



Indwell



# About Us

- For 50 years, Indwell has been providing **supportive housing** that transforms lives.
- Every door we open together becomes a **solution to homelessness**.
- Empower tenants to achieve **health and wellness** goals, and to constructively **engage with their communities**.



HOPE & HOMES FOR ALL





# Our Solution

## REAL AFFORDABILITY

- Rent reflects income
- Long term stability
- Low utility costs

## MISSISSAUGA RENTS (1 Bdrm)

Average Market Rent: \$1,627

Indwell Rent: \$600 (33%)

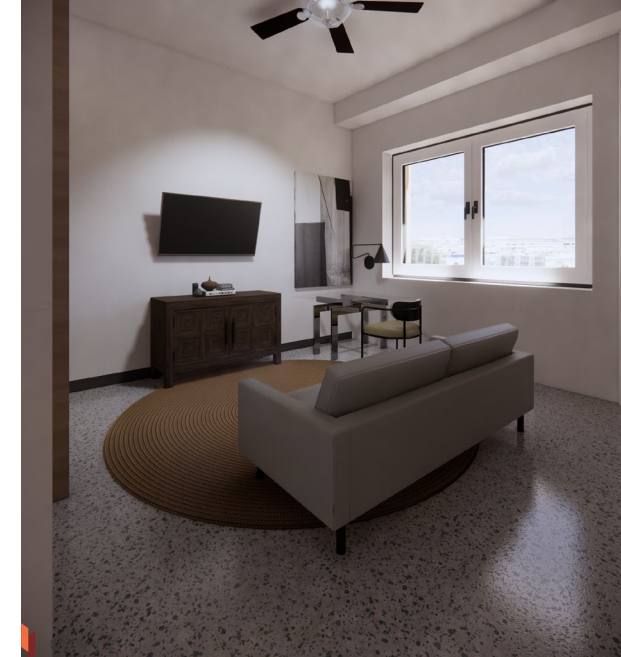
## Centralized Waiting List

Region of Peel – 32,329 people

City of Mississauga – 12,846 people







## 1639 Lakeshore:

- 51 units – 1&2 bedrooms
- Ground floor commercial
- Onsite supports
- Tenant amenity
- Passive House Design
- Native landscaping restoration

# PIL Application

## Evaluation Criteria:

- Whether the existing parking supply in the surrounding area can accommodate on site parking deficiencies?
- What site constraints prevent the provision of the required number of parking spaces?
- The proposed use of the property, and whether there is any issue as to overdevelopment of the site?
- Consistency with and/or advancement of environmental, design, transportation or economic development objectives and policies of Mississauga's Official Plan.
- Consistency with the objectives of a City Council endorsed parking strategy relevant to the subject location.

The logo for Indwell is located in the bottom right corner. It consists of the word "Indwell" in a white, sans-serif font, positioned to the left of a white icon. The icon is a stylized representation of a house or a window, with a white outline and a white fill, set against a green background that is part of a larger graphic element.

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# BY-LAW 0225-2007 REQUIREMENTS

TABLE 1. BY-LAW 0225-2007 PARKING REQUIREMENTS AND REQUESTED PIL SPACES

Category	# of Units	Parking Requirements	Required Parking Stalls	On-site Parking	Requested PIL Spaces
Tenant Parking	51	0.6 stall/ unit	31	13	18
Visitor Parking	51	0.20 stall/unit	10	4	6
Commercial Parking	N/A	Greater of: 3 spaces per 100 m2 retail GFA; or # of required visitor parking	0 (3 required spaces covered through visitor parking)	Satisfied through a shared arrangement with visitor parking (10 spaces, greater than 3 required retail parking spaces)	0
<b>TOTAL</b>			<b>41</b>	<b>17</b>	<b>24</b>



# Indwell Parking Data (Residential)

TABLE 2: INDWELL TENANT VEHICLE OWNERSHIP, APRIL 2024

PROPERTY NAME	LOCATION	NUMBER OF UNITS	TENANT CAR OWNERSHIP	TENANT PARKING RATIO
Lakeshore Lofts	Port Credit	68	18	0.26
Rudy Hulst Commons	Hamilton	47	4	0.08
Caroline Apartments	Hamilton	41	8	0.19
Prinzen Flats	Hamilton	42	10	0.23
<b>TOTAL</b>		<b>198</b>	<b>40</b>	<b>0.20</b>





# Indwell Parking Data (Visitor)

TABLE 3: INDWELL PROXY SITES VISITOR PARKING RATIOS

PROPERTY NAME	LOCATION	NUMBER OF UNITS	TENANT CAR OWNERSHIP	TENANT PARKING RATIO	VISITOR SPOTS	VISITOR RATIO
Lakeshore Lofts	Port Credit	68	18	0.26	3	0.04
Rudy Hulst Commons	Hamilton	47	4	0.08	0	0
Caroline Apartments	Hamilton	41	8	0.19	4	0.09
Prinzen Flats	Hamilton	42	10	0.23	2	0.04

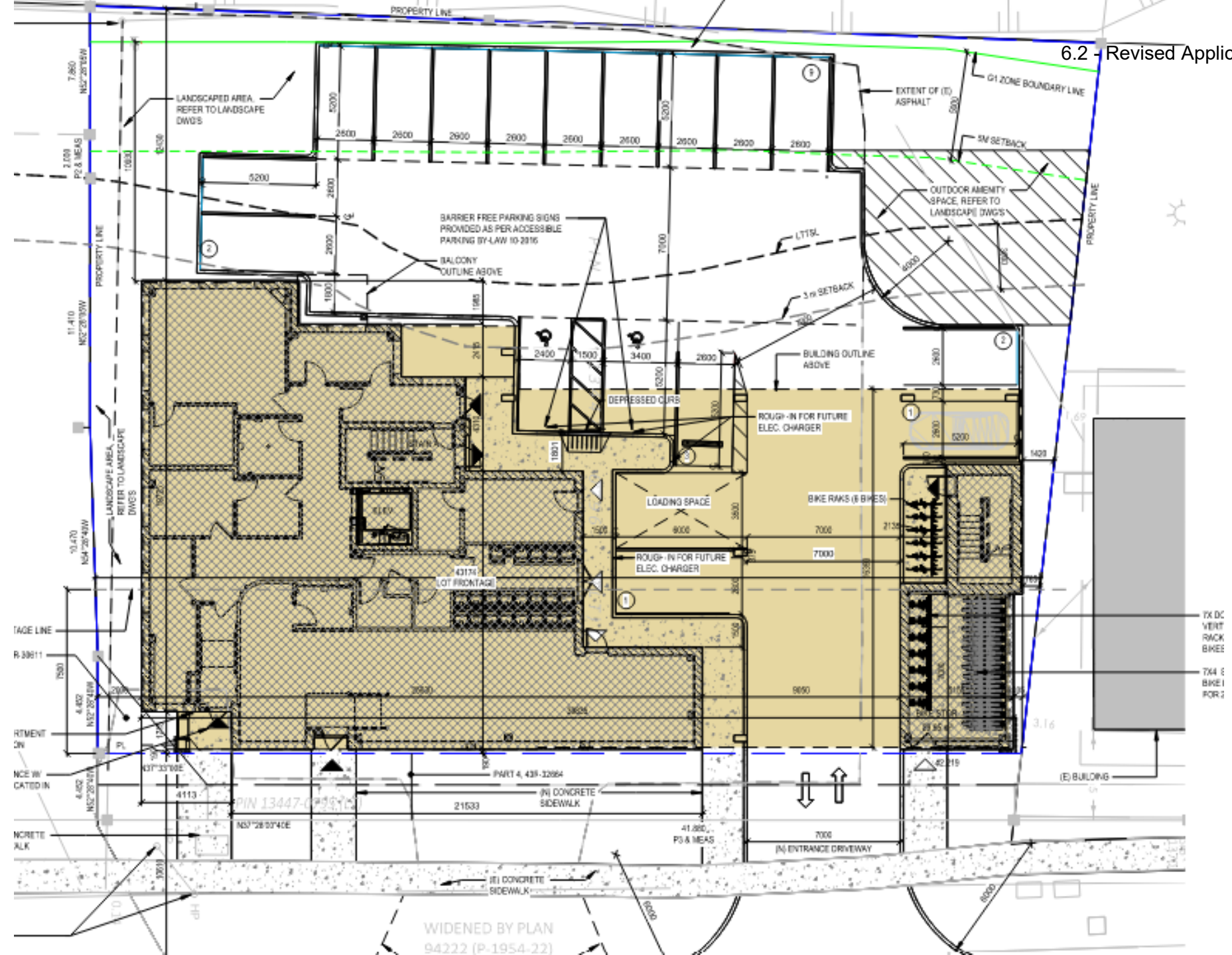


# Indwell Parking Data (Commercial)

TABLE 4: Indwell Small Commercial Tenants On-site Parking Spaces

PROPERTY NAME	LOCATION	COMMERCIAL TENANT	COMMERCIAL SPACE SIZE (SQ METERS)	PARKING SPACES PROVIDED
Embassy Commons	London	Pharmasave Pharmacy	56	0
Embassy Commons	London	Edgar and Joes Restaurant	122	0
Embassy Commons	London	Squeaky Wheel Bike Shop	88	0
Dogwood Suites	Simcoe	ACTT TEAM	68	1
McQuesten Lofts	Hamilton	Hamilton Public Library	145	0
Parkdale Landing	Hamilton	Variety Store	164	0





WIDENED BY PLAN 94222 (P-1954-22)