

MISSISSAUGA ROAD SCENIC ROUTE

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M.A. DIPL. HERITAGE CONSERVATION  
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## EXECUTIVE SUMMARY

The proposed alterations to enlarge an existing dwelling located at 2188 Highriver Court will have no negative impacts on the *Mississauga Road Scenic Route Cultural Landscape* because:

- the proposed alterations are consistent with existing land uses and residential zoning
- the proposed addition will be set back 14.5 m from Mississauga road
- existing trees that contribute to the scenic character of Mississauga Road will be retained within the proposed 14.5 m set back

## 1.0 INTRODUCTION

The subject property is located in the *Mississauga Road Scenic Route Cultural Landscape*. This report was prepared by heritage consultant Megan Hobson for the property owner of 2188 Highriver Court as a requirement for obtaining permission to enlarge the existing dwelling. This report was prepared in accordance the City of Mississauga's *Terms of Reference for Cultural Landscape Heritage Impact Assessments (2016)*.

## 2.0 LOCATION

The subject property is located at 2188 Highriver Court. It is located on the north side of Mississauga Road, east of Erin Mills Parkway and north of the Queen Elizabeth Highway. The property backs onto and is surrounded by a residential subdivision.



LOCATION MAP: 2188 Highriver Court – the side yard fronts on Mississauga Road

The subject property is a corner lot on the northwest corner of Mississauga Road and Highriver Court. The subject house is oriented towards Highriver Court with driveway access from Highriver Court. The south side yard has a short frontage on Mississauga Road due to the unusual shape of the lot that tapers to a point on Mississauga Road. The side yard visible from Mississauga Road contains a dense planting of mature deciduous trees.



AERIAL VIEW: 2188 Highriver Court – the side yard fronts on Mississauga Road



### 3.0 SITE DESCRIPTION

#### See Appendix A: Site Photos & Appendix B: Property Information

The subject property contains a 2-storey suburban bungalow that was built in 1970. It has a 'Raised Ranch' style form with an integrated double-car garage on the south side. It is clad with brick and aluminum siding. It is oriented towards Highriver Court and is not visible from Mississauga Road.



HIGHRIVER COURT STREETSCAPE: 2188 Highriver Court does not have access from Mississauga Road

There is a lawn and paved driveway in front of the existing house with a narrow side yard on the north side. The lot has an unusual configuration because of its corner location and the skewed orientation of Highriver Court in relation to Mississauga Road. As a result, the south side yard is wedge-shaped with limited frontage on Mississauga Road. The south side yard contains large trees that block views of the house from Mississauga Road.



MISSISSAUGA ROAD STREETSCAPE: mature trees in the side yard of 2188 Highriver Court

There is a large estate lot that occupies the remaining frontage on Mississauga Road to the west of the subject property from Highriver Court to Doulton Drive. The adjacent property has dense vegetation along Mississauga Road.

## 4.0 HERITAGE PLANNING CONTEXT

### See Appendix C: Mississauga Road Scenic Route inventory Sheet

The City of Mississauga adopted a *Cultural Landscape Inventory* in 2005. All of the properties listed on the *Cultural Heritage Inventory* are listed on the *City's Heritage Register*. Under City policy 7.4.1.12, the City of Mississauga seeks to conserve, record and protect its heritage resources and a *Heritage Impact Assessment* is required for any "construction, development, or property alterations that might adversely affect" those resources. The *Heritage Impact Assessment* must be prepared by a qualified heritage consultant and must satisfy the *Terms of Reference for Cultural Landscape Impact Assessments* (2016).

The subject property is identified in the *Cultural Heritage Inventory* as being part of the *Mississauga Road Scenic Route Cultural Landscape (F-TC-4)*. The *Inventory* provides a general description of the character of this resource and includes a checklist of natural and cultural values associated with it. The Mississauga Road Scenic Route Cultural Landscape is described as follows:

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality

Values associated with the Mississauga Scenic Route identified in the *Inventory* are grouped under 4 headings and are:

- Landscape Environment
  - Scenic and visual quality
  - Horticultural interest
  - Landscape Design, Type and Technological Interest
- Historical Associations
  - Illustrates Style, Trend or Pattern
  - Illustrates Important Phase in Mississauga's Social or Physical Development
- Built Environment
  - Consistent Scale of Built Features
- Other
  - Historical and Archaeological Interest

The degree to which individual properties contribute to this character is not assessed. Due to considerable development pressure and the demand for large homes fronting on Mississauga Road, this cultural landscape has experienced a large number of demolitions and new development since 2005. The City is currently undertaking the *Conserving Heritage Landscapes Project* to update the earlier study. The *Mississauga Road Scenic Route* was evaluated in Phase I of the project. It was determined that Mississauga road south of Britannia Road was significant and its character should be maintained.

This is applicable to the subject property because it is located south on Britannia Road and the side yard fronts on Mississauga Road.

New development is regulated by Official Plan policies and zoning by-laws and is subject to review, including heritage review, under the Site Plan Application process.

There are no specific heritage policies for new development within Cultural Heritage Landscapes. This area is zoned R1 for Detached Dwelling. New development in this area must be compatible with Zoning By-law 0225-2007 and is subject to the Site Plan Approval process. Recent development in this area consists mainly of large 2-2.5 storey homes with 3 or 4- car garages built out to the maximum buildable area permitted (ie; 25% lot coverage and minimum front yard set back of 7.5 m). Due to the large size of many of the lots fronting on Mississauga Road, this allows for substantially larger homes.

## 5.0 HISTORICAL CONTEXT

Historically this area was part of land reserved on either side of the Credit River for the Mississauga. In 1805 the Crown negotiated a large purchase of these lands from the Mississauga and it was surveyed into 200-acre lots. This area was divided into three 'ranges' and identified as the Credit Indian Reserve (CIR) in land documents. Lots located in the lower portion of the New Survey (1806) were aligned with the Credit River rather than the shoreline of Lake Ontario so the lots are slightly skewed in relation to other lots in Toronto Township. By 1847, the Mississauga had relocated elsewhere and the land was re-distributed by the Crown

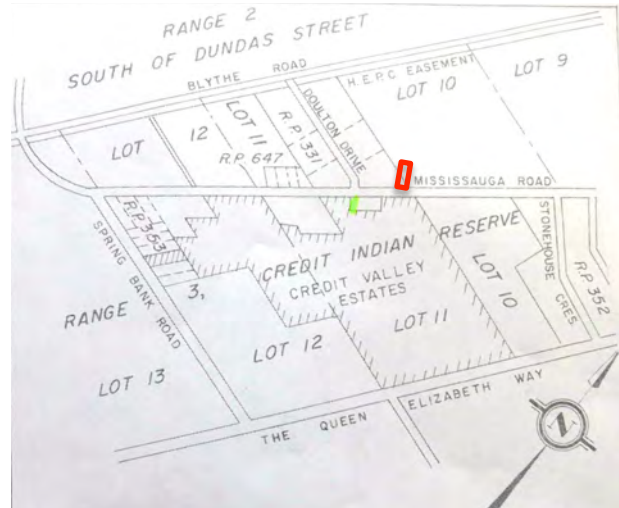
The subject property is located in Lot 10, Range III of the Credit Indian Reserve (CIR). Land records indicate that Frederick C. Capreol received the original patent for all of Lot 10 in 1855 but his name is crossed out in the copy book and a new patent registered by William Spragge's widow Martha appears in 1876. On the 1859 Tremaine Map William Spragge is identified as the owner of Lots 9 & 10 on both sides of Mississauga Road. William Spragge was the Deputy Superintendent General of Indian Affairs. He died in 1866 and the estate passed to his wife and son A.G.M Spragge.



2188 HIGHRIVER COURT: Plan 868 Lot 2 – corner of Lot 10, Range III - approximate location indicated on the 1859 TREMAINE MAP (left) and the 1877 PEEL COUNTY ATLAS MAP (right)



In 1878, A.G.M Spragge sold part of Lot 10 to Enoch Patchett, a farmer who owned adjacent farmland. This land primarily remained as farmland in the early 20<sup>th</sup> century but after World War II it was parceled and sold to developers who registered plans for new residential subdivisions. Over the next three decades the subdivisions were built out. The subject dwelling is associated with this period of residential development in the 2<sup>nd</sup> half of the 20<sup>th</sup> century.



1954 AERIAL (left) – agricultural uses along Mississauga Road

1964 PLAN OF SUBDIVISION (right) – residential development along Mississauga Road

## 6.0 HERITAGE VALUE

### Mississauga Road

Mississauga Road is recognized as a significant cultural landscape within the City of Mississauga because it is the City's oldest north-south transportation route. The road follows the path of an aboriginal trail that lead from fishing grounds at the mouth of the Credit River to farms and hunting grounds located inland to the north. It follows high land on the west bank of the Credit River from Port Credit to Streetsville. These lands were originally reserved for the Mississaugas, but by 1847 they had relocated elsewhere and the land was re-distributed by the Crown and Mississauga Road was extended further north to Brampton.

As the settlements linked by Mississauga Road grew, the cultural landscape made up of villages and farmsteads evolved. In the 20<sup>th</sup> century, changes to this cultural landscape accelerated as urban boundaries expanded and rural areas were transformed by suburban development. Mississauga Road is now a major arterial road continuously lined with development. Some of the built and natural features associated with this early pioneer road remain. These features define the character of the Mississauga Scenic Route Cultural Landscape.

### 20<sup>th</sup> century Suburban Development

The subject property is located in an area that remained agricultural until the middle of the 20<sup>th</sup> century. Post-war development would transform all of this farmland into residential subdivisions. The subject dwelling was built in the 1970.



## Mississauga Road Scenic Route Cultural Landscape

The table below evaluates the subject property as a component of the *Mississauga Road Scenic Route Cultural Landscape* according to attributes identified in the City of Mississauga's *Cultural Landscape Inventory* (January 2005):

### 6.1 EVALUATION ACCORDING TO CULTURAL LANDSCAPE INVENTORY

CHL INVENTORY - CRITERIA	CHL INVENTORY - ATTRIBUTES	2188 Highriver Court, Mississauga
LANDSCAPE ENVIRONMENT		
Scenic & visual quality	<i>Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River.</i>	This subject property is an irregularly shaped lot that reflects the origins of Mississauga Road as a footpath that predates lot lines established in the early 19 <sup>th</sup> century and residential subdivisions laid out in the late 20 <sup>th</sup> century.
	<i>The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas.</i>	The subject property is located on a section of Mississauga road that is flat and the land use is residential housing dating from the late 20 <sup>th</sup> century.
Horticultural interest	<i>From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City.</i>	The side yard contains mature trees that contribute to the scenic quality of Mississauga Road.
Landscape design, type & technological interest	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property is located in an area that was agricultural in the settlement period. It was developed for residential subdivisions after 1945.
HISTORICAL ASSOCIATIONS		
Illustrates a style, trend or pattern	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property is part of a subdivision that was registered after 1945. The subject dwelling was built in 1970.
Illustrates an important phase in Mississauga's Social or Physical Development	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property is associated with late 20 <sup>th</sup> century suburban development along Mississauga Road.
BUILT ENVIRONMENT		
Consistent scale of built features	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property contains a 2-storey 'Raised Ranch' style house built in 1970.
OTHER		
Historical and Archaeological Interest	<i>Mississauga Road is an early pioneer road that follows an aboriginal path. It is an evolved cultural heritage landscape.</i>	The subject property does not contain any known historical or archaeological features or resources.

Based on this evaluation, the attributes associated with the subject property that contribute to the character of the *Mississauga Scenic Route Cultural Landscape* are:

- Residential use in the form of a single-detached dwelling
- Low building height (2-storeys) that contributes to the consistent scale of built features associated with buildings and built-up areas fronting on Mississauga Road
- Trees in the south side yard that screen the house from Mississauga Road and contribute to the scenic quality of Mississauga Road

Alterations proposed for this site should therefore seek to conserve these attributes. If negative impacts cannot be avoided, then mitigation measures should be undertaken to reduce adverse impacts.

## 6.2 EVALUATION ACCORDING TO ONT. REG. 09/06

The subject property contains a single-detached dwelling that does not meet provincial criteria for Designation under Part IV of the *Ontario Heritage Act*. Evaluation is based on provincially mandated criteria outlined in *Ontario Regulation 9/06*. The rationale is provided in the table below.

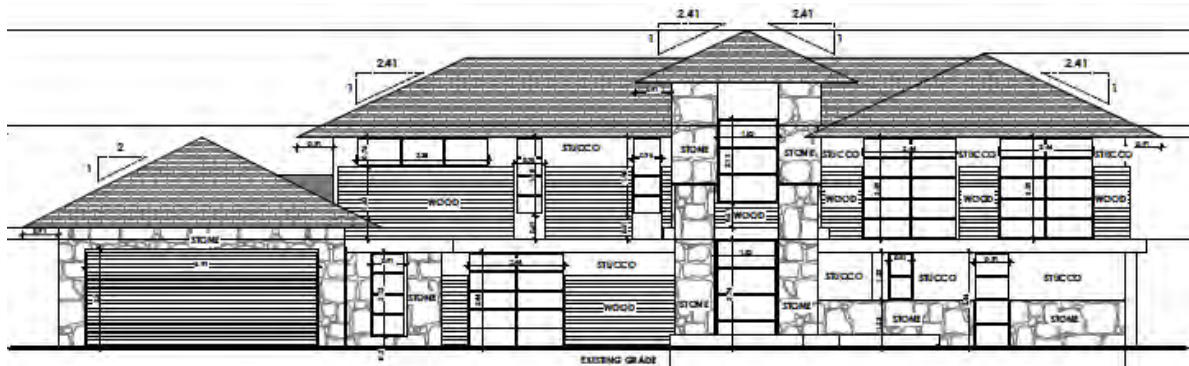
CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
<b>1. Design of physical value:</b>		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	A very common suburban house style c. 1970 that was mass-produced across North American.
ii) Displays a high degree of craftsmanship or artistic merit	NO	Typical of North American suburban housing constructed c. 1970
iii) Demonstrates a high degree of technical or scientific achievement	NO	It is a 2-storey Raised Ranch suburban dwelling.
<b>2. Historical or associative value</b>		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	NO	It does not have significant associations.
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	NO	Very common type of suburban house in North America c. 1970.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	NO	Demonstrates a common and standardized housing type c. 1970.
<b>3. Contextual Value</b>		
i) Is important in defining, maintaining, or supporting the character of an area	NO	The unusual lot shape is not typical of the area.
ii) Is physically, functionally, visually, or historically linked to its surroundings	NO	It is an example of late 20 <sup>th</sup> century residential infill.
iii) Is a landmark	NO	It is not a landmark.

## 7.0 PROPOSED ALTERATIONS

### See Appendix D: Architectural Drawings [Memar Architects]

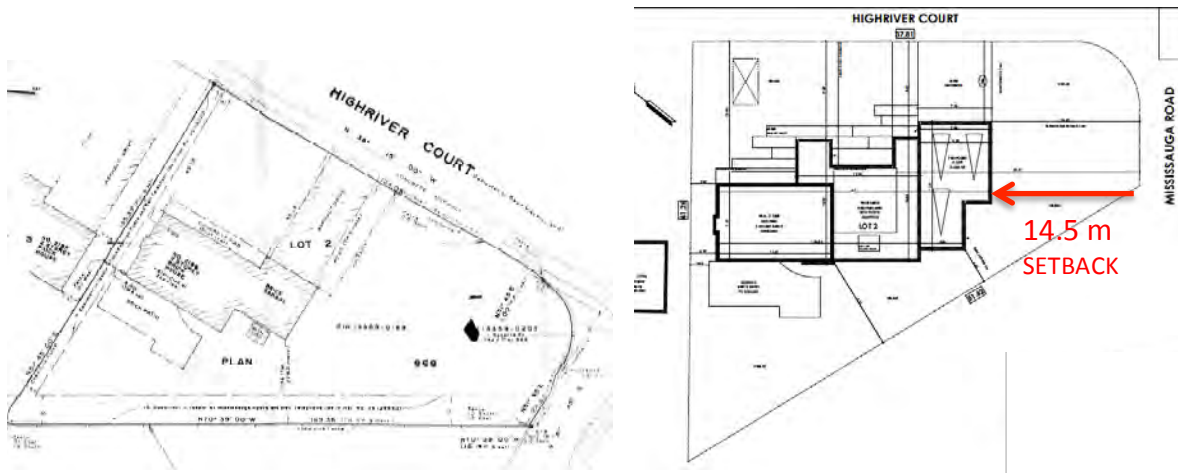
The owner plans to retain the existing dwelling and construct a 2-storey addition and garage on the south side. The existing garage will be integrated into the new 2-storey addition and a new 1-storey garage will be built. The existing driveway will be removed and a new driveway will be installed. The existing dwelling has a raised basement. The additions will be built on grade without a basement.

The additions will increase the size of the existing house from 220 sq m to 420 sq m. The exterior will be re-clad with artificial stone, stucco and horizontal wood siding. New stylistic features will be introduced on the main elevation including large picture windows, a central tower feature with large areas of glazing. The 2-storey house, central tower feature and 1-storey attached garage will have hipped roofs. The maximum height of the roofs will be 9.25 m.



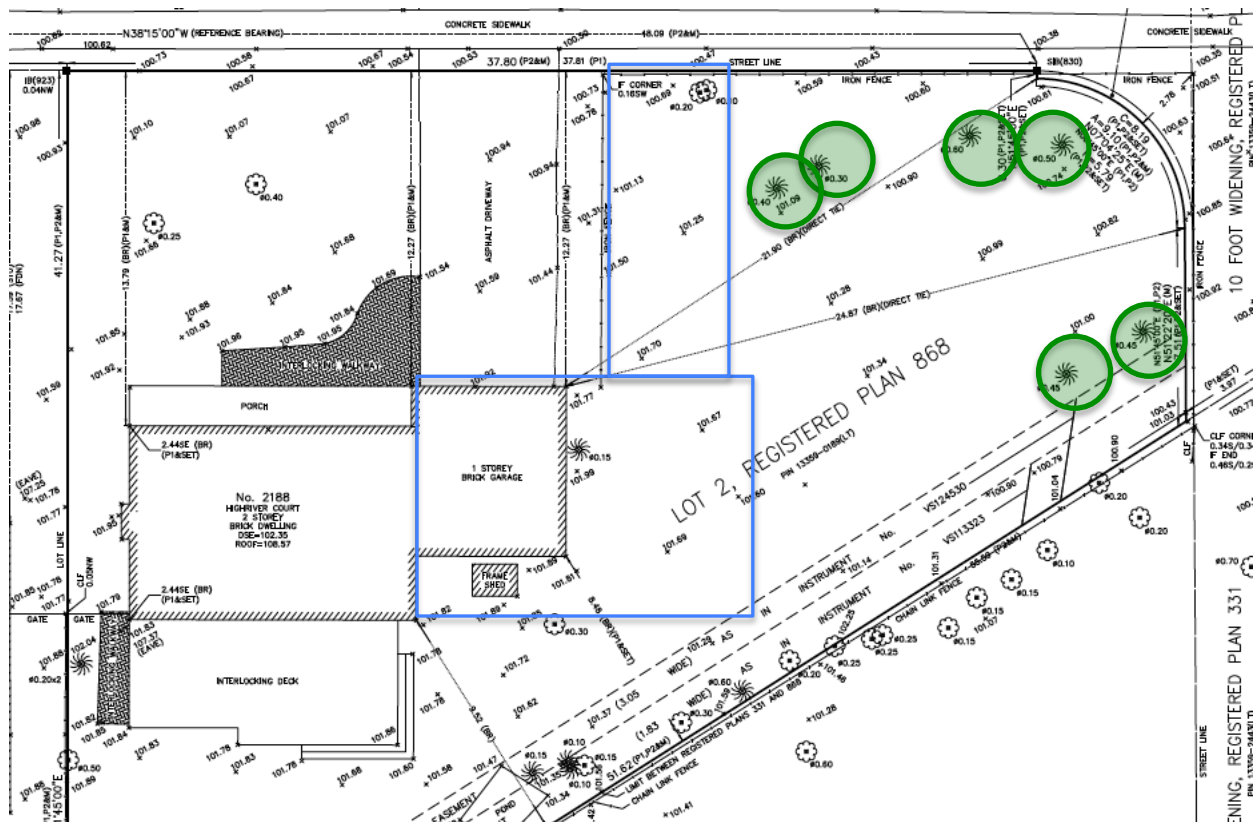
MAIN ELEVATION – on Highriver Court

The addition will be set back approximately 14.5 m from Mississauga Road. Tree Removals are limited to trees on Highriver Court that will be removed for the new driveway. Trees in the side yard that are visible from Mississauga Road will not be impacted.



SITE PLAN – existing (left) and proposed (right)





TREE SURVEY: proposed additions & driveway (blue) – no impact to trees in the side yard (green)

## 8.0 IMPACT ASSESSMENT

Adverse impacts on a cultural heritage resource are assessed according to guidelines published by the Ministry of Tourism Culture and Sport in the *Ontario Heritage Toolkit*. If a proposed development or site alteration will result in adverse impacts, a *Heritage Impact Assessment* can provide recommendations for avoiding or minimizing those impacts such as:

- alternative development approaches
- isolation or physical separation of new development and site alteration from built heritage resources and cultural heritage landscapes
- design measures to ensure new development and site alteration will be sympathetic to the cultural heritage value or interest of existing built heritage resources and cultural heritage landscapes
- reducing or relocating building height and mass away from the existing heritage attributes
- reversible alterations to heritage attributes
- creating buffer zones or view blocks (e.g. trees, plantings or other landscape elements that establish a visual separation or screen between the existing cultural heritage resource and new development), established through site plan control and other planning mechanisms

## 8.1 ASSESSMENT ACCORDING TO MTCS GUIDELINES

The table below identified impacts of the proposed alterations on the Mississauga Scenic Route:

POTENTIAL IMPACTS	IDENTIFIED IMPACTS	MITIGATION
Destruction of any, or part of any, significant heritage attributes or features	NONE	NOT REQUIRED
Alteration that is not sympathetic, or is incompatible with the historic fabric and appearance	NONE	NOT REQUIRED
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	NONE	NOT REQUIRED
A change in land use where the change in use negates the property's cultural heritage value	NONE	NOT REQUIRED
Removal of natural heritage features, including trees	NONE	NOT REQUIRED
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature, or plantings, such as a garden	NONE	NOT REQUIRED
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	NONE	NOT REQUIRED
Land disturbances such as change in grade that alter soils, and drainage patterns that adversely affect cultural heritage resources.	NONE	NOT REQUIRED

## 10.0 CONCLUSIONS & RECOMMENDATIONS

The subject property contains an existing dwelling that does not meet criteria for Designation under the *Ontario Heritage Act*. The proposed alterations are consistent with the R-1 zoning in place and will have no impact on heritage values associated with the Mississauga Scenic Route.

Existing trees in the side yard will be retained so views of the proposed addition will be screened from Mississauga Road. The addition will reduce the size of the existing side yard that fronts onto Mississauga Road, but an adequate set back of 14.5 m will be maintained.

## 11.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a member in good standing of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 7 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society of Architectural Historians* and the *Canadian Historical Review*.

## 12.0 SOURCES

City of Mississauga, *Cultural Landscape Inventory* (January 2005). Accessed online 15 July 2017  
[http://www5.mississauga.ca/pdfs/Cultural\\_Landscape\\_Inventory\\_Jan05.pdf](http://www5.mississauga.ca/pdfs/Cultural_Landscape_Inventory_Jan05.pdf)

Dieterman, Frank A. *Mississauga, The First 10,000 Years* (Mississauga, 2002)

Gibson, Marian M. *In the Footsteps of the Mississaugas* (Mississauga, 2006)

McAlester, Virginia Savage. *A Field Guide to American Houses (Revised); The Definitive Guide to Identifying and Understanding America's Domestic Architecture*. (New York, 1984 / revised 2015)

Ontario Ministry of Tourism & Culture, *Heritage Resources in the Land Use Planning Process, Ontario Heritage Tool Kit* (2006).

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada*, 2<sup>nd</sup> ed (2010)

## APPENDIX A: SITE PHOTOS



2188 HIGHRIVER COURT – existing 2-storey dwelling built in 1970



2188 HIGHRIVER COURT – side yard fronts on Mississauga Road





2188 HIGHRIVER COURT – residential lot on the northwest corner – driveway located on Highriver Court



2188 HIGHRIVER COURT – mature trees along Mississauga Road will be retained



MISSISSAUGA ROAD – south of Highriver Court



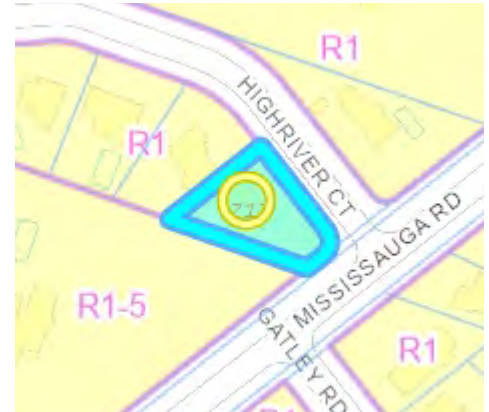
MISSISSAUGA ROAD – looking east - Highriver Court visible on the left



## Property Details

Address: 2188 HIGHRIVER CRT  
 Legal Description: PLAN 868 LOT 2  
 Roll Number: 21-05-060-130-11700-0000  
 Common Name:  
 Property Code: SINGLE FAMILY DETACHED (NOT ON WATER)  
 Ward: 8  
 Councillor: MATT MAHONEY  
 Area: 1,186.29  
 Depth: 41.27  
 Frontage: 0.00  
 Status: Registered

## Detail Map



## Aerial Map



## Property Zoning Information

The zone(s) for this property are listed below. Please click [here](#) to access our online zoning by-law.

Zone	Master Bylaw	Enacting Bylaw	OMB Case/File No.	Status
<a href="#">R1</a>	0225-2007	BL-0131/18	N/A	In Force

## Property Building Permits

App Number	App Date	Address	Description	Scope	Type Description	Issue Date	Status
BP PLUM 2-155	2002-01-08	2188 HIGHRIVER CRT	SEWER CONVERSION	OTHER	DETACHED DWELLING	2002-02-27	COMPLETE D -ALL INSP SIGNED OFF
HCC 72-287967	1972-08-09	2188 HIGHRIVER CRT	SWIMMING POOL & FENCE STORAGE				HISTORY COMMENT PERMIT
HCC 70-287966	1970-12-01	2188 HIGHRIVER CRT	PLG. PERMIT C&J 10 FIX P/D15846				HISTORY COMMENT PERMIT
HCC 70-287965	1970-11-01	2188 HIGHRIVER CRT	DRAIN PERMIT DOMENICI STM. & SAN. P/D15668				HISTORY COMMENT PERMIT
HCC 70-287964	1970-10-30	2188 HIGHRIVER CRT	SINGLE BP68-7470				HISTORY COMMENT PERMIT



## Property Information Report

City of Mississauga, 300 City Centre Drive, Mississauga, Ontario Canada L5B 3C1

### Heritage Status

Status: [LISTED ON THE HERITAGE REGISTER BUT NOT DESIGNATED](#)

Conservation District:

Bylaw:

Bylaw Date:

Inventory Item: [Mississauga Road Scenic Route](#)

Designation Statement:

Mississauga's heritage, which extends over 10,000 years, includes archaeological resources, numerous residential, commercial and industrial buildings, views, vistas, ridge lines, scenic routes and a variety of natural heritage properties.

To view details about the inventory item, please click on the INV # link.





# Cultural Landscape Inventory

## Mississauga Road Scenic Route

**F-TC-4**

**Location** Parallels the Credit River on its west bank

**Heritage or Other Designation** Scenic Road

**Landscape Type** Transportation

### LANDSCAPE ENVIRONMENT

- ☒ Scenic and Visual Quality
- ☐ Natural Environment
- ☒ Horticultural Interest
- ☒ Landscape Design, Type and Technological Interest

### HISTORICAL ASSOCIATION

- ☒ Illustrates Style, Trend or Pattern
- ☐ Direct Association with Important Person or Event
- ☒ Illustrates Important Phase in Mississauga's Social or Physical Development
- ☐ Illustrates Work of Important Designer

### BUILT ENVIRONMENT

- ☐ Aesthetic/Visual Quality
- ☐ Consistent Early Environs (pre-World War II)
- ☒ Consistent Scale of Built Features
- ☐ Unique Architectural Features/Buildings
- ☐ Designated Structures

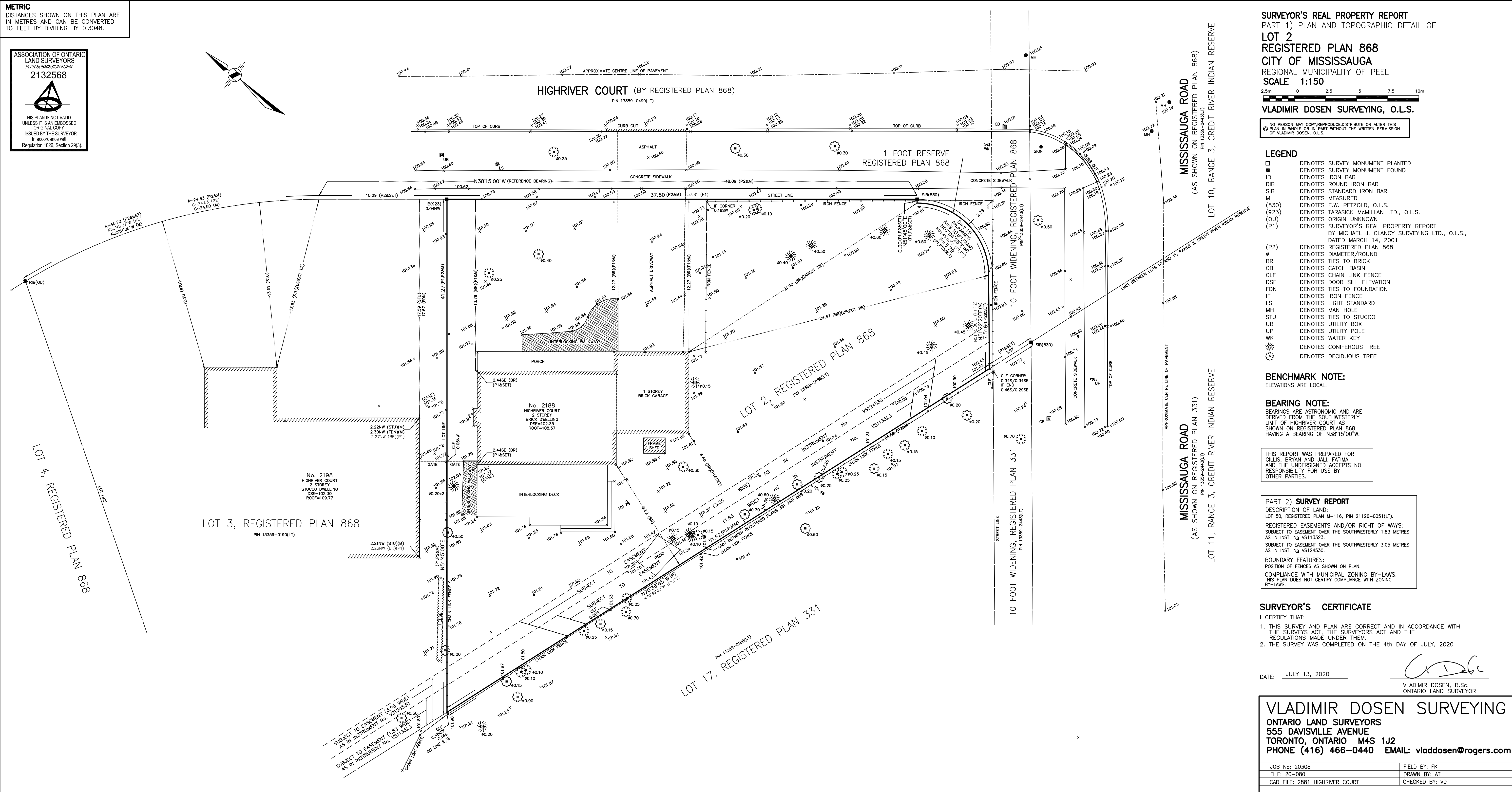
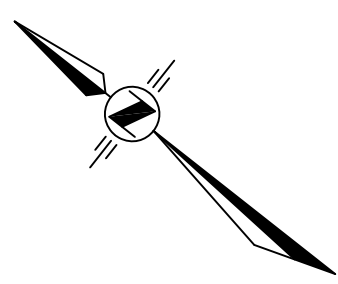
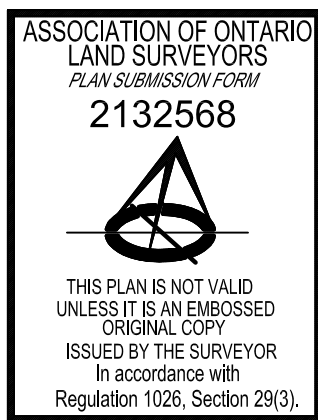
### OTHER

- ☒ Historical or Archaeological Interest
- ☐ Outstanding Features/Interest
- ☐ Significant Ecological Interest
- ☐ Landmark Value

**Mississauga Road Scenic Route****F-TC-4****SITE DESCRIPTION**

Mississauga Road is one of the oldest roads in Mississauga. Its alignment varies from being part of the normal road grid in the north to a curvilinear alignment in the south following the top of bank of the Credit River. The scenic quality of the road is notable because it traverses a variety of topography and varying land use from old established residential neighbourhoods to new industrial and commercial areas. From Streetsville south the boulevards and adjacent landscapes are home to some of the oldest and most spectacular trees in the City. It is acknowledged as an important cultural landscape because of its role as a pioneer road and its scenic interest and quality.

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048.



**SURVEYOR'S REAL PROPERTY REPORT**  
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF  
**LOT 2**  
**REGISTERED PLAN 868**  
**CITY OF MISSISSAUGA**  
REGIONAL MUNICIPALITY OF PEEL  
**SCALE**  
1:150  
2.5m 0 2.5 5 7.5 10m  
**VLADIMIR DOSEN SURVEYING, O.L.S.**  
NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS  
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION  
OF VLADIMIR DOSEN, O.L.S.

**LEGEND**  
□ DENOTES SURVEY MONUMENT PLANTED  
■ DENOTES SURVEY MONUMENT FOUND  
IB DENOTES IRON BAR  
RIB DENOTES ROUND IRON BAR  
SIB DENOTES STANDARD IRON BAR  
M DENOTES MEASURED  
(830) DENOTES E.W. PETZOLD, O.L.S.  
(923) DENOTES TARASICK MCILLAN LTD., O.L.S.  
(OU) DENOTES ORIGIN UNKNOWN  
(P1) DENOTES SURVEYOR'S REAL PROPERTY REPORT  
BY MICHAEL J. CLANCY SURVEYING LTD., O.L.S.,  
DATED MARCH 14, 2001  
(P2) DENOTES REGISTERED PLAN 868  
Ø DENOTES DIAMETER/ROUND  
BR DENOTES TIES TO BRICK  
CB DENOTES CATCH BASIN  
CLF DENOTES CHAIN LINK FENCE  
DSE DENOTES DOOR SILL ELEVATION  
FDN DENOTES TIES TO FOUNDATION  
IF DENOTES IRON FENCE  
LS DENOTES LIGHT STANDARD  
MH DENOTES MAN HOLE  
STU DENOTES TIES TO STUCCO  
UB DENOTES UTILITY BOX  
UP DENOTES UTILITY POLE  
WK DENOTES WATER KEY  
☼ DENOTES CONIFEROUS TREE  
☼ DENOTES DECIDUOUS TREE

**BENCHMARK NOTE:**  
ELEVATIONS ARE LOCAL.

**BEARING NOTE:**  
BEARINGS ARE ASTRONOMIC AND ARE  
DERIVED FROM THE SOUTHWESTERLY  
LIMIT OF HIGHRIVER COURT AS  
SHOWN ON REGISTERED PLAN 868,  
HAVING A BEARING OF N38°15'00"W.

THIS REPORT WAS PREPARED FOR  
GILLIS, BRYAN AND JALI, FATIMA  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY  
OTHER PARTIES.

**PART 2) SURVEY REPORT**  
DESCRIPTION OF LAND:  
LOT 50, REGISTERED PLAN M-116, PIN 21126-0051(LT).  
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:  
SUBJECT TO EASEMENT OVER THE SOUTHWESTERLY 1.83 METRES  
AS IN INST. NO. V5113323.  
SUBJECT TO EASEMENT OVER THE SOUTHWESTERLY 3.05 METRES  
AS IN INST. NO. V5124530.  
BOUNDARY FEATURES:  
POSITION OF FENCES AS SHOWN ON PLAN.  
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING  
BY-LAWS.

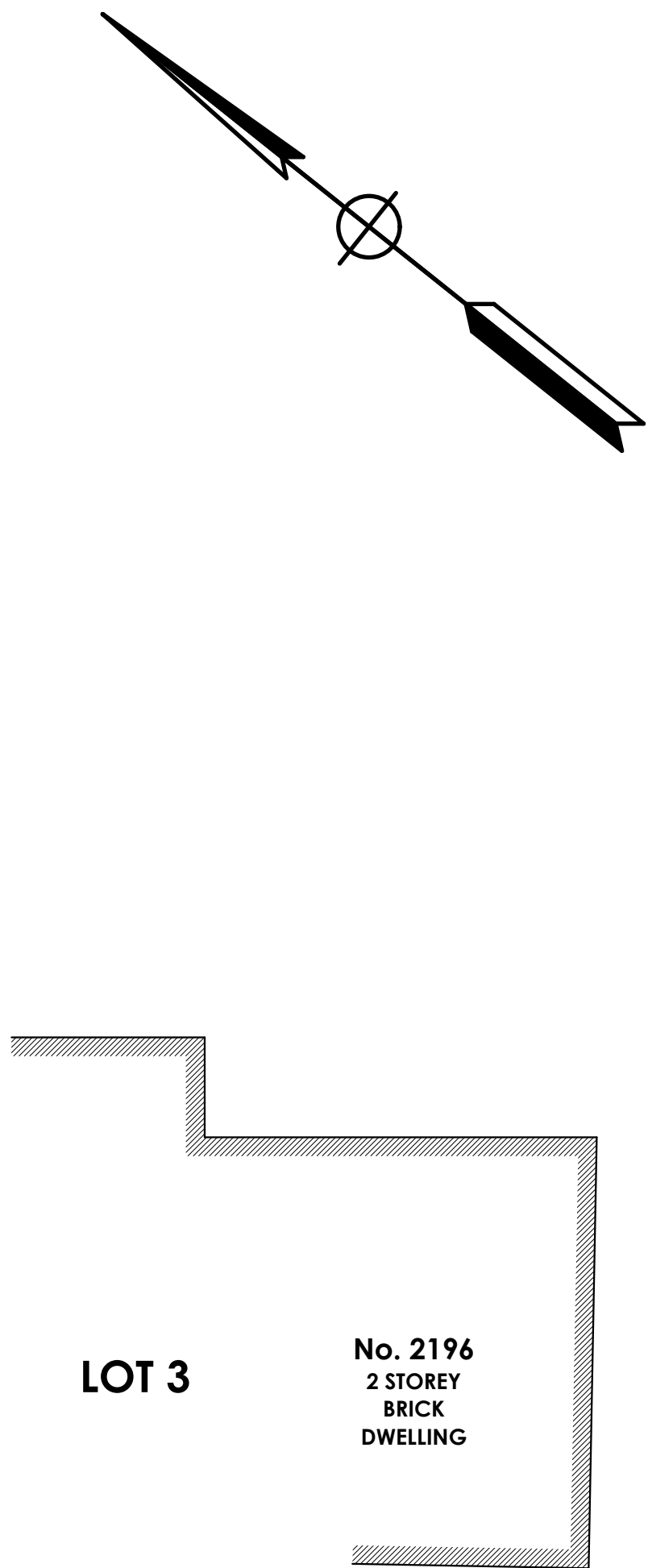
**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH  
THE SURVEYORS ACT, THE SURVEYORS ACT AND THE  
REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 4th DAY OF JULY, 2020

DATE: JULY 13, 2020  
VLADIMIR DOSEN, B.Sc.,  
ONTARIO LAND SURVEYOR

**VLADIMIR DOSEN SURVEYING**  
ONTARIO LAND SURVEYORS  
555 DAVISVILLE AVENUE  
TORONTO, ONTARIO M4S 1J2  
PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

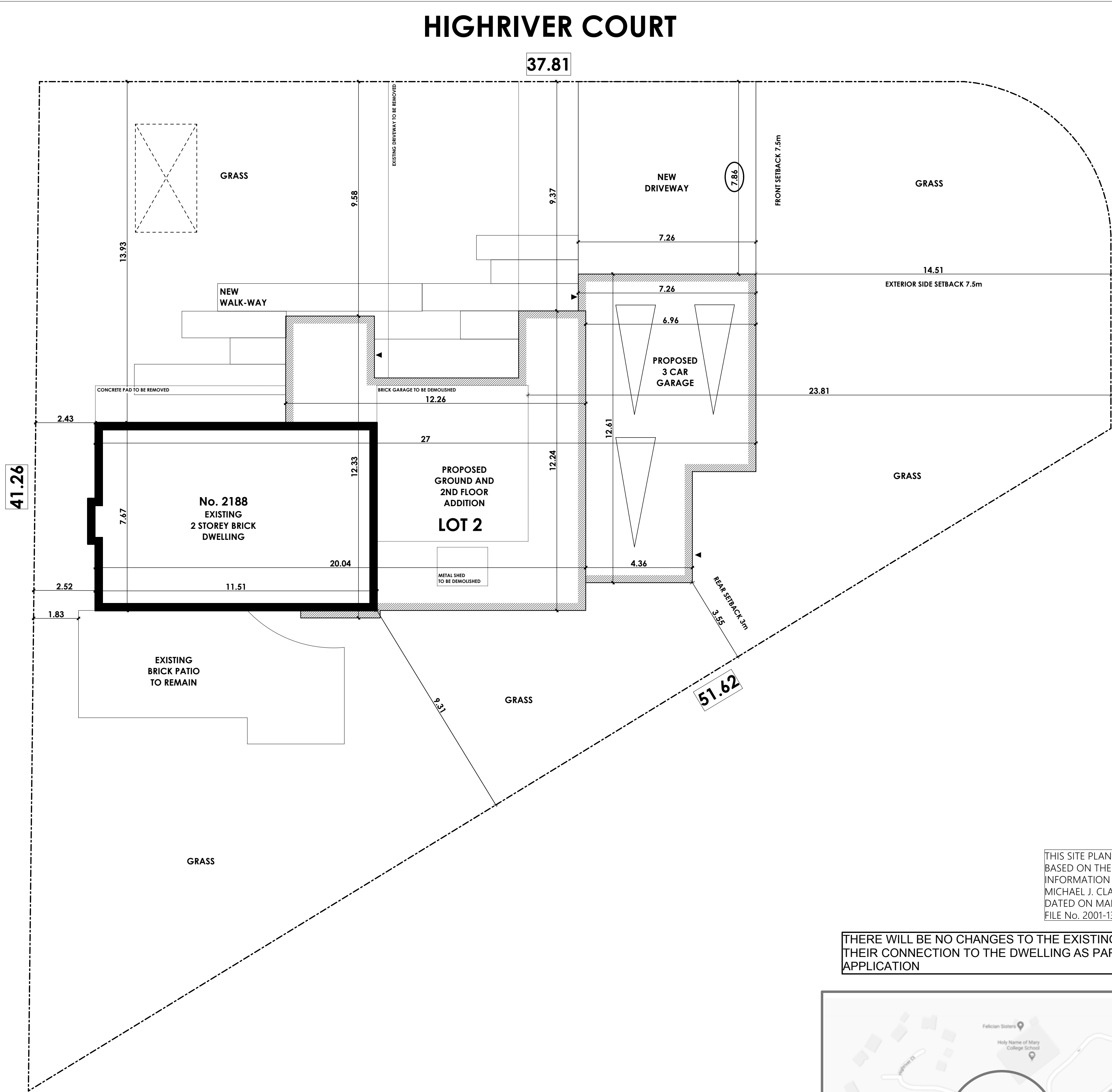
JOB No: 20308	FIELD BY: FK
FILE: 20-080	DRAWN BY: AT
CAD FILE: 2881 HIGHRIVER COURT	CHECKED BY: VD

- "I hereby certify that this drawing conforms in all respects to the site development plans as approved by the City of Mississauga under file number SP\_\_\_\_\_" [Site Plan number to be filled in after assigned] [Architect's, Engineer's, or Owner's Original signature]; \_\_\_\_\_
- "The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be in conformity with the site development plan as approved by the City of Mississauga, Development and Design Division.;"
- "The Owner is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Department. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the Letter of Credit to be held for two (2) years following completion of all site works." [Owner's original signature. Stamps or copies of signatures are not permitted on the final copies for Site Plan Approval]; \_\_\_\_\_
- "Should the installation of below ground services require hoarding to be removed, Planning and Building staff are to be contacted prior to the commencement of such work. Should an alternative service route not be possible, staff will inspect and document the condition of the vegetation and servicing installation in order to minimize damage to the vegetation.;"
- "The structural design of any retaining wall over 0.60 m (2.00 ft) in height or any retaining wall located on a property line is shown on the Site Plan and Grading Plan and is to be approved by the Consulting Engineer for the project.;"
- "Grades must be met within 33% maximum slope at the property lines and within the site.;"
- "The portions of the driveway within the municipal boulevard will be paved by the applicant.;"
- "At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway and a curb depression will be provided for each entrance.;"
- "All proposed curbing at the entrances to the site is to stop at the property line or at the municipal sidewalk.;"
- "The existing drainage pattern will be maintained.;"
- "All utility companies will be notified for locates prior to the installation of the hoarding that lies within the limits of the City boulevard area.;"
- "The applicant will be responsible for the cost of any utilities relocations necessitated by the Site Plan";
- "Construction materials are not to be put out for collection.;"
- "All damaged landscape areas will be reinstated with topsoil and sod prior to release of securities.;"
- "All excess excavated materials will be removed from the site.;"
- "There are no existing or proposed easements on the property" (if applicable).
- Once all works are complete, the applicant is to contact the Planning and Building Department, Development and Design Division, at (905) 896-5511 for an Inspection PRIOR to hoarding being removed.



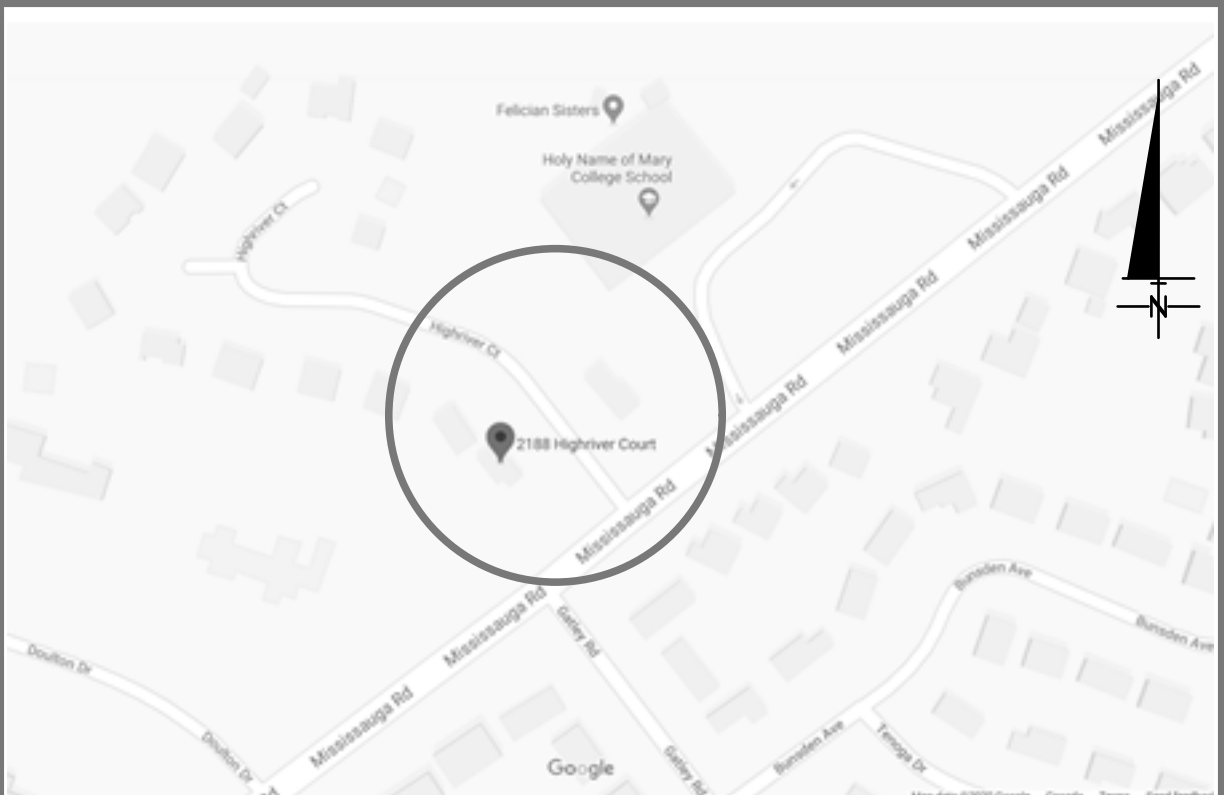
ADDRESS:	2188 HIGHRIVER COURT		
ZONING:	R1 CORNER LOT		
LOT AREA:	1,207.11 m2		
LOT FRONTAGE:	37.81m		
GROSS FLOOR AREA-INFILL RESIDENTIAL			
	EXISTING	PROPOSED	TOTAL
GROUND FLOOR:	88.82m2	105.07m2	193.89m2
SECOND FLOOR:	92.27m2	58.72m2	150.99m2
GARAGE:	39.39m2	36.97m2	76.36m2
TOTAL GFA:	220.48m2	200.76m2	421.24m2

LOT COVERAGE			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT:	128.21m2	53.22m2	181.43m2
TOTAL LOT COVERAGE:		15.03%	181.43m2
LANDSCAPED SOFT AREA:			
FRONT YARD AREA:		520.36m²	
HARD SURFACE AREA:		169.81m²	
TOTAL LANDSCAPED SOFT AREA:		855.87m²	



THIS SITE PLAN WAS PREPARED  
BASED ON THE SURVEY  
INFORMATION PROVIDED BY  
MICHAEL J. CLANCY SURVEYING LTD.  
DATED ON MARCH 14, 2001  
FILE No. 2001-133

THERE WILL BE NO CHANGES TO THE EXISTING UTILITIES OR  
THEIR CONNECTION TO THE DWELLING AS PART OF THIS  
APPLICATION



KEY PLAN

MISSISSAUGA ROAD



"Memar Architects Inc."  
2323 Yonge St Unit 503  
Toronto, ON, M4P 2C5  
T: 416-551-5764



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FOR ANY CONSTRUCTION BEFORE ISSUANCE OF  
PERMIT.  
CONTRACTOR MUST VERIFY ALL  
DIMENSIONS, ELEVATIONS AND AS-BUILT INFORMATION  
INCLUDING STRUCTURAL AND MECHANICAL PRIOR  
TO COMMENCEMENT OF WORK AND REPORT ANY  
DISCREPANCIES TO MEMAR.  
DESIGN, DRAWINGS & SPECIFICATIONS ARE ALL  
PROPERTY OF MEMAR AND MUST NOT BE USED  
FOR ANY OTHER PROJECT WITHOUT WRITTEN  
PERMISSION.

DATE:	ISSUED FOR:
MAR 30 2020	FOR PRE-APPLICATION MEETING

REGISTERED PROPERTY HOMEOWNER:  
BRYAN GILLIS (647-223-0222)  
FATMA JAIL (416-965-3737)  
ADDRESS: 2188 HIGHRIVER COURT  
MISSISSAUGA

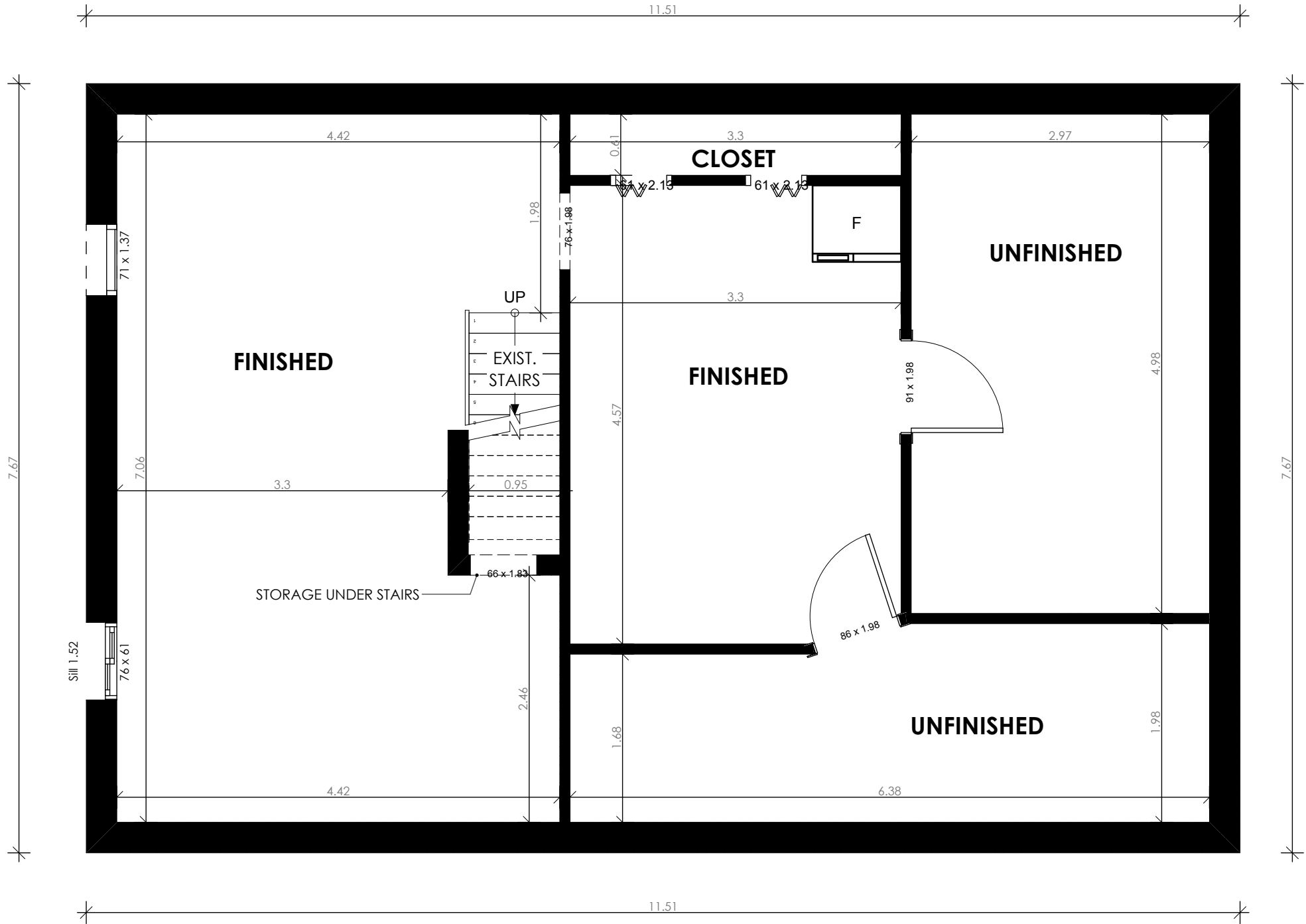
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SCALE: 1:100



DRAWN BY:	CHKD BY:
S.T.	S.T.

LAST MODIFIED ON:  
Wednesday, April 1, 2020

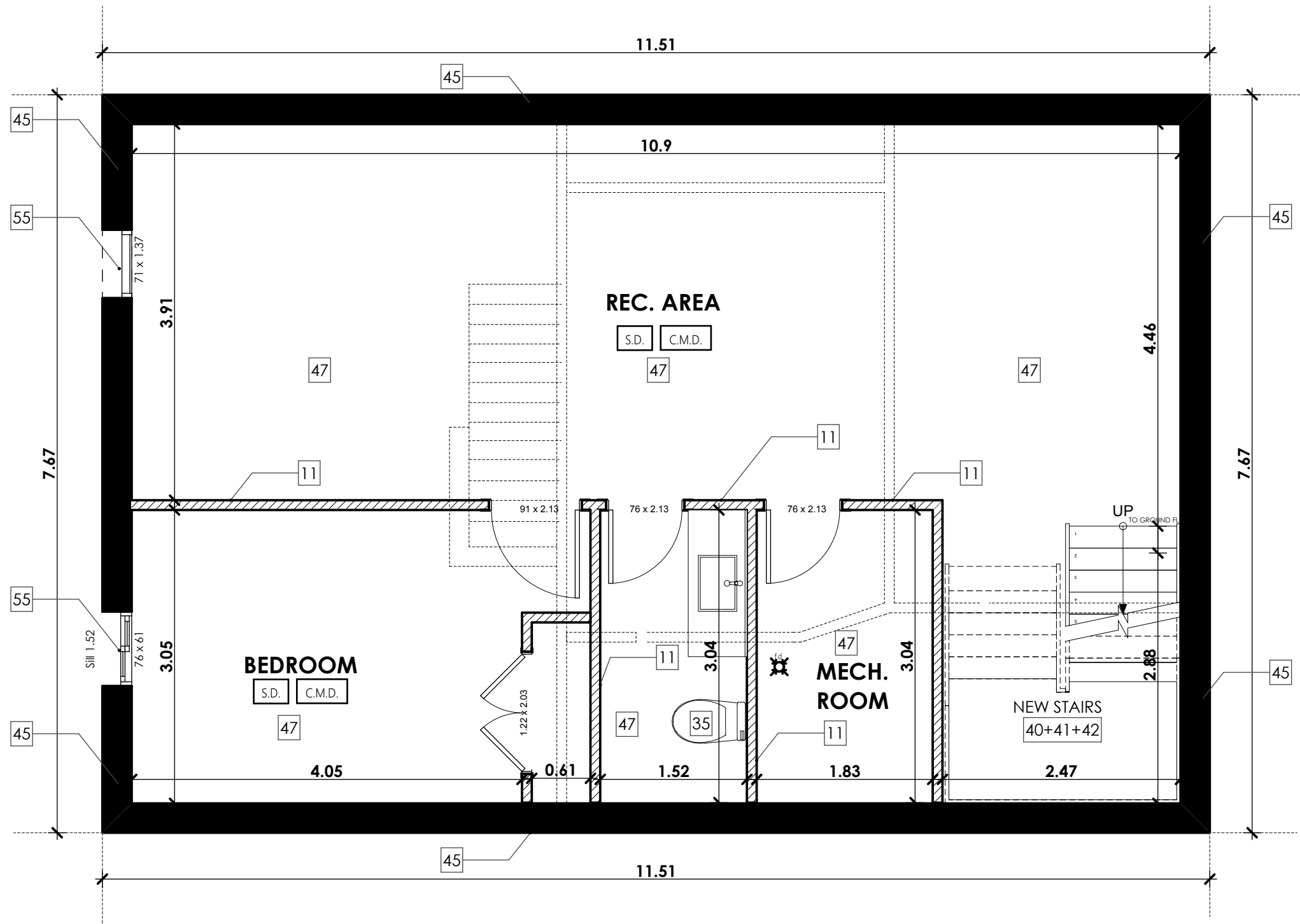
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EXISTING BASEMENT

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			PROJECT TITLE/ADDRESS:		CHKD BY	LAST MODIFIED ON:			
			2188 HIGHRIVER CT, MISSISSAUGA, ON		S.T.	Wednesday, April 1, 2020			





PROPOSED BASEMENT

LEGEND

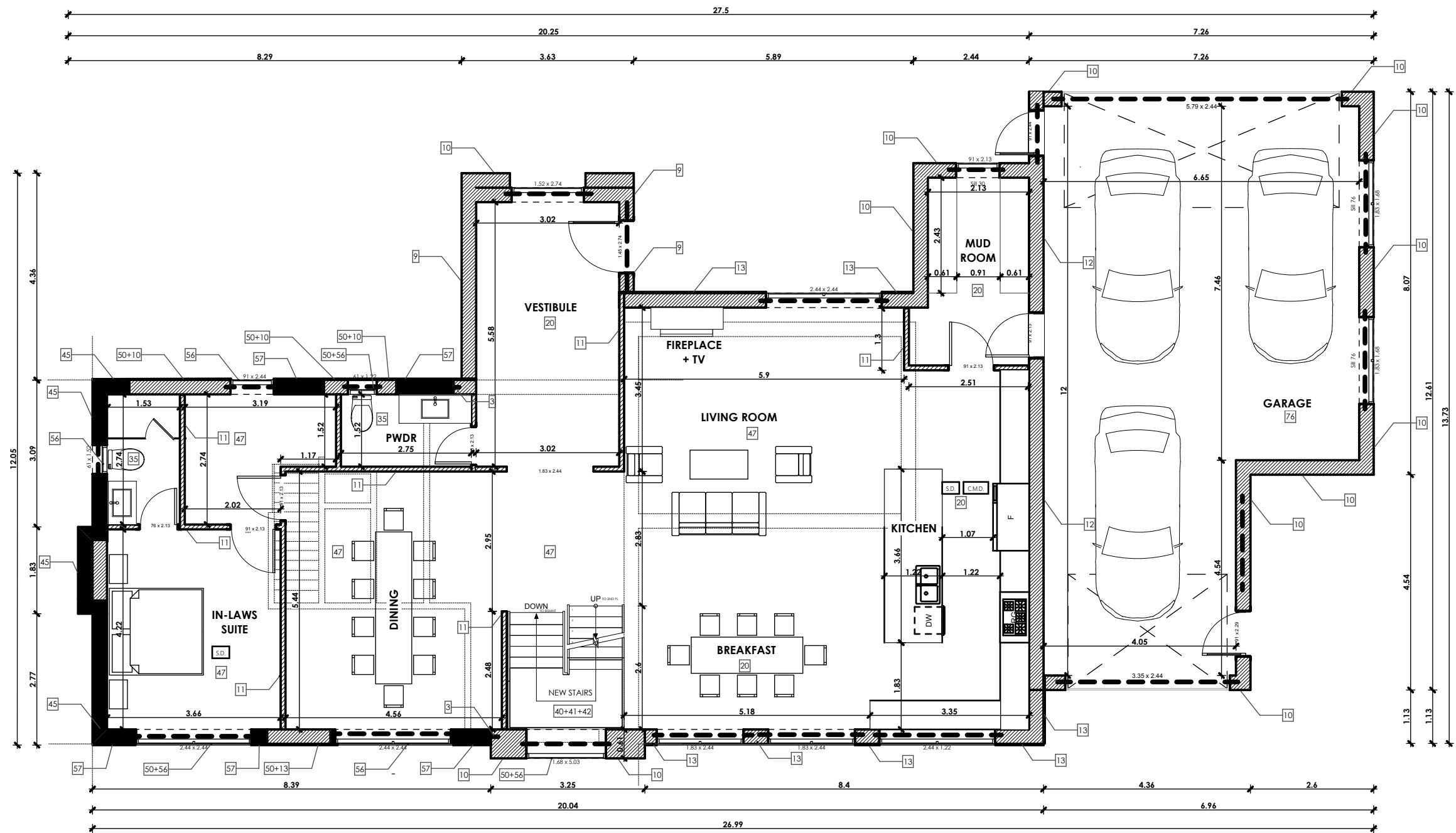
WALLS

EXISTING WALL

PROPOSED WALL

walls to be removed

<div>ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS &amp; AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS &amp; SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER <b>COPY RIGHT ACT</b> AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION.</div>	DATE:	ISSUED FOR:	DRAWING TITLE:	<div>DRAWN BY</div> <div>L.M.</div> <div>CHKD BY</div> <div>S.T.</div>	SCALE:	<div><div>MEMAR</div><div>ARCHITECTS</div></div> <div>"Memar Architects Inc." 2323 Yonge St, Unit 503 Toronto, ON, M4P 2C9 T: 416-551-5764</div>	<div>ONTARIO ASSOCIATION OF ARCHITECTS <i>Hadi</i> S. HADI SADAT TOUSSI LICENCE 8408</div>	A.03
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			PROJECT TITLE/ADDRESS:		LAST MODIFIED ON:			
			2188 HIGHRIVER CT, MISSISSAUGA, ON		Wednesday, April 1, 2020			



LEGEND

WALLS

EXISTING WALL

PROPOSED WALL

walls to be removed

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DATE:	ISSUED FOR:

DRAWING TITLE:
PROPOSED GROUND FL.
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

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L.M.
CHKD BY
S.T.

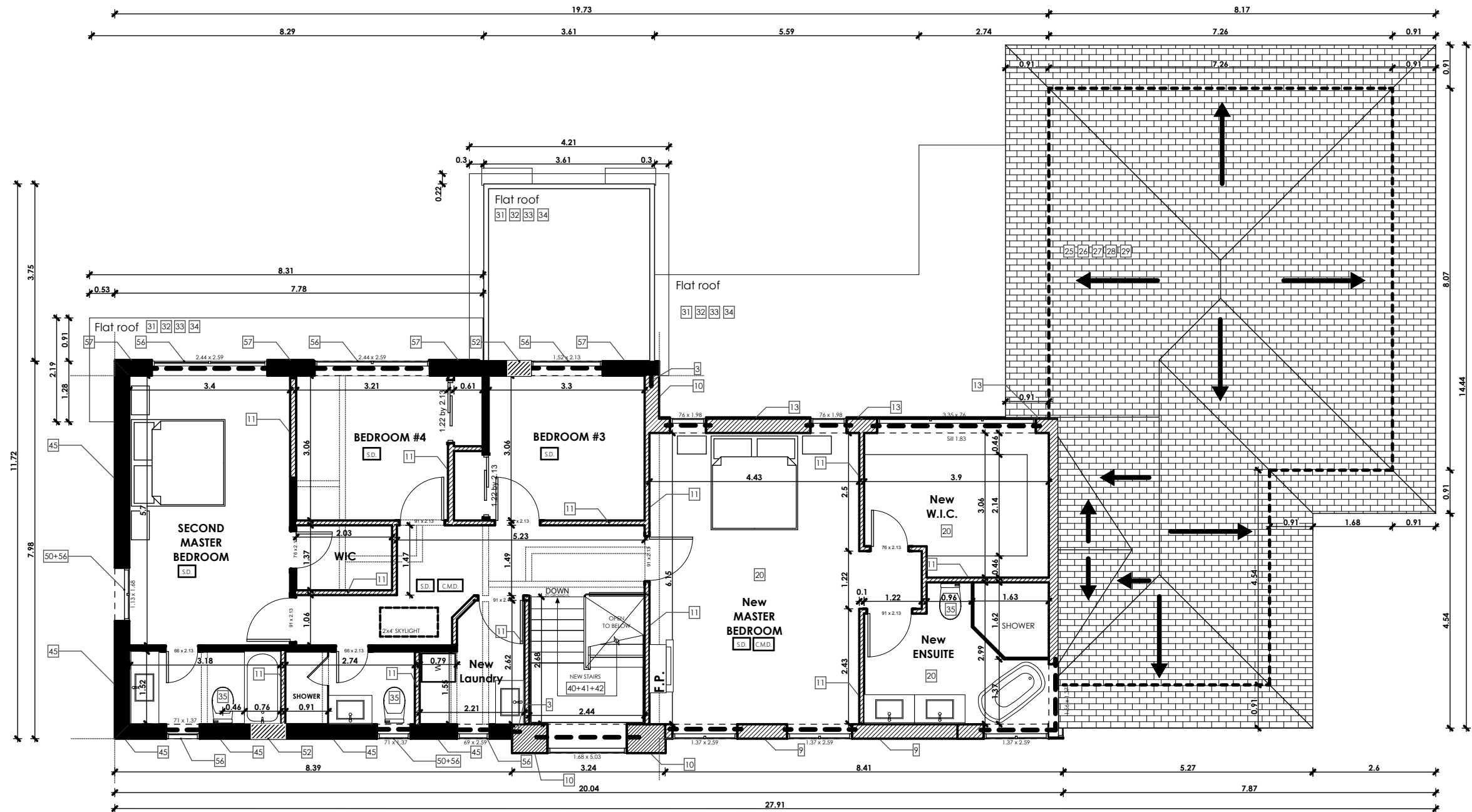
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LAST MODIFIED ON:
Wednesday, April 1, 2020



"Memar Architects Inc."  
2323 Yonge St, Unit 503  
Toronto, ON, M4P 2C9  
T: 416-551-5764



A.04



LEGEND

WALLS

EXISTING WALL

PROPOSED WALL

walls to be removed

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DATE:	ISSUED FOR:

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PROPOSED SECOND FL.
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON


DRAWN BY
L.M.
CHKD BY
S.T.

SCALE:
1:100
LAST MODIFIED ON:
Wednesday, April 1, 2020

MEMAR

ARCHITECTS

"Memar Architects Inc."

2323 Yonge St, Unit 503

Toronto, ON, M4P 2C9

T: 416-551-5764

ONTARIO ASSOCIATION

OF

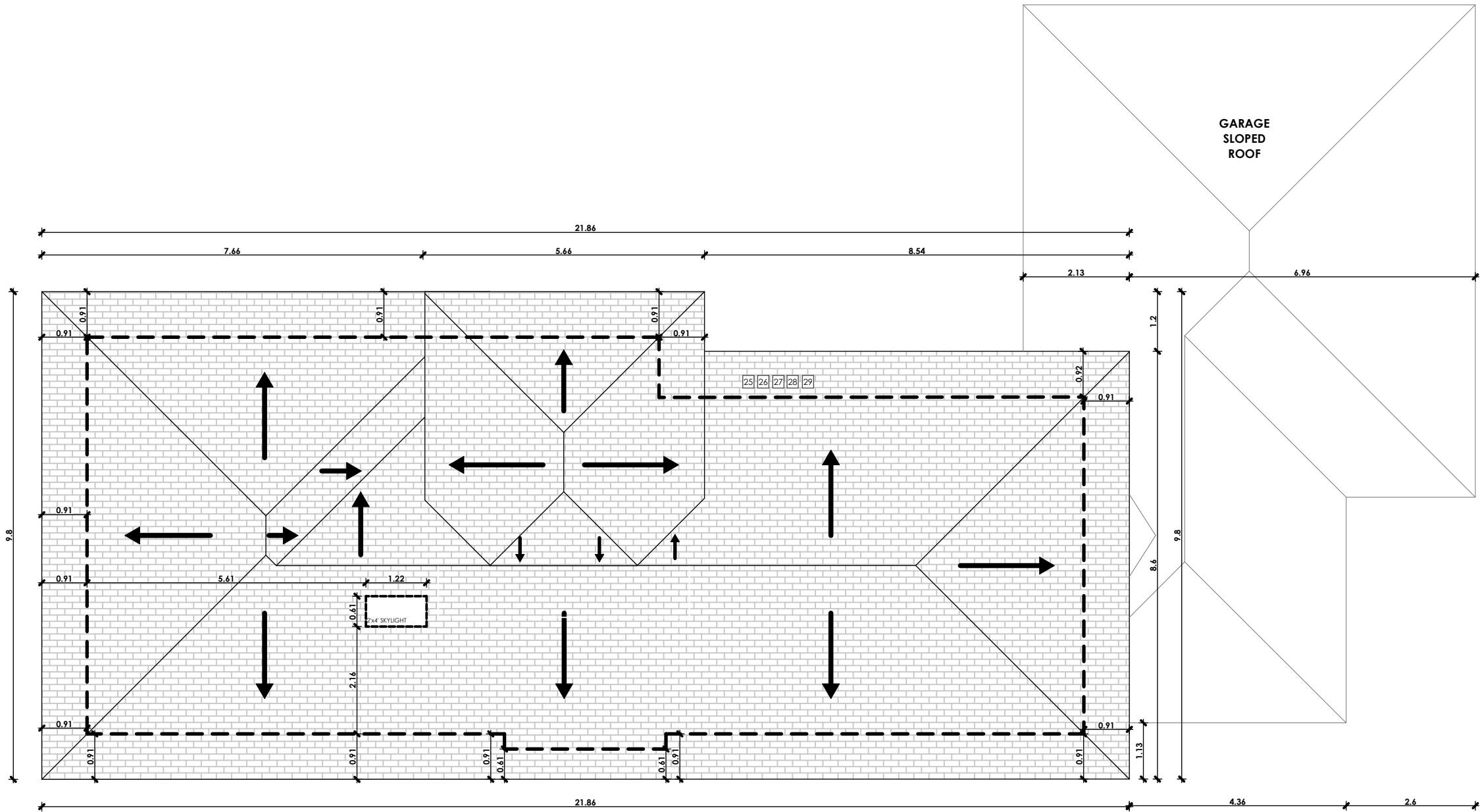
ARCHITECTS

S. HADI SADAT TOUSSI

LICENCE

8408

A.05



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DATE:	ISSUED FOR:

DRAWING TITLE:
PROPOSED TOP OF ROOF
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

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L.M.
CHKD BY
S.T.

SCALE:
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LAST MODIFIED ON:
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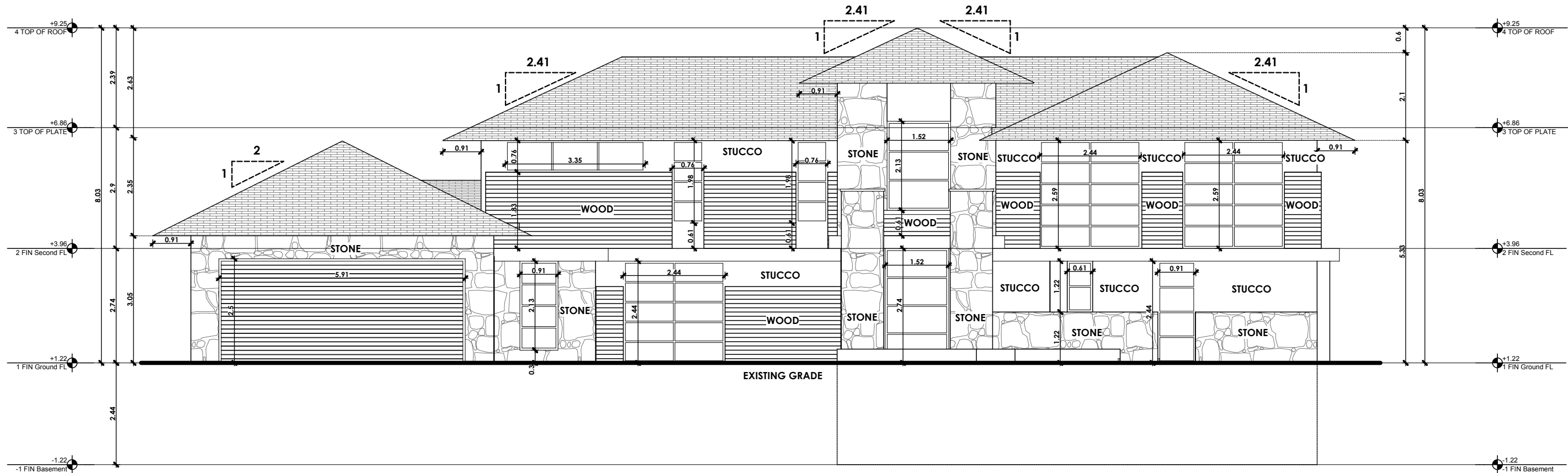


"Memar Architects Inc."  
2323 Yonge St, Unit 503  
Toronto, ON, M4P 2C9  
T: 416-551-5764



ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
S. HADI SADAT TOUSSI  
LICENCE  
8408

A.06



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DATE:	ISSUED FOR:

DRAWING TITLE:
FRONT ELEVATION
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

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L.M.
CHKD BY
S.T.

SCALE:
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LAST MODIFIED ON:
Wednesday, April 1, 2020

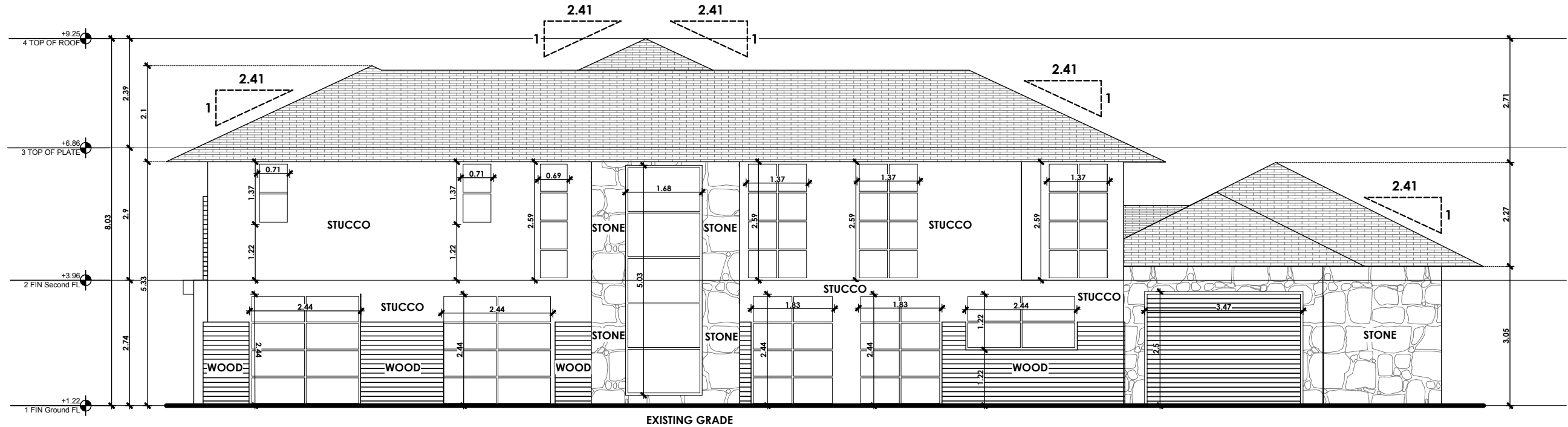


"Memar Architects Inc."  
2323 Yonge St, Unit 503  
Toronto, ON, M4P 2C9  
T: 416-551-5764



A.07





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DATE:	ISSUED FOR:

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PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

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L.M.
CHKD BY
S.T.

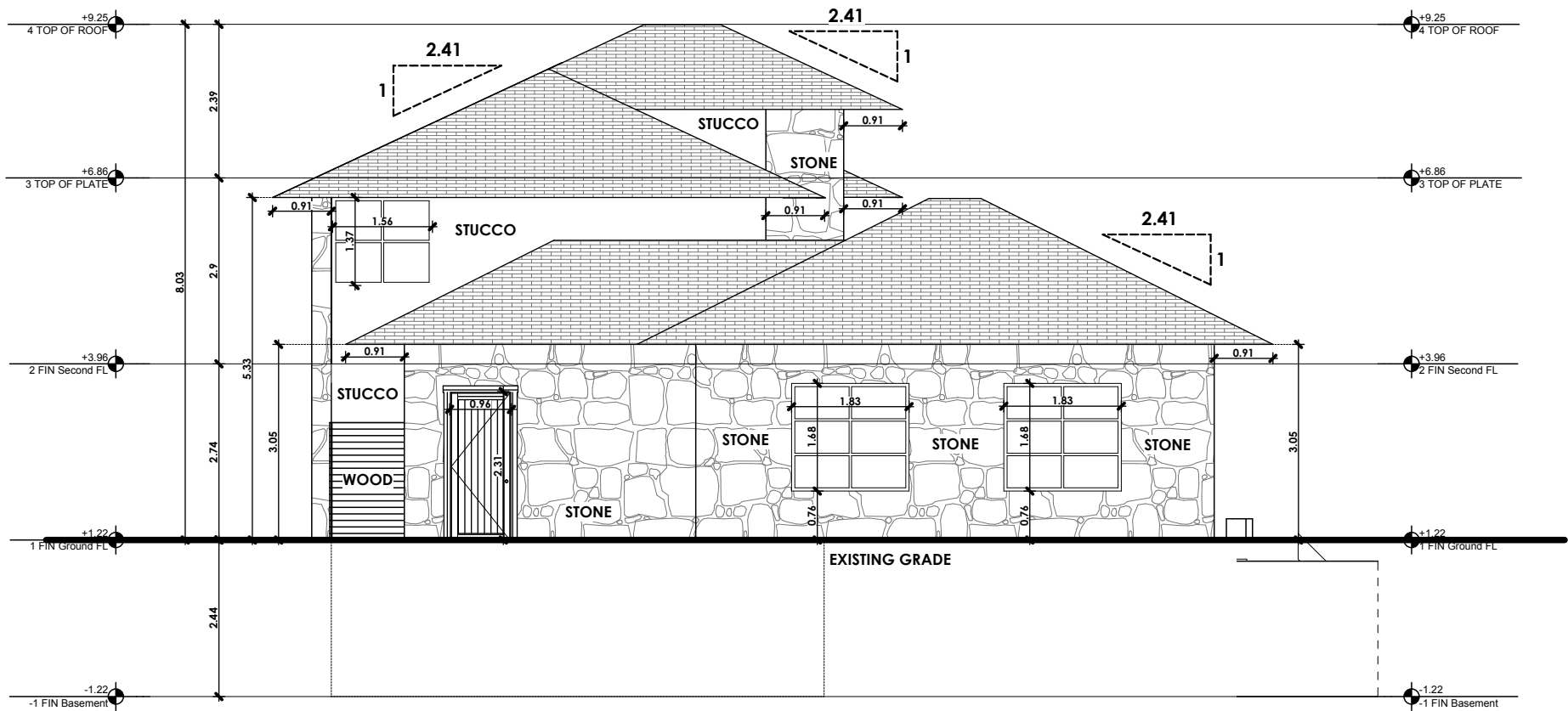
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LAST MODIFIED ON:
Wednesday, April 1, 2020



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Toronto, ON, M4P 2C9  
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DATE:	ISSUED FOR:

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E-09 SIDE ELEVATION
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON



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CHKD BY
S.T.

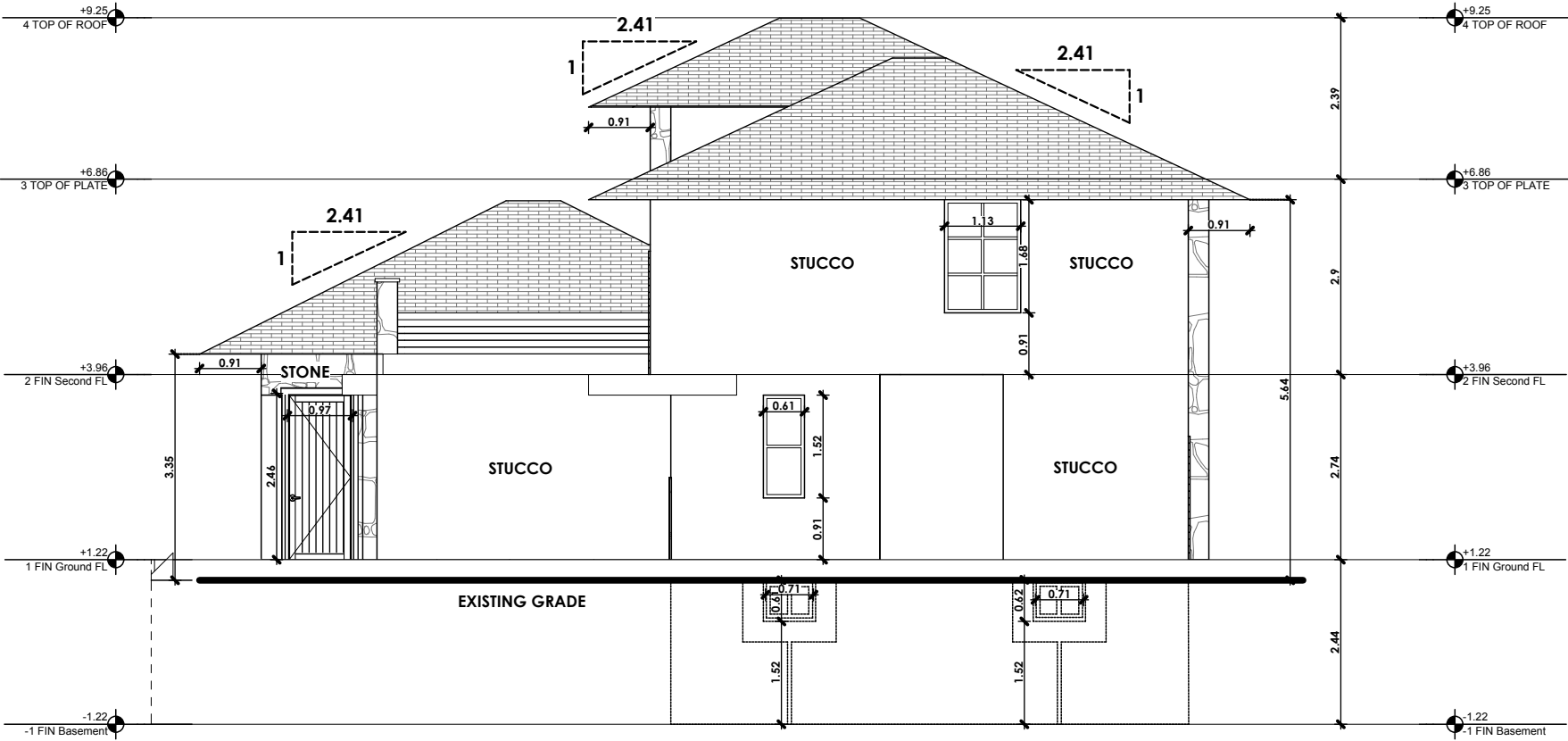
SCALE:
1:100
LAST MODIFIED ON:
Wednesday, April 1, 2020



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DATE:	ISSUED FOR:

DRAWING TITLE:
E-10 SIDE ELEVATION
PROJECT TITLE/ADDRESS:
2188 HIGHRIVER CT, MISSISSAUGA, ON

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S.T.

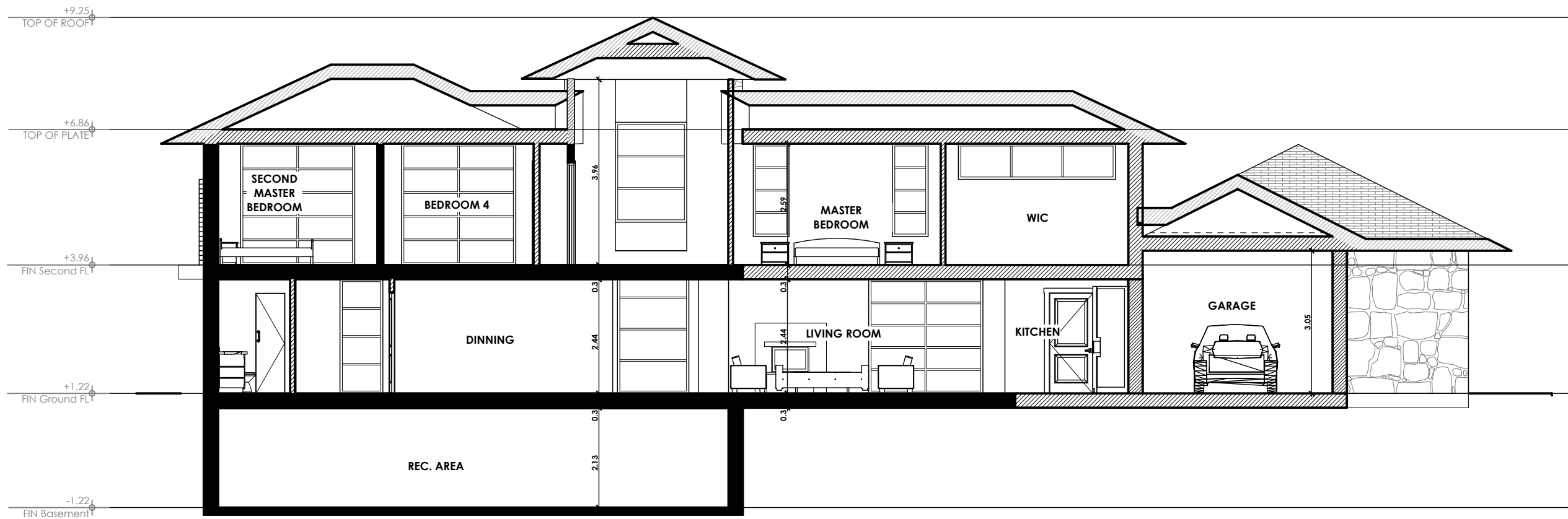
SCALE:
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Wednesday, April 1, 2020



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Toronto, ON, M4P 2C9  
T: 416-551-5764



A.10



LEGEND

WALLS

-

EXISTING WALL

PROPOSED WALL

walls to be removed

<div>ALL DRAWINGS AND DOCUMENTS ARE PRELIMINARY UNLESS APPROVED BY THE CITY AND MUST NOT BE USED FOR ANY CONSTRUCTION BEFORE ISSUANCE OF BUILDING PERMIT. CONTRACTORS/BUILDER MUST VERIFY ALL DIMENSIONS/SPECS/DETAILS &amp; AS-BUILT INFORMATION INCLUDING STRUCTURAL AND MECHANICAL PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO MEMAR. DESIGN, DRAWINGS &amp; SPECIFICATIONS ARE ALL PROPERTY OF MEMAR UNDER COPY RIGHT ACT AND MUST NOT BE USED FOR ANY OTHER PROJECT AND/OR BY ANY OTHER PERSON INCLUDING ORIGINAL CLIENT WITHOUT WRITTEN PERMISSION.</div>	DATE:	ISSUED FOR:	DRAWING TITLE:		DRAWN BY	SCALE:	<div><div>MEMAR</div><div>ARCHITECTS</div></div> <div>"Memar Architects Inc." 2323 Yonge St, Unit 503 Toronto, ON, M4P 2C9 T: 416-551-5764</div>	<div>ONTARIO ASSOCIATION OF ARCHITECTS <i>Hadi</i> S. HADI SADAT TOUSSI LICENCE 8408</div>	A.11
			S15 Building Section		L.M.	1:100			
			PROJECT TITLE/ADDRESS:		CHKD BY	LAST MODIFIED ON:			
			2188 HIGHRIVER CT, MISSISSAUGA, ON		S.T.	Wednesday, April 1, 2020			