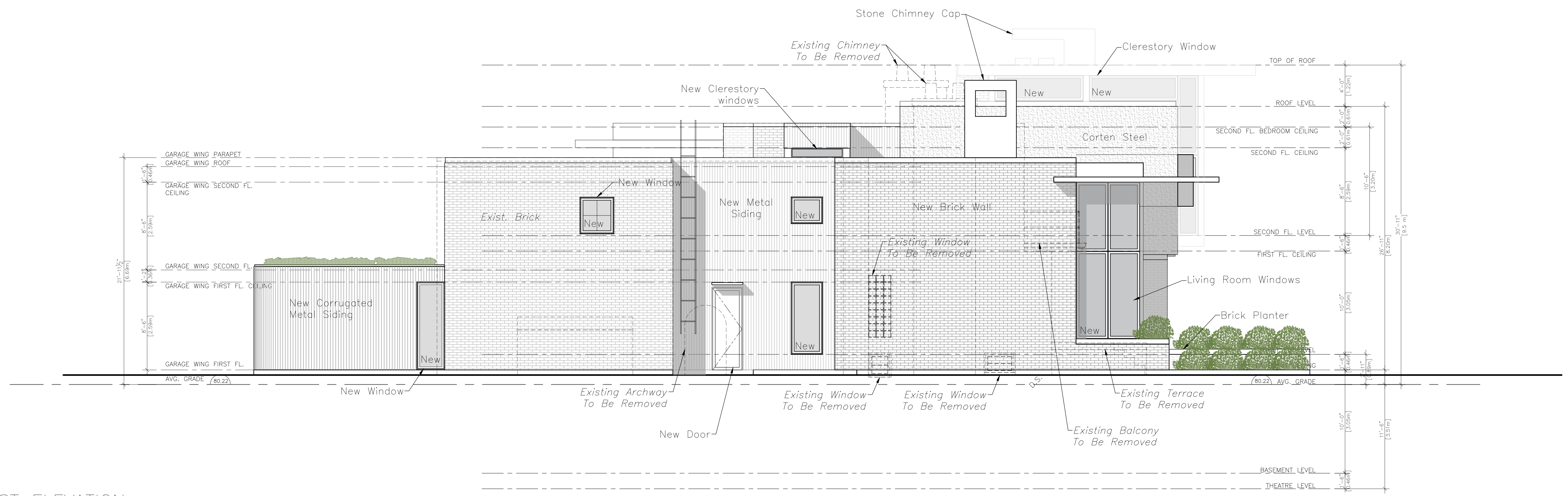
Sheet Title:
Design Development Elevations North and East PROPOSED

Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 3/16" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13

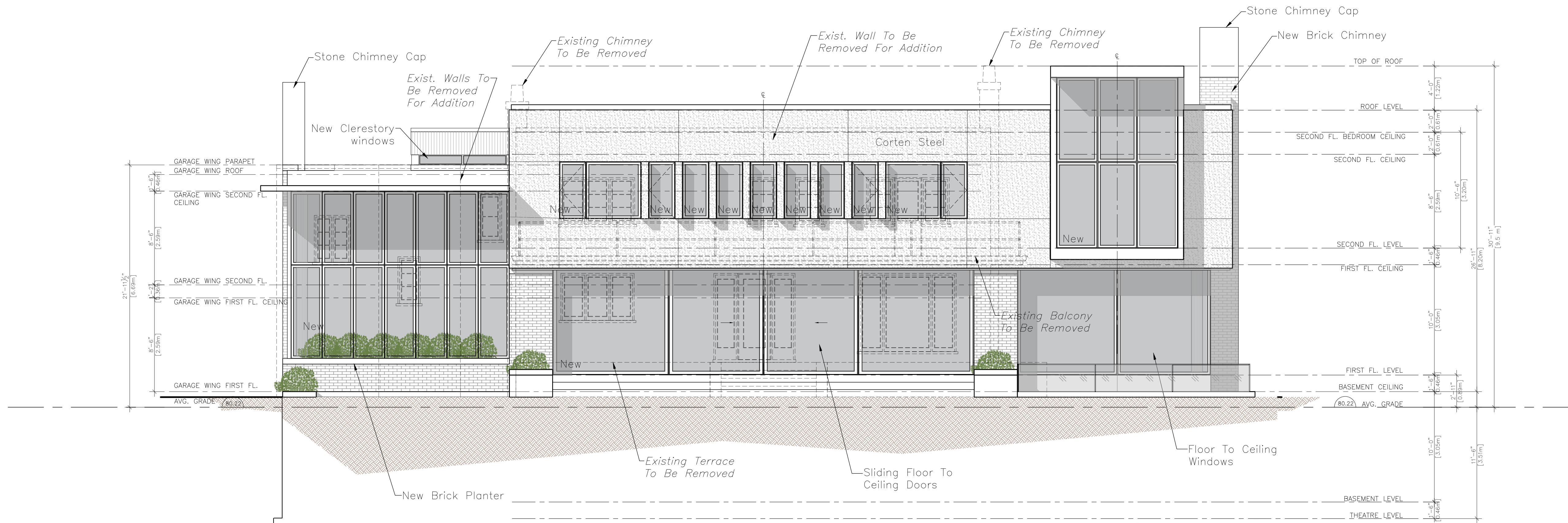
Drawing No:
A3.1
 of:
 2024-04-02



1 NORTH ELEVATION
 A3.1 Scale: 3/16" = 1'-0"



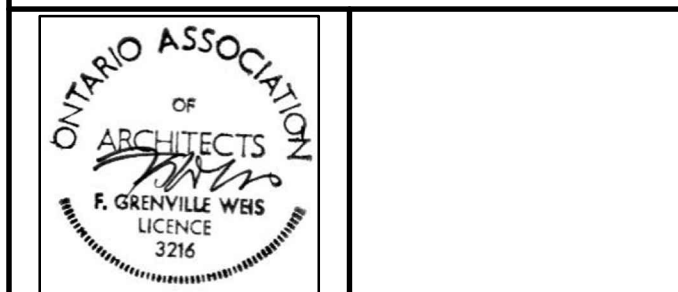
2 WEST ELEVATION
 A3.1 Scale: 3/16" = 1'-0"



1 SOUTH ELEVATION
 A3.2 Scale: 3/16" = 1'-0"

Project North:	True North:		
Key Plan:			
No.	Date:	Issue/Revision:	By:
Drawing Issues/Revisions:			

Note:
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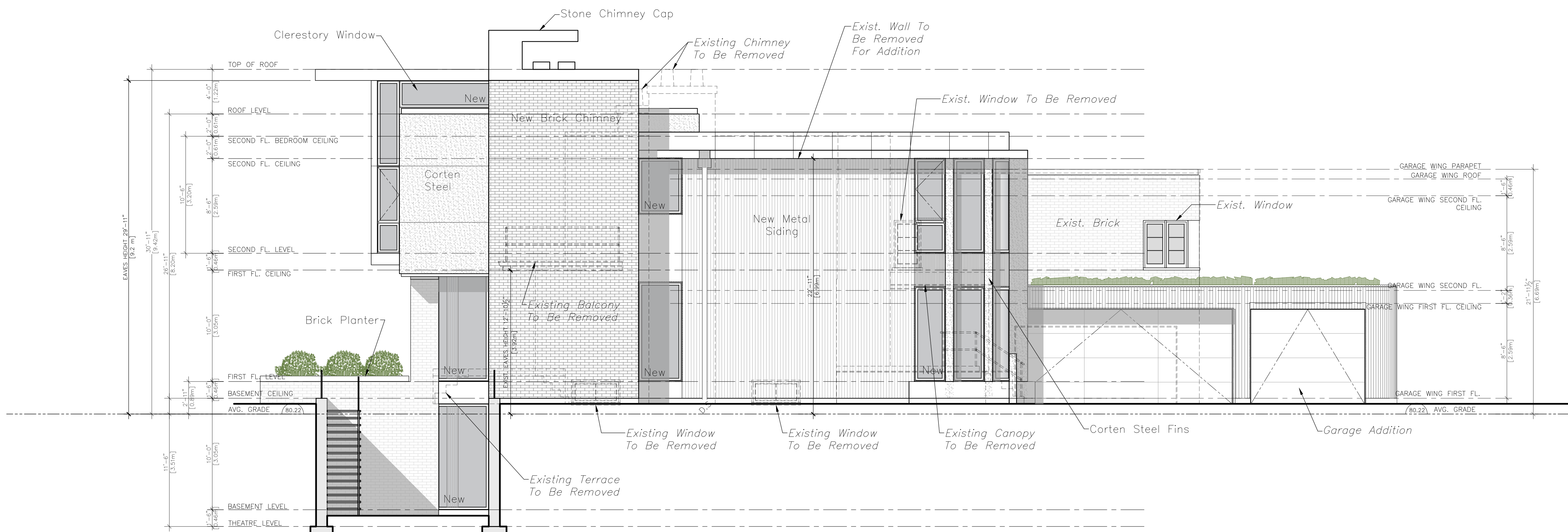


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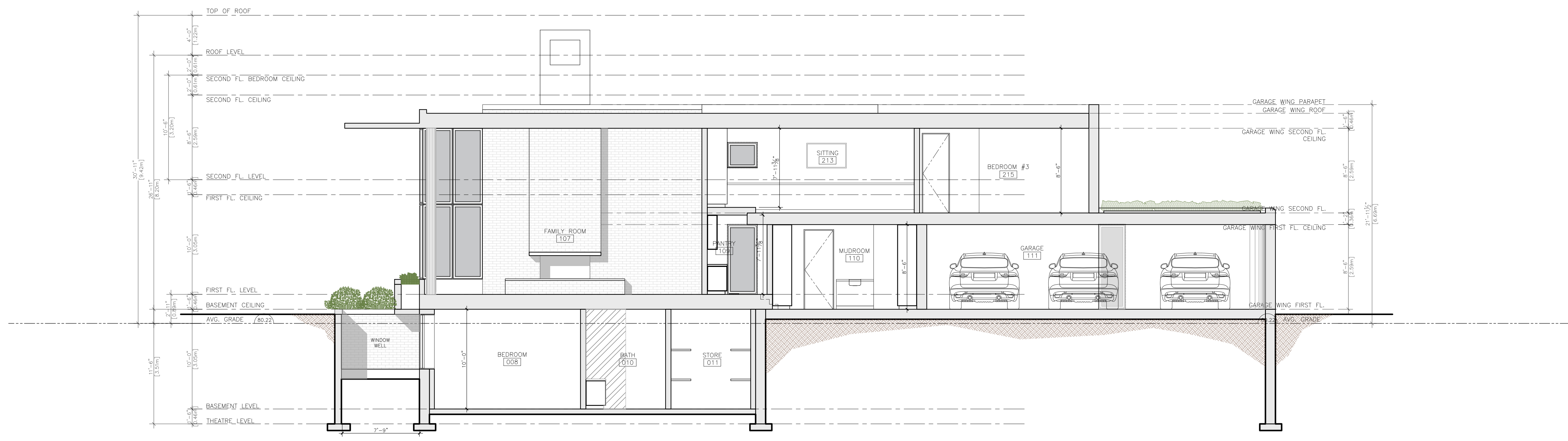
Project:
Residence
 60 Cumberland Dr
 Mississauga, ON

Sheet Title:
Design Development Elevations South and West PROPOSED

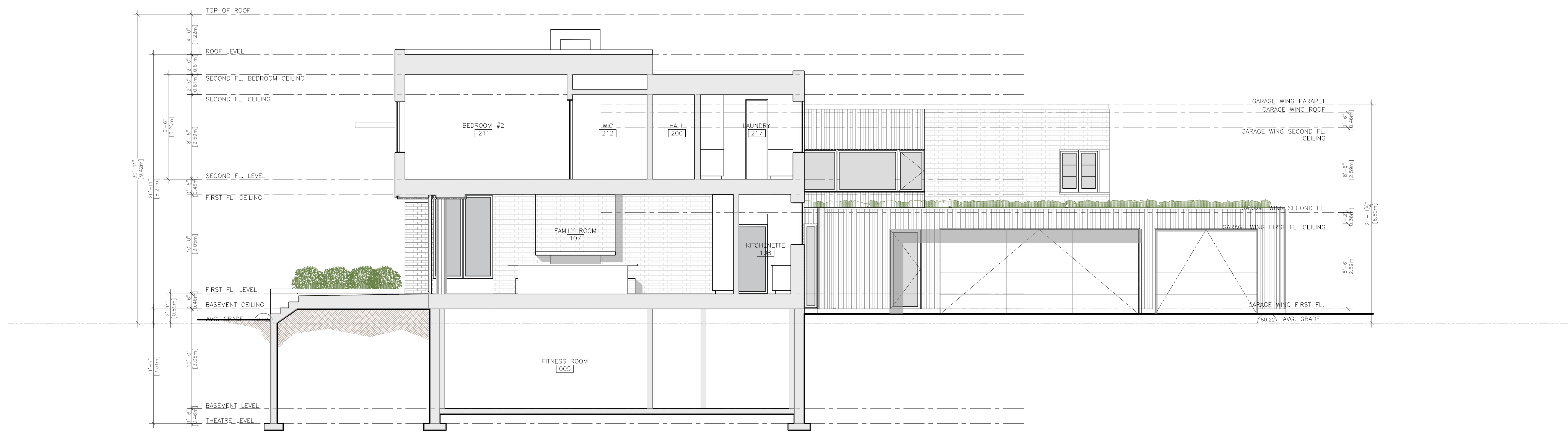
Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 3/16" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13
Drawing No:		
A3.2		
of:		
2024-04-02		



2 EAST ELEVATION
 A3.2 Scale: 3/16" = 1'-0"



1 SECTION AA
A4.1 Scale: 3/16" = 1'-0"

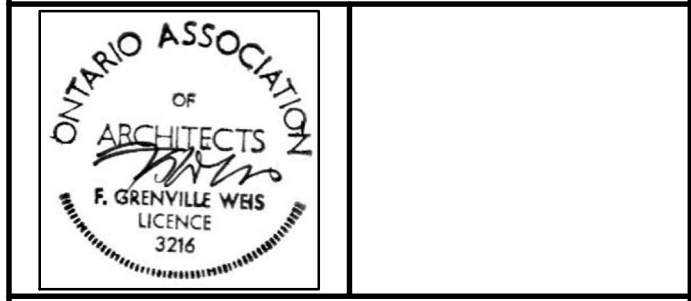


2 SECTION BB
A4.1 Scale: 3/16" = 1'-0"

Project North:	True North:
Key Plan:	

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

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Architect Consultant
GREN WEIS ARCHITECT AND ASSOCIATES
341 Kerr Street
Suite 210 Oakville
Ontario L6K 3B7
Tel (905) 842-1314
Project:
Residence
60 Cumberland Dr
Mississauga, ON

Sheet Title: Design Development Sections PROPOSED		
Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 3/16" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13
Drawing No: A4.1 of:		
2024-04-02		

Project North:	True North:
Key Plan:	

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

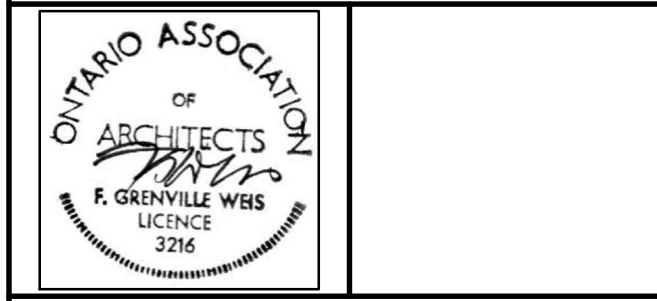
Note:
CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH THE LATEST ONTARIO BUILDING CODE STANDARDS.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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Project:

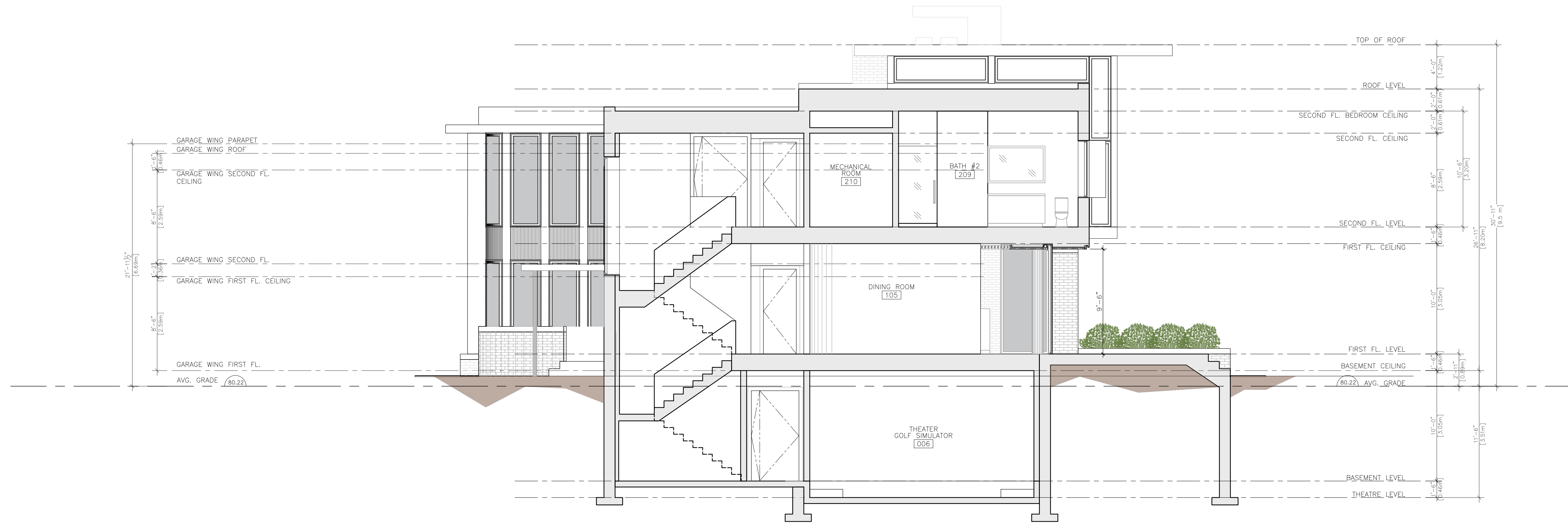
Residence
60 Cumberland Dr
Mississauga, ON

Sheet Title:
**Design Development
Sections
PROPOSED**

Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 3/16" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13

Drawing No:
A4.2 of:

2024-04-02



1 SECTION CC
A4.2 Scale: 3/16" = 1'-0"



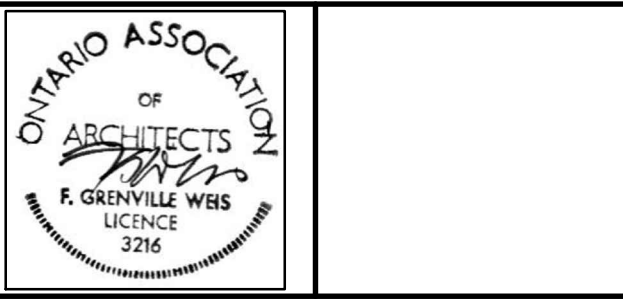
2 SECTION DD
A4.2 Scale: 3/16" = 1'-0"

Project North:	True North:
Key Plan:	

No.	Date:	Issue/Revision	By:
Drawing Issues/Revisions:			

No. Date: Issue/Revision By:

Note:
 CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH THE LATEST ONTARIO BUILDING CODE STANDARDS.
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECT PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY.
 UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORINGS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
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 USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.



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 Project:
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 Mississauga, ON

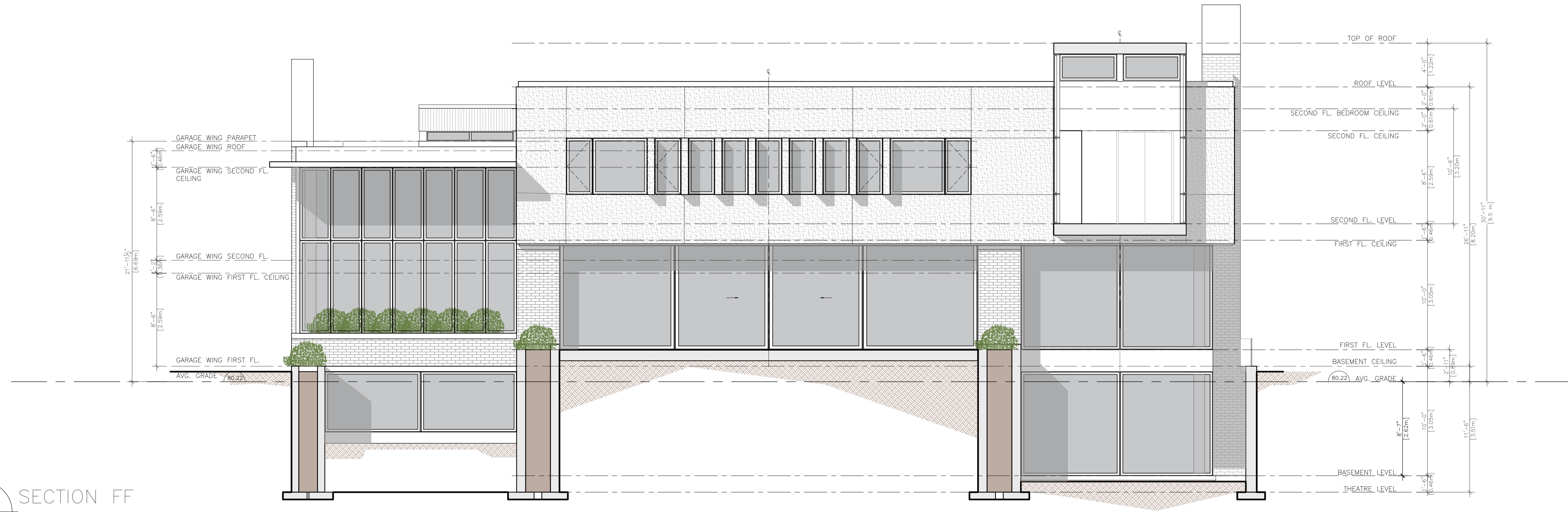
Sheet Title:
Design Development
Sections EE
Section FF
PROPOSED

Design By: G.W.	Drawn By: A.S.	Approved By: G.W.
Scale: 3/16" = 1'-0"	Drawing Start: 2024-01-23	Project No.: 23.13

Drawing No:
A3.3
 of:



1 SECTION EE
 A4.3 Scale: 3/16" = 1'-0"



2 SECTION FF
 A4.3 Scale: 3/16" = 1'-0"

CONSTRUCTION NOTES

GENERAL

A. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LAYOUT INFORMATION. ANY DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE RESUMING CONSTRUCTION OPERATIONS.

B. ALL SERVICES SHALL BE INSTALLED TO THE CURRENT CITY OF MISSISSAUGA STANDARDS, PEEL REGION STANDARDS, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD), ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS), AND ONTARIO BUILDING CODE (OBC) UNLESS OTHERWISE SPECIFIED, TO THE SATISFACTION OF THE MUNICIPALITY AND THE CONSULTANT.

C. THE POSITION OF EXISTING POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND ABOVEGROUND UTILITIES, STRUCTURES AND APPURTENANCES IS NOT NECESSARILY SHOWN ON THE DRAWING, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SATISFY HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM DURING THE COURSE OF CONSTRUCTION. THIS MAY REQUIRE EXCAVATION TO EXPOSE UTILITIES AS REQUIRED BY CONTRACTOR.

D. ALL TRENCHING TO BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.

E. ALL DISTURBED AREAS OUTSIDE PROPOSED GRADING LIMITS TO BE RESTORED TO ORIGINAL ELEVATIONS AND CONDITIONS UNLESS OTHERWISE SPECIFIED. ALL RESTORATION SHALL BE COMPLETED TO TOWN OF AURORA AND YORK REGION STANDARDS.

NEW ROADWORK AND PAVEMENT AREAS

A. NATIVE SUBGRADE SHALL BE APPROVED BY A SOILS ENGINEER PRIOR TO PLACEMENT OF GRANULAR BASE.

B. THE PAVEMENT STRUCTURES SHALL BE INSTALLED PER THE DETAILS HEREIN.

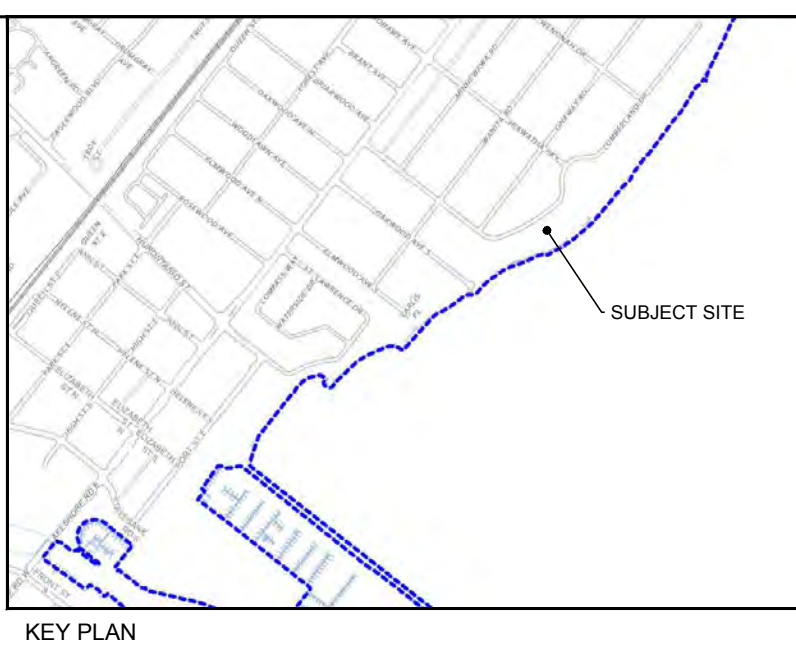
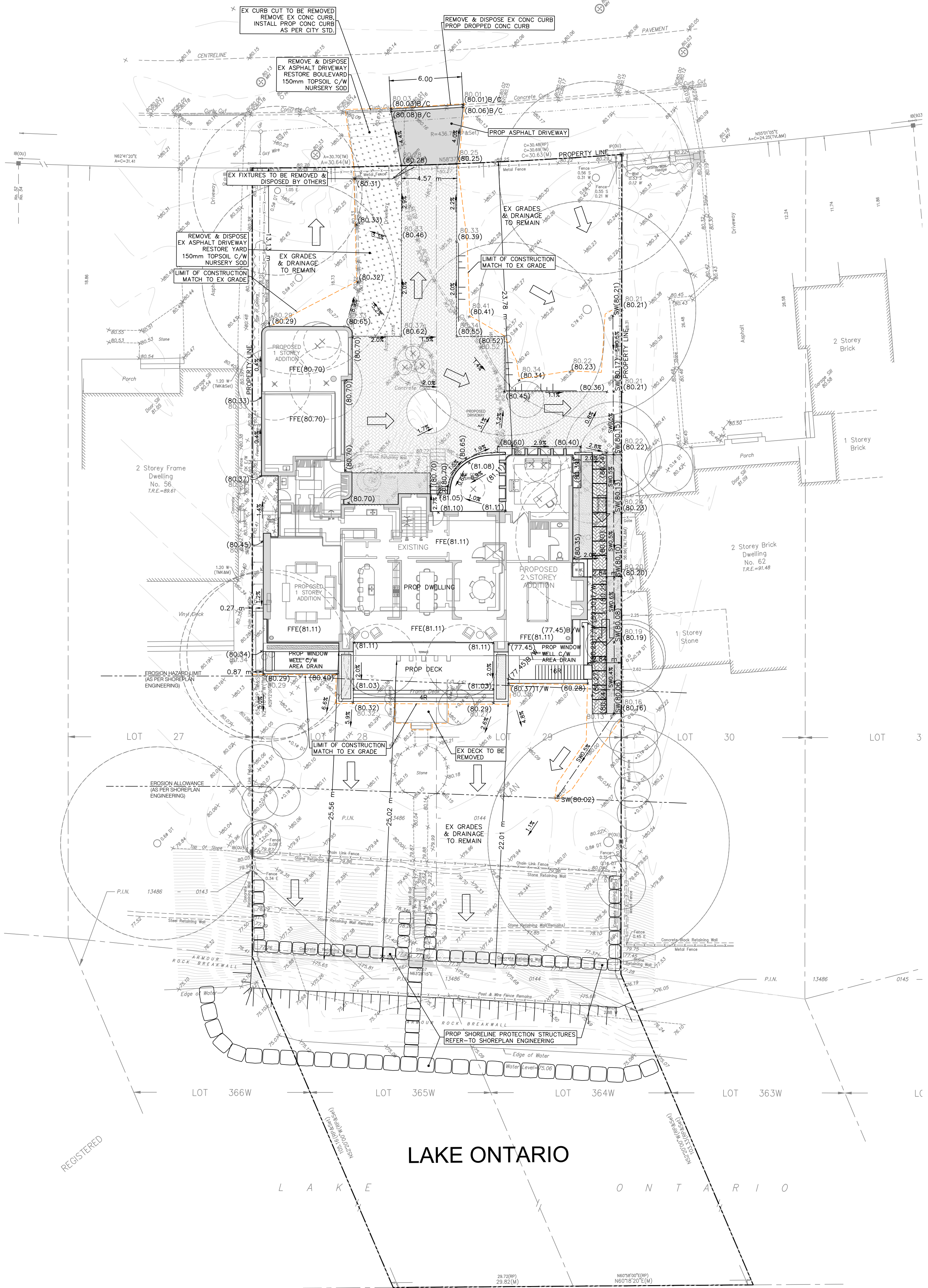
C. CONCRETE SIDEWALK SHALL BE RESTORED TO EXISTING CONDITION OR BETTER IF DAMAGED DURING CONSTRUCTION.

SITE DATA SUMMARY

LEGAL DESCRIPTION	LOTS 28, 29, 364W & 365W, R-PLAN H-21
HOUSE No.	60
ZONING	R15-9
LOT AREA	ACTUAL 4889.58m ²
LOT FRONTAGE	MIN. 12m – ACTUAL 30.64m
FRONT YARD SETBACK	REQUIRED 6.0m; PROPOSED 13.13m
REAR YARD SETBACK	REQUIRED 7.5m; PROPOSED 25.02m
EXTERIOR SIDE YARD	REQUIRED 4.2m; PROPOSED 2.84m
INTERIOR SIDE YARD	REQUIRED 1.2m; PROPOSED 0.87m
MAIN-LEVEL DWELLING ELEVATIONS	
FGF	81.11
TFW	81.11
FBF	77.44

- LEGEND**
- 80.86⁺ DENOTES EXISTING SPOT ELEVATION
 - (80.81)T/C DENOTES PROPOSED TOP OF CURB ELEVATION
 - (80.81)B/C DENOTES PROPOSED BOTTOM OF CURB ELEVATION
 - (80.82) DENOTES PROPOSED ELEVATION
 - 0.3% DENOTES GRADE
 - DENOTES CONTOUR LINE
 - ⊕ DENOTES FIRE HYDRANT
 - ⊕ DENOTES PROPOSED FIRE HYDRANT
 - ⊕ DENOTES EXISTING WATER VALVE
 - ⊕ DENOTES PROPOSED WATER VALVE
 - DENOTES EXISTING CATCHBASIN
 - DENOTES PROPOSED CATCHBASIN
 - DENOTES EXISTING STORM MH
 - DENOTES PROPOSED STORM MH
 - DENOTES EXISTING SANITARY MH
 - DENOTES PROPOSED SANITARY MH
 - DENOTES MAJOR OVERLAND FLOW ROUTE
 - DENOTES EXTERNAL PROPERTY LINE
 - DENOTES SUBJECT SITE PROPERTY LINE
 - - - DENOTES LIMIT OF CONSTRUCTION
 - DENOTES SLOPE
 - DENOTES TREE PROTECTION ZONE
 - DENOTES RAINWATER LEADER
 - ✕ DENOTES EXISTING TREE TO BE REMOVED

CUMBERLAND DRIVE
(By Registered Plan H-21)



NOTES:

THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES, WATERMANS, SEWERS AND EXISTING INFRASTRUCTURE MAY NOT BE SHOWN COMPLETELY ACCURATELY ON CONTRACT DRAWINGS AND SHOULD BE VERIFIED BY THE CONTRACTOR, WHERE SUCH INFRASTRUCTURE IS SHOWN THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORKS.

CONTRACTOR TO USE DIGITAL FILES PROVIDED BY THE ENGINEER FOR LAYOUT, RATHER THAN SCALING FROM THIS DRAWING.

THIS PLAN MUST NOT BE USED TO SITE THE PROPOSED BUILDINGS.

APPROVAL OF THIS PLAN MAY NOT BE CONSTRUED AS APPROVAL FOR CONSTRUCTION. THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR OBTAINING PERMITS FOR ROAD CUT, ROAD OCCUPATION, SEWER & SEWERING INSTALLATION, SERVICE RELOCATION, ENCROACHMENT AGREEMENT, ETC.

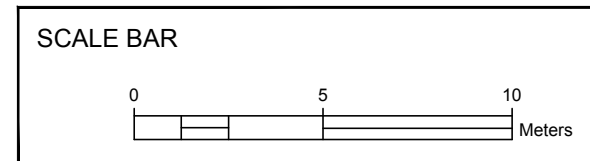
REFERENCE SURVEY:
EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION SUPPLIED BY GTA SURVEYING INC. IN THEIR BOUNDARY AND TOPOGRAPHIC SURVEY DATED SEPTEMBER 14, 2023 (PROJECT NO. 23210).

BENCH MARK:
ELEVATIONS ARE REFERRED TO THE CITY OF MISSISSAUGA BENCHMARK No. 734, LOCATED ON THE SOUTH FACE AT THE WEST CORNER OF ST. JAMES SEPARATE SCHOOL, NO. 98, AT THE EAST END OF WANTA ROAD, HAVING A PUBLISHED ELEVATION OF 79.784 METRES.

UNITS:
UNITS SHOWN HEREIN ARE IN METERS UNLESS OTHERWISE NOTED AND MAY BE CONVERTED INTO FEET BY DIVIDING BY 0.3048.

GRADING NOTES:

1. GRADING PLANS SHALL BE DRAWN AT 1:200 SCALE.
2. ALL DRAINAGE SWALES TO BE LOCATED WITHIN THE LOT AND A MINIMUM OF 0.45m FROM LOT LINES.
3. EXISTING GRADES SHALL BE MAINTAINED WITHIN 0.3m FROM ALL PROPERTY LINES ON PROPOSED LOT.
4. EDGE OF DRIVEWAY SHALL BE MINIMUM 1.2m FROM ALL ABOVE GROUND UTILITIES (HYDRANTS, STREET LIGHTS, PEDESTALS, ETC.)
5. ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 150MM TOPSOIL AND NO. 1 NURSERY SOIL.
6. THE APPLICANT SHALL CONTACT THE CITY'S BUILDING SERVICES DIVISION A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION OF ANY RETAINING WALL DEEMED TO BE A "DESIGNATED STRUCTURE" IN ORDER TO ARRANGE FOR ANY NECESSARY INSPECTIONS.
7. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CONSTRUCTION ACTIVITY AND FINAL PRODUCT CONFORM TO ALL CITY BY-LAWS.



CLIENT
STEVE

ACCEPTANCE SIGNATURE BLOCK

1	X	X	X
REV.	DATE	REVISIONS	INITIAL

civilGo ENGINEERING INC.

civilGo Engineering Inc.
60 Atlantic Avenue
Suite 200
Toronto, ON
M8K 1A9
www.civilGo.ca
T: 437-222-2062
E: info@civilGo.ca

JAN X/24

PROPOSED RESIDENTIAL DWELLING
60 CUMBERLAND DRIVE,
MISSISSAUGA, ON
LOTS 28, 29, 364W and 365W, REGISTERED PLAN H-21

DESIGN	D.B.	DRAWN	DRAFT	CHECKED	D.B.	PROJECT No.	24-006
SCALE:	1:200		DRAWING TITLE		SHEET		
DATE:	JANUARY 2024		SITE GRADING PLAN		CV-101		

DRAFT FEB 04/2024

**GAMALEY AND
ASSOCIATES
ENGINEERS LTD.**

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Tel: (416) 745-3745
alex.agse@bellnet.ca

Gren Weis Architect and Associates
341 Kerr St., Suite 210
Oakville, Ontario, L6K 3B7

March 21, 2024
Tel: (905) 842-1314

Mr. Ammar Shakil Intern Architect

**Re: Existing Residence - Structural Conditions Review
60 Cumberland Dr., Mississauga, Ontario**

Dear Ammar,

The above site was visited by the undersigned on Mar 19, 2024 for existing structural conditions review and proposed renovation vs. re-construction assessment. At the time of the visit majority of interior finishes were remaining, several test holes have been cut through the finish exposing building structural elements. A walk-through, non-intrusive visual review has been performed at the basement and above grade levels, inside and outside the house.

The site is situated in City of Mississauga Port Credit area, south of Cumberland Dr., east of Hurontario St. and backing on Lake Ontario shore. The site is presently occupied by a two-story residence consisting of two-story main part over the basement and two-story bedroom wing over ground level garage, connected by second floor gallery.

It is understood that the house has been constructed in 1939 and considered historically important. As-built and proposed re-construction drawings prepared by Gren Weis Architect office indicating original house front wall and second floor masonry walls over the garage to be preserved and integrated in new construction.

The residence central part consists of solid brick masonry exterior walls and foundations, wood framed ground, second floors and flat roof with some steel beams and columns visible in the basement and ground floor levels. At the time of the visit majority of the existing structure has been covered by finishes. Particular attention has been paid to north (front) elevation masonry wall that is scheduled to remain.

The wall has been found in fair conditions, without major cracks and in our opinion can be braced, protected and integrated in the new structure. Particular details for wall underpinning, stabilization, protection and integrating in new structure and corresponding construction methodology are presented on drawings SD1-SD3 prepared by our firm.

Brick spalling observed in upper three - four feet of the wall shall be tackled by masonry restoration and repair technics. Brick waterproofing can be improved by using commercial brick sealers and stain. Below grade waterproofing can be enhanced by excavating, exposing wall exterior, repairing and re-parging existing masonry, installing

Gamaley and Associates Engineers Ltd.

Cont'd

new dam-proofing and weeping tile connected to house addition new weeping system. Alternatively, sealed drainage board water-proofing can be installed on wall interior.

Similar to central part garage wing consists of solid masonry construction with wood framed floors and roof and possibly some steel beams. Below grade foundations appears to be concrete block.

Garage wing second floor found uneven and sloping down toward the north wall. There are hairline masonry cracks in garage door upper corners, large crack through second floor finishes in the center and visible second wood structure separation from north wall. Garage slab is found in poor shape. The above makes us to believe that on-going settlement and/or masonry footings deterioration is happening around the garage, particularly along the north wall. Garage rear (west) wall displays spalling and surface brick damage.

Current architectural drawings proposing maintaining original second floor masonry walls over the garage, demolishing ground floor walls and foundations and inserting new steel structure under the walls. Considering observed existing masonry conditions we have a serious concern regarding construction safety if the walls would be temporary supported. Further, currently sloping and out of plumb masonry structure will have to be jacked level and plumb that would definitely will cause more cracking and deterioration and will worsen masonry conditions.

Understanding the importance of historical preservation and maintaining City of Mississauga Port Credit unique historic architecture and spirit, we recognize that the renovated dwelling shall meet current Building Code requirements, be structurally sound, energy efficient, green and comfortable for its occupants and safe during construction.

In view of the above, we do not believe the garage wing is sustainable to the proposed scope and recommend demolishing and re-constructing to its original look and shape, using recycled or new brick matching its historic look. The front (north) wall shall be shored braced, underpinned, repaired and reinforced as discussed above.

This letter does not constitute permission to demolish and re-build, but only expresses our professional opinion on the existing dwelling construction, limited to the area exposed and conditions observed at the time of the site visit. Other engineers, design professional or building officials may have alternative thoughts and ideas on how project can be handled. Regardless, no demolition or construction or substantial revisions to project scope shall be carried out without prior City of Mississauga approval.

Would you have any questions, please let me know.

Regards,

**Gamaley and Associates
Engineers Ltd**

Alex Gamaley, P.Eng.



**Appendix A
Photographs**

Pic. 1
60 Cumberland Dr. – North (front) Elevation – to remain



Pic. 2
60 Cumberland Dr. – Garage Elevation – slopes noticeably right (north)

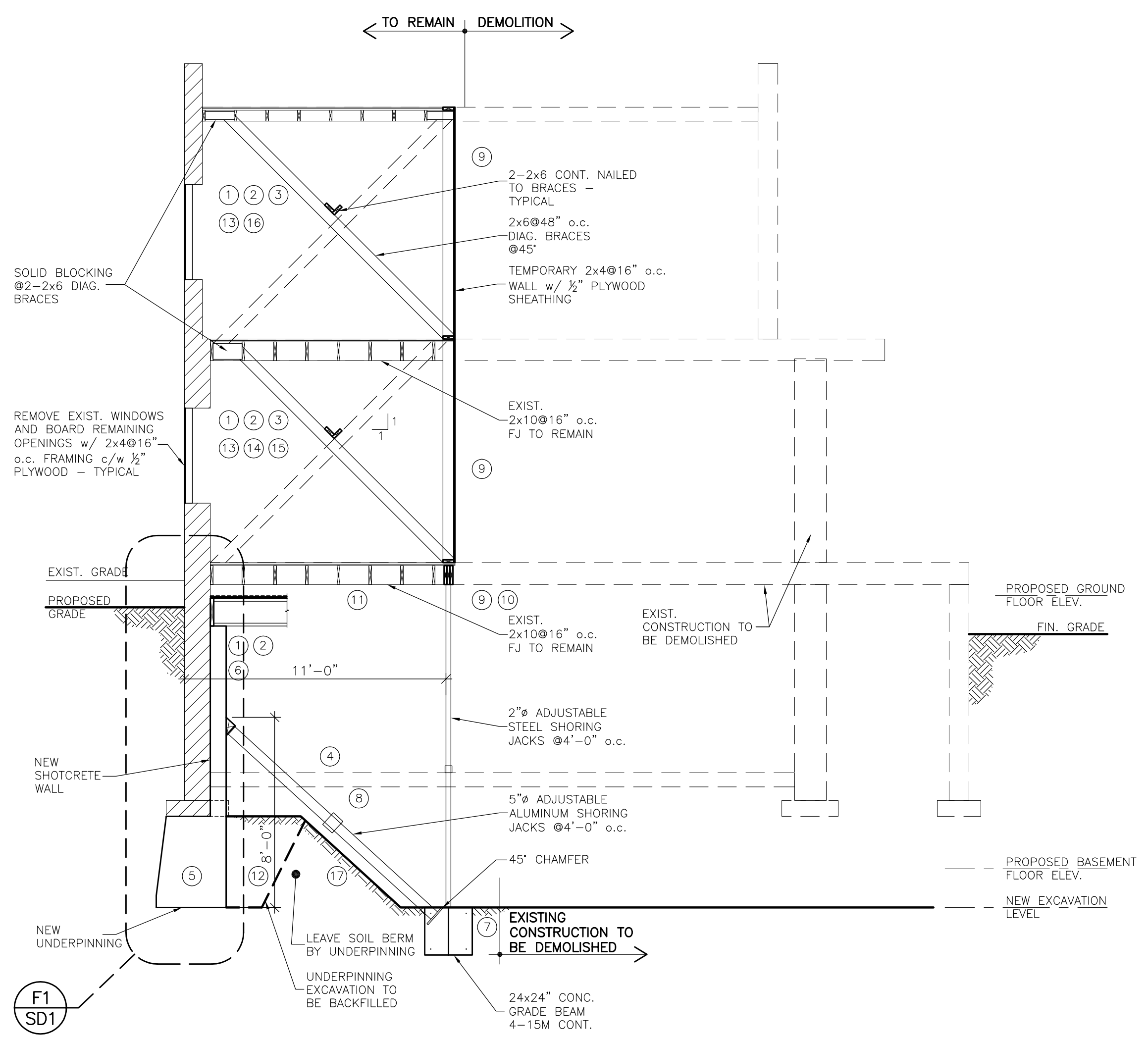
Gamaley and Associates Engineers Ltd.Cont'd



Pic. 3
Second floor interior wall finish cracks over the garage



Pic. 4
Second floor brick masonry cracks over garage

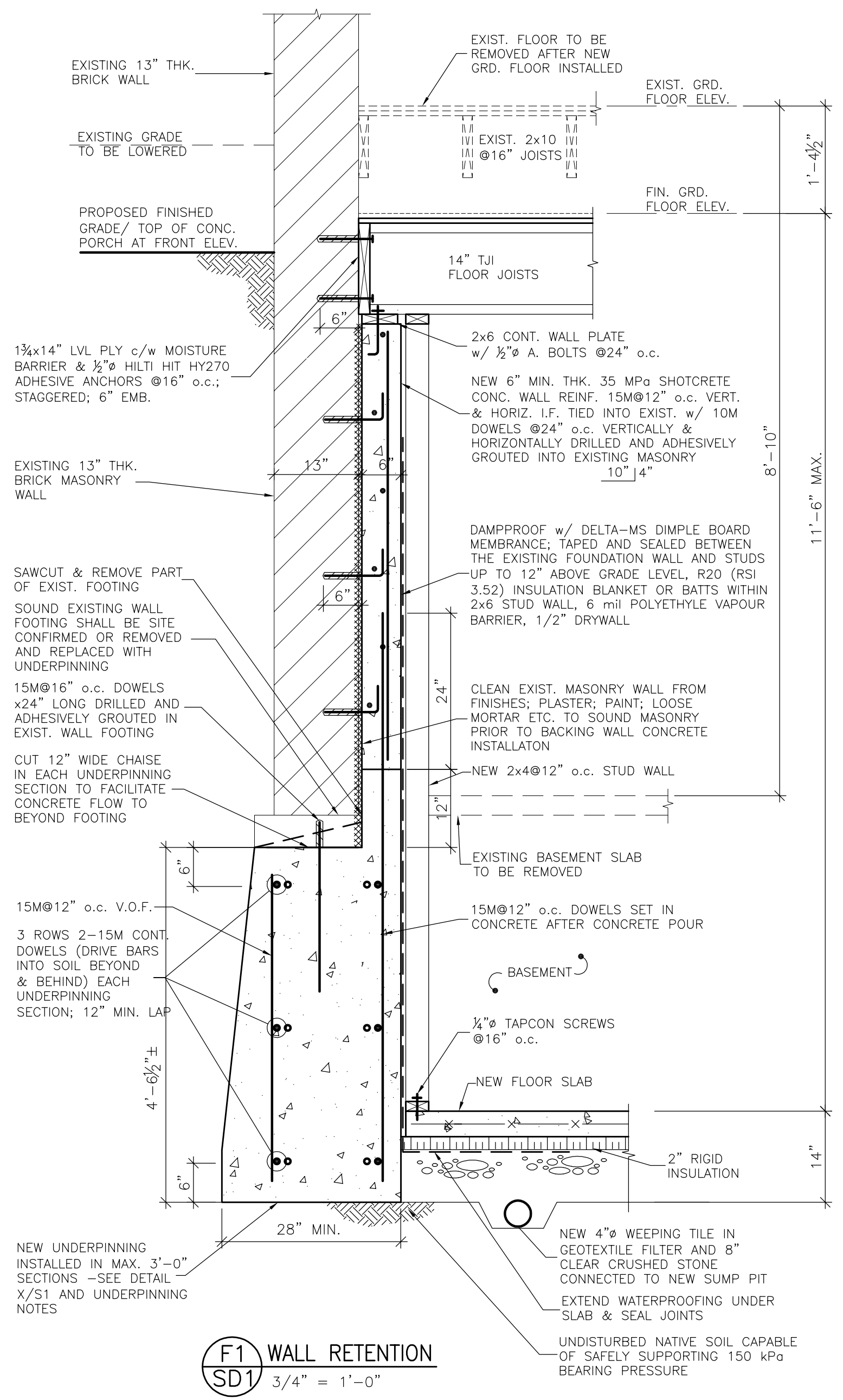


1 TEMPORARY SUPPORT & SD1 CONSTRUCTION PROCEDURES
1/4" = 1'-0"

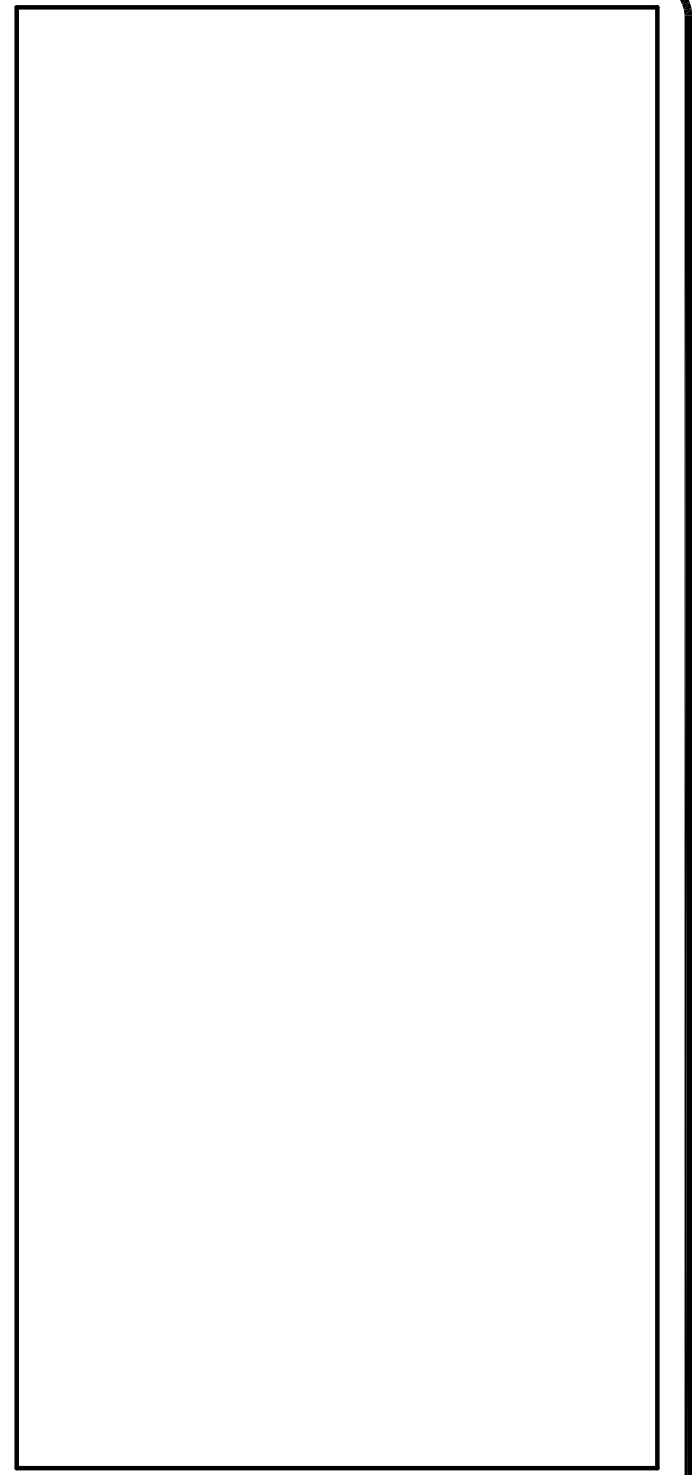
EXISTING 2-STORY RESIDENCE TEMPORARY SUPPORT AND ALTERATIONS PROCEDURES:

1. REMOVE AND LEGALLY DISPOSE ALL INTERIOR FINISHES, PARTITIONS, WINDOWS AND UTILITIES EXCEPT OF CORE STRUCTURAL ELEMENTS IN FRONT PART OF THE EXISTING HOUSE. BOARD ALL UNPROTECTED OPENINGS WITH 2x4@24" o.c. STUDS AND 1/2" PLYWOOD.
2. REVIEW ORIGINAL CONSTRUCTION FOR STRUCTURAL DEFECTS: DISTORTION, OUT OF PLUMB, CRACKS, CUTS ETC. SECURE AND REPAIR DEFICIENT CONDITIONS.
3. INSTALL DIAGONAL 2-2x6@48" o.c. BRACES ALONG REMAINING EXTERIOR WALLS AT SECOND AND GROUND FLOOR LEVELS. CONSTRUCT TEMPORARY 2x4 SUPPORT WALLS WITH 1/2" EXTERIOR GRADE PLYWOOD SHEATHING AS PER PLANS.
4. REMOVE BASEMENT FLOOR SLAB.
5. INSTALL UNDERPINNING IN SECTIONS. IN PROCESS, BACKFILL EXCAVATION CREATED BY PREVIOUS UNDERPINS WITH SOIL EXCAVATED IN FOLLOWING UNDERPINS TO APPROXIMATELY 12" BELOW THE ORIGINAL BASEMENT LEVEL.
6. CLEAN AND REPAIR EXISTING BASEMENT MASONRY. CONSTRUCT SHOTCRETE BACKING WALL TO SECURE ORIGINAL MASONRY AND UNDERPINNING.
7. EXCAVATE TRENCH AND CONSTRUCT 24"x24" CONCRETE GRADE BEAM APPROXIMATELY TEN FEET AWAY FROM THE REMAINING FRONT WALL.
8. INSTALL 5" DIA. HIGH-CAPACITY ALUMINUM DIAGONAL JACKS TO SECURE REMAINING NORTH (FRONT) FOUNDATION. KEEP SOIL BERM ALONG REMAINING NORTH WALL FOR ADDITIONAL SUPPORT. HAVE TEMPORARY BRACING REVIEWED BY THE ENGINEER.
9. CUT OFF AND REMOVE PARTS OF THE STRUCTURE SCHEDULED TO BE DEMOLISHED. THE DEMOLITION SHALL BE CARRIED IN SUCH A WAY NOT TO DISTURB OR DAMAGE REMAINING CONSTRUCTION. NO CONSTRUCTION EQUIPMENT, TRUCKS, CRANES ETC. SHALL BE PARKED, EQUIPMENT STORED OR CONSTRUCTION DEBRIS PILED WITHIN TEN FEET TO REMAINING FOUNDATIONS.
10. PROCEED WITH NEW BASEMENT EXCAVATION SOUTH OF THE RETAINED STRUCTURE. CONSTRUCT NEW FOOTINGS AND FOUNDATIONS.
11. INSTALL NEW GROUND FLOOR FRAMING UNDERSIDE THE ORIGINAL GROUND FLOOR. REMOVE REMAINING GROUND FLOOR IN EIGHT FEET MAXIMUM SECTIONS. MOVE TEMPORARY SHORING ON NEW STEEL BEAMS / SUPPORT WALLS WHERE REQUIRE FOR FLOOR REPLACEMENT.
12. SOIL BERM REMAINING ALONG RETAINED FRONT WALL AND BASEMENT TEMPORARY SUPPORTS CAN BE REMOVED AFTER GROUND FLOOR CONSTRUCTION IS COMPLETED, CONNECTED TO NEW WALLS AND UNDERPINNING, REVIEWED AND APPROVED BY THE ENGINEER OF RECORD.
13. REPAIR REMAINING ABOVE GRADE MASONRY WALLS INTERIOR. CUT PROJECTING PARTS, FILL JOISTS POCKETS WITH BRICK AND HIGH-STRENGTH GROUT, PARGE THE WALLS PRIOR TO NEW WOOD FLOOR AND ROOF FRAMING INSTALLATION.
14. CONSTRUCT GROUND FLOOR SUPPORT WALLS AND INSTALL SECOND FLOOR STEEL BEAMS.
15. REMOVE AND REPLACE ORIGINAL SECOND FLOOR FRAMING IN EIGHT FEET MAXIMUM SECTIONS. SECURE NEW FRAMING TO REMAINING MASONRY WALLS. REPAIR MASONRY WHERE REQUIRE. GROUND FLOOR TEMPORARY SUPPORTS CAN BE REMOVED AFTER SECOND FLOOR CONSTRUCTION IS COMPLETED, REVIEWED AND APPROVED BY THE ENGINEER OF RECORD.
16. REPEAT #15 FOR THE ROOF STRUCTURE
17. CONSTRUCT BASEMENT FLOOR SLAB.

THE ABOVE PROCEDURES ARE MERELY A GUIDELINE AND SHALL BE ADJUSTED TO THE SITE CONDITIONS, WEATHER, METHODS AND MEANS OF CONSTRUCTIONS, SHORES, BRACES, SCAFFOLDS, GUARDS, FENCES, SIGNS, LIFTS, CRANES ETC. AVAILABLE AND EMPLOYED BY THE CONTRACTOR. IT IS ULTIMATELY THE CONTRACTOR RESPONSIBILITY TO DESIGN, SUPPLY, INSTALL, MAINTAIN, MOVE AND REMOVE ALL TEMPORARY WORKS REQUIRED TO SECURE REMAINING CONSTRUCTION AND FOR THE CONSTRUCTION SAFETY AT AND AROUND THE SITE. ANY ORIGINAL STRUCTURE DISPLACEMENT OR MOVEMENT SHALL BE IMMEDIATELY SECURED AND CHANGING CONDITIONS REPORTED TO THE ENGINEER.



F1 WALL RETENTION SD1
3/4" = 1'-0"



NO.	DATE	DESCRIPTION
1.	MAR 22, 24	ISSUED FOR REVIEW

NO.	DATE	DESCRIPTION
REVISIONS		

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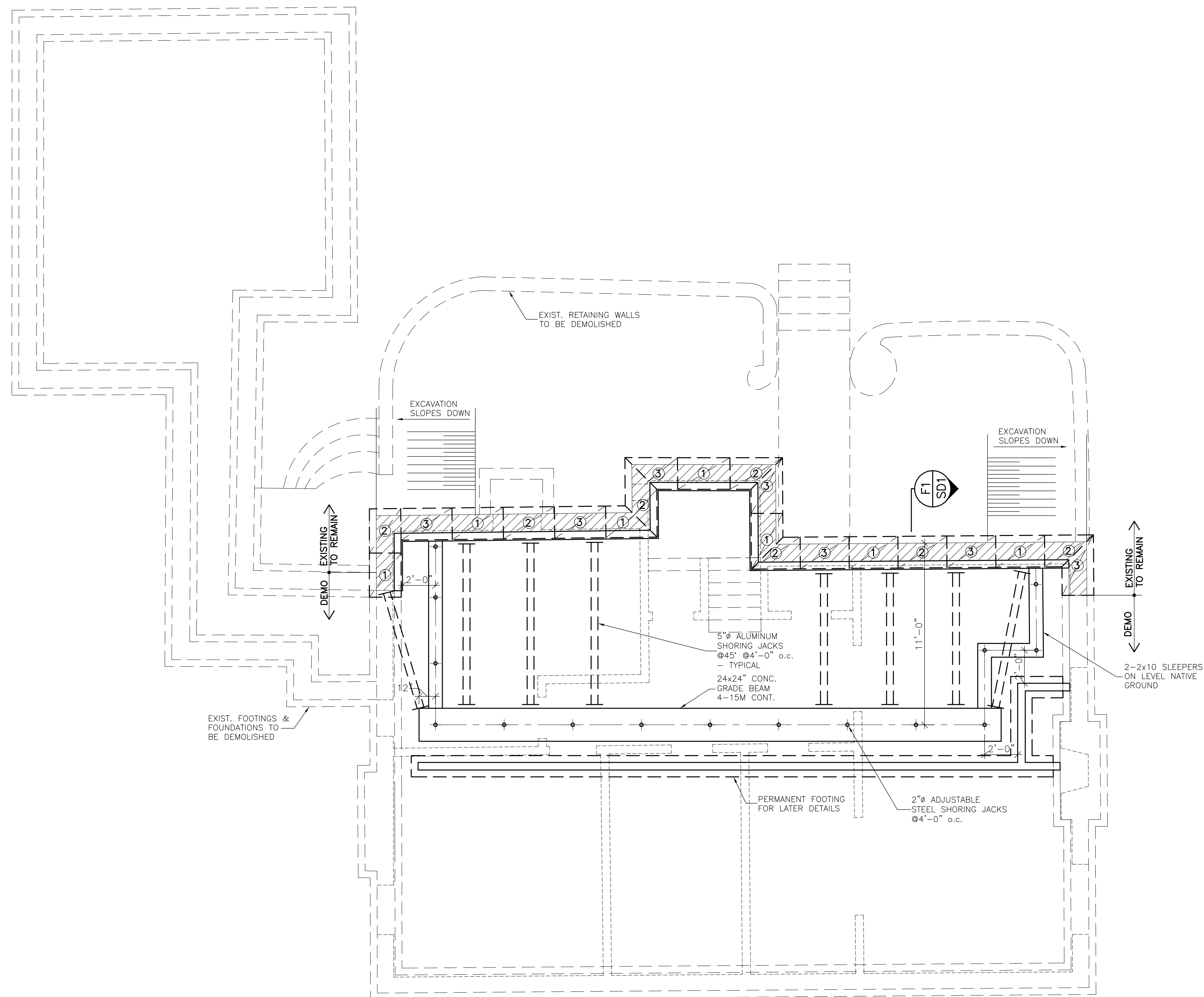
GAMALEY AND ASSOCIATES ENGINEERS LTD.
603-255 DUNCAN MILL RD.
TORONTO, ONTARIO
M3B 3H9
Tel: (416) 745-3745
Fax: (416) 745-6467



CONSTRUCTION PROCEDURES & SECTIONS

PRIVATE RESIDENCE
60 CUMBERLAND DR.,
MISSISSAUGA, ONTARIO

SCALE	1/4" = 1'-0"	PROJECT NUMBER	24019
DRAWN BY	VP	DRAWING NUMBER	SD1
CHECKED BY	AG		
DATE	MAR 2024		
CADFILE	SD1		



**FOUNDATION
RETENTION/SHORING PLAN**

1/4" = 1'-0"

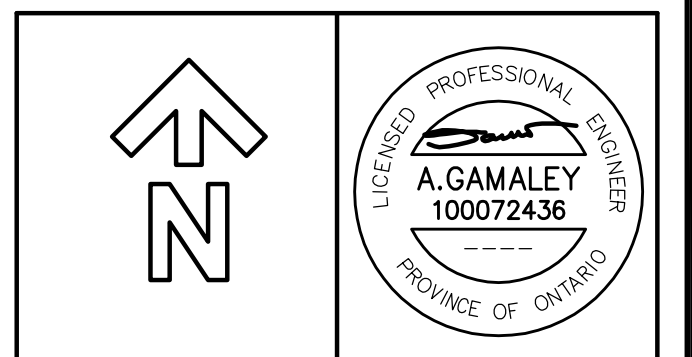
NO.	DATE	DESCRIPTION
1.	MAR 22, 24	ISSUED FOR REVIEW

NO.	DATE	DESCRIPTION

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**GAMALEY AND ASSOCIATES
ENGINEERS LTD.**
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Tel: (416) 745-3745
Fax: (416) 745-6467

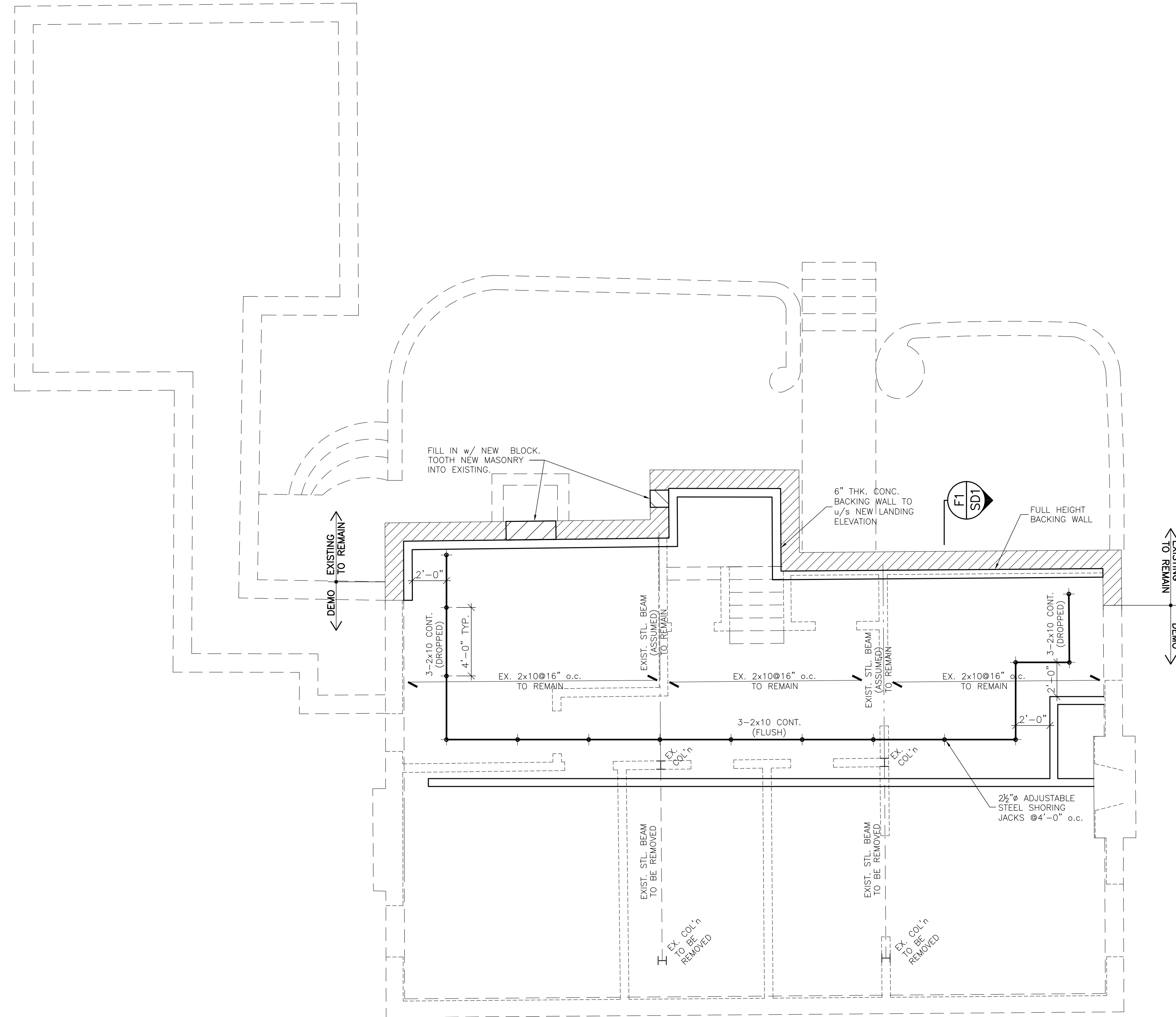


**FOUNDATION
RETENTION/SHORING
PLAN**

**PRIVATE
RESIDENCE**

60 CUMBERLAND DR.,
MISSISSAUGA, ONTARIO

SCALE	1/4"=1'-0"	PROJECT NUMBER	24019
DRAWN BY	VP	DRAWING NUMBER	SD2
CHECKED BY	AG		
DATE	MAR 2024		
CADFILE	SD1		



**BASEMENT
RETENTION/SHORING PLAN**
1/4" = 1'-0"

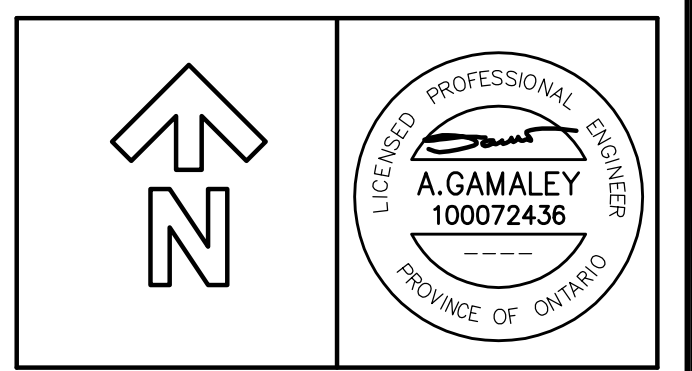
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NO.	DATE	DESCRIPTION
1.	MAR 22, 24	ISSUED FOR REVIEW

NO.	DATE	DESCRIPTION
REVISIONS		

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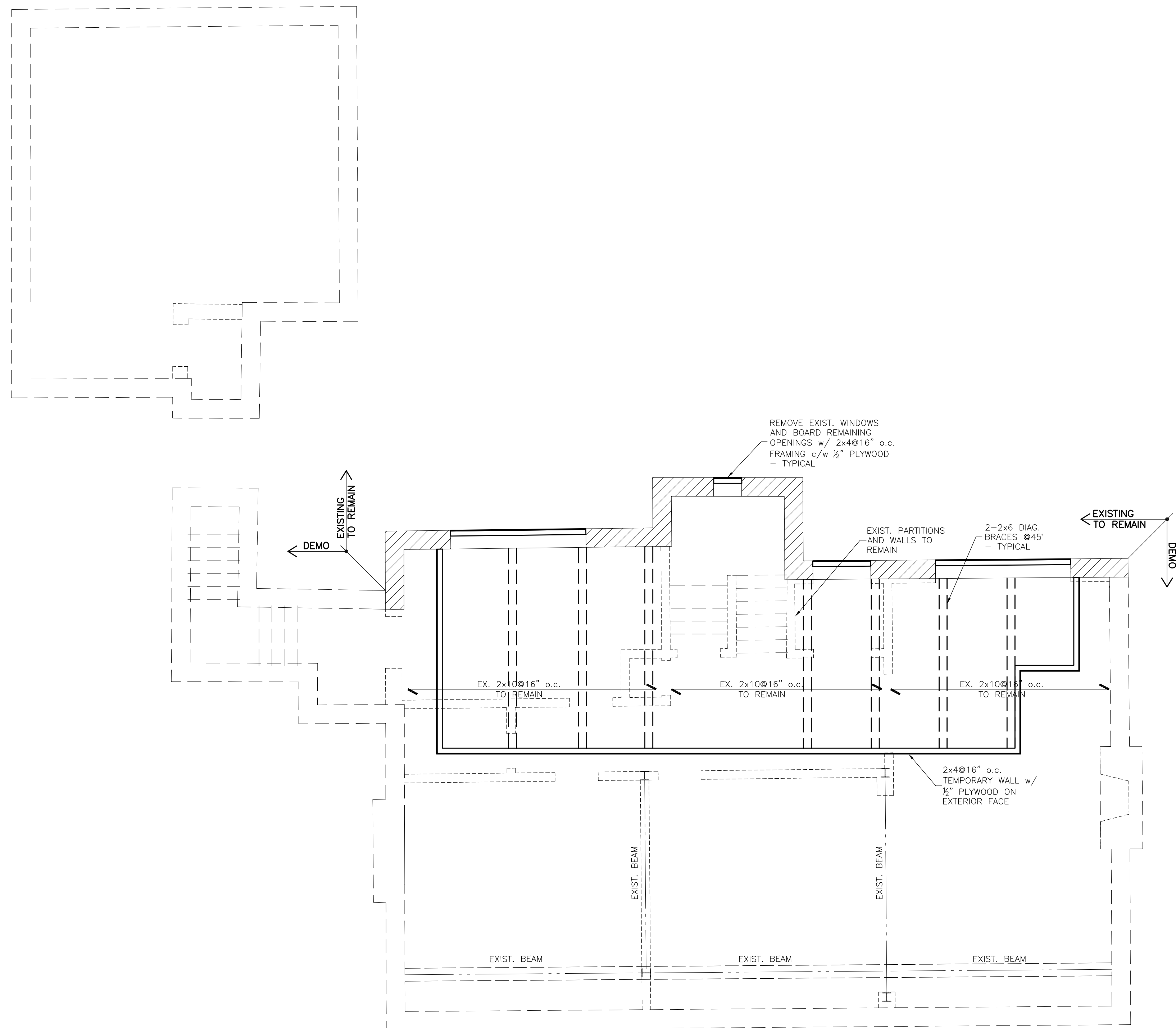
**GAMALEY AND ASSOCIATES
ENGINEERS LTD.**
603-255 DUNCAN MILL RD.
TORONTO, ONTARIO
M3B 3H9
Tel: (416) 745-3745
Fax: (416) 745-6467



**BASEMENT
RETENTION/SHORING
PLAN**

**PRIVATE
RESIDENCE**
60 CUMBERLAND DR.,
MISSISSAUGA, ONTARIO

SCALE	1/4" = 1'-0"	PROJECT NUMBER	24019
DRAWN BY	VP	DRAWING NUMBER	SD3
CHECKED BY	AG		
DATE	MAR 2024		
CADFILE	SD1		



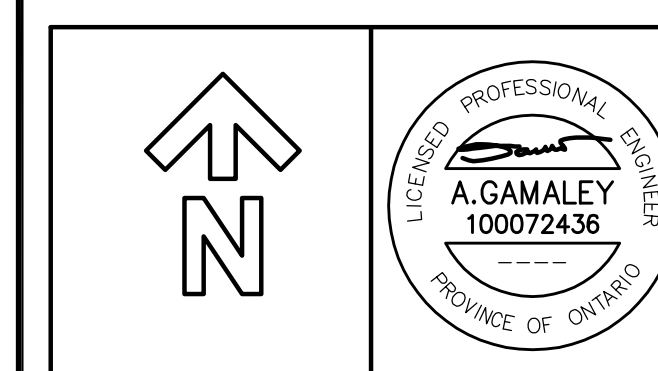
GROUND FLOOR
RETENTION/SHORING PLAN
1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1.	MAR 22, 24	ISSUED FOR REVIEW

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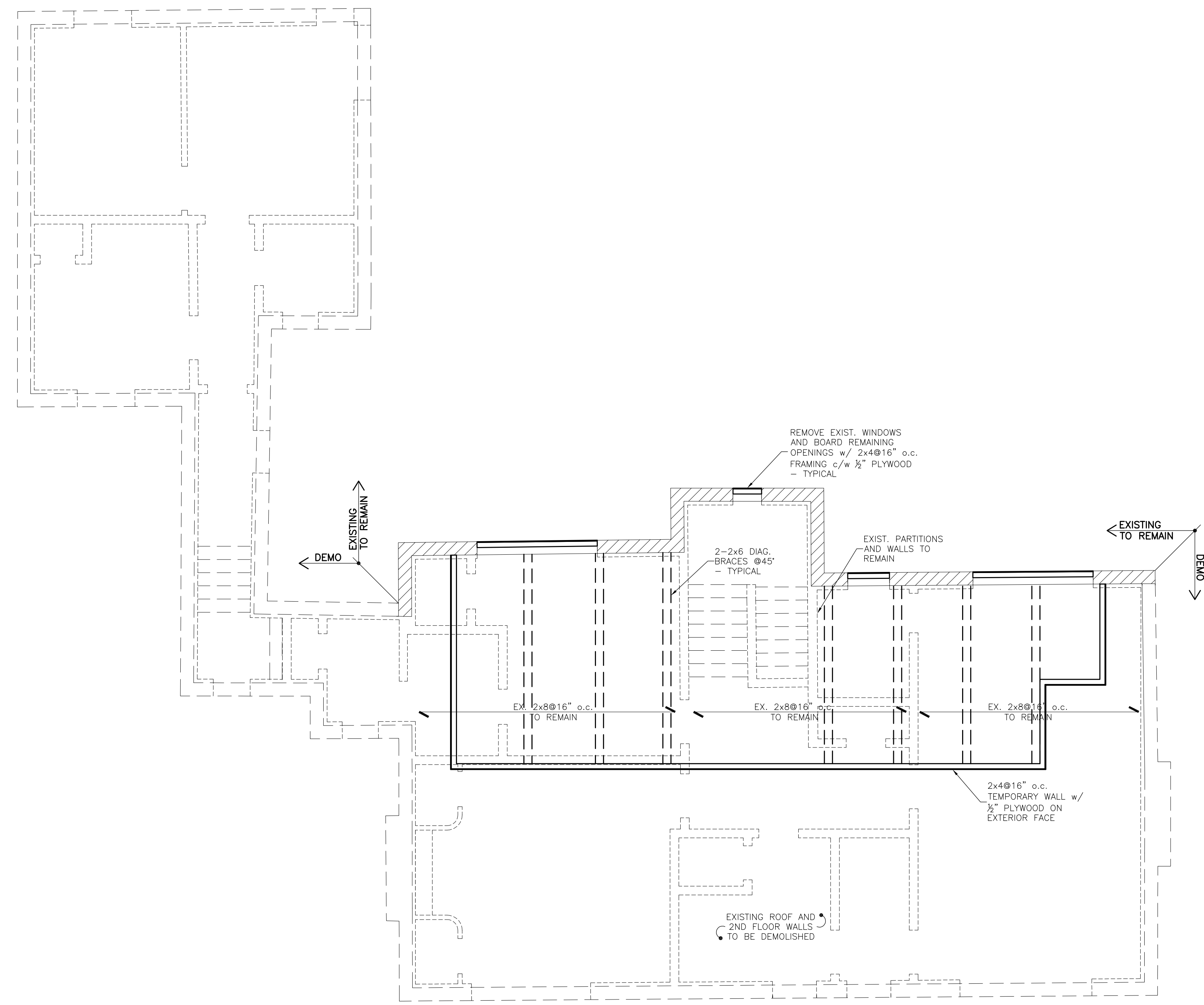


GROUND FLOOR
RETENTION/SHORING
PLAN

PRIVATE
RESIDENCE

60 CUMBERLAND DR.,
MISSISSAUGA, ONTARIO

SCALE	1/4" = 1'-0"	PROJECT NUMBER	24019
DRAWN BY	VP	DRAWING NUMBER	SD4
CHECKED BY	AG		
DATE	MAR 2024		
CADFILE	SD1		



**2ND FLOOR
RETENTION/SHORING PLAN**
1/4" = 1'-0"

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1. MAR 22, 24 ISSUED FOR REVIEW	
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NO.	DATE	DESCRIPTION
REVISIONS		

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**2ND FLOOR
RETENTION/SHORING
PLAN**

PRIVATE
RESIDENCE

60 CUMBERLAND DR.,
MISSISSAUGA, ONTARIO

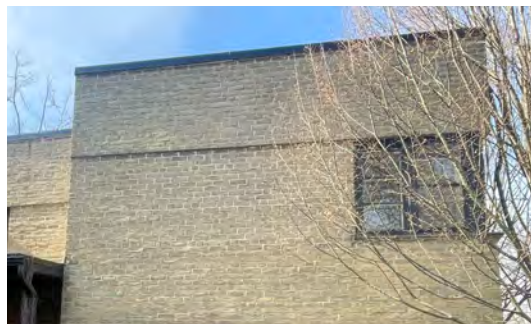
SCALE	1/4"=1'-0"	PROJECT NUMBER	24019
DRAWN BY	VP	DRAWING NUMBER	SD5
CHECKED BY	AG		
DATE	MAR 2024		
CADFILE	SD1		

APPENDIX F: GUIDELINES FOR RECORDING, DISMANTLING & REBUILDING THE GARAGE

HERITAGE ELEMENTS

The heritage elements to be dismantled and rebuilt are:

- buff brick walls
- raised brick banding
- buff brick parapet
- roof flashing
- mortar joint
- wood window type A (corner window)
- wood window type B (double casement window)
- brick window sills



EAST ELEVATION



NORTH ELEVATION



EAST ELEVATION (DETAIL) - showing the glazing pattern, wood frame and brick rebate of the corner window – showing the projecting brick sill below the window and the raised brick band level with the window top

RECORDING PROCEDURES

Detailed recording is required prior to demolition.

Photographs

High quality colour photos of each elevation that clearly show the heritage elements including the brick bonding pattern, the mortar profile and the colour and texture of the mortar.



Measured Drawings

Measured drawings of each elevation that clearly show the materials and design details including:

- brick dimensions
- location and dimensions of the projecting brick banding
- number of courses of the brick banding
- window rebate and depth of the window placement in the masonry frame
- window configurations and window frame dimensions (or the original windows could be salvaged and used to template the new windows)
- projection of the brick windowsills
- mortar joint dimensions
- mortar joint profile

DISMANTLING PROCEDURES

1. Collect samples of original mortar for testing and for matching to the new mortar.
2. Use hand tools to cut mortar joints without damaging brick edges and face.
3. Label bricks removed from the window lintels.
4. Remove mortar from salvaged brick by hand without damaging brick surface.
5. Inspect bricks and retain sound brick for reuse. Discard deteriorated bricks.

STORAGE PROCEDURES

1. Stack salvaged brick on palettes and store in a protected and dry area. If stored out of doors, tarp to protect from the elements. Older clay brick is a porous material that should be kept dry.
2. Store bricks removed from the window lintels together and label accordingly.

REBUILDING PROCEDURES

In addition to photographs and measured drawings, the retained heritage wall can be used as a reference to verify work on site when re-building the upper floor of the garage. However, it should be noted that access to the heritage wall may be limited by the retention frame.

Masonry Contractor Qualifications

Demonstrable experience with Designated heritage buildings constructed with c.1940 brick and lime mortar is required. Experience rebuilding a heritage structure is recommended.

Masonry Testing

Testing of brick and mortar for compressive strength and porosity is recommended to inform the mortar specifications.

Mock-Ups

The masonry contractor should provide mock-ups for review by the architect and/or heritage consultant.

Cleaning

If cleaning of the brick is undertaken, it is recommended that it be done after rebuilding.

Use non-abrasive gentle cleaning methods to remove soiling without damaging the brick surface.

Do cleaning tests to determine the gentlest method. Preferred methods are low-pressure water washing with or without a non-acidic detergent, or steam cleaning.

Cleaning should be undertaken by a qualified heritage masonry cleaning contractor.

Cleaning levels should be determined by the architect and/or heritage consultant and should be coordinated with cleaning of the retained wall of the house to ensure consistency.