

PROJECT
1050 OLD DERRY RD
MISSISSAUGA
ON L5W 1A1

CLIENT
Owner



ARCHITECTURAL SHEET LIST			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision
A0-000	COVER	07/19/23	01
A0-001	SITE STATISTICS	07/19/23	02
A0-002	SITE PLAN	07/19/23	02
A0-003	FLOOR AREA PLAN	07/19/23	02
A0-004	CONSTRUCTION NOTES	07/19/23	02
A1-001	PROPOSED BASEMENT FLOOR PLAN	07/19/23	02
A1-002	PROPOSED GROUND FLOOR PLAN	07/19/23	02
A1-003	ROOF FLOOR PLAN	07/19/23	02
A2-001	PROPOSED NORTH & SOUTH ELEVATION	07/19/23	02
A2-002	PROPOSED EAST & WEST ELEVATION	07/19/23	02
A3-001	PROPOSED SECTION	07/19/23	01
A4-001	DOOR & WINDOW SCHEDULE	07/19/23	01
A4-002	DETAILS	07/19/23	01

Grand total: 13



REVISIONS

No.	Description	Date
01	ISSUED FOR CLIENT	2023-07-19

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CONSULTANTS




TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
COVER

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted	DATE 07/19/23
PN 	GRAPHIC SCALE
PROJECT NO. 230122	
STAGE ZC	DRAWING NO. A0-000
LOCATION MISSISSAUGA	REVISION 01

PROJECT
**1050 OLD DERRY RD
MISSISSAUGA
ON L5W 1A1**

CLIENT
Owner



REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
01	ISSUED FOR CLIENT	2023-07-19

SURVEY NOTE

- BUILDER / GENERAL CONTRACTOR MUST RETAIN THE SERVICES OF A PROFESSIONAL SURVEYOR FOR THE STAKING OUT OF NEW FOUNDATIONS. SURVEYOR MUST BE GIVEN 72 HOURS NOTICE BEFORE BEING REQUIRED ON SITE.

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DRAWING TITLE
SITE STATISTICS

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 12" = 1'-0"	DATE 07/19/23

GRAPHIC SCALE



PROJECT NO. 230122

STAGE **ZC** DRAWING NO. **A0-001**

LOCATION MISSISSAUGA REVISION **02**

FIRM NAME: QBS ARCHITECTS INC. 1670 BAYVIEW AVENUE, SUITE 401 TORONTO, ON M4G 3C2
CERTIFICATE OF PRACTICE NUMBER: 5235
NAME OF PROJECT: 230122
LOCATION: 1050 OLD DERRY RD MISSISSAUGA

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN.

ONTARIO'S BUILDING CODE DATA MATRIX PART 9 RESIDENTIAL

PROJECT DESCRIPTION: NEW PART 11 PART 3 PART 9

MAJOR OCCUPANCY(S): GROUP C RESIDENTIAL OCCUPANCY

BUILDING AREA (m²): EXISTING: 99 NEW: 118.26

GROSS AREA (m²): EXISTING: 99 NEW: 118.26

NUMBER OF STOREYS: ABOVE GRADE: 1 BELOW GRADE: 1

BUILDING CLASSIFICATION: 3.2.2.20-83

SPRINKLER SYSTEM PROPOSED: ENTIRE BUILDING SELECTED COMPARTMENTS SELECTED FLOOR AREAS BASEMENT ONLY IN LIEU OF ROOF RATING

STANDPIPE REQUIRED: YES NO

FIRE ALARM REQUIRED: YES NO

WATER SERVICE/SUPPLY IS ADEQUATE: YES (MUNICIPAL) NO

HIGH BUILDING: YES NO

CONSTRUCTION RESTRICTIONS: NON-COMBUSTIBLE PERMITTED COMBUSTIBLE REQUIRED BOTH

ACTUAL CONSTRUCTION: NON-COMBUSTIBLE COMBUSTIBLE

MEZZANINE(S) AREA (m²): N/A

OCCUPANT LOAD BASES ON: #PERSON DESIGN OF BUILDING

BASEMENT: OCCUPANCY_C LOAD_2 PERSONS

1st FLOOR: OCCUPANCY_C LOAD_4 PERSONS

2nd FLOOR: OCCUPANCY_ LOAD_ PERSONS

3rd FLOOR: OCCUPANCY_ LOAD_ PERSONS

ROOF: OCCUPANCY_ LOAD_ PERSONS

BARRIER-FREE DESIGN: YES NO (EXPLAIN BUILDING IS A HOUSE (EXEMPT))

HAZARDOUS SUBSTANCES: YES NO

REQUIRED FIRE RESISTANCE RATING (FRR): HORIZONTAL ASSEMBLIES FRR (HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2)

FLOORS: 0 HOURS

ROOF: 0 HOURS

MEZZANINE: N/A HOURS

FRR OF SUPPORTING MEMBERS: LISTED DESIGN NO. OR DESCRIPTION (SG-2)

FLOORS: 0 HOURS

ROOF: 0 HOURS

MEZZANINE: N/A HOURS

SPATIAL SEPERATION- CONSTRUCTION OF EXTERIOR WALLS

WALL	AREA OF E.B.F. (sq.ft) (sq.m)	L.D. (ft) (m)	L.H. OR H.L. (ft) (m)	PERMITTED MAX % OF OPENINGS (sq.ft) (%)	PROPOSED % OF OPENINGS (sq.ft) (%)	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-C. CLADDING	NON-COMB. CONSTR.
FRONT	EXISTING TO REMAIN							<input checked="" type="checkbox"/>		
SIDE (NORTH)	EXISTING TO REMAIN							<input checked="" type="checkbox"/>		
REAR	39.97	3.7	49.21	15	100%			<input checked="" type="checkbox"/>		
SIDE (SOUTH)	92.89	8.63	65.77	17	100%			<input checked="" type="checkbox"/>		

NEW BY-LAW

ZONING INFORMATION FOR 1050 OLD DERRY RD MISSISSAUGA

ZONING	(sq.m)	(sq.ft)
ZONING: RD1 (RESIDENTIAL DETACHED) R 01-32	1050	11302
MINIMUM LOT AREA	350	4000.25
ALLOWABLE COVERAGE: 35%	-	-
ALLOWABLE FSI: -	-	-
EXISTING LOT AREA:	1520 m²	16357 SF
EXISTING BASEMENT FLOOR:	104 m²	1110 SF
EXISTING GROUND FLOOR:	99 m²	1066 SF
EXISTING TOTAL GFA:	99	1066
EXISTING FSI:	99	1066
EXISTING TOTAL COVERAGE: 6.5%		
PROPOSED BASEMENT FLOOR:	EXISTING TO REMAIN	
PROPOSED GROUND FLOOR:	118.26 m²	1273 SF
PROPOSED TOTAL GFA:	118.26 m²	1273 SF
PROPOSED FSI:	118.26 m²	1273 SF
PROPOSED TOTAL COVERAGE: 7.76%		

SETBACKS	ALLOWABLE	EXISTING	PROPOSED
	(m)	(ft)	(m)
FRONT:	9	29.52	7.67
REAR:	7.6	24.8	18.84
SIDE (NORTH):	3.9	12.91	11.40
SIDE (SOUTH):	3.9	12.91	17.71
BUILDING HEIGHT:	7.9	24.90	6.91
BUILDING LENGTH:	-	-	39.40
LOT FRONTAGE:	22.25	72.99	39.40
MAXIMUM HEIGHT OF SPECIFIED PARTS OF MAIN WALLS:	-	-	-
PARKING:	-	-	-
SPACE:	-	-	-

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE 2012 OBC, AS AMENDED.
- ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE PROJECT.
- REPORT IN WRITING ALL DISCOVERED ERRORS OR OMISSIONS TO THE ARCHITECT AT ONCE.
- DO NOT SCALE DRAWINGS. USE LATEST SCALE DRAWINGS ONLY.
- CONTRACTOR TO VERIFY ALL VERTICAL AND HORIZONTAL SITE DIMENSIONS PRIOR TO COMMENCING WORK - INCLUDING EXTERIOR LANDSCAPING DIMENSIONS.
- CONTRACTOR TO PROVIDE PLYWOOD HOARDING AROUND THE PERIMETER OF THE JOB SITE BETWEEN THE PROPOSED NEW STRUCTURE TO THE PROPERTY LINE. IF ADDITIONAL STAGING/STORAGE AREA IS REQUIRED, CONTRACTOR TO APPLY FOR PERMIT TO BUILD HOARDING ON CITY PROPERTY. IN LIEU OF PLYWOOD HOARDING, A 7'-0" HIGH CHAIN LINK FENCE BY "FAST FENCE" OR EQUAL IS TO BE USED.
- SITE MUST BE SAFE AND SECURE AT ALL TIMES. CONTRACTOR RESPONSIBLE FOR LOCKING THE CONSTRUCTION GATE NIGHTLY.
- CONTRACTOR MUST POST "NO TRESPASSING" AND "DANGER-CONSTRUCTION AREA" SIGNS AS WELL AS ANY OTHER SIGNS REQUIRED BY ANY GOVERNING BODY, G. HEALTH AND SAFETY, ETC.
- EXISTING GRADE DIMENSIONS DISTURBED DURING CONSTRUCTION TO BE MAINTAINED UNLESS OTHERWISE NOTED ON LOT DRAINAGE PLAN. ALL BACKFILL MUST BE EVELED. ADD 4" TOPSOIL AND SOD IN ALL AREAS DISTURBED DURING CONSTRUCTION.
- REPAIRS TO EXISTING LANDSCAPING - USE TRIPLE MIX SOIL AT ALL PLANTING BEDS.
- REFER TO ARBORIST REPORT (WHERE APPLICABLE) FOR SPECIAL INSTRUCTION REGARDING EXCAVATION / CONSTRUCTION IN PROXIMITY TO MATURE TREES.
- EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
- ENSURE ADEQUATE BRACING OF FOUNDATION WALLS PRIOR TO BACKFILLING.
- ALL STRUCTURAL WOOD TO BE #2 SPRUCE OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE POSTS UNDER ALL BEAMS / GIRDER TRUSSES, ETC. POSTS TO RUN CONTINUOUS TO FOUNDATION OR EQUIVALENT SUPPORT.
- ALL STUMPS, ROOTS AND OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL TO A MIN. DEPTH OF 12" IN UNEXCAVATED AREAS UNDER A BUILDING. WOOD DEBRIS REMOVAL SHALL EXTEND 2'-0" MIN. BEYOND THE PERIMETER OF THE BUILDING.
- ALL WOOD SCRAPS AND FORMS SHALL BE REMOVED FROM AROUND THE FOUNDATIONS BEFORE BACKFILLING AND FROM UNDER EXTERIOR STEPS OR PORCHES BEFORE CONSTRUCTION IS COMPLETED.
- ALL EXISTING SURFACES ADJACENT TO NEW CONSTRUCTION AND THROUGH WHICH CONSTRUCTION MATERIALS AND CONTRACTOR'S FORCES MOVE ARE TO BE PROTECTED.
- PROVIDE TEMPORARY DUST BARRIERS AS REQUIRED TO MAINTAIN DUST FREE ENVIRONMENT FOR ALL BUILDING AREAS OCCUPIED BY OWNER / TENANTS.
- CONTRACTOR SHALL MAINTAIN THE JOB SITE AND WORK IN A TIDY CONDITION. DAILY CLEAN UP OF JOB SITE IS REQUIRED.
- REMOVE ALL CONSTRUCTION DEBRIS FROM SITE UNLESS OTHERWISE NOTED. ALL WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE WHICH IS IN DIRECT CONTACT WITH SOIL IS TO BE SEPARATED FROM CONCRETE WITH DAMP PROOFING MATERIAL (9.23.2.3 OBC)
- GARAGE ACCESS DOOR TO BUILDING TO BE CW SELF CLOSURE MECHANISM AND GAS TIGHT.
- ALL WINDOWS LOCATED WITHIN 67" FROM GRADE, SHALL CONFORM TO CLAUSE 10.13 OF CSA STANDARD A440-M90 AND 9.7.6.1 OBC (RESISTANCE TO FORCED ENTRY). SUPPLY AND INSTALL 6" SMOOTH CUT LIMESTONE THRESHOLD / SILL AT ALL EXTERIOR DOORS / WINDOWS (INCLUDING BASEMENT).
- ALL GUARD RAILS ARE TO SUSTAIN MINIMUM LOADING AS PER OBC 4.1.10.1 AND 9.8.8 FOR HEIGHT AND SPACING OF PICKETS. HANDRAILS AND TO CONFIRM WITH 9.8.8 OBC.
- ALL INTERIOR TRIM TO BE POPLAR (PAINT) UNLESS OTHERWISE NOTED. EXTERIOR TRIM TO BE #1 CLEAR PINE (PAINT). NOTE: USE KILN ON ALL KNOTS PRIOR TO PRIMER COAT. ALL WOOD TO BE KEPT DRY AND MUST NOT BE PAINTED IN TEMPERATURES OF LESS THAN 10 DEGREES CELSIUS.
- ALL TRIM TO BE PRE-PAINTED (PRIMER + ONE COAT) PRIOR TO INSTALLATION.
- CONTRACTOR MUST RECEIVE PERMISSION FROM OWNER PRIOR TO INSTALLATION OF JOB SIGN.
- SEE INSTRUCTIONS TO CONTRACTOR FOR ADDITIONAL SPECIFICATIONS AND CASH ALLOWANCES.
- CONTRACTOR TO USE FLEXIBLE CORNER BEAD AT ALL RADIUS DRYWALL EDGES.
- THESE WORKING DRAWINGS ARE BASED ON "MEASURED DRAWINGS" OF THE EXISTING BUILDING, NOT "RECORD DRAWINGS", WHICH ARE THE ORIGINAL CONSTRUCTION DRAWINGS REVISED TO REFLECT "AS BUILT" CONDITIONS. MEASUREMENTS HAVE BEEN TAKEN TO EXTERIOR SURFACES ONLY, AND EXCEPT WHERE NOTED NO ATTEMPT HAS BEEN MADE TO VERIFY HIDDEN CONDITIONS.
- NO REPRESENTATION IS MADE THAT THE BUILDING CONFORMS TO ANY CODE REQUIREMENTS, OR ANY CONSTRUCTION DRAWINGS THAT MAY HAVE BEEN PREPARED BY OTHERS.

ELECTRICAL SYSTEM

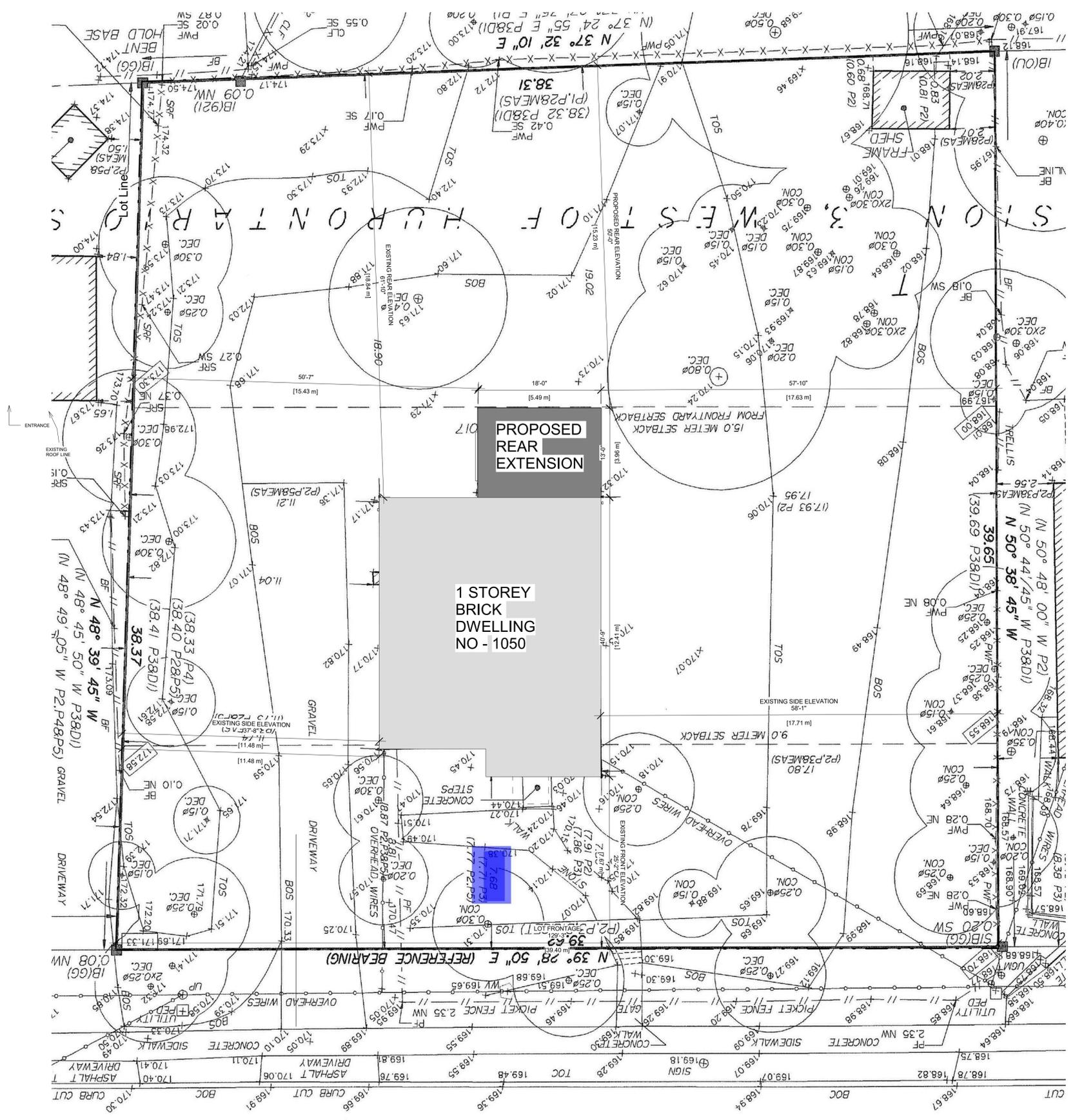
- CONTRACTOR TO COORDINATE STRUCTURAL JOISTS AND STUD LAYOUTS TO ACCOMMODATE THE ELECTRICAL POTLIGHTS, ETC. LOCATIONS.
- NOTE: REPORT ANY LAYOUT DISCREPANCIES TO THE ARCHITECT PRIOR TO THE INSTALLATION.
- SEE ALSO ATTACHED REFLECTED CEILING PLANS AND ELECTRICAL SPECIFICATIONS.
- CONTRACTOR TO INSTALL APPROVED ELECTRICAL PANEL(S) OF ADEQUATE SIZE TO HANDLE ALL ELECTRICAL REQUIREMENTS.
- CONTRACTOR TO ENSURE EXISTING ELECTRICAL PANEL(S) IS ADEQUATE TO SERVE BOTH EXISTING AND PROPOSED ADDITIONS POWER REQUIREMENTS.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ONTARIO HYDRO PERMIT.

SURVEY NOTE

- BUILDER / GENERAL CONTRACTOR MUST RETAIN THE SERVICES OF A PROFESSIONAL SURVEYOR FOR THE STAKING OUT OF NEW FOUNDATIONS. SURVEYOR MUST BE GIVEN 72 HOURS NOTICE BEFORE BEING REQUIRED ON SITE.

TO BEGIN DEMOLITION/CONSTRUCTION:

- SITE FENCING- BUILDER / GENERAL CONTRACTOR MUST ENCLOSE ENTIRE SITE WITH A FENCE THAT IS IN COMPLIANCE WITH THE CITY OF TORONTO MUNICIPAL CODE CHAPTER 363, ARTICLE III. THE MIN. REQUIREMENT IS A PLASTIC MESH FENCE, 1.2M HIGH, TIED TO POSTS SPACED NO MORE THAN 1.2M APART, WITH AN 11 GAUGE TOP AND BOTTOM WIRE THREADED THROUGH THE MESH AND LOOPED AROUND EACH POST.
- CONSTRUCTION NOISE- ANY CONSTRUCTION WHICH GENERATES NOISE IS PROHIBITED IN RESIDENTIAL AREAS BETWEEN THE HOURS OF 7:00PM ONE DAY TO 7:00AM THE NEXT DAY, 9:00AM ON SATURDAYS, AND ALL DAY SUNDAY AND STATUTORY HOLIDAYS.
- CALL FOR INSPECTIONS- THE BUILDER/ GENERAL CONTRACTOR IS REQUIRED TO NOTIFY THE BUILDING INSPECTION OFFICE AT VARIOUS STAGES OF CONSTRUCTION AS REQUIRED BY DIVISION C, PART 1, ARTICLE 1.3.5.1. OF THE ONTARIO BUILDING CODE. THE PHONE NUMBER FOR THE BUILDING INSPECTION OFFICE RESPONSIBLE FOR THE PROJECT'S AREA WILL BE INCLUDED IN THE PERMIT DOCUMENTS.
- PERMIT PLANS- THE PERMIT PLANS AND SPECIFICATIONS MUST BE ON THE SITE AT ALL TIMES. THE PERMIT PLANS AND SPECIFICATIONS PROVIDED TO THE BUILDER/ GENERAL CONTRACTOR WILL BE USED FOR INSPECTIONS.



1 SITE PLAN
1/8" = 1'-0"

PROJECT
**1050 OLD DERRY RD
MISSISSAUGA ON L5W 1A1**

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REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
01	ISSUED FOR CLIENT	2023-07-19

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CONSULTANTS

ONTARIO ASSOCIATION OF ARCHITECTS
SARA ALMATHY LICENCE 8903

TORONTO - CANADA 416.546.2040 info@qbsarchitects.com

DRAWING TITLE
SITE PLAN

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 1/8" = 1'-0"	DATE 07/19/23

GRAPHIC SCALE

PROJECT NO. 230122

STAGE ZC	DRAWING NO. A0-002
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LOCATION MISSISSAUGA REVISION **02**

PROJECT
1050 OLD DERRY RD
MISSISSAUGA ON L5W 1A1

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02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
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DRAWING TITLE
FLOOR AREA PLAN

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 1/4" = 1'-0"	DATE 07/19/23

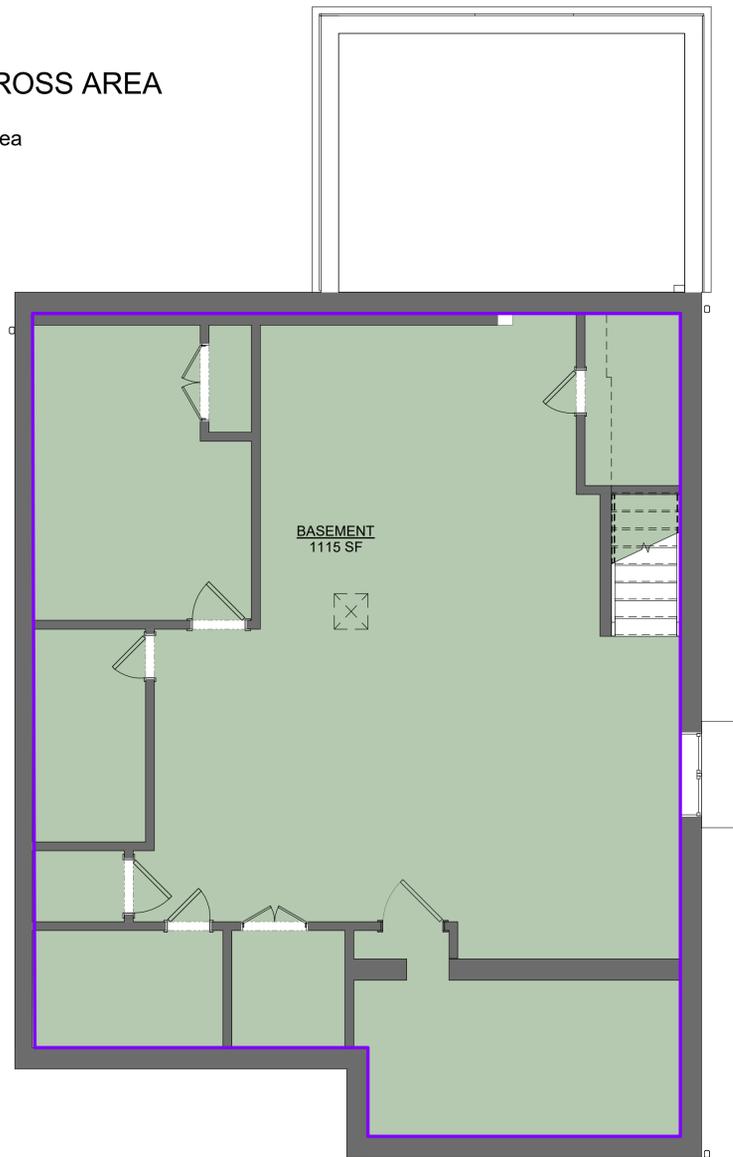
PROJECT NO. 230122

STAGE ZC	DRAWING NO. A0-003
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LOCATION MISSISSAUGA	REVISION 02
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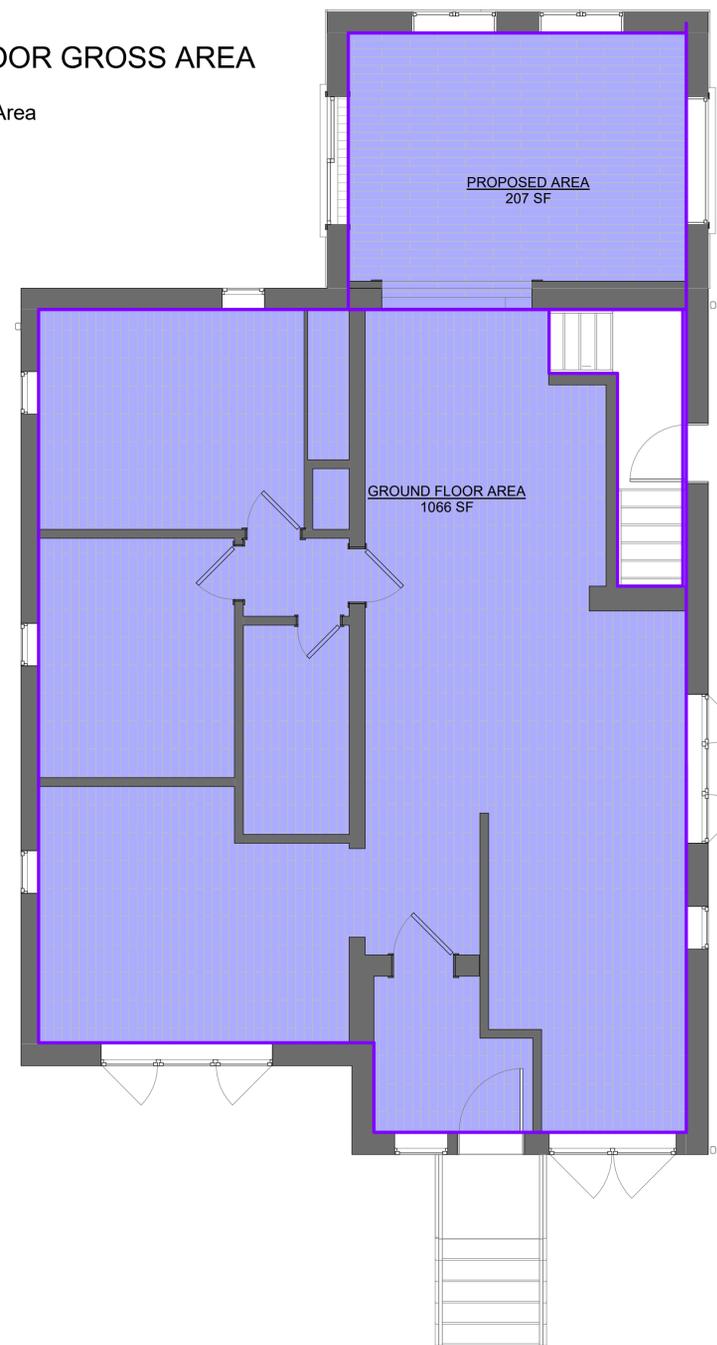
BASEMENT GROSS AREA

Gross Building Area



GROUND FLOOR GROSS AREA

Gross Building Area



1 **BASEMENT**
1/4" = 1'-0"

2 **GROUND FLOOR**
1/4" = 1'-0"

1 EXTERIOR WALL - BRICK

- 3 1/2" NATURAL BRICK, COLOR TO MATCH EXISTING BRICK COLOR.
- TYPAR HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS. LAP & TAPE ALL JOINTS
- 1/2" ORIENTED STRAND BOARD
- 1" AIR SPACE
- 2 X 6 STUDS AT 16" O.C.
- BATT INSULATION (R-19 + 5#)
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- 1/2" DRYWALL
- 5/8" TYPEx DRYWALL WHERE SETBACK IS LESS THAN 4" AWAY FROM PROPERTY LINE.

3 POST + BEAM WALL CONSTRUCTION

- 1" X 8" / 1" X 10" CEDAR CLAPBOARD (PROFILE TO BE DETERMINED), PRE-STAINED STAINLESS STEEL NAILS
- TYPAR HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS. LAP & TAPE ALL JOINTS
- 1/2" ORIENTED STRAND BOARD
- R-28 STRUCTURAL INSULATED WALL PANELS
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- TIMBER FRAME (SIZE AS PER PLANS) FULLY JOINED EASTERN WHITE PINE (RED OAK DOUGLAS FIR)
- 1" X 8" T & G EASTERN WHITE PINE (STAIN TO BE DETERMINED)

4 ROOF CONSTRUCTION

- ASPHALT SHINGLES (25 YEARS) - COLOUR TO BE DETERMINED
- 1/2" PLYWOOD SHEATHING (WITH 1" CLIPS IF USING TRUSSES)
- ROOF STRUCTURE AS SPECIFIED IN TRUSS PLAN AND LAYOUTS
- PROVIDE ICE AND WATER SHIELD EAVES PROTECTION TO EXTEND 36" MIN. BEYOND INTERIOR FACE OF EXTERIOR WALL. MIN. 3" LAP AND 6" END LAP (AS PER 9.2.6.5 CRC)
- PREFINISHED ALUMINUM DRIPEDGE BELOW SHINGLES
- PREFIN. ALUMINUM EAVESTROUGH ON ALUMINUM FASCIA & VENTED ALUMINUM SOFFIT W/ INSECT SCREEN TO MATCH EXIST.
- 2 X 6 CEILING JOISTS @ 16" O.C.
- 2 X 9 1/2" STANDARD OR 2 X 8" HIGH DENSITY (R-60) BATT INSULATION - BAFFLE AS REQUIRED FOR VENTILATION
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- 1/2" DRYWALL

5 SKYLIGHT (SLOPED ROOFS)

- SKYLIGHT BY "VELUX" OR SIMILAR W/ TEMPERED DOUBLE GLAZED SEALED UNIT LOW-E AND ARGON FILLED
- INSTALL CW FLASHING KIT (ACCORDING TO TYPE OF ROOFING) AND AS PER MANUFACTURER SPECIFICATIONS
- NOTE: DOUBLE FRAME ALL SURROUNDING LUMBER AT SKYLIGHT ADJACENT FINISHED ROOF
- TO COMPLY WITH CANCSSB - 12.2-M89-7.3 SLOPED GLAZING AND SKYLIGHTS

6 EAVESTROUGH / DOWNPIPES

- 5" - 6" MAX WIDE PREFINISHED ALUMINUM EAVESTROUGH (COLOUR TO BE DETERMINED)
- 3" X 4" PREFINISHED ALUMINUM DOWNPIPES (COLOUR TO BE DETERMINED) C/W CONCRETE SPILL PAD (SLOPE AWAY FROM BUILDING)
- NOTE: DOWNPIPES ROUTING TO BE DISCUSSED W/ ARCHITECT PRIOR TO INSTALLATION.

7 SOFFIT

- PREFINISHED ALUMINUM SOFFIT WITH INSECT SCREENING
- LAY ALUMINUM PANELS WITH CORRUGATIONS PERPENDICULAR TO FASCIA
- SEE DRAWINGS FOR OVERHANG DIMENSION.

8 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)

- ALL WINDOWS ARE TO BE WOOD FRAMED CASEMENTS SEALED CLEAR WOOD INTERIOR AND "FLEXACRON" FACTORY PREFINISHED EXTERIOR SURFACES c/w FOLDING TYPE CRANK HANDLE
- ALL GLAZING TO BE CLEAR LOW "E" SEALED THERMOPANE UNITS, ARGON GAS FILLED, 7/8" OVERALL THICKNESS
- CONTRACTOR TO SUBMIT NAME AND TYPICAL DETAILS OF PROPOSED MANUFACTURER TO THE ARCHITECT FOR APPROVAL.
- NOTE: CONTRACTOR TO SUPPLY AND INSTALL 6" SMOOTH CUT LIMESTONE THRESHOLD AT ALL EXTERIOR DOORS AND 9" AT ALL WINDOWS (UNLESS OTHERWISE NOTED).

9 SILL PLATE

- 2 X 6 PRESSURE TREATED SILL PLATE SET ON CONTINUOUS MORTAR BED W/1/2" DIA. 12" LONG (MIN. 4" IN CONCRETE) ANCHOR BOLTS AT 7'-10" MAX. O.C. INTO CONCRETE FILLED TOP COURSE
- ROLL TYPE FOAM GASKET BETWEEN PLATE AND BEDDING & 6 MIL POLY VAPOUR / AIR BARRIER (BLACK)

10 DRYWALL INSTALLATION

- ALL DRYWALL TO BE INSTALLED WITH BEVELLED EDGE JOINTS FACING EACH OTHER
- ONLY ONE HORIZONTAL JOINT WILL BE ALLOWED. IF AN ADDITIONAL HORIZONTAL JOINT IS REQUIRED DUE TO WALL HEIGHTS, THE JOINTS MUST BE PLACED AT THE BOTTOM OF THE WALL IN THE BASEBOARD AREA.
- USE 4'-6" WIDE BOARDS FOR 9'-0" HIGH CEILINGS.

11 ENGINEERED HARDWOOD FLOORING

- CONCRETE SUBFLOORS MUST BE DRY, SMOOTH LEVEL WITHIN 3/16" IN A 10' RADIUS 1/8" IN 6") AND FREE OF STRUCTURAL DEFECTS. HAND SCRAPER OR SAND WITH A 20-GRIT
- #3-1/2" OPEN FACE PAPER TO REMOVE LOOSE, FLAKY CONCRETE. GRIND HIGH SPOTS IN CONCRETE AND FILL LOW SPOTS WITH A PORTLAND BASED LEVELING COMPOUND (MIN. 3,000 PSI). CONCRETE MUST BE FREE OF PAINT, OIL, EXISTING ADHESIVES, WAX, GREASE, DIRT AND CURING COMPOUNDS. THESE MAY BE REMOVED MECHANICALLY, BUT DO NOT USE SOLVENT BASED STRIPPERS UNDER ANY CIRCUMSTANCES. THE USE OF RESIDUAL SOLVENTS CAN PROHIBIT THE SATISFACTORY BOND OF FLOORING ADHESIVES.
- IT IS IMPORTANT TO ENSURE A PROPER BOND BETWEEN THE ADHESIVE AND THE CONCRETE, AND PLANKS OR STRIPS. ENGINEERED HARDWOOD FLOORING MAY BE INSTALLED ON-GRADE, ABOVE GRADE, AS WELL AS BELOW GRADE WHERE MOISTURE CONDITIONS ARE ACCEPTABLE.
- LIGHTWEIGHT CONCRETE: LIGHTWEIGHT CONCRETE WITH A DRY DENSITY OF 100 POUNDS OR LESS PER CUBIC FOOT IS ONLY SUITABLE FOR ENGINEERED WOOD FLOORS WHEN USING THE FLOATING INSTALLATION METHOD. MANY PRODUCTS HAVE BEEN DEVELOPED AS SELF-LEVELING TOPPING OR FLOOR UNDERLAYMENTS. THESE INCLUDE CELLULAR CONCRETE, RESIN REINFORCED CEMENTATIONS, UNDERLAYMENTS, AND GYPSUM-BASED MATERIALS. ALTHOUGH SOME OF THESE PRODUCTS MAY HAVE THE NECESSARY QUALIFICATIONS FOR UNDERLAYMENT FOR WOOD FLOORING INSTALLATIONS, OTHERS DO NOT.
- TO TEST FOR LIGHTWEIGHT CONCRETE, SCRAPE A COIN OR KEY ACROSS THE SURFACE OF THE SUBFLOOR.
- IF THE SURFACE POWDERS EASILY OR HAS A DRY DENSITY OF 100 POUNDS OR LESS PER CUBIC FOOT, USE ONLY THE FLOATING INSTALLATION METHOD TO ENSURE A LONG LASTING BOND. MAKE SURE THAT THE PERIMETER OF THE FOUNDATION HAS ADEQUATE DRAINAGE AND VAPOR BARRIER.
- WOOD SUBFLOORS: WOOD SUBFLOORS NEED TO BE WELL NAILED OR SECURED WITH SCREWS. NAILS SHOULD BE RING SHANKS AND SCREWS NEED TO BE COUNTER SUNK.
- THE WOOD SUBFLOOR NEEDS TO BE STRUCTURALLY SOUND AND DRY. IT SHOULD NOT EXCEED 13% MOISTURE PRIOR TO INSTALLATION.
- IF THE SUBFLOOR IS SINGLE LAYER, LESS THAN 3/4" THICK, ADD A SINGLE CROSS LAYER FOR STRENGTH AND STABILITY (MINIMUM 5/16" THICK FOR A TOTAL 1" THICKNESS).
- THIS IS TO REDUCE THE POSSIBILITY OF SQUEAKING.
- WOOD SUBFLOORS MUST BE FREE OF PAINT, OIL, EXISTING ADHESIVES, WAX, GREASE, DIRT, URETHANE, VARNISH, ETC.
- UNDERLAYMENT GRADE OSB (NOT THE WAX SIDE) IS ALSO A SUITABLE SUBFLOOR. PARTICLEBOARD IS NOT AN ACCEPTABLE SUBFLOOR FOR STAPLE OR NAIL DOWN INSTALLATIONS BUT CAN BE USED AS A SUBFLOOR IN GLUE-DOWN INSTALLATIONS.
- WHEN INSTALLING OVER EXISTING WOOD FLOORING, INSTALL AT RIGHT ANGLES TO THE EXISTING FLOORING.
- SUBFLOOR MOISTURE CHECK: ENGINEERED HARDWOOD FLOORING MAY BE USED FOR ABOVE-, ON-, AND BELOW-GRADE APPLICATIONS. ON ALL COMMON SUBSTRATES, ON-AND BELOW-GRADE APPLICATIONS ARE SUSCEPTIBLE TO MOISTURE AND SHOULD BE TESTED FOR MOISTURE PRIOR TO INSTALLATION IN SEVERAL LOCATIONS WITHIN THE INSTALLATION AREA.
- ACCEPTABLE CONDITIONS FOR ABOVE-, ON-, AND BELOW-GRADE APPLICATIONS ARE:
 - * LESS THAN 3 LBS./1000 SF / 24 HRS. ON A CALCIUM CHLORIDE TEST
 - * OR AN ACCEPTABLE READING ON AN ELECTRONIC CONCRETE MOISTURE METER
 - * WOOD SUBSTRATES MUST HAVE A MOISTURE READING OF LESS THAN 13% WHEN USING AN ELECTRONIC WOOD MOISTURE METER
- IMPORTANT NOTE: THE ABOVE IS A GUIDE LINE. INSTALLER MUST FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS ASSOCIATED WITH THE PRODUCT

12 INSULATED FLOOR ASSEMBLY

- FINISHED FLOORING OVER 3/4" T & G PLY SHEATHING GLUED AND SCREWED TO JOISTS, STAGGER JOINTS
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX" WITH ALL JOINTS SEALED W/ ACOUSTIC TYPE SEALANT
- JOISTS (AND CROSS BRIDGING IF APPLICABLE) AS NOTED IN PLAN
- 8" (R-30) HIGH DENSITY OR 9 1/2" (R-30) STANDARD BATT INSULATION ON GALVANIZED CHICKEN WIRE MESH STAPLED TO UNDERSIDE OF JOISTS
- SPRAY 5" (R-32) OF 2 LB / FTCU POLYURETHANE SPRAY FOAM BY "ISOFOAM"

13 DOORS

- SOLID WOOD (UNLESS NOTED OTHERWISE) 1 3/4" THICK WITH TWO RECESSED RAISED WOOD PANELS AS PER DETAIL SKETCH.
- DOOR HEIGHTS: ABOVE 9" CEILING 8'-0" DOORS
9" CEILING 7'-2"
8'-4" AND LESS 6'-8"
(INCLUDING BASEMENTS)

14 FLASHING

- PROVIDE PREFINISHED ALUMINUM (COLOUR TO BE DETERMINED) IN ALL THE FOLLOWING LOCATIONS:
 - * BENEATH JOINTED MASONARY SILLS
 - * OVER BACKS AND TOPS OF PARAPET WALLS
 - * OVER HEADS OF GLASS BLOCK PANELS
 - * OVER HEADS OF WINDOWS AND DOORS SET FURTHER THAN 1/4 THE EAVES OVERHANG BELOW THE SOFFIT
 - * AROUND CHIMNEYS, OR ANY ELEMENTS CROSSING ROOF SURFACES THAT ARE NOT SUPPLIED WITH MANUFACTURERS FLASHING
 - * AT INTERSECTION OF ROOF SURFACES WITH EXTERIOR WALLS
 - * AT ALL ROOF VALLEYS
- TYPAR HOUSEWRAP BY REEMAY, INSTALL AS PER MANUFACTURER SPECIFICATIONS. LAP & TAPE ALL JOINTS
- 1/2" ORIENTED STRAND BOARD
- 2 X 4 STUDS AT 16" O.C.
- 3 1/2" DOW SM RIGID INSULATION / POLYURETHANE SPRAYED FOAM INSULATION
- 1/2" FOIL "THERMAX" INSULATION
- 6 MIL VAPOUR / AIR BARRIER "SUPER SIX", LAP ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC TYPE SEALANT
- 1/2" DRYWALL

15 PAINTING

- ALL INTERIOR WOOD TRIM: ONE COAT OIL BASED PRIMER, TWO (2) COATS SEMI-GLOSS OIL
- ALL DRYWALL SURFACES: ONE COAT LATEX SEALER, TWO (2) COATS SATIN / EGGSHELL LATEX
- ALL EXTERIOR WOOD TRIM: ONE COAT OIL BASED PRIMER, 2 COATS OIL FINISH - ENAMEL GLOSS
- ALL COLOURS TO BE SELECTED BY ARCHITECT / CLIENT
- NOTE: REPAINT ALL WOOD DOORS AND WINDOWS PRIME PLUS ONE FINISH COAT PRIOR TO INSTALLATION.

16 LEDGER BOARD

- CONTINUOUS 2 - 2 X 10 OR AS PER PLANS GLUED LEDGER BOLTED WITH STAGGERED 3/4" DIA. RAM SET RED HEAD DYNA BOLTS @ 18" O.C. - MIN. 2 1/2" EMBEDMENT IN EXISTING SOLID MASONRY WALL.

PROJECT

**1050 OLD DERRY RD
MISSISSAUGA ON L5W 1A1**

CLIENT

Owner



REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
01	ISSUED FOR CLIENT	2023-07-19

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CONSULTANTS




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DRAWING TITLE

CONSTRUCTION NOTES

DRAWN	PP	CHECKED	SA
SCALE @	ARCH D	DATE	07/19/23
As Noted			
		GRAPHIC SCALE	
PROJECT NO.	230122		
STAGE	DRAWING NO.		
ZC	A0-004		
LOCATION	MISSISSAUGA	REVISION	02

PROJECT
1050 OLD DERRY RD
MISSISSAUGA ON L5W 1A1

CLIENT
Owner



REVISIONS

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02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
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DRAWING TITLE
PROPOSED GROUND FLOOR PLAN

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 1/4" = 1'-0"	DATE 07/19/23

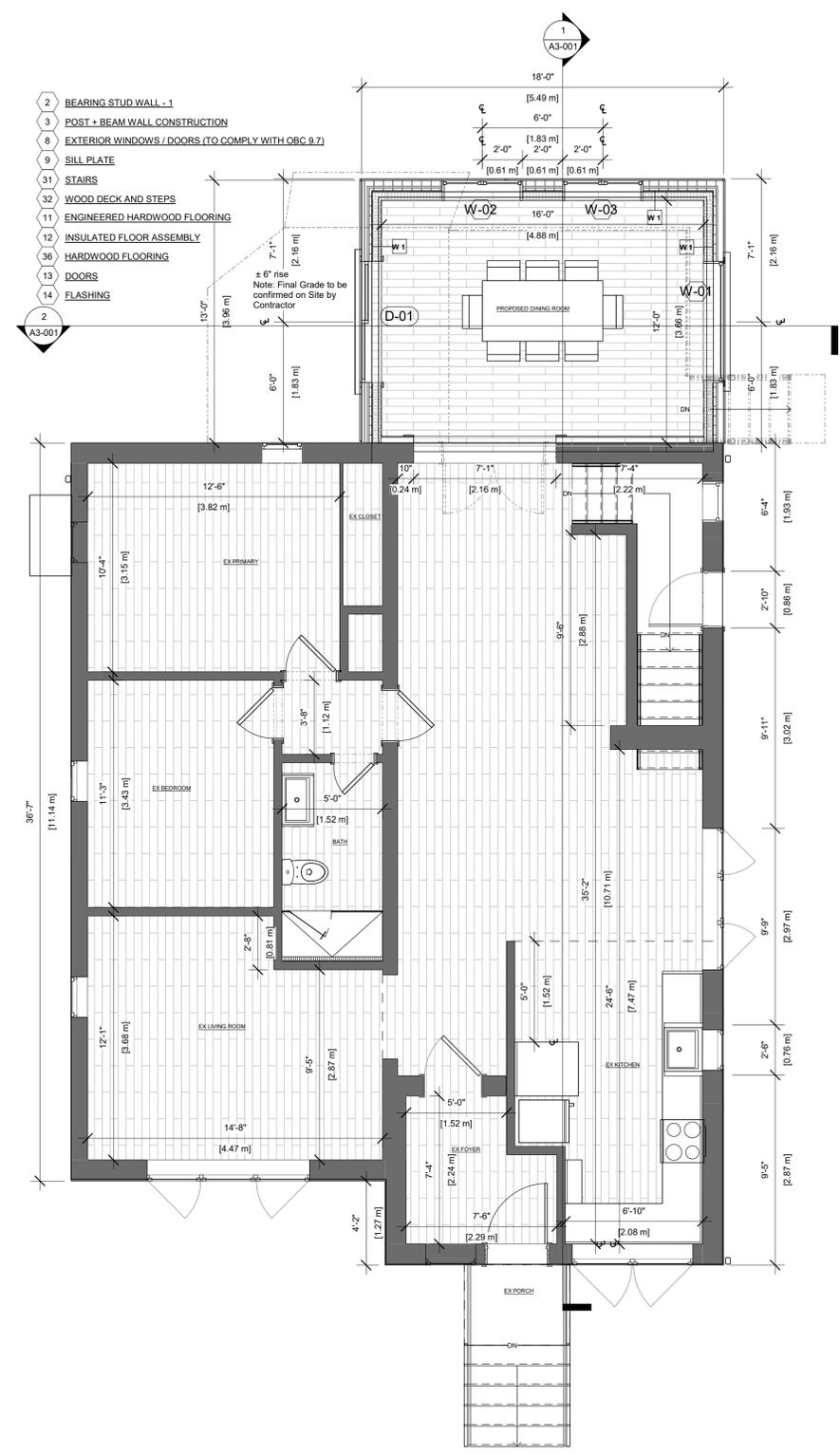
GRAPHIC SCALE



PROJECT NO. 230122

STAGE **ZC** DRAWING NO. **A1-002**

LOCATION MISSISSAUGA REVISION **02**



1 GROUND FLOOR PLAN
 1/4" = 1'-0"

property line

PROJECT
1050 OLD DERRY RD
MISSISSAUGA
ON L5W 1A1

CLIENT
Owner



REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
01	ISSUED FOR CLIENT	2023-07-19

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DRAWING TITLE
ROOF FLOOR PLAN

DRAWN PP CHECKED SA
 SCALE @ ARCH D DATE
 As Noted 1/4" = 1'-0" 07/19/23

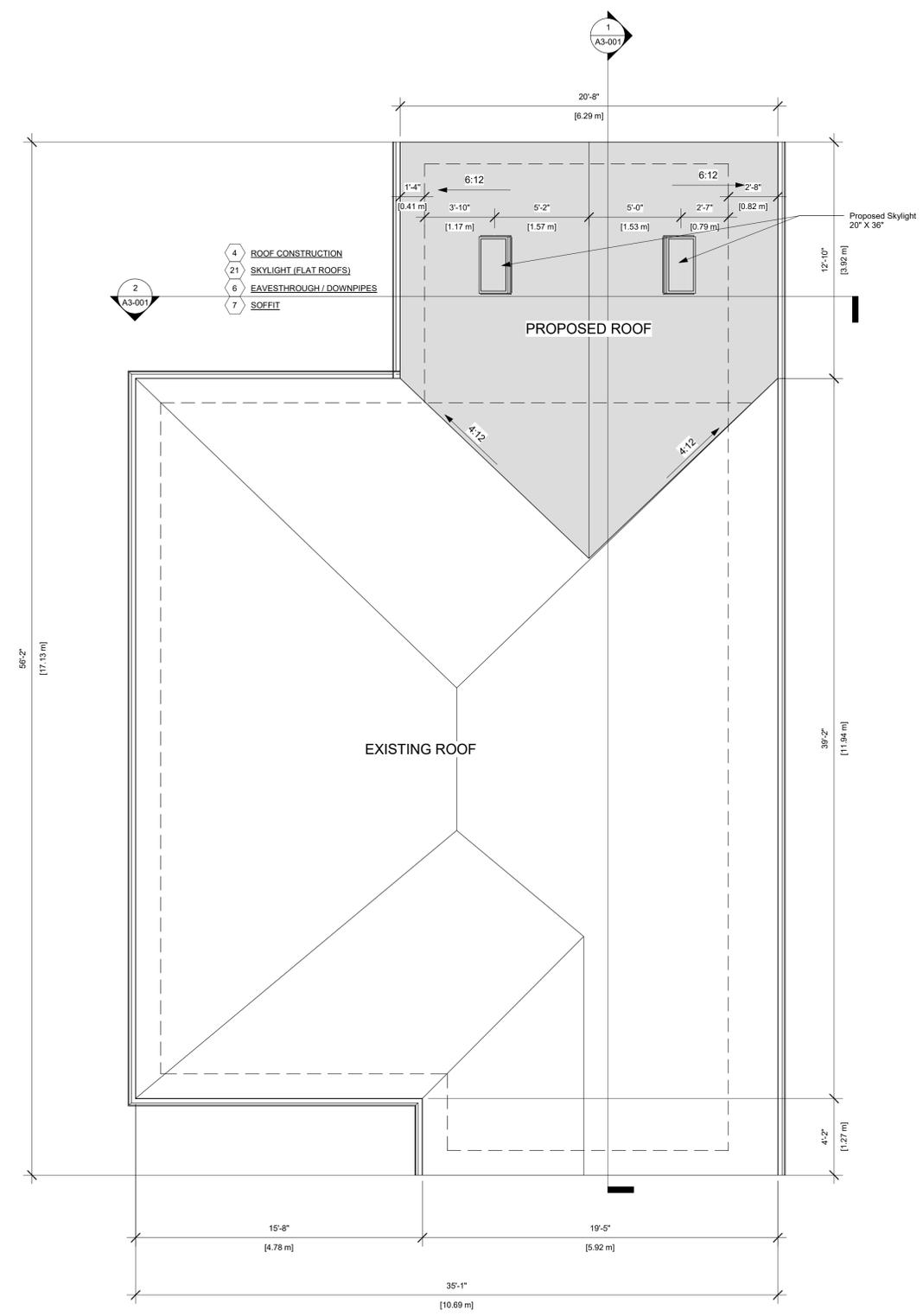
GRAPHIC SCALE



PROJECT NO. 230122

STAGE **ZC** DRAWING NO. **A1-003**

LOCATION MISSISSAUGA REVISION **02**



1 ROOF PLAN
 1/4" = 1'-0"

property line

PROJECT
1050 OLD DERRY RD
MISSISSAUGA ON L5W 1A1

CLIENT
Owner



REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
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MATERIALS LEGEND

-  - NATURAL BRICK TO MATCH EXISTING
-  - ASPHALT SHINGLES TO MATCH EXISTING
-  - WHITE VINYL WINDOWS
-  - WHITE VINYL SLIDING EXTERIOR DOOR
-  - WHITE ALUMINUM FRAME SKYLIGHT

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DRAWING TITLE
PROPOSED NORTH & SOUTH ELEVATION

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 1/4" = 1'-0"	DATE 07/19/23

GRAPHIC SCALE



PROJECT NO. 230122

STAGE ZC **DRAWING NO.** A2-001

LOCATION MISSISSAUGA **REVISION** 02



1 North Elevation
 1/4" = 1'-0"



2 South Elevation
 1/4" = 1'-0"

PROJECT
**1050 OLD DERRY RD
 MISSISSAUGA ON L5W 1A1**

CLIENT
Owner



REVISIONS

No.	Description	Date
02	ISSUED FOR HERITAGE CONSULTANT	2023-10-26
01	ISSUED FOR CLIENT	2023-07-19

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DRAWING TITLE
PROPOSED EAST & WEST ELEVATION

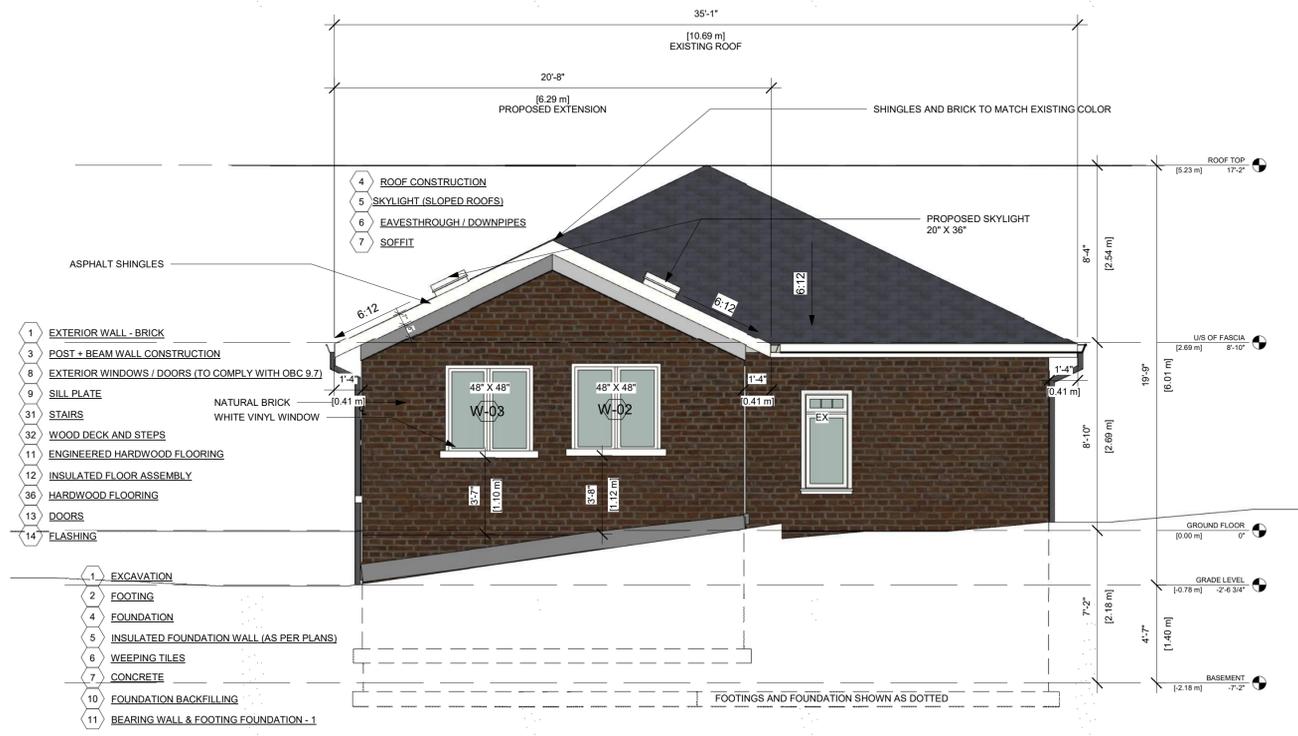
DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 1/4" = 1'-0"	DATE 07/19/23

GRAPHIC SCALE

PROJECT NO. 230122

STAGE **ZC** DRAWING NO. **A2-002**

LOCATION MISSISSAUGA REVISION **02**



1 East Elevation
 1/4" = 1'-0"



2 West Elevation
 1/4" = 1'-0"

PROJECT
1050 OLD DERRY RD
MISSISSAUGA ON L5W 1A1

CLIENT
Owner



REVISIONS

No.	Description	Date
01	ISSUED FOR CLIENT	2023-07-19

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DRAWING TITLE
PROPOSED SECTION

DRAWN PP **CHECKED** SA

SCALE @ ARCH D **DATE**
 As Noted 3/8" = 1'-0" 07/19/23

PROJECT NO. 230122

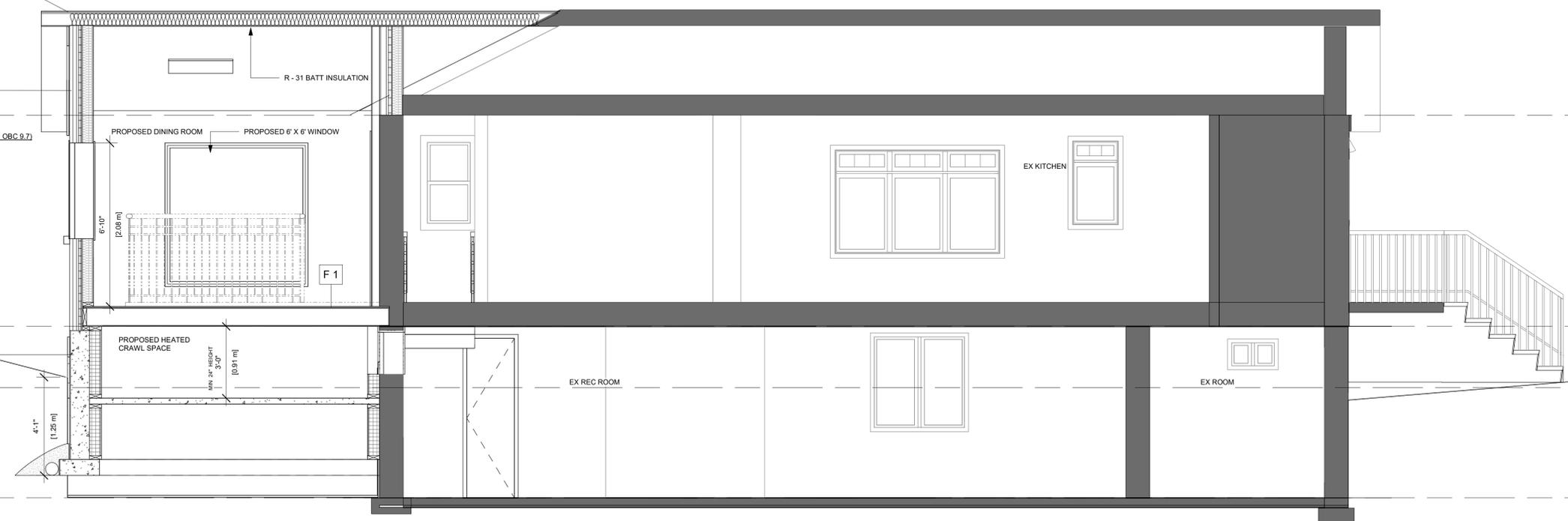
STAGE ZC **DRAWING NO.** A3-001

LOCATION MISSISSAUGA **REVISION** 01

- 4 ROOF CONSTRUCTION
- 5 SKYLIGHT (SLOPED ROOFS)
- 6 EAVESTHROUGH / DOWNPIPES
- 7 SOFFIT

- 1 EXTERIOR WALL - BRICK
- 3 POST + BEAM WALL CONSTRUCTION
- 8 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 9 SILL PLATE
- 31 STAIRS
- 32 WOOD DECK AND STEPS
- 11 ENGINEERED HARDWOOD FLOORING
- 12 INSULATED FLOOR ASSEMBLY
- 36 HARDWOOD FLOORING
- 13 DOORS
- 14 FLASHING

- 1 EXCAVATION
- 2 FOOTING
- 4 FOUNDATION
- 5 INSULATED FOUNDATION WALL (AS PER PLANS)
- 6 WEeping TILES
- 7 CONCRETE
- 10 FOUNDATION BACKFILLING
- 11 BEARING WALL & FOOTING FOUNDATION - 1

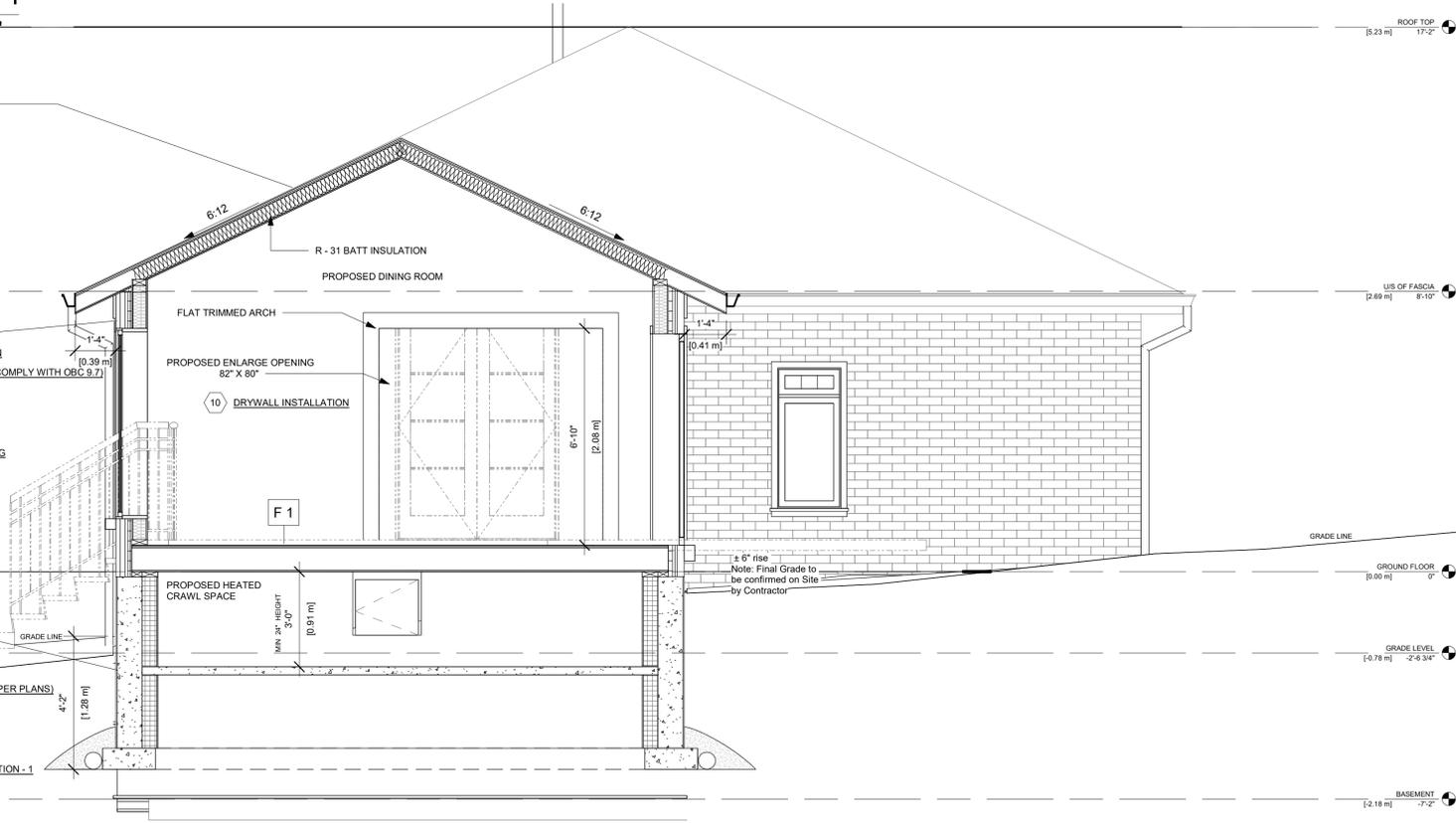


1 Section 1
 3/8" = 1'-0"

- 4 ROOF CONSTRUCTION
- 5 SKYLIGHT (SLOPED ROOFS)
- 6 EAVESTHROUGH / DOWNPIPES
- 7 SOFFIT

- 1 EXTERIOR WALL - BRICK
- 3 POST + BEAM WALL CONSTRUCTION
- 8 EXTERIOR WINDOWS / DOORS (TO COMPLY WITH OBC 9.7)
- 9 SILL PLATE
- 31 STAIRS
- 32 WOOD DECK AND STEPS
- 11 ENGINEERED HARDWOOD FLOORING
- 12 INSULATED FLOOR ASSEMBLY
- 36 HARDWOOD FLOORING
- 13 DOORS
- 14 FLASHING

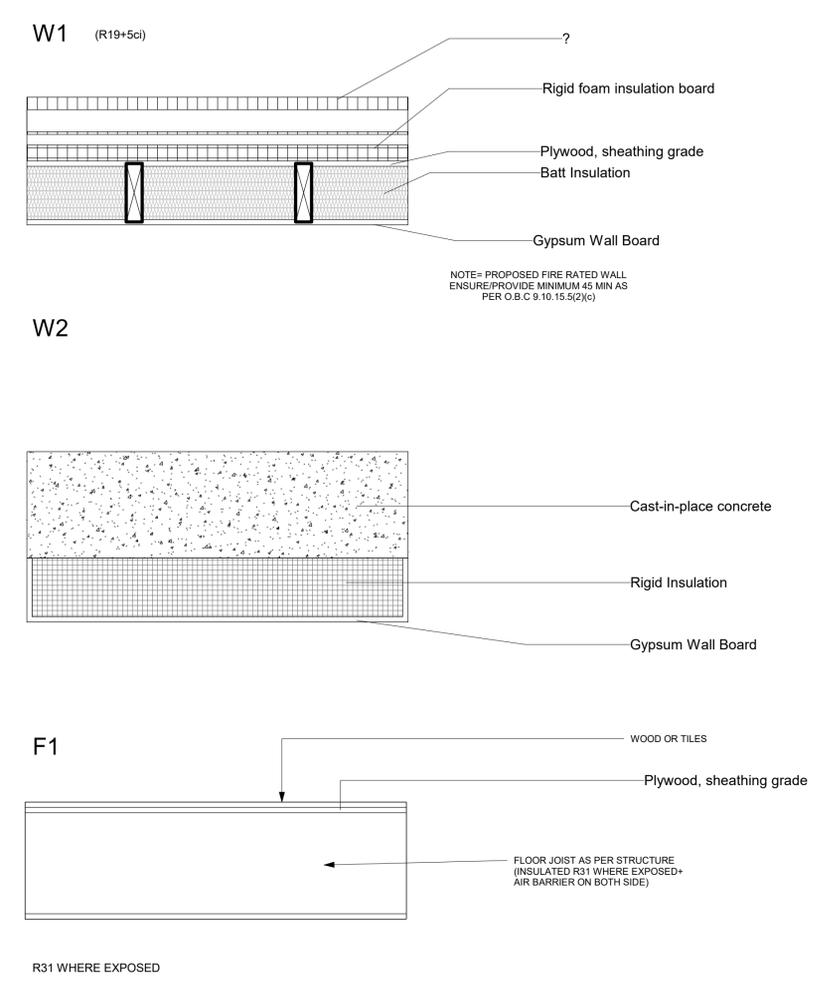
- 1 EXCAVATION
- 2 FOOTING
- 4 FOUNDATION
- 5 INSULATED FOUNDATION WALL (AS PER PLANS)
- 6 WEeping TILES
- 7 CONCRETE
- 10 FOUNDATION BACKFILLING
- 11 BEARING WALL & FOOTING FOUNDATION - 1



2 Section 2
 3/8" = 1'-0"

Door Schedule					
Mark	Level	Width	Height	Phase Created	Comments
D-01	GROUND FLOOR	6'-0"	6'-8"	New Construction	
D-02	GROUND FLOOR	2'-0"	1'-9"	New Construction	

Window Schedule					
Mark	Level	Width	Height	Phase Created	Sill Height
W - 01	GROUND FLOOR	6'-0"	6'-0"	New Construction	1'-8"
W - 02	GROUND FLOOR	4'-0"	4'-0"	New Construction	3'-8"
W - 03	GROUND FLOOR	4'-0"	4'-0"	New Construction	3'-9"



Window	W - 01 72" x 72"	W -02 48" x 48"	W -03 48" x 48"
Plan			
Elevation			
Door	D - 01 (Sliding Door) 72" x 80"	D -02 (Access Door) 24" x 24"	
Plan			
Elevation			

PROJECT
1050 OLD DERRY RD
MISSISSAUGA ON L5W 1A1

CLIENT
Owner

REVISIONS

No.	Description	Date
01	ISSUED FOR CLIENT	2023-07-19

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DRAWING TITLE
DOOR & WINDOW SCHEDULE

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted	DATE 07/19/23

GRAPHIC SCALE

PROJECT NO. 230122

STAGE ZC	DRAWING NO. A4-001
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LOCATION MISSISSAUGA	REVISION 01
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PROJECT
1050 OLD DERRY RD
MISSISSAUGA
ON L5W 1A1

CLIENT
Owner



REVISIONS

No.	Description	Date
01	ISSUED FOR CLIENT	2023-07-19

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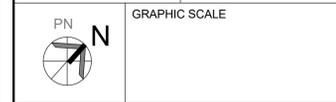
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DRAWING TITLE
DETAILS

DRAWN PP	CHECKED SA
SCALE @ ARCH D As Noted 3/16" = 1'-0"	DATE 07/19/23



PROJECT NO. 230122

STAGE **ZC** DRAWING NO. **A4-002**

LOCATION **MISSISSAUGA** REVISION **01**

