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HERITAGE IMPACT & URBAN DESIGN STUDY

*IMPACT OF PROPOSED DEVELOPMENT
1646 DUNDAS ST. W., MISSISSAUGA*

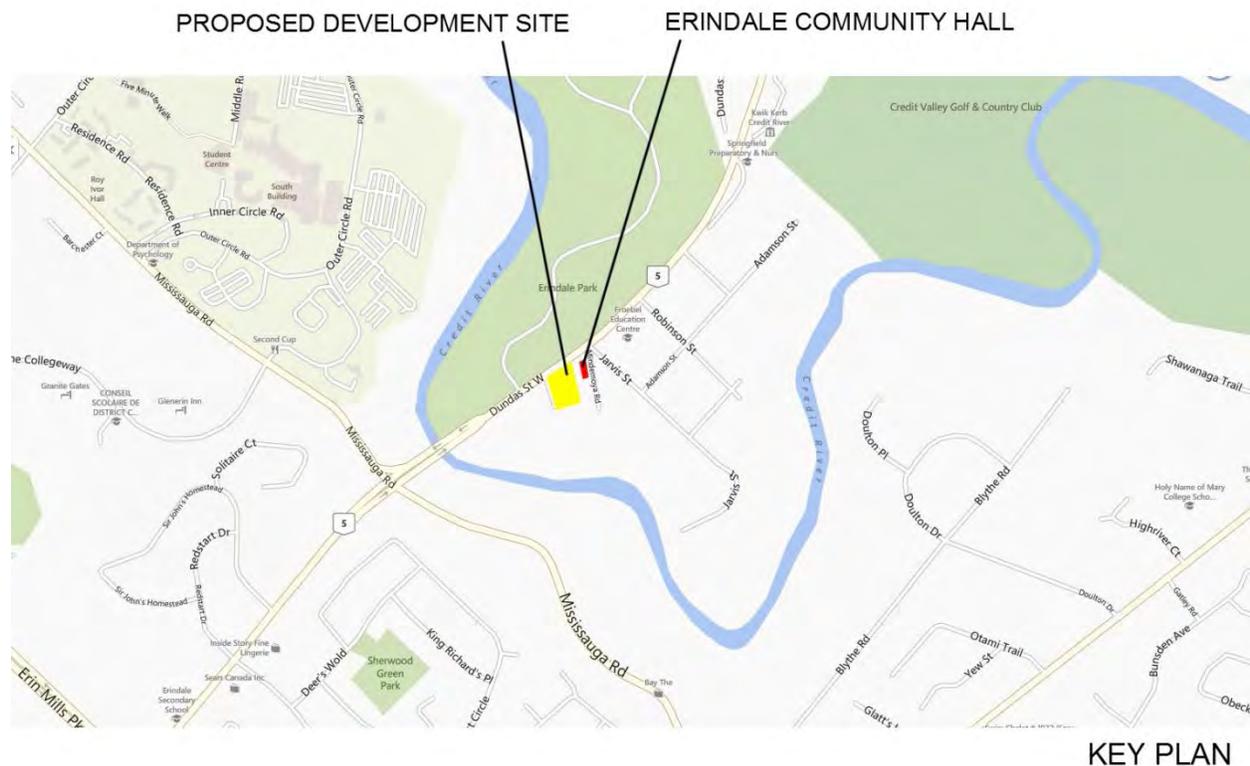


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1.0 Introduction

This Heritage Impact & Urban Design Study discusses the Erindale Community Hall at 1620 Dundas St. W., Mississauga ON, and the surrounding historic community of Erindale. It assesses the potential impact to this heritage resource and community of a proposed 8-storey condominium development to be located at 1646 Dundas St. W. The Erindale Community Hall is a designated under Part IV of the Ontario Heritage Act and the former Village of Erindale is a Cultural Landscape recognized by the City of Mississauga. The report also considers the impact of the proposed demolition of the existing building at 1646 Dundas St. W. Although a comparatively new building this is part of the Cultural Landscape and its removal must be assessed as part of the Heritage Impact of the project.

This report also reviews and comments on the applicable Zoning By-law and Official Plan implications of the proposed development.



This Heritage Impact & Urban Design Study was requested by Planning Staff at the City of Mississauga to support an application by Erindale Village Living Inc. through their agents YYZed Project Management and in respect of a building designed by CMV Group Architects.

“Cultural landscapes are settings that enhance community vibrancy, aesthetic quality, distinctiveness, sense of history and/or sense of place. The City of Mississauga adopted a Cultural Landscape Inventory in 2005. It is the first municipality in the province to do so. All cultural landscapes are listed on the City’s

Heritage Register. Most landscapes include numerous properties. There are approximately 60 landscapes or features, visually distinctive objects and unique places within landscapes, on the City's Heritage Register.

. . . Cultural Landscapes can be defined as a setting which has enhanced a community's vibrancy, aesthetic quality, distinctiveness, sense of history or sense of place."

(City of Mississauga website)



AIR PHOTO

The Cultural Landscape Inventory defines and describes the fundamental characteristics of this Landscape as follows:

"This small residential enclave has a wonderful visual appearance and special landscape character defined by mature trees and a common scale of structures. Most prominent are the rows of Norway spruce, remnants of the former agricultural fields, which predate the housing development. The preservation of these trees through the sensitive siting of housing and roads has created a unique and wonderful residential environment similar to other neighbourhoods straddling the Credit River Valley. The street pattern and scattered heritage properties are the remnants of this nineteenth century village."

(The Landplan Collaborative Ltd., Goldsmith, Borgal & Company Ltd., North South Environmental Inc., Geodata Resources Inc., 2005)

The ability of a municipality to identify Cultural Landscapes and to require a Heritage Impact Statement is mandated by the Provincial Policy Statement (2005):

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.3 *Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

Mitigative measures and/or alternative development approaches may be required in order to conserve the *heritage attributes of the protected heritage property* affected by the adjacent *development or site alteration*.

Where “cultural heritage landscape” means “a defined geographical area of heritage significance which has been modified by human activities and is valued by a community. It involves a grouping(s) of individual heritage features such as structures, spaces, archaeological sites and natural elements, which together form a significant type of heritage form, distinctive from that of its constituent elements or parts. Examples may include, but are not limited to, heritage conservation districts designated under the Ontario Heritage Act; and villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trailways and industrial complexes of cultural heritage value” and where “significant” means “in regard to cultural heritage and archaeology, resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people” and where “conserved” means “the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment”.

The “Mississauga Plan”, the City of Mississauga’s most recent Official Plan (currently under appeal) also has broad requirements for Heritage Conservation and the protection of existing, stable neighborhoods, including:

Where there is a conflict between the policies relating to the natural and cultural heritage and the rest of this Plan, the direction that provides more protection to the natural and cultural heritage will prevail. (1.1.4(e))

Any construction, development, or property alteration which might adversely affect a listed or designated heritage resource or which is proposed adjacent to a heritage resource may be required to submit a Heritage Impact Statement, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction. (3.20.2.3)

. . . valuable cultural heritage resources will be protected and strengthened with infill and redevelopment, compatible with the existing or planned character . . . it is important that infill “fits” within the existing urban context and minimizes undue impacts on adjacent properties. (9.1)

1.1 Terms of Reference

The proposal will be evaluated in several ways – as it relates to the Erindale Village Cultural Landscape (including the proposed removal of the existing building at 1646 Dundas St. W.) and as it relates to the

Part IV designated Erindale Village Hall. The City of Mississauga requires that different terms of reference be applied in each case.

1.1.1 Terms of Reference for Cultural Landscape

The City requires that at a minimum a Cultural Landscape Heritage Impact Statement must include the following:

1. General requirements:

- property owner contact information
- location map
- a site plan of existing conditions, to include buildings, structures, roadways, driveways, drainage features, trees and tree canopy, fencing and topographical features
- a written and visual inventory (photographs) of all elements of the property that contribute to its cultural heritage value, including overall site views. For buildings, internal photographs and floor plans are also required.
- a site plan and elevations of the proposed development
- for cultural landscapes or features that transcend a single property, a streetscape plan is required, in additions to photographs of adjacent properties
- qualifications of the author completing the report

2. Addressing the Cultural Landscape or Feature Criteria:

(required Y/N by Erindale Village Cultural Landscape Inventory)

Landscape Environment:

- scenic and visual quality *Y*
- natural environment *N*
- horticultural interest *Y*
- landscape design, type and technological interest *N*

Built Environment:

- aesthetic and visual quality *N*
- consistent with pre World War II environs *N*
- consistent scale of built features *Y*
- unique architectural features/buildings *N*
- designated structures *Y*

Historical Associations:

- illustrates a style, trend or pattern *N*
- direct association with important person or event *N*
- illustrates an important phase of social or physical development *Y*
- illustrates the work of an important designer *N*

Other:

- historical or archaeological interest *Y*
- outstanding features/interest *N*
- significant ecological interest *N*
- landmark value *N*

3. Property information:

- chain of title, date of construction

4. Impact of Development or Site Alteration:

- destruction of any, or part of any, significant heritage attributes or features
- alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden
- isolation of a heritage attribute from its surrounding environment, context or a significant relationship
- direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
- a change in land use where the change in use negates the properties cultural heritage value
- land disturbances such as change in grade that alter soils and drainage patterns that adversely affect cultural heritage resources

5. Mitigation Measures:

- alternative development approaches
- isolating development and site alteration from the significant built and natural heritage features and vistas
- design guidelines that harmonize mass, setback, setting and materials
- limiting density and height
- allowing only compatible infill and additions
- reversible alterations

6. Qualifications:

- The qualifications and background of the person completing the Heritage Impact Statement will be included in the report. The author must demonstrate a level of professional understanding and competence in the heritage conservation field of study

7. Recommendation:

- the consultant should provide a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act (not applicable in this instance)

1.1.2 Terms of Reference for Part IV Designated Buildings

1. A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s). However, please note that due to the Freedom of Information and Protection of Privacy Act, current property owner information must not be included. As such, Heritage Planning will request that current property owner personal information be redacted to ensure the reports comply with the Act.

2. A complete listing and full written description of all existing structures, natural or man-made, on the property. Specific mention must be made of all the heritage resources on the subject property which include, but are not limited to: structures, buildings, building elements (like fences and gates), building materials, architectural and interior finishes, natural heritage elements, landscaping, and archaeological resources. The description will also include a chronological history of the structure(s) developments, such as additions, removals, conversions, alterations etc.

The report will include a clear statement of the conclusions regarding the significance and heritage attributes of the cultural heritage resource.

A location map must be provided, with indications of existing land use, zoning, as well as the zoning and land use of adjacent properties.

3. Documentation of the existing conditions related to the heritage resource will include:

-Current legible internal photographs, external photographs from each elevation.

Please note that due to the Freedom of Information and Protection of Privacy Act, photographs should not contain people or highlight personal possessions. The purpose of the photographs is to capture architectural features and building materials.

-Measured drawings, including elevations, floor plans, and a site plan or survey, at an appropriate scale for the given application, indicating the context in which the heritage resource is situated.

-Historical photos, drawings, or other archival material that may be available or relevant.

The applicant must provide a description of all relevant municipal or agency requirements which will be applied to the subject property, and when implemented may supplement, supersede and/or affect the conservation of heritage resources (i.e. Building Code requirements, Zoning requirements, Transportation and Works requirements.)

4. An outline of the proposed development, its context and how it will impact the heritage resource and neighbouring properties will be provided. This may include such issues as the pattern of lots, roadways, setbacks, massing, relationship to natural and built heritage features, recommended building materials, etc. The outline should address the influence of the development on the setting, character and use of lands on the subject property and adjacent lands. If the property forms part of a Heritage Conservation District, the proposal must be analysed in terms of its compliance with the Heritage Conservation District Plan.

Note: An architectural drawing indicating the subject property streetscape with properties to either side of the subject lands must be provided. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and integrates with the adjacent properties from a streetscape perspective. The drawing must therefore show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

5. Full architectural drawings, by a licensed architect or accredited architectural designer, showing all four elevations of the proposed development must be included for major alterations and new construction.

6. An assessment of alternative development options and mitigation measures that should be considered in order to avoid or limit the negative impact on the cultural heritage resources. Methods of minimizing or avoiding negative impact on a cultural heritage resource as stated in the Ontario Heritage Tool Kit (InfoSheet #5, Ministry of Culture) include, but are not limited to:

-Alternative development approaches

-Isolating development and site alteration from the significant built and natural heritage features and vistas

- Design guidelines that harmonize mass, setback, setting and materials
- Limiting height and density
- Allowing only compatible infill and additions
- Reversible alterations

These alternate forms of development options presented in the Heritage Impact Assessment must be evaluated and assessed by the heritage consultant writing the report as to the best option to proceed with and the reasons why that particular option has been chosen.

7. A summary of conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Historic Properties, Ontario Ministry of Culture. (Both publications are available online.)

8. Proposed demolition/alterations must be explained as to the loss of cultural heritage value interests in the site and the impact on the streetscape and sense of place.

9. When a property cannot be conserved, alternatives will be considered for salvage mitigation. Only when other options can be demonstrated not to be viable will options such as relocation, ruinification, or symbolic conservation be considered.

Relocation of a heritage resource may indicate a move within or beyond the subject property. The appropriate context of the resource must be considered in relocation. Ruinification allows for the exterior only of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.

All recommendations shall be as specific as possible indicating the exact location of the preferred option, site plan, building elevations, materials, landscaping, and any impact on neighbouring properties, if relevant.

Summary Statement and Conservation Recommendations:

The summary should provide a full description of:

-The significance and heritage attributes of the cultural heritage resource, including the reference to a listing on the Heritage Register, or designation by-law if it is applicable

-The identification of any impact that the proposed development will have on the cultural heritage resource

-An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended

-Clarification as to why conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate

Mandatory Recommendation:

The consultant must write a recommendation as to whether the subject property is worthy of heritage designation in accordance with the heritage designation criteria per Regulation 9/06, Ontario Heritage Act. Should the consultant not support heritage designation then it must be clearly stated as to why the subject property does not meet the criteria as stated in Regulation 9/06.

The following questions must be answered in the final recommendation of the report:

-Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?

-If the subject property does not meet the criteria for heritage designation then it must be clearly stated as to why it does not

-Regardless of the failure to meet criteria for heritage designation, does the property warrant conservation as per the definition in the Provincial Policy Statement:

Conserved: means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

Please note that failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.



NORTH-WEST ELEVATION

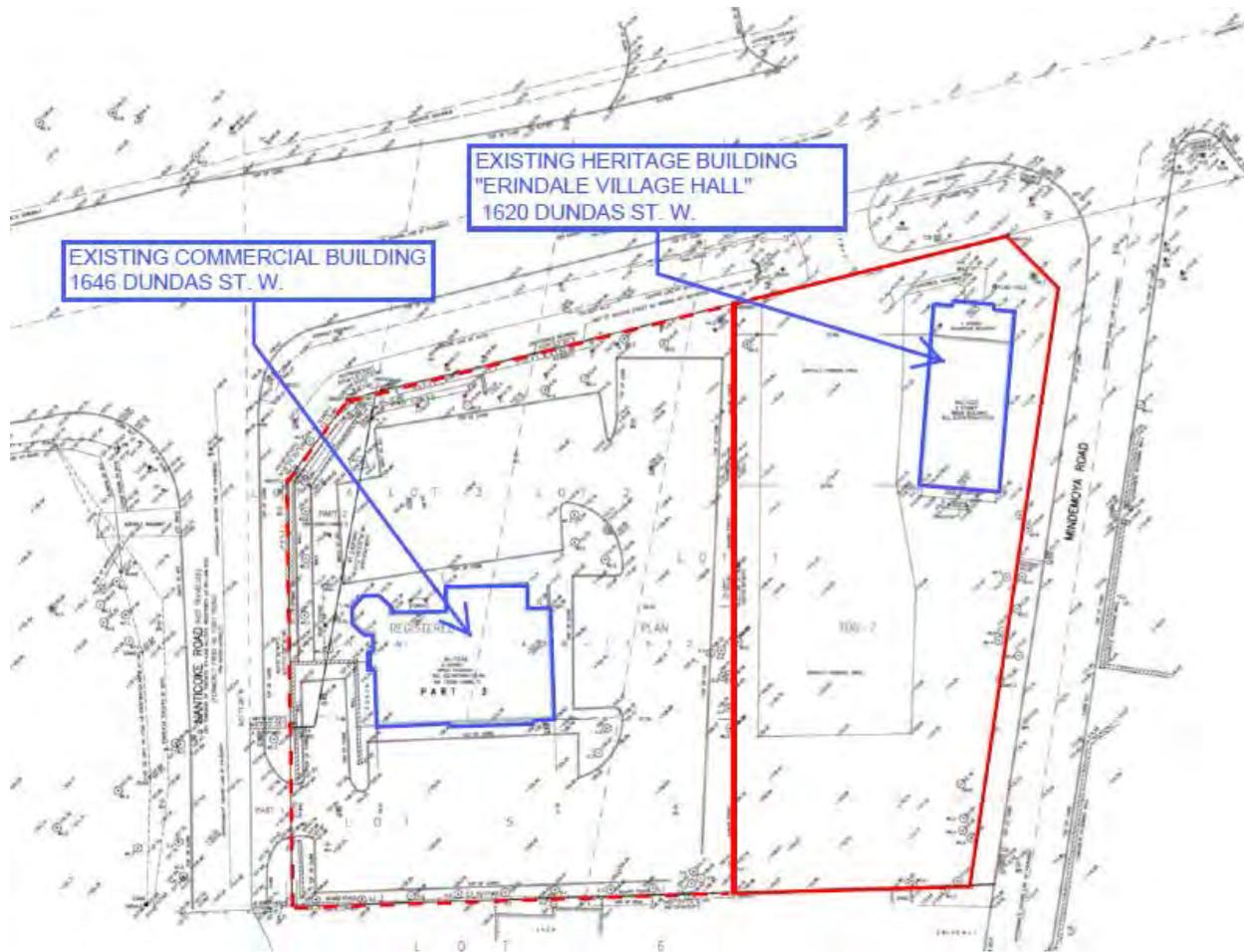
1.2 Context

Erindale Community Hall is a 220 m² building (plus basement) located on a 0.25 ha site on the south side of Dundas St. W. east of Mississauga Rd. The site is bordered to the east by Mindemoya Rd.; to the south by residential development; to the west by an existing 3-storey mixed-use building (proposed to be demolished as part of this development) and to the north by Dundas St. W. The streetscape is a mix of generally one and 2-storey buildings of varying age and character. The oldest appear to be late 19th century construction. Several are older residential buildings that have been re-purposed for commercial uses and some are former commercial buildings now used as residences. In general the streetscape is highly varied and incohesive as regards building styles and forms.

The Village of Erindale (also formerly known as Springfield) was one of the communities that amalgamated in 1968 to form the modern Town (later City) of Mississauga. Many of the buildings described above are associated with the Village of Erindale. The Village consisted of a residential core to the south-east of the site and south of Dundas St. W. and a mixed commercial-residential section along Dundas St. W. The subject site is at the westerly extremity of the original Village and appears to never have been a significant element in its development. In general the remaining buildings are rather disparate in their relationship to the street and to each other. There is no intact heritage streetscape.

1.2.1 The Site

For the purposes of this Heritage Impact & Urban Design Study the site is the area occupied by the Erindale Village Hall and the 0.35 ha proposed development site to the west.



SCHMATIC PLAN - ERINDALE VILLAGE HALL SHOWN IN SOLID RED LINE, DEVELOPMENT PROPERTY IN BROKEN RED LINE (see larger copy of survey appended to this report)

1.2.2 Heritage properties impacted

For the purposes of this Heritage Impact & Urban Design Study the extent of heritage properties impacted is limited to the Erindale Community Hall and the existing building at 1646 Dundas St. W. The impact on the Erindale Village Cultural Landscape is also considered.

1.3 Site Analysis

The Community Hall site includes paved parking for the use of the Hall and a minor planted area at the westerly margin of the property. The southerly portion of the property, adjacent to the residential properties along Mindemoya Rd., is randomly treed and undeveloped. The trees are mature but individually insignificant. The topography of the site is sloping with distinct downward fall from north to south and from east to west. This sloping is associated with the property's location in the Credit River

valley. Mindemoya Rd. is almost one full storey higher than this building and the consequent grade separation along the east side of the property is a major site feature.

The topographical condition of the site is partially due to natural conditions – the Credit Valley – and partially due to the fact that the elevations of Dundas St. W and Mindemoya Rd. have been artificially raised over time and this has led to significant filling and regrading of the site along the northerly and easterly boundaries.



NORTH-EAST ELEVATION SHOWING GRADE SEPARATION, EXISTING BUILDING AT 1646 BEYOND

The proposed development site has been artificially flattened and is largely paved. It is occupied by a 3-storey mixed-use building constructed in the 1980's that is proposed to be demolished as part of this development.



EXISTING BUILDING 1646 DUNDAS ST. W. - PROPOSED TO BE DEMOLISHED

1.3.1 Ecological Interest

The historic topography of the land is generally maintained in this area, but both sites have been stripped of all native vegetation. The road elevations of both Dundas St. W. and Mindemoya Rd. have obviously been artificially raised over time leading to a sunken appearance at the north-east corner of the site, closest to the Community Hall. Views of the Hall from the east are significantly diminished by this situation. This grade separation is a significant limiting factor in allowing the expression and enjoyment of the heritage attributes of the building.

1.4 Description of Heritage Building

The Erindale Community Hall is a one-storey rectangular stone building with simple gable roof and partially elevated basement. The front entrance is a one-storey, wood frame, gable roofed structure flanked by two wood frame, flat-roofed volumes. Historic photos show that the gable-roofed entry was original to the building but the flat-roofed elements were later additions. The side elevations are punctuated at the main floor level by four cambered-top windows with stone voissours and cut stone sills. A smaller window at the basement level is located beneath each of the main floor windows. All of

the stone on the building is roughly dressed with the exception of the sills. The roof is 12/12 pitch with narrow soffits and a simple exposed rafter detail on the lower soffits. Gable end walls and soffits are covered in aluminum siding. The windows are painted wood, older units with fixed upper sash and sliders below and are not original to the building. The front doors are residential type metal units with sealed glazing in the upper half of the door panel and obviously not original to the building. At the rear a new metal fire-escape system has recently been installed.



MAIN FLOOR FINISHING (NOTE UPWARD BOW IN FLOOR)

The building's plan is very simple (see appended drawings). The front entry is at mid-elevation between the main floor and basement. There is a small lobby with half a flight of stairs down to the basement and half a flight up to the main floor. Men's and Ladies' washrooms flank the lobby at the mid-elevation level. The main floor consists of one large room with an elevated stage along the south wall of the building. There are stairs on either side of the stage and these lead to exit doors behind the stage. The basement is also one large room, although with a small storage room near the stairs and a kitchen and mechanical room along the south wall.

The interior finishing of the building is very simple with plaster walls, minimal trims and hardwood floors. The ceiling on the main floor is an acoustic tile type system on metal grids. The basement walls appear to have been furred out and recently drywalled and painted.

Overall the building is a simple, vernacular construction with minimal detailing and no obvious design intent.

1.4.1 Statement of Cultural Value or Interest

The City of Mississauga's Statement of Cultural Value or Interest as regards the Erindale Village Hall is as follows:

Erindale Community Hall is a rare example of a surviving purpose-built community hall in Mississauga.

Erindale Community Hall has direct associations with the Erindale community and beyond. It yields information that contributes to an understanding of Erindale.

Erindale Community Hall is important in defining, maintaining and supporting the character of the area. It is physically, functionally, visually and historically linked to its surroundings. The hall is a local landmark.

Description of Heritage Attributes:

Key attributes that reflect Erindale Community Hall's physical design value:

- its traditional long rectilinear hall form with a traditional roof and porch
- features indicative of its age including:
 - Credit Valley stone material
 - traditional window and door openings
 - window sills and voussoirs
 - exposed purlins (note: this should be "rafters")
 - shape, form and material of chimney
 - venting in the gable ends
- location close to, and with main entrance facing and open to, Dundas Street West

Key attributes that reflect Erindale Community Hall's historical/associative value:

- its location in Erindale and along its main thoroughfare
- its Credit Valley stone

Key attributes that reflect Erindale Community Hall's contextual value:

- its location in Erindale and along its main thoroughfare
- its visibility from Dundas Street West and Mindemoya Road

1.4.2 Heritage Building Condition Assessment

The building's condition is fair, with no major issues apparent but significant areas where remedial work should be done. There are a significant number of cracks in the exterior stone walls and in a concrete block wall in the mechanical room and these should be investigated as to their cause. At minimum they should be re-pointed and repaired. The main floor is noticeably uneven with settling of the floor visible at the outside walls. This may indicate a differential settlement issue.

The main floor windows are in fair condition and the basement windows are in poor condition. The roof shingles are in poor condition and a piece of fascia flashing is missing on the front elevation. The washrooms are older and in fair condition.

In the basement there are areas near one staircase and in the mechanical room where bare foundation stones are visible and deterioration of the mortar is obvious. This may indicate an issue with water

penetration. There was standing water on the mechanical room floor but this may have been coming from the furnace condensate pump.



FURNACE ROOM (NOTE WALL DETERIORATION, STANDING WATER)

There were numerous instances on the main floor where there seemed to be less than adequate fire protection at the ceiling, especially around the stage area. The wiring in this area also seemed to be older and in some cases non-professional. These issues should be investigated urgently.

There appeared to be grading and drainage issues around the east side of the property.

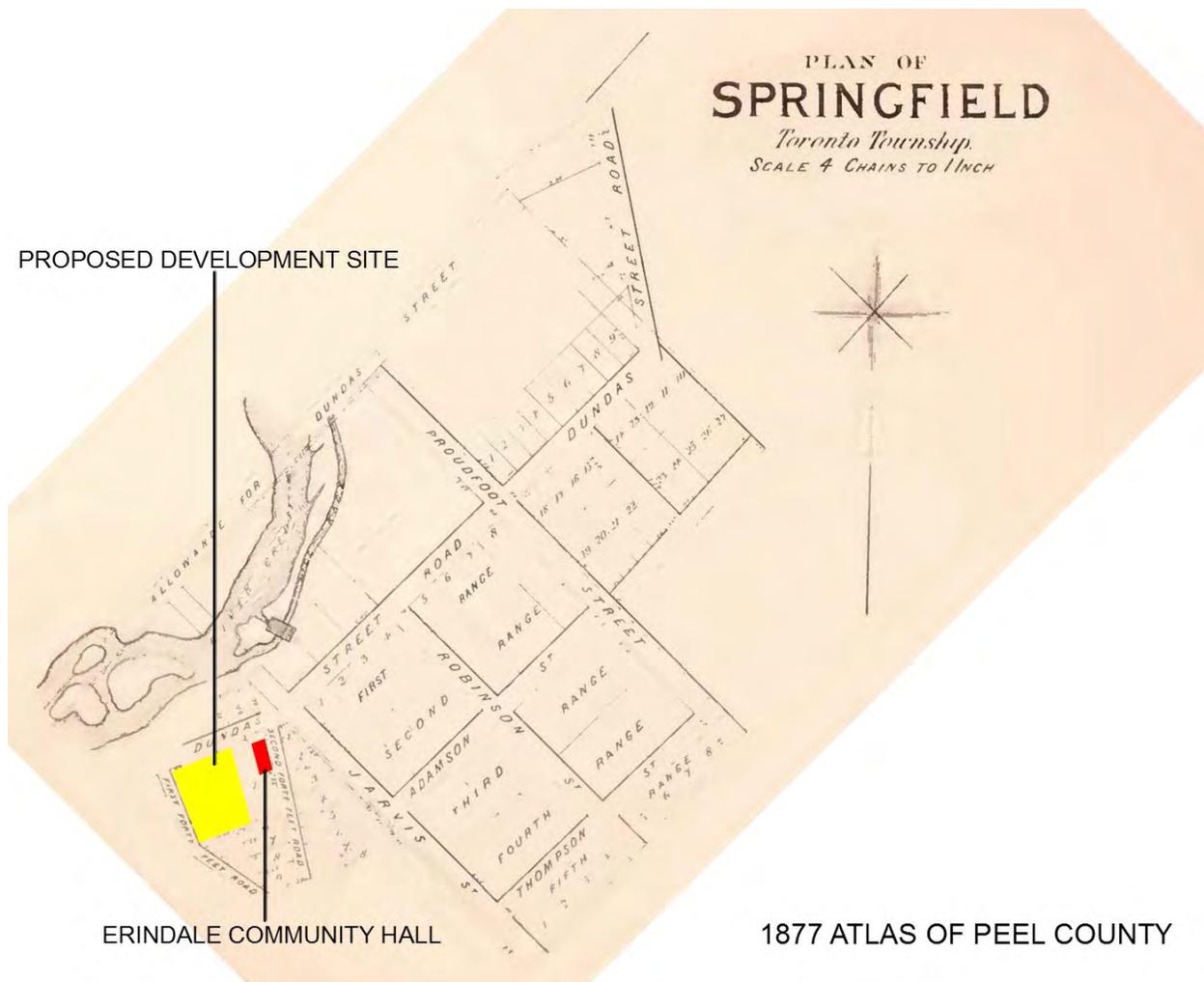


CEILING AT STAGE AREA (NOTE INADEQUATE FIRE PROTECTION)

2.1 Site History

The lands upon which the Erindale Community Hall are located are Lot 4, Range 1 South of Dundas Street, Racey Tract, and were part of the second purchase of lands by the British Crown from the Mississauga First Nation. The Crown had first purchased lands in this area from the Mississaugas in 1805. This was for lands south of the present Eglinton Avenue but excluding a strip of land one mile either side of the Credit River. In 1818 there was a further purchase of lands north of Eglinton Avenue and in 1820 two further treaties that ceded the Credit Valley lands and that left the Mississaugas with just one 200 acre parcel near the present Mississauga (sic) Golf Club. (Part of this became known as the "Racey Tract" because a Major Thomas Racey had been given property here for the purpose of establishing a town and mill).¹

¹ Fitzgibbon, Meaghan, "Searching for the Mississauga of the Credit River: Treaties", Heritage Mississauga website.



ORIGINAL SUBDIVISION OF ERINDALE (SPRINGFIELD)

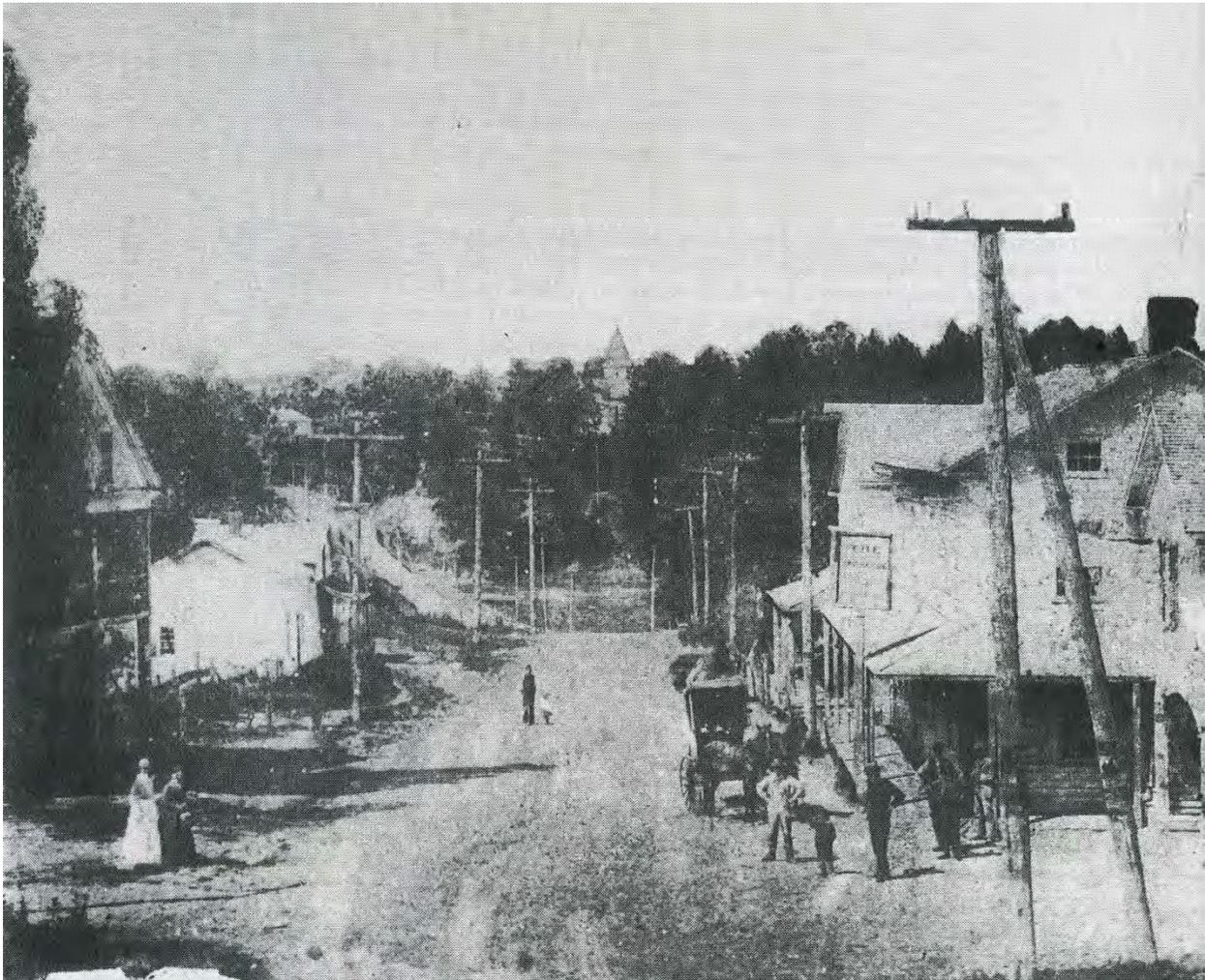
These lands were further subdivided by lots into the Village of Erindale (formerly Springfield) by J.O. Browne P.L.S.

Dundas St. was a major defence and commercial road and this location at the “crook of the Credit” and mid-way between Hamilton and Toronto was an ideal place for a community. It was also a location that historically First Nations and European settlers had met to trade.

Lots in the Village were first auctioned off in 1825 and the community grew quickly. Soon it included the locally renowned Royal Exchange Hotel as well as a number of general stores, mills and churches. It served as a stopping point for travellers along Dundas Street between Hamilton and Toronto. The Village began to decline after it was bypassed by the Great Western Railway in 1855. This was somewhat mitigated by the arrival of the Credit Valley Railway in 1879 and the building of a station nearby on what is still known as Erindale Station Rd.²

² Heritage Mississauga, “A Heritage Tour – Erindale”

The Community Hall property was first deeded by the Crown to the Magrath family. The Magraths were early settlers in the Village and James Magrath was an Anglican minister and also a magistrate for Peel County. From 1829 his son, also named James, operated a store on the site of the present Village Hall. In 1849 the younger Magrath built a new store on the north side of Dundas St. W. and donated this property and his former store building to the Village to be used as St. Peter's Parish Hall. It was a 2-storey building – the first floor was a store and warehouse and the second level a large auditorium which had also used as a court house.³ In 1866 the property was granted to Arthur B. Harris in trust “for the Vestry of St. Peter’s” Anglican Church. By World War 1 the use of the Hall had grown beyond the Anglican community and it was functioning as a community facility.⁴



ERINDALE LOOKING WEST, 1885 (COMMUNITY HALL IS 2-STOREY BUILDING AT LEFT (BURNED 1919))

³ Hicks, Kathleen, “The Community Halls – 1851, unpublished manuscript, Heritage Mississauga

⁴ Heritage Structure Report, City of Mississauga

The Hall was by all accounts well used by the community, including for fund-raising events during World War 1.⁵

In the spring of 1919 a fire swept through the business district of Erindale destroying many buildings, among them the Church Hall. Many of these commercial buildings were never re-built. This is a significant factor in explaining the lack of a heritage streetscape along Dundas St. W.



COMMUNITY HALL AD 1914

2.2 Organizing for a new Community Hall

Following the fire the community undertook to re-build a Community Hall on the site. These efforts were spearheaded by the Erindale Women's Institute and by a men's group called the Now & Then Club. They approached the Toronto Township Council and were told that if they could raise \$1,500 from the community the Council would allow them to build a new building as long as the cost did not exceed \$6,000. By 1927 they had succeeded in this and the necessary by-law was passed. Council established a Board of Management for the new facility.⁶

2.3 Construction

Samuel Sherratt of Lakeview was appointed builder of the new Hall⁷ and J. C. Cotton was architect⁸. The men of the community excavated for the foundation and carried Credit Valley stones from the river to the construction site by horse and wagon. It is recorded that the overall length of the building was shortened by 10' during construction in order to reduce costs. By the fall of 1928 the project was

⁵ Heritage Mississauga, "Erindale Community Hall (1928)", unpublished manuscript

⁶ Hicks, Kathleen

⁷ Hicks, Kathleen

⁸ Heritage Mississauga, "Erindale Community Hall (1928)", unpublished manuscript

complete and the Erindale Village Hall was officially opened by Lieutenant Governor W.D. Ross on October 27, 1928.⁹



TORONTO STAR - OPENING DAY 1928

2.4 Operation

Following its opening the Hall was used extensively and for a variety of community functions including social events, as a polling station and as a school classroom. It housed many wedding showers and receptions and the parking lot served as a playground for local children. Piano lessons were given there, and it was used by all manner of community groups and events including card games, dramatic presentations and the Boy Scouts and Girl Guides.¹⁰ During World War 2 the South Peel Civil Guard used the building for training and the Erindale Lions Club considered the building their home and held various events here.¹¹

⁹ Hicks, Kathleen

¹⁰ Barker-Wilkinson, Mary, "Remembering . . . the Erindale Community Hall", unpublished manuscript, Heritage Mississauga

¹¹ Hicks, Kathleen



BARKER FAMILY - 1940'S (VILLAGE HALL IN BACKGROUND)

In the 1958-1959 season, for example, the Hall was used no less than 480 times.¹²

In 1959 the washroom additions were added and some other improvements including a conversion to oil heat were made.¹³

C.U.P.E. Local 66 is the longest continuous renter having started to hold monthly meetings there in 1965 and continuing until the present.¹⁴

In 1967 a plaque was unveiled commemorating the 50th anniversary of the Erindale Women's Institute and their role in the building of the Hall.

Following the creation of the Town (later City) of Mississauga in 1968, Erindale Community Hall was unique in that it was the only one of the Community Halls in the new City that was not transferred to municipal control. It continued to be operated by the Erindale Community Hall Association without municipal support until 2012 when, in the face of mounting costs and declining usage, the Association approached the City and asked them to take it over.¹⁵ Following a period of negotiation which included the designation of the building under Part IV of the Ontario Heritage Act, the Hall was taken into the City

¹² Hicks, Kathleen

¹³ Hicks, Kathleen

¹⁴ Heritage Structure Report, City of Mississauga

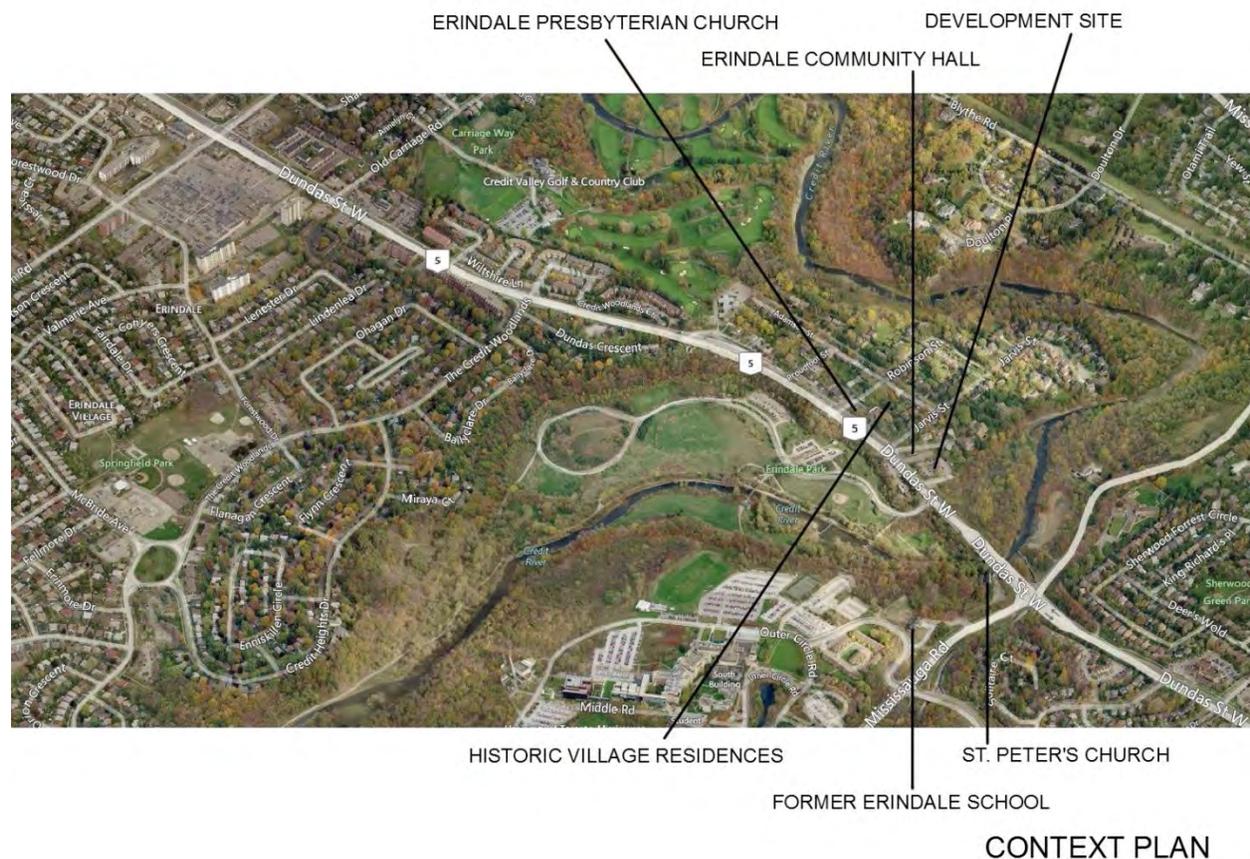
¹⁵ Mississauga News, "City adds Erindale Hall to its inventory", Nov 30, 2012

inventory at no cost to the City but with a pledge by the City to spend \$125,000 in repairs and to guarantee public access for at least 5 years.¹⁶

3.1 Architectural, Historical and Contextual Analysis

Erindale Community Hall is a simple, vernacular building without obvious architectural intent or interest. With its stone construction, steeply pitched roof and exposed rafters it exhibits some characteristics of Arts & Crafts detailing but in a very limited way. The building is decidedly civic in form and proportion and recalls many churches, schoolhouses and community buildings built across Ontario in the late 19th and early 20th centuries.

The Hall has rich historical importance to the community because of the involvement of the Erindale Women's Institute in its founding, the fact that it was built partially by local subscription, the use of local materials and the fact that local residents volunteered their time in its construction. It is also significant that it replaced on the same site an earlier building that was used for a similar purpose.



The overwhelming importance of the building is contextual, however. The building is significant in that it represents one of the few remaining major buildings associated with the Village of Erindale located on the former main street. There are a number of other surviving major buildings from the original Village

¹⁶ Mississauga News, "City adds Erindale Hall to its inventory", Nov 30, 2012

including the public school (now University of Toronto at Mississauga Alumni House), the Evans estate (now Glen Erin Inn), Lislehurst (residence of the president of the University of Toronto at Mississauga), Robinson-Adamson Grange (now the offices of the Mississauga Heritage Foundation), Erindale Presbyterian Church, St. Peter's Anglican Church and the Anglican parsonage (now Heritage Orthodontics). Of these, only the church buildings and the Community Hall are part of the original core of the village and the Hall is the only building available for public use.

4.1 The Proposal



The proposal by CMV Group Architects with landscape architecture by Seferian Design Group is to create a 8-storey residential condominium with commercial uses at grade on the site of the present 3-storey mixed use building at 1646 Dundas St. W.

The proposed building is a mix of traditional and contemporary forms, materials and textures and has been crafted to respect the traditional use and character of the area, to respect and accentuate the adjacent Erindale Village Hall and to further the character of Erindale as one of the constituent communities of Mississauga.

The building occupies the site from Nanticoke Rd. to the west to the shared property line with the Village Hall to the East. There is a 0.3m setback to the west, 3.0m to the east (above the underground garage level) and 3.69m to Dundas St. W. (above the garage/patio level). The primary entrance to the

residential and commercial parts of the building are via a shared entrance on Dundas St. W. just east of Nanticoke Rd. The delivery and parking entrances to the building are from Nanticoke Rd.

The proposed building is a compact, urban form visually divided into distinct components. This composition breaks down the building into a number of discrete and defined elements. The building thus becomes a collage of the smaller forms and creates an interplay of these forms. The forms are defined by their materials.



DUNDAS ST. W. ELEVATION – NOTE HOW PODIUM CORRESPONDS TO HEIGHT OF THE ERINDALE VILLAGE HALL

The 3 storey Dundas St. podium consists of retail uses at grade and residential uses above. It presents as a series of repetitive dark brown brick elements at the second and third storey levels suspended over the larger punched openings of the retail businesses below. The repetitive use of these elements breaks down the podium into a series of vertical elements whose proportion recalls traditional commercial main street type development. The retail uses consist of glazed storefronts joined at grade by an open terrace feature elevated above the municipal sidewalk and grade level. The terrace is a method of resolving the significant grade change along Dundas St. W. with the necessarily horizontal commercial component. The terrace is flush with the grade at the east but rises above it as the grade falls away to the west. Stairs and planting features are introduced to transition the terrace back to grade level. The terrace acts as an extension of the sidewalk, provides an area for commercial “spill out” space and will animate the public realm (albeit to a limited extent given the scale of the space). The storefronts at grade will imply human scale to the building elevation and by the proportion and repetition of elements recall the historic main street commercial use of Dundas St. W. (although there is no record that this site was ever developed in this manner). The Dundas St. podium is aligned to the roof height of the height of the Erindale Village Hall and gives form and limit to the commercial component of the building.

The Nanticoke podium is also articulated in brick masonry and is equally as formal and composed as the Dundas St. elevation. The Nanticoke podium is a response to the massive adjacent forest and green space system and incorporates the garage and service entrances to the building. The repetitive vertical brick elements are repeated here but are taller as the ground plane lowers into the valley. As with the Dundas St. elevation this is a rhythmic and balanced composition. The service functions were intentionally located here to isolate them from the residential community and from the Erindale Village Hall. This is the face of the building that will be observed driving eastbound from Mississauga Rd.

The podia have been designed with a vertical rhythm intersected by floor lines to create a secondary grid to keep the rhythmic aspects subtle and not overwhelming.

Separating the two podia is the circular pivot that marks the corner of Dundas and Nanticoke. This feature accomplishes the change in geometry of the building at the corner and celebrates the intersection of these components. Together the two podia frame this element.

Above the podia are terraced penthouse structures. The first penthouse is set back from the podium below and each subsequent penthouse is set back from the one below to give a terraced effect and to reduce the impact of the upper floors. This terracing meets a 45° angle plane discussed elsewhere in this report. The penthouses are enclosed and defined by glazed guard systems to give them a light and open appearance and to limit the mass of the building. The penthouses are articulated in aluminum and glass and to allow these upper floors to blend with the clouds and sky.

Reveals and shadow spaces have been designed at the intersection of the various materials to ensure a reading of these as smaller three dimensional forms. Materials are “pulled back” before intersecting with the next building form.

4.1.1 Materials & Planting

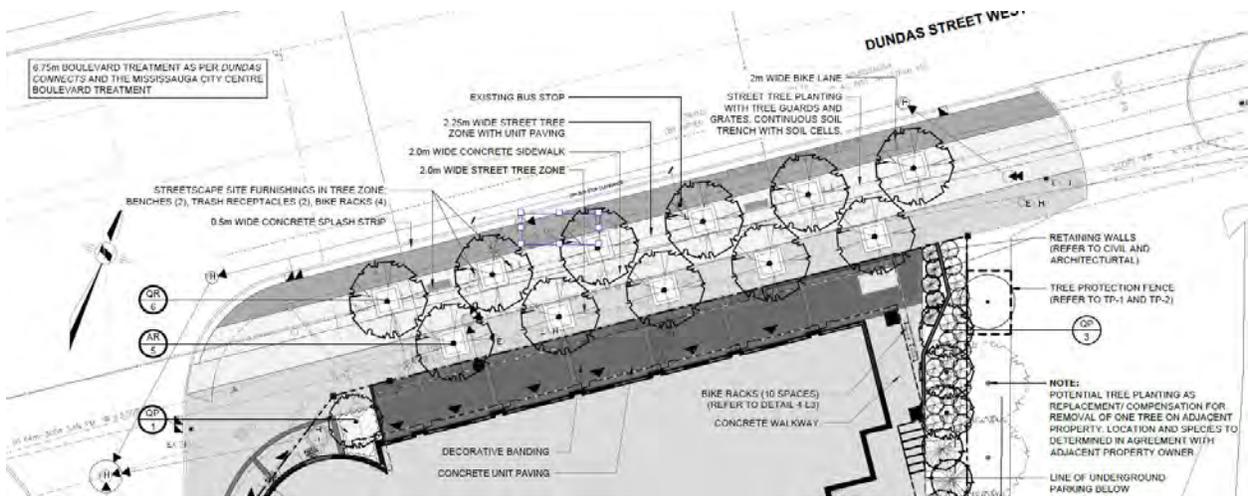


PERSPECTIVE OF DUNDAS ST. PODIUM, STOREFRONTS, STEPPING FEATURES

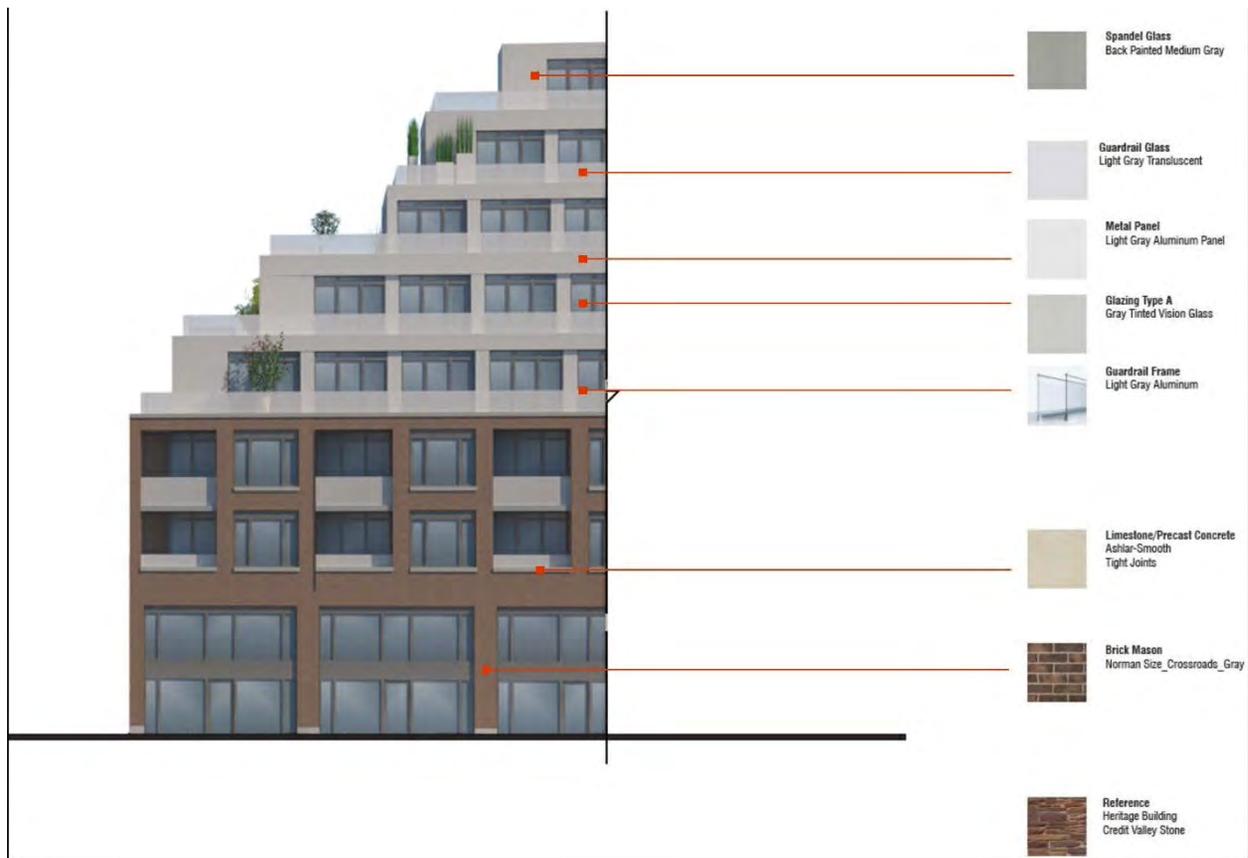
The feature cladding of the podia is proposed to be dark brown/gray brick (or similar pre-cast material) similar in colour to the Credit Valley stone construction of the Village Hall. Unlike the stone of the Hall this and the pre-cast material behind it will be smoothly finished and crafted. The intent here is to create a dynamic relationship between these buildings through the use of colour and texture. These podia define the urban space by forming the low-rise portions of the building. The intention is to create a “double-scale” reading of the building – a lower, smaller building when viewed from a distance and a bolder, more modern interpretation when viewed from more near.

The stepped back penthouse forms are mostly glazed. Slightly tinted and reflective glass has been used for many reasons including reduction in energy consumption. The silver tinted glass combined with the grey mullions will reflect both an overcast sky or a day in sunshine.

Significant planting and landscape development is proposed along the Dundas St. elevation to establish an appropriate transition from the street to the terrace space, to ground the terrace visually and to soften the impact of the exposed wall. The requirements of the Dundas Connects streetscape design guidelines have been implemented here including bicycle lanes, sidewalks and landscaping to enhance the pedestrian realm.



PLANTING PLAN ALONG DUNDAS ST. W. (SEFERIAN DESIGN GROUP)



PROPOSED MATERIAL PALLETTE

4.2 Cultural Heritage Analysis

The Standards and Guidelines for the Conservation of Historic Places in Canada defines “character defining elements” as:

The materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained in order to preserve its heritage value.

The context of this definition and of the 14 Guidelines that follow it are mostly to do with restoration and conservation of heritage building fabric, which clearly is outside the bounds of this report. The definition is interesting, though, because it sets out the parameters by which character is defined and by extension, what must be conserved to preserve it.

We must consider whether the proposed redevelopment will contribute to a loss of character defining elements and must do this in three ways:

- by considering the impact on the Part IV designated Erindale Village Hall
- by considering the impact on the Erindale Cultural Landscape, in this case the residue of the former Village of Erindale
- by considering the impact of the removal of the existing listed building at 1646 Dundas St. W.

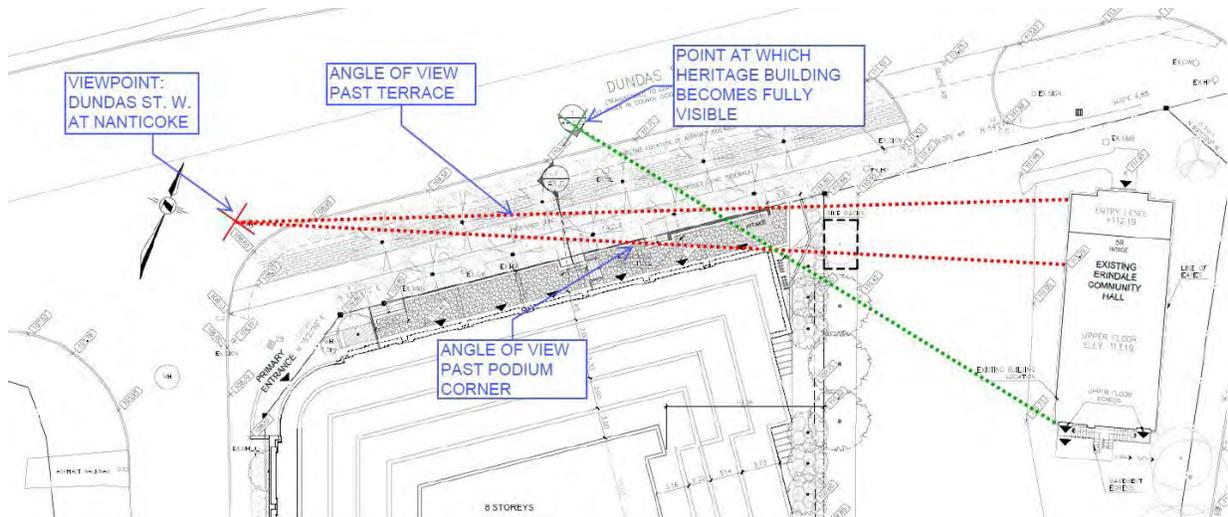
4.2.1 Impact of the Proposed Development on the Erindale Village Hall

The impact of the proposed development on the Erindale Village Hall will be considered under the provisions of the Terms of Reference cited in 1.1.2 above and the Statement of Cultural Value or Interest cited in 1.4.1 above. No material changes to the Erindale Village Hall building or property are contemplated by this proposal. The applicable parts of the Statement of Cultural Value or Interest are:

- its location in Erindale along its main thoroughfare*
- its Credit Valley Stone*
- its visibility from Dundas Street West and Mindemoya Rd.*

By these tests the impact of the proposed development is limited. The location of the building along the main thoroughfare of Dundas St. W. is not affected. The importance of the Credit Valley Stone has been reflected in the proposed building by the decision to use brick of a similar colour for the podia.

The issue of visibility of the heritage building is more complex. The existing views of the Erindale Village Hall from the north, east and south will not be affected. The view from the west will be affected by the north-easterly corner of the proposed building. Given that there is very little pedestrian traffic along this part of Dundas St. W. the predominant view is that of a motorist eastbound on Dundas St. W. At the present time there is a wide view of the Erindale Village Hall from this position, albeit interrupted by the existing ground sign at 1646 Dundas W. and various plantings in both properties. The proposal will change the position at which the Village Hall is fully visible from Dundas St. W. to a point just west of the Hall.



PLAN SHOWING CHANGES TO VIEWS OF ERINDALE VILLAGE HALL



PERSPECTIVE SHOWING IMPACT OF PROPOSAL ON WESTERLY VIEWS OF ERINDALE VILLAGE HALL

This is a significant reduction in visibility of the heritage building but one that must be considered in context. Given the speed of traffic along Dundas St. W. the reduction in visibility amounts to only a few seconds of travel time. The west elevation itself is not a not critical in expressing the function or form of the building – it is not until the west and front elevation can be seen together that the importance of the building can be effectively understood – and this situation is not changed by the proposal. It must also

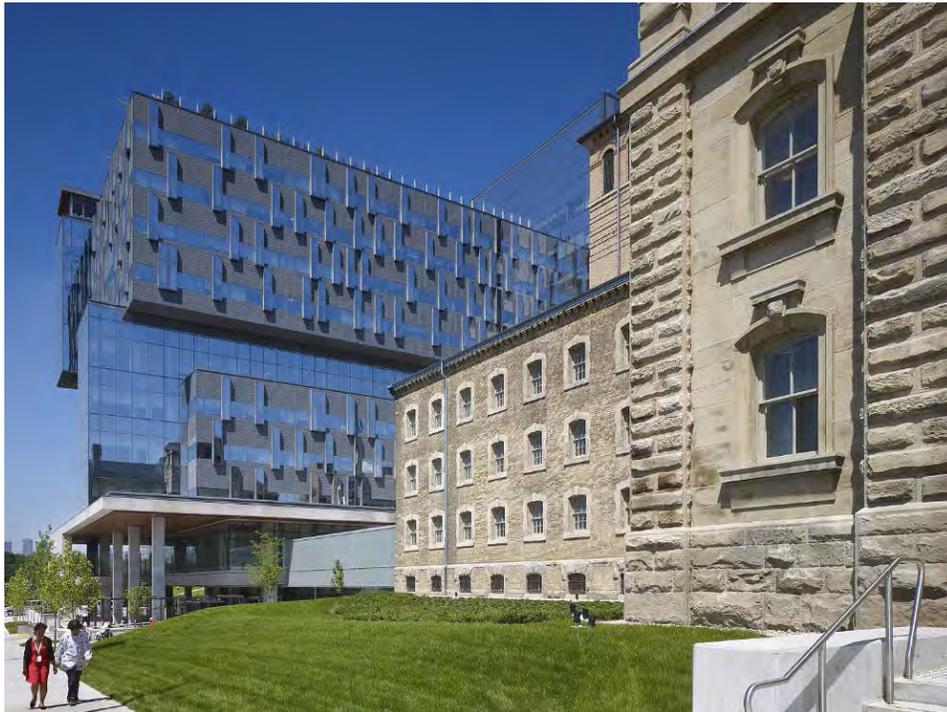
be noted that the existing zoning by-law permits a building corner at the height and location of the proposed north-easterly corner of the building.

4.2.2 Shadow Impact of the Proposed Development on the Erindale Village Hall

The impact of shadows from the proposed building onto the Erindale Village Hall have been considered in the shadow studies attached (see Appendix). The result of the studies is that there is minimal shadow impact on the Village Hall in the winter months. Generally this impact is on the rear-most part of the building and will not affect the appearance of the building from the street. There is no impact in the summer months. In an urban setting this is not an unexpected or significant impact. All buildings and trees cast long shadows late in the evening during the winter months.

4.2.3 Massing Impact of the Proposed Development on the Erindale Village Hall

It is reasonable to assume that any building that would be proposed on this development site would be much larger than the Erindale Village Hall. It does not follow, however, that this disparity in size will create a negative impact on the heritage building. There are many examples where much larger buildings, especially contemporary architectural expressions, have been successfully developed adjacent to existing historical buildings. Two of the best examples in the GTA are the Bridgepoint Hospital (Diamond + Schmitt Architects) and the National Ballet School (KPMB Architects).

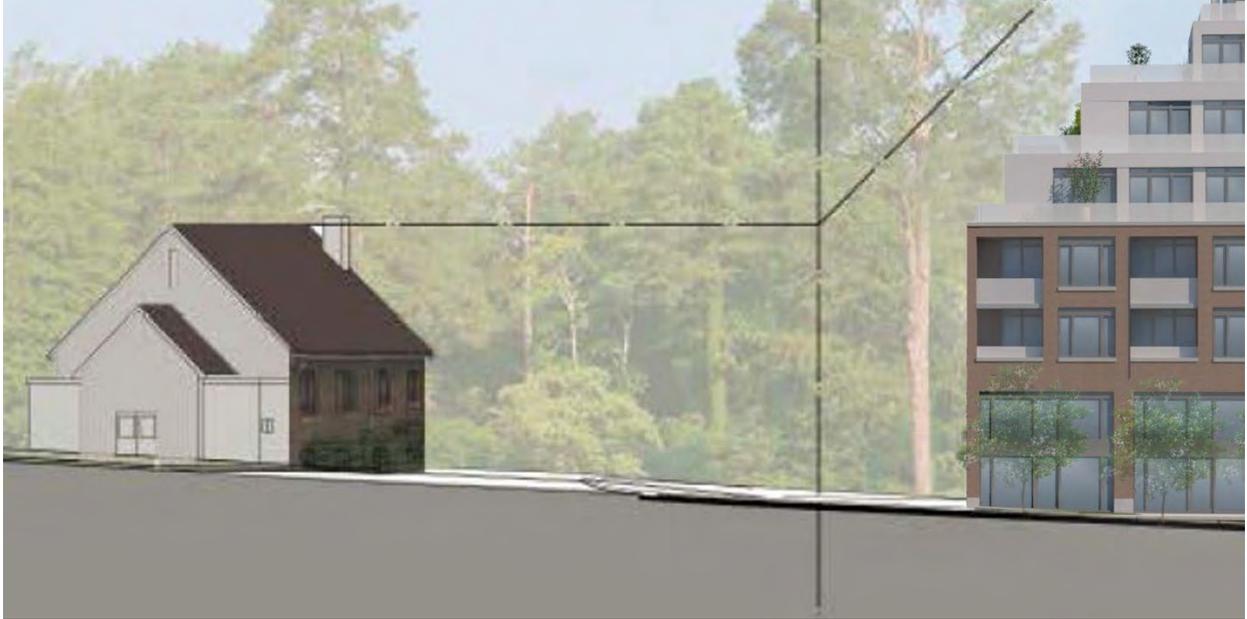


BRIDGEPOINT HOSPITAL



NATIONAL BALLET SCHOOL

In the case of 1646 Dundas St. W the disparity in massing between the proposed building and the Erindale Village Hall is mitigated by the stepped character of the east elevation, by the mix of materials and forms of the new building and by a program of planting at the north-east corner of the development site and along its easterly boundary.



PROPOSED BUILDING SHOWING CONTEXTUAL RELATIONSHIP TO ERINDALE VILLAGE HALL (NOTE DUNDAS PODIUM ALIGNS WITH ERINDALE VILLAGE HALL RIDGE HEIGHT)

This relationship between these buildings is further implied by the alignment of the top of the Dundas Street and Nanticoke podia with the peak of the roof of the Erindale Village Hall.



STONE DETAIL (NOTE CRACKING)

The fact that the proposed building occupies at the street line virtually the entire width of the site is also of benefit to the Village Hall in that it helps to define and create a precinct for the heritage building. The present situation is that the Village Hall site is strongly defined to the east by Mindemoya Rd. but at the west the parking lots of the Hall and the present building at 1646 seem to merge, divided only by a line of ill-defined planting. The creation of a strong, yet sympathetic edge condition on the proposed building will help to give identity to the heritage building.

The contemporary articulation and materiality of the proposed building will be an appropriate foil for the Village Hall. Standard 4 of the Standards and Guidelines is:

Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

This standard clearly encourages contemporary design and discourages the creation of false historical contexts. There is no inherent detriment in locating a contemporary architectural expression adjacent to a heritage building; indeed there are good and mutually beneficial reasons to do so.

The proposed building will be a strong element in creating density, vitality and appropriate urban form. Its podium will create a focus at the street level and encourage pedestrian traffic, which is a benefit to the appreciation of the heritage building. The complimenting of the brick colour of the proposed

building to the stone colour of the Village Hall will draw the buildings together and the decision to use this brick not as the background colour of the proposed building but as a featured element increases its visual importance and with it the importance of the Village Hall.

4.3 Impact of the Proposed Development on the Erindale Village Cultural Landscape



COMMUNITY CONTEXT



VIEW OUT OF SITE LOOKING WEST ON DUNDAS ST. W.



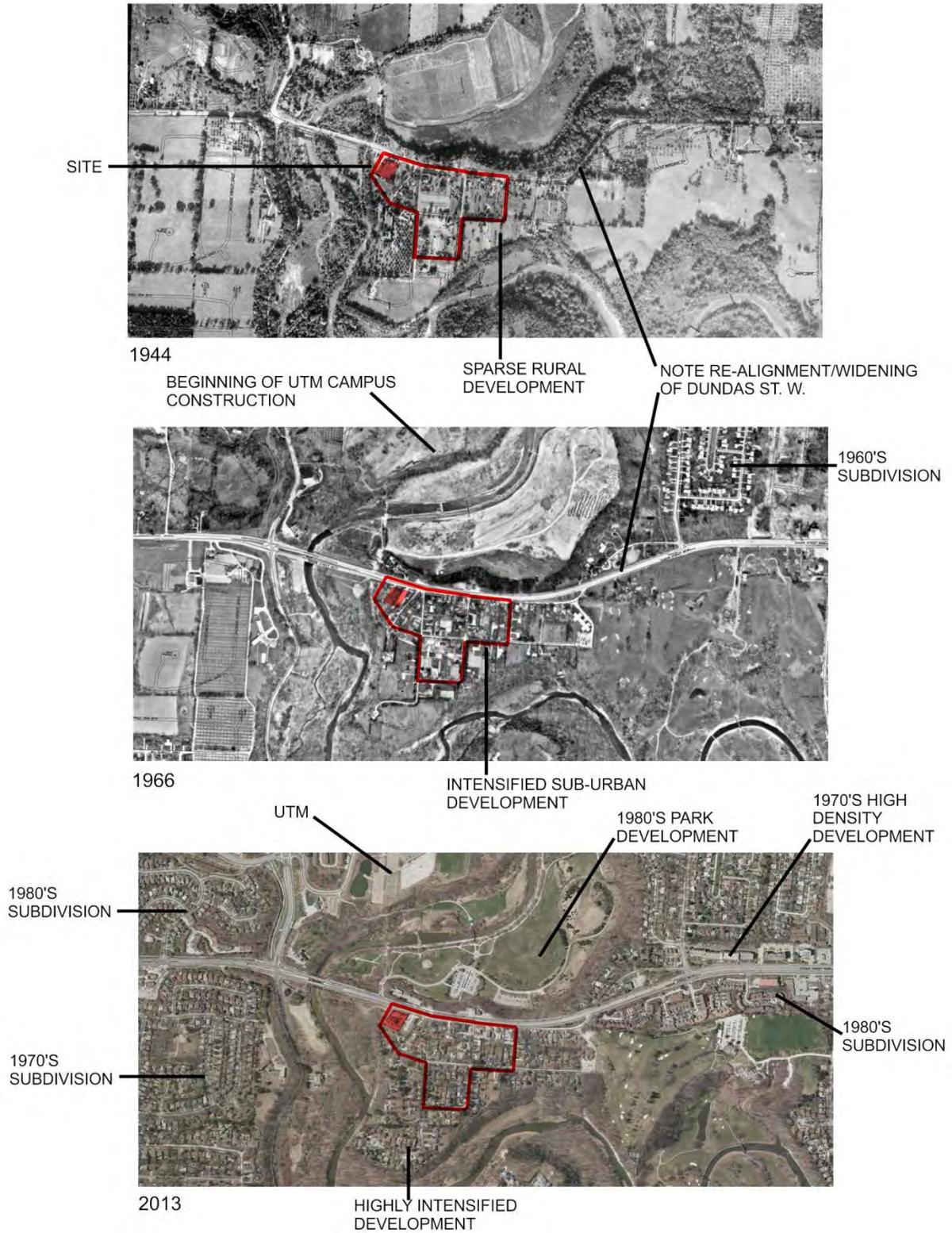
VIEW OUT OF SITE LOOKING EAST ON DUNDAS ST. W.

The Village of Erindale was one of the original communities of the City of Mississauga however it exists at present as a loose and undefined urban form. The march of time, the consequences of development at its peripheries and the widening and re-alignment of Dundas St. W. have not been kind and have contributed to the decline of the community.

The Village historically consisted of 1 and 1 ½ storey vernacular residential development on Jarvis, Robinson and Adamson Sts. and a mix of 1 and 2 storey commercial and residential development along Dundas St. W. It was visually anchored by the Erindale Presbyterian Church to the east and St. Peter's Anglican Church to the west and was defined by its proximity to the Credit River.

It is an important consideration here that the subject site was never part of the commercial center of the Village of Erindale. The Village was effectively interrupted by the Credit Valley and this site was part of the valley lands. It only became commercially viable with the re-grading of the valley that took place in the 1950's. The present flat condition of the site is an artificial construct. Prior to this it would have been significantly sloping.

Analysis of air photos from the mid-20th century to the present day shows how the community has evolved in the face of development pressure.



ANALYSIS OF AIR PHOTOS - LARGE SCALE - 1944 - 2013

The images reveal a community that was fundamentally and detrimentally affected by a major re-alignment and widening of Dundas St. W. that took place in the early 1950's. The effect of this was to create an increase in traffic and to isolate the community by creating a grade separation between the new, modern road and the previous street location.



DUNDAS ST. W. LOOKING EAST SHOWING GRADE SEPARATION – NOTE OLD ROAD AND HISTORIC BUILT FORMS AT RIGHT

The effects of this road development were profound and reduced dramatically the viability of the commercial core of the community. The present situation is that there is very little commercial activity associated with the heritage buildings. The few commercial buildings that remain have generally been re-purposed and are in declining condition.

The air photos reveal highly intense residential subdivision development during the 1960's, '70's and '80's surrounding the site, the creation of the UTM campus beginning in the 1960's and continuing to the present day and a tight cluster of residential development to the south of the historic village along the edge of the Credit River Valley. These homes on the Valley tend to be large, custom residences of very different scale and appearance than the original homes in the village. In general all of this development took place without any real consideration for the character of the Village or the impact it would have on it.

The air photos show significant infill and intensification of the older residential streets of the Village through the mid to late 20th century. These streets have tended to retain their rural character, however. A high number of older residences remain and the infill has been generally sympathetic as regards scale, massing and character.



REMNANT COMMERCIAL BUILDING ALONG DUNDAS ST. W.



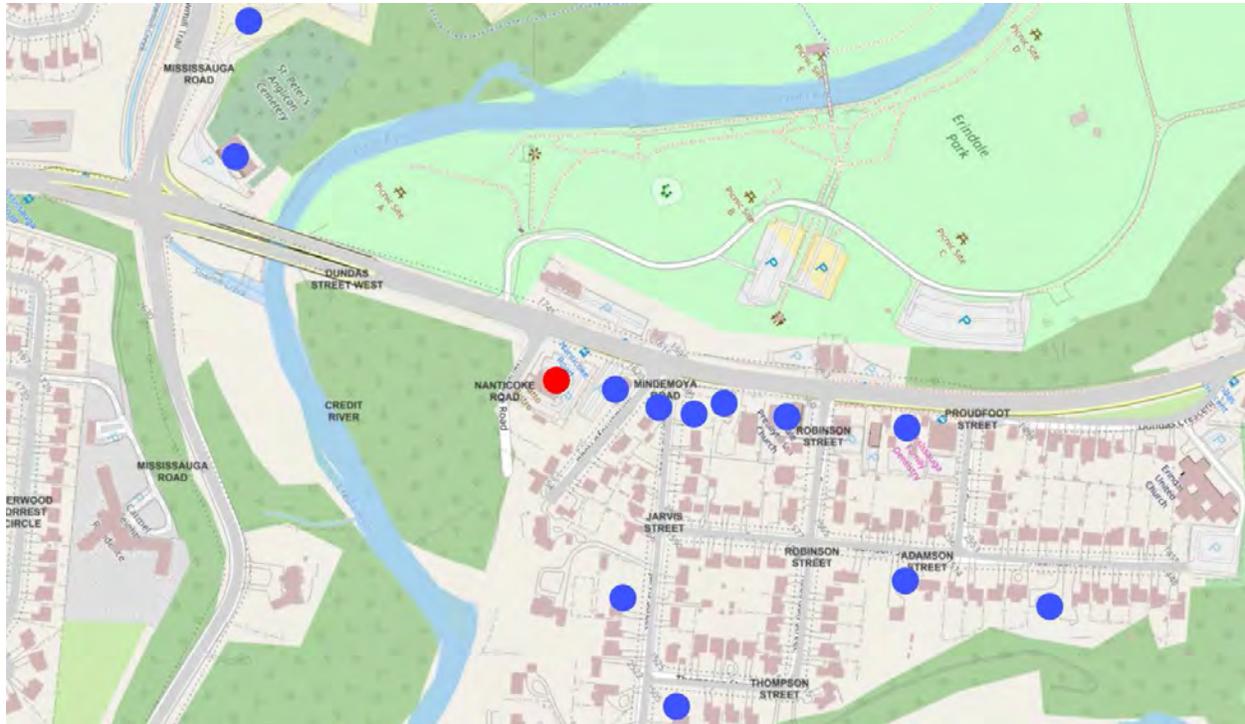
ROBINSON ST. STREETScape SHOWING ORIGINAL DWELLING, SYMPATHETIC INFILL BEYOND, RURAL STREET SECTION



ANALYSIS OF AIR PHOTOS - SMALL SCALE - 1944 – 2013

The present situation, exemplified by the views out of the site east and west along Dundas St. W, is of a haphazard and undefined streetscape of low-rise street commercial, converted dwellings, parking lots and un-manicured green spaces. There is neither a strong context of heritage buildings complimentary to the Cultural Landscape to reflect it nor a strong context of contemporary development to contrast it. There is also very little to suggest the core of a vibrant Village that once existed.

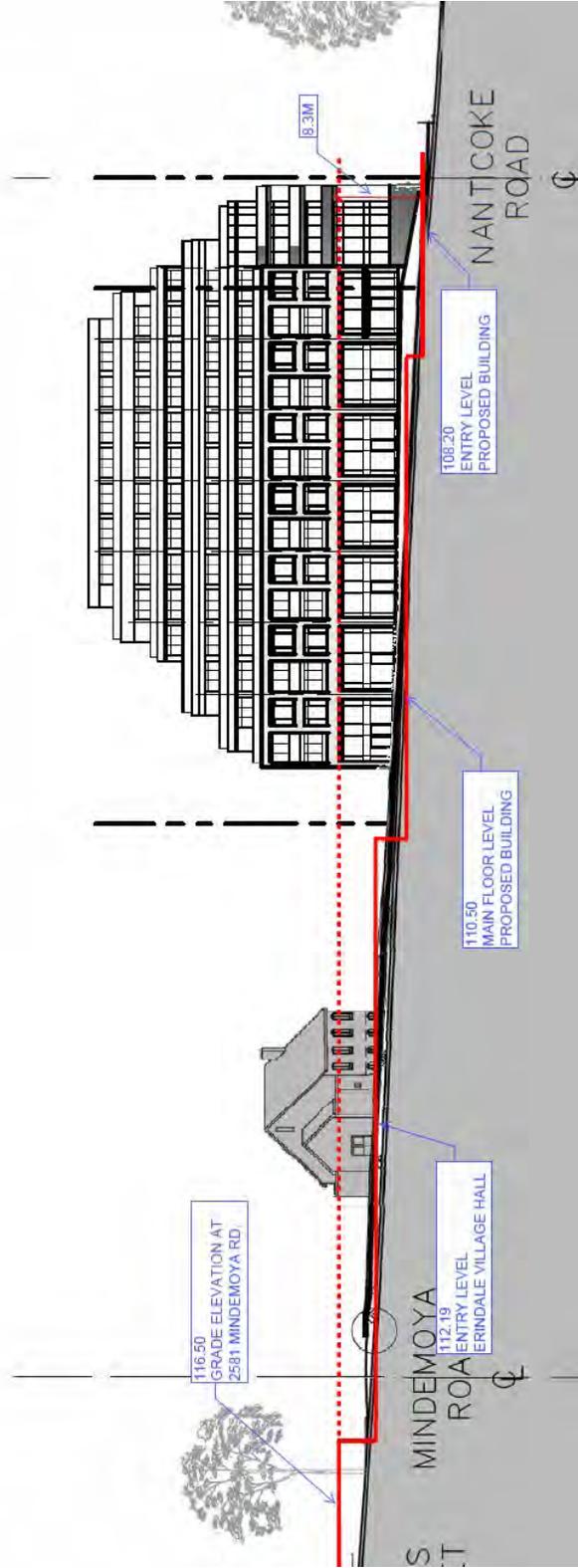
There are a number of intact heritage buildings but they are spread out through the remnant Village, especially along Dundas St. W.



LOCATION OF PROMINENT HERITAGE BUILDINGS IN THE CULTURAL LANDSCAPE. DEVELOPMENT SITE IS RED DOT

The impact of the proposed development must be considered in the context of this disparate heritage landscape spread out over many blocks of Dundas St. W. Each of these blocks functions as its own distinct entity. The proposed building affects only one. This is very easily seen in a streetscape of the entire of the south side of Dundas St. W. from the Credit River to the easterly limit of the old village.

Placing the proposed building into the wider streetscape including both the natural green space to the west and showing the slope of Dundas St. W. into the Credit Valley is very helpful in analyzing its context and impact. Located at a lower geodetic elevation than the rest of the Village and located closer to the Credit River valley the building is not in the Village center but is rather peripheral and the impact is therefore limited.



SCHEMATIC DRAWING SHOWING RELATIONSHIP OF PROPOSED BUILDING TO EXISTING ADJACENT GRADE LEVELS (note: image compiled from photographs and available surveys – image is believed representative but not to scale)

Analysis of the existing and proposed grade levels reveals that the proposed building is set significantly below the level of the adjacent residential neighborhood. The differential between the grade elevation at 2581 Mindemoya Rd. (the most northerly dwelling on the east side of Mindemoya Rd.) and the entry level of the proposed building is 8.3m. This is highly significant and has the effect of reducing the apparent height of the proposed building as compared to the existing residential neighbourhood by approximately 2 storeys.

4.4 Impact of the proposed removal of the existing building at 1646 Dundas St. W.

The City of Mississauga records a number of building permits and minor variance applications in regard to this property over the past 60 years. The information is very interesting – this site has been an automotive service station and restaurant, heavy equipment yard, and pre-fabricated homes display site before the construction of the present building on the site in 1984¹⁷.

- 1960 – Building permit – taxi office
- 1961 – Building permit – Car and Truck repairs
- 1962 – Building permit – Autobody repair shop, install underground tanks for gas and diesel
- 1962 – demolish service station, demolish restaurant
- 1963 – Building permit – operate machinery repair
- 1976 – C of A application to allow display of pre-fabricated homes
- 1977 – demolition – fire damage
- 1978 – demolition complete
- 1980 – demolition – frame house
- 1984 – Building permit – new commercial building
- 1985 – C of A application for outdoor patio – Snifter’s restaurant
- 1986 – C of A application for banquet room – Snifter’s restaurant
- 1991 – C of A application for outdoor patio – Piatto Bistro
- 2004 – C of A application for personal service shop with reduced parking

The original construction drawings for this building are available and are appended to this report. They show a 3 storey commercial building built in faux-residential style. The detailing is post-modern and typical of the era of construction. The overall appearance is similar to tract subdivision homes built during this period.

The main floor was clearly intended to be a restaurant and the second and third floors intended for office or personal service use.

The building is set quite far back from the road and surrounded by a parking lot. This was a style of site development typical at the time but largely discredited now as promoting a vehicle-only method of access. 21st century developments would typically pull the building to the street face to animate the urban realm and to encourage more responsible methods of transportation.

The building has for many years been the home of Piatto Restaurant – locally known for fine dining but not a significant factor in considering the cultural heritage value of the building.

¹⁷ City of Mississauga website – property information



EXISTING BUILDING AT 1646 DUNDAS ST. W. IN CONTEXT WITH ERINDALE VILLAGE HALL



1646 DUNDAS ST. W. - FRONT ELEVATION - PIATTO RESTAURANT



1646 DUNDAS ST. W. - INTERIOR - PIATTO RESTAURANT



1646 DUNDAS ST. W. - INTERIOR - PIATTO RESTAURANT

The existing building at 1646 Dundas St. W. is of pleasant proportions and somewhat handsome in appearance but it does little to support the heritage context of the Erindale Cultural Landscape or the Village Hall. Apart from a vaguely residential form it has no associations with the early development of the community, nor does it try to be a significant building in its own right. It is in no way significant to supporting the character of the Village Hall or the remnant character of the former Village.

4.4.1 Addressing the Landscape Feature or Criteria (from City of Mississauga TOR)

Landscape Environment:

-scenic and visual quality

(This quality may be both positive (resulting from such factors as a healthy environment or having recognized scenic value) or negative (having been degraded through some former use, such as a quarry or an abandoned, polluted or ruinous manufacturing plant). The Identification is based on the consistent character of positive or negative aesthetic and visual quality.

Landscapes can be visually attractive because of a special spatial organization, spatial definition, scale or visual integrity)

Analysis: The subject site has no landscape interest. It has been degraded by successive industrial/commercial uses, has been stripped of its native vegetation and artificially graded both by its former owners and the City to a point that the native topography can only be surmised. There is no spatial organization, spatial definition or visual integrity.

-horticultural interest

-Landscapes with horticultural interest include all features of landscapes which may be unique or distinct to a specific location. It can include isolated specimen trees, hedge rows, wind rows or other compositions of trees, and specialized landscape features. Tree plantations would also fall into this category.

Analysis: The subject site has no horticultural interest. All native or unique planting has been stripped from the site. The only planting consists of newer specimen trees that were planted around the perimeter of the existing parking lot. These are not associated with the Cultural Landscape.

Built Environment:

-consistent scale of built features

(Pleasing design usually is associated with a consistent scale of buildings and landscapes which complement each other visually. Other zones, although not visually pleasing, may have a consistent size and shape of structures due to use or planning constraints. Such groupings may include housing, commercial and industrial collections of buildings with the key criteria being similarity of scale.)

Analysis: The existing buildings along this part of Dundas St. W. are all one or two-storey and generally smaller structures. The streetscape is very inconsistent because of the way that the road has been re-aligned and re-graded over time, by varying land uses and random, unsympathetic infill. Generally the streetscape is unattractive and the buildings uncomplimentary. The proposed building is larger than the others on this part of the street but will not alter an existing visually attractive streetscape.

-designated structures

(Designation of an individual building or district under the Ontario Heritage Act should trigger inclusion within the database.)

Analysis: There are a number of designated buildings in the Cultural Landscape. The only designated building that is affected by this proposal is the Erindale Village Hall. The impact on the Hall is discussed elsewhere in this report.

Historical Associations:

-illustrates an important phase of social or physical development

(A site may be evocative or representative of a phase or epoch in the development of the City. Such remnants provide context for an ongoing understanding of the development of the community.)

Analysis: As one of the original communities making up Mississauga, Erindale Village does illustrate an important phase of social and physical development of the community. This importance is generally associated with the business core of the original community, located east of the subject site, and with the original residential core of the community, located south and east of the subject site. There is evidence that the subject site was of particular importance in the development of the community.

Other:

-historical or archaeological interest

(Cultural heritage resources associated with pre-historical and historical events)

Analysis: Given the re-grading, re-planting, construction and demolition of successive buildings on this site it is highly unlikely that any archaeological remains are present.

4.4.2 Mandatory recommendations regarding 1646 Dundas St. W.

The present building at 1646 Dundas St. W. is not a significant cultural heritage resource and its demolition would not cause appreciable loss of heritage value to the Erindale Village Hall or the Erindale Village Cultural Landscape.

No mitigative measures are necessary.

For the reasons given above the property is not worthy of designation under Ontario Regulation 9/06.

The property does not warrant conservation as per the definition in the Provincial Policy Statement.

5.0 Urban Context

5.1 Urban Context – Zoning

The Erindale Village Hall is presently zoned C4-34 under by-law 0225-2007. This is a site specific zoning that restricts uses to: Office, Medical Office, Dwelling Unit located above the first storey, Community Hall, Place of Religious Assembly, Public or Private School.

1646 Dundas St. W. is zoned C4 under the City of Mississauga Zoning By-law 0225-2007. This is a mainstreet commercial zoning that permits retail, restaurant, medical office, personal service and general office uses. It permits 0.0m minimum front, exterior side, interior side and rear setbacks (when abutting a C4 zone) and requires some minimal setbacks when abutting a different zone. There is no maximum Gross Floor Area. The By-law requires a minimum of 2-storeys and maximum of 3-storeys with a maximum 16.0m height to a sloped roof and 12.5m height to a flat roof.

Both properties are subject to site plan control.

5.2 Urban Context – Region of Peel Official Plan

The subject property is within the “built-up area” under Schedule D4 (“The Growth Plan Policy Areas in Peel”) of the Region of Peel Official Plan. Schedule D (“Regional Structure”) designates the property as part of the Urban System.

The Region of Peel Official Plan generally promotes intensification through the re-development of existing lands to achieve compact urban forms that promote efficient use of infrastructure. The Plan requires that 40% of all residential development occur on lands considered “built-up area”.

The proposed development is fully compatible with and conforms to the aims and requirements of the Region of Peel Official Plan.

5.3 Urban Context – Mississauga Official Plan

The Mississauga Official Plan designates this property Mixed Use (“Schedule 10: Land Use Designation”) located in the Erindale Neighborhood. Schedule 2 of the Plan identifies Dundas Street as an Intensification Corridor. Section 16.9.2 of the Plan identifies the lands along the north and south side of Dundas Street W. between Nanticoke Rd. and Proudfoot Street as Special Site 1 which is subject to the following policies (16.9.2.1):

- a. any conversion of existing residential units to office uses will maintain a residential appearance in keeping with the character of the existing dwellings in the surrounding area;*
- b. any additions or alterations of existing buildings will be sensitive to the village theme of the area, and will be largely confined to the rear of the property;*
- c. minimal signage will be permitted and the design of such signage and external lighting will be compatible with the residential character of the area;*
- d. for those properties east of Mindemoya Road, on-site parking will consist only of surface parking and will be provided in the rear yard only;*
- e. the closed road allowance for Nanticoke Road will provide access to parking and form part of a pedestrian walkway to the Credit River valley;*
- f. notwithstanding the provisions of the Mixed Use designation, commercial uses and all types of restaurants will not be permitted within Special Site 1 lands on the south side of Dundas Street West, west of Robinson Street extending westerly to include the lands at the southwest corner of Dundas Street West and Mindemoya Road; and*
- g. buildings should have a minimum of two storeys and a maximum of three storeys in height.*

The zoning by-law and Mississauga Official Plan are somewhat inconsistent in this instance - the zoning by-law requires commercial uses while the Official Plan prohibits them, but they are in agreement as regards a height limit of 3-storeys.

This proposal will require a site specific Zoning Amendment to allow the proposed 8-storey height and residential use and will require an Official Plan Amendment to allow the height and the proposed commercial uses at grade.

To determine if these Amendments are appropriate we must consider certain other policies in the Official Plan.

Chapter 5 Direct Growth:

Chapter 5 notes that “as Mississauga is now at the end of its greenfield growth phase, new growth will be accommodated through redevelopment and intensification within developed areas”. “Encouraging

compact, mixed use development in appropriate locations will provide greater opportunities to live and work in Mississauga and reduce the need for extensive travel to fulfill the needs of day-to-day living”.

5.4.1 A Corridor is generally comprised of road right-of-way as well as the lands on either side of the road. The Corridors are show conceptually on Schedules 1c: Urban System – Corridors.

-Dundas St. is identified as a corridor in this schedule.

5.4.5 Where higher density uses within Neighbourhoods are directed to Corridors, development will be required to have regard for the character of the Neighbourhoods and provide appropriate transition in height, built form and density to the surrounding lands.

-the character of the existing Neighborhood is predominantly 2-storey. Appropriate height transition between the proposed building and the existing community is achieved in a number of ways

-the proposed building is 8 storeys in height but the upper 5-storeys are a stepped glass penthouse that is increasingly set back from the building face.

-the site is on that part of Dundas St. that slopes into the Credit Valley whereas the existing community to the east and south is on the table land. The grades at the site are lower than the surrounding community. This differential is significant. The main floor level of the proposed building is approx. 4m lower than the main floor level of the Erindale Village Hall and approx. 6m lower than the nearest existing single family home at 2560 Mindemoya

- the setback distances between this building and its neighbours are large. The separation between the proposed building (above grade) and the Erindale Village Hall is approx. 23m (which includes as transitioning elements landscaping on both properties and the Erindale Village Hall parking lot). The separation between the proposed building and the nearest single family home at 2560 Mindemoya is approx. 43m.

- the stepping back of the upper stories includes the south-west corner of the site where the proposed building is adjacent to the rear yard of 2560 Mindemoya

-there is significant existing tree canopy along the southern property line and in the rear yard of 2560 Mindemoya. This will effectively screen views of the proposed building from the south. Additional plantings are proposed

5.4.10 Local area plans will consider the appropriateness of transit supportive uses at the intersection of two Corridors. Local area plans may permit additional heights and densities at these locations provided that the development reduces the dependency on cars and supports the polices of this Plan.

-the site is near the intersection of two corridors – Dundas St. and Mississauga Rd. and the proposed building will be the first building on Dundas St. east of Mississauga Rd. It will be easily accessible from public transit available on Mississauga Rd. This will significantly increase public transit opportunities for residents of the building and will support a reduced dependency on cars

Chapter 7 Complete Communities:

Chapter 7 deals with the creation of “infrastructure that supports physical and emotional well-being” and “taken together with the other policies in this Plan, will create communities that enable people to not only live and work in Mississauga, but also thrive”. This chapter generally encourages the provision of diverse housing types, notes that the population mix of the city is changing and that more diverse housing options will increasingly be required and notes that “it is expected that most future additions to housing stock will be higher density forms, particularly apartments”.

7.2.1 Mississauga will ensure that housing is provided in a manner that maximizes the use of community infrastructure and engineering services, while meeting the housing needs and preferences of Mississauga residents.

-by increasing density the proposed development does make more efficient use of existing infrastructure and community resources and does offers diverse housing opportunities not presently available in this neighborhood.

Chapter 9 Build a Desirable Urban Form

Chapter 9 deals with the “achievement of a sustainable urban form for Mississauga, based on the urban system and city structure, with high quality urban design and a strong sense of place that is culturally vibrant, attractive, livable and functional, and protects or enhances natural and built heritage features”. This chapter generally encourages the provision of distinctive places and of attractive, compact and pedestrian oriented development with minimal setbacks at the street to create an efficient urban form. This chapter identifies Intensification Corridors as one area that growth will be directed to.

Section 9.2 deals with the pattern of the City, including intensification areas, non-intensification areas, Green system and cultural heritage:

9.2.1.4 Mississauga will encourage a high quality, compact and urban built form to reduce the impact of extensive parking areas, enhance pedestrian circulation, complement adjacent uses, and distinguish the significance of the Intensification Areas from surrounding areas.

-The proposal is a highly compact urban form with no at grade parking and significant opportunities for pedestrian circulation through the site. It is complementary to the adjacent residential and institutional uses.

Section 9.4 deals with transit, vehicular and goods movement:

9.4.1.1 The design of all development will foster the improvement of connections and accessibility for transit users and promote active transportation modes.

-Dundas St. and Mississauga Rd. are major public transportation routes and both are identified as cycling routes in Schedule 7 of the Plan

9.4.1.2 A transit and active transportation supportive urban form will be required in Intensification Areas and in appropriate locations along Corridors and encouraged throughout the rest of the city.

-The proposed development is highly supportive of active transportation choices

9.4.1.3 Development will support transit and active transportation by:

- a. locating buildings at the street edge, where appropriate;*
- b. requiring front doors that open to the public street;*
- c. ensuring active/animated building façades and high quality architecture;*
- d. ensuring buildings respect the scale of the street;*
- e. ensuring appropriate massing for the context;*
- f. providing pedestrian safety and comfort; and*
- g. providing bicycle destination amenities such as bicycle parking, shower facilities and clothing lockers, where appropriate.*

-the proposed building is located at the street edge and the front residential door opens to the street. The exterior is animated by sophisticated building design and by retail businesses facing Dundas St. The terrace along Dundas St. provides pedestrian interest and comfort and creates human scale at the building edge. Bicycle lockers are provided in the building interior for residents. The requirements of the Dundas Connects program have been integrated into the landscape design of the proposed development.

9.4.1.4 Development will provide for pedestrian safety through visibility, lighting, natural surveillance and minimizing vehicular conflicts.

-vehicular entrance and exit to the building is provided on Nanticoke Rd., away from the identified cycling route on Dundas St. The terrace and retail businesses along Dundas St. provide opportunities for passive lighting and surveillance of the street

Section 9.5 deals with development of buildings and sites:

9.5.1.2 Developments should be compatible and provide appropriate transition to existing and planned development by having regard for the following elements:

- a. natural heritage system;*
- b. natural hazards (flooding and erosion);*
- c. natural and cultural heritage features;*
- d. street and block patterns;*
- e. the size and configuration of properties along a street, including lot frontages and areas;*

- f. continuity and enhancement of streetscapes;*
- g. the size and distribution of building mass and height;*
- h. front, side and rear yards;*
- i. the orientation of buildings, structures and landscapes on a property;*
- j. views, sunlight and wind conditions;*
- k. the local vernacular and architectural character as represented by the rhythm, textures and building materials;*
- l. privacy and overlook; and*
- m. the function and use of buildings, structures and landscapes*

-the proposal respects views into the existing natural heritage system (the Credit Valley) but is separated from the Valley by the existing Nanticoke Rd. It does respect the adjacent Erindale Village Hall, a cultural heritage feature. Existing street and block patterns and the configuration of properties along the street are not affected. The existing streetscape is an incoherent mix of differing building types and uses and the building proposed to be demolished is not a positive addition to it. The proposal concentrates building massing along the street edge which is positive in this instance (see 9.5.1.3 & 9.5.4.4 below). The westerly view of the Erindale Village Hall is slightly affected by the proposed development. A shadow study completed by the project Architect shows no significant shadow impact on adjacent properties, the street or on the proposed amenity areas in the development. The architectural character of the proposal as regards colour and texture is informed by the adjacent Erindale Village Hall. The location of the building as regards its neighbours is such that no undesirable overlook conditions are created.

9.5.1.3 Site designs and buildings will create a sense of enclosure along the street edge with heights appropriate to the surrounding context.

The proposal is designed to closely follow the street edge along Dundas St. W. and Nanticoke Rd., leaving open space to the south and east of the site nearest the existing residential community

9.5.1.4 Buildings, in conjunction with site design and landscaping, will create appropriate visual and functional relationships between individual buildings, groups of buildings and open spaces.

The proposal creates an appropriate relationship with the Erindale Village Hall and with the existing homes on the west side of Mindemoya Rd. These are the only buildings directly or indirectly impacted by the proposal.

9.5.1.9 Development proposals will demonstrate compatibility and integration with surrounding land uses and the public realm by ensuring that adequate privacy, sunlight and sky views are maintained and that microclimatic conditions are mitigated.

The distance between the proposed building and the adjacent residential uses and the existing significant tree cover ensures that there will be no privacy issues or loss of sunlight or sky views from existing residences. The proposed and existing uses are compatible.

9.5.3.1 Buildings will be designed to create a sense of identity through the site layout, massing, forms, orientation, scale, architectural features, landscaping and signage.

The building will be highly identifiable in the streetscape and through its sophisticated form, detailing, materials and landscaping and the natural prominence of its corner location.

9.5.3.2 Buildings must clearly address the street with principal doors and fenestrations facing the street in order to:

- a. ensure main building entrances and at grade uses are located and designed to be prominent, face the public realm and be clearly visible and directly accessible from the public sidewalk;*
- b. provide strong pedestrian connections and landscape treatments that link the buildings to the street; and*
- c. ensure public safety.*

-the building's main resident entrance is located at the north-westerly corner of the site at the base of a circular architectural feature and highlighted by glass canopies at the first storey. It will be highly prominent and located directly adjacent the public sidewalk. The main floor retail business are located off a raised sidewalk feature adjacent to the building face and accessed by sidewalks bordered by low planting. The raised sidewalk is required to reconcile the flat main floor level of the building with the sloping sidewalk adjacent to it. It will create a human scale to the retail businesses and establish them as a destination adjacent to but separate from the public sidewalk

9.5.3.7 Buildings will be pedestrian oriented through the design and composition of their façades, including their scale, proportion, continuity, rhythms, texture, detailing and materials.

-the building is highly pedestrian oriented by the placement of the vehicular entrance on the Nanticoke Rd. elevation, by the prominent location of the pedestrian entrance and the human scale of the main floor features and detailing, by the choice of high quality and textural materials and by prominent, sophisticated landscaping.

9.5.4.1 Development proposals should enhance public streets and the open space system by creating a desirable street edge condition.

The proposal creates a highly desirable urban street edge condition along Dundas St. W. by the inclusion of commercial development to animate the street, by the inclusion of a secondary sidewalk feature that can be used as a commercial “spill out” space and by the implementation of features that encourage transit use and pedestrian circulation.

9.5.4.4 Along Corridors where an urban character is appropriate, buildings should be located close to and aligned with the street to enclose the street.

Dundas St. W. is a major urban corridor in the City. The proposed building is located near the street, with open space located at the rear of the site.

9.5.4.5 Built form will relate to the width of the street right-of-way.

Dundas St. W. has a 35m wide right of way. This is a median between a 20m right of way for typical residential streets and 45m or 50m right of way for newer streets such as Eglinton or Burnhamthorpe. The proposed 8-storey height is appropriate in this instance.

9.5.4.6 Outdoor storage should not be located adjacent to, or be visible from city boundaries, the public realm or residential lands by incorporating the use of appropriate setbacks, screening, landscaping and buffering.

There is no outdoor storage proposed.

9.5.4.7 Display areas are to be an integral part of the overall site design and evaluated based on their visual impact on the streetscape.

There are no display areas proposed.

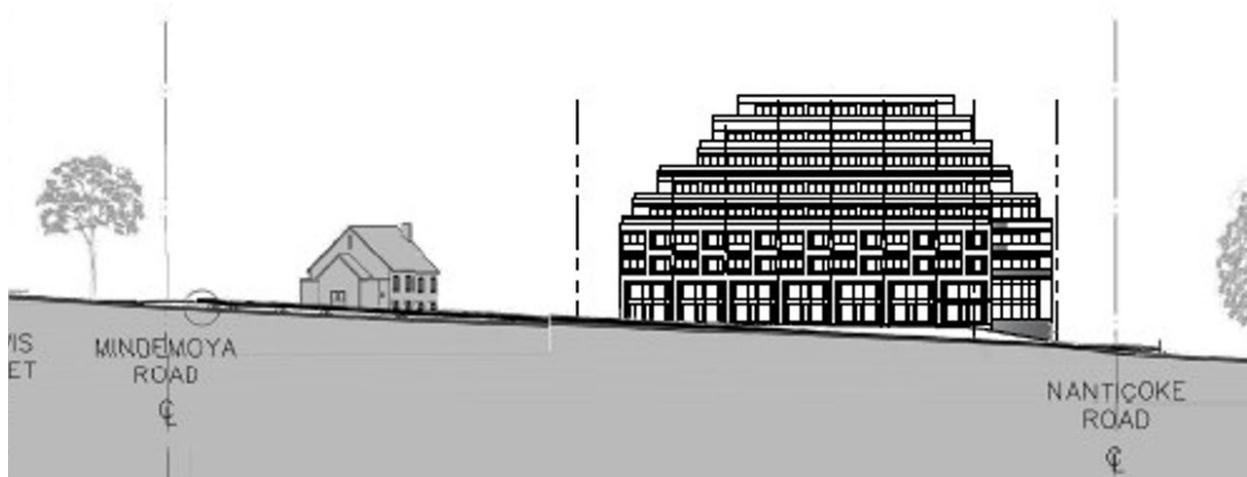
5.4 Urban Context, Zoning and Official Plan- Analysis

The existing urban condition of the former Village of Erindale and its environs is incohesive and has suffered from decades of development that has systematically reduced the ability of the core of the community to be vital and thriving. Enough of the built form and the lotting patterns survives to allow the remnants of the Village to be apparent and the community is fortunate that the most important physical factor that influenced its development and location originally – the proximity to the Credit River – is still very apparent. The future development of this area will always be defined by the Credit River and its valley. This creates an opportunity to build upon the core of the old Village and to use it to guide the progress of the local community.

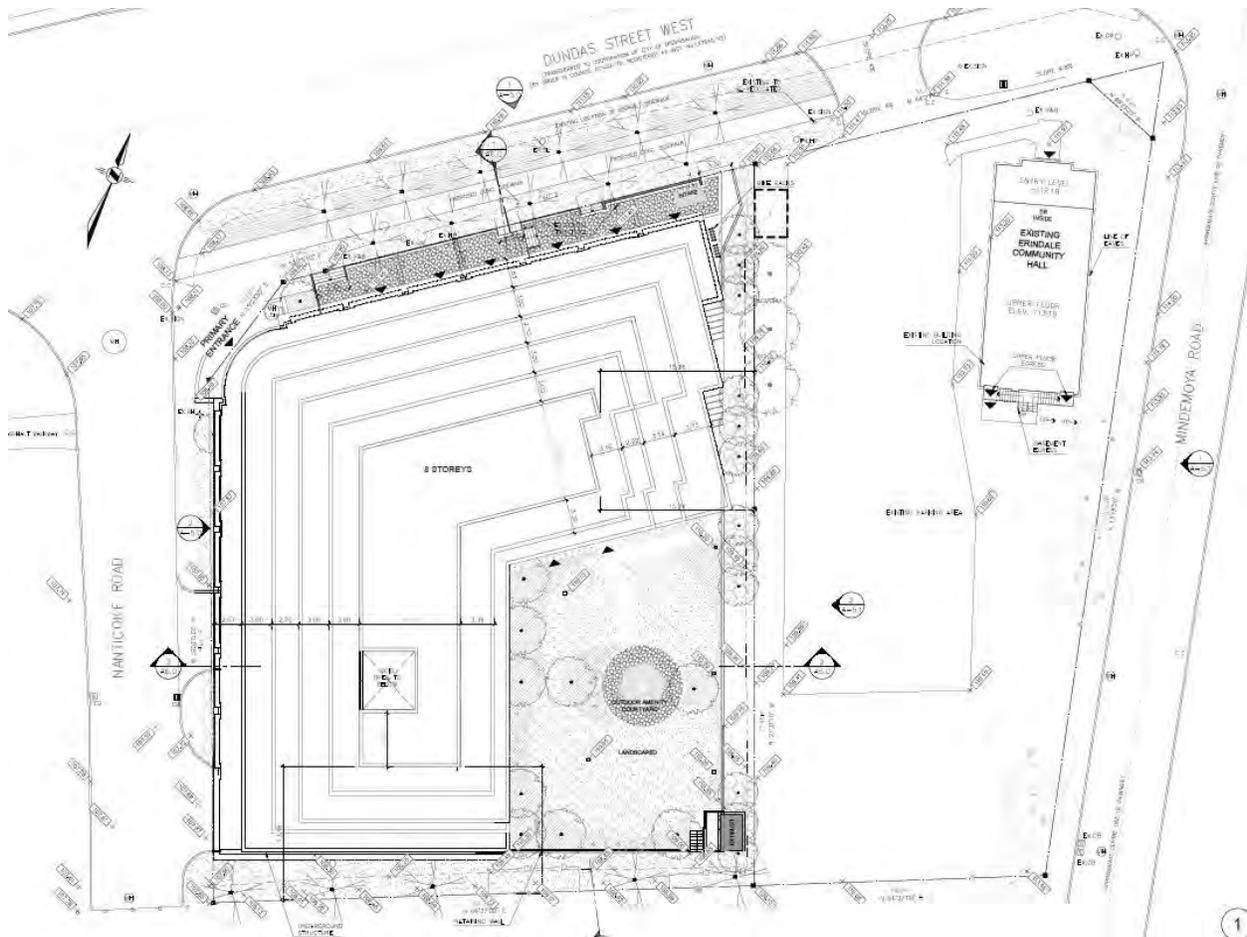
The remaining building stock of the Village is highly varied, purpose-built and generally unsuitable to inform the future architectural development of the community. The emphasis must be on a re-vitalized community with building forms that are intense, urban and of their own time and place. Their designs

must incorporate a gesture of respect to the heritage community but they must also show leadership and be sufficiently strong that they can stand on their own merits.

The Official Plan designation of Mixed Use on these lands is appropriate and will assist with the revitalization of this community; as are the other provisions of the Plan that emphasize pedestrian, cycling and transit based transportation choices; compact urban form with human-scale street engagement and presence and the provision of diverse housing options for a changing demographic. The Official Plan and Zoning By-law restriction to three storeys in height is not helpful in this regard, however. A three storey limitation will not allow the building to reach the critical mass for it to be an effective architectural or urban expression. It will not allow for the creation of a significant building identity, entry feature or address to the street. At eight stories in height, with a mix of commercial and residential uses, with a transitional form consisting of traditional massing combined with contemporary detailing, with a highly developed entrance feature and landscape development at the street edge, the proposed building is appropriate to fulfill these criteria and to lead the redevelopment of this community.



PROPOSED STREETScape : 1620 - 1646 DUNDAS ST. W. (note: image compiled from photographs and available surveys – image is believed representative but not to scale)



SCHEMATIC SITE PLAN: 1646 DUNDAS ST. W. (ERINDALE VILLAGE HALL AT RIGHT) (see larger copy of site plan appended to this report)

5.5 Dundas Connects

Dundas Connects is an urban design strategy and vision that is began a series of public meetings in the spring of 2016. It is a “long-term, future-oriented Master Plan for the Dundas Corridor. The plan will shape the look and feel of Dundas, focusing on transit, land-use and public space”¹⁸.

The design of the proposed development, with its emphasis on creating a pedestrian environment on the street, intensification of use, creation of amenity space and support of heritage resources is highly supportive of the aims of the Dundas Connects project.

5.6 Impact and relationship to Surrounding Residential Community

The proposal will have no detrimental impact on the surrounding residential community. A series of angular plane studies have been undertaken to examine the impact of the development. Along the Dundas and Nanticoke podia the angular planes have been taken along the building face beginning at the top of the podia (which is also the height of the Erindale Village Hall). At other locations the angular

¹⁸ www.dundasconnects.ca/about

plane has been taken from the property line at the same height. Analysis reveals that the proposal is below the recommended 45 degree angular plane when viewed from all relevant points in the local community with the exception of one location affecting only the westerly elevation adjacent to Nanticoke Rd. Here portions of the stepped upper floors protrude slightly through the angle plane. This is a highly anomalous condition, however, as Nanticoke Rd. functions effectively like a service access for the building and is not part of the pedestrian or driving realm.

Potential impacts on the neighbouring residential community are reduced by the locating of all of the parking, access, loading and garbage removal functions on the Nanticoke Rd. elevation. This ensures that the development will create no discernable traffic or noise impacts on the local community.

5.7 Mississauga Crime Prevention Through Environmental Design (CPTED)

CPTED is a passive design strategy that “is based on the belief that the proper design and effective use of the built environment can lead to a reduction in the fear and incidence of crime as well as an improvement in the quality of life”. It emphasizes the creation of compact urban forms that establish a sense of ownership of public and private space and that permits natural surveillance of spaces, natural access control of spaces, territorial reinforcement of spaces as well as mechanical forms of surveillance and access control.

The proposal is highly supportive of this initiative by :

- passive surveillance of the street by retail stores and terrace at grade, balconies above
- passive surveillance of the common area at the rear of the site by community space at grade, balconies above
- territorial reinforcement of spaces at the street and common area at rear by landscaping elements, paving differentiation
- active access control and surveillance of building interior including underground parking

At the southerly part of the site there is a narrow strip of land that divides the building from the residential property to the south. This land is surveilled by the balconies of the suites at that part of the building but there is a possibility of this being an entrapment area and to discourage trespassing or unwanted activity this area will be fenced and secured.

6.1 Streetscape Improvement and Landscape Character

The sympathetic arrangement of landscape elements adjacent to a heritage property and within a heritage environment can provide continuity within a neighbourhood. A unified streetscape can complement the transition from one neighbourhood to another and signal that this area is distinct from the surrounding area. The landscape development proposed here combines streetscape elements as well as the creation of an appropriate amenity space at the rear of the site for the use of the building residents and visual screening elements along the southerly edge of the property to mitigate the building’s impact on the residential neighborhood to the south.

The parkland surrounding the Erindale Community Hall provides a visible and accessible greenspace for the local community. Historically, this space served as an extension of the Community Hall for educational purposes. The landscape design will tie into this greenspace as an opportunity to strengthen the heritage character of the site and provide a common area for residents.

Lighting and street furniture are important physical elements that help contribute to the character, appearance and functionality of the site. The use of decorative street lighting and furniture sensitive to the character of the area is included to enhance the character of the area. These additional elements will add to the collective experience of the heritage site adapted into the modern context.

6.2 Alternative Design Strategies and Mitigation Measures

This proposal has evolved through several distinct iterations and many incremental changes including:

- the application of an angular plane to the north and east elevations
- increased width of the landscape buffer on the east property line and reduction of the underground garage in this area to allow for root space volume
- reduction of the massing of the upper floors to minimize the apparent height of the building
- revision of the corner feature to better fit within the urban context
- choice of a material pallet for the lower floors that is consistent with the stone of the heritage building and choice of a lighter colour on the upper floors to mitigate the building height
- reduction of the unit count to lower parking and traffic impact
- revision of the grading along the east property line to limit the need for retaining walls

It has received input from City of Mississauga Heritage Staff, Planning and Urban Design Staff, the Mississauga Urban Design Review Panel, elected representatives, local residents as well as the consultant team. It contains within it many alternative strategies that have been considered, incorporated, modified or discarded. No further alternatives need be considered.

7.1 Summary

Of the constituent communities of Mississauga, the Village of Erindale is among the least recognizable, despite the fact that it retains significant elements of its former character and is imbued with a wealth of natural factors that are to its advantage. It lies along the banks of the Credit River, Mississauga's most prominent natural feature and is adjacent to the largest park in Mississauga. It is associated with the University of Toronto at Mississauga, the City's most important institution of learning and an important cultural resource. Along its older streets like Adamson and Proudfoot it still enjoys a Village character with a significant number of early homes remaining. The Erindale Village Hall and St. Peter's Church are significant cultural heritage resources. Along Dundas Street significant remnants of housing stock as well as commercial buildings remain, however the passage of time has not been kind to the community and most of these buildings are now converted to other uses or used in ways that do not

take advantage of their main street presence. There is little pedestrian activity on the street and little to encourage vehicular traffic to engage with this community.

The existing building on the subject site does not help this situation. Architecturally uninspired, it is set back far from the road in a sea of asphalt paving. Its commercial tenants, although successful, are destination venues that bring little to the neighborhood. This building in no way tries to take advantage of the views of the Credit River and valley that are available from it. It does not engage the street and is somewhat hidden from it. It does not make a positive contribution to the streetscape or community.

The proposed building is a strong architectural statement that will engage the street and become a marker for the community. It will be highly visible when approached from the west and will announce the arrival into the community, especially so as it will create a relationship with the park entrance on the north side of the road. These elements will respond to each other and create a gateway to Erindale Village. The building and planned streetscape improvements will encourage pedestrian activity and by its balconies and retail elements and patio at grade will create engagement and interest on the street. It will also bring prominence to the Erindale Village Hall by creating its own defined precinct for that building and because the colouration and detailing of the proposed building have been designed to complement the existing building.

From the east it will also be an important element in the streetscape and will help to re-establish the Village as a place of some prominence and interest.

The massing of the proposed building has been designed to limit its impact on the existing residential community to the south. There will be no detrimental impacts from shadow or overlook and because of the extensive vegetation in the community it will be largely hidden from view from all but a handful of homes.

The proposed building has the potential to lead a regeneration of the Village of Erindale and to encourage similar action by others in the community.

8.1 Qualifications

Rick Mateljan is a Technologist licensed by the OAA and formerly vice-Chair of the Mississauga Heritage Advisory Committee. He has been involved in Infill, Intensification and Adaptive Re-use projects, many in Heritage Conservation Districts, for almost 20 years. A full CV is appended to this document.

9.1 Recommendations

The proposed development will implement the heritage and urban design related policies of the Region of Peel Official Plan, Mississauga Official Plan and the City of Mississauga Cultural Landscape Inventory. It will assist in the redevelopment and intensification of the Dundas St. corridor. It will encourage transit and other sustainable options for transportation. It will be an attractive and distinctive element in the skyline and will assist in the identification of Erindale as one of the constituent communities of Mississauga. It will not result in any adverse impacts.

Bibliography:

- Mississauga Library, Canadiana Room, original unpublished documents and newspaper clipping files
- Heritage Mississauga, original unpublished documents, original photographs
- City of Mississauga website, property information, zoning by-law, Official Plan
- Hicks, Kathleen A., Erindale: Early Times to Evolution, Mississauga Library System, 2009

-websites: University of Toronto Mississauga, Heritage Mississauga

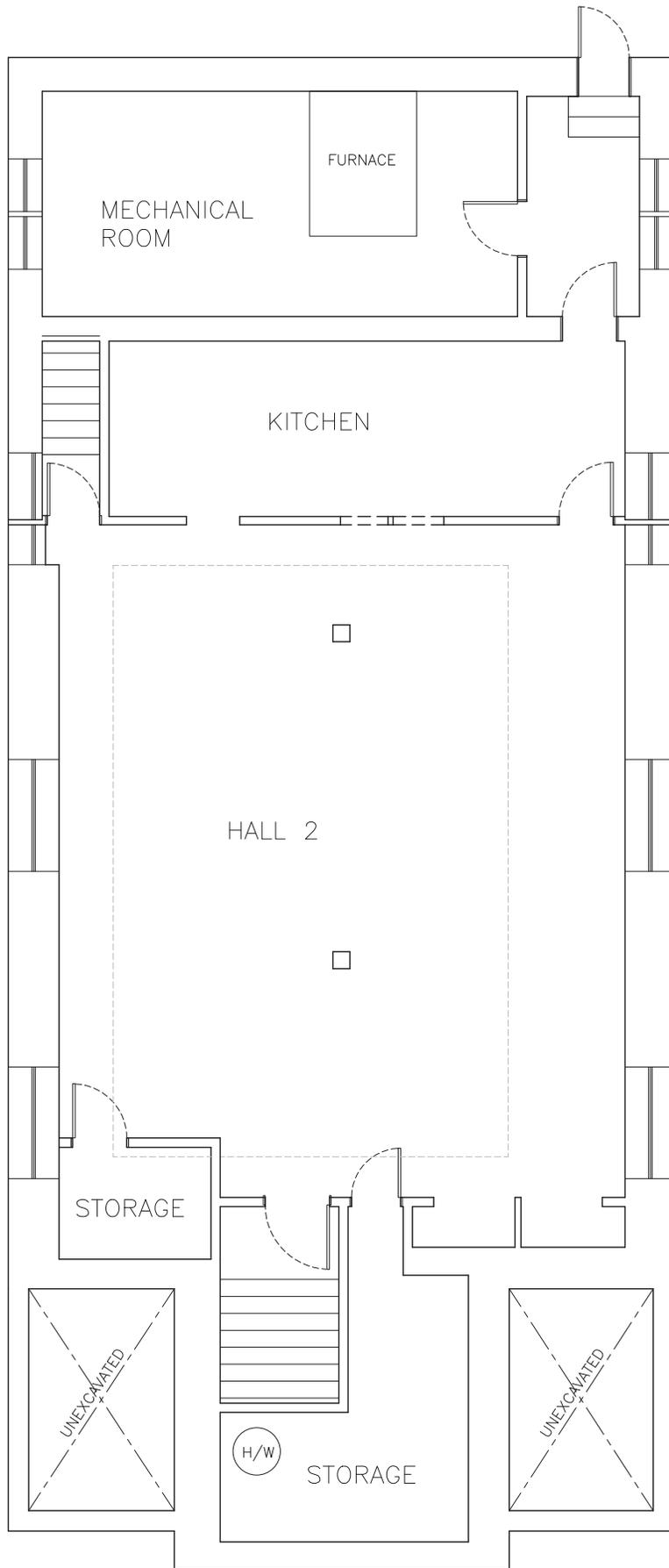
Appendix: Floor plans and elevations showing final built condition of the Erindale Village Hall

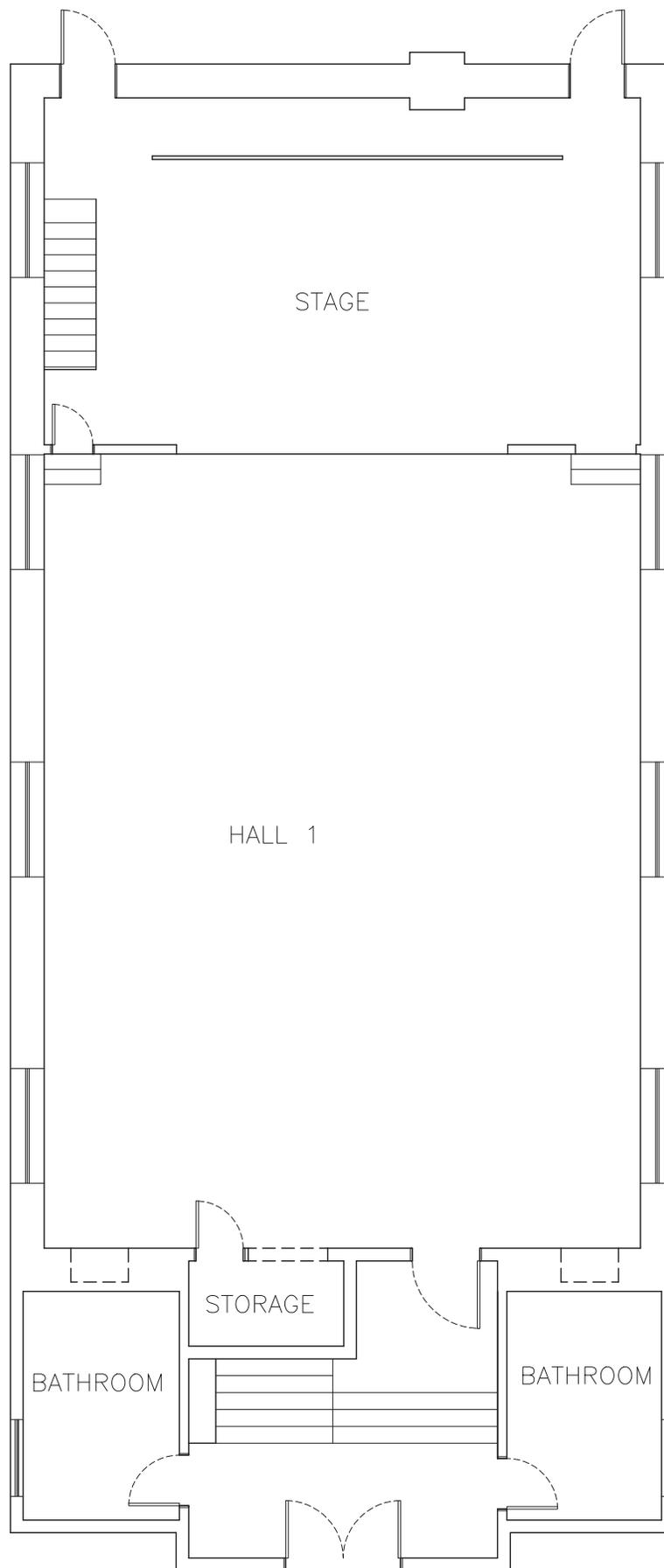
Appendix: Existing Survey, Proposed Site Plan, Proposed Landscaping Plan

Appendix: Proposed building plans and elevations, shadow study, angular plane study (AJ Tregebov Architects)

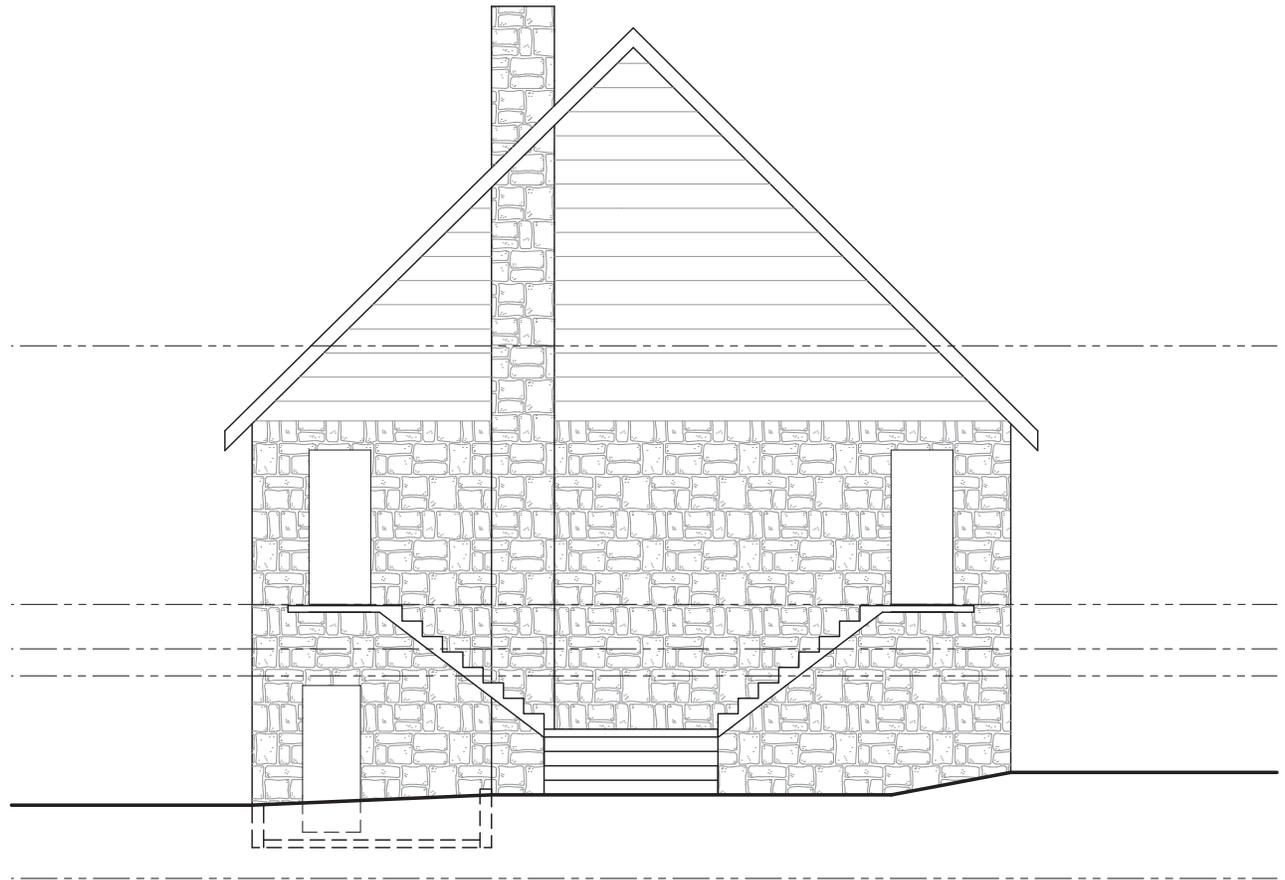
Appendix: Original construction drawings 1646 Dundas St. W.

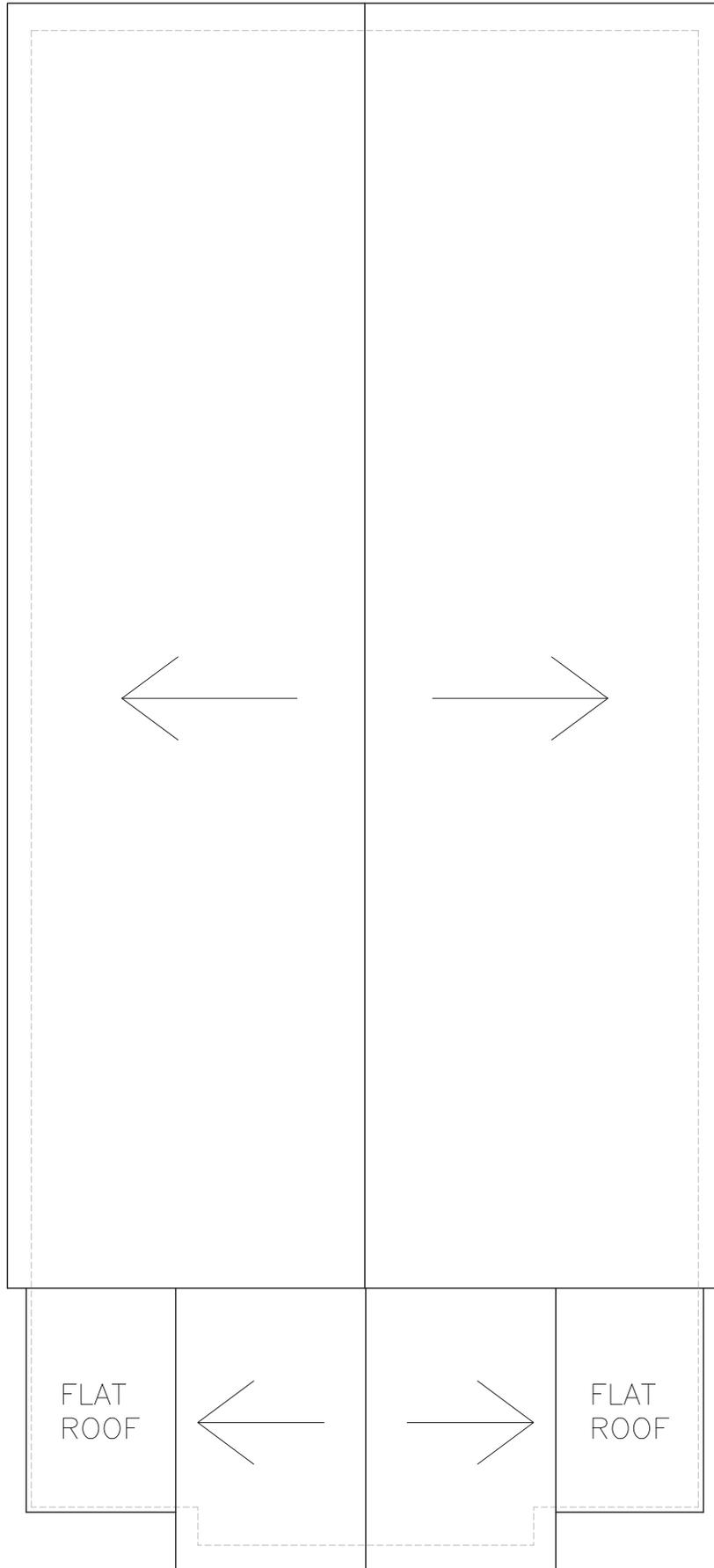
Appendix: Rick Mateljan CV

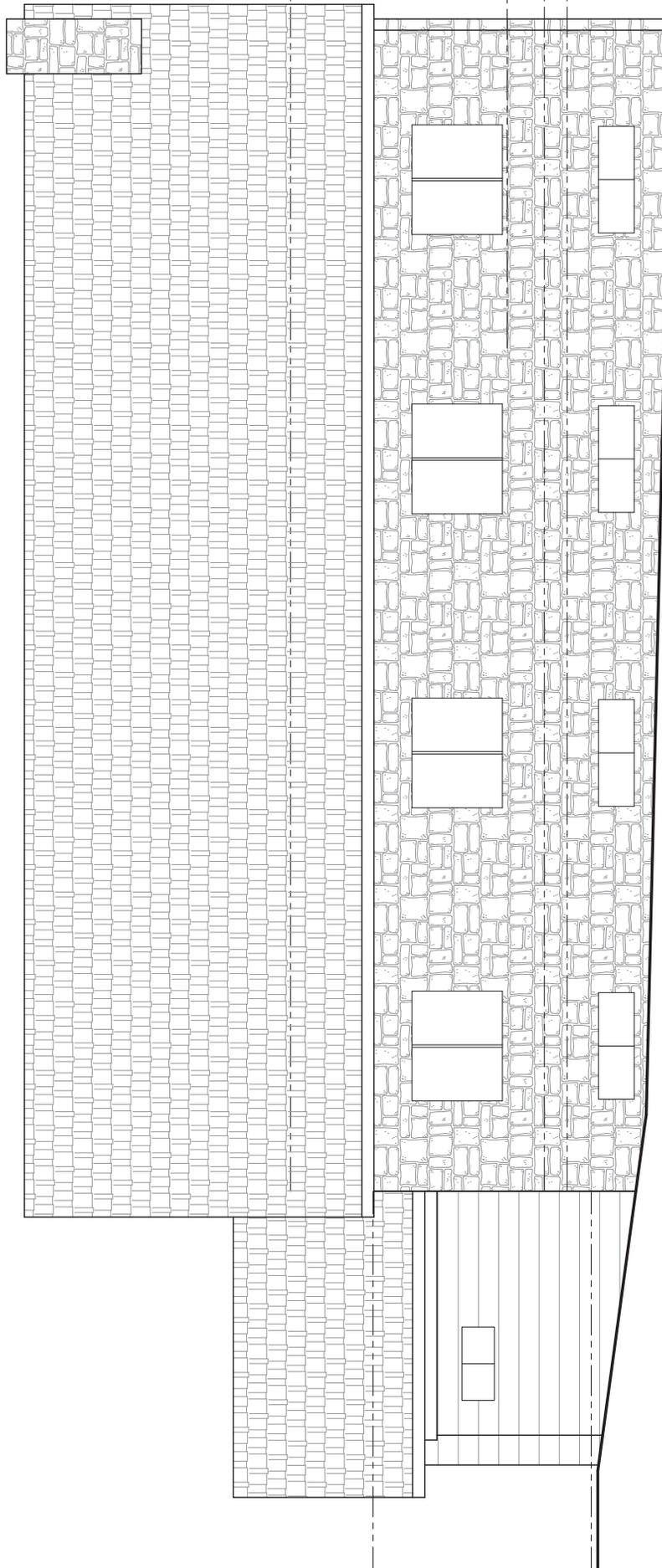


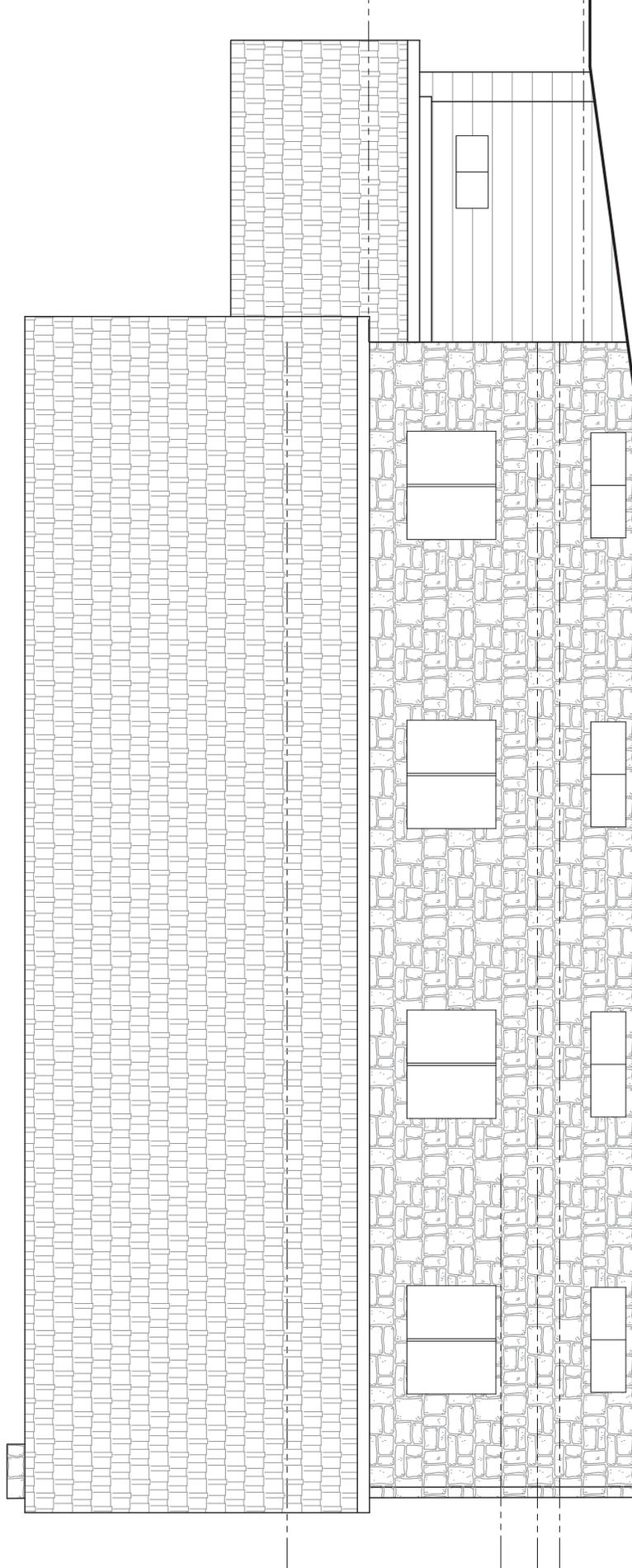














METRIC
 DISTANCES SHOWN ON THIS PLAN ARE
 IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048.

SKETCH SHOWING
 TOPOGRAPHIC DETAIL OF
 PART OF LOTS 1, 2, 3, 4 AND 5
 (LYING BETWEEN THE FIRST AND SECOND FORTY FOOT ROADS,
 ACCORDING TO A PLAN OF THE VILLAGE OF ERINDALE,
 FORMERLY THE VILLAGE OF SPRINGFIELD, BY J.O. BROWNE, P.L.S.,
 BEING A SUBDIVISION OF PART OF LOT 4, RANGE 1
 SOUTH OF DUNDAS STREET, RACEY TRACT)
 REGISTERED PLAN TOR-7
 CITY OF MISSISSAUGA
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1:250

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 OR PERSON MAY COPY AND REPRODUCE FOR PRIVATE USE ONLY
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NOTES AND LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- SB DENOTES STANDARD IRON BAR
- SBP DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- M DENOTES MEASURED
- S DENOTES SET
- WT DENOTES WITNESS
- OU DENOTES ORIGINAL UNKNOWN
- P1 DENOTES PLAN 428-1072
- GW DENOTES GUY WIRE
- SP DENOTES SIGN POLE
- HV DENOTES HYDRO VAULT
- UP DENOTES UTILITY POLE
- CB DENOTES CATCH BASIN
- MH DENOTES MANHOLE
- LS DENOTES LAMP STANDARD
- BH DENOTES BORE HOLE
- PI DENOTES PILLAR
- ST DENOTES STAKE AND TRASSICK LTD., O.L.S.
- 680 DENOTES C. PEAT, O.L.S.
- # DENOTES DIMETER
- 110.20 DENOTES EXISTING ELEVATION
- DENOTES TREE
- ★ DENOTES PINE TREE

BEARING NOTE:

BEARINGS ARE ASTRONOMICAL AND ARE
 MEASURED FROM THE NORTH WESTERLY
 END OF EACH LINE.
 AS SHOWN ON PLAN, 437-1110/2
 HAVING A BEARING OF 100°02'07.0"

THIS REPORT WAS PREPARED FOR
 AND THE UNDERSIGNED ACCEPTS A
 RESPONSIBILITY FOR USE BY
 OTHER PARTIES.

DISCLAIMER:
 THE FIELD WORK WAS PERFORMED
 DURING THE WINTER MONTHS AND
 SOME DETAIL MAY BE LIMITED DUE
 TO SNOW COVERAGE.

BENCHMARK:

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CITY OF MISSISSAUGA
 BENCHMARK No.29 HAVING AN ELEVATION OF 121.345 METRES.

NOTE:

THIS IS NOT A PLAN OF SURVEY.
 BOUNDARY DATA TAKEN FROM VARIOUS PLANS AND SHALL
 NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

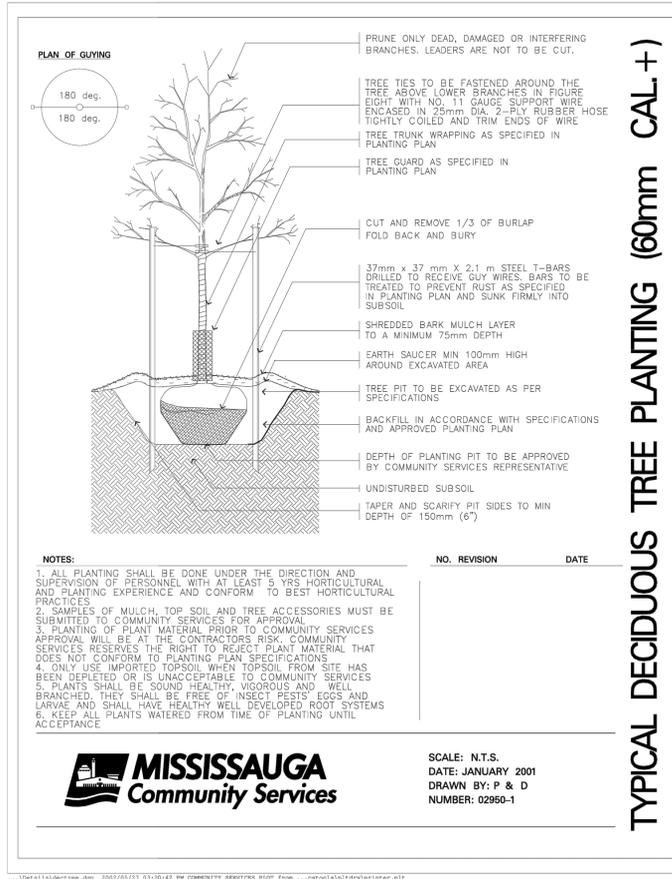
1. THE SURVEY WAS COMPLETED ON THE 2nd DAY OF OCTOBER, 2013.

DATE: OCTOBER 15, 2013

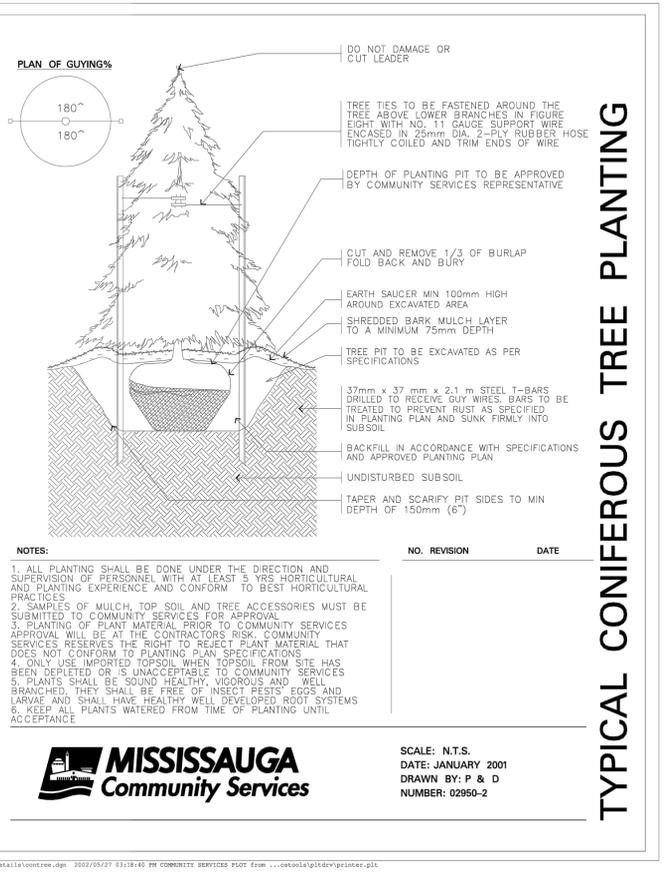
VLADIMIR DOSEN, B.S.
 ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
 ONTARIO LAND SURVEYORS
 555 DAVISVILLE AVENUE
 TORONTO, ONTARIO M4S 1J2
 PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

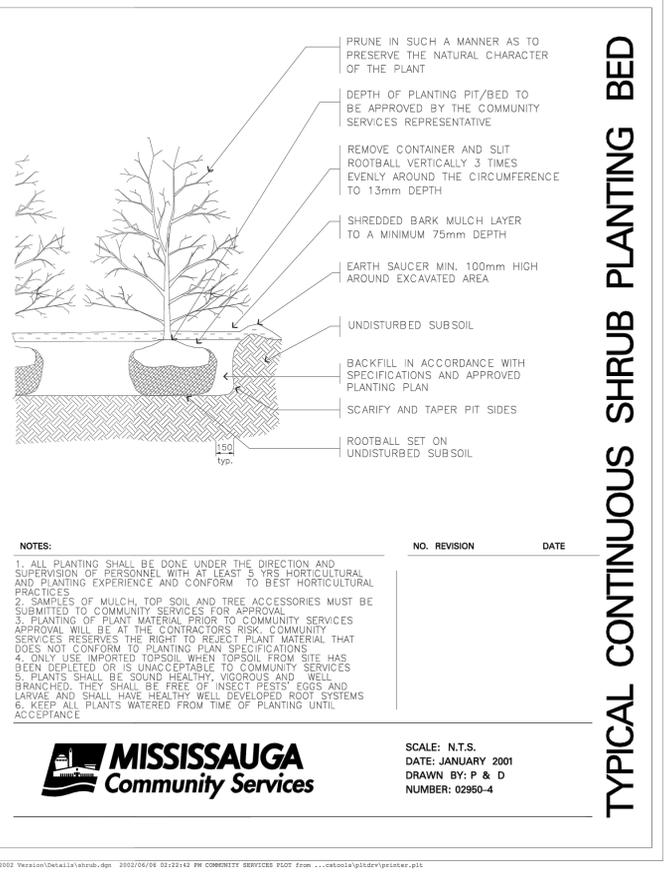
JOB No. 13029	DRAWN BY: K. J. W. BROWN
FILE: 13-029	CHECKED BY: V. DOSEN
CAD FILE: 1646-10-15-13-029-1	CHECKED BY: V. DOSEN



TYPICAL DECIDUOUS TREE PLANTING (60mm CAL+)



TYPICAL CONIFEROUS TREE PLANTING



TYPICAL CONTINUOUS SHRUB PLANTING BED

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KEY PLAN



LEGEND:

1 TYPICAL DECIDUOUS TREE PLANTING DETAIL 45mm TO 70mm CAL - WIRE BASKET, BALLED AND BURLAPPED NTS

2 TYPICAL CONIFEROUS TREE PLANTING DETAIL WIRE BASKET, BALLED AND BURLAPPED NTS

3 TYPICAL SHRUB PLANTING DETAIL ALL SPECIES AND SIZES NTS

GENERAL PLANTING NOTES

IF DISCREPANCIES IN THE PLANT QUANTITIES EXIST, THEN THE PLANTING PLANS SHALL OVER-RIDE THE PLANT LIST.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL MATERIAL THAT CAN NOT BE PLANTED WITHIN 48 HOURS OF DELIVERY SHALL BE HEALED IN ON SITE AND BE KEPT PROPERLY PROTECTED FROM DESICCATION BY WIND OR SUN.

THE CONTRACTOR IS TO STAKE OUT ALL TREE LOCATIONS AND SHRUB BED GROUPINGS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING OPERATIONS.

STOCK

- 1. ALL PLANT MATERIAL SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE "CANADIAN STANDARDS FOR NURSERY STOCK". PLANT MATERIAL SHALL BE STRUCTURALLY SOUND, WELL FURNISHED WITH FOLIAGE, SHOWING VIGOROUS GROWTH AND FORMATION OF SHOOTS, AND BE FREE FROM BLIGHT AND DISEASE OF ANY DESCRIPTION. ANY SUBSTITUTIONS AS TO VARIETY OR SPECIES MUST BE ACCEPTED BY THE LANDSCAPE ARCHITECT.

SITE PREPARATION

- 5. SOILS SHALL BE FERTILE, FRIABLE, STONE-FREE AND NOT IN A FROZEN OR MUDDY CONDITION AT GRADING AND PLANTING.

PLANTING

- 7. THE POTTED HERBACEOUS VEGETATION SHALL BE REMOVED FROM THE POT TOGETHER WITH THE POTTING SOIL AND PLACED FIRMLY INTO THE NATIVE SOIL AT THE

LOCATION INDICATED ON THE PLAN. ROOT RHIZOME, OR TUBER SHALL BE BURIED TO THE SAME DEPTH AS THE NATURAL STATE OF THE PLANT. ALL POTS AND CONTAINERS SHALL BE REMOVED AND DISPOSED OF OFF SITE.

- 8. IN CASE OF FIBRE POTS, CUT 3 LONGITUDINAL SLITS DOWN SIDES OF POT. PLACE POTTED PLANT IN PLANTING PIT AND CAREFULLY REMOVE FIBRE POT.

- 9. THE PLANTING PIT SHALL BE BACKFILLED WITH NATIVE SOIL IN LAYERS 150mm DEEP, FIRMLY TAMPED INTO PLACE AND A SHALLOW SAUCER SHALL BE CREATED OVER THE PLANTING PIT AREA TO RETAIN WATER.

- 10. LIGHTLY TAMP SPECIFIED TOPSOIL WHEN BACKFILLING TO ELIMINATE AIR POCKETS AND PREVENT SETTLING.

- 11. PLANT MATERIAL SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING TO THE FULL DEPTH OF THE ROOTBALL.

- 12. DAMAGED MATERIAL WILL BE REJECTED. TREES WITHOUT LEADERS, TRUNK WOUNDS OR DAMAGED MAJOR LIMBS WILL BE REJECTED. SHRUBS WITH DAMAGED BRANCHES OR INSUFFICIENT ROOT MASS WILL BE REJECTED.

- 13. SHRUBS ARE TO BE PLANTED AND ARRANGED SUCH THAT THEY FORM A TIGHTLY SPACED, NATURALISTIC APPEARANCE TO REDUCE WEED GROWTH. ALL SHRUBS TO BE PLANTED IN CONTINUOUS BEDS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

- 14. ALL MULCH TO BE SHREDDED PINE BARK MULCH - AVAILABLE FROM GRO-BARK (1-888-GRO-BARK) OR APPROVED EQUIVALENT. DEPTH TO BE 100mm. DO NOT PLACE MULCH IN DIRECT CONTACT WITH TRUNKS.

- 15. ALL PLANTINGS ARE TO BE LOCATED 3.0m MINIMUM FROM UTILITIES, AND 4.0m MINIMUM FROM DRAINAGE STRUCTURES, DITCHES AND SWALES, UNLESS OTHERWISE NOTED.

- 16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO APPLY WEED AND GRASS CONTROL IN THE PLANTING BED AREAS AS REQUIRED (NO PESTICIDES IN ACCORDANCE WITH MUNICIPAL BY-LAWS AND PROVINCIAL LEGISLATION).

- 17. ALL EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF AS DIRECTED BY OWNER'S REPRESENTATIVE.

WARRANTY PERIOD

- 1. ALL PLANTING MATERIAL SHALL BE UNDER WARRANTY FOR A PERIOD OF 24 MONTHS COMMENCING ON THE DATE OF ACCEPTANCE. ALL PLANT MATERIAL SHALL BE OF THE SAME QUALITY AND REQUIREMENTS PRESCRIBED FOR THE

ORIGINAL MATERIAL. PLANTS WHICH HAVE DIED DURING THE PERIOD OF WARRANTY SHALL BE REPLACED AT NO COST TO THE OWNER AS SOON AS POSSIBLE CONSISTENT WITH THE ALLOWABLE PLANTING SEASON. DEAD PLANT MATERIAL REPLACED UNDER WARRANTY SHALL BE REMOVED FROM THE CONTRACT SITE AT THE CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACED UNDER WARRANTY SHALL CONFORM TO ALL SPECIFICATIONS OF THE ORIGINAL CONTRACT INCLUDING THE WARRANTY FROM THE DATE OF REPLACEMENT PLANTING.

2. THE CONTRACTOR SHALL PROVIDE MAINTENANCE IMMEDIATELY AFTER THE PLANTS ARE INSTALLED AND CONTINUE THROUGHOUT THE ENTIRE WARRANTY PERIOD. MAINTENANCE REQUIREMENTS SHALL INCLUDE ALL PROCEDURES CONSISTENT WITH PROPER HORTICULTURAL PRACTICES TO ENSURE NORMAL, VIGOROUS AND HEALTHY GROWTH OF ALL MATERIAL PLANTED INCLUDING SEEDING.

3. AT THE TIME OF FINAL WARRANTY ACCEPTANCE, ALL MATERIAL MUST BE IN A HEALTHY AND VIGOROUS CONDITION. PLANTING BEDS MUST BE FRESHLY CULTIVATED AND FREE OF WEEDS, RUBBISH AND DEBRIS.

SODDING NOTES

- 1. SOD SHALL BE NO. 1 CULTIVATED TURF GRASS SOD GROWN AND SOLD IN ACCORDANCE WITH THE CLASSIFICATIONS OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO, LATEST EDITION. COMPOSITION OF THE SOD SHALL BE 60-70% KENTUCKY BLUEGRASS AND 30-40% CREEPING RED FESCUE ON MINIMUM 100mm CLEAN TOPSOIL.

SEEDING NOTES

- 1. ALL DISTURBED SLOPE AREAS ARE TO BE HYDROSEEDING WITH A CVC APPROVED SEED MIX (TBD) AND BONDED FIBRE MATRIX.
- 2. SEED MIXTURE IS TO BE APPLIED AS PER MANUFACTURERS SPECIFICATIONS. CONTRACTOR NOT TO PROCEED IN UNCERTAINTY.
- 3. CONTRACTOR IS TO NOTIFY CONTRACT ADMINISTRATOR 24 HOURS PRIOR TO COMMENCING SEEDING OPERATIONS, AND RETAIN ALL WAYBILLS FOR SPECIFIED SEED MIXTURES. CONTRACTOR IS TO INSPECT SITE PRIOR TO COMMENCING SEEDING OPERATIONS TO CONFIRM THAT SITE CONDITIONS ARE SUITABLE FOR SPECIFIED SEED MIXTURE.
- 4. APPLICATION OF THE SEED MIXTURE IS TO BE DONE IN A CONSISTENT AND EVEN MANNER, ENSURING 100% COVERAGE OVER ENTIRE SITE. CONTRACTOR IS TO RE-SEED IN ALL AREAS WHERE 100% COVER IS NOT ACHIEVED UNTIL SUFFICIENT COVER IS ATTAINED, AND MAINTAIN ALL SEEDING AREAS FREE OF WEEDS UNTIL FINAL ACCEPTANCE.

- 5. SOIL IS TO BE KEPT SUFFICIENTLY MOIST DURING GERMINATION PERIOD TO A MINIMUM DEPTH OF 100mm. WATERING IS TO BE DONE IN SUCH A WAY AS TO AVOID EXCESS EROSION OR WASHING OUT OF SEED.

- 6. CONTRACTOR IS NOT TO APPLY PESTICIDES OR HERBICIDES WITHOUT OBTAINING PRIOR WRITTEN CONSENT FROM THE CONTRACT ADMINISTRATOR.

- 7. APPLICATION OF SEED MIXTURE IS TO OCCUR ONLY IN SUITABLE WEATHER CONDITIONS, TO BE CONFIRMED BY THE CONTRACT ADMINISTRATOR. IF IT IS DETERMINED THAT THE WEATHER CONDITIONS PRECLUDE APPLICATION OF THE SEED MIXTURE, SEDIMENT FENCING OR EROSION CONTROL BLANKETS, OR OTHER APPROVED METHODS MUST BE INSTALLED AS DIRECTED BY THE CONTRACT ADMINISTRATOR.

- 8. IF CONSTRUCTION SCHEDULE PROHIBITS PERMANENT SEEDING, SLOPES MUST BE STABILIZED FOR OVER WINTERING. TO STABILIZE SLOPES, SEED WITH WINTER OATS (30kg/ha) FROM NOVEMBER 15 TO GROUND FREEZE AND COVER WITH NORTH AMERICAN GREENS BOMER S 150BW EROSION CONTROL MATS OR APPROVED EQUIVALENT ON ALL SLOPES 3:1 OR GREATER AS PER MANUFACTURER'S SPECIFICATIONS.

- 9. ACCEPTANCE WILL BE GIVEN ONLY WHEN 100% COVER OF SPECIFIED SEED MIXTURE IS ACHIEVED, AND WAYBILLS OR LABELS HAVE BEEN OBTAINED BY THE CONTRACT ADMINISTRATOR.

- 10. ALL DISTURBED AREAS ARE TO BE SEEDING. SEEDING IS TO BE DONE IMMEDIATELY FOLLOWING COMPLETION OF FINE GRADING UNLESS OTHERWISE STATED. TOPSOIL IS TO BE SCARIFIED TO A MINIMUM DEPTH OF 100mm AND FINE GRADED TO ELIMINATE UNEVEN SURFACES, AND ALL DELETERIOUS MATERIAL IS TO BE REMOVED.

- 11. ALL AREAS ARE TO BE THOROUGHLY WATERED TO ENSURE THAT THE UPPER LAYERS OF SOIL ARE SATURATED PRIOR TO THE HYDROSEEDING OPERATIONS. SOIL IS TO BE KEPT SUFFICIENTLY MOIST DURING GERMINATION PERIOD TO A MINIMUM DEPTH OF 100mm. WATERING IS TO BE DONE IN SUCH A WAY AS TO AVOID EXCESS EROSION OR WASHING OUT OF SEED.

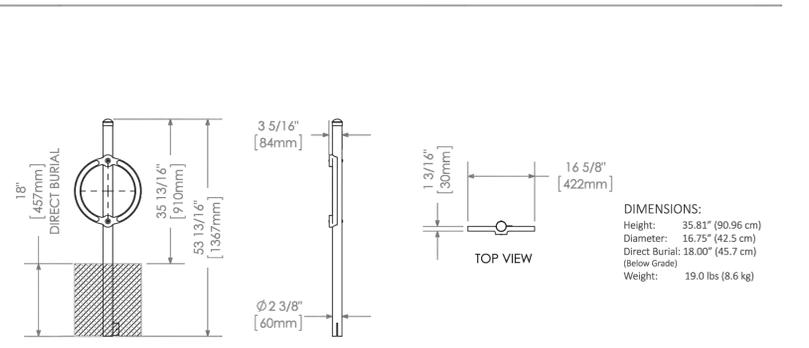
MATERIALS: The bike rack is constructed using galvanized H.S. steel tube and an aluminum casting. Custom raised lettering is available.

FINISH: The bike rack uses a galvanized post with a natural finish on the aluminum ring casting. The Maglin Powdercoat finish is also available.

INSTALLATION: The bike rack is delivered pre-assembled.

TO SPECIFY: Select MBR200-DB
Choose: - Powdercoat Color
Natural Aluminum/Galvanized Finish
- Direct Burial (MBR200-DB-G)

OPTIONS: Personalization



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T: 800-716-9508
F: 877-860-9303
WWW.MAGLIN.COM
SALES@MAGLIN.COM

4 BIKE RACK MODEL MBR200-DB; COLOUR: BLACK NTS

NO.	REVISIONS	DATE:

NO.	ISSUED	DATE:

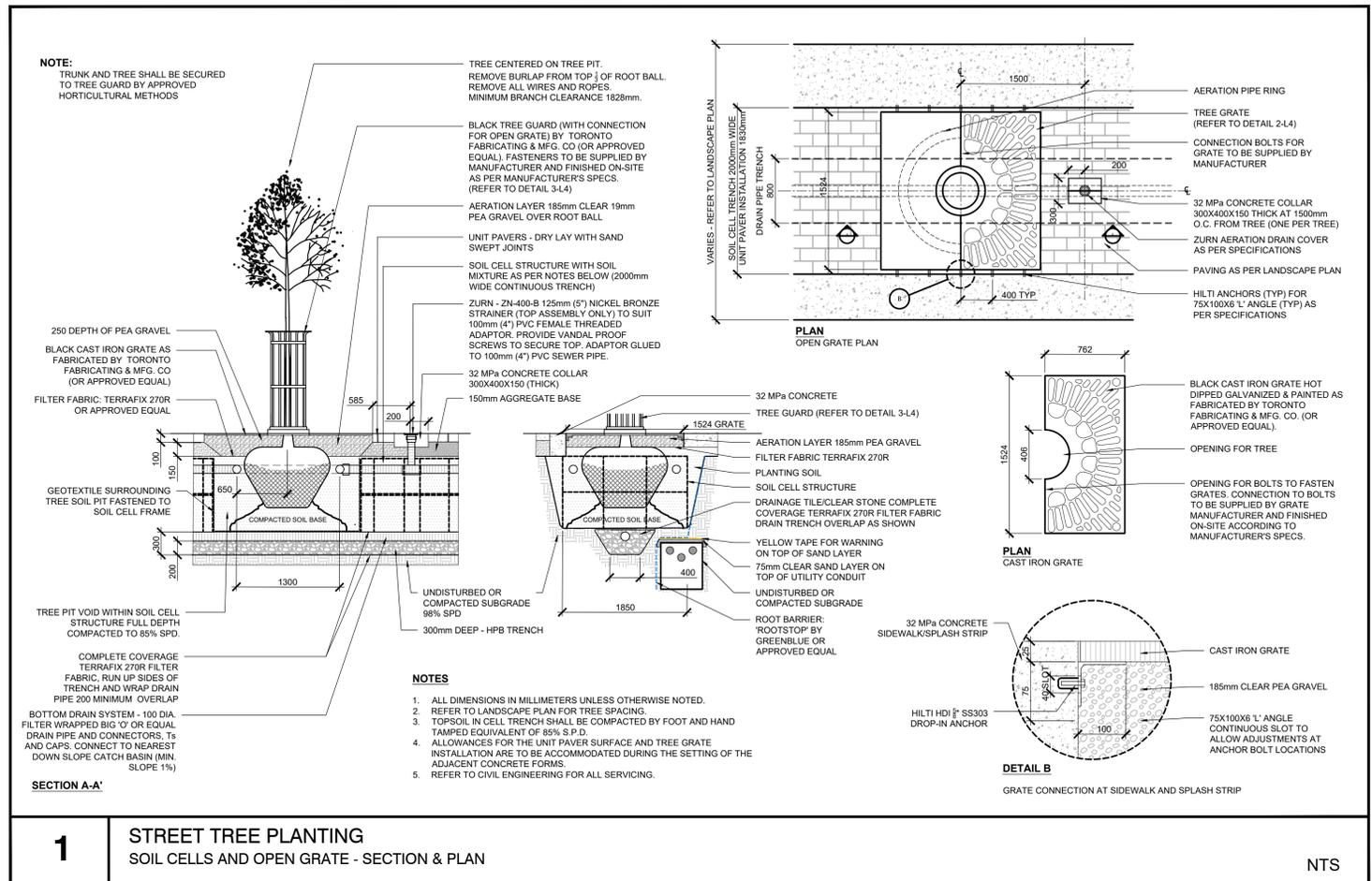
CLIENT: ERINDALE LIVING VILLAGE INC. c/o YYZed Project Management 8888 Keele Street, Suite 1 Vaughan, Ontario

PROJECT TITLE: 1620 DUNDAS STREET WEST MISSISSAUGA, ONTARIO



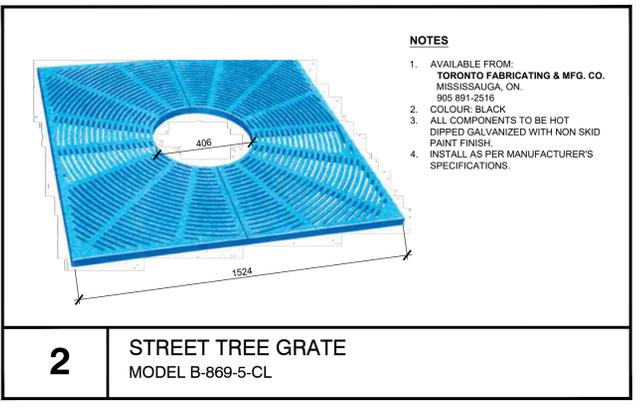
SHEET TITLE: LANDSCAPE DETAILS

DWG No:	L-3	SCALE: AS SHOWN
PROJECT NO:	16-039	
DRAWN BY:	SLS	
DESIGN BY:	SLS	
CHECKED BY:	HS	
SHEET No:	3 of 6	
NORTH		



1 STREET TREE PLANTING
SOIL CELLS AND OPEN GRATE - SECTION & PLAN

NTS



2 STREET TREE GRATE
MODEL B-869-5-CL



3 STEEL TREE GUARD
MODEL TG-213

NTS

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LEGEND:

NO.	REVISIONS	DATE:
NO.	ISSUED	DATE:
2	REISSUED FOR OPA & ZBA	MAR 26, 2018
1	ISSUED FOR OPA & ZBA	NOV 17, 2017

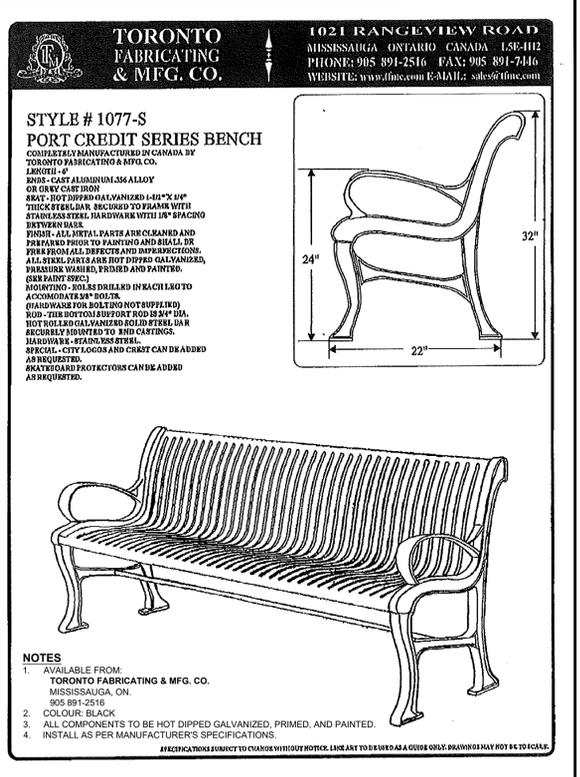
CLIENT:
ERINDALE LIVING VILLAGE INC.
c/o YZed Project Management
8888 Keele Street, Suite 1
Vaughan, Ontario

PROJECT TITLE:
1620 DUNDAS STREET WEST
MISSISSAUGA, ONTARIO



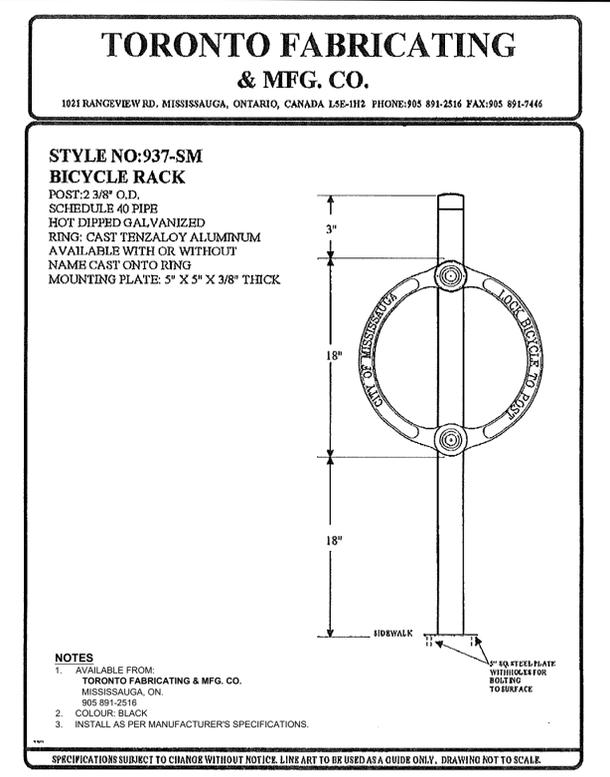
SHEET TITLE:
STREETSCAPE DETAILS

DWG No:	L-4	SCALE: AS SHOWN
PROJECT NO:	16-039	
DRAWN BY:	SLS	
DESIGN BY:	SLS	
CHECKED BY:	HS	
SHEET No:	4 of 6	
NORTH		



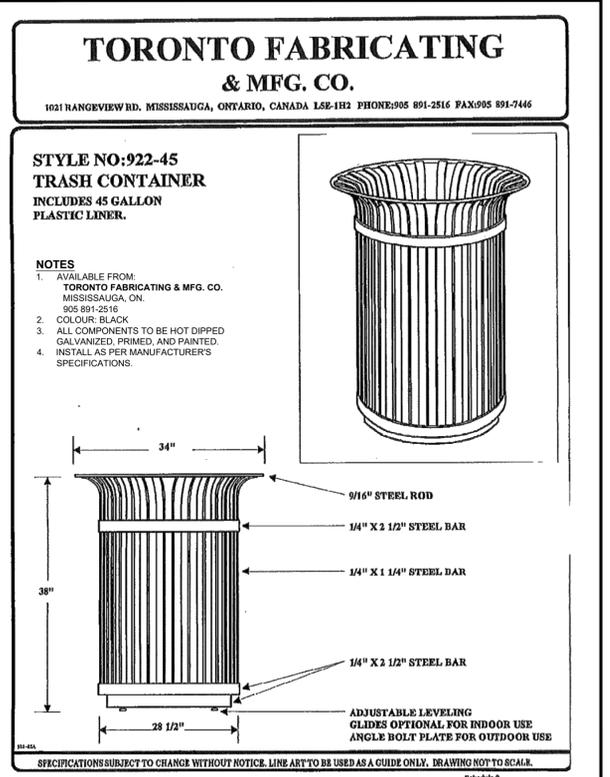
4 STANDARD BENCH
MODEL 1077-S

NTS



5 STANDARD BIKE RACK
MODEL 937-SM

NTS



6 STANDARD TRASH RECEPTACLE
MODEL 922-45

NTS

STREET TREE PLANTING

1. LANDSCAPE DRAWINGS APPROVED UNDER THE MUNICIPAL SERVICING AGREEMENT ASSOCIATED WITH FILE ARE NOT TO BE USED FOR TENDERING/CONSTRUCTION PURPOSES. LANDSCAPE TENDER DOCUMENTS ARE TO UTILISE APPROVED LANDSCAPE DRAWINGS FROM ASSOCIATED SITE PLAN.
2. STREETSCAPE LANDSCAPE MASTER PLAN DRAWINGS APPROVED THROUGH THE SITE PLAN REVIEW PROCESS SUPERSEDE DRAWINGS SUBMITTED / APPROVED THROUGH THE ASSOCIATED DEVELOPMENT APPLICATION.
3. COMMUNITY SERVICES IS TO BE CONTACTED @ 905-896-5382 TO CONFIRM LATEST TREE GRATE/TREE GUARD/PAVING STONE STANDARD PRIOR TO TENDERING OF WORK.
4. THE DEVELOPER IS RESPONSIBLE FOR INSURING PROPER MAINTENANCE OF THE INSTALLED STREET TREES THROUGHOUT THE DURATION OF THE 2 YEAR WARRANTY PERIOD. THAT COMMENCES UPON PROVISION OF PRELIMINARY ACCEPTANCE LETTER BY COMM. SERV. ALL WATERING, FERTILIZING AND PRUNING ARE TO BE CARRIED OUT TO THE SATISFACTION OF THE COMMUNITY SERVICES DEPT.
5. REGARDING ISSUES ASSOCIATED WITH INSTALLATION, MAINTENANCE, AND INSPECTION OF THE NEW STREET TREE WORKS, CONTACT THE COMMUNITY SERVICES DEPARTMENT AT (905) 896-5382 TO ARRANGE FOR INSPECTIONS.
6. ALL COMPONENTS OF THE STREET TREE SOIL CORRIDOR ARE TO BE INSTALLED BY THE LANDSCAPE CONTRACTOR. PRIOR TO INSTALLATION OF SOIL CELLS, STREET TREE PIT, AND ASSOCIATED COMPONENTS, AN ON-SITE MEETING IS TO BE ARRANGED WITH THE COMMUNITY SERVICES, PARK PLANNING REPRESENTATIVE, THE CONSULTING LANDSCAPE ARCHITECT, THE DEVELOPER'S REPRESENTATIVE, AND THE CONTRACTOR.
7. STREET TREES ARE TO BE INSPECTED AND APPROVED BY URBAN FORESTRY/PLANNING AND HERITAGE REP. UPON THEIR ARRIVAL ON SITE & PRIOR TO THEIR INSTALLATION IN THE STRUCTURAL SOIL CORRIDOR.
8. PRIOR TO THE CITY'S PRELIMINARY ACCEPTANCE OF THE STREETSCAPE WORKS AND REDUCTION OF SECURITIES, THE CONSULTING LANDSCAPE ARCHITECT IS TO PROVIDE COMMUNITY SERVICES WITH A STAMPED CERTIFICATE STATING THAT ALL WORKS HAVE BEEN INSTALLED AS PER THE APPROVED PLANS AND HAVE BEEN INSPECTED/APPROVED BY THE LANDSCAPE ARCHITECT DURING THE INSTALLATION.

TREE PRESERVATION NOTES

- This drawing is to be read in conjunction with the written specifications and with the engineer's final site drawings. These drawings take precedence.
- The Contractor shall check and verify all dimensions and conditions on the project. Field staking of property boundary and accurate tree locates to be done by surveyor of record.
- Any discrepancies in this drawing or accompanying details are to be reported to the Landscape Architect / or Engineer. Contractor is not to proceed in uncertainty.
- The Contractor is to be aware of all existing and proposed services and utilities. The Contractor shall check all underground services and utility lines staked by each agency having jurisdiction prior commencing the work.
- All trees located within the project area designated for preservation (refer to tree preservation plan), or denoted existing, and all trees located on adjacent properties shall be preserved. In the event that any trees designated for preservation located within the project area or on adjacent properties are damaged or killed by the actions of a Contractor or their agents/sub-contractors, the Contractor will be responsible for the replacement of the destroyed plant material with material of equal and value and comparable species to the satisfaction of the project arborist or their representative.
- No grade changes shall occur within tree protection zone. In the event that grade changes may occur the consulting arborist must be notified so that precautions to preserve the tree, such dry welling or root feeding can be determined prior to the placement of fill or excavation activities.
- Trees shall not have any rigging cables or hardware of any sort attached or wrapped around them, nor shall any contaminants be dumped within the protective areas. Furthermore, no contaminants shall be dumped or flushed where they may come in contact with the feeder roots of the trees.
- The Contractor will take every precaution to prevent damage to trees or shrubs. The Contractor will take every precaution to protect plant and root systems from damage, compaction and contamination resulting from the construction to the satisfaction of the Contract Administrator or consulting arborist..
- Any roots or branches which extend beyond the tree protection zone(s) indicated on this plan which require pruning, must be pruned by a Certified Arborist or other tree professional as approved by municipal representative. All pruning of tree roots and branches must be in accordance with good arboricultural standards.
- Trees that require pruning prior to construction to permit construction activities, have been identified in the tree preservation plan. In the event that it is necessary to remove additional limbs or portions of trees after construction has commenced, to accommodate construction, the consulting arborist is to be informed and the removal is to be executed carefully and in full accordance with arboricultural techniques by a certified arborist in accordance with current ISA standards and good arboricultural practices.
- The Contractor is required to install all tree protection fences first and obtain approval by the Landscape Architect prior to undertaking any vegetation clearing, demolition and grading works on site.
- Trees identified for removal shall be cut and removed off site. All wood chips shall be hauled and disposed off site.
- All tree removals must be completed outside of nesting season which will extend from May 1st to July 1st.

DURING CONSTRUCTION:

- Maintain tree protection fencing and the TPZ throughout the entire construction period.
- During excavation operations in which roots are affected, the Contractor is to prune all exposed roots cleanly. Prune ends to point obliquely downwards. The exposed roots should not be allowed to dry out, and the Contractor shall discuss watering the roots with the Owner and Landscape Architect so that the roots shall maintain optimum soil moisture during construction and backfilling operations. Backfilling must be with clean uncontaminated topsoil from an approved source.
- Areas within the dripline of the trees designated for preservation are not to be used for any type of storage (i.e. storage of debris, construction material, surplus soils, and construction equipment). No trenching or tunneling for underground services shall be located within the tree protection zone or dripline of trees designated for preservation within or adjacent to construction zone.
- Any grading required within the tree protection zone for any tree must be completed by hand under the site supervision of the project Landscape Architect and or Arborist.

POST-CONSTRUCTION:

- After construction, remove all protective material & begin a care and feeding program for trees as required.
- One year following construction the contractor will prune out all dead, dying or unsafe wood. Only qualified experienced personnel under the direction of an accredited Arborist will perform this work.
- Areas where root systems are directly exposed shall have roots pruned in accordance with good horticultural practices and then back filled with good native loam soil. This will be reviewed with consulting Arborist if required.
- Damaged trees must be immediately repaired at Contractor's expense under the direction of the consulting Arborist.
- All trees to be preserved will be monitored by the Project Landscape Architect & Consulting Arborist during the construction period and for a period of two years following construction.

ESTABLISHMENT OF TREE PROTECTION ZONE, BARRIERS & FENCING

- Where trees located within the project area that it has been determined the feasibility for preservation is good, tree protection barriers are proposed to establish a tree protection zone (refer to Tree Preservation Plan). All trees located on adjacent properties shall be preserved unless written consent is provided by the property owner for the tree removal(s).
- The tree protection zone shall be established by the installation of tree protection fencing. The Tree Preservation Plan indicates the layout of the fencing. The tree protection fencing shall follow municipal guidelines and/or requirements unless stated otherwise within the detailed vegetation management plan.
- Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place throughout the entire duration of the project. The applicant shall notify the municipal representative prior to commencing any construction activities to confirm that the tree protection barriers are in place.
- All supports and bracing used to safely secure the barrier should be located outside the tree protection zone. All supports and bracing should minimize damage to roots.
- Where some fill or excavated material must be temporarily located near the tree protection zone, a wooden barrier must be used to ensure no material(s) enters the tree protection zone.

LIMITATIONS OF ASSESSMENT

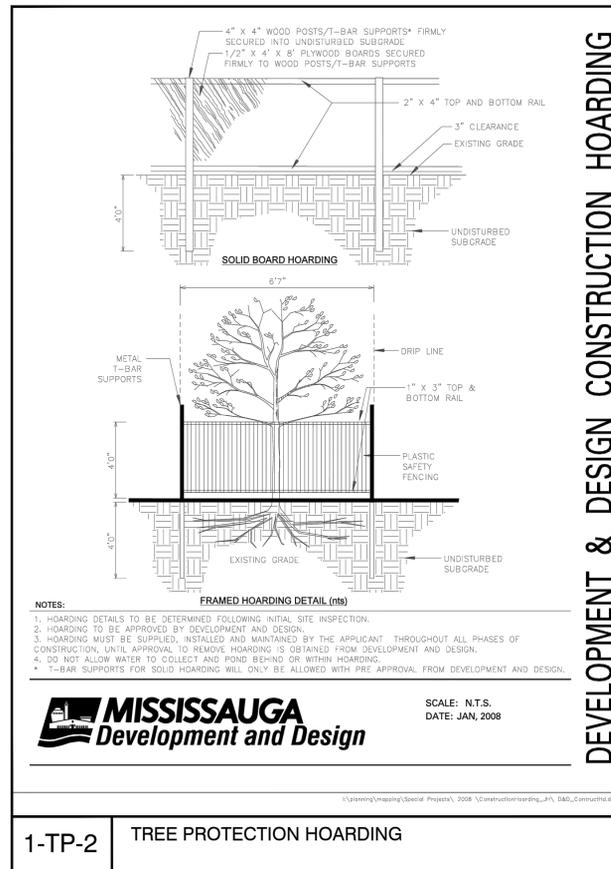
It is Seferian Design Group policy to attach the following clause regarding limitations. We do this to ensure that the all interested parties are aware of what is technically and professionally realistic in retaining trees.

The assessment of the trees presented on these plans has been made using accepted arboricultural techniques. Specifically, we conducted a visual examination of all the above ground parts of the tree for: structural defects; scars; external indications of decay such as fungal fruiting bodies; evidence of attack by insects; discoloured foliage; the condition of any visible root structures; and the degree and direction of lean (if any). We also noted the general condition of the trees and the surrounding site, and the proximity of property and people. Except where specifically noted, the trees were not cored, probed or climbed and there was no detailed inspection of the root crowns involving excavations.

Notwithstanding the recommendations and conclusions made on these plans and corresponding reports (if applicable), must be recognized that trees are living organisms, and their health and vigour constantly changes over time. They are not immune to changes in site conditions or seasonal variations in the weather conditions.

While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees or any of their parts will remain standing. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or its component parts under all circumstances. Inevitably, a standing tree will always pose some level of risk. Most trees have the potential for failure under adverse weather conditions, and the risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented on these plans and in corresponding reports (if applicable) are valid at the time of inspection.



DEVELOPMENT & DESIGN CONSTRUCTION HOARDING

1-TP-2 TREE PROTECTION HOARDING

THE FOLLOWING IS A CHART SHOWING THE MINIMUM REQUIRED DISTANCES FOR DETERMINING A TREE PROTECTION ZONE

Tree Protection Zones		
Diameter of Trunk Centimetres at 1.4 m above grade (DBH)	Minimum Tree Protection Zone (TPZ) Distance from trunk, measured in metres.	Potential Rooting Area (PRA) for all trees and TPZ for trees in NHS, parks, open spaces and other significant natural heritage areas.
<10	1.2	2.4
10-29	1.8	3.6
30-40	2.4	4.8
41-50	3.0	6.0
51-60	3.6	7.2
61-70	4.2	8.4
71-80	4.8	9.6
81-90	5.4	10.8
91-100	6.0	12.0
>100	6 cm per 1 cm DBH	12 cm per 1 cm DBH

NOTES:

- THE TREE PROTECTION ZONE (TPZ) AND CRITICAL ROOT ZONE (CRZ) DISTANCES ARE TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE TO THE DRIP LINE. THE FOLLOWING IS A CHART SHOWING THE MINIMUM REQUIRED DISTANCES FOR DETERMINING A TREE PROTECTION ZONE.
- WHERE WORK IS BEING PERFORMED BEYOND THE TREE PROTECTION ZONE (TPZ) BUT WITHIN THE CRITICAL ROOT ZONE (CRZ), THE WORKS ARE SUBJECT TO THE FOLLOWING SPECIFICATIONS:
 - ROOT PRUNING BY ROTARY SAW TO A DEPTH OF 300mm
 - ROOTS ARE TO BE CUT A MAXIMUM OF 300mm FROM THE EDGE OF EXCAVATION (GRADING OR REMOVALS).
 - THE LIMIT EXCAVATION, GRADING OR REMOVALS IS TO BE MINIMIZED TO THE GREATEST EXTENT POSSIBLE, AND IS TO INCLUDE THE USE OF EXCAVATION SHORING, SMALLER EXCAVATION EQUIPMENT, OR RUBBER Tired MACHINES.

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KEY PLAN



LEGEND:

SOURCE OF BASE INFORMATION:
SITE PLAN RECEIVED FROM CON ARCHITECTS MARCH 2014. FILE NAME: 14-03-07_1640 Dundas West.dwg
SURVEY PLAN RECEIVED FROM MATAS HOMES MARCH 2014. PREPARED BY VLADIMIR BOGOSI (SURVEY)
OCTOBER 2013. FILE NAME: 1640 DUNDAS STREET WEST 3.dwg
EXISTING TREE INSPECTION UNDERTAKEN BY REDBUD FORESTRY CONSULTANTS AND SEFERIAN DESIGN GROUP MARCH 19th, 2014.

NO.	REVISIONS	DATE:
NO.	ISSUED	DATE:
2	REISSUED FOR OPA & ZBA	MAR 26, 2018
1	ISSUED FOR OPA & ZBA	NOV 17, 2017

CLIENT:
ERINDALE LIVING VILLAGE INC.
c/o YYZed Project Management
8888 Keele Street, Suite 1
Vaughan, Ontario

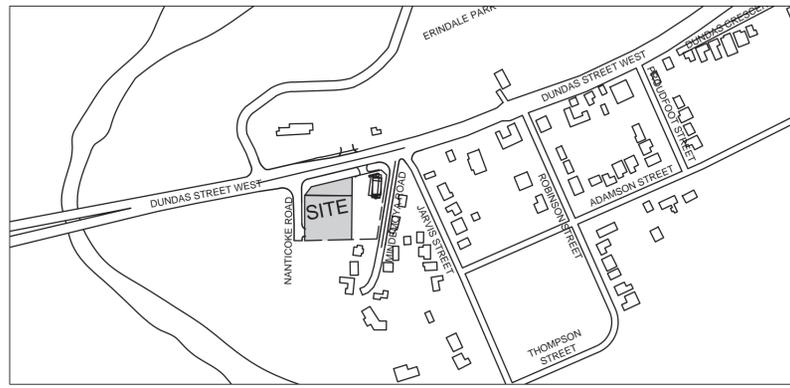
PROJECT TITLE:
1620 DUNDAS STREET WEST
MISSISSAUGA, ONTARIO

SEFERIAN DESIGN GROUP
761 Brant Street, Suite 202
Burlington, ON | L7R 2H4
905.634.3110 | seferiandesign.com

SHEET TITLE:
TREE PRESERVATION DETAILS

DWG No:	TP-2	SCALE:	1:200
STAMP:		PROJECT NO:	16-039
		DRAWN BY:	SLS
		DESIGN BY:	SLS
		CHECKED BY:	HS
		SHEET No:	2 of 6
		NORTH	





3 CONTEXT PLAN

A100 SCALE: NTS

PROPOSED SITE DATA

CURRENT ZONING: C4
LOT AREA: 3,503 sq.m. 0.350 ha
BUILDING AREA: 2,069 sq.m. 59% of LOT AREA
STOREYS: 8 (fronting Dundas) & 9 (fronting Nanticoke)

SETBACKS PROVIDED
FRONT YARD (NORTH) 3.85m
SIDE YARD (WEST) 0.60m
SIDE YARD (EAST) 3.00m
REAR YARD (SOUTH) 4.06m

RESIDENTIAL GFA & UNIT BREAKDOWN

	1BR	2BR	3BR	4BR	SUBTOTAL	G.F.A.
LEVEL 1	9	-	-	-	9	1,183sq.m
LEVEL M	-	-	-	-	-	932 sq.m
LEVEL 2	15	4	-	-	19	1,960 sq.m
LEVEL 3	15	4	-	-	19	1,960 sq.m
LEVEL 4	15	4	-	-	19	1,896 sq.m
LEVEL 5	-	13	4	1	18	1,513 sq.m
LEVEL 6	-	6	-	-	7	1,162 sq.m
LEVEL 7	-	6	1	-	7	861 sq.m
LEVEL 8	-	-	-	-	-	582 sq.m
TOTAL	45	40	5	1	91	12,039 sq.m
SUBTOTAL GFA:						12,039 sq.m

NON-RESIDENTIAL GFA
LEVEL 1 488 sq.m

TOTAL RES. & NON-RES GFA: 12,527 sq.m

FLOOR SPACE INDEX 3.57

RESIDENTIAL DENSITY
UNITS / ha (91 Units / 0.350 ha) 260 UNITS/ha
LOT AREA / UNIT 39 sq.m

ESTABLISHED GRADE: +109.28
BUILDING HEIGHT FROM EG: 28.52m
EXTERIOR AMENITY AREA: 780 sq.m
INTERIOR AMENITY AREA: 185 sq.m

PARKING STANDARDS

	REQUIRED	PROVIDED
DIMENSIONS:	2.60m X 5.20m	2.60m X 5.20m
DRIVEWAY:	7.0m	7.0m
PARKING SPACES	REQUIRED	PROVIDED
RESIDENTS		
(1.25 SPACE / 1BR D.U.) * 45 d.u.	57 SPACES	
(1.40 SPACE / 2BR D.U.) * 40 d.u.	56 SPACES	
(1.75 SPACE / 3BR+ D.U.) * 6 d.u.	11 SPACES	
SUBTOTAL RESIDENTS (UNITIZED)	124 SPACES	124 SPACES
VISITORS @ (0.2 * 91 d.u.)	19 SPACES	19 SPACES
COMMERCIAL (4 SPACES/100 sq.m) * 434 sq.m	17 SPACES	17 SPACES
TOTAL	160 SPACES	160 SPACES

TOTAL SHARED SPACES: 2 PARKING SPACE FOR COMMERCIAL/ VISITOR.

ONTARIO REG. 413/12 ACCESSIBLE PARKING

PARKING RATE		
3 SPACES TYPE A (3.4m x 5.2m)		
3 SPACES TYPE B (2.4m x 5.2m)		

MISSISSAUGA CYCLING MASTER PLAN BICYCLE PARKING SPACES

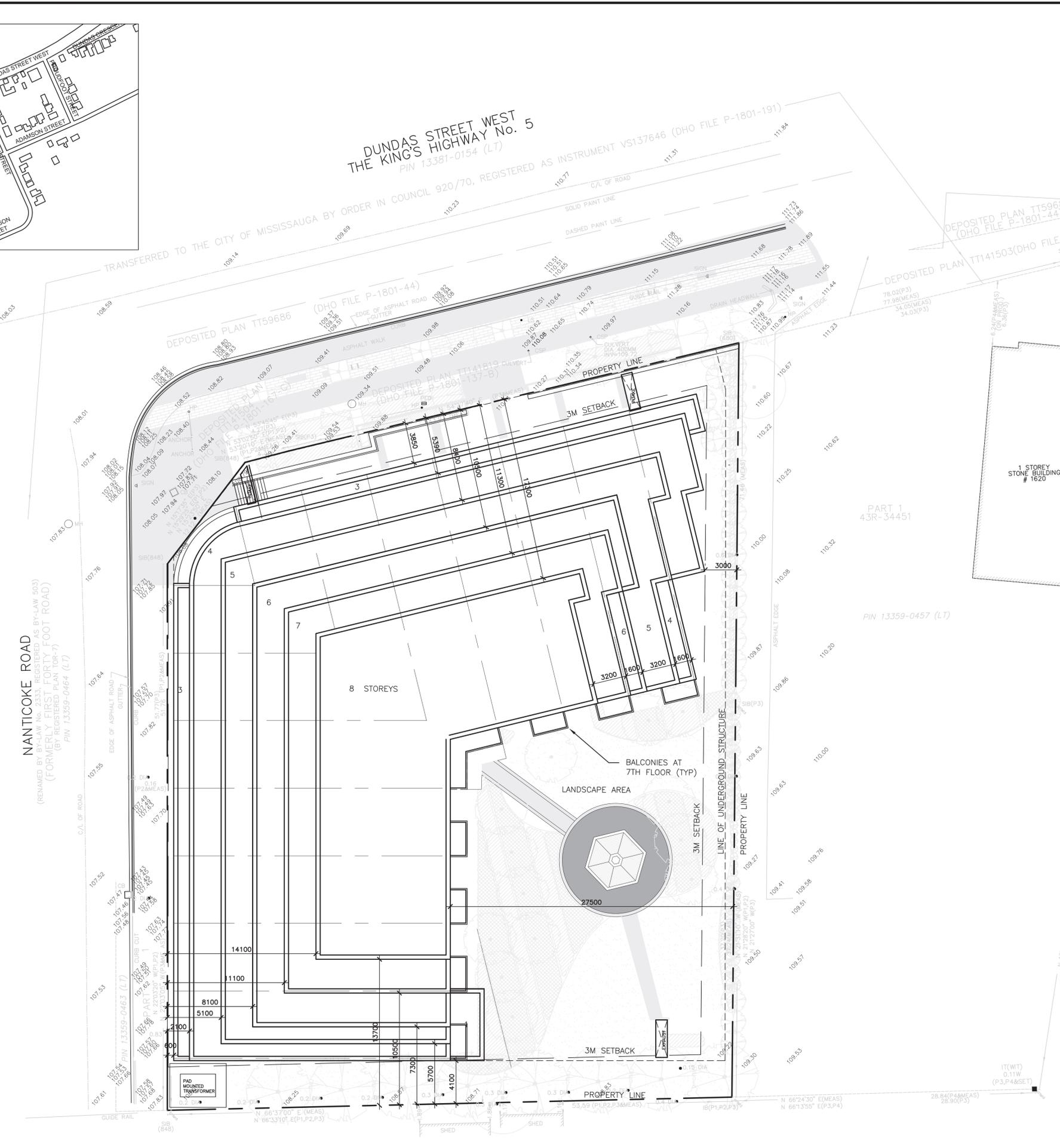
	REQUIRED	PROVIDED
LONG TERM PARKING RATE = 0.7 SPACES / D.U.	64 SPACES	68 SPACES
RETAIL RATE = 0.1 per 100sq.m GFA	1 SPACE	1 SPACE
SHORT TERM PARKING RATE = 0.08 SPACES / D.U.	8 SPACES	8 SPACES
RETAIL RATE = 0.25 per 100sq.m GFA	2 SPACES	2 SPACES
TOTAL	75 SPACES	79 SPACES

2 SITE STATISTICS

A100 SCALE: NTS

1 SITE PLAN

A100 SCALE: 1:200



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PROPOSED RESIDENTIAL DEVELOPMENT

1646 DUNDAS STREET WEST
MISSISSAUGA ONTARIO

SITE PLAN

Drawn By:	Checked By:	Date Checked:	Project No.
			21A131
Date Plotted:	May 06, 2022 - 3:54pm		Scale:
			1:100
Drawing No.:			Revision No.:

A100

2

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XREFS:
ISO A1

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4 3D MASSING VIEWS – NORTH STREET ELEVATION
A102 SCALE: NTS



2 3D MASSING VIEWS – DUNDAS LOOKING WEST
A102 SCALE: NTS



3 3D MASSING VIEWS – CORNER VIEW
A102 SCALE: NTS



1 3D MASSING VIEWS – CORNER AT DUNDAS AND NANICOKE
A102 SCALE: NTS

CMV GROUP
Architects

Seal:
ONTARIO ASSOCIATION
OF
ARCHITECTS
DANIEL L. COWLING
LICENCE
5403

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Project:
PROPOSED RESIDENTIAL DEVELOPMENT
1646 DUNDAS STREET WEST
MISSISSAUGA ONTARIO

Drawing Title:
3D MASSING VIEWS

Drawn By:	Checked By:	Date Checked:	Project No. 21A131
Date Plotted: May 06, 2022 - 3:54pm	Scale: 1:100		
Drawing No.:	Revision No.:		

A102 **2**

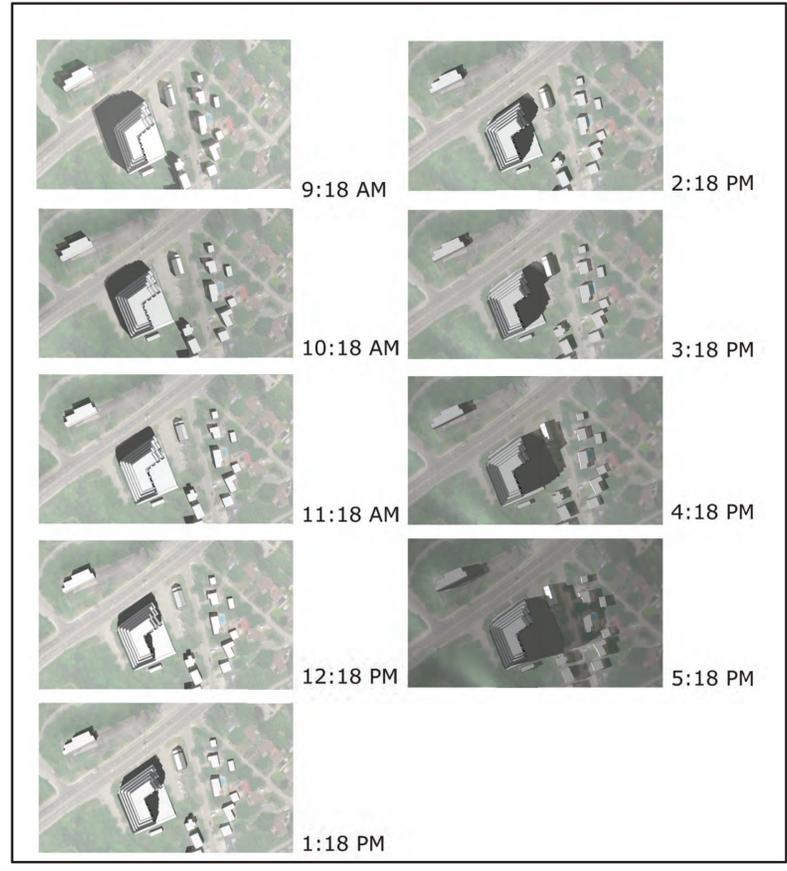
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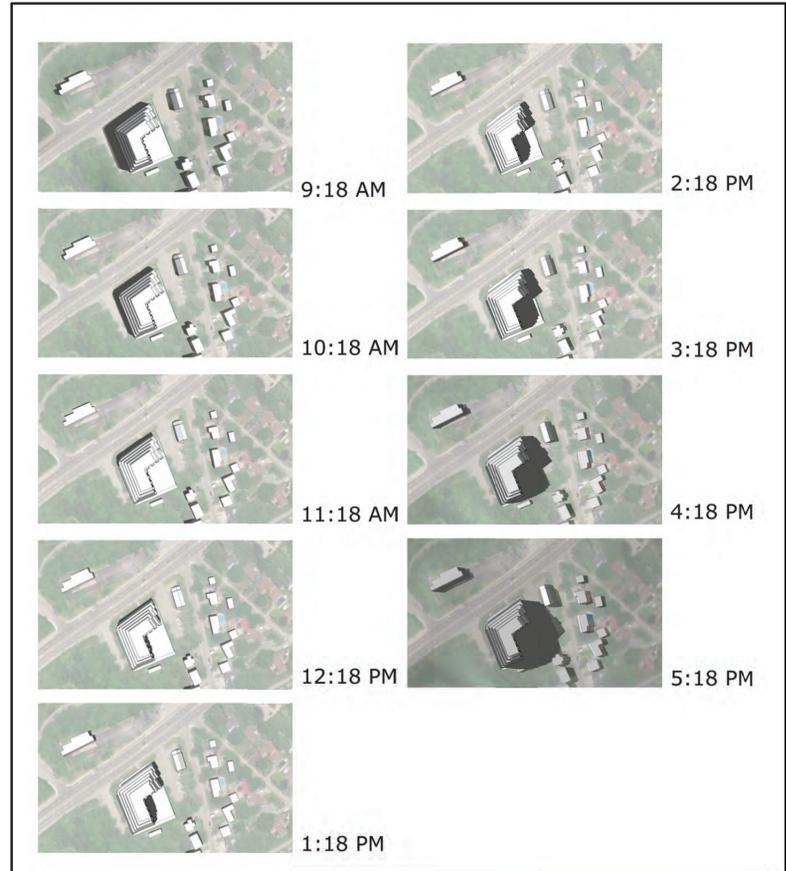
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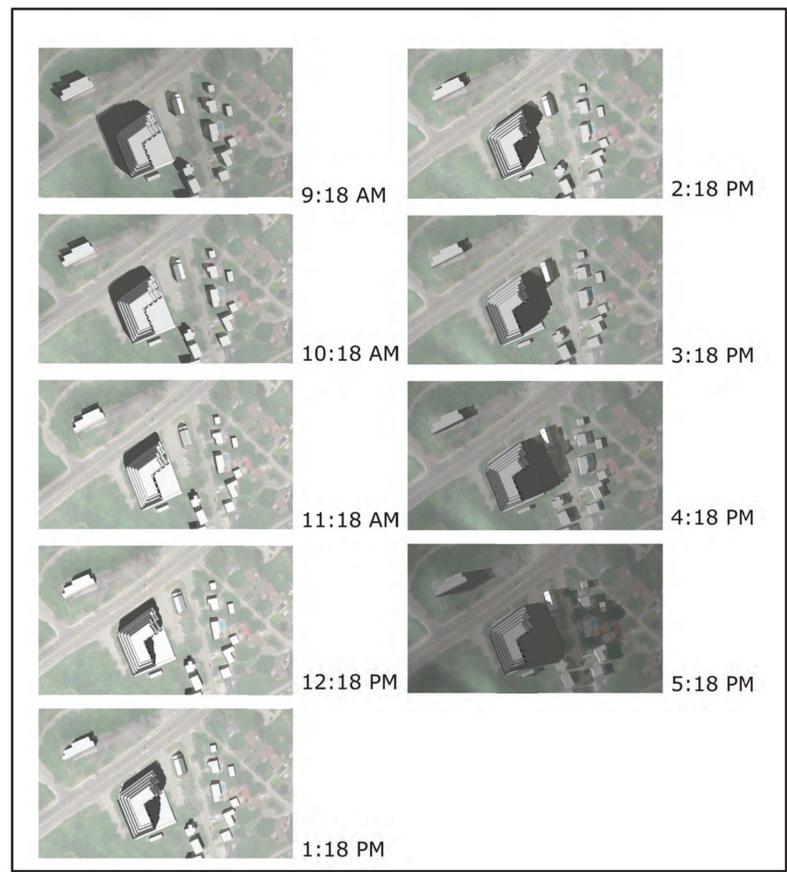
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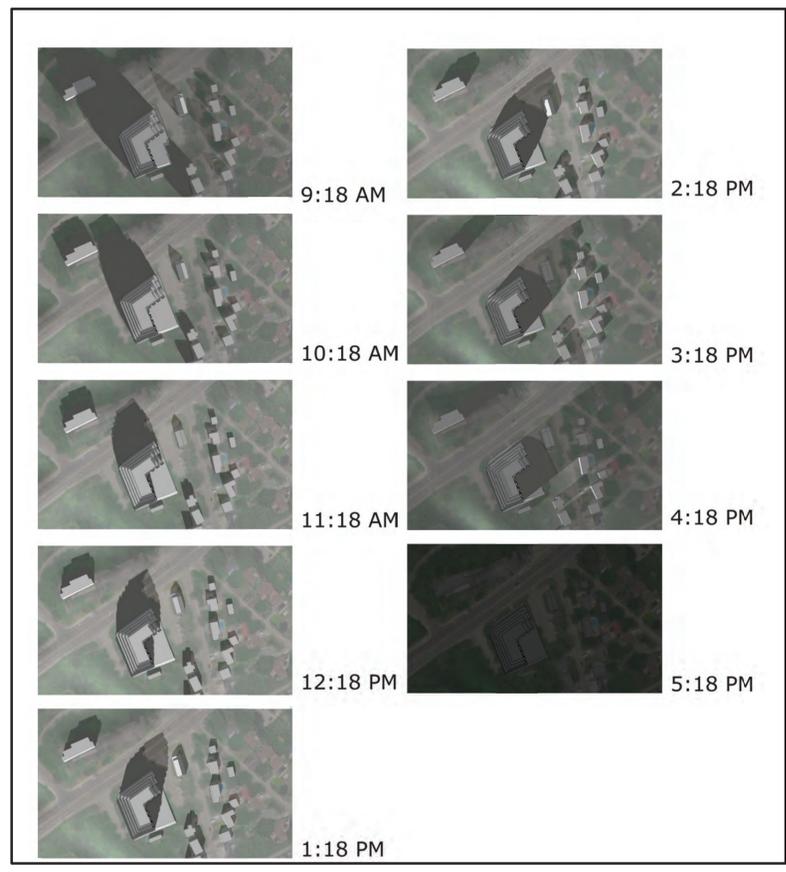
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2 JUNE 21ST
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3 SEPTEMBER 21ST
A103 SCALE: N.T.S.



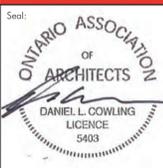
4 DECEMBER 21ST
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Project: **PROPOSED RESIDENTIAL DEVELOPMENT**
1646 DUNDAS STREET WEST
MISSISSAUGA ONTARIO

Drawing Title: **SHADOW STUDIES**

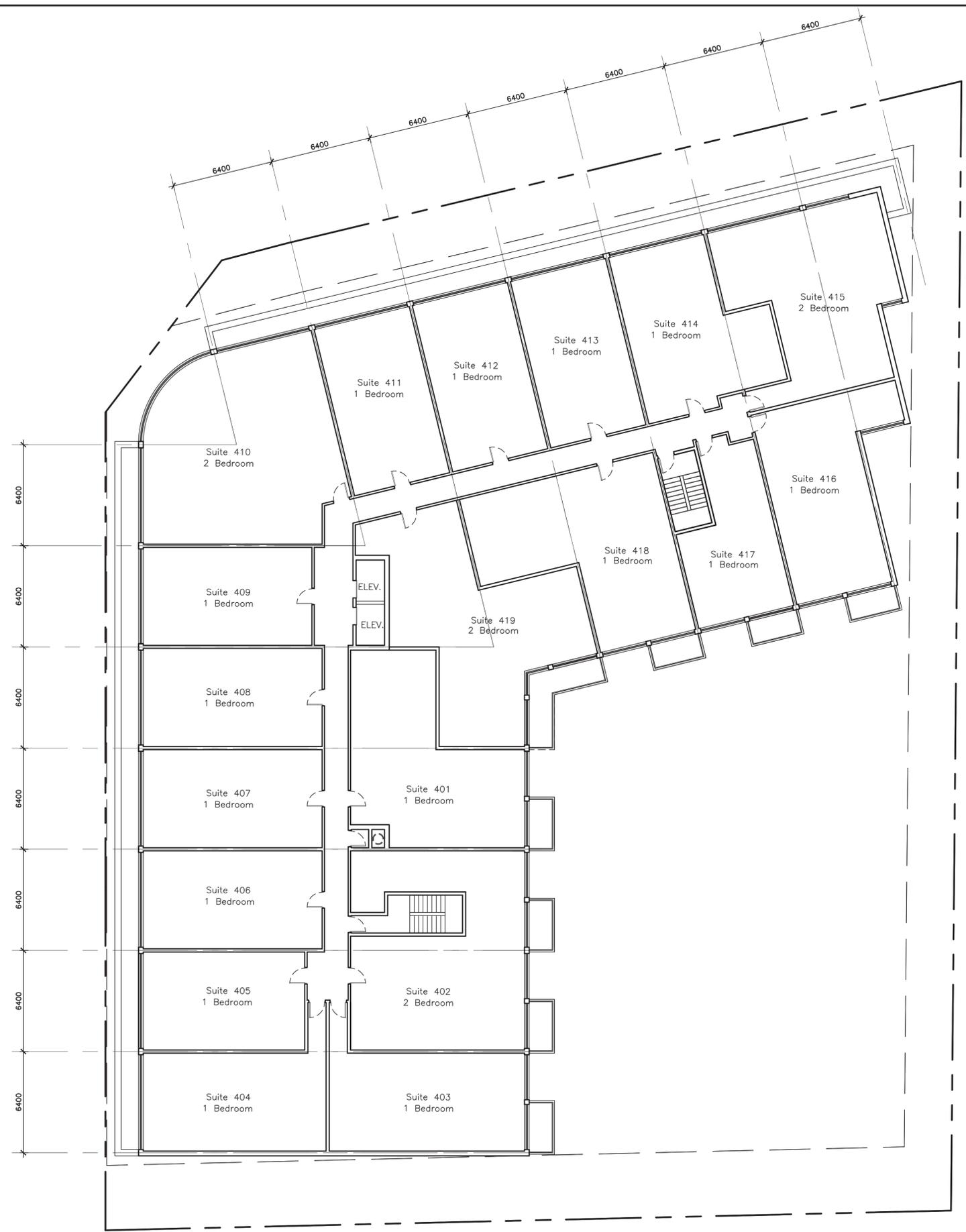
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Revision No.:		2	

A103

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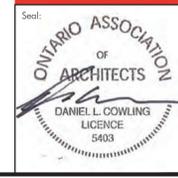
1 4TH FLOOR PLAN
SCALE: 1:150

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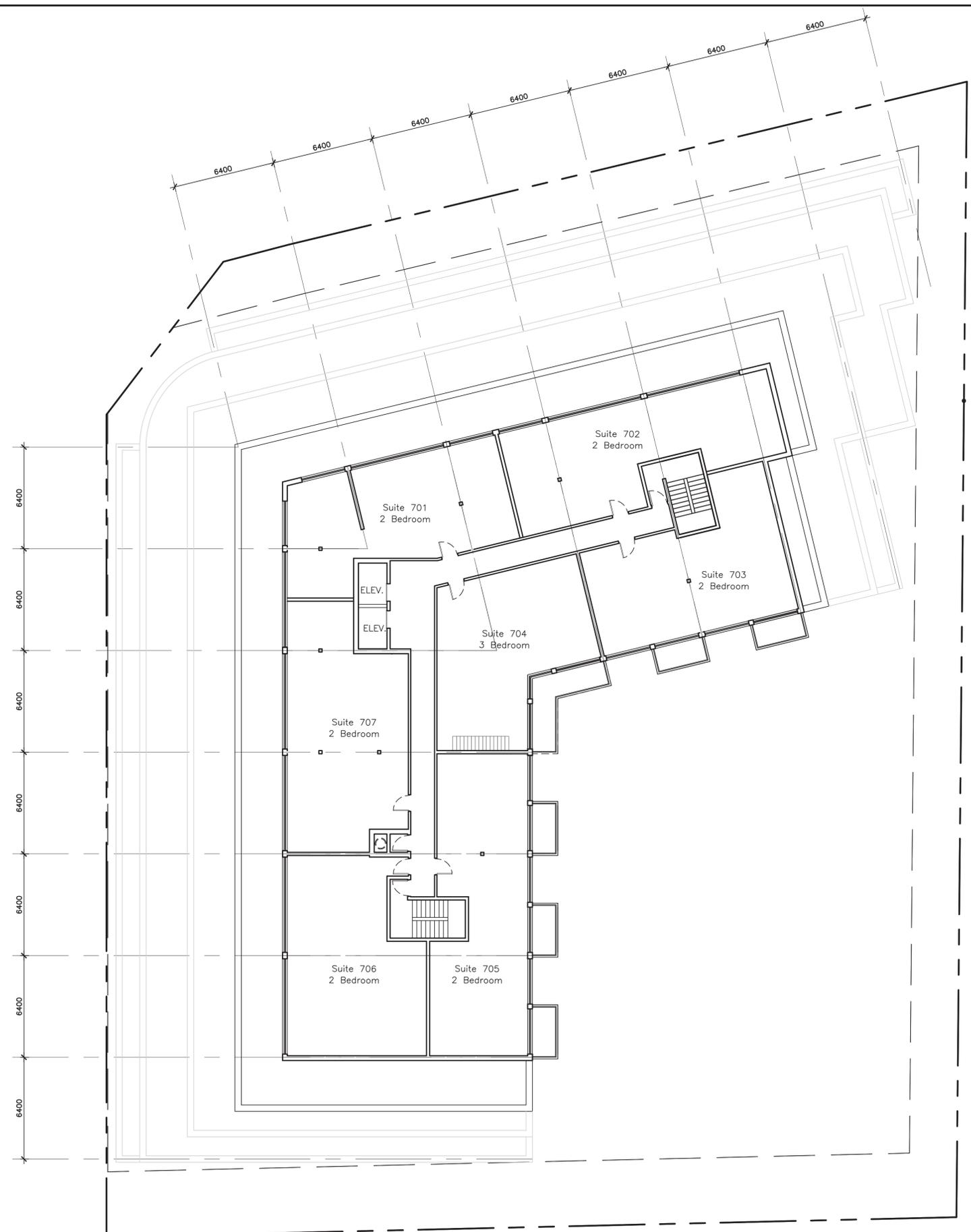
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4TH FLOOR PLAN

Drawn By:	Checked By:	Date Checked:	Project No.
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Date Plotted:	May 06, 2022 - 3:54pm		Scale:
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Drawing No.:			Revision No.:

A205

2

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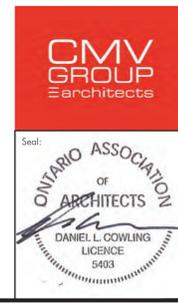
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1 7TH FLOOR PLAN
 SCALE: 1:150

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Drawing Title:
7TH FLOOR PLAN

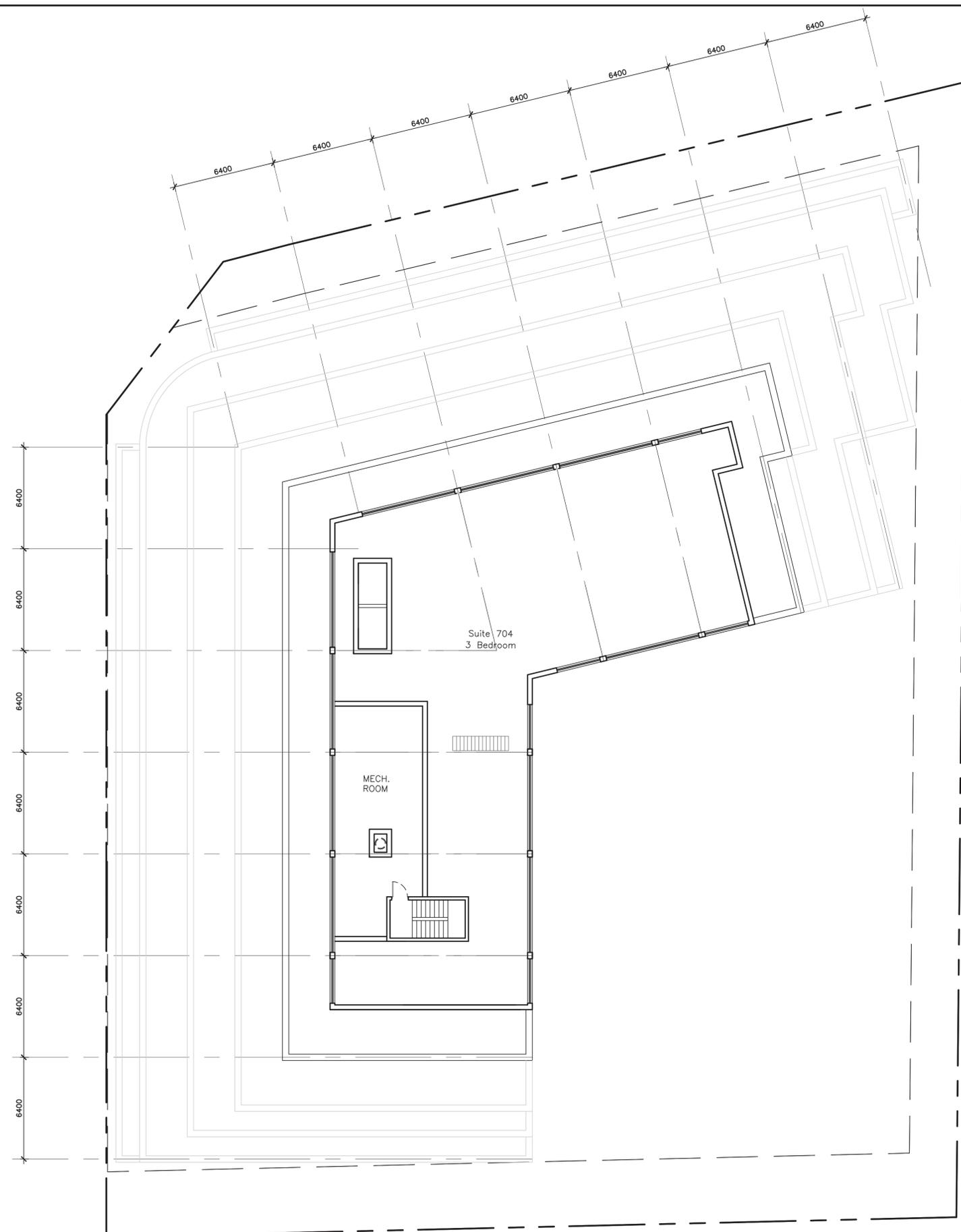
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Drawing No.:	Revision No.:		2

A208

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1 8TH FLOOR PLAN
 A209 SCALE: 1:150

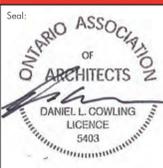
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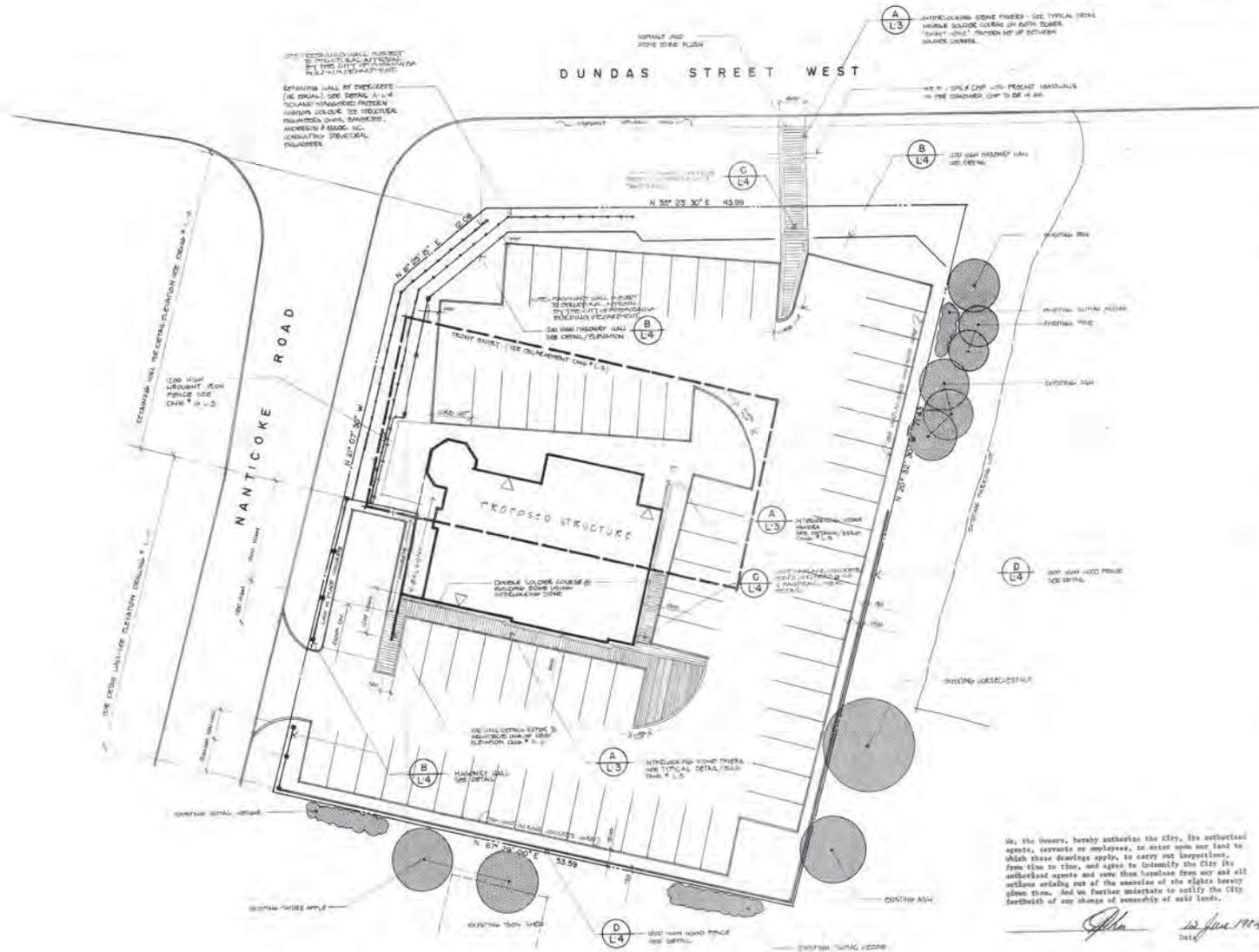


Project:
PROPOSED RESIDENTIAL DEVELOPMENT
 1646 DUNDAS STREET WEST
 MISSISSAUGA ONTARIO

Drawing Title:
8TH FLOOR PLAN

Drawn By:	Checked By:	Date Checked:	Project No.
			21A131
Date Plotted:			Scale:
May 06, 2022 - 3:54pm			1:150
Drawing No.:			Revision No.:
A209			2

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 COPYRIGHT ACT (S.O. 1984) APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS.



- GENERAL NOTES**
- ALL SITE INFORMATION SHOULD BE BASED ON THE PLAN OF G. KENNEDY ARCHITECTURAL CONSULTANTS INC. DATED ON THE 24th DAY OF 11th MO. 1984 (S.O. 1984) OF SURVEY LOT 10 E. PART OF LOTS 1, 2, 3 & 4 S. 1/4.
 - DO NOT SCALE DRAWINGS.
 - NOT TO BE USED FOR CONSTRUCTION UNLESS DRAWINGS ARE REPRODUCED FROM ORIGINALS WHICH APPROVED ONLY AS PART OF THEIR SUBSEQUENT FOR EXISTING PERMIT APPLICATION.



APPROVED SITE DEVELOPMENT PLAN
 June 10, 1984
 Schedule B-4 to Site Plan Agreement
 Dated: May 15, 1984 File No.: S.P. 132-80
 J.C. Lefebvre
 Director of Urban Design
 City of Mississauga, Planning Department



PROJECT OWNER
 DONNYGAR ENTERPRISES INC.

PROJECT TITLE
 ERINDALE LANDING

DRAWING TITLE
 LAYOUT PLAN

Scale: 1:200
 Date: FEB '84
 Drawn: BLD/DZ
 Checked: BLD
 Project No.: 82470



DRAWING NO.
 L-1

We, the Owners, hereby authorize the City, its authorized agents, servants or employees, to enter upon our land to which these conditions apply, to carry out inspections, from time to time, and agree to indemnify the City its authorized agents and save them harmless from any and all actions arising out of the exercise of the rights hereby given them. And we further undertake to notify the City forthwith of any change of ownership of said land.

[Signature] 12 June 1984
 Date

We agree to follow the approved Landscape Plans prior to 10 months after the execution of the Site Development Agreement and will retain the Landscape Architect to make periodic site inspections and on completion of the Landscape works, we will forward to you, a copy of the Acceptance Certificate from the Landscape Architect.

Violations to the Landscape Plans will be subject to the review and approval by the Recreation and Parks Department, City of Mississauga, before commencement of the works.

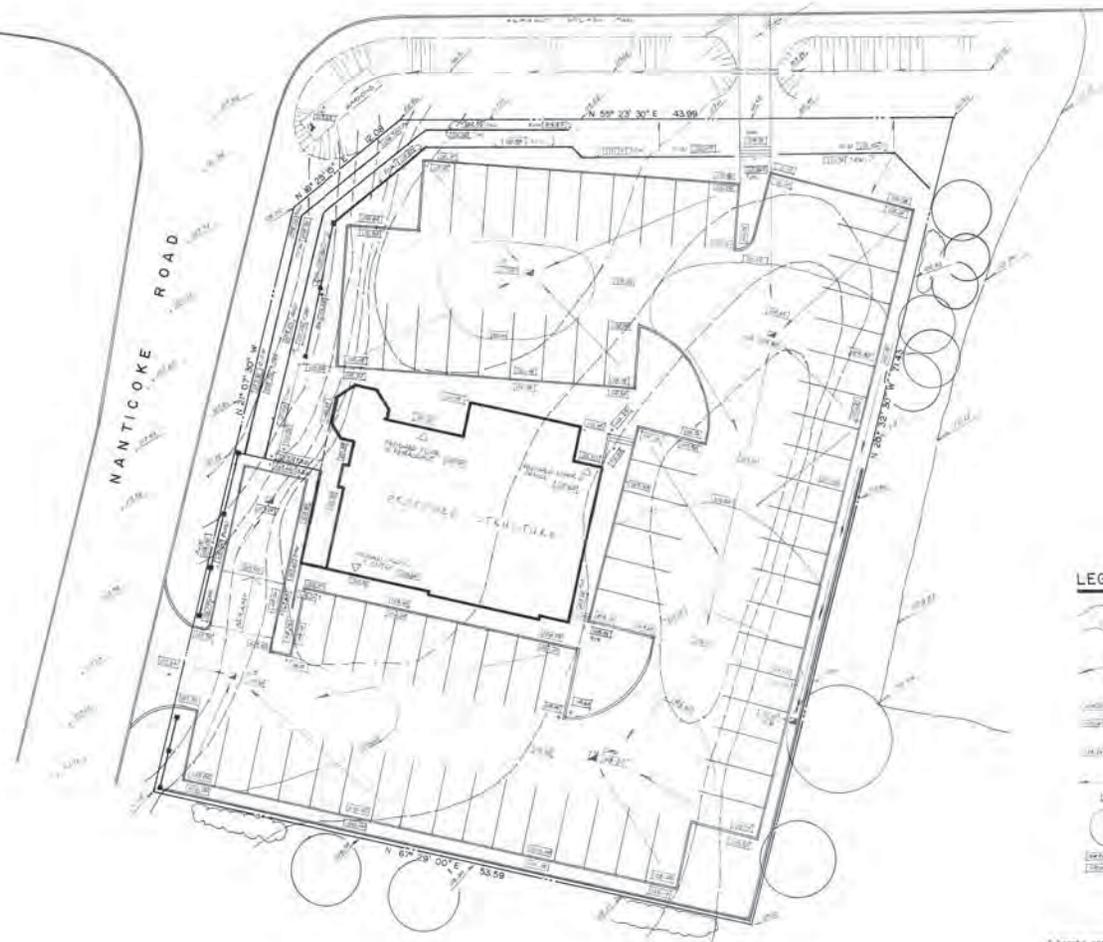
[Signature] 12 June 1984
 Signature of the Developer Date
 and Address

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GENERAL NOTES
 1. ALL MEASUREMENTS TAKEN FROM THE GEODIN AND BOUNDING PLAN PREPARED BY J. W. HILL & ASSOC. LTD. ON 10/1/84 ARE TO BE USED.
 2. NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE CITY OF MISSISSAUGA PLANNING DEPARTMENT.

DUNDAS STREET WEST

MANTICOKE ROAD



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING ELEVATION TO REMAIN
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED BOTTOM OF WALL ELEVATION
- DIRECTION OF DRAINAGE FLOW
- CATCH BASIN
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE REPLANTED

I hereby certify that this Landscape Plan conforms to the Site Grading and Drainage Plan prepared for this project as submitted by the Consulting Engineer, E. S. S. & Associates Ltd.
 Brian L. Maloney Date



KEY PLAN
 APPROVED SITE DEVELOPMENT PLAN
 June 18, 1984
 Schedule B-10 to Site Plan Agreement
 Dated May 15, 1984 File No. F.S.P. 127-83
 J. G. Letheridge
 Director of Urban Design
 City of Mississauga, Planning Department

No. Date Description
 REVISIONS

PROJECT OWNER
DONNYGAR ENTERPRISES INC.

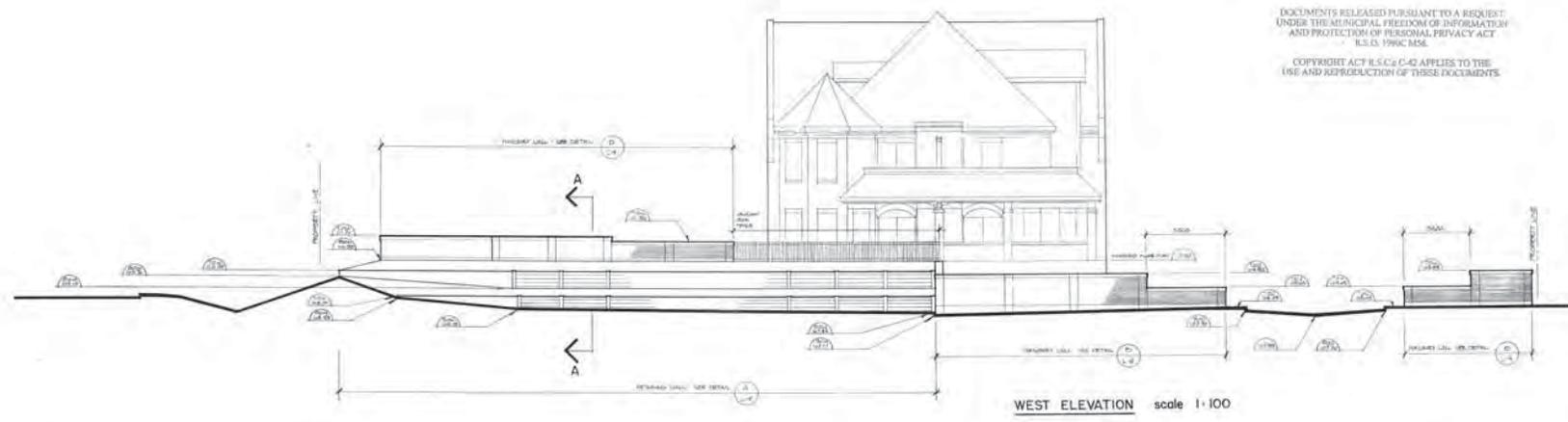
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ERINDALE LANDING

DRAWING TITLE
LOT GRADING
 Scale 1:200
 Date FEB '84 Issued
 Drawn BLD. DIZ Checked BLD.
 Project no. 82470

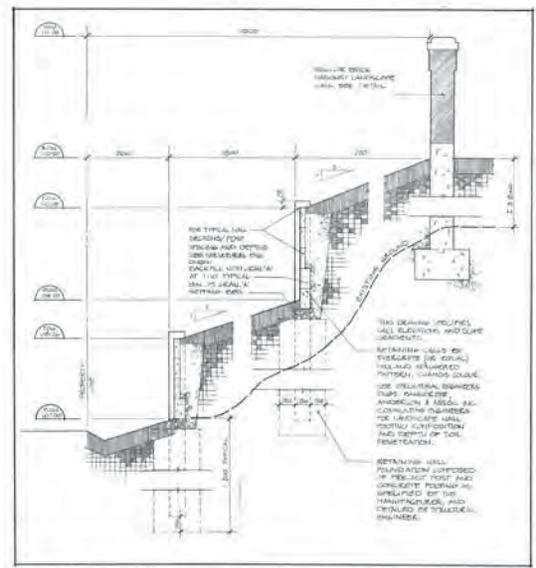
APPROVED LANDSCAPE PLAN
 JUN 18 1984
 RECREATION & PARKS DEPT.
 CHANDOS CONSULTANTS INC.
 Urban Design
 Landscape Architecture
 1400 Lakeshore Blvd. East, Suite 100
 Mississauga, Ont. L4X 1L6

DRAWING NO.
L-2

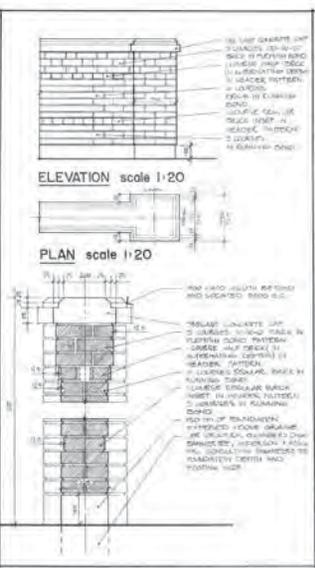
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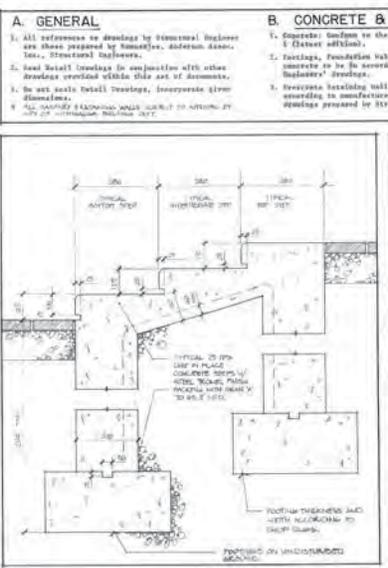
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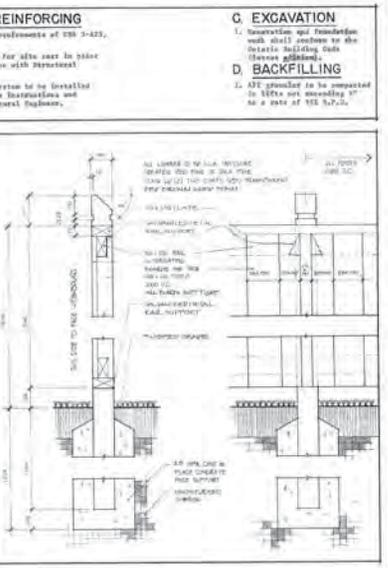
A SECTION A-A scale 1:20



B LANDSCAPE WALL scale 1:20



C CONCRETE STEPS scale n.t.s.



D 8'00 HIGH WOOD FENCE scale 1:10

- A. GENERAL**
- All references to drawings by Structural Engineer are those prepared by himself, Assistant Assoc. Eng., Structural Engineers.
 - Read detail drawings in conjunction with other drawings provided within this set of documents.
 - Do not scale detail drawings, incorporate error themselves.
 - All material specifications subject to approval by City of Mississauga Building Dept.
- B. CONCRETE & REINFORCING**
- Concrete Section to the reinforcement of 105-3-425, 8 (except additions).
 - Footings, Foundation walls for site use to be cast concrete to be in accordance with Structural Engineer's drawings.
 - Revisions retaining wall system to be installed according to manufacturer's instructions and drawings prepared by Structural Engineer.
- C. EXCAVATION**
- Excavation and Foundation work shall conform to the details building Code (except additions).
- D. BACKFILLING**
- Use granular to be compacted to 95% air voiding at a rate of 105-3-425.

GENERAL NOTES

APPROVED SITE DEVELOPMENT PLAN
 JUL 24, 1984
 Schedule 9-12 to Site Plan Agreement
 Dated: May 15, 1984 File No.: S.P. 170-80

J.O. Latorja
 Director of Land Design
 City of Mississauga, Planning Department

No Date Description
 Revisions

PROJECT OWNER
 DONNYGAR ENTERPRISES INC.

PROJECT TITLE
IRINDALE LANDING

DRAWING TITLE
DETAILS / ELEVATIONS

Scale: AS SHOWN
 Date: FEB '84
 Drawn: BLD/DCE
 Project No: 92470

APPROVED LANDSCAPE PLAN
 JUL 18 1984
 REGULATION & PERMITS DEPT.

CLANDON CONSULTANTS
 1500 Dundas Street West
 Mississauga, Ontario
 L4R 1A1

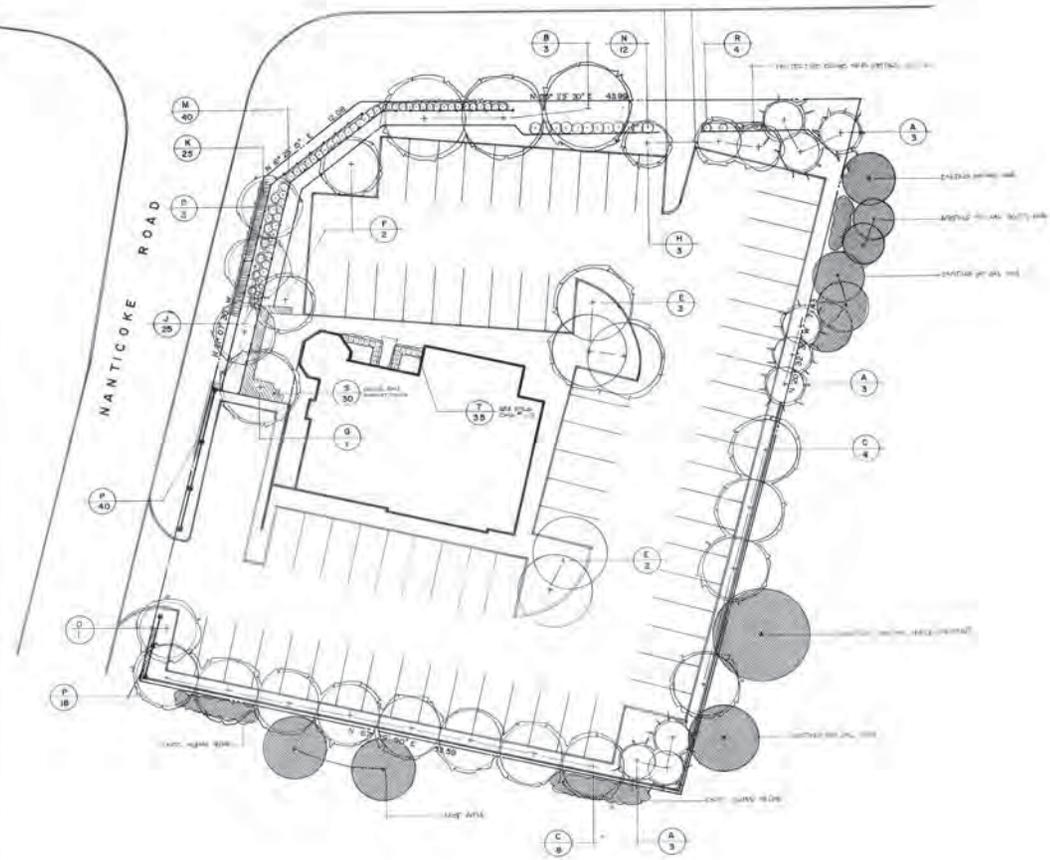
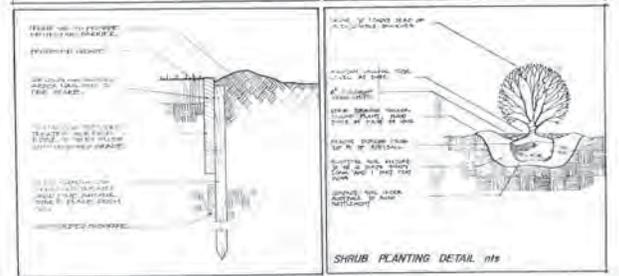
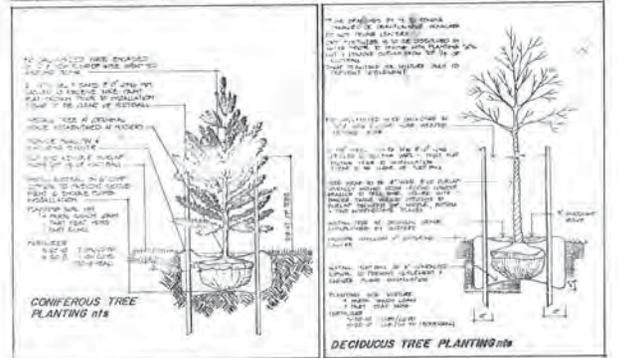
DESIGNED BY: L 4

GENERAL NOTES

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DUNDAS STREET WEST

CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HGT.	SPR.	CONDITION	REMARKS
A		PERNA PERNA	PERNA PERNA	20	1000		0-0-0	
B		ASIA PLUMBERIA	STURGEON TREE	20	1000		0-0-0	
C		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
D		CECALEPUS BRASILIENSIS	MAGNOLIA (MAGNOLIA)	20	1000		0-0-0	
E		ALBERTIA TRIANGULARIS (FRAXINIFOLIA)	MAGNOLIA (MAGNOLIA)	20	1000		0-0-0	
F		CRATAEGUS LAURUS	CRANEWING	20	1000		0-0-0	
G		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
H		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
I		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
J		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
K		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
L		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
M		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
N		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
O		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
P		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
Q		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
R		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
S		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	
T		PERSEA THALASSIA LINDLAYERA	WRELL PALM	20	1000		0-0-0	



LANDSCAPE SITE DEVELOPMENT PLAN
 June 18, 1994
 Schedule 9-13 to Site Plan Approval
 Date: May 23, 1994 File No.: S.P. 13040
 J.D. Listeridge
 Director of Urban Design
 City of Mississauga Planning Department

No. One (Overseer) REVISIONS



PROJECT OWNER

DONNYGAR ENTERPRISES INC.

PROJECT TITLE

ERINDALE LANDING

DRAWING TITLE

PLANTING PLAN

Scale: 1:200

Date: FEB '94

Drawn: BLD JSS

Project No: 82470



DRAWING NO. L-5

E 1-5 PROTECTIVE EDGE M.S.

SITE PLAN NOTES

The Fire Department access route shall be designed to support a load of not less than 11,200 kg per axle, and have a slope in excess of not more than 1:12.50 over a distance of 15m.

The fire route will be designated as per by-law 1086-87. The application for the fire access route (by-law 1086-87) and applicable fees must be submitted and accepted by the Fire Department prior to the issuance of a Building Permit.

Grades along the property line shall not exceed a maximum slope of 3:1.

Location of signs indicating fire routes shall be to the approval of the Mississauga Fire Department.

SITE DATA

SITE AREA	2503.76 m ²	
BUILDING COVERAGE	344.64 m ² (13.78%)	
FLOOR AREA CALCULATIONS		
GROUND FLOOR - Restaurant Public Space	166.44 m ²	TOTAL FL AREA
Kitchen/W.C's, etc	133.82 m ²	
Circulation/Service	44.38 m ²	344.64 m ²
SECOND FLOOR - Office	239.56 m ²	
Circulation/Service	82.00 m ²	321.56 m ²
THIRD FLOOR - Office	143.92 m ²	
Circulation/Service	34.24 m ²	178.16 m ²
BASEMENT		
Restaurant St. & C's	81.41 m ²	
Meat & Etc.	22.55 m ²	
Garage & Receiving	29.29 m ²	
Basement Storage	174.14 m ²	
Circulation/Service	63.79 m ²	371.18 m ²
GROSS FLOOR AREA		1215.34 m ²
RENTABLE FLOOR AREA	383.39 m ²	
LANDSCAPED AREA	940.84 m ² (27.04%)	
PARKING REQUIRED (by-law)	70	
PROVIDED	70	
HARD SURFACE PAVING	2,938.01 m ² (63.1%)	
LOADING PROVIDED		

ALL ACCESS ROUTES WITHIN ROAD-ADJACENT TO BE NORMAL PAVED (1:12.50 MAX. SLOPE) UNLESS OTHERWISE SPECIFIED.

In addition to the requirements of the Ontario Building Code, the development of the site is subject to the following conditions:

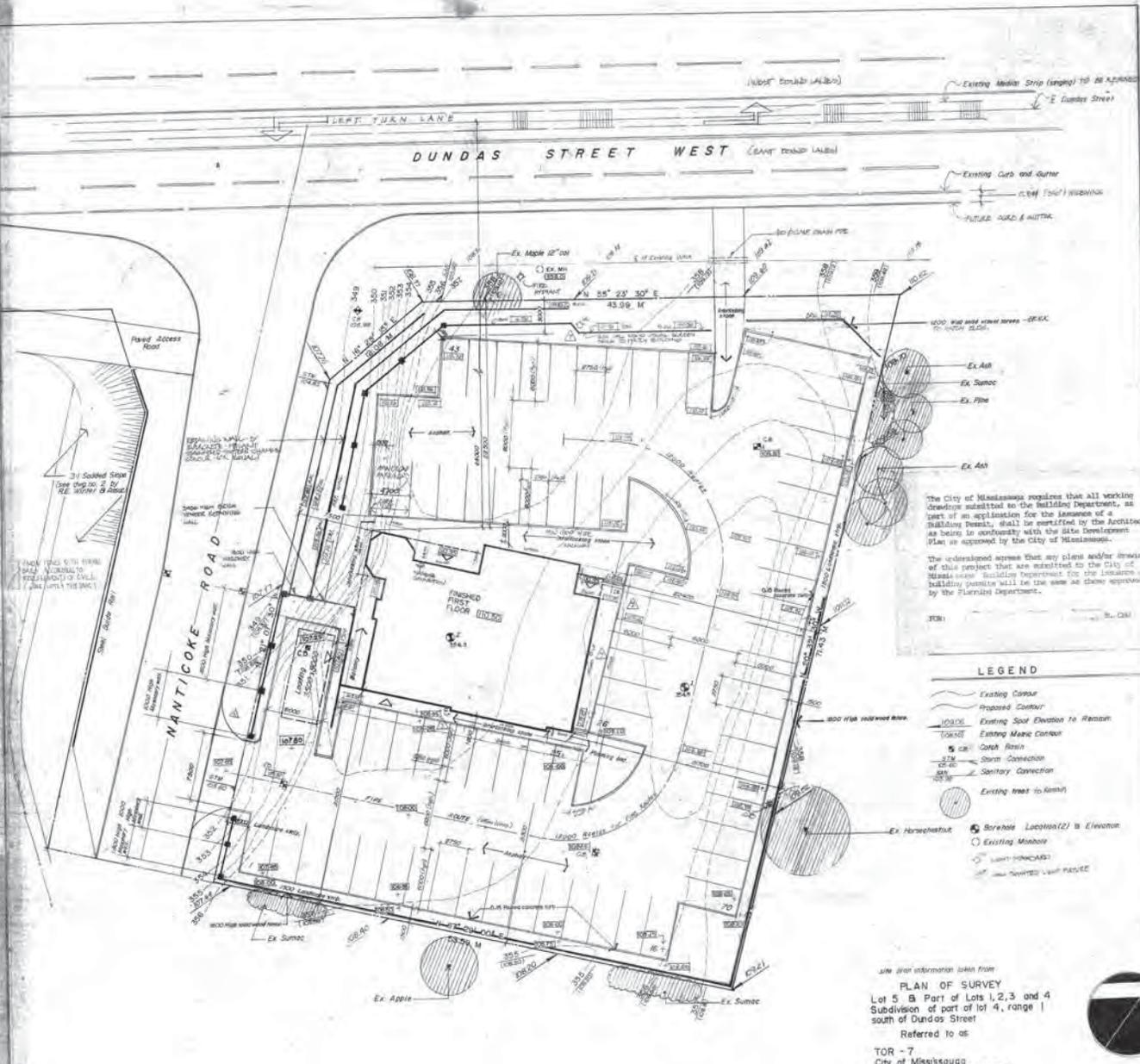
A new fence or other structure located within the site shall be constructed along the boundary, shall be erected before the start of construction. The fence shall be of a height of not less than 1.8m and shall be of a material and construction as approved.

Remediation investigation of the roadway's side slope shall be undertaken following completion of construction. The type of remediation recommended by this authority shall vary depending upon the findings of investigation, i.e., erosion control and stabilization of the slope, and not put in late success and costly fill, and hydroseeding/soil cover in late fall.

All landscaping within the City road allowance shall be approved by the Engineering Department and the Neighbourhood and Parks Department.

All refuse collection will be on-site by a private contractor. All refuse will be stored in a secure container and shall be removed from the site within 24 hours of collection. The refuse container will be compatible with the existing or future adjacent lot and each department will be provided for each entrance.

Section 10 (b) of by-law 6500 is applicable; in this regard, the lighting facilities shall be arranged to reflect away from the adjacent residential properties.



LEGEND

- Existing Contour
- Proposed Contour
- Existing Spot Elevation to Remain
- Existing Manic Contour
- Catch Basin
- Storm Connection
- Sanitary Connection
- Existing trees to remain
- Borehole Location/Elevation
- Existing Manhole
- Light Fixtures
- Existing Light Fixture



APPROVED SITE DEVELOPMENT PLAN
June 18, 1994
Schedule B-1 to Site Plan Agreement
dated: May 15, 1994 File No.: S.P. 132-03
J.O. Letourneau
Director of Urban Design
City of Mississauga, Planning Department



Key Plan

No.	Date	Revision	Planner/Engineer
1	03/18/93	ISSUE CHANGES AS PER MEETING/NOTES	
2	10/16/94	SITE PLAN COMMENTS	
3	12/16/94	FINAL PRELIMINARY COMMENTS	
4	01/17/95	LOP GRADING CO-ORDINATION	

G. RANDALL GUTHRIE
Architect
770 Brimley Line - Toronto, Ontario
MBW 3W2 252 5679



Owner: M. CHU

Project: ERINDALE LANDING

Drawing Title: SITE PLAN

Scale: 1:200 Drawing No: 1

Date: JAN 1993

Drawn By: CRG

Checked By: HLD Project No: 82470/85-001

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PERSONAL PRIVACY ACT R.S.O. 1990c M56.

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site plan information taken from
PLAN OF SURVEY
Lot 5 B Part of Lots 1, 2, 3 and 4
Subdivision of part of lot 4, range 1
south of Dundas Street
Referred to as
TOR - 7
City of Mississauga
Regional Municipality of Peel
by W.B. Starr O.L.S.

"I hereby certify that this drawing conforms to all contracts to, and the development plan as approved by the City of Mississauga under file number S.P. 132-03."

[Signature]
Registered as Engineer's Assistant

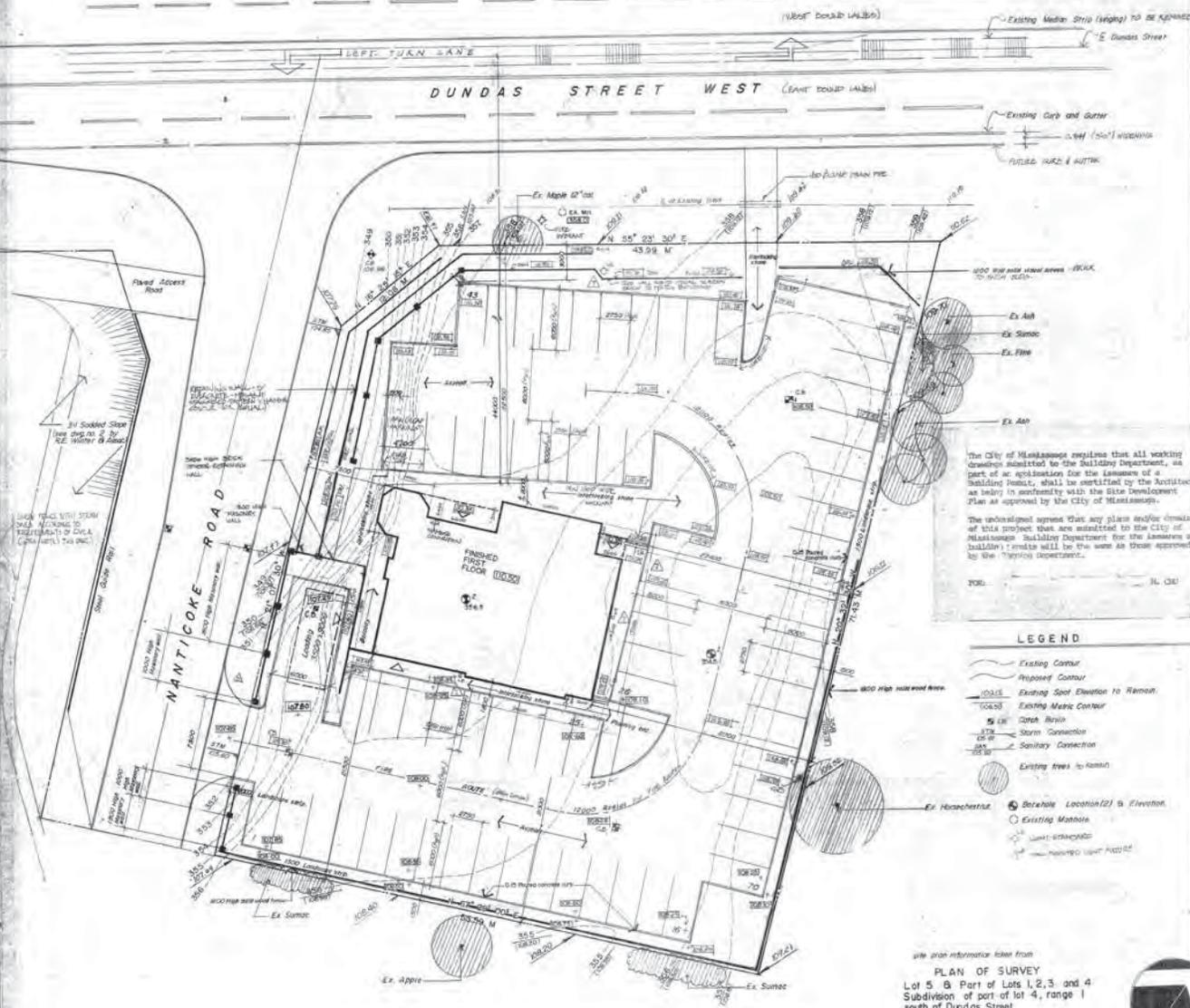
SITE PLAN NOTES

The fire department access route shall be designed to approach a load of not less than 11,000 kg per axle, and have a design for gradient of not more than 1:100 over a minimum distance of 10m.
 The fire route will be designated as per By-Law 3006-03. The specification for the fire access route By-Law 3006-03 and applicable fees must be submitted and accepted by the Fire Department prior to the issuance of a Building Permit.
 Grades along the property line shall not exceed a maximum slope of 3%.
 Details of signs indicating fire routes shall be to the approval of the Mississauga Fire Department.

SITE DATA

SITE AREA	5503.16 m ²	
BUILDING COVERAGE	344.64 of 19.9%	
FLOOR AREA CALCULATIONS		
GROUND FLOOR - Business Public Space		
Restroom Public Space	166.44 M ²	TOTAL FL AREA
Kitchen/W.C., etc.	133.82 M ²	
Circulation/Service	44.38 M ²	344.64 M ²
SECOND FLOOR - Office		
Office	239.36 M ²	(3701.94 M ²)
Circulation/Service	82.00 M ²	
THIRD FLOOR - Office		
Office	143.92 M ²	(3425.36 M ²)
Circulation/Service	34.24 M ²	
BASEMENT		
Restaurant Sit & Cr's	21.41 M ²	(1716.02 M ²)
Mech & Elec	22.55 M ²	
Garbage & Receiving	29.29 M ²	
Basement Storage	174.14 M ²	
Circulation/Service	63.74 M ²	371.8 M ²
GROSS FLOOR AREA		1215.34 M ²
RENTABLE FLOOR AREA	563.39 M ²	
LANDSCAPED AREA	940.84 m ² (27.0%)	
PARKING	REQUIRED (By-law) 70	
	PROVIDED 70	
HARD SURFACE PAVING	2199.01 M ² (63.1%)	
LOADING PROVIDED	1	

ALL SERVICES (GAS, WATER, SEWER, TELEPHONE, ETC.) SHALL BE PROVIDED BY THE CITY OF MISSISSAUGA. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF MISSISSAUGA. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF MISSISSAUGA. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF MISSISSAUGA.



LEGEND

- Existing Contour
- Proposed Contour
- Existing Spot Elevation to Remain
- Existing Metric Contour
- Catch Basin
- Storm Connection
- Sanitary Connection
- Existing trees to remain
- Borehole Location (2) to Elevation
- Existing Manhole
- Utility Enclosure
- Proposed Utility Enclosure

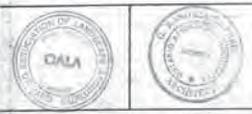
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site plan information sheet from
PLAN OF SURVEY
 Lot 5 & Part of Lots 1, 2, 3 and 4
 Subdivision of part of lot 4, range 1
 south of Dundas Street
 Referred to as
 TOR - 7
 City of Mississauga
 Regional Municipality of Peel
 by W.B. Serp P.L.S.

*I hereby certify that this drawing conforms in all respects to the site development plan as approved by the City of Mississauga under 520 number S.P. 132-02.

[Signature]
 Architect of Record



APPROVED SITE DEVELOPMENT PLAN
 JUN 18, 1984
 Schedule B-1 to Site Plan Agreement
 Date: May 15, 1984 File No.: S.P. 132-02
 J.O. Letourneau
 Director of Urban Design
 City of Mississauga, Planning Department



Key Plan

No.	Date	Revision
1	5/20/84	REVISION - PLAN & MCH CONSULTANT
2	5/20/84	REVISION - MISSISSAUGA (132-02)
3	5/20/84	REVISION - FIB. (132-02)
4	5/20/84	LOT 5 & PART OF LOTS 1, 2, 3 AND 4
5	5/20/84	FINAL CO-ORDINATION CONFERENCE
6	5/20/84	SITE PLAN COMMENTS
7	5/20/84	SITE PLAN COMMENTS
8	5/20/84	REVISION CHANGES AS PER CITY OF MISSISSAUGA

G RANDALL GUTHRIE
 architect
 770 Brown's Line - Toronto - Ontario
 M8W 3W2 252 3679



Owner
M. CHU

Project
ERINDALE LANDING

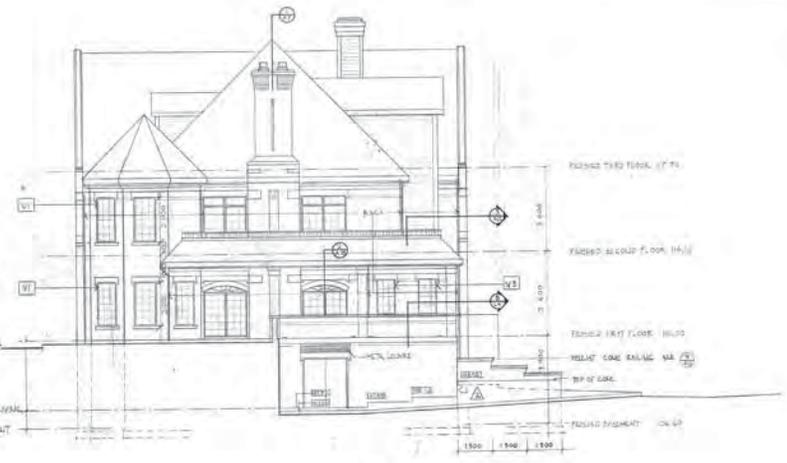
Drawing Title
SITE PLAN

Scale	1:200	Drawing No.	
Date	JUN 1983		1
Drawn By	OGG		
Checked By	RD	Project No.	82470 / 83-01

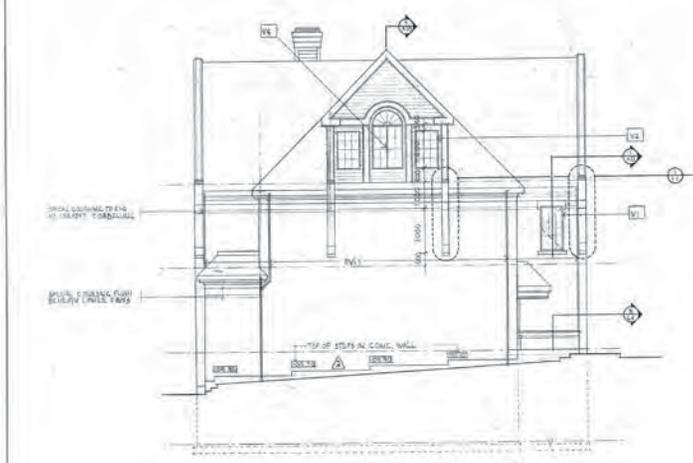
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SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

APPROVED SITE DEVELOPMENT PLAN
 June 19, 1984
 Schedule B-6 to Site Plan Agreement
 Date: May 15, 1984 File No.: S.P. 112-82
 J.D. Lethbridge
 Director of Urban Design
 City of Mississauga, Planning Department

No.	Date	Revision

G. RANDALL GUTHRIE
 architect
 770 Beaver's Line Toronto, Ontario
 M8W 3W2 292 8679



Owner: M. CHU

Project: ERINDALE LANDING

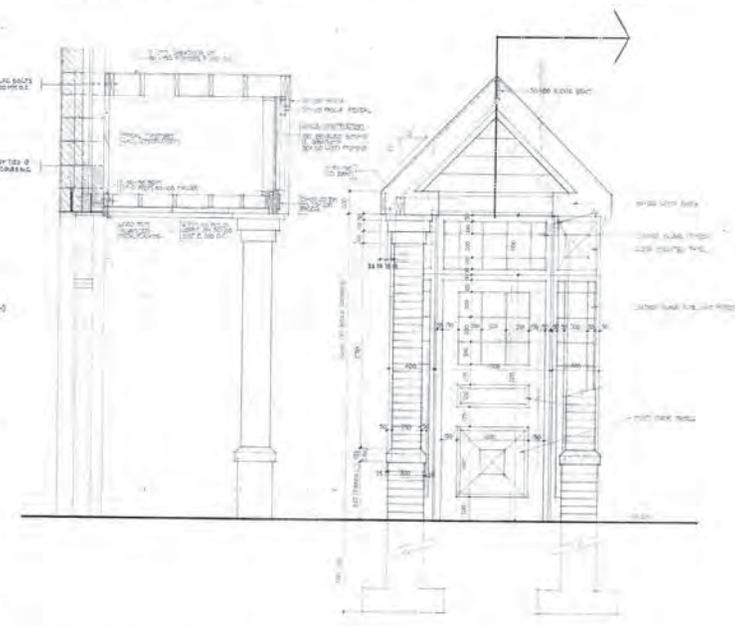
Drawing Title: ELEVATIONS

Scale: 1/100 Drawing No: A6
 Date: MAR. 84
 Drawn By: J. H.
 Checked By: BRG Project No:

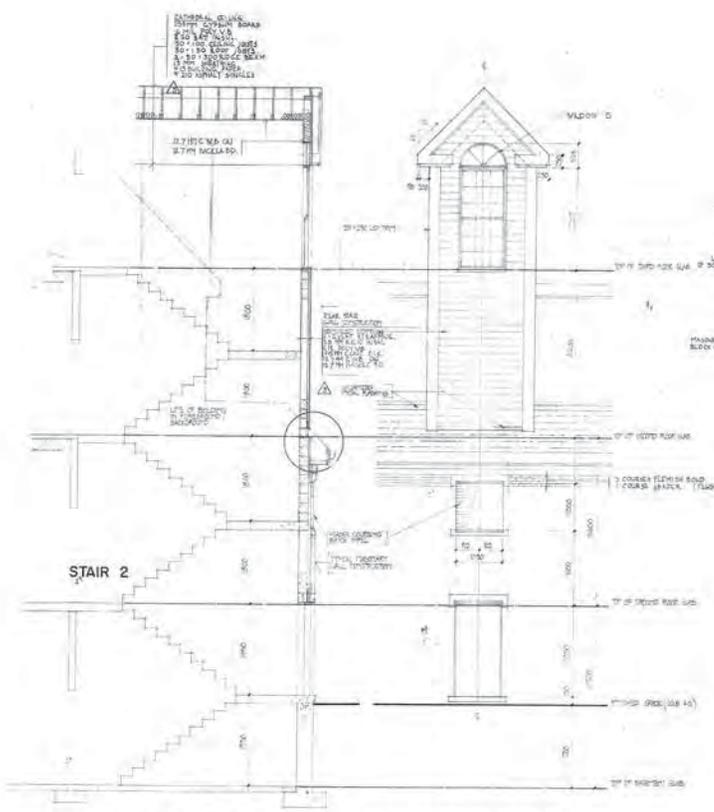
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1. COMMERCIAL ENTRY
1:20



2. RESTAURANT ENTRY
1:20



SECTION D-D
1:50

REAR STAIR ELEVATION
1:50

APPROVED SITE DEVELOPMENT PLAN
 June 18, 1984
 Schedule B-7 to Site Plan Agreement
 Detail: May 15, 1984 File No.: S.P. 132-82
 J.O. Lethbridge
 Director of Urban Design
 City of Mississauga, Planning Department

No.	Date	Revision

G. RANDALL GUTHRIE
 architect
 770 Bloor's Line, Toronto, Ontario
 M8W 3W2 252-5679



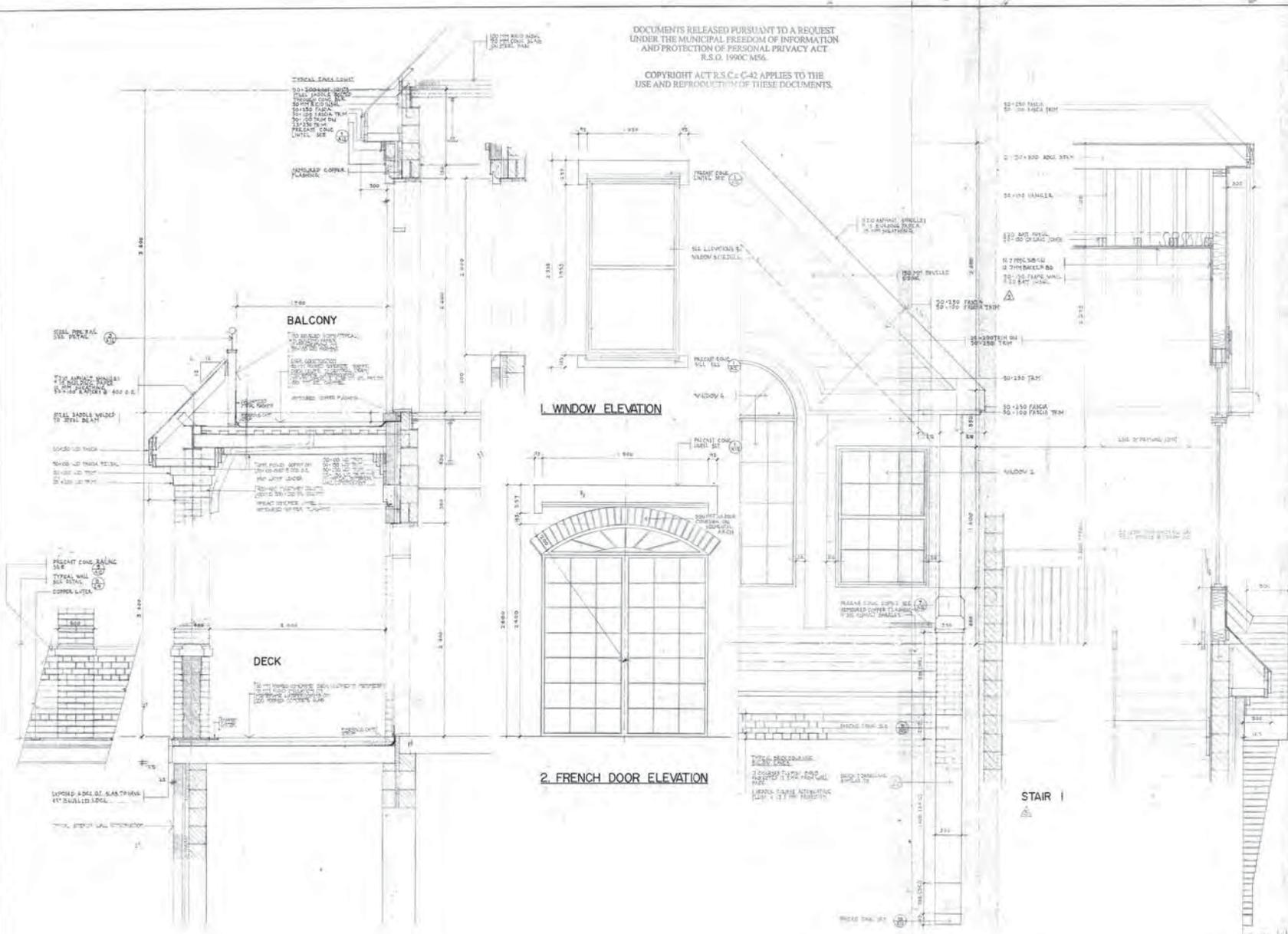
Owner
 M. CHU

Project
 ERINDALE LANDING

Drawing Title
 SECTIONS
 ELEVATION DETAILS

Scale AS NOTED	Drawing No. A9
Date MAR. 84	
Drawn By D.S.	
Checked By [Signature]	Project No.

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PERSONAL PRIVACY ACT R.S.O. 1990C 456.
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APPROVED SITE DEVELOPMENT PLAN
 June 18, 1984
 Schedule B-6 to Site Plan Agreement
 Date: May 15, 1984 File No.: S.P. 132-62
 J.D. Lethbridge
 Director of Urban Design
 City of Mississauga, Planning Department

No.	Date	Revision
1		ISSUE AS PER PLAN
2		REVISION: PLAN CORRECTIONS
3		REVISION: PLAN CORRECTIONS
4		REVISION: PLAN CORRECTIONS

G. RANDALL GUTHRIE
 architect

770 BROADVIEW AVE. TORONTO, ONTARIO
 M4W 3W2



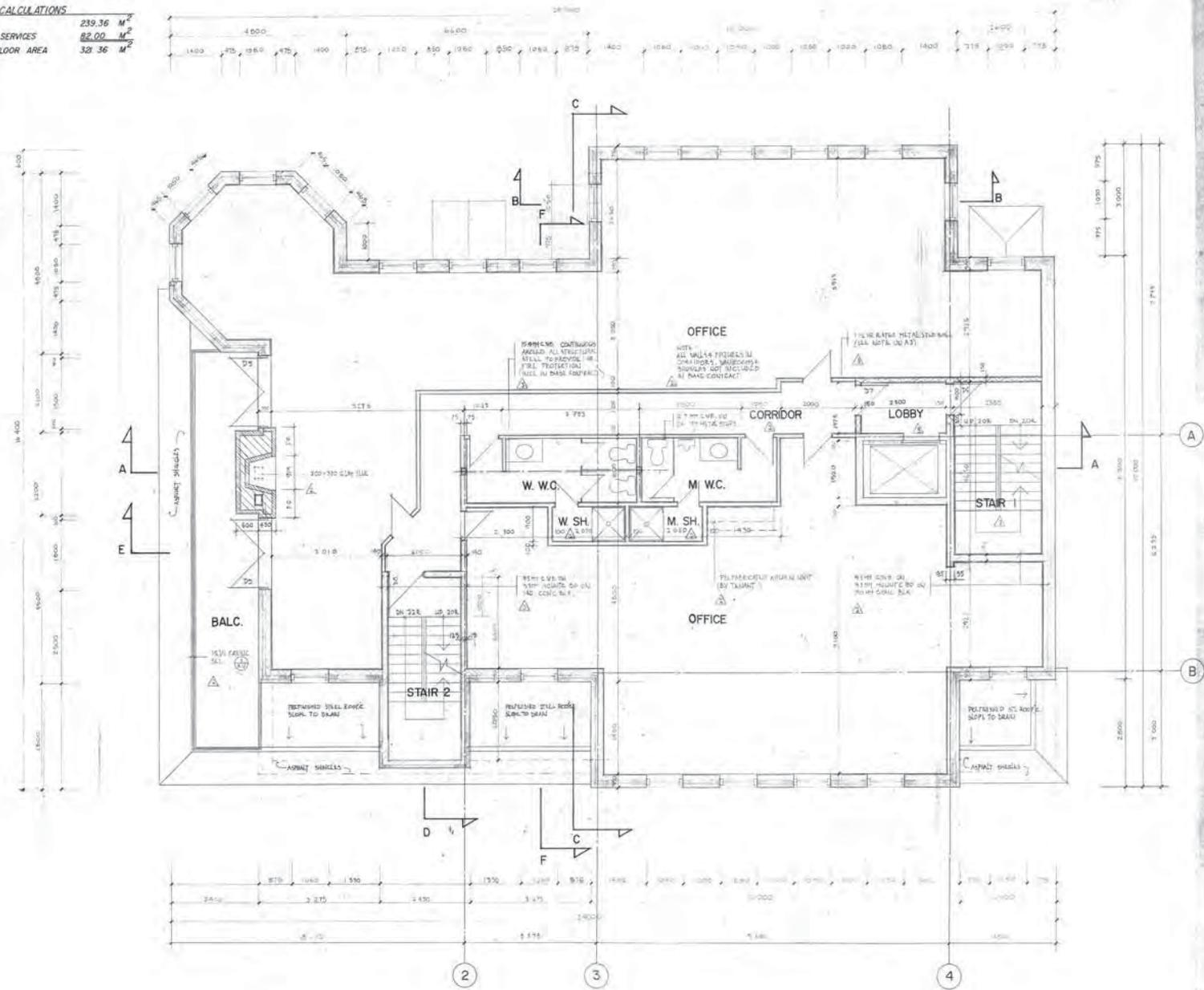
Owner	M. CHU	
Project	ERINDALE LANDING	
Drawing Title	SECTIONS ELEVATION DETAILS	
Scale	1:20	Drawing No
Date	MAR. 84	A10
Drawn By	D.S.	
Checked By	BRB	Project No.

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FLOOR AREA CALCULATIONS

OFFICE	239.36 M ²
CIRCULATION & SERVICES	82.00 M ²
TOTAL GROSS FLOOR AREA	321.36 M²



APPROVED SITE DEVELOPMENT PLAN
June 18, 1984
Schedule B-4 to Site Plan Agreement
Date: May 19, 1984 File No.: S.P. 170-82
J.D. Lebrunage
Director of Urban Design
City of Mississauga, Planning Department

MUNICIPAL WORKS DEPARTMENT
CONTACT BY PHONE
PROJECTS MUST BE SUBMITTED THROUGH WORKS

No.	Date	Revision

G. RANDALL GUTHRIE
architect

770 Brown's Line, Toronto, Ontario
M8W 3W2 352-5679

G. RANDALL GUTHRIE ARCHITECT

Owner: M. CHU

Project: **ERINDALE LANDING**

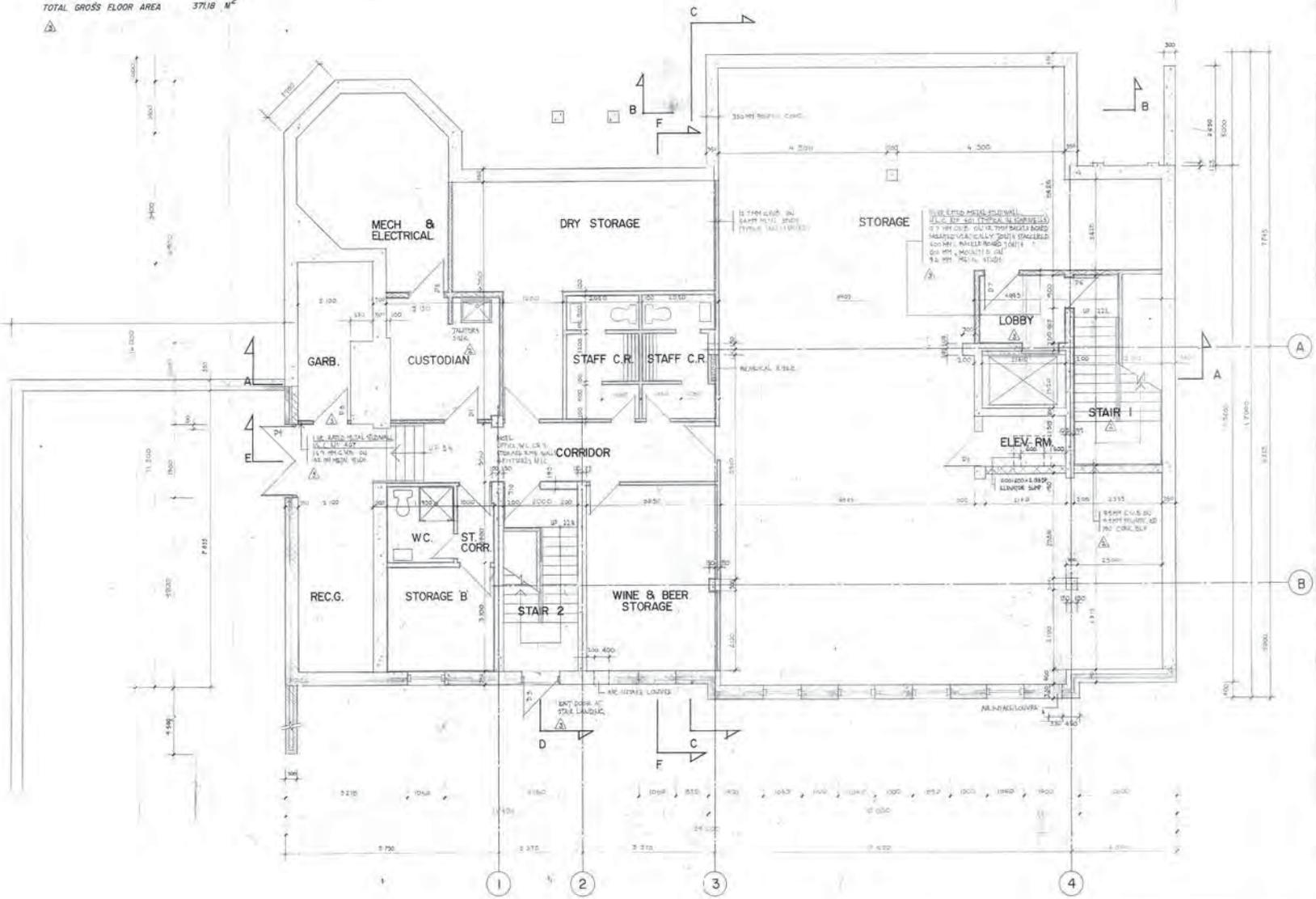
Drawing Title: **SECOND FLOOR PLAN**

Scale: 1:50	Drawing No. A4
Date: MAR. 84	
Drawn By: J. H.	
Checked By: <i>ERG</i>	Project No.

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PERSONAL PRIVACY ACT R.S.O. 1990C M56.
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FLOOR AREA CALCULATIONS

BASEMENT STORAGE	17,414 M ²
RESTAURANT STORAGE & C.R.S.	81,41 M ²
MECH & ELECT.	22,55 M ²
CUSTODIAN	9,66 M ²
GARBAGE & RECEIVING	29,29 M ²
CIRCULATION & SERVICES	54,13 M ²
TOTAL GROSS FLOOR AREA	371,18 M²



APPROVED SITE DEVELOPMENT PLAN
 June 18, 1984
 Schedule B-2 to Site Plan Agreement
 Date: May 15, 1984 File No.: S.P. 130-82
 J.O. Letourneau
 Director of Urban Design
 City of Mississauga, Planning Department

TELLEZ - MULLEN BAE
 CONTRACT ARCHITECTS
 1000 SHEPPARD AVENUE EAST
 SUITE 100 MISSISSAUGA, ONTARIO L4X 1L7
 (416) 673-1111

No.	Date	Revision

G. RANDALL GUTHRIE
 architect
 770 Bown's Line, Toronto, Ontario
 M8W 3W2 252 5679



Owner
M. CHU

Project
ERINDALE LANDING

Drawing Title
BASEMENT FLOOR PLAN

Scale 1:50	Drawing No. A2
Date MAR. 84	
Drawn By J. H.	
Checked By <i>BAE</i>	Project No.

RICK MATELJAN B. A. Lic. Tech. OAA
 3566 Eglinton Ave. W., Mississauga, ON
 (t) 416 315 4567 (e) rick.mateljan@smda.ca

curriculum vitae

Education:

Trinity College, University of Toronto

- B. A. (4 year) (Specialist English, Specialist History)

Ryerson Polytechnic University

- detailing of residential and institutional buildings, OBC, technical and presentation drawing

Royal Architectural Institute of Canada Syllabus Program

- program of architectural education through practical and design studio experience

Employment:

2010 - Present

SMDA Design Ltd. (Owner)

- (formerly Strickland Mateljan Design Associates Ltd.)
- architectural design practice specializing in custom residential and small commercial /institutional projects, land development consultation, residential infill, adaptive re-use, heritage conservation
- contract administration, tendering, site review for private and institutional clients
- heritage and urban design consulting for complex infill projects
- responsible for management, business development, marketing and project delivery
- extensive experience with building technical issues, integration of building systems, barrier-free issues, change of use issues, Ontario Building Code
- extensive experience in multi-disciplinary team environments
- extensive experience in municipal approvals, heritage approvals
- Ontario Association of Architects licence with terms, conditions and limitations
- qualified to give expert testimony on matters of Urban Design and Heritage Conservation to Ontario Local Planning Appeal Tribunal (LPAT) (2019)

2001 - 2010

Gren Weis Architect and Associates, Designer and Project Manager

- design, design development, conceptual, working and presentation drawings, project co-ordination, site review, liaison with authorities having jurisdiction
- extensive client, consultant and building site involvement
- specialist at Municipal Approvals, Site Plan and Re-zoning approvals
- specialist at renovation and conservation of Heritage buildings, infill developments in Heritage communities

1993-2001

Diversified Design Corporation, Owner

- conceptual design, design development, working drawings, approvals for custom residential, institutional and commercial projects
- construction management and hands-on construction

Recent professional development:

2019	OAA Conference, Quebec City PQ
2018	Ontario Heritage Association Conference, Sault St. Marie ON
2017	RAIC/OAA Conference, Ottawa ON
2017	Ontario Heritage Association Conference, Ottawa ON
2012	OAA – Admission Course
2011	Ontario Heritage Association Conference, Cobourg ON
2010	Georgian College – “Small Buildings”
2010	Successfully completed Ministry of Municipal Affairs and Housing “Small Buildings” and “Designer Legal” examinations
2010	Successfully completed OACETT professional practice exam
2008	First appearance before the Ontario Municipal Board
2007	OAA – Heritage Conservation in Practice
2006	RAIC – Standards and Guidelines for the Conservation of Historic Places in Canada

Activities:

2016-2019	Member, OAA Practice Committee
2015-present	Guest critic, Centennial College Architectural Technology Program
2014-2015	Guest critic, University of Waterloo Architectural Practice Program
2012-present	Member, Board of Directors, OAAAS (President from 2018)
2011-2016	Member and contributing writer, Editorial Committee, OAA Perspectives magazine
2008-2015	Member, Board of Directors of Oakville Galleries (President 2011-2013)
2007-2020	Member, Mississauga Heritage Advisory Committee (vice-chair 2015-2019), member of the Heritage Award jury and Heritage Property Grant Panel
1995-2001	Member, Oakville Local Architectural Conservation Advisory Committee and Oakville Heritage Review Committee (Chair from 1998)
2001-2004	Alternate Member, Oakville Committee of Adjustment (appointed but never called to serve)

Memberships:

Ontario Association of Architects (OAA)
 Ontario Association of Applied Architectural Sciences (OAAAS)
 (former) Ontario Association of Certified Engineering Technicians and Technologists (OACETT)