



SCOPE F (REFINISHING OF WOOD TRIMS @ ROOF):
 -WOOD TRIMS AT UPPER CORNICE, SOFFIT AND CUPOLA SHOW OBVIOUS SIGNS OF DETERIORATION, GAPPING, OPEN MITERS AT CORNERS, ETC. PREVIOUS PAINT REPAIRS ARE PEELING AND FLAKING OFF. DETERIORATION OF SOFFIT BOARDS IS VISIBLE AT VARIOUS AREAS AT UPPER ROOF. CONTRACTOR TO INSPECT, SCRAPE, REPAIR AND RE-FINISH PER CONSERVATION PLAN.
 -SCOPE OF WORK IS EXPECTED TO INVOLVE SCRAPING, PAINTING AND CAULKING OF CUPOLA AND TRIMS AROUND THE UPPER ROOF. REMOVAL AND REPLACEMENT OF UP TO 50% OF THE SOFFIT AND TRIMS ALONG THE WEST SIDE OF THE BUILDING. REMOVAL AND REPLACEMENT OF MINOR QUANTITIES (NOT MORE THAN 10% OF OVERALL) OF DETERIORATED SOFFIT AND TRIMS ELSEWHERE ON THE UPPER ROOF. AND NECESSARY REPAIRS TO THE BUILDING FRAMING TO EFFECT THE REPAIR AND REPLACEMENT DESCRIBED ABOVE
 -NO REPLACEMENT OF MATERIALS IS EXPECTED ON THE CUPOLA
 -MATCH ALL REPLACEMENT TRIMS AND OTHER MATERIALS TO EXISTING
 -MAJOR STRUCTURAL REPAIRS ARE NOT PART OF THE SCOPE OF WORK

SCOPE B (ROOF SHINGLE REPLACEMENT):
 -SEE SCOPE OF WORK AT RIGHT

SCOPE A (GUTTER SYSTEM @ UPPER SLOPED ROOF):

-LEAKING AND DETERIORATION VISIBLE AT SOFFIT AT VARIOUS AREAS AT UPPER ROOF INCLUDING AROUND FRONT PORTICO. LEAKAGE APPEARS TO BE COMING FROM CONCEALED GUTTER DETAIL ABOVE.
 -CONTRACTOR TO MODIFY PERIMETER OF ROOF TO ABANDON CONCEALED GUTTER DETAIL AND TO CREATE NEW EXPOSED GUTTER DETAIL PER DRAWING
 -REMOVE PERIMETER WOOD TRIM AT EDGE OF ROOF AND AS MUCH AS OF THE CONCEALED GUTTER ASSEMBLY AS NECESSARY TO EXPOSE STRUCTURALLY SOUND FRAMING MEMBERS
 -REPLACE SMALL AREAS OF DETERIORATED MATERIAL (AFFECTING NOT MORE THAN 10% OF THE LINEAR LENGTH OF GUTTER TO BE REPLACED)
 -REMOVE 1/2" OF ASPHALT SHINGLES AROUND PERIMETER OF ROOF TO EXPOSE EXISTING SHEATHING
 -REMOVE AS MUCH EXISTING SHEATHING AS REQUIRED TO ALLOW NEW SHEATHING TO BE BLENDED SEAMLESSLY TO OLD
 -TYPICAL CONCEALED GUTTER DETAIL IS PROVIDED FOR REFERENCE. ACTUAL CONDITION MAY DIFFER
 -SUPPLY AND INSTALL NEW BLOCKING, PLYWOOD SHEATHING, ETC. ALONG EDGE OF ROOF AS PER DETAIL
 -SUPPLY AND INSTALL NEW PAINTED WOOD FASCIA BOARD (SIZE AND CONFIGURATION TO BE DETERMINED ON-SITE)
 -PROVIDE NEW PRE-FINISHED ALUMINUM K-GUTTER AND DOWNPIPES (WHITE COLOUR). LOCATION OF DOWNPIPES TO BE AS DIRECTED BY CONSULTANT ON-SITE
 -MAJOR STRUCTURAL REPAIRS ARE NOT PART OF THE SCOPE OF WORK



NOTE DETERIORATED AND LEAKING SOFFIT. THIS IS EXPECTED TO BE CAUSED BY LEAKAGE IN THE CONCEALED GUTTER ABOVE

SCOPE B (ROOF SHINGLE REPLACEMENT):

-REMOVE ASPHALT SHINGLES AND ANY EXISTING UNDERLAYMENT FROM SLOPED ROOF
 -PROVIDE TEMPORARY COVER TO PREVENT INGRESS OF WATER INTO BUILDING DURING ROOF REPLACEMENT
 -INSTALL NEW UNDERLAYMENT AND ASPHALT SHINGLES PER SPECIFICATION
 -REPLACE LOCAL AREAS OF DETERIORATED SHEATHING (MAX 10% OF ROOF AREA)
 -REPLACE ALL STARTER STRIPS, FLASHINGS, GASKETS AROUND ROOF PENETRATIONS, ETC.
 -MAJOR STRUCTURAL REPAIRS ARE NOT PART OF THE SCOPE OF WORK

SCOPE F (REFINISHING OF WOOD TRIMS @ ROOF):
 -SEE SCOPE OF WORK ABOVE



NOTE DETERIORATED SHINGLES AT LOWER ROOF



WEST ELEVATION
 SCALE: 1:100

SCOPE F (REFINISHING OF WOOD TRIMS):
 -WOOD TRIMS AT SOFFIT
 -SEE SCOPE OF WORK ABOVE

SCOPE D (CONCRETE STEPS, STEEL HANDRAIL):

-FRONT POURED CONCRETE STEPS, RISERS AND EDGES HAVE BEEN PREVIOUSLY COVERED WITH A THIN CEMENTITIOUS FINISHING LAYER SIMILAR TO RUSTOLEUM "STONE EFFECTS"
 -FINISHING LAYER IS NOW CHIPPED AND LIFTING IN AREAS AND PRESENTS A TRIPPING HAZARD IF NOT REPAIRED
 -SCOPE OF WORK INCLUDES MANUALLY CHIPPING AND REMOVING ANY LOOSE AREAS OF FINISHING MATERIAL. LOCALLY CLEANING AREA AND PATCHING WITH RUSTOLEUM "STONE EFFECTS"
 -ASSUME MAX. 20% OF SURFACE AREA OF STEPS, RISERS AND EDGES WILL REQUIRE PATCHING. IF INVESTIGATION REVEALS GREATER THAN 20% LOOSE MATERIAL DISCUSS WITH CONSULTANT
 -STEEL HANDRAILS AND GUARDS AT FRONT STEPS SHOW SIGNS OF LOCAL CORROSION AND DETERIORATION. SCRAPE AND SAND ALL AREAS OF LOOSE PAINT AND ALL RUSTED AREAS AND RE-FINISH STEEL HANDRAILS AND GUARDS WITH TWO COATS EXTERIOR RUST PAINT, COLOUR BLACK

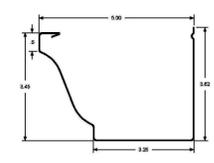


SCOPE G (REFINISHING OF WOOD TRIMS @ ENTRY):

-WOOD TRIMS AT FRONT ENTRY INCLUDING CORNICE, PILASTERS, WINDOW AND DOOR TRIMS, PORCH SOFFIT SHOW OBVIOUS SIGNS OF DETERIORATION, GAPPING, OPEN MITERS AT CORNERS, ETC. PREVIOUS PAINT REPAIRS ARE PEELING AND FLAKING OFF. CONTRACTOR TO INSPECT, SCRAPE, REPAIR AND RE-FINISH PER CONSERVATION PLAN.
 -SCOPE OF WORK IS EXPECTED TO INVOLVE REPLACEMENT OF MINOR QUANTITIES (NOT MORE THAN 10% OF OVERALL) OF DETERIORATED MATERIAL
 -NOTE: DETERIORATED WOOD COLUMNS BASES ARE TO BE REPAIRED AS PART OF SCOPE "E" BUT OTHER PAINTING AND REPAIR OF COLUMNS IS BY THIS SECTION.
 -NOTE IT MAY BE NECESSARY TO CUSTOM MILL TRIMS TO MATCH EXISTING
 -MAJOR STRUCTURAL REPAIRS ARE NOT PART OF THE SCOPE OF WORK

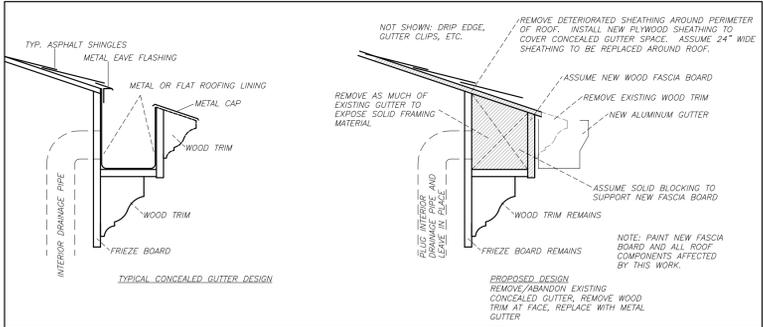
SCOPE E (COLUMN BASES):

-WOOD COLUMNS SHOW SIGNS OF DETERIORATION AT BASES. IT APPEARS THAT A PREVIOUS REPAIR REMOVED THE COLUMN PEDIMENT AND REPLACED IT WITH A CONCRETE REPLICA. THE COLUMNS HAVE CONTINUED TO DETERIORATE. SEE CONSERVATION PLAN FOR DETAILED INFORMATION REGARDING CONSERVATION
 -NOTE: CONTACT CONSULTANT IMMEDIATELY IF IT APPEARS THAT STRUCTURAL INTEGRITY OF COLUMNS IS COMPROMISED



TYPICAL 5" "K" GUTTER PROFILE:

-USE AT ALL AREAS WHERE NEW GUTTER WILL REPLACE EXISTING CONCEALED GUTTER
 -DRAWING NTS



NOTE CHIPPING OF STAIR FINISH MATERIAL



COLUMN BASE. NOTE EXISTING CONCRETE LIKELY NOT ORIGINAL

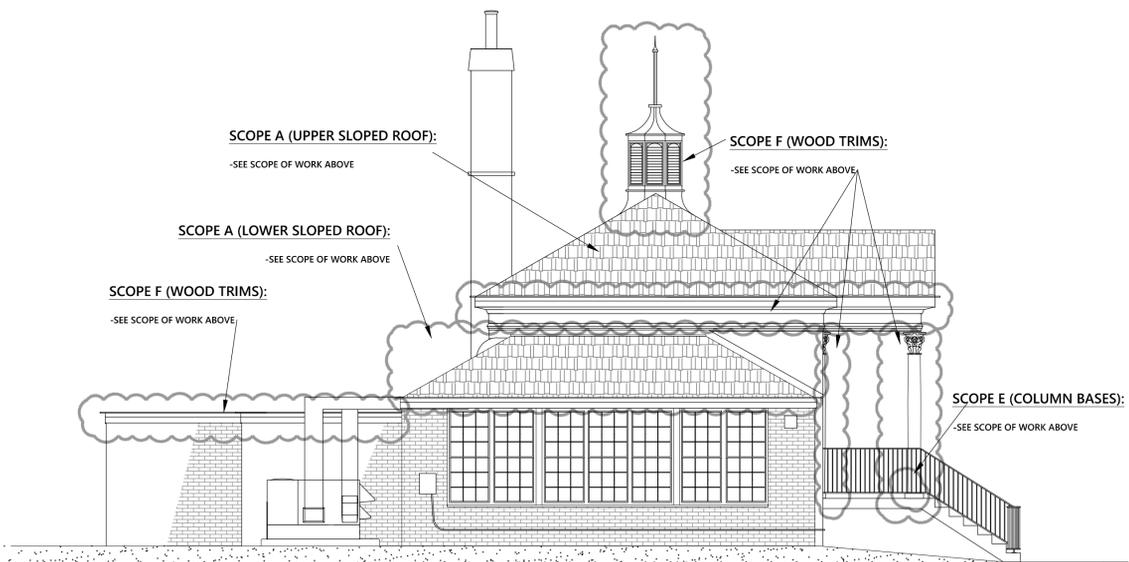
EXECUTIVE SUMMARY:

THE WORK IS DIVIDED INTO SEVEN ELEMENTS NAMED "SCOPE A" THROUGH "SCOPE G"

BASE CONTRACT:
 -SCOPE A (GUTTER SYSTEM @ UPPER SLOPED ROOF)
 -SCOPE B (ROOF SHINGLE REPLACEMENT)

ADDITIONAL ITEMS TO PROCEED AS FUNDING ALLOWS (SEPARATE PRICES):
 -SCOPE C (FLAT ROOF REPLACEMENT)
 -SCOPE D (CONCRETE STEPS, STEEL HANDRAIL)
 -SCOPE E (COLUMN BASES)
 -SCOPE F (REFINISHING OF WOOD TRIMS @ ROOF)
 -SCOPE G (REFINISHING OF WOOD TRIMS @ ENTRY)

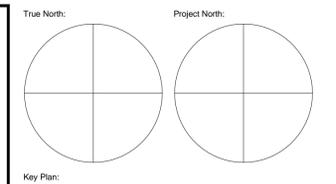
CONTRACTOR TO PROVIDE SEPARATE LINE ITEM PRICING FOR EACH SCOPE AS SHOWN ABOVE



NORTH ELEVATION
 SCALE: 1:100

NOTE:

- PATCH, REPAIR, PAINT AND MAKE GOOD ANY EXISTING INTERIOR WALL SURFACES DAMAGED BY THIS WORK.
- TAKE MEASURES TO PREVENT THE INGRESS OF MOISTURE, DUST, BUGS, ANIMALS, ETC., INTO THE BUILDING AT ALL TIMES.
- REMOVE RUBBISH PROMPTLY. SITE MUST BE NEAT AND CLEAN AT ALL TIMES.
- ALL SURFACES REQUIRING RE-PAINING TO RECEIVE MIN. 1 COAT PRIMER AND TWO COATS HIGH QUALITY FINISH PAINT IN COLOUR TO MATCH EXISTING. SAND BETWEEN COATS. FEATHER INTO EXISTING FINISH TO ACHIEVE SEAMLESS APPEARANCE
- CONSULTANT MAY REVISE SPECIFICATIONS OR RECOMMENDATIONS ON-SITE IF UNEXPECTED CONDITIONS ARE FOUND OR IF AS-BUILT CONSTRUCTION DIFFERS FROM EXPECTATIONS



Key Plan:

No.	Date	Issued/Revision	By:
5	JAN 19, 2024	For review	R.M.
4	DEC 20, 2023	For review	R.M.
3	AUG 24, 2023	For review	R.M.
2	FEB 14, 2023	For review	R.M.
1	NOV 16, 2022	For review	H.K.



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Designer:   Engineer:

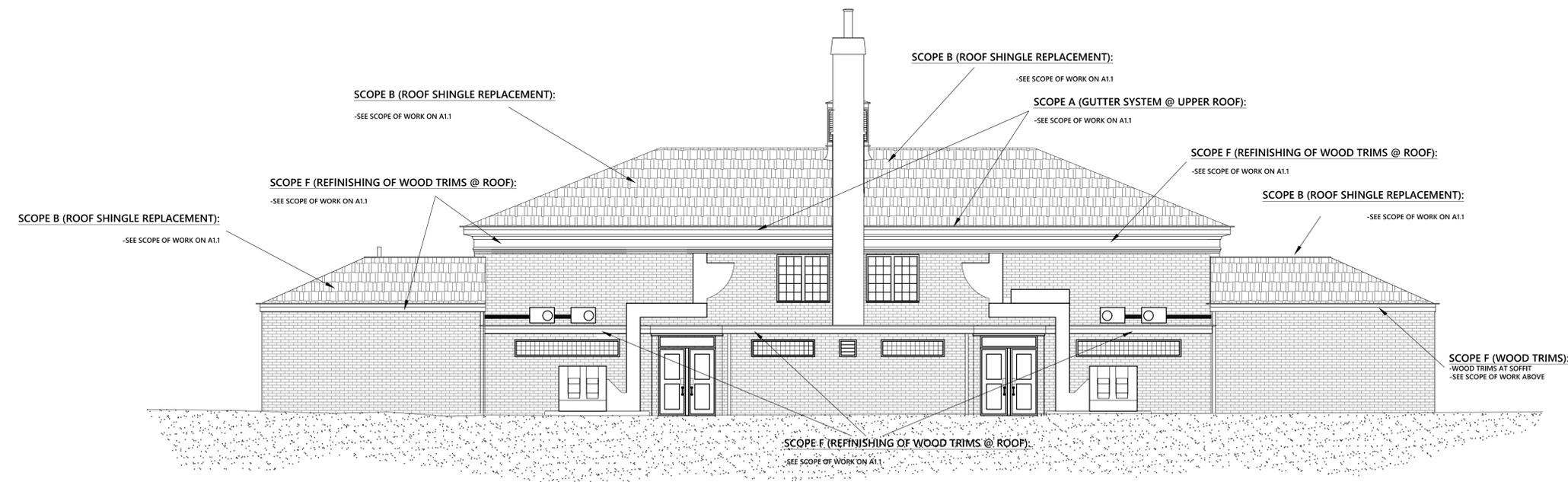
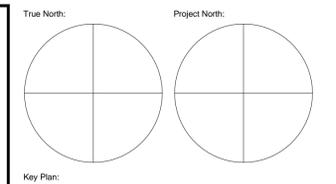
Project:
Exterior Maintenance Alumni House
 1550 The Collegeway
 Mississauga, ON

Sheet Title:
WEST ELEVATION NORTH ELEVATION CONSERVATION NOTES

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.

Scale: AS SHOWN Date: JAN, 2021 Project No: 00.00

Drawing No:
 A1.1



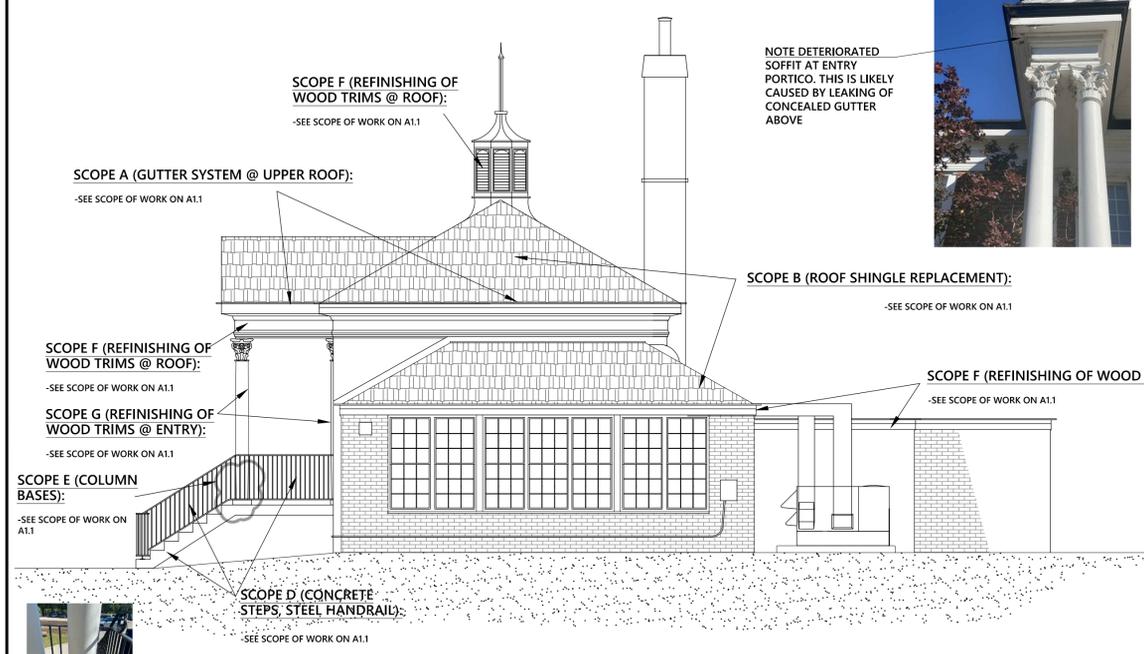
1 EAST ELEVATION
SCALE: 1:100

SCOPE C (FLAT ROOF REPLACEMENT):

- REMOVE EXISTING ROOF MEMBRANE AND ANY EXISTING UNDERLAYMENT FROM FLAT ROOF AREA. NOTE HVAC DUCTS AND MECHANICAL UNITS THAT WILL REQUIRE TEMPORARY SUPPORT OR REMOVAL DURING THIS PROCEDURE. NOTE TEMPORARY DE-CONNECTION OF POWER, WATER AND GAS SERVICES MAY BE REQUIRED DURING THIS PROCEDURE.
- PROVIDE TEMPORARY COVER TO PREVENT INGRESS OF WATER INTO BUILDING DURING ROOF REPLACEMENT
- REPLACE LOCAL AREAS OF DETERIORATED SHEATHING (MAX 10% OF ROOF AREA) WITH NEW MATERIAL TO MATCH EXISTING
- ENSURE POSITIVE SLOPE TO DRAIN OF ALL FLAT ROOFS BY PROVIDING SLOPING WOOD SLEEPERS @ 16" O.C. AND 1/2" PLYWOOD SHEATHING ON TOP OF THE STRUCTURAL SHEATHING OR CONTRACTOR MAY PROPOSE SLOPED INSULATION PANELS IF DESIRED. CONSULT WITH UTM REPRESENTATIVE AND CONSULTANT.
- PROVIDE CANT STRIPS AT ALL HORIZONTAL/VERTICAL JUNCTIONS. RUN ROOFING MATERIAL MIN 150MM UP VERTICAL SURFACE AND SEAL. PROVIDE COUNTER-FLASHING TO COVER SEAL. DO NOT RE-USE FLASHINGS WITHOUT CONSULTING WITH UTM REPRESENTATIVE AND CONSULTANT
- PROVIDE GYPSUM PROTECTION BOARD PER SPECIFICATIONS AND ROOF MANUFACTURER'S INSTRUCTIONS
- PROVIDE NEW MODIFIED BITUMEN FLAT ROOF MEMBRANE PER SPECIFICATIONS
- REPLACE ALL STARTER STRIPS, WALL AND OTHER FLASHINGS, CANT STRIPS, GASKETS AROUND ROOF PENETRATIONS, PIPE SUPPORTS, HVAC SUPPORTS, ETC.
- IF ENCOUNTERED: CLEAN AND INSPECT ALL ROOF DRAINS. REPLACE ALL FLASHINGS, GASKETS AND SEALS AROUND ROOF DRAINS.
- IF ENCOUNTERED: INSPECT ALL PARAPET WALLS FOR STRUCTURAL SOUNDNESS AND REPORT RESULTS TO UTM REPRESENTATIVE AND CONSULTANT. REPLACE ALL CANT STRIPS, FLASHINGS, DRIP EDGES AND OTHER SIMILAR ELEMENTS ASSOCIATED WITH PARAPET WALLS. RUN NEW ROOFING MATERIAL UP PARAPET WALLS AND UNDER FLASHINGS TO ENSURE POSITIVE SEAL.
- REINSTALL ALL MECHANICAL UNITS, RECONNECT ALL MECHANICAL AND ELECTRICAL SERVICES DISTURBED DURING THIS WORK
- MAJOR STRUCTURAL REPAIRS ARE NOT PART OF THE SCOPE OF WORK

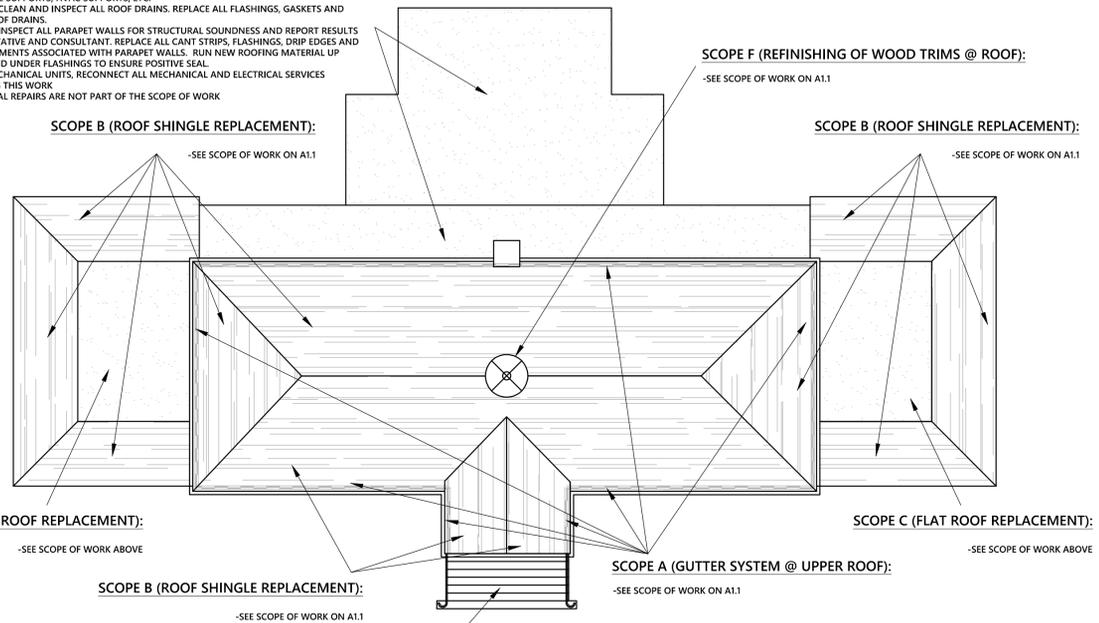


NOTE DETERIORATED SOFFIT AT ENTRY PORTICO. THIS IS LIKELY CAUSED BY LEAKING OF CONCEALED GUTTER ABOVE



2 SOUTH ELEVATION
SCALE: 1:100

SCOPE C (FLAT ROOF REPLACEMENT):



3 ROOF PLAN
SCALE: NTS

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Designer:  Engineer: 

Project: **Exterior Conservation Alumni House**
1550 The Collegeway
Mississauga, ON

Sheet Title: **EAST ELEVATION SOUTH ELEVATION ROOF PLAN**

Design By:	Drawn By:	Approved By:
R.M.	R.M.	R.M.

Scale:	Date:	Project No:
AS SHOWN	JAN, 2021	00.00

Drawing No: **A1.2**