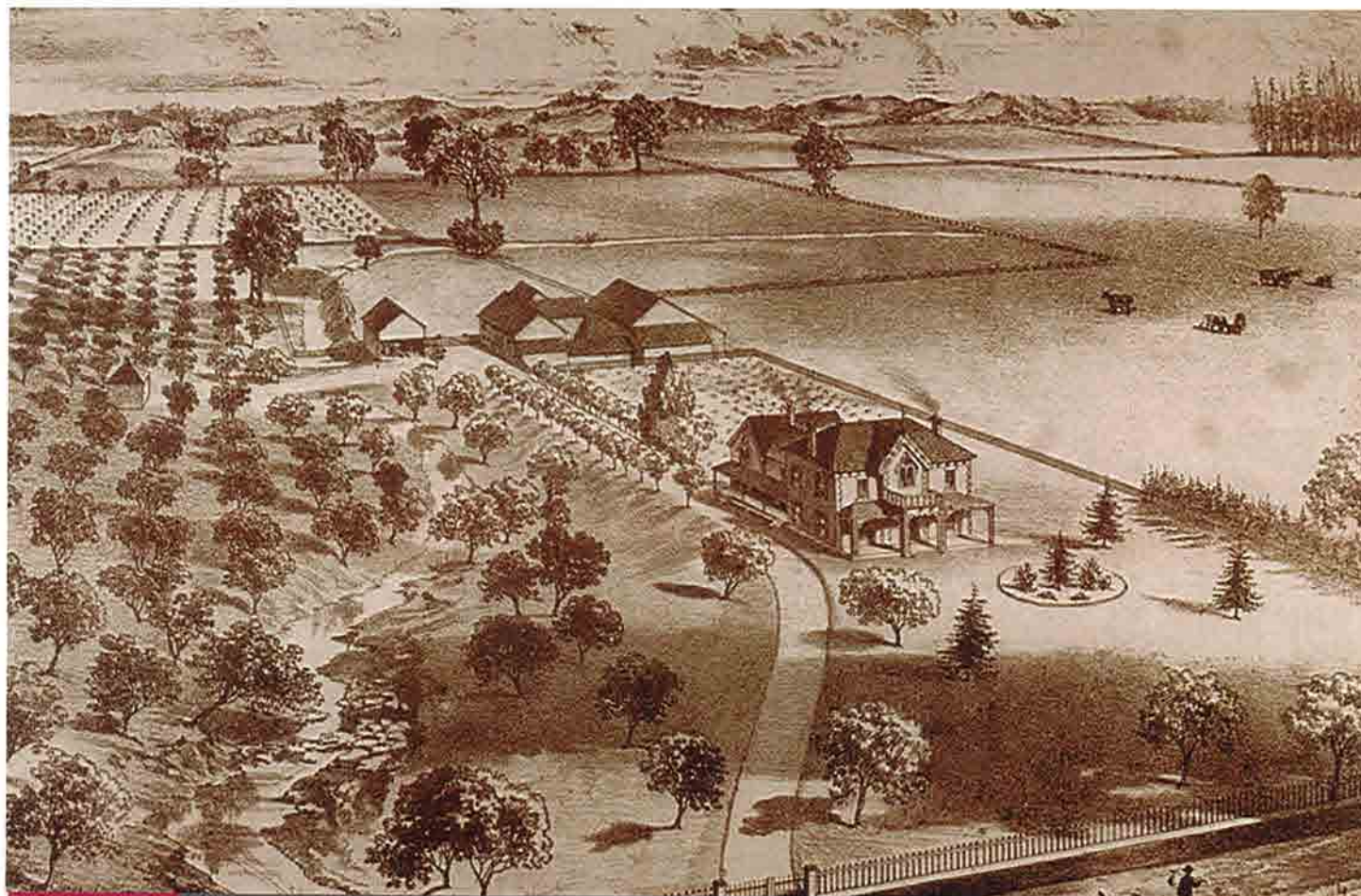


2625 HAMMOND ROAD

HERITAGE IMPACT STUDY



Sketch of Hammond House
from the "Illustrated Atlas
of the County of Peel"

 **ATA ARCHITECTS INC.**
211 LAKESHORE ROAD EAST
OAKVILLE, ONTARIO L6J 1H7

ARCHITECTURE
URBAN DESIGN
SPACE PLANNING
INTERIOR DESIGN
HERITAGE RESTORATION

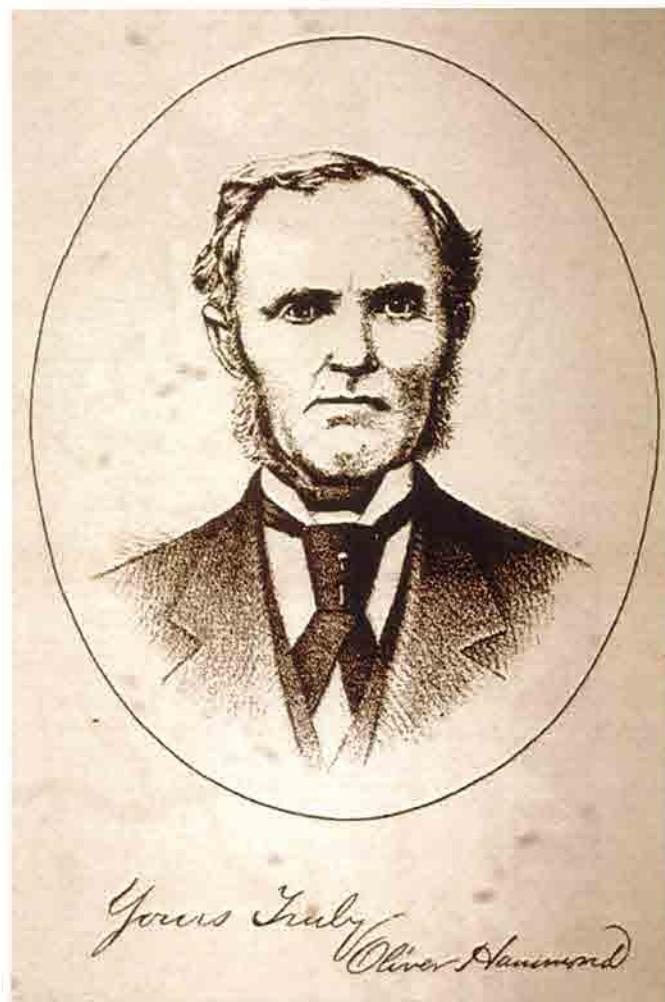


Image of Oliver Hammond from the "Illustrated Atlas of the County of Peel"

HAMMOND HOUSE 2625 HAMMOND ROAD

HERITAGE IMPACT ASSESSMENT HAMMOND HOUSE, 2625 HAMMOND ROAD

SCOPE:

ATA Architects Inc. (ATA) was retained by Latiq Qureshi, who purchased the property in 1990, to prepare the Heritage Impact Assessment of the proposed development on the heritage property 2625 Hammond Road, designated under Part IV of the Ontario Heritage Act. Work was undertaken by the current owner focusing on a restoration oriented approach with an addition in which the design of the existing building is reflected. The owner has retained the windows in the original building and has taken action to improve the foundations by adding footings, waterproofing and incorporating weeping tiles. The building has also been connected to the sewer line.

The contents of the report include the following:

- a) A description and history of the existing building at 2625 Hammond Road
- b) A description of the proposed development
- c) A description of the measures to mitigate any adverse effects of the proposed development upon the heritage property
- d) A description of how municipal planning policies or guidelines have been incorporated and satisfied by the proposal

PROCESS:

ATA Architects Inc. visited the site and in particular reviewed in detail the out building to be relocated, and the garage to be demolished and of course the Hammond House. The surrounding context was documented and ATA undertook further historical research and reviewed the development proposal for the site. The firm has made a series of recommendations as to further mitigating measures to minimize the impact of the development.

HAMMOND HOUSE 2625 HAMMOND ROAD

HISTORICAL

In the designation report for Hammond House (see Appendix) the primary reason cited for the building to be of historical importance is that it was the residence of Thomas Hammond. Thomas Hammond and his father Oliver Hammond, who is also listed as having lived on the property, were both early farmers of Erindale. According to the designation report in the Assessment Rolls for 1865, the assessed value of their real and personal property was \$3,400. Thomas and his father Oliver held Offices at St. Peter's Church, both having been Warden, Auditor and Lay Delegate at some point in their lives. Oliver Hammond would also hold the office of Magistrate for the Credit area in 1877 and be the Director of the Toronto Township Agricultural Society in 1859.

Oliver Hammond and his wife Sarah Ann Carpenter both lived on the site initially. The property was passed to Sarah in her father, Henry Carpenter's, will. Sarah and Oliver had three children, Robert Young (who passed away at age 27, but not before having a son named Charles), Mary Rebecca, and Thomas. When she passed away her will left everything to Thomas, Charles and Mary. Sarah and Oliver were both considered good patrons of the church, and in one case Sarah is said to have advanced \$300 to St. Peter's without interest so that it may pay off its mortgage.

While only Thomas appears to have held offices at the church, he did own quite a bit of land. He owned a number of lots in both the 1st and 2nd Range of the Toronto Township. For a list please see the document from the Perkins Bull Documents (see attached Appendix). Thomas and his wife Isabella Sproule had an adopted son Jack.

The last Hammond to have lived on the property was Captain John Hammond, sometimes called Jack. At this time it remains unclear as to whether John and Thomas's son Jack are one and the same. John is known to have run a fairly successful threshing operation in the area and transported bricks via truck to small communities around Peel County and Toronto.



Sketch of Hammond House from the "Illustrated Atlas of the County of Peel"

HAMMOND HOUSE 2625 HAMMOND ROAD

While there is no known architect attributed to the design of Hammond House according to the Leslie Log House Historical Plaque, Robert Leslie, a master builder, is credited with the construction of the Oliver Hammond House. He is also associated with the William Barber House in Streetsville and the Benares House in Clarkson.

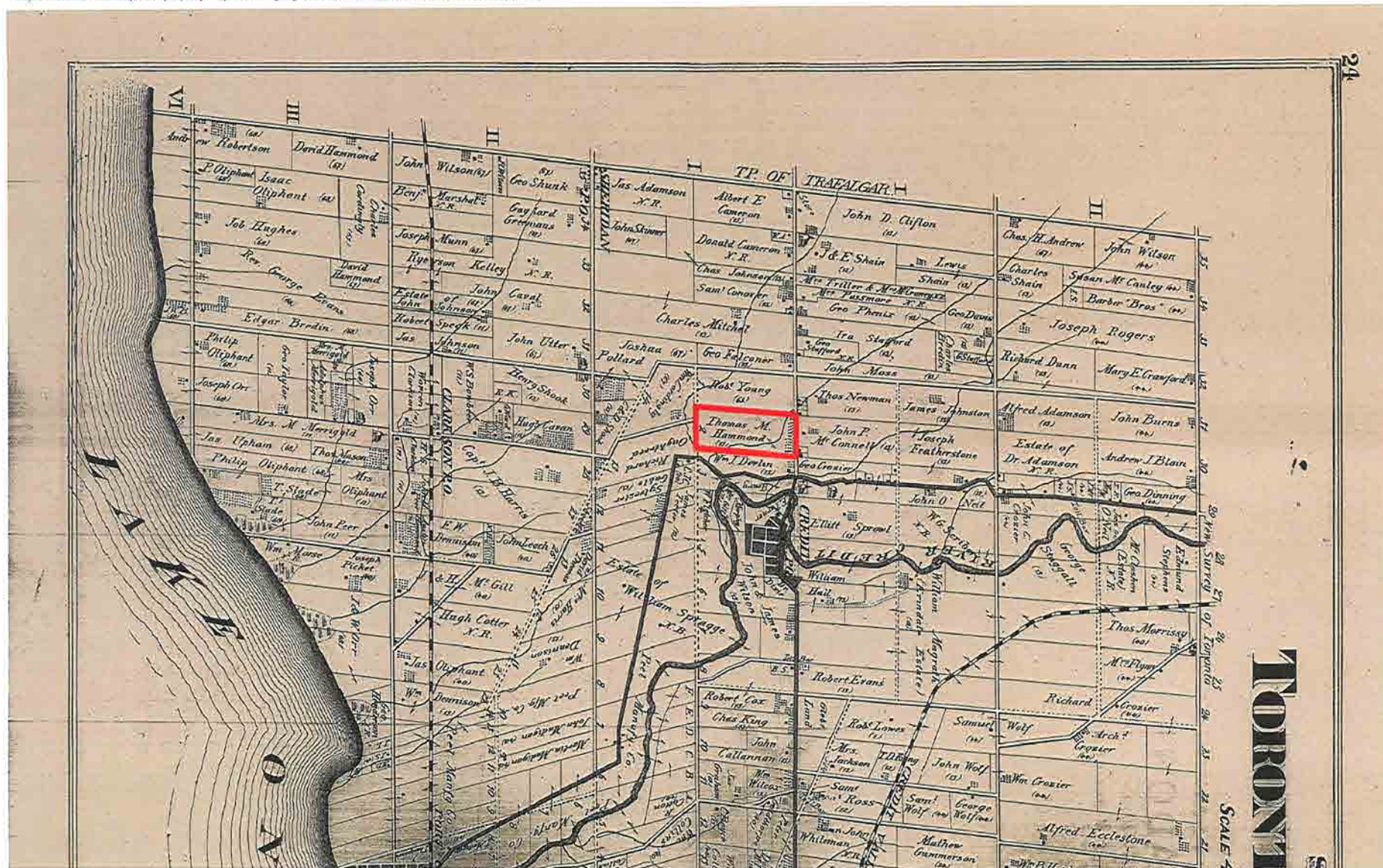
Of note is an article from the Mississauga Times, March 22, 1910 titled "Push is on to save home" (see Appendix). The article describes steps that were taken to protect Hammond House from planned demolition by the then owner R. Kowal. The City had refused the permit and tried to convince the owner either to build a small subdivision incorporating the house into it or make the house into a restaurant. The planning department had felt the property could be divided into 4 lots each with 75-foot frontages. The house was recently renovated, the building restored and an addition was added to the rear by the current owner Latiq Qureshi between 1990-1996.



Image of the addition construction taken in 1991, photo from "Mississauga Image Gallery, Historic Images Gallery"

HAMMOND HOUSE 2625 HAMMOND ROAD

Map of Toronto Township with property in question highlighted, from "Illustrated Atlas of the County of Peel"



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HAMMOND HOUSE 2625 HAMMOND ROAD

ARCHITECTURAL

Hammond House is a melding of two different architectural styles. The building draws its use of symmetry and proportion from the Georgian style which was brought to Canada from England by United Empire Loyalists. The style was favoured by many settlers of Upper Canada as it provided a sturdy yet simple building. With Hammond House we see that simplicity being replaced with detail elements borrowed from early Italianate.

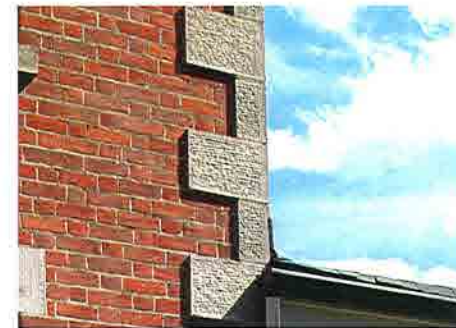
These key elements include the following

- Bracketed eaves
- Stone quoining at the corners of the main house
- Two round headed windows with rounded louver and triangular carved stone lintel at the rear of the building
- The vergeboarding on the front gable of the house is also of interest, it is an element commonly associated with Gothic Revival and Victorian houses. This element has been used on the City of Mississauga's Heritage Plaques, but being a common motif in the Peel area the element on the plaque cannot be attributed to a specific building

There is no known architect of record for the original house, instead it has been suggested by J.M. Halloran, a Historian/Curator, in his designation report for the house that the design may have come from a "pattern book", these were designs that came in catalogues or were printed in newspapers. Examples of such designs can be found in publications such as The Canadian Farmer originally published in 1865.



Bracketed eaves.



Stone quoining at corners of main house.



Round headed window and rounded louver with triangular carved stone lintel.



Vergeboarding on gable end at the front of the house.

HAMMOND HOUSE 2625 HAMMOND ROAD

The form of the original portion of the Hammond House can be seen to consist of an original rectangular front section and a rear T-shaped section. More recently the house was renovated between 1990 and 1996 and an addition was added to the rear of the building.

- The foundations of the original house are stone and the house has a full cellar; footings, weeping tile and waterproofing were added during the restoration and addition work
- The main entry way of the building projects slightly forward from the west façade of the original house. This distinguishes it and indicates the line of symmetry for the building centred on the entry's face and gable roof. From earlier photos and the *Historical Structures of Erindale* document we see in the 50's the entrance door and its fan transom were situated in a polygonal recess which has since been replaced by a glazed double door and it's large rectangular transom which now sits flush with the exterior wall
- The windows on the original house consist mainly of 6 over 6 double hung windows with exterior storms and the building is clad in a red brick

The recent addition has made an effort to complement the original building by using divided light windows in a repetitive pattern motif and materials that match those of the original building. The matching materials includes white wood paneling similar to the white wooden frames of the main building, and stone cladding of the foundations above grade to match the stone foundations of the original building. The porch and railings are not original to the house.



The current owner made extensive repairs and additions to the foundations of the main house such as the addition of footings and a weeping tile.



In this photo we see the foundations being laid for the family room/sunroom that was added to the building by the current owner Latiq Qureshi.



The photo above shows the finished addition. The materials used complement the existing building rather than clashing with it. Steps were taken so architectural elements of importance in the original house wouldn't be destroyed or obscured by the addition; such as the round headed window seen in this photo above the addition.



This image shows the landscaping being undertaken by the current owner on the south side of the house. The finished work can be seen in photo 6.

HAMMOND HOUSE 2625 HAMMOND ROAD

The outbuilding and garage utilize the same materials as the house, i.e.

- Red brick and white wood trim
- Quoining on the coach house and garage is made of projecting brick masonry rather than carved stone
- The outbuilding is a small structure with stone foundations and a door leading into the space below the building located on its rear
- The window on the east façade appears to have been replaced but on the south façade, the main entrance to the building, it retains the original 6 over 6 double hung window
- The original storm has been replaced and a new aluminum screen door has been added to the main entrance
- On the west wall there is one small round wood window
- Dentils run along the soffit of the roof on the south and north façades
- Behind the outbuilding a small concrete channel has been laid to channel runoff down to the creek

Although the building is small its materials and detailing are compatible with the main house and the building should be retained. The garage itself is a recent addition and has no historical link to its current siting so its relocation should not prove a detriment; in fact it would remove the building as an obstruction to views east.

There is one other structure on the site, a covered blind/ tree house that overlooks the ravine. It is a wooden structure of recent addition to the property; it has been built around two established trees. This structure has no elements of heritage value and so its removal would not have a negative effect on the heritage value of the property.



Extensive restoration work was done by the owner, Latiq Qureshi, on the interior of the building. In the photograph above we see the dining room in the process of being restored.



This photograph shows the finished dining room interior. The owner has kept the original trim, mouldings, doors and windows.

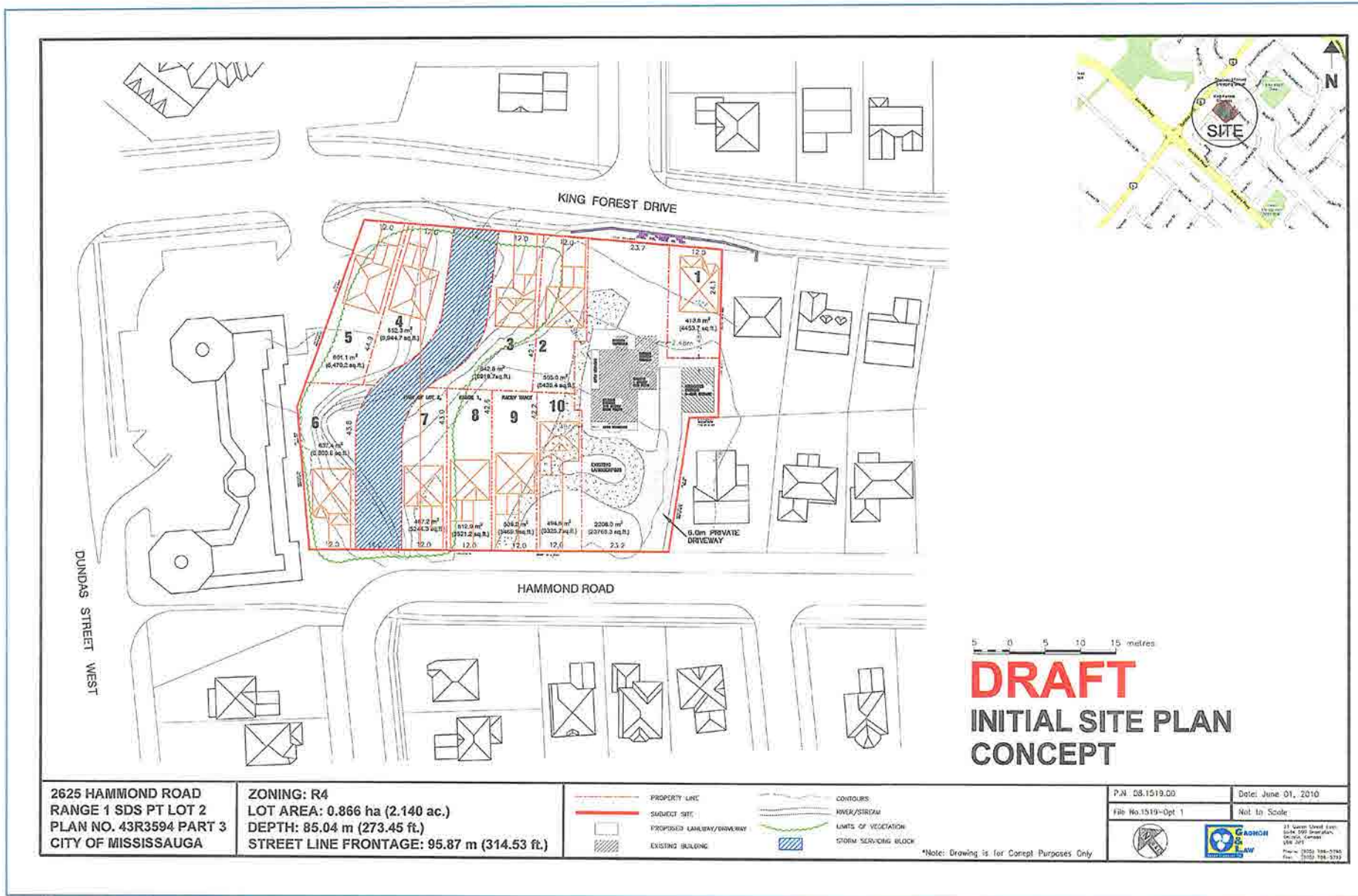


The interior of the sunroom addition. The owner has used elements to complement what is seen in the original building, such as the beams/rafters along the ceiling (similar to what is seen in the dining room and study photos) or the windows being divided with muntins rather than being one solid piece of glass.



This is a study on the second floor of the house. Again the owner has made an effort to keep as many of the original elements as possible and restore them. Similar to the dining room on the first floor the owner has refinished the wood elements in a dark stain and used complementary colours to finish the rest of the room.

HAMMOND HOUSE 2625 HAMMOND ROAD



2625 HAMMOND ROAD
 RANGE 1 SDS PT LOT 2
 PLAN NO. 43R3594 PART 3
 CITY OF MISSISSAUGA

ZONING: R4
 LOT AREA: 0.866 ha (2.140 ac.)
 DEPTH: 85.04 m (273.45 ft.)
 STREET LINE FRONTAGE: 95.87 m (314.53 ft.)

- PROPERTY LINE
- SUBJECT SITE
- PROPOSED LANEWAY/DRIVEWAY
- EXISTING BUILDING
- CONTOURS
- RIVER/STREAM
- LIMITS OF VEGETATION
- STORM SERVICING BLOCK

*Note: Drawing is for Concept Purposes Only

P.N. 08.1519.00	Date: June 01, 2010
File No.1519-Opt 1	Not to Scale
21 Aspen Street East Suite 500 (Sherway) Oakville, Ontario L6H 2K1 Phone: (905) 388-5746 Fax: (905) 388-5792	

Original Conceptual Site Plan from Gagnon & Law

HAMMOND HOUSE 2625 HAMMOND ROAD

CONTEXTUAL

In terms of maintaining the contextual relationships and major views, the Hammond House's proposed lot extends from Hammond Road to King Forest Drive. This relationship has been maintained. The retention of both a substantial front yard and rear yard is extremely important in retaining the long vistas of the house, particularly from Hammond Road. Deers Wold is aligned with King Forest so that it is centred on the Hammond House. Due to the difference in height between the rear yard of the Hammond Residence of approximately 5 metres and King Forest Drive, the vista is visually blocked by the evergreen hedge. Since a new lot #1 is proposed for the southern end of the rear yard, the retaining wall will be altered. It would be recommended that the previously established vista by the intersection be re-established without compromising the privacy of the home's outdoor areas. Both objectives should be considered in the redevelopment of the property.

The existing property line to the south provides an ideal location for the garage. The orientation visually separates the garage into a site alcove. The garage doors are not oriented towards Hammond Road. The garage, however, provides close access to side entrances to the house, both to the ground floor and to the basement.

The relocation of the driveway with a new tighter radius to the southern side of the lot is an acceptable change in that there is an existing visual opening in this location. The relationship between the house and street is more direct and links the property in a more positive sense to the community. Driveways signal entry and presence of residence. The change, in our opinion will draw more visual attention to the house than the current drive.

Early illustration from the The Illustrated Atlas of the County of Peel first published in 1877 by Walker & Miles indicates that the house had a circular drive from an early date. It is therefore important that the front drop-off be retained for reasons of historic context and the need to retain community focus on the façade, which is one of the key character features of the historic home.

Lot 2 occupies an area of the house on the north side of the rear yard. A brick out building occupies part of this lot. Although the structure has been modified, it is complementary to the residence and should be retained and relocated into the background as a storage building, pool house, cabana, or children's play structure etc. The rear portion of Lot 2 has been indented to allow greater space along the porch of the Hammond House. Given the large backyard retained for the Hammond House, in our opinion the introduction of lots 1 and 2 will not substantially alter the historic value of the heritage residence since neither is currently used as an outdoor living area.

In providing initial comments to the proponent ATA began the process by analyzing the Original Conceptual Plan provided by Gagnon & Law and developing a number of adjustments to be made to the plan. ATA views the façade of the Hammond House as one of the primary aspects of the historic residence that contributes to its heritage value. The width of the view plane should be maintained if possible. Changes have already occurred and the subdivision to the south intrudes into the south border of the property. It would have been preferable that the south boundary line had been straight giving greater front lawn to the Hammond House. A residence; however, was built. It sets the precedence and current context.

It would be ATA's opinion that a residence not be built on lot 10. The proponent has staggered the building placement so that the residences step back to the Hammond House retaining the breadth of the view area established by the southern property. It is a compromise for consideration. It would require a restriction built into the subdivision that ensures the placement of the homes as shown and the establishment of an uninterrupted view corridor. The placement of fencing or an evergreen hedge between lot 10 and the Hammond House would dramatically limit the heritage home's visual presence on the street.

HAMMOND HOUSE 2625 HAMMOND ROAD



Aerial photograph illustrating the site and surrounding properties.
Source: Google Maps

HAMMOND HOUSE 2625 HAMMOND ROAD

The transformation of the wood lot and the channelling of the existing stream should not negatively impact the heritage value of the Hammond House. The use of this ravine area by a single family residence is limited and more a burden than an asset. There is a contextual relationship of the house to the ravine area but it is one that is less significant than that of the original farmland, now lost to a residential neighbourhood, that once surrounded the house. Whereas the front lawn is visually connected to the house, the creek/ravine lands appear as public open space.

ATA will be preparing separate guidelines for the housing development. In examining the existing housing stock in the area, the design of the homes is a generic modern interpretation of "traditional" style homes. They have been simplified in that many details have been stripped from the originating styles. The homes in general lack distinguishing features which would set them apart from others in Mississauga. Due to the historic importance of this home, it is important that the houses constructed are distinguished in their design as part of the Hammond enclave of homes.

The visual impact would be strengthened by a series of distinct homes that complement and enhance the historic significance of the Hammond House to the City of Mississauga. These homes should stand apart from those in the neighbourhood and be clearly associated with the Hammond development by their high standard of architectural and landscape design.

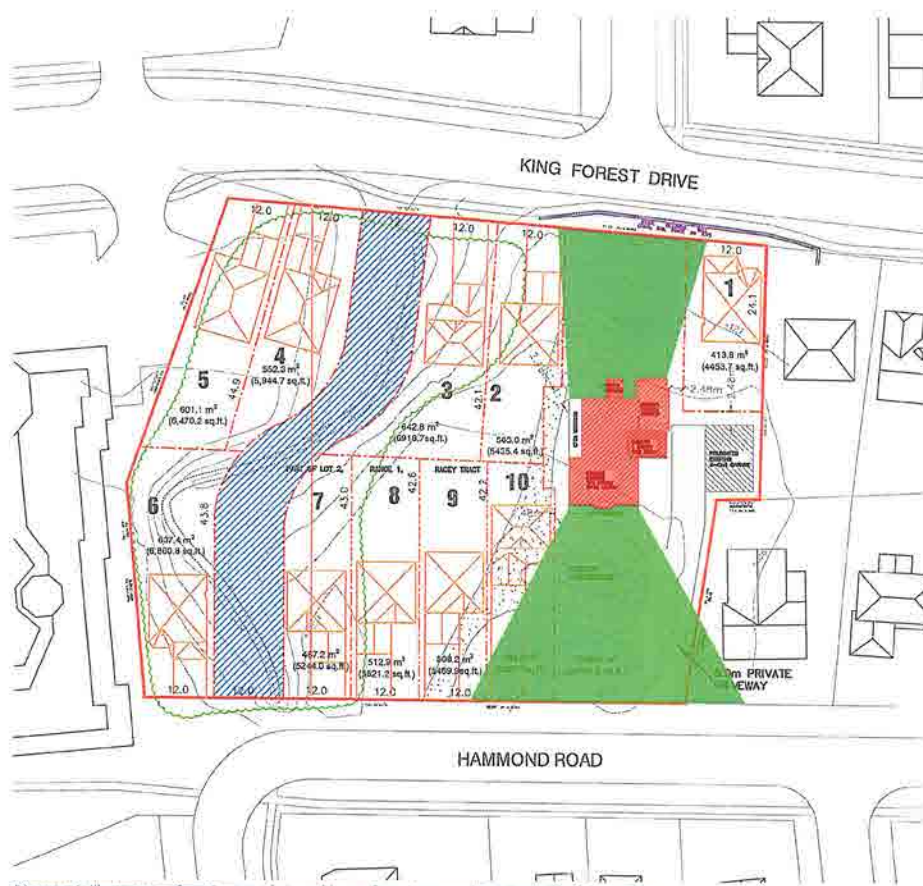


Diagram 1: Illustrates preferred scope of view of house from Hammond Road and King Forest Drive

HAMMOND HOUSE 2625 HAMMOND ROAD

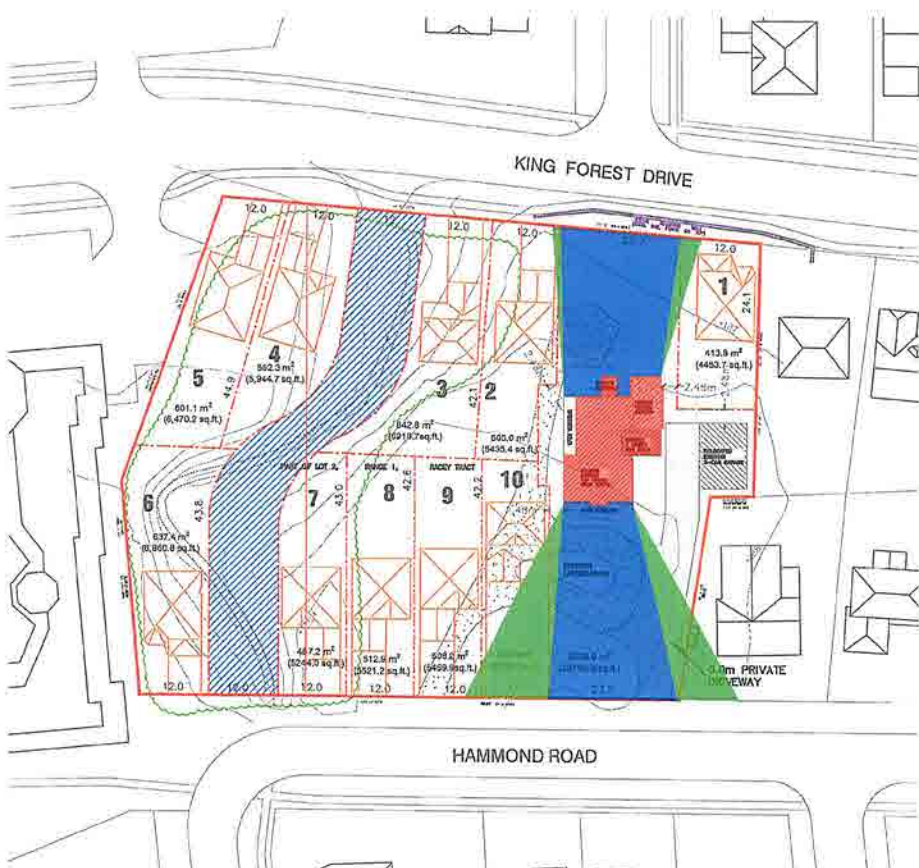
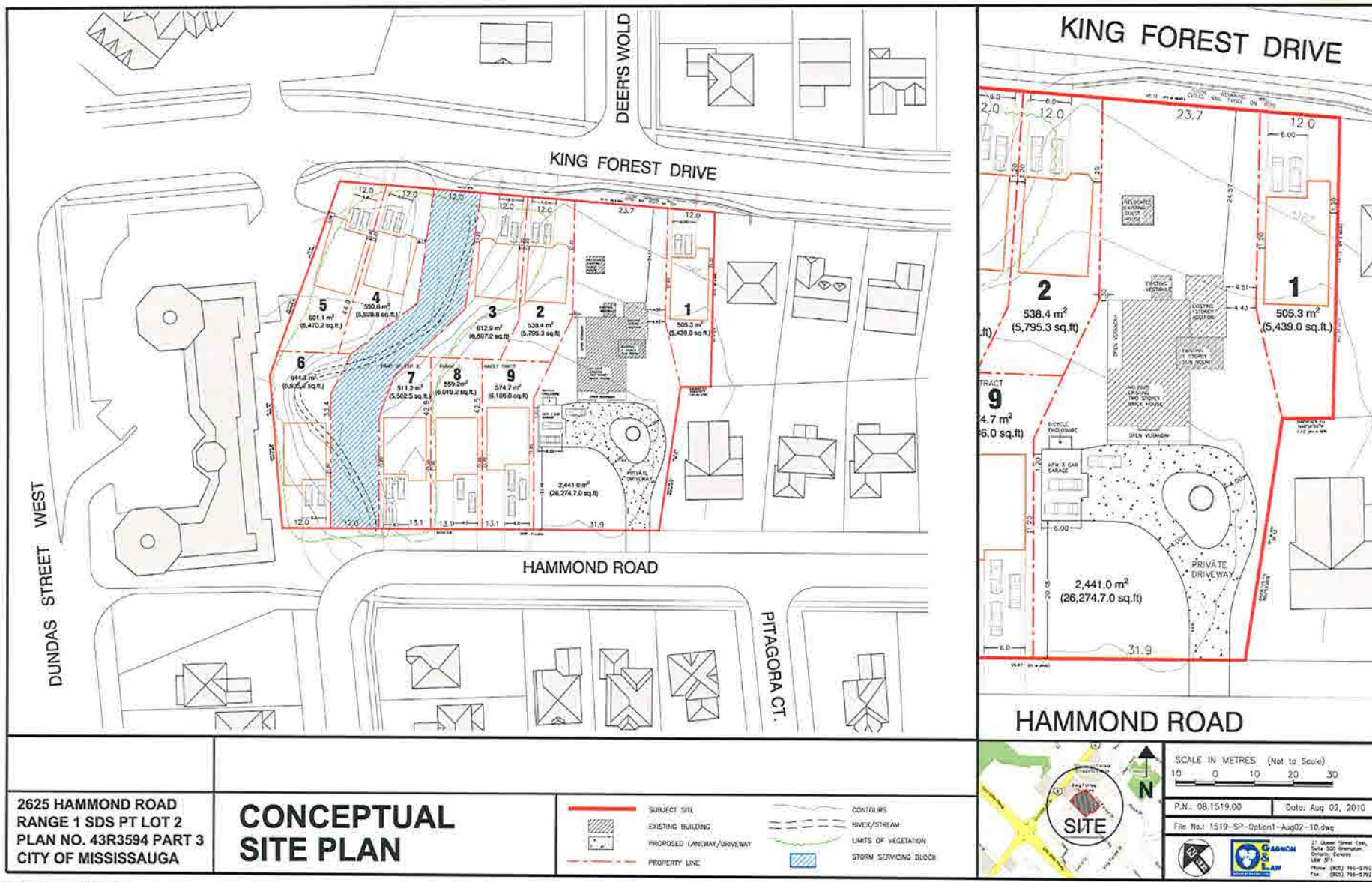


Diagram 2: Illustrates the narrower view of Hammond House if boundaries on both sides are defined by high fences and/or planting.



Diagram 3: Illustrates initial recommendations by ATA for costing.

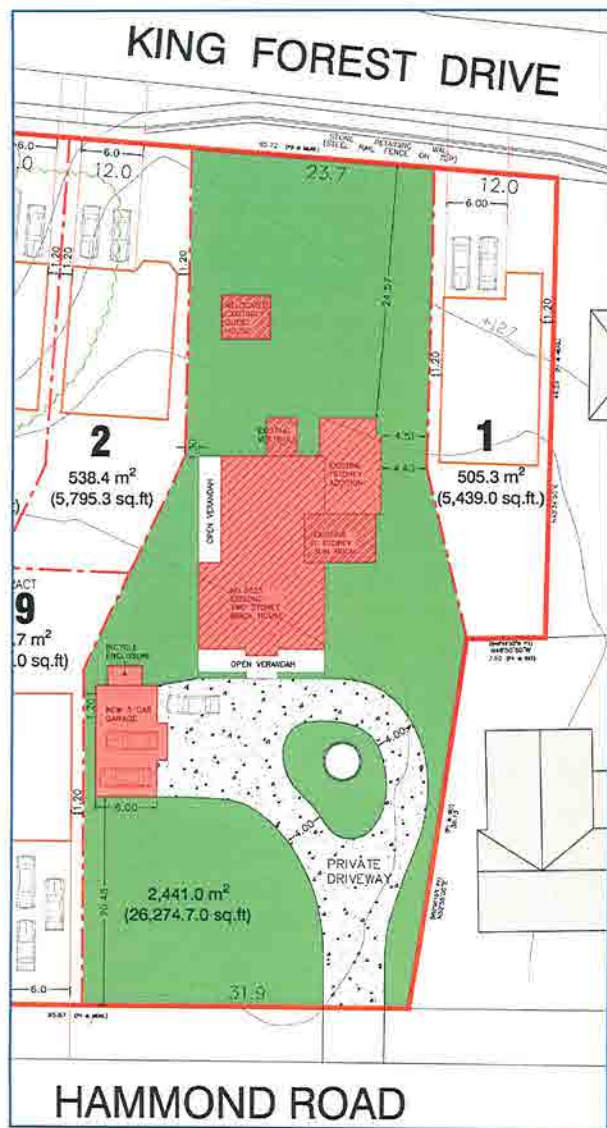
HAMMOND HOUSE 2625 HAMMOND ROAD



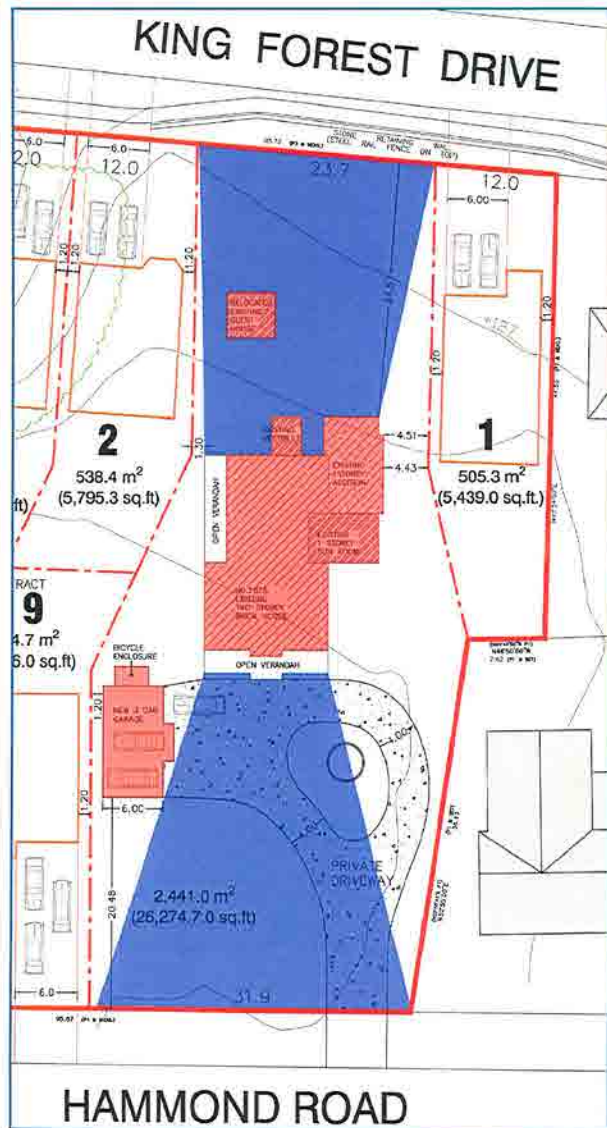
Final Conceptual Site Plan

HAMMOND HOUSE 2625 HAMMOND ROAD

FINAL CONCEPTUAL SITE PLAN



The above image illustrates the landscaped area of the site.



The above image illustrates the views from King Forest Drive of Hammond House given the proposed boundaries and buildings.

HERITAGE IMPACT

This final version of the Conceptual Site Plan includes a number of refinements that support good heritage planning:

- The house is centred on the lot, the 10th lot is eliminated
- The house sits high on the lot and another broad view is achieved from Hammond Road
- The lot facing Hammond has been increased to slightly more than 100 ft (31.9 m)
- A new garage with a traditional stepped façade with a central gable is proposed for the north side of the house to make the circular drive functional as well as provide easy access to the house
- The garage at the south side of the house was problematic for access and egress
- The out building has been retained and placed approximately the same distance from the back of the residence
- The south facing sunroom/family room addition is given more open space to maintain an attractive south facing outdoor living area due to the relocation of the garage
- The lot has been reshaped to create more open space around the heritage residence both visually and physically

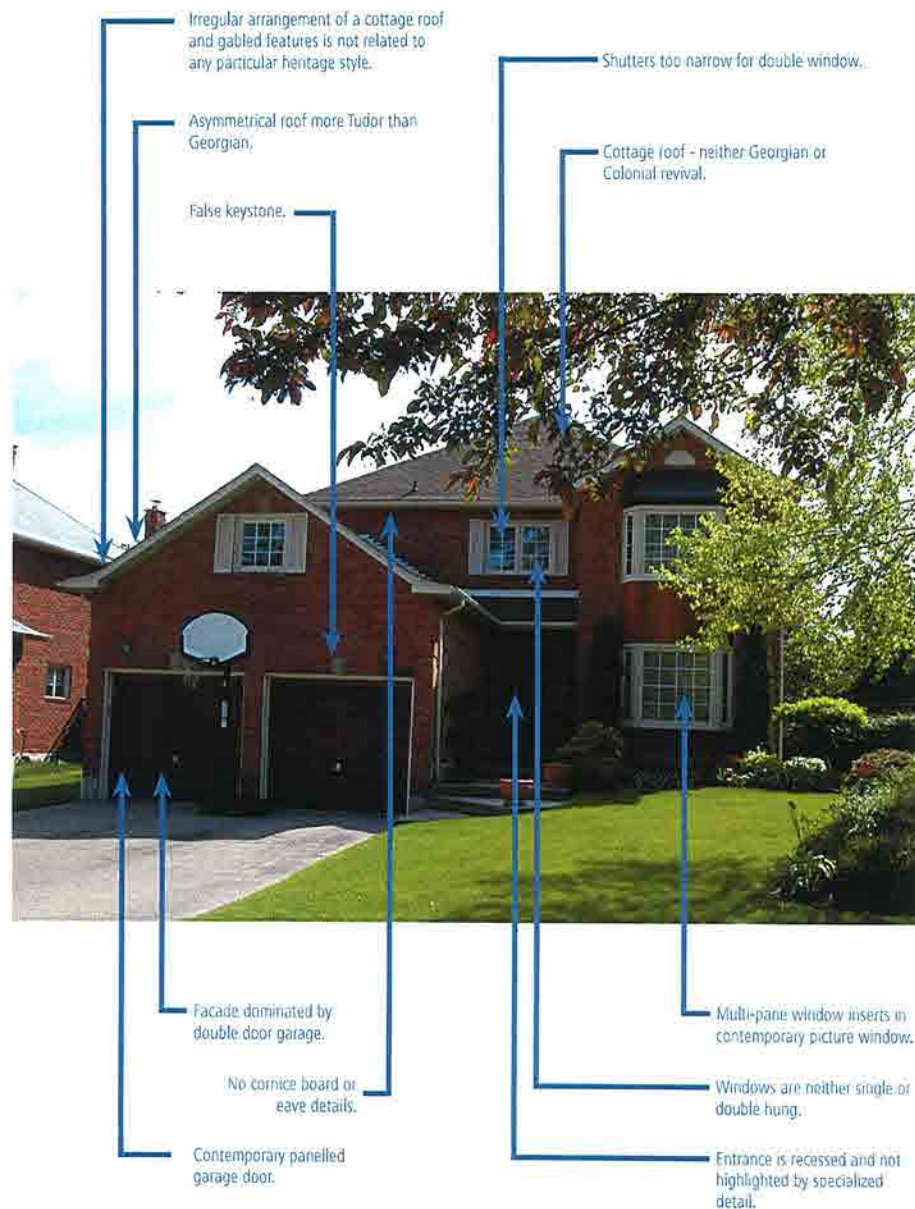
HAMMOND HOUSE 2625 HAMMOND ROAD

DESIGN CONSIDERATIONS FOR PROPOSED SUBDIVISION

The Hammond Residence can make a greater contribution to the community through the creation of an enclave of homes that are reflective and compatible with the style, materials and key character identifying elements of the Hammond Residence. At the present time the house is isolated from the neighbourhood. There are several factors which contribute to this condition. These are

- 1) The style and materials of the adjacent homes are not sympathetic to the heritage home
- 2) Although the adjacent homes were designed to be "traditional" in their style, they are in reality contemporary interpretations that are actually a pastiche of heritage styles
- 3) The adjacent homes lack the final details and the distinctive craftsman features that distinguish the Hammond Residence
- 4) The Hammond Residence sits high in relationship to the roadway and is well set back from the street
- 5) The newer homes are set closer to the street and dominate the view corridor along Hammond Road
- 6) The elevation change, the retaining wall and the higher hedge separates the Hammond Residence visually along King Foresst Drive eliminating the landmark as a visual focus both on King Foresst Drive and Deers Wold
- 7) The large wooded area and the stand of mature trees creates the appearance of a public park setting that visually dominates the site and renders the house visually in a secondary situation

In the Illustrated Atlas of the County of Peel, the Hammond Homestead site is very large but the lack of other buildings sets the house apart from the context as do many rural heritage buildings on large acreages. This is not the existing situation. The farm setting has been lost and is not represented by the existing remaining open space.



HAMMOND HOUSE 2625 HAMMOND ROAD

A different approach to the site development surrounding the Hammond Residence is proposed. The residential development to-date along Hammond Road and King Foresst Drive is typical of other areas of Mississauga and the GTA.

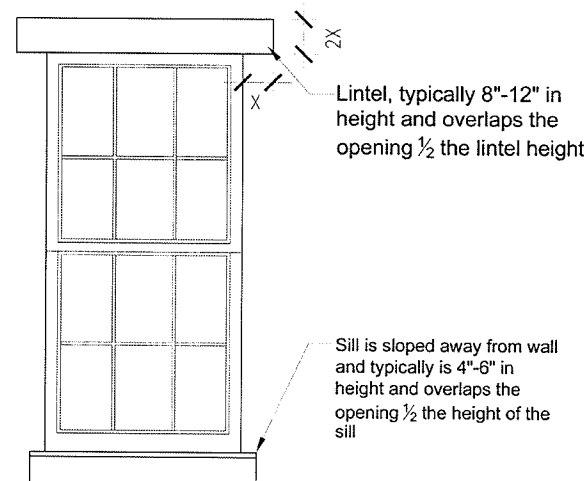
In contrast, the Sherwood Forest Shops and the King Foresst Shops have set a high standard in commercial design and have established a well recognized upscale land mark entryway to the residential neighbourhood.

New residential development should employ the following traditional elements of the Georgian Style and incorporate or interpret the character elements of the Hammond Residence:

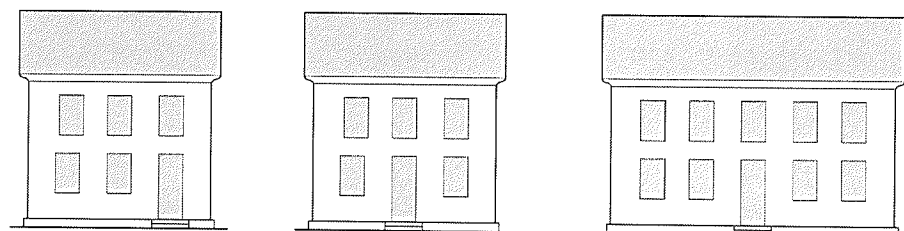
- 1) Preferably symmetrical façade
- 2) Bracketed eaves
- 3) Quoining of the masonry corners (stone or brick)
- 4) Double hung windows with multi-pane windows divided by muntins
- 5) Deep cornices
- 6) Gables as features
- 7) Deep sills and lintels of natural or architectural stone
- 8) Broad, tall masonry chimneys with detailed brick caps

The Hammond Residence also displays some early Italianate and Gothic Revival elements.

- 9) Vergeboards distinctively detailed
- 10) Front porch (on the Hammond Residence the columns are paneled with arched fretwork between including arched openings, dropped finials and brackets)
- 11) Paired arched windows
- 12) Round louvers
- 13) Circular windows
- 14) Triangular stone lintels



Examples of typical roof and masonry elements such as the stone quoining, and brackets and dentils typically located under the eaves.



3 bay options: symmetrical and asymmetrical

5 bays: evenly balanced, symmetrical facade directs the eye very clearly to the centre.

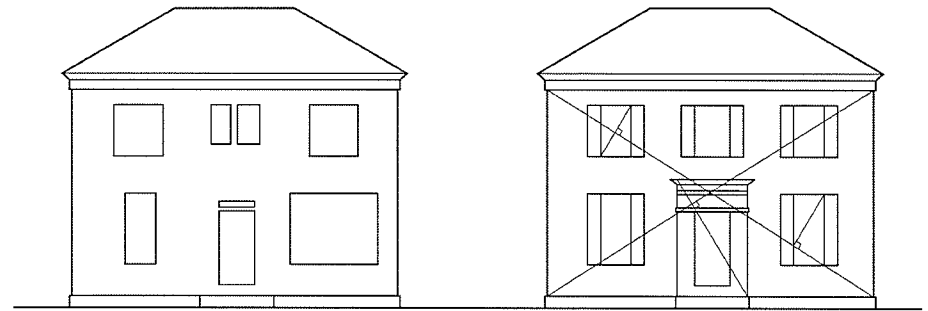
Abstract of a symmetrical 3 bay residence.

HAMMOND HOUSE 2625 HAMMOND ROAD

There are other features which typify homes of the period.

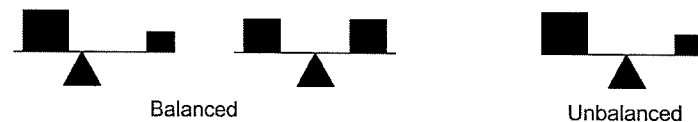
- 1) Handmade brick
- 2) Polychromatic brick combinations (predominantly buff and red)
- 3) Hinged shutters
- 4) Brick arches and lintels (soldier course or gauged brick)
- 5) Stone keystones
- 6) Paneled entrance doors with glazed transoms and pilasters supporting simple entablatures
- 7) Pedimented portico entrances
- 8) Door canopies
- 9) Brick and stone string courses
- 10) Dormers
- 11) Palladian windows
- 12) Entrance sidelights

All the above elements will not necessarily lead to the creation of an attractive enclave of homes complementary to the Hammond Residence, unless the language of classical architecture is correctly applied. The elements presented above comprise the vocabulary, but unless the rules of how these elements are put together is understood and followed, the result could be similar to the existing residential fabric surrounding the heritage home.



There are five rules that govern the arrangement of the elements. These are as follows:

- 1) Order, the rationale that governs the design and the arrangement of elements and spaces
- 2) Proportion, a system for arrangement of the design elements to one another
- 3) Balance, the even distribution of design elements
- 4) Hierarchy, the organization of elements to give visual preference to elements in order of their importance
- 5) Scale is the relationship between the sizes of different elements. The objective of the guidelines that follow is to ensure that the residences have a human scale, i.e. that the materials and elements are scaled to the human body.



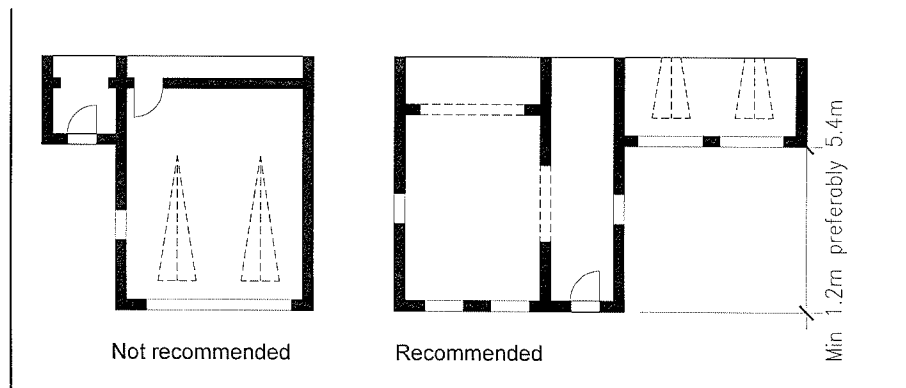
HAMMOND HOUSE 2625 HAMMOND ROAD

MASSING:

The original Hammond Residence was developed from a simple rectangular plan. Heritage homes had simple roof plans and elevational (façade) designs. The current contemporary trend to utilize a multiple gabled façade is not compatible with heritage buildings. Similarly, the trend to apply oversize traditional elements on a single façade is to be avoided. To create a harmonious streetscape, the infill residences should work together to achieve a larger composition. The visual focus should remain the Hammond Residence and not a series of competing façades vying for visual importance.

Heritage homes did not have garages. The façade should not be proportionally dominated by the mass of the garage. To overcome the dominance of the garage, it is recommended to set back the garage façade a minimum of 1.2 metres but preferably a car length or 5.4 metres.

Double garage doors are not recommended. Garage doors should be traditional carriage style and preferably wood with transom lights over a single or double paneled door.



STYLE:

Georgian plans are normally simple, symmetrical boxes with varying details and features. Due to the presence of a garage, the Georgian farm may be asymmetrical but the façade should remain balanced.



HAMMOND HOUSE 2625 HAMMOND ROAD

Georgian facades are designed as a series of bays with equal and sufficient space between windows. The Hammond Residence is a 3 bay design with a projecting centre bay. Windows are located on either side, creating a balance with the entrance as clearly the most important element of the façade.

Based on R4 lot size, it is recommended that houses be designed as 3 bay designs. It is unlikely that a 5 bay plan can be achieved based on the proposed width of the lots.

HIERARCHY & PROPORTION:

Windows:

The ground floor is the most important level of the house.

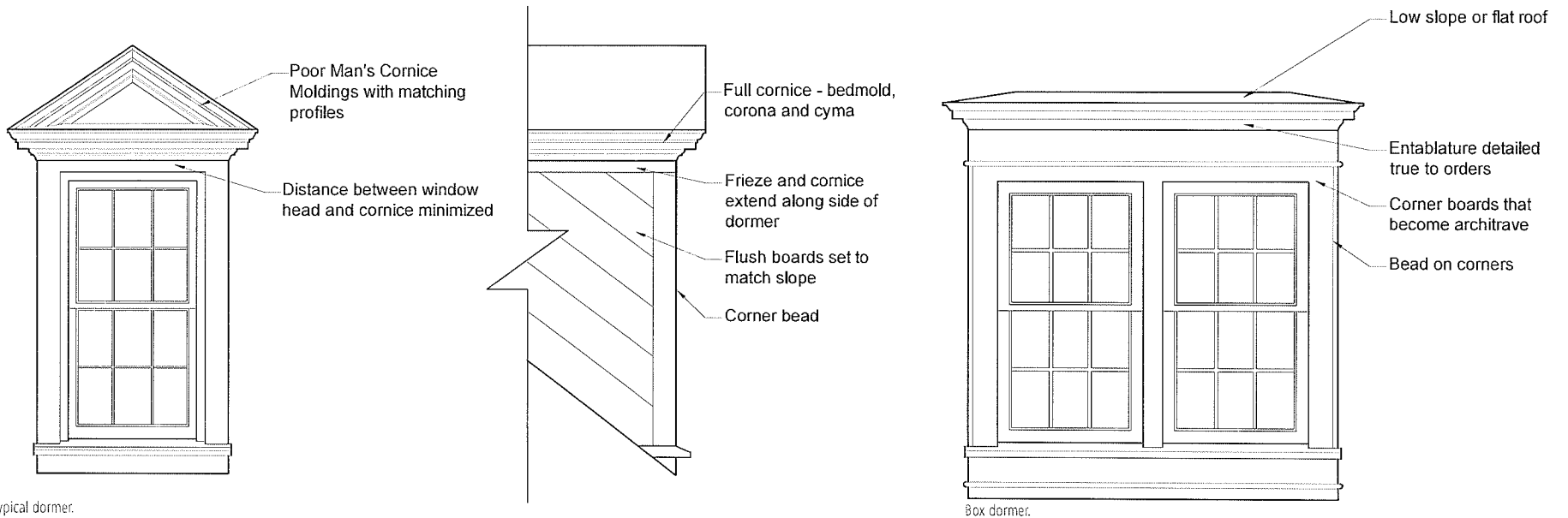
- Windows on the ground level in general should be taller than those on the second floor.
- The ground floor should have a higher ceiling height than the second floor or should appear visually to be taller. String courses should therefore not be halfway between the first and second floor but in general should be at the sill level of the second floor.
- Plinths, string courses or skirting at the transition between foundation and ground floor can be used to anchor and provide prominence and solidity to the ground level of the residence.
- The size, location, proportion and detailing of windows is critical to the appearance of the house.
- Window openings in a Georgian Style home should be 15% to 35% of the wall façade.
- Windows should be aligned vertically.
- Windows and the entrance door can either be equally spaced on the façade or the entrance can be provided with additional space either side to reflect its importance and the required space for increased trim, pilasters, columns or portico that will surround the front door.

- Windows at the corners of the façade should be equally spaced to the rooms interior for the benefit of the interior space and the ability to add quoins if desired.
- Historically large glass panels were expensive because they were difficult to make and could be broken on transport to the site, so windows were divided into smaller panels and divided by glazing bars known as muntins. The divisions in the windows provide both scale and texture to the façade.
- Both the windows and the glass panels should have a vertical proportion.
- Windows were generally not paired and in general this was avoided. When windows are ganged together they should be separated by a mullioned support – frequently the width of the window trim surrounding the window.
- Employ window forms and glazing patterns consistently.
- Avoid “wagon wheel” effect of large semi-circular windows that are out of scale with the windows below or with the rest of the house.
- Employ window profiles consistent with traditional window designs. The application of simulated divided lights is strongly recommended over grills between the glass that have no interior or exterior muntins outside of the glass.
- Employ casings and trim accurately. The Georgian Revival style in general employed simple details. Avoid over decoration.
- Typically, Georgian windows had sills or with wood siding that had both a sill and a skirt. Avoid trimming windows like a picture frame.
- Shutters on windows should be one half the width of the window.
- Operable shutters are preferable.

HAMMOND HOUSE 2625 HAMMOND ROAD

Dormers:

- Dormers add character and detail to the appearance of a house but if badly scaled or poorly detailed, they can detract dramatically.
- Typically dormers are oversized on contemporary homes or the windows are the wrong proportion. The window should largely fill the dormer and the sides of the dormer should not be substantially wider than the sidewalls. Their width should be sufficient to accommodate the width of the window trim in the interior.
- Dormers may have a gable, a hipped end or be shed style. Gables ends may have a simple bargeboard, a cornice and pediment or a broken pediment.



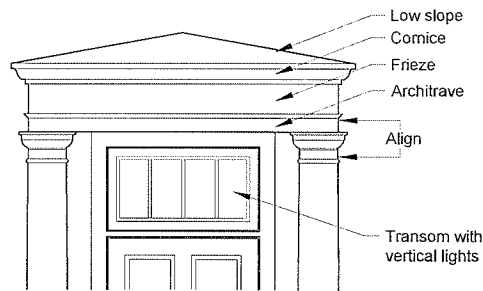
Typical dormer.

Box dormer.

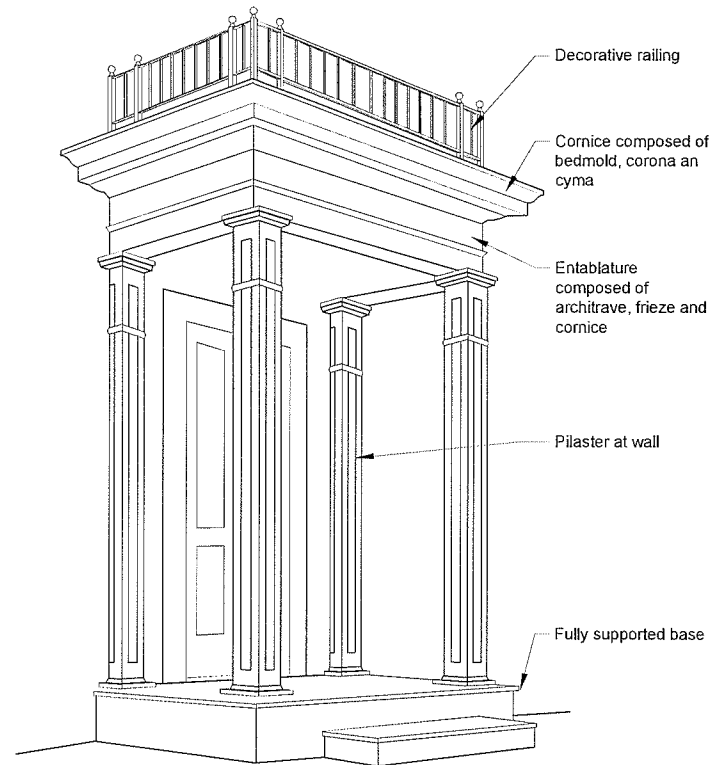
HAMMOND HOUSE 2625 HAMMOND ROAD

Entrance:

- The design of the entrance is one of the most important aspects of the design of the façade. The front door should be the focus of the façade design and its location should be clearly definable.
- The front door as a feature must be carefully designed. Individuality is important.
- The creation of a door surround is one means of creating individuality. Mouldings, pediments, pilasters, arches and canopies are some of the familiar means that can be employed.
- Sidelights and transom glazing can increase the size and visual importance of the front entry.
- Traditional paneled wood doors, stained or painted are recommended.
- The Hammond Residence combines a large portico entry with railing with symmetrical porches on either side.
- The use of a portico on some of the enclave houses is recommended; however, the scale must be appropriate to the width of the façade.



Typical Transom



Typical Entrance

HAMMOND HOUSE 2625 HAMMOND ROAD

Masonry:

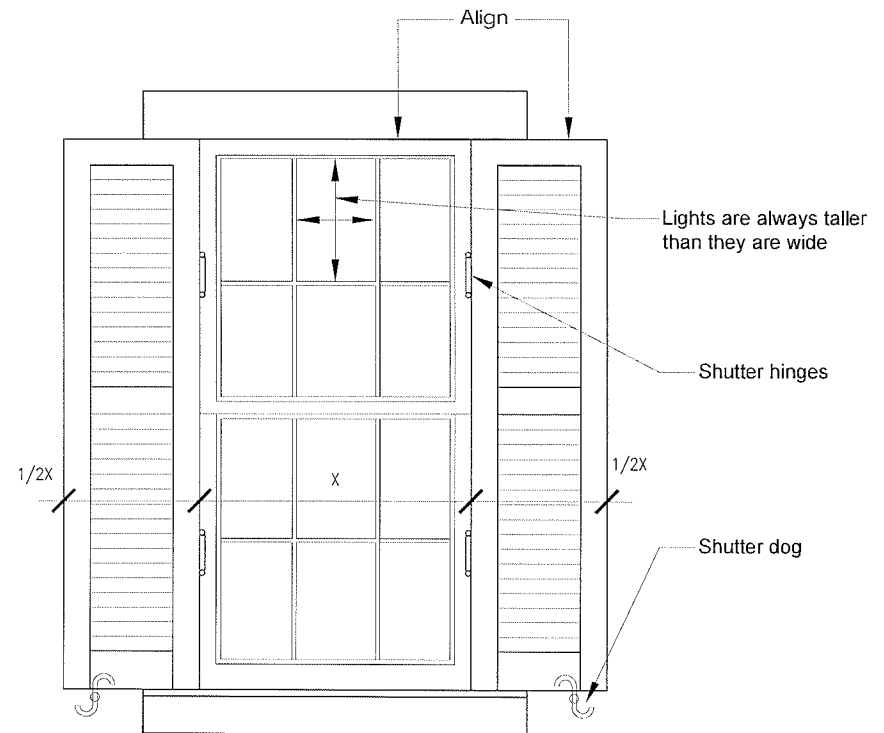
- Historic homes were not constructed of reclaimed brick. Avoid brick that has an applied surface texture or is “salted” with a coloured sand finish.
- Brick with a range of tones is acceptable.
- Smooth brick is preferable, including brick molded to create a more traditional handmade texture.
- Several of the homes in the enclave should match the Hammond Residence in colour, texture and mortar colour.
- Traditional mortars were lime based and were typically light in tone, usually a light buff. Grey Portland cement should be avoided.

Roofs:

- Roof slopes for a traditional Georgian home within the enclave should not be less than a 30% slope.
- Wood shakes and shingles are desirable but asphalt and fibreglass shingles would be acceptable.
- Layered or textured fibreglass/asphalt shingles can be effective. Colour for shingles is extremely important since they represent a large surface area of the house. In general, utilize cool colours i.e. greys, charcoals and taupes to offset the warm colours of the masonry.
- Half round gutters are preferable over ogee style gutters.

Mouldings:

- Mouldings and trim add detail to a traditional residential façade. They should be arranged according to rules for the particular style of house being followed so as to achieve a particular appearance.
- Mouldings were employed for specific reasons i.e. to create transition, provide support and provide effective joinery between different materials or between materials on different planes.
- Refer to pattern books and historical reference material for the arrangement and use of mouldings.



Typical example of a double hung window with shutters.

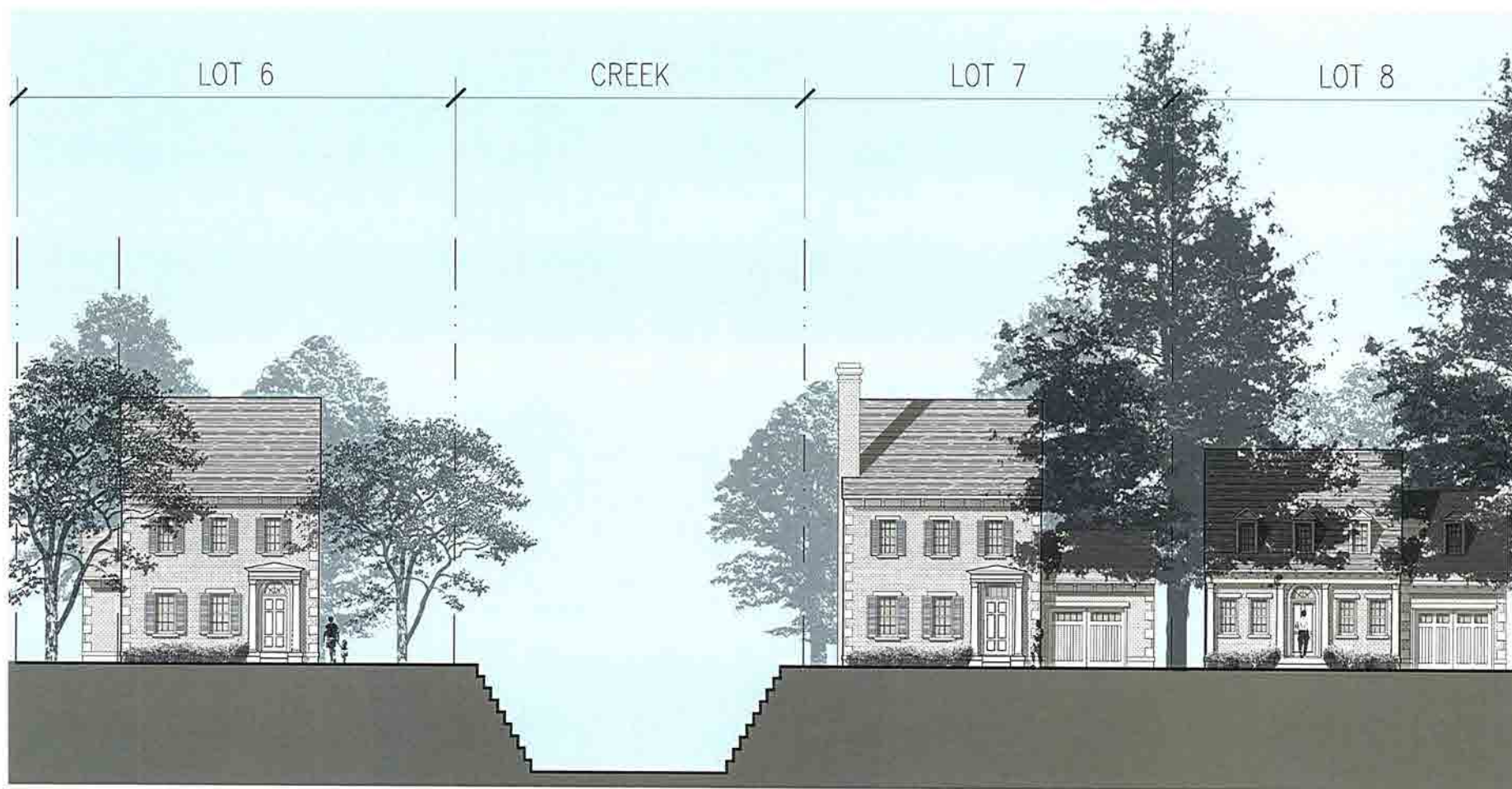
HAMMOND HOUSE 2625 HAMMOND ROAD

Streetscape Guidelines and Summary of Key Urban Design Issues:

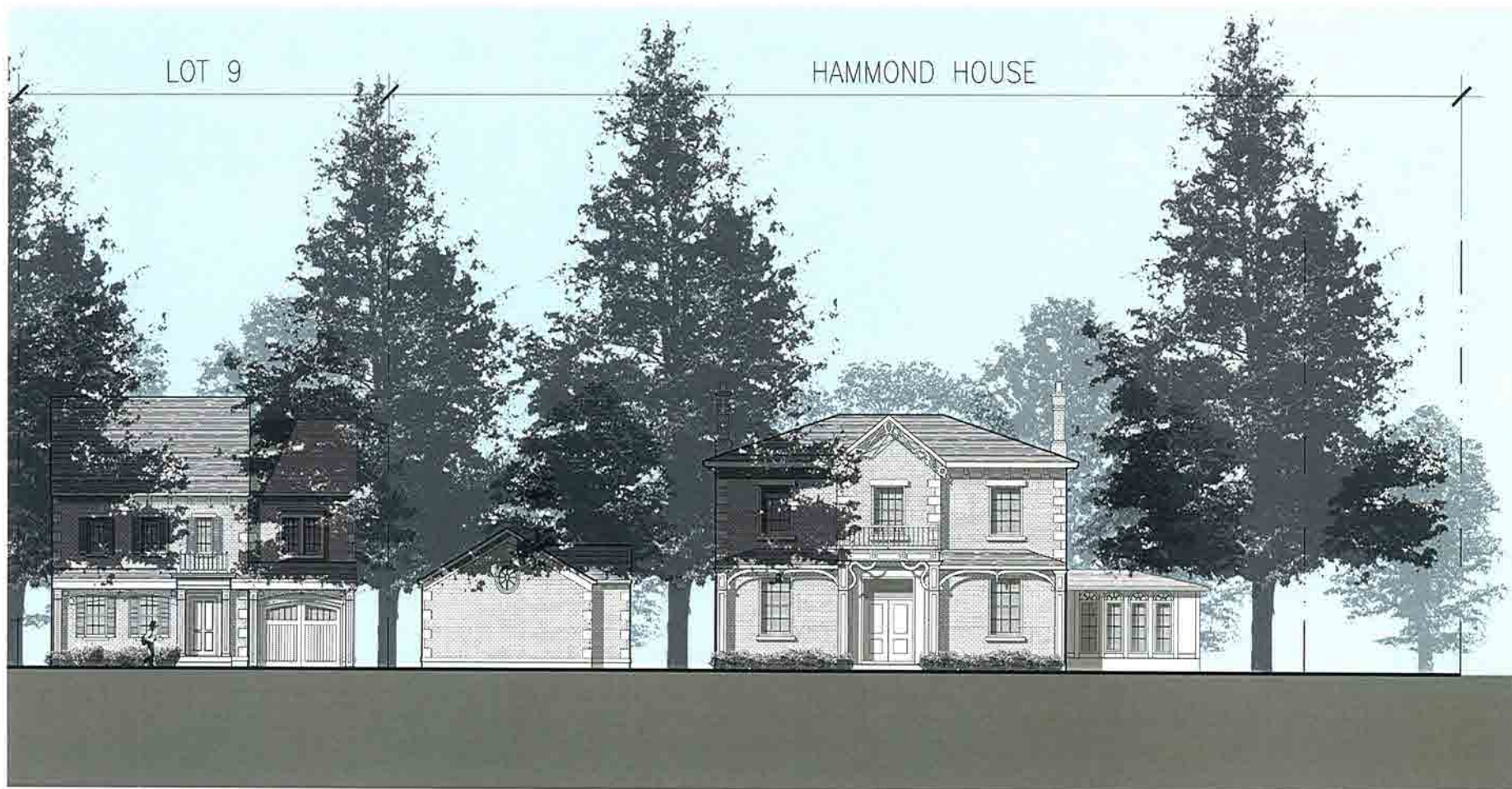
- The new residential development should employ the following guidelines based on the view that the infill development is an opportunity to upgrade the streetscape and overall fabric of the community as well as reinforce the heritage importance of the Hammond Residence.
- In addition to the setback requirements established in the applicable zoning by-law, consideration should be given to visually creating a seamless transition between existing Hammond Residence and the new homes.
- The main façade of the infill buildings and not the garages should align with the general façade line of its neighbours.
- As previously noted the visual impact of garages should be minimized. Placement of the garage to the rear of the lot or recessed from the front façade of the residential unit is recommended.
- The design of the garages must be coordinated with and be complementary to the historic style and design of the residences.
- The residential development should be sited and designed to differentiate between three streetscape zones:
 - 1) Public areas – the sidewalk, the boulevard and other areas accessible to the public and pedestrian passersby.
 - 2) Semi-private areas – the front yard, the pathway and the steps leading to the entranceway – areas largely visible to the public.
 - 4) Private areas – enclosed or screened areas which delineate from the private domain for the residences.
- Delineation of street edge (from public and semi-private access). The creation of a continuous street edge is desirable. The edge can be created by a variety of means: fencing, hedges, landscape planting, berms, grade changes, pillars and walls.
- The most important elevation of the proposed residential development is the street façade. The front elevation should contribute positively to the streetscape and work harmoniously with adjacent neighbouring units to form the Hammond Residence enclave.
- The development should be grade oriented.
- Residential development should have a human scale and be of a high design standard.
- The entrances to residential units should be oriented to and visible from the street.
- The building design should continue around the entire house as well as the heritage elements compatible with the style. (In other words, a Georgian façade should not appear as a contemporary rear elevation with sliding windows.) Since residents will spend most of their leisure time in their private rear yards, the appearance of the rear façade is important. The rear yard is the home's "outdoor living room". It is important in reinforcing the character and ambiance of the enclave as viewed from the neighbouring properties.
- Strong contrasts in colour should be avoided. It is preferable that colours be earth tones, blend harmoniously with the natural environment and be compatible with the Georgian style and period.

HAMMOND HOUSE 2625 HAMMOND ROAD

EXAMPLE OF PONTENTIAL STREETScape DESIGN

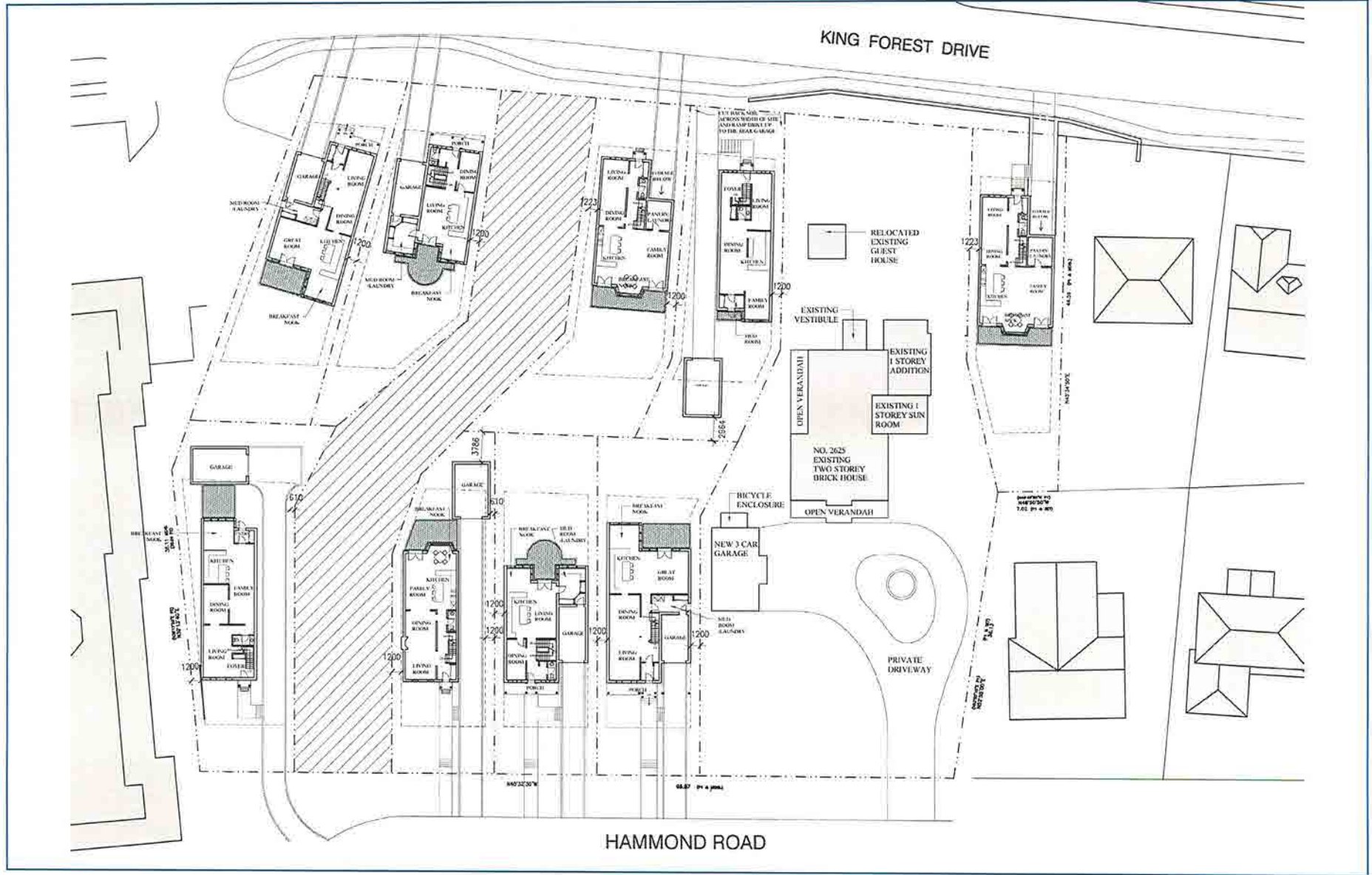


HAMMOND HOUSE 2625 HAMMOND ROAD



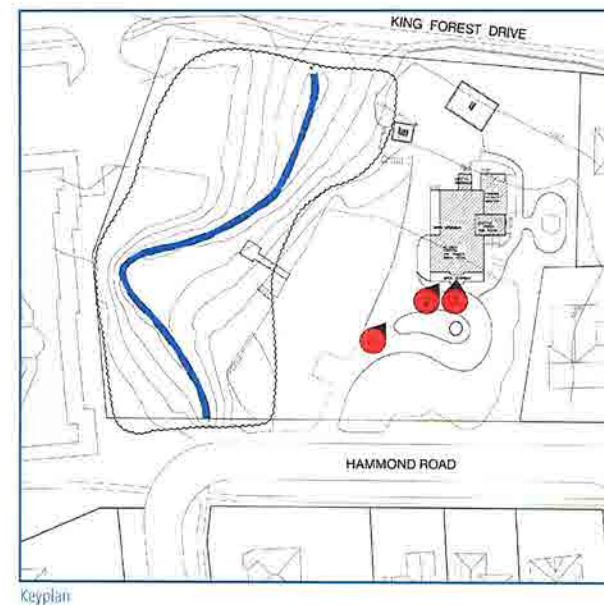
HAMMOND HOUSE 2625 HAMMOND ROAD

EXAMPLE OF PONTENTIAL SUBDIVISION AND UNIT DESIGN



HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



1. West façade and driveway, circular portion of the drive in front and the garage is behind the house.



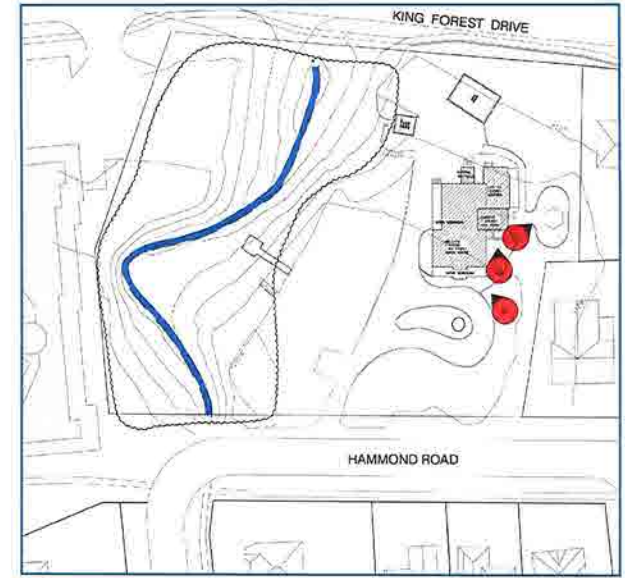
2. Recessed front door from the 50's was replaced by flush, glazed double doors.



3. Vergeboarding detail on gabled front entrance: The porch and railings are not original.

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



4. The main entrance at the west façade is highly symmetrical.



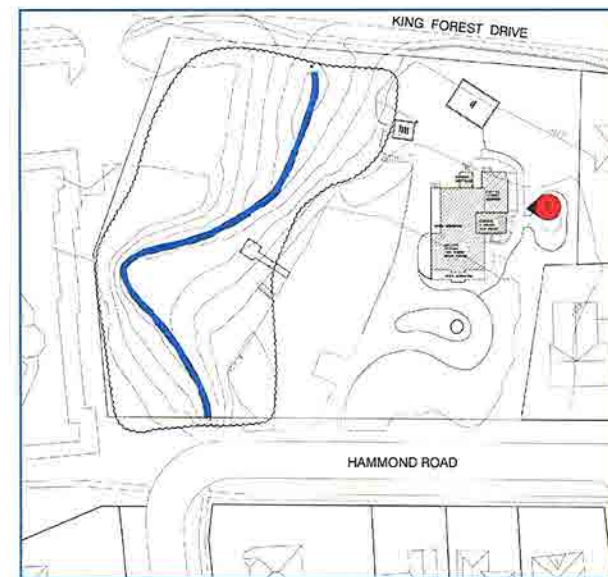
5. The addition on the south side of the building.



6. Garden on the south side of the building.

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



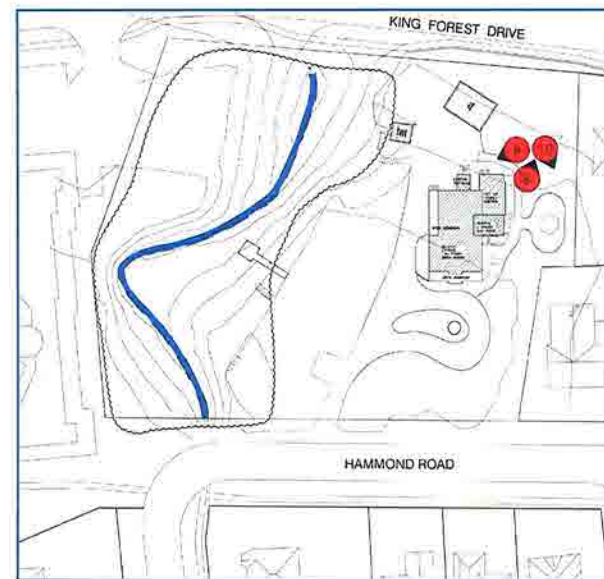
Keyplan



7. South façade

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



8. Backyard



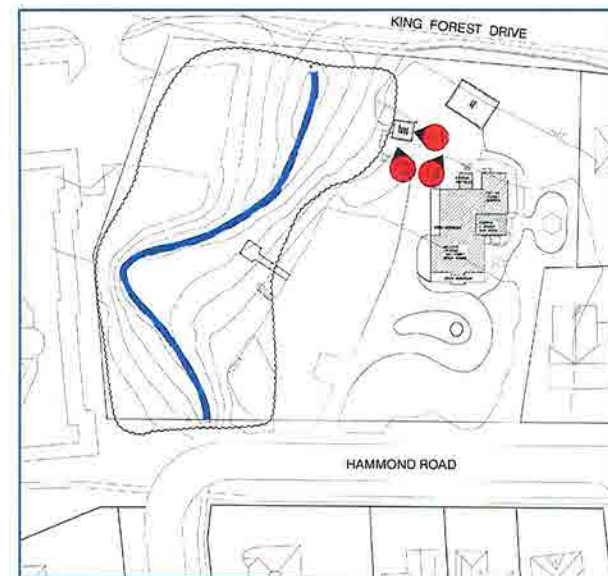
9. Addition on east side



10. Neighbouring property to the south

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



11. Small outbuilding



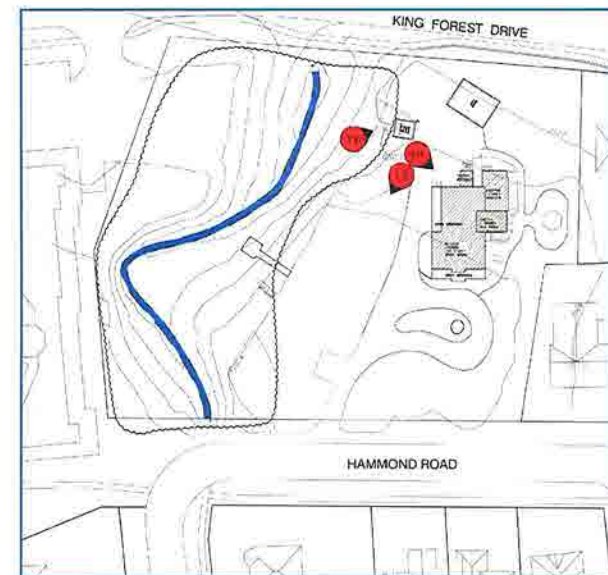
12. Round window on the west elevation of the outbuilding



13. Three car garage

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



14. Rounded windows with triangular carved stone lintel on the house



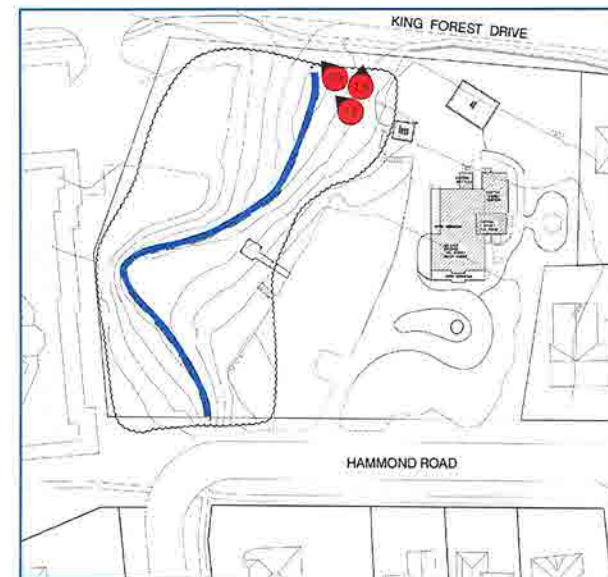
15. Open lawn on the north side of the building between the house and the creek.



16. North elevation of outbuilding

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



17. Storm drain as it passes underneath King Forest Drive on the east end of the property.



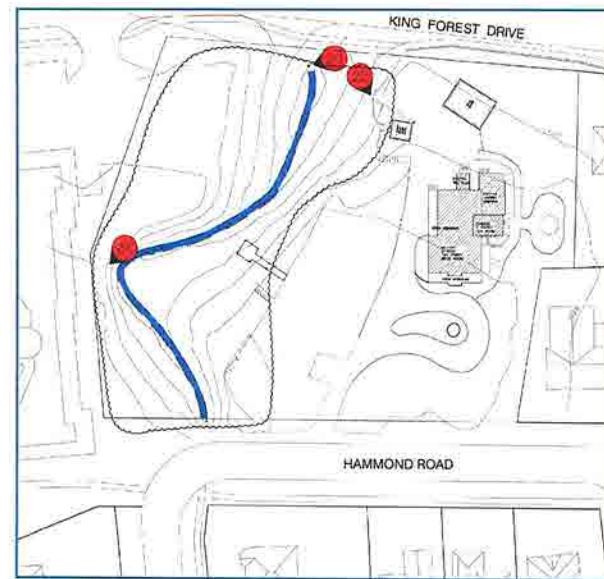
18. Small gate leading from the property onto King Forest Drive



19. Larger access gate between the property and King Forest Drive.

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



20. Catch basin located near where the creek meets King Forest Drive.



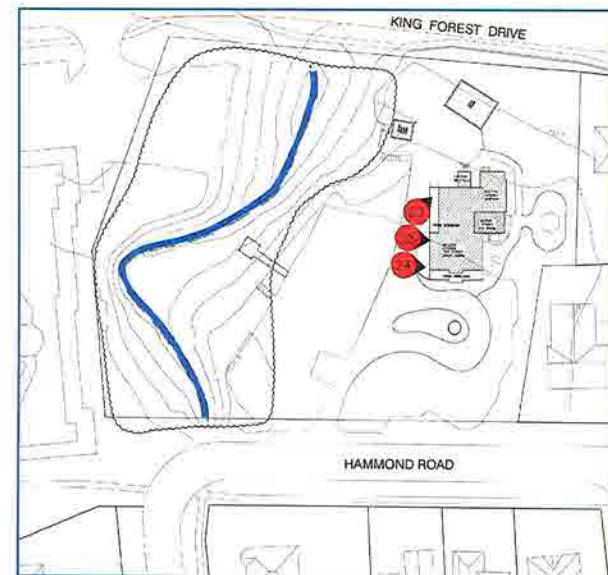
21. Fence at the north end of the property bordering on King Forest Shoppes



22. Concrete channel to carry runoff down to the creek. Located behind the outbuilding

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



23. Porch on north side of the house.



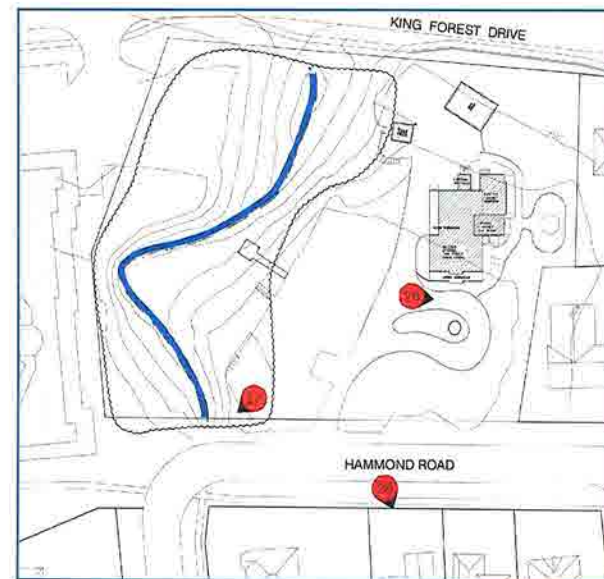
24. Stone quoins on the corners of the house. The windows have stone lintels and sills.



25. Brackets below the roof.

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



26. View of 2605 Hammond Road from circular drive of Hammond House



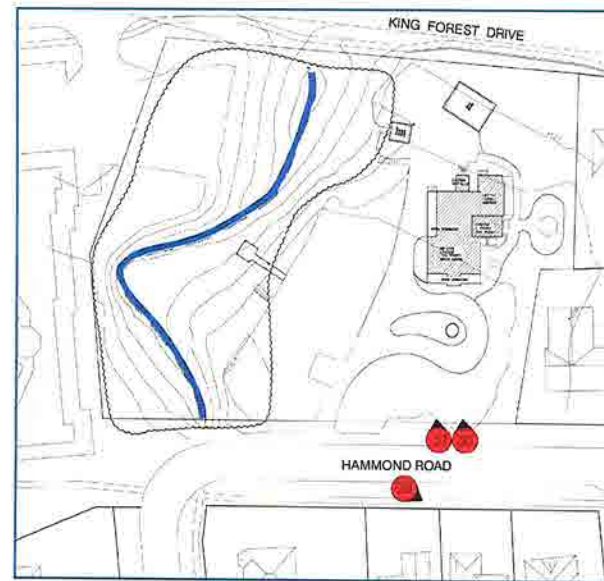
27. Storm drain as it passes under Hammond Road, unlike the one at the east end it has no cage.



28. 2616 Hammond Road

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



29. 2610 Hammond Road



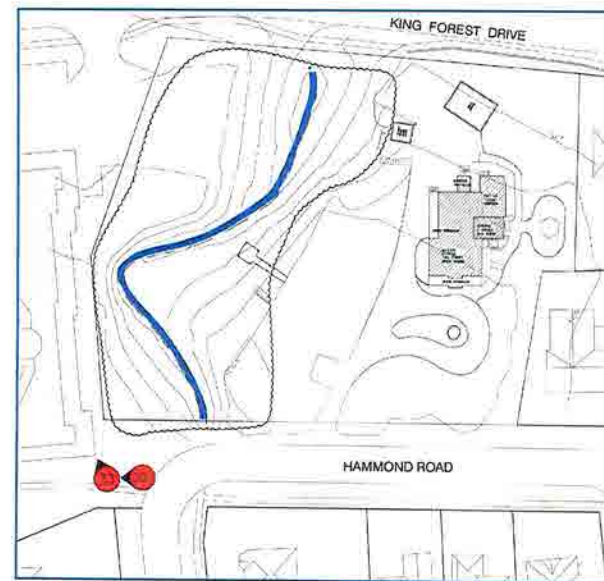
30. View from Hammond Road



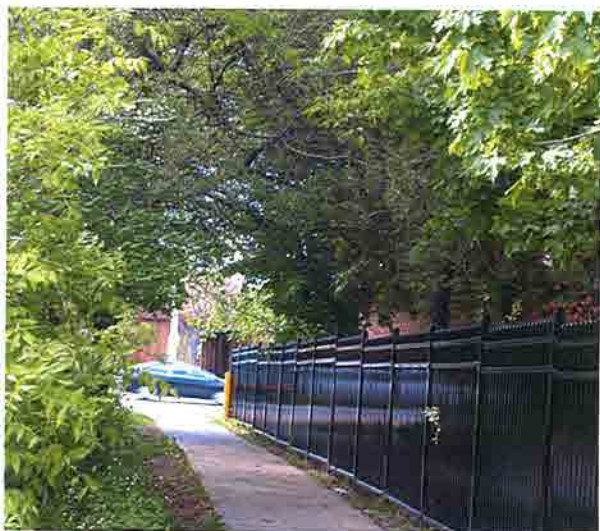
31. A number of trees on the site are diseased and are either dead or dying.

HAMMOND HOUSE 2625 HAMMOND ROAD

2625 HAMMOND ROAD



Keyplan



32. Walkway joining Hammond Road to King Forest Plaza and Dundas Street West.



33. Rear of King Forest Shoppes

APPENDIX

Hammond House Designation Report

THE HAMMOND HOUSE
2625 Hammond Road
Range I, S.D.S. Pt. Lt. 2

J. M. Halloran
Historian/Curator

REASONS FOR DESIGNATION

The Hammond House is recommended for designation on the architectural grounds that it is a good example of the early Italianate style of architecture with its ornately bracketted eaves, stone quoins, and roundheaded windows. It is believed to have been built in 1866 by Thomas Hammond, one of Erindale's early farmers.

HISTORICAL BACKGROUND

Land Title Search - Range 1, S.D.S. Pt. Lt. 2

6 May 1821 The Crown to Samuel Smith et al, all land - trust

B & S 5 August 1835 James B. Robinson to Henry Carpenter and Orangel Lawrence, all land - E200

Release 27 February 1840 Henry Carpenter to Orangel Lawrence, Release

Will 29 February 1844 Henry Carpenter

Will December 1880 Sarah A. Hammond (Née Carpenter) to T. M. Hammond. (Sarah Ann Carpenter was married to Oliver Hammond (1812-1874). They lived in Erindale and are buried in St. Peter's Cemetery. Sarah inherited the property on which the house now stands from her father in 1859. Oliver Hammond was a merchant and farmer.)

Sources: Ontario Archives, Abstract index to Deeds, Peel County, Toronto Township, and the Perkins Bull Collection, Families File.

Hammond House
Page 2

In the Assessment Rolls, 1865, both Oliver Hammond and his son, Thomas, are listed as living on the property by farming. The assessed value of their real and personal property was \$3,400.00.

Source: Ontario Archives, Assessment Rolls, Toronto Township

In all probability, both Oliver and Thomas were involved in the construction of the residence and outbuildings now know as Hammond House. One of the best known illustrations of the house is found in J. H. Pope's Illustrated Historical Atlas of The County of Peel (Toronto, 1877), p. 46, the caption reading, "Residence of the late Oliver Hammond Esq., Credit, Ontario." On page 17, there is a picture of Oliver Hammond.

PROF. J. MCILWRAITH

Hammond Residence

1.

This handsome two-storey house (Figure 1) is indicative of the maturity of the rural economy in the Credit River valley by the Confederation era. The style is a sequel to the storey-and-a-half design of the middle of the nineteenth century represented, interestingly, in the eastward extension of the house (Figures 3 and 5). The addition of wings to Ontario houses was common throughout the nineteenth century, as increasing wealth allowed for the additional investment. Although built all at one time, the Hammond house perpetuates this characteristic of Ontario housing.

The solid brick construction (as opposed to the more common brick veneer over frame) and use of tooled decorative stonework (for window lintels and groins, see Figure 5) are indications of the wealth of the original owner, a Captain Hammond, farmer. The Hammond house is not an architect-designed structure, however. Indeed, there is no known architect, and the design of the front portion gives every indication that this was a "pattern-book" house-- that is, a design copied from a catalogue readily available in local libraries of

2.

the day, or reprinted in newspapers. This was a very common practice after 1860, and the Hammond house is indicative of the impact of the process. A page from a pattern book is included for comparison (Figure 6).

The Hammond house is representative of the dwellings of well-to-do families in rural Ontario a century ago; the new Sherwood Forrest housing development, adjacent to it, displays the housing preference of well-to-do suburban families today. The parallel is striking, and enhances the interest of the entire district. The interest in full two-storey houses in Sherwood Forrest is clearly a revival of a traditional form, as suggested by the Hammond house; both old and new stand in instructive contrast with the ranch-style, energy-extravagant bungalows of the 1950's and 1960's, situated nearby along the western side of Hammond Road.

The somewhat elevated site and matching street ^{waive} confirms the Hammond house as the ~~part~~ ^{potentially} ~~part~~ ^{potentially} structure for the district, a distinguished element in an attractive area.

-2- 37223

NAME? Thomas M. Hammond LOT & CON.? Tor. Twp. 1st Range NDS
lot 12

CHILDREN (IF ANY) Please list as follows:
No Children

(1) Name (2) Date of birth (3) Place of residence
 (4) Date of death (5) Place of burial (6) To whom married

(1) Adopted son (2) (3) (4)
 (5) Jack, now living at Erindsale (6)

(1) (2) (3) (4)
 (5) (6)

(1) (2) (3) (4)
 (5) (6)

(1) (2) (3) (4)
 (5) (6)

(1) (2) (3) (4)
 (5) (6)

(1) (2) (3) (4)
 (5) (6)

(1) (2) (3) (4)
 (5) (6)

(1) (2) (3) (4)
 (5) (6)

ALSO OWNED:
Tor. Twp. 1st Range NDS lot 1, 1871 72 ac. | 2nd Range S. lot 2
1st Range SDS lot 2, 1880 | 1880
1st Range SDS lot 9, 1880 NE pt | 2nd Range S. lot 9
2nd Range S. lot 1, 1880 | 1880
 ANY FURTHER INFORMATION: | 2nd Range S. lot 10
 | 1880
 | Tor. Twp. SDS Con.
 | lot 32 200 ac. 18
 | Tor. Twp. SDS Con. 1
 | lot 33 S+ 1885

Information sheet on Thomas Hammond, covering his children and the property he owned. Found in the "Perkins Bull" documents from the Mississauga Central Library.

Mississauga - Historic Houses and Sites

Push is on to save home RIF

Mar. 22-78 MT

Another meeting is to be arranged to try to determine how the historic Hammond House at 2625 Hammond Rd. can be saved from demolition.

The owner of the house, R. Kowal, has applied for a demolition permit to remove the building. The city has refused the permit, but it has only until July 23 to prohibit the demolition. The municipality is trying to convince the owner either

to build a small subdivision incorporating the house or to make it into a restaurant.

There has been no response from Kowal to the proposals to date. The planning department feels that four lots, each with 75-foot frontages, may be accommodated on the land.

"He's going to go in there when the time period expires and demolish the house if we don't do something."

remarked Ward 2 Councillor Mary Helen Spence Monday at a meeting of the Local Architectural Conservation Advisory Committee (LACAC).

The committee has already designated the site for preservation under the Ontario Heritage Act.

LACAC called for a further meeting to take place with the owner, Ward 6 Councillor Fred Hooper and representatives from the planning department and LACAC.

Article from the Mississauga Times, March 22, 1978 found in Canadiana Room records for Hammond Family at the Mississauga Central Library.

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Perkins Bull Documents.

Historical Structures of Erindale. Alex Ford, July 2, 1976

The Hammond House Designation Report. J.M. Halloran

The Heritage Property Database. dmA Planning & Management Services, November 2007.

Hammond Family File. Canadiana Room, Local Archives, Mississauga Central Library, 2009

"Push is on to save home" *Mississauga Times*. March 22, 1978

DRAWINGS

Conceptual Site Plan Option 1. Gagnon & Law, June 01, 2010

IMAGES

"Portrait of Oliver Hammond" *Illustrated Historical Atlas of the County of Peel*. Originally Published by Toronto Walker & Miles, 1877; 2000 Edition Published by Wilson Publishing Company Ltd., Campbellford, Ontario

"Residence of the Late Oliver Hammond Esquire" *Illustrated Historical Atlas of the County of Peel*. Originally Published by Toronto Walker & Miles, 1877; 2000 Edition Published by Wilson Publishing Company Ltd., Campbellford, Ontario

"Map of the Southern Hale Toronto Township" *Illustrated Historical Atlas of the County of Peel*. Originally Published by Toronto Walker & Miles, 1877; 2000 Edition Published by Wilson Publishing Company Ltd., Campbellford, Ontario

Mississauga Image Gallery, Historic Images Gallery <www.mississauga.ca/portal/residents/allhistoricimages>

Google Maps, 2009 Google <<http://maps.google.ca>>