

84 HIGH STREET EAST

Mississauga, ON

CONSERVATION PLAN

Issued: December 4, 2024

Project # 21-110-04
Prepared by PE/JQ/EA/MY/SC/RD/
MS

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EXECUTIVE SUMMARY

Overview

This Conservation Plan has been prepared by ERA Architects Inc. (“ERA”) for 84 High Street East (the “Site”).

The purpose of this report is to identify and describe the conservation scope of work required for the Site, in accordance with architectural plans by ERA, dated December 2, 2024, and the Heritage Impact Assessment (“HIA”) by ERA, dated January 27, 2023.

Heritage Status

The Site is currently designated under Part IV, Section 29 of the *Ontario Heritage Act* (“OHA”) by designation by-law 0206-2007 (see Appendix B), passed by City Council on May 23, 2007.

Proposed Development

The proposed development involves a full-block redevelopment between High, Ann, Park, and Hurontario Streets. This includes the retention of the buildings at 84 and 90 High Street East, the construction of a 23-storey tower at the block’s west corner, and a land exchange with the City of Mississauga. The land exchange is proposed to create a South Public Park that surrounds the two heritage resources at 84 and 90 High Street East, enveloping part of their original lawns. A redesigned landscape is proposed for both lots.

Conservation Strategy at 84 High Street East

The general conservation scope of work includes:

- In-situ retention of the heritage building;
- Salvage and removal of existing hardscape elements to accommodate new landscape design on the south and north lawns;
- Removal of concrete stairs and landing on south elevation;

- Removal of contemporary wood porch, deck, and stairs on the north elevation;
- Construction of new metal stair on north elevation;
- Removal of unsympathetic doors and windows and installation of new wood windows and doors to match heritage profile;
- Installation of new metal flashings, gutters, and downspouts;
- General masonry, wood, and stucco repair and cleaning on all exterior elevations, including replacement as required; and
- Retention of roof asphalt shingles and gabled-end cedar shingles installed in summer 2024 as an emergency roof repair.

The proposed development will involve a redesigned landscape on the Site, including property boundaries marked by low hedges, a reconfigured access route running westward to Ann Street, interpretive landscape elements to recognize the historic front path, and retention of key landscape elements.

Conclusion

The conservation scope of work outlined in this report will be undertaken to rehabilitate the heritage resource at 84 High Street East. This approach conserves the Site’s cultural heritage value while allowing for intensification, the expansion of public park space, and new compatible residential uses.

1 INTRODUCTION

1.1 Report Scope

ERA Architects Inc. (“ERA”) was retained by 10 WEST GO GP INC. (the “property owner”) as the heritage consultant for the redevelopment of the five adjacent properties known municipally as 17 and 19 Ann Street, 84 and 90 High Street East, and 91 Park Street East in Port Credit, Ontario. This Conservation Plan (“CP”, “Plan”) pertains exclusively to 84 High Street East (the “Site”).

The purpose of this Plan is to identify and describe the conservation scope of work required at 84 High Street East, in coordination with the architectural plans by CORE Architects. This Plan conforms to the approved Heritage Impact Assessment (“HIA”) by ERA (dated January 27, 2023).

Detailed Conservation Drawings are provided at Appendix A of this Plan.

This report was developed with reference to the following documents:

- The City of Mississauga Official Plan (2020);
- City of Mississauga Heritage Impact Assessment Terms of Reference (2017);
- Port Credit Local Area Plan (2016);
- Provincial Planning Statement (2024);
- The Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada (2010); and
- The Ontario Ministry of Culture’s Ontario Heritage Toolkit.

1.2 Site Location and Description

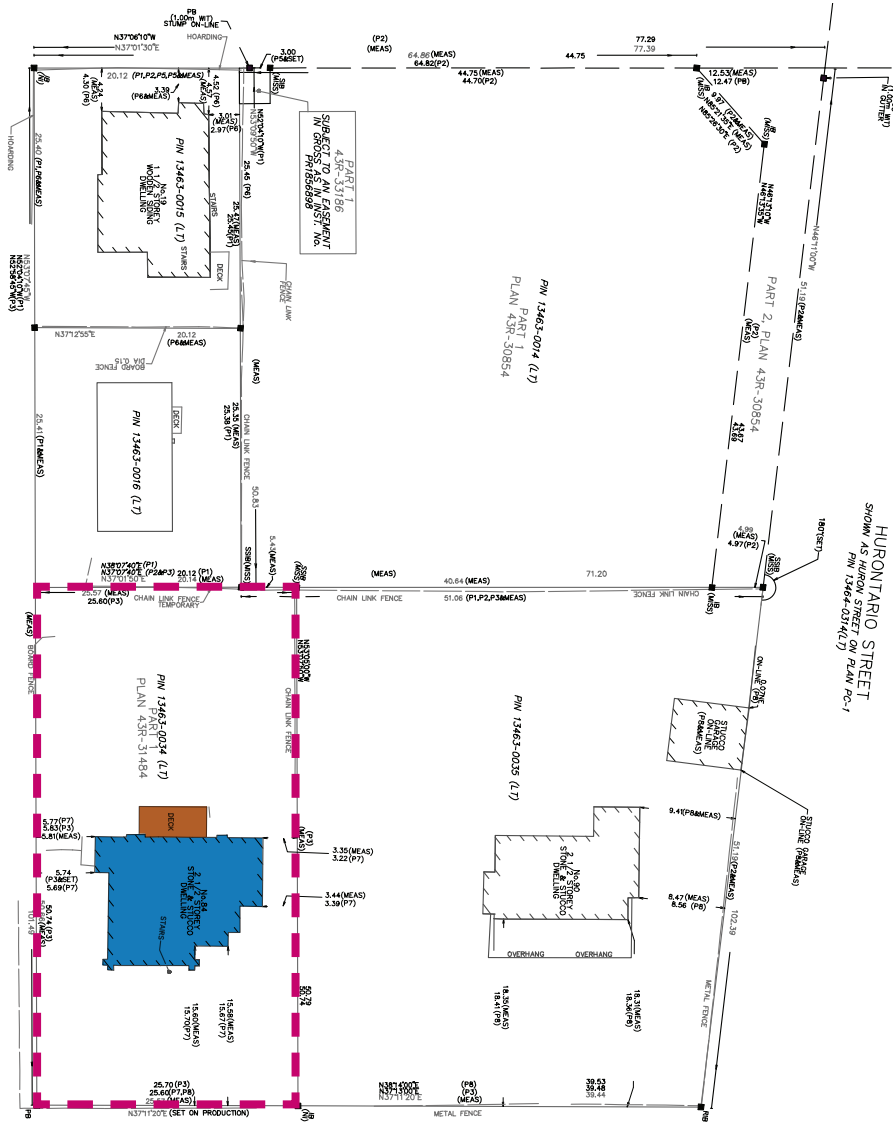
The Site is part of a larger redevelopment area composed of five adjacent properties, known municipally as 17 and 19 Ann Street, 84 and 90 High Street East, and 91 Park Street East, in Port Credit (in the City of Mississauga), Ontario. This area comprises the entire block bounded by Park Street East to the north, Hurontario Street to the east, High Street East to the south, and Ann Street to the west.

The Site contains a two-and-a-half-storey coursed rubble and dressed beige stucco and shake residential building, constructed in 1912. It is set back from High Street East on a large landscaped lot with a curvilinear pathway leading to the front entrance from High Street East. It currently contains six residential apartment units.

The larger redevelopment area contains four residential buildings, as well as public open space.



Aerial image showing the redevelopment area outlined in white, the Site outlined in pink, and the existing residential building highlighted in blue (Google Maps, 2022; annotated by ERA).



Survey showing the Site within the context of the larger redevelopment area, with the Site outlined in pink (J.D. Barnes, 2022; annotated by ERA).

- 1912 HOUSE
- NON-ORIGINAL PORCH ADDITION



Principal (south) elevation of 84 High Street East (ERA, 2024).



Principal (south) and west elevations of 84 High Street East (ERA, 2024).



East elevation of 84 High Street East (ERA, 2024).



Rear (north) elevation of 84 High Street East (ERA, 2024).

1.3 Site History and Heritage Status

The Site is currently designated under Part IV, Section 29 of the OHA by designation by-law 0206-2007 (see Appendix B for the full by-law), passed by City Council on May 23, 2007.

The residential building on the Site is known as the Charles Hamilton House, or “Avonston”, and is designated for its design/physical, historical/associative, and contextual value. Designation by-law 0206-2007, excerpted below, thoroughly documents the property’s cultural heritage value.

Statement of Cultural Heritage Value or Interest

The Charles Hamilton House’s cultural heritage value lies in it being one of few remaining Bungalow style dwellings of its scale in Mississauga and the only known surviving structure designed by Chadwick and Beckett in Mississauga. Typical of the Bungalow style, it features a broad, gently pitched roof, deep overhanging eaves, an extensive porch and a variety of building materials. Lawrence Park architects Chadwick and Beckett designed the house, which was likely built in 1912.

The Charles Hamilton House’s cultural heritage value also lies in its association with Charles Hamilton, Port Credit’s Post Master from 1894 to 1921. Hamilton was a central figure and community leader in Port Credit. He ran Port Credit’s leading general store, served as Councillor from 1926 to 1927, was instrumental to the success of the Port Credit Band, served as warden and board member of Port Credit’s Trinity Anglican Church, and was involved in the public library and local service lodge.

The Charles Hamilton House’s cultural heritage value also lies in its association with Port Credit’s history as a tourist destination. Hamilton used his house as a tourist home (bed ‘n breakfast).

The Charles Hamilton House is also of cultural heritage value because it is a Port Credit landmark that is critical to defining the character of the immediate area. The house is visible from a main and historic thoroughfare of not only Port Credit but Mississauga as well, Hurontario Street. Central amongst other early twentieth century single family dwellings, the structure is critical to defining the historic character of the

area. Moreover, it is the companion piece to the W.T. Gray House, its only neighbour on the north side of High Street between Ann Street and Hurontario Street. The Hamilton House complements the W.T. Gray House, at 90 High Street East, in style. According to the Gray family, this was Hamilton's intention. The Hamilton House is physically, functionally and historically linked to Port Credit by its location, proximity to the core, as the residence of one of its foremost citizens and down town merchants, and as part of its tourist history.

Description of Heritage Attributes

Key attributes of the Charles Hamilton House that reflect its value as a Bungalow style dwelling designed by Chadwick and Beckett:

- *The footprint of the house as it relates to the property at large;*
- *Its mature trees, including the mature spruce in its full shape;*
- *The entire structure in and of itself, including all of its conglomerate parts;*
- *Its broad, gently pitched roof that covers the porch and extends beyond the house walls;*
- *The proportions and exact form of the roof and gables;*
- *The shingled gables;*
- *Its deep overhanging eaves;*
- *The exposed purlins under the eaves, including their shape and form;*
- *Its extensive front porch;*
- *All exposed natural Credit Valley stone with its aged patina, including ground floor, porch walls, porch columns, and chimney;*
- *The arches that span the space between the porch columns;*
- *The stone ledge that caps the buttresses and porch walls;*

- *The voussairs and keystone above the openings;*
- *The stuccoed upper walls;*
- *The arrangement and form of the Tudor half timbering;*
- *The shed dormers and their shape and form;*
- *The varying size of the windows proportionate to the structure;*
- *The wooden window surrounds;*
- *The stone plinths below the windows;*
- *The large three-flue stone chimney on the east side; and*
- *The wide stairway that accesses the front porch.*

Key attributes of the Charles Hamilton House that reflect its association with Charles Hamilton:

- *Its location in Port Credit, near to the village core in which he was active; and*
- *The extensive front and side lawn on which his funeral was held.*

Key attributes of the Charles Hamilton House that reflect its association with Port Credit tourism:

- *Its location in Port Credit, and its proximity to Lakeshore Road and Hurontario, both historic thoroughfares.*

Key attributes of the Charles Hamilton House that reflect its contextual value:

- *Its location on High Street, in the midst of a historical neighbourhood and occupying the west half of the north side of the High Street block between Ann Street and Hurontario Street;*
- *Its scale and massing that are compatible with the other structures in the neighbourhood;*
- *Its full visibility from Hurontario Street; and*
- *Its original massing and layout on the lot that reflects the historic pattern of the neighbourhood.*

1.4 Policy Context

This report was prepared with reference to the following:

- The Ontario Heritage Act, R.S.O. 1990;
- The City of Mississauga Official Plan (2020);
- Provincial Planning Statement (2024); and
- The Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada (2010).

Provincial Planning Statement (PPS), 2024

The PPS guides the creation and implementation of planning policy across Ontario municipalities, and provides a framework for the conservation of heritage resources, including the following relevant policies:

4.6.1 *Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.*

4.6.3 Planning authorities shall not permit *development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.*

The City of Mississauga Official Plan (Consolidated March 2024)

Section 7.4.1 of the Official Plan directs the following:

7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.

7.4.1.3 Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.

7.4.1.10 Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

Protected heritage property: *property designated under Part IV or VI of the Ontario Heritage Act; property included in an area designated as a heritage conservation district under Part V of the Ontario Heritage Act; property subject to a heritage conservation easement or covenant under Part II or IV of the Ontario Heritage Act; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the Standards and Guidelines for the Conservation of Provincial Heritage Properties; property protected under federal heritage legislation; and UNESCO World Heritage Sites (PPS, 2024).*

Built heritage resource: *a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community (PPS, 2024).*

Conserved: *the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments (PPS, 2024).*

7.4.1.11 Cultural heritage resources designated under the Ontario Heritage Act, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the Ontario Heritage Tool Kit, the Ontario Ministry of Culture, and the Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada.

7.4.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

7.4.1.13 Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.

7.4.1.14 Cultural heritage resources will be integrated with development proposals.

7.4.2 of the Official Plan directs the following:

7.4.2.2 Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This documentation may be in the form of a Heritage Impact Assessment.

7.4.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

Adjacent lands: d) for the purposes of policy 4.6.3, those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (PPS, 2024).

Heritage attributes: means, as defined under the Ontario Heritage Act, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest (PPS, 2024).

The Standards & Guidelines for the Conservation of Historic Places in Canada (Parks Canada, 2010)

The following standards, outlined in Section 3, provide guidance regarding the treatment of the heritage resource on the Site:

Standard 1: Conserve the heritage value of an historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.

Standard 3: Conserve heritage value by adopting an approach calling for minimal intervention.

Standard 5: Find a use for an historic place that requires minimal or no change to its character-defining elements.

Standard 7: Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

Standard 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

Standard 10: Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

2 ASSESSMENT OF EXISTING CONDITION

ERA conducted an assessment of the building at 84 High Street East in June 2024. Architectural features such as the visible exterior wood cladding and trim details, exterior masonry and rough-cast stucco, windows and doors, roof details, and flashings and rainwater management systems were reviewed from grade, on all elevations. Interior spaces along with the structural, mechanical, electrical, and plumbing systems and elements were not included in the review.

Overall, the exterior primary building elements for 84 High Street appeared to be in fair to good condition in most locations, with certain building features such as selective wood details approaching poor condition in some locations.

- The exterior building elevations are primarily composed of random uncoursed ashlar masonry with lime-based mortar joints on the lower floor with rough-cast painted stucco and Tudor half-timbering details on the upper floors. Wood shingles cover the gable ends on the top floor and wood details are used to trim around the doors and windows in most locations. Exposed rafter tails are found under the eave lines around the building perimeter. There is a contemporary wood secondary stair and landing addition at the back of the building that mimics the historical details found elsewhere on the building.
- The ground floor masonry details around the building perimeter appeared to be in fair to good condition in most locations, with isolated locations of step cracks, open mortar joints, and insensitive past repointing between the stone units (see Fig. 1).
- There are isolated locations of cracked or deteriorated cast-concrete details such as window sills or stone wall copings, which appeared to be in poor condition (see Fig. 2).
- The roughcast stucco on the upper floors appeared to be generally in fair condition in most locations, with isolated areas of cracking or poor past repairs using an inappropriate cement-based patching compound (see Fig. 3).

DEFINITION OF TERMS

The building components were graded using the following assessment system:

Excellent: *Superior aging performance. Functioning as intended; no deterioration observed.*

Good: *Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

Fair: *Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

Poor: *Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

Defective: *Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*

- Wood details around the building perimeter appeared to be generally in fair condition, with some wood elements in poor condition. Exposed wood eave details and rafter tails appeared to be in good condition in most locations, as well as the main front porch and landing wood ceiling and perimeter trim details. There is wood rot present in some locations on the second-floor east sunporch projection (see Fig. 4).
- Wood trim details around the windows and doors, as well as the applied wood half-timbering details, appeared to be in fair condition. There were isolated locations of missing or animal-damaged perimeter wood window casings or trim (see Fig. 5).
- The wood shingles in the gable-end walls are at the end of their serviceable lifespan. The wood gable end eave-line details have been damaged due to animal intrusion (see Fig. 6).
- All the windows have been replaced with what appear to be modern metal inserts. They appeared to be in good condition.
- The asphalt shingles on all the roof surfaces and associated perimeter prepainted metal flashings appeared to be intact and in serviceable condition in most locations. The gutters and downspouts were continuous and functioning as intended in most locations, although there were isolated locations where the gutters were rusted or damaged and downspouts had become detached (see Fig. 7).



Fig. 1 (ERA, 2024).



Fig. 2 (ERA, 2024).



Fig. 3 (ERA, 2024).



Fig. 4 (ERA, 2024).



Fig. 5 (ERA, 2024).



Fig. 6 (ERA, 2024).



Fig. 7 (ERA, 2024).

3 CONSERVATION STRATEGY

3.1 Conservation Approach

The principal conservation approach is rehabilitation as defined by the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

As part of the full-block redevelopment, which would establish a 23-storey residential building at the block's west corner, the existing building will be retained and is proposed to continue its existing use as a six-unit rental apartment building.

A summary of the conservation scope proposed for the building is provided on the following pages.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

Restoration: the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Source: *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010).

3.2 Description of Proposed Development

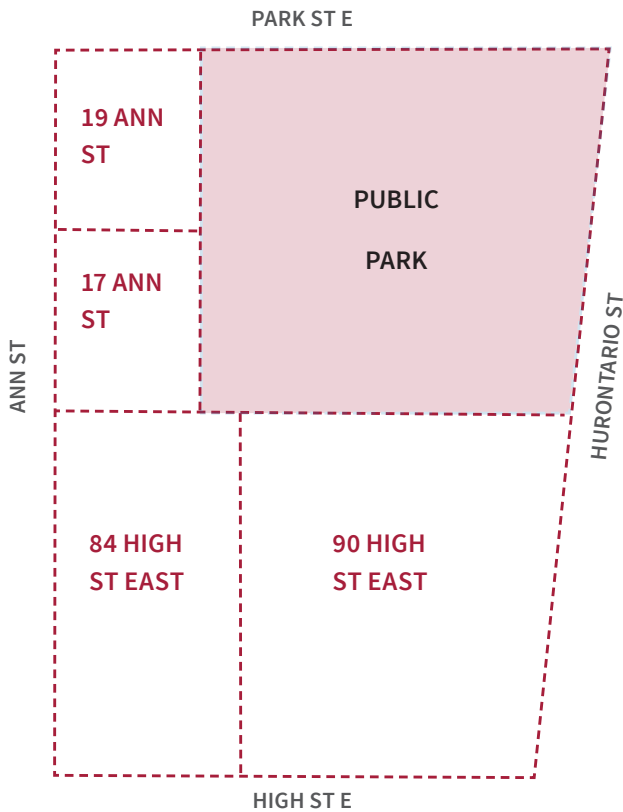
The proposed development involves a full-block redevelopment between High, Ann, Park and Hurontario Streets. This includes the retention of the buildings at 84 and 90 High Street East, the construction of a 23-storey tower at the block's west corner, and a land exchange with the City of Mississauga to create two new public parks on the north and south ends of the block.

The land exchange is proposed to create a South Public Park that will surround the two designated heritage resources at 84 and 90 High Street East, enveloping portions of their original large lawns. New, tighter property boundaries will be created for both lots as a result. The proposed development will involve a redesigned landscape surrounding each resource, including property boundaries marked by low hedges, reconfigured access routes running east and westward to Ann and Hurontario Streets respectively, interpretive landscape elements to recognize the historic front path routes toward High Street East, and retention of key landscape elements like mature trees within the public park lands.

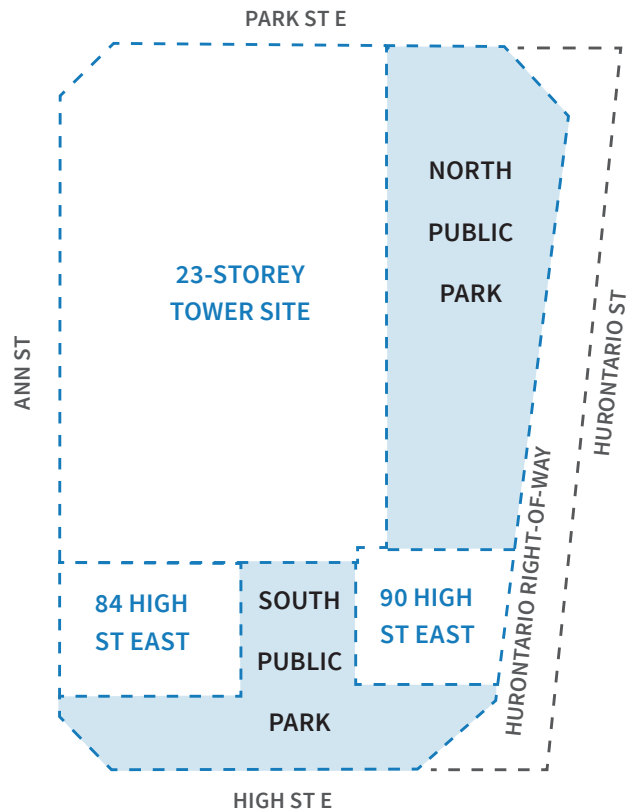
The building at 84 High Street East is situated on a large residential lot. Its "extensive front and side lawn" is recognized in the designation by-law as a contributor to its cultural heritage value. The proposed South Public Park will abut the Site to the south and east following the land swap, requiring the reconfiguration of the front stairs and walkway eastward towards Ann Street.

As part of the landscape strategy for the Site, the use of low natural hedges combined with manufactured metal fencing (embedded

EXISTING

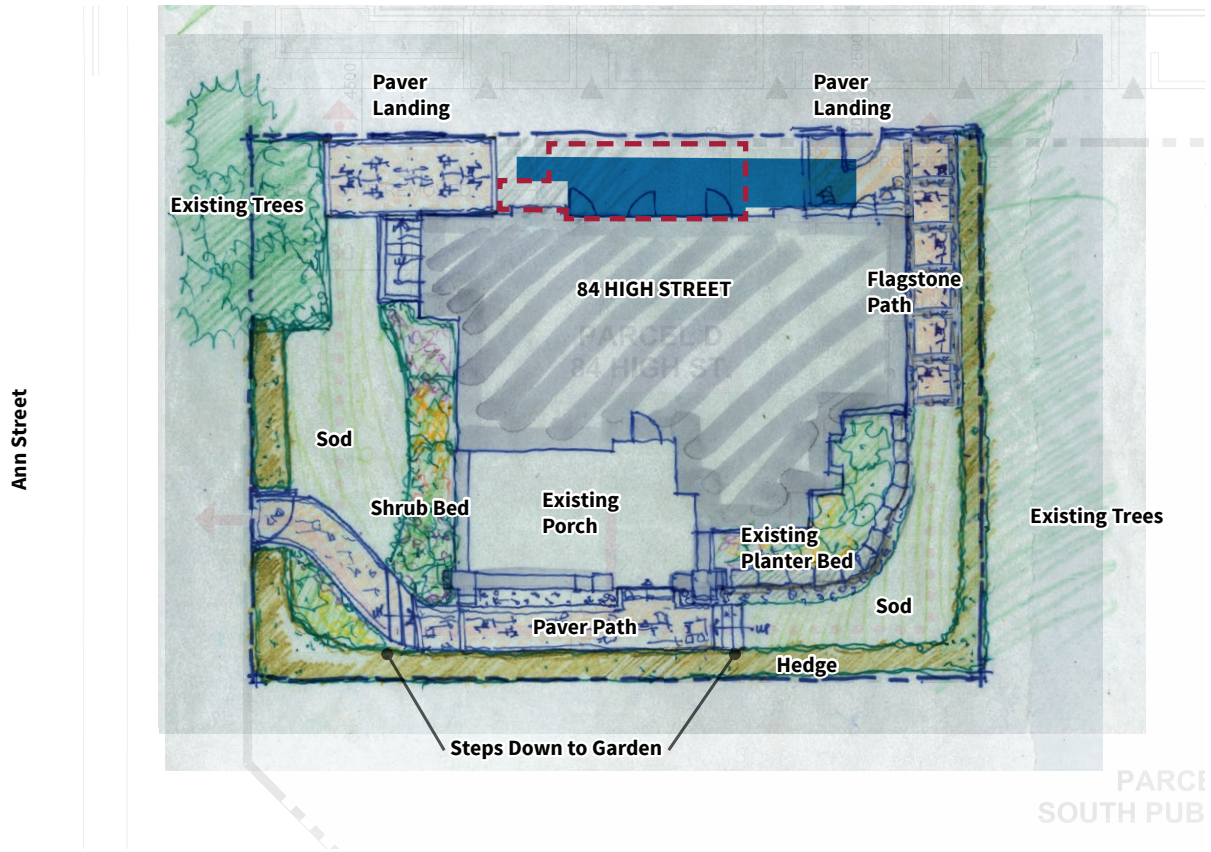


PROPOSED

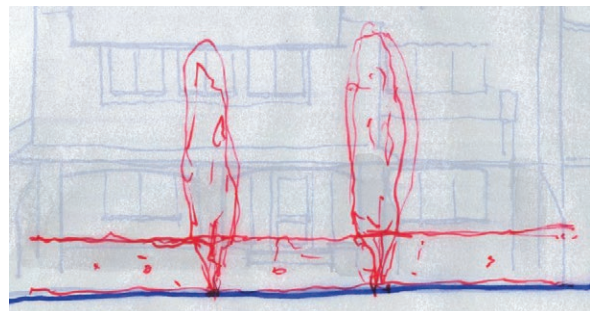
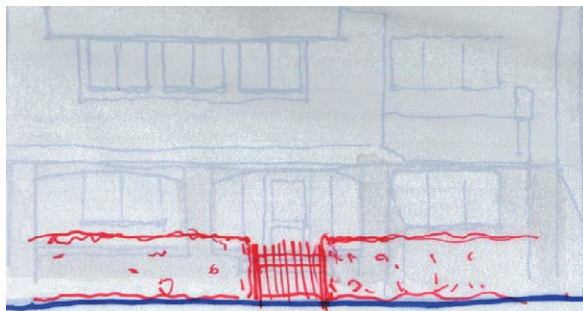


A diagram of the property boundary changes resulting from the proposed land swap occurring as part of the redevelopment of the Site (ERA, 2024).

within the hedge) is proposed to create a natural boundary between private and public spaces, visually connecting the park and heritage properties while preserving the heritage “estate” character of the Site. This strategy conserves the Site’s landscape character and orientation in relation to High Street East while addressing privacy and physical separation to the proposed park. As part of the landscape strategy, the mature trees on the Site’s former lawns are proposed to remain in situ, now within the South Public Park. While the property entrance is being reoriented towards Ann Street, heritage interpretation can be provided via a gesture toward the original entrance and pathway on the south side of the Site (see the following page for examples).



Preliminary landscape plan for 84 High Street East, showing the tighter property boundary and reconfigured access route to Ann Street, as well as the existing rear porch, stairs, and deck (dashed in red) and proposed rear exterior stair (shaded in blue). The rear exterior stair will replace the existing rear porch, stairs, and deck, and will be designed to sit within the new property boundaries.



To interpret and demarcate the original main entrance to the heritage property, landscape elements to be explored could include (a) a break in the hedge via a false ornamental metal 'gate' or (b) tall trees framing the former path location (ERA, 2024).

3.3 Conservation Scope

The general conservation scope of work includes:

- In-situ retention of the heritage building;
- Salvage and removal of existing hardscape elements to accommodate new landscape design on the south and north lawns;
- Removal of concrete stairs and landing on south elevation;
- Removal of contemporary wood porch, deck, and stairs on the north elevation;
- Construction of new metal stair on north elevation;
- Removal of unsympathetic doors and windows and installation of new wood windows and doors to match heritage profile;
- Installation of new metal flashings, gutters, and downspouts;
- General masonry, wood, and stucco repair and cleaning on all exterior elevations, including replacement as required; and
- Retention of roof asphalt shingles and gabled-end cedar shingles installed in summer 2024 as an emergency roof repair.

See Section 3.4 and the attached Conservation Drawings by ERA (Appendix A) for additional details.

3.4 Detailed Conservation Notes

The following conservation notes are further detailed in the attached Conservation Drawings by ERA (Appendix A).

C-100 GENERAL NOTES

- C-001 Disconnect all existing power, water, gas & communication services at building face. Demolish and remove existing services if required. Minimize damage to original face to remain.
- C-002 Heritage Contractor, Structural Consultant, and Heritage Consultant to closely inspect and photo document the existing heritage facades and relevant building conditions, including, but not limited to:
- Exterior masonry details (to confirm method and extent of protection required);
 - Extent of initial facade repairs required prior to shoring and building demolition;
 - Existing perimeter wall assembly, foundation, and roof details; and
 - Condition of existing structure.
- C-003 Contractor to confirm all dimensions on-site.
- C-004 Monitor vibrations during caisson drilling, ensuring adequate setback from drilling equipment to avoid damage to retained building fabric.

C-100 SALVAGE, DEMOLITION, AND STABILIZATION

- C-101 Retain existing heritage building in situ.
- C-102 Demolish and remove existing concrete stairs and landing, minimizing damage to retained heritage fabric.
- C-103 Remove fencing, exterior stairs, wood deck, utility services, and unsympathetic construction, minimizing damage to retained heritage fabric.
- C-104 Remove existing shingles and flashing.
- C-105 Remove existing metal gutters and downpipes.

- C-106 Remove all windows and doors unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 Area between retention and saw cut line, +/- 600mm, to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls, and openings with robust protection and temporary painted metal flashings.
- C-108 Retain existing stone piers, in situ, at 90 High Street East. Remove building numbers '90' from south stone piers.
- C-109 Protect existing mature trees on the Site during construction.
- C-110 Remove and salvage exterior pavers for owner's use.
- C-111 Demolish and remove existing metal handrails.
- C-112 Remove screen door.
- C-113 Retain existing door or window in situ.
- C-114 Retain existing shingles and flashing at 84 High Street East.
- C-115 Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 Remove and salvage armour stone whole units for reuse.
- C-117 Retain existing armour stone.
- C-118 Remove and salvage river stone for owner's use, separating debris and cleaning prior to storage.
- C-119 Cut existing dimple board back to grade.
- C-120 Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

C-200 MASONRY + STUCCO + LANDSCAPE

- C-201 Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter, etc. from building facades to remain.
- C-202 Retain existing window openings, repair as required before installing new windows.
- C-203 Retain existing door openings, repair as required before installing new doors.
- C-204 Replace and repair damaged stone on facades to remain with stone to matching existing adjacent.
- C-205 Repoint stone at facade elevations as required.
- C-206 Repair mortar joint cracks in masonry.
- C-207 Repair existing stucco.
- C-208 Install new stucco to match existing.
- C-209 Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains.
- C-211 General cleaning: use low-pressure steam or water wash to gently remove surface stains and soiling and blend final masonry finish on entire elevation.
- C-212 Repoint 100% of mortars at existing stone piers at 90 High Street East.
- C-213 Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 Construct new accessible masonry landscape path/ramp and stair, with metal handrails/guards as required.
- C-215 Construct new masonry stair, with metal handrails/guards as required.
- C-216 Construct new commemorative masonry piers.

- C-217 Construct new concrete pad.
- C-218 Construct new paved surface with new and salvaged pavers.
- C-219 Reinststate planter bed wall using salvaged armour stone.
- C-220 Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 Construct flagstone pathway with riverstone bedding.

C-300 DOORS + WINDOWS + WOOD + PAINT

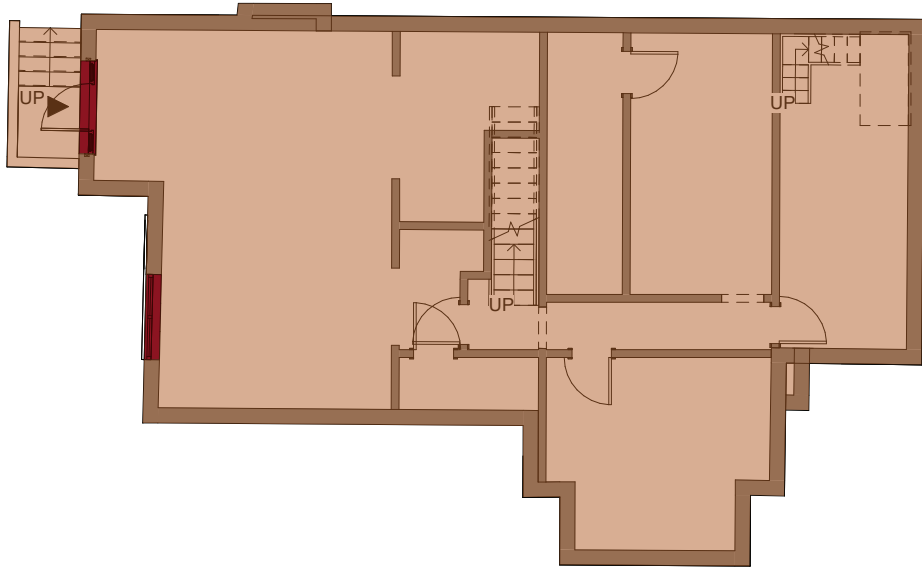
- C-301 Install new doors.
- C-302 Install new wood windows, to match heritage profile.
- C-303 Install new wood bargeboard, fascia & soffits to match existing.
- C-304 Repair existing wood half-timber, beams, bargeboard, fascia & soffits.
- C-305 Prepare, prime, and paint all existing wood elements.
- C-306 Prepare, prime, and paint masonry and stucco elements.
- C-307 Repair, prepare, prime, and paint existing wood windows.
- C-308 Repair, prepare, prime, and paint existing metal/vinyl door/windows/sidelight.
- C-309 Repair, prepare, prime, and paint existing wood door.

C-400 ROOF + FLASHING + METALS

- C-401 Install new painted metal flashings.
- C-402 Install new asphalt shingle, colour to be determined.
- C-403 Install new wood shingle siding (colour to be determined).
- C-404 Install new wood siding, colour to be determined.
- C-405 Provide new painted metal gutters and downpipes.
- C-406 Install new metal flat roof.
- C-407 Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.

- C-408 Provide new galvanized window well complete with gravel infill.
- C-409 Provide new painted metal vent.
- C-410 Provide new metal handrails.

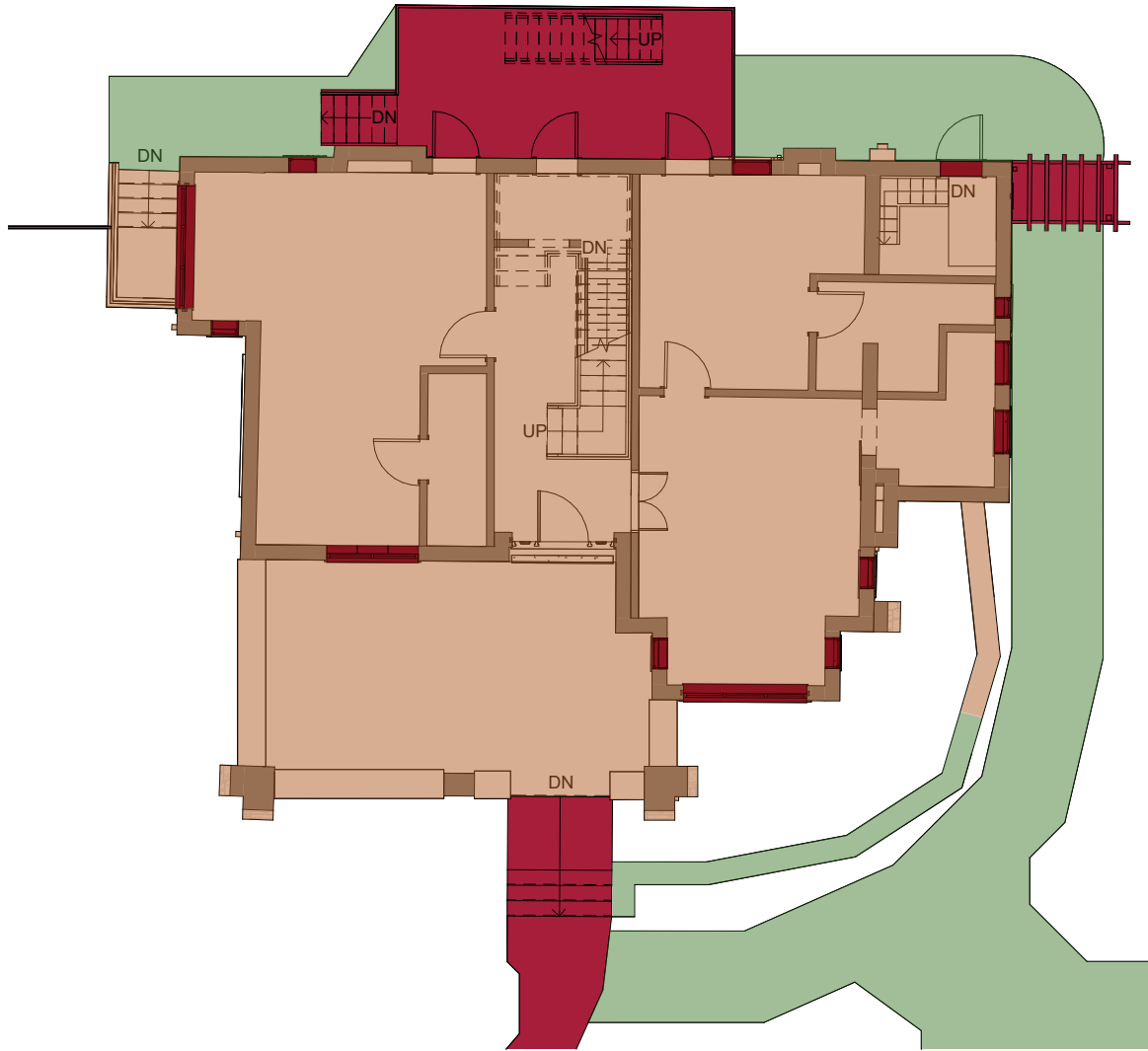
PROPOSED DEMOLITION SCOPE OF WORK



Basement plan (ERA, 2024).

- RETAIN IN SITU
- DEMOLISH

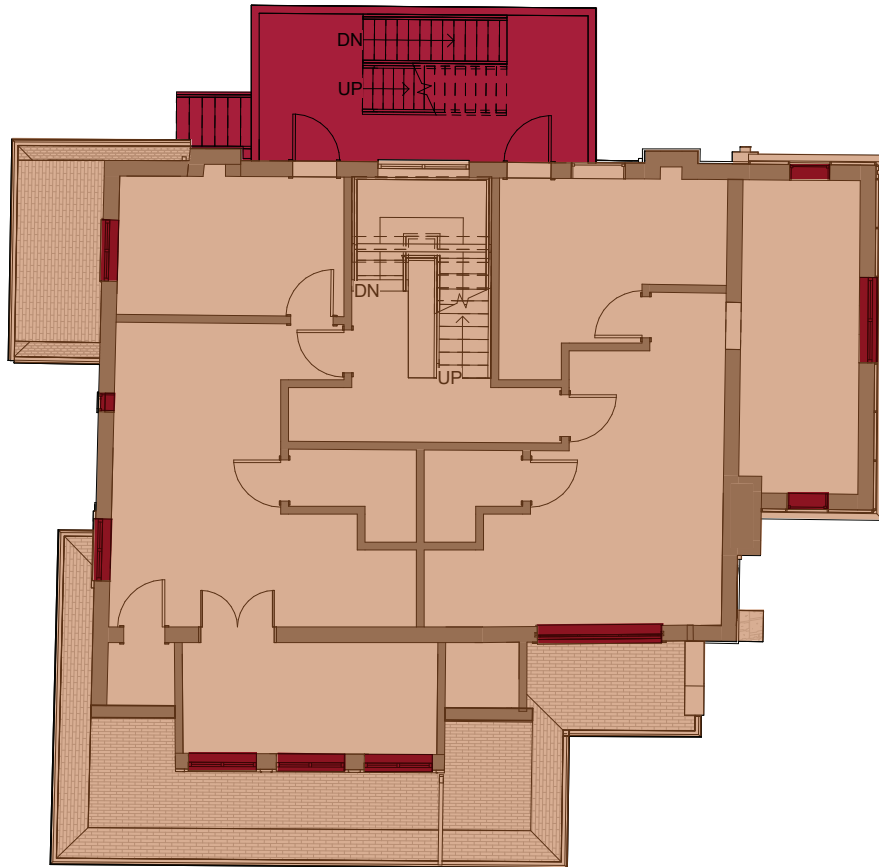
PROPOSED DEMOLITION SCOPE OF WORK



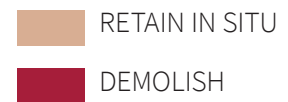
Ground floor plan (ERA, 2024).

- RETAIN IN SITU
- DEMOLISH
- PARTIAL SALVAGE

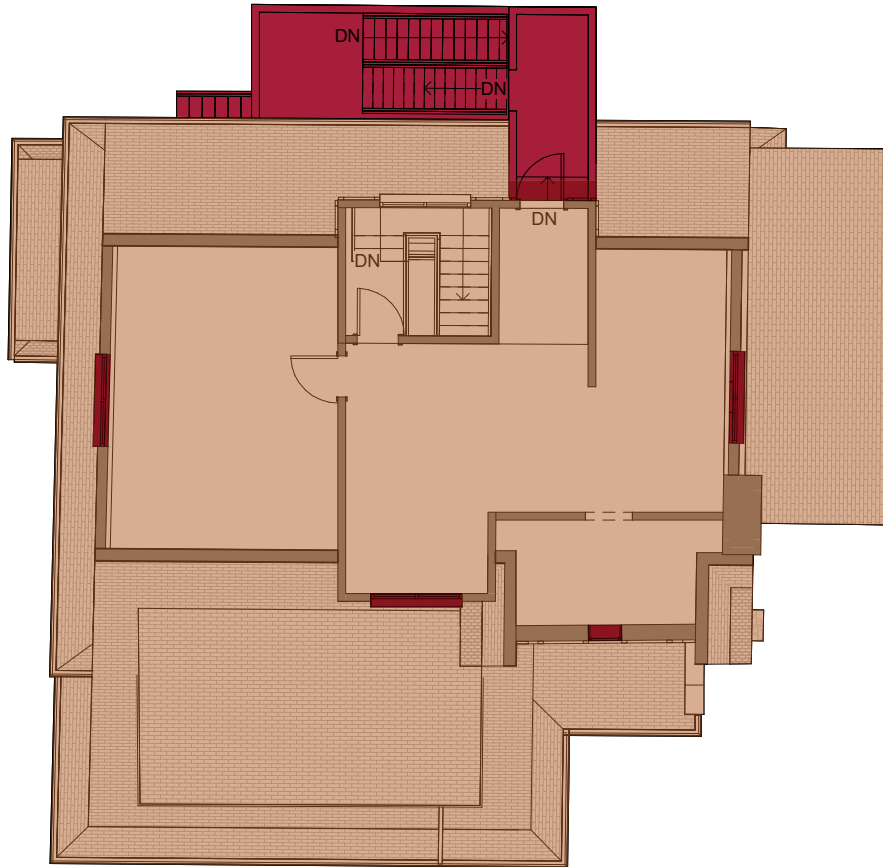
PROPOSED DEMOLITION SCOPE OF WORK



Second floor plan (ERA, 2024).



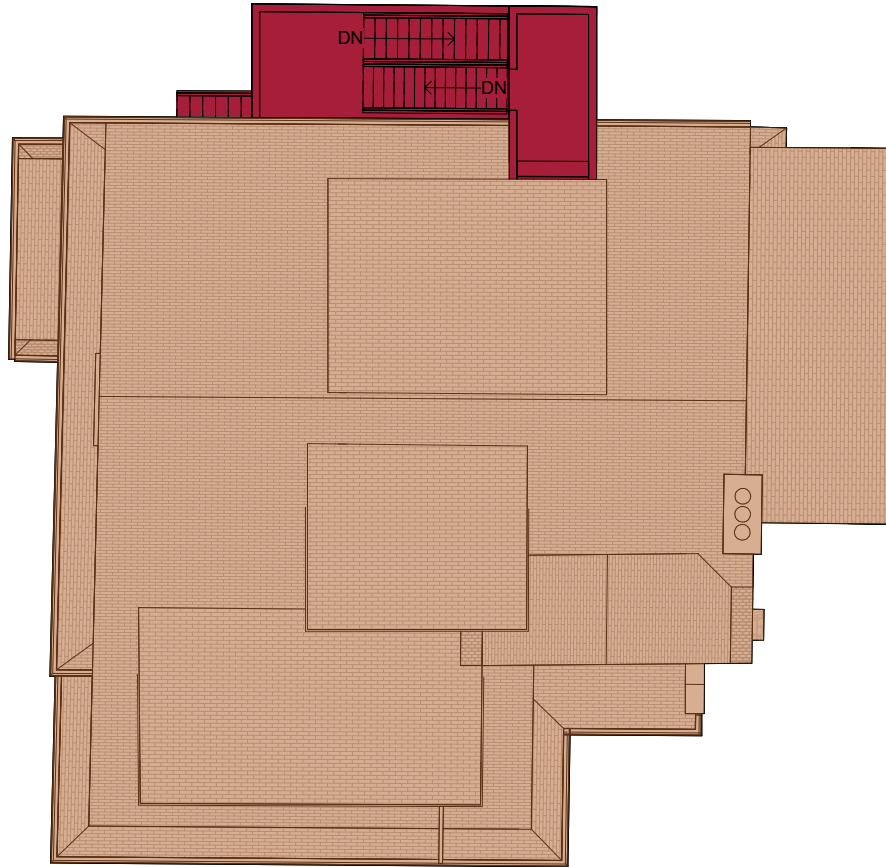
PROPOSED DEMOLITION SCOPE OF WORK



Third floor plan (ERA, 2024).

- RETAIN IN SITU
- DEMOLISH

PROPOSED DEMOLITION SCOPE OF WORK



Roof plan (ERA, 2024).

- RETAIN IN SITU
- DEMOLISH

PROPOSED CONSERVATION SCOPE OF WORK



Ground floor plan with site context (ERA, 2024).

- RETAIN IN SITU
- CONSTRUCT NEW METAL EXIT STAIR
- NEW DOORS AND WINDOWS (TO MATCH HERITAGE PROFILE)
- NEW HARD LANDSCAPE SURFACE/ FEATURE
- NEW FLAGSTONE PATH

PROPOSED CONSERVATION SCOPE OF WORK



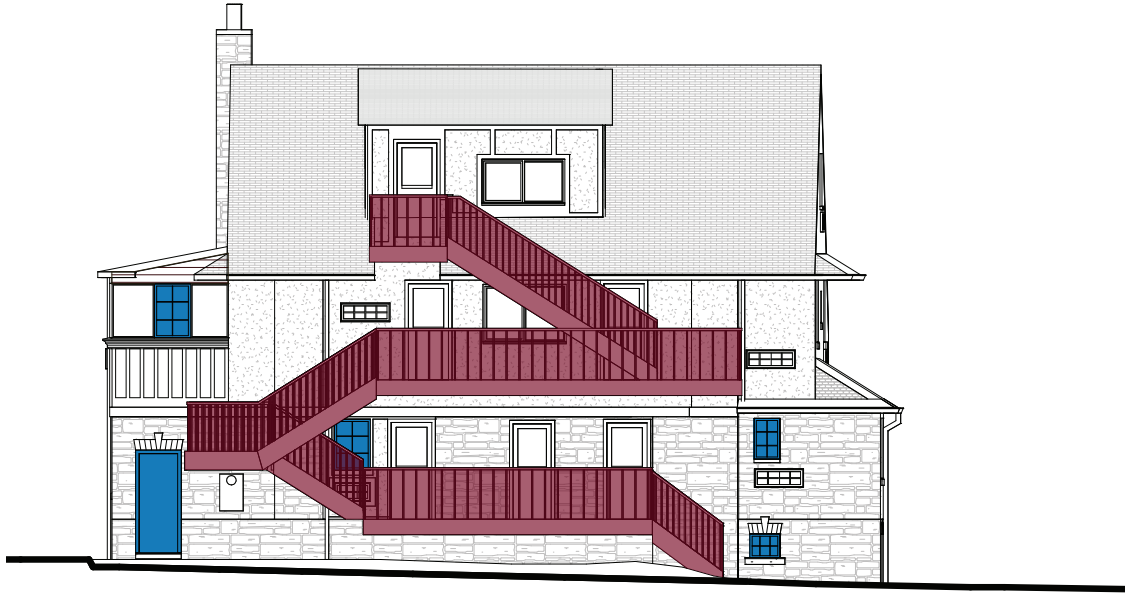
South elevation (ERA, 2024).



East elevation (ERA, 2024).

- NEW HARD LANDSCAPE SURFACE/FEATURE
- NEW METAL EXIT STAIR
- NEW DOORS AND WINDOWS (TO MATCH HERITAGE PROFILE)
- RETAIN EXISTING DOOR IN-SITU

PROPOSED CONSERVATION SCOPE OF WORK



North elevation (ERA, 2024).



West elevation (ERA, 2024).

-  NEW HARD LANDSCAPE SURFACE/ FEATURE
-  NEW METAL EXIT STAIR
-  NEW DOORS AND WINDOWS (TO MATCH HERITAGE PROFILE)

3.5 Heritage Contractor Requirements

The work described in this CP, and in any additional documents to follow, will be executed by a specialist contractor with a minimum of five years experience working with heritage structures. The work will be reviewed on-site by ERA for general conformance with heritage guidelines and best practices.

4 COST ESTIMATE

A Letter of Credit, including provision for upwards indexing, to secure all work identified in this CP will be provided under separate cover, prior to the issuance of any permit for the Site, including a heritage permit or building permit.

5 WORK PLAN & MAINTENANCE RECOMMENDATIONS

The work identified in this CP will be completed within five years of the approval of the Plan and subsequent building permits. It is anticipated that the rehabilitation of the heritage resources on Site will proceed in conjunction with the development at the west corner of the larger redevelopment area.

With respect to ongoing maintenance, regular inspections of the property are recommended within the following time frames:

Yearly

- Inspect the envelope of the building for damage due to weather events, disturbance by animals, vandalism and damage due to human occupancy that may compromise its condition if left unrepaired.

Every 5 Years

- Complete an updated condition assessment of the building and exterior envelope to evaluate the performance of the masonry, sealants, windows and doors, flashings, roofing, and adjacent grade condition.

In addition to repairs made following these inspections, the following life-cycle inspections and replacements are recommended:

Every 10-15 Years

- Renewal of caulking, inspection of window hardware and weather-stripping.

Every 25-30 Years

- Replacement of roofing membrane and flashings.

Ongoing

- Selective repointing of deteriorated mortar joints.

6 CONCLUSION

The conservation scope of work outlined in this report will be undertaken to rehabilitate the heritage resource at 84 High Street East. This approach conserves the Site's cultural heritage value while allowing for intensification, the expansion of public park space, and new compatible residential uses.

7 PROJECT PERSONNEL

ERA Architects Inc. (ERA) specializes in heritage conservation, architecture, planning and landscape as they relate to historical places. This work is driven by our core interest in connecting heritage issues to wider considerations of urban design and city building, and to a broader set of cultural values that provide perspective to our work at different scales.

In our 30 years of work, we've provided the highest level of professional services to our clients in both the public and private sector out of offices in Toronto, Montreal and Ottawa. We have a staff of more than 100, and our Principals and Associates are members of associations that include: the Ontario Association of Architects (OAA), the Canadian Association of Heritage Professionals (CAHP) and the Royal Architectural Institute of Canada (RAIC).

Philip Evans OAA, MRAIC, CAHP is a Principal at ERA and the founder of Culture of Outports. Over the course of 20+ years working in the field of heritage conservation, he has led a wide range of conservation, adaptive reuse, design, and feasibility planning projects.

Janice Quieta, OAA, MArch, CAHP is a Senior Associate and architect at ERA. She received her Master of Architecture degree from Dalhousie University after completing a Bachelor of Architectural Science degree at Toronto Metropolitan University (formerly Ryerson University). Her graduate thesis examined the feasibility of retrofitting post-war residential towers in Toronto's St. Jamestown using a socially and ecologically sustainable program. She has studied and worked in Toronto, Halifax, Dusseldorf, and Koln and participated in a number of national and international design competitions in Canada and Germany.

Emma Abramowicz CAHP is a Planner and Senior Project Manager at ERA Architects. She holds a BAH in History from Queen's University, and a Master of Planning from Toronto Metropolitan University (formerly Ryerson University). Her prior experience includes public-sector heritage work in Ontario and Alberta, including heritage planning and urban design in the Town of Banff, AB.

Max Yuristy, OAA, MArch is a Project Manager at ERA Architects. A graduate of the Daniels Faculty of Architecture, Landscape, and Design at the University of Toronto, Max holds a BA in Human Geography from Queen's University, and a BFA in Fine Art Photography from Concordia University.

Marina Smirnova is a Planner at ERA Architects. She holds a Bachelor of Arts in Political Science from the University of British Columbia, and a Master of Planning from Toronto Metropolitan University (formerly Ryerson University).

Raluca Dobrotescu is Professional Staff at ERA. Raluca obtained her Master of Applied Science degree, in Structural Engineering with a focus on Heritage Engineering, and her Bachelor of Engineering, in Architectural Conservation and Sustainability Engineering, from Carleton University.

APPENDIX A: CONSERVATION DRAWINGS (ERA, 2024)



84 & 90 High Street East

84 & 90 High St E, Mississauga, ON L5G 1K4

21-110-04

Issued For
Conservation Plan

December 2, 2024



HERITAGE ARCHITECT

ERA Architects Inc.
625 Church St, Suite 600, Toronto, Ontario, M4Y 2G1

HERITAGE DRAWING LIST

Sheet Number	Sheet Name	Sheet Number	Sheet Name
CP000	Cover Page	CP222	South Stone Piers_Demolition - 90 High St E
CP001	Conservation Notes	CP223	East Elevation_Demolition - 90 High St E
CP002	Site Survey	CP224	North Elevation_Demolition - 90 High St E
CP101	Site Plan_Existing - 84 & 90 High St E	CP225	North Elevation_Demolition - 90 High St E
CP102	Basement Floor Plan_Existing - 84 High St E	CP226	East and West Elevations_Demolition - 90 High St E
CP103	Ground Floor Plan_Existing - 84 High St E	CP301	Site Plan_Proposed - 84 & 90 High St E
CP104	Second Floor Plan_Existing - 84 High St E	CP302	Basement Floor Plan_Proposed - 84 High St E
CP105	Third Floor Plan_Existing - 84 High St E	CP303	Ground Floor Plan_Proposed - 84 High St E
CP106	Roof Plan_Existing - 84 High St E	CP304	Second Floor Plan_Proposed - 84 High St E
CP111	North Elevation_Existing - 84 High St E	CP305	Third Floor Plan_Proposed - 84 High St E
CP112	South Elevation_Existing - 84 High St E	CP306	Roof Plan_Proposed - 84 High St E
CP113	East Elevation_Existing - 84 High St E	CP311	North Elevation_Proposed - 84 High St E
CP114	West Elevation_Existing - 84 High St E	CP312	South Elevation_Proposed - 84 High St E
CP201	Site Plan_Demolition - 84 & 90 High St E	CP313	East Elevation_Proposed - 84 High St E
CP202	Basement Floor Plan_Demolition - 84 High St E	CP314	West Elevation_Proposed - 84 High St E
CP203	Ground Floor Plan_Demolition - 84 High St E	CP321	South Elevation_Proposed - 90 High St E
CP204	Second Floor Plan_Demolition - 84 High St E	CP322	South Elevation_Proposed - 90 High St E
CP205	Third Floor Plan_Demolition - 84 High St E	CP323	South Stone Piers_Proposed - 90 High St E
CP206	Roof Plan_Demolition - 84 High St E	CP324	East Elevation_Proposed - 90 High St E
CP211	North Elevation_Demolition - 84 High St E	CP325	North Elevation_Proposed - 90 High St E
CP212	South Elevation_Demolition - 84 High St E	CP326	North Elevation_Proposed - 90 High St E
CP213	East Elevation_Demolition - 84 High St E	CP327	East and West Elevations_Proposed - 90 High St E
CP214	West Elevation_Demolition - 84 High St E	CP328	East Stone Piers_Proposed - 90 High St E
CP221	South Elevation_Demolition - 90 High St E		

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CONSERVATION NOTES:

**HERITAGE ARCHITECTURAL PRE-CONSERVATION SCOPE
SALVAGE, DEMOLITION, AND STABILIZATION WORK**

C-000 GENERAL NOTES

- C-001 Disconnect all existing power, water, gas & communication services at building face. Demolish and remove existing services if required. Minimize damage to original face to remain.
- C-002 Heritage Contractor, Structural Consultant, and Heritage Consultant to closely inspect and photo document the existing heritage facades and relevant building conditions, including, but not limited to:
 - Exterior masonry details (to confirm method and extent of protection required);
 - Extent of initial facade repairs required prior to shoring and building demolition;
 - Existing perimeter wall assembly, foundation and roof details; and
 - Condition of existing structure.
- C-003 Contractor to confirm all dimensions on-site.
- C-004 Monitor vibrations during caisson drilling, ensure adequate set back from drilling equipment to avoid damage to retained heritage fabric.

C-100 SALVAGE + DEMOLITION + STABILIZATION

- C-101 Retain existing heritage building, in situ.
- C-102 Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 Remove existing shingles and flashing.
- C-105 Remove existing metal gutters and downpipes.
- C-106 Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 Remove and salvage exterior pavers for owner's use.
- C-111 Demolish and remove existing metal handrails.
- C-112 Remove screen door.
- C-113 Retain existing door or window in-situ.
- C-114 Retain existing shingles and flashing at 84 High Street East.
- C-115 Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 Remove and salvage armour stone whole units for re-use.
- C-117 Retain existing armour stone.
- C-118 Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 Cut existing dimple board back to grade.
- C-120 Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

HERITAGE ARCHITECTURAL CONSERVATION SCOPE

C-200 MASONRY + STUCCO + LANDSCAPE

- C-201 Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 Retain existing window openings, repair as required before installing new windows.
- C-203 Retain existing door openings, repair as required before installing new doors.
- C-204 Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 Repoint stone at façade elevations as required.
- C-206 Repair mortar joint cracks in masonry.
- C-207 Repair existing stucco.
- C-208 Install new stucco to match existing.
- C-209 Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 Construct new accessible masonry landscape path/ramp.
- C-215 Construct new masonry stair, with metal handrails/guards as required.
- C-216 Construct new commemorative masonry piers.
- C-217 Construct new concrete pad.
- C-218 Construct new paved surface with new and salvaged pavers.
- C-219 Reinstate planter bed wall using salvaged armour stone.
- C-220 Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 Construct flagstone pathway with riverstone bedding.

C-300 DOORS + WINDOWS + WOOD + PAINT

- C-301 Install new doors.
- C-302 Install new wood windows, to match heritage profile.
- C-303 Install new wood bargeboard, fascia and soffits to match existing.
- C-304 Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 Prepare, prime and paint all existing wood elements.
- C-306 Prepare, prime and paint masonry and stucco elements.
- C-307 Repair, prepare, prime and paint existing wood windows.
- C-308 Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 Repair, prepare, prime and paint existing wood door.

C-400 ROOF + FLASHING + METALS

- C-401 Install new painted metal flashings.
- C-402 Install new asphalt shingle, colour to be determined.
- C-403 Install new wood shingle siding, colour to be determined.
- C-404 Install new wood siding, colour to be determined.
- C-405 Provide new painted metal gutters and downpipes.
- C-406 Install new metal flat roof.
- C-407 Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 Provide new galvanized window well complete with gravel infill.
- C-409 Provide new painted metal vent.
- C-410 Provide new metal handrails.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	Conservation Notes

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LEGEND

PLAN OF SURVEY OF
PART OF LOT 1
SOUTH SIDE OF PARK STREET
EAST OF THE CREDIT RIVER
REGISTERED PLAN 300E
 (FORMERLY IN THE VILLAGE OF PORT CREDIT)
CITY OF MISSISSAUGA
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1 : 250



J. D. BARNES LIMITED
 © COPYRIGHT

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

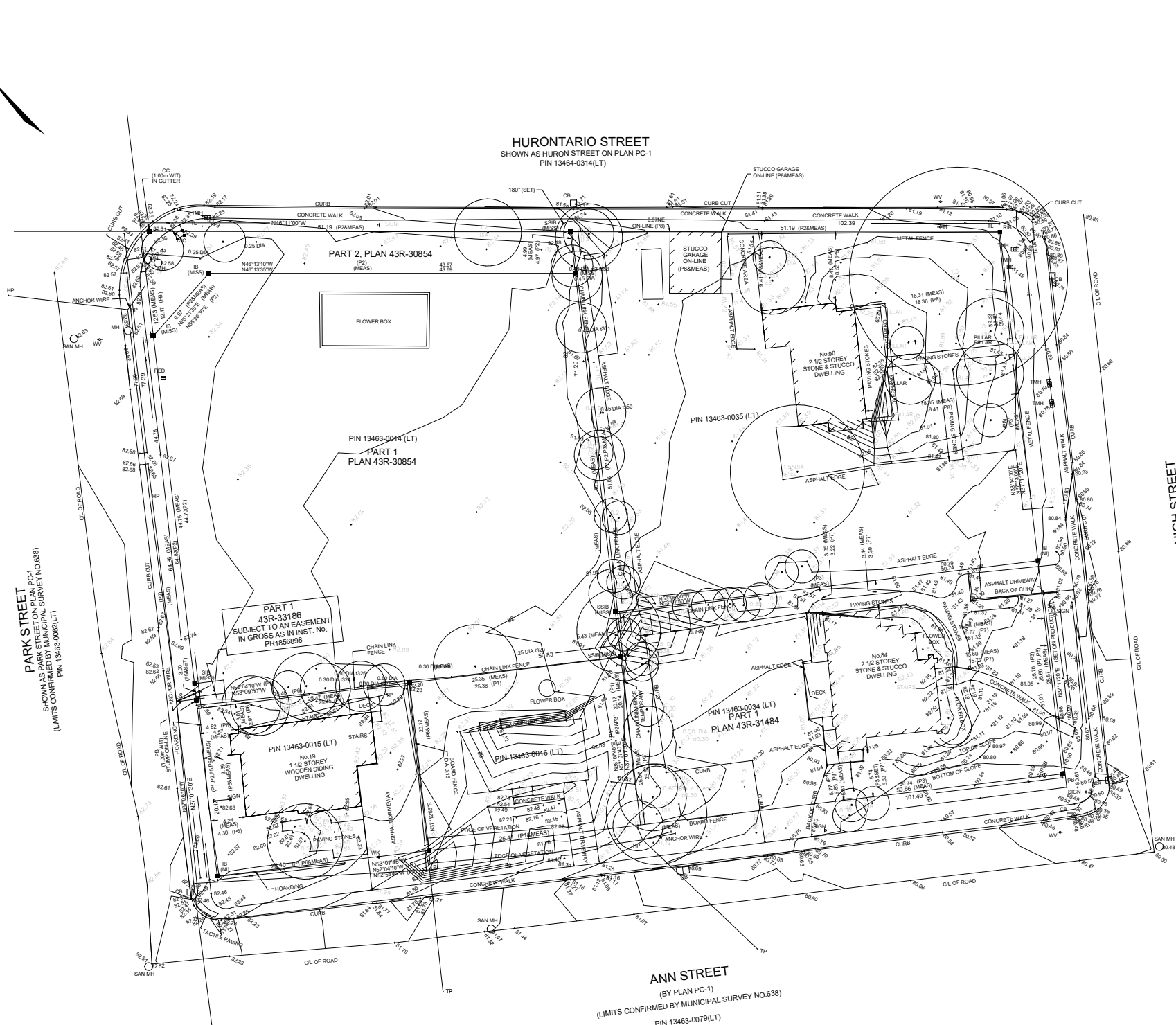
NOTES

BEARINGS ARE UTM GRID, DERIVED FROM REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99975465

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SB DENOTES STANDARD IRON BAR
- SSB DENOTES SHORT STANDARD IRON BAR
- PS DENOTES PALSTIC BAR
- R DENOTES IRON BAR
- IT DENOTES IRON TUBE
- RB DENOTES ROUND IRON BAR
- CC DENOTES CUT CROSS
- WT DENOTES WITNESS
- MEAS DENOTES MEASURED
- INST DENOTES INSTRUMENT
- No. DENOTES NUMBER
- MSS DENOTES CITY OF MISSISSAUGA SURVEY DEPARTMENT
- P1 DENOTES PLAN 43R-13415
- P2 DENOTES PLAN 43R-30854
- P3 DENOTES PLAN 43R-31484
- P4 DENOTES PLAN 43R-33186
- P5 DENOTES PLAN OF SURVEY BY C.PEAT, OLS DATED AUG 25,1977
- P7 DENOTES PLAN OF SURVEY BY C.PEAT, OLS DATED OCT 16,1979
- P8 DENOTES BUILDINGS LOCATIONS SURVEY BY TARASIOK, MUMLLAN LIMITED DATED MAY 3, 1988.

ALL SET PB MONUMENTS WERE USED DUE TO LACK OF OVERSIGHT AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

BY-LAW 0206-2007 TO DESIGNATE THE CHARLES HAMILTON HOUSE LOCATED AT HIGH STREET EAST AS BEING OF HISTORICAL, ARCHITECTURAL AND CONTEXTUAL SIGNIFICANCE AS IN INST. No. PR1292224



HIGH STREET
 SHOWN AS HIGH STREET ON PLAN PC-1
 (LIMITS CONFIRMED BY MUNICIPAL SURVEY NO.038)

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON AUGUST 25, 2021.

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 2114719

THIS PLAN IS NOT VALID UNLESS IT IS AN UNDOUBTED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1028, Section 29(3).

JANUARY 28, 2020
 DATE
 R. S. QUERUBIN
 ONTARIO LAND SURVEYOR

J.D. BARNES SURVEYING MAPPING GIS
 LAND INFORMATION SPECIALISTS
 401 WHEELABRATOR WAY, SUITE A, MILTON, ON L9T 3C1
 T: (905) 875-0955 F: (905) 875-0956 www.jdbarnes.com

DRAWN BY: AD CHECKED BY: RSO REFERENCE NO.: 19-30-457-01
 FILE: C:\19-30-457\00\Drawings\19-30-457-00-88PR.dwg DATED: 11/24/2021
 PLOTTED: 11/24/2021

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	N/A
Reviewed by	N/A
Drawing title	

Site Survey

Sheet no.




CP002

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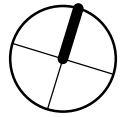
NOT FOR CONSTRUCTION

LEGEND

	EXISTING BUILDING/LANDSCAPE ELEMENT
	EXISTING PROPERTY LINE
	EXISTING FENCE LINE



info@eraarch.ca | www.eraarch.ca
 T: 416.963.4497 | F: 416.963.8761
 625 Church St, Suite 600
 Toronto, Ontario, M4Y 2G1
E.R.A. Architects Inc.



Project

84 & 90 High Street East

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1 : 250

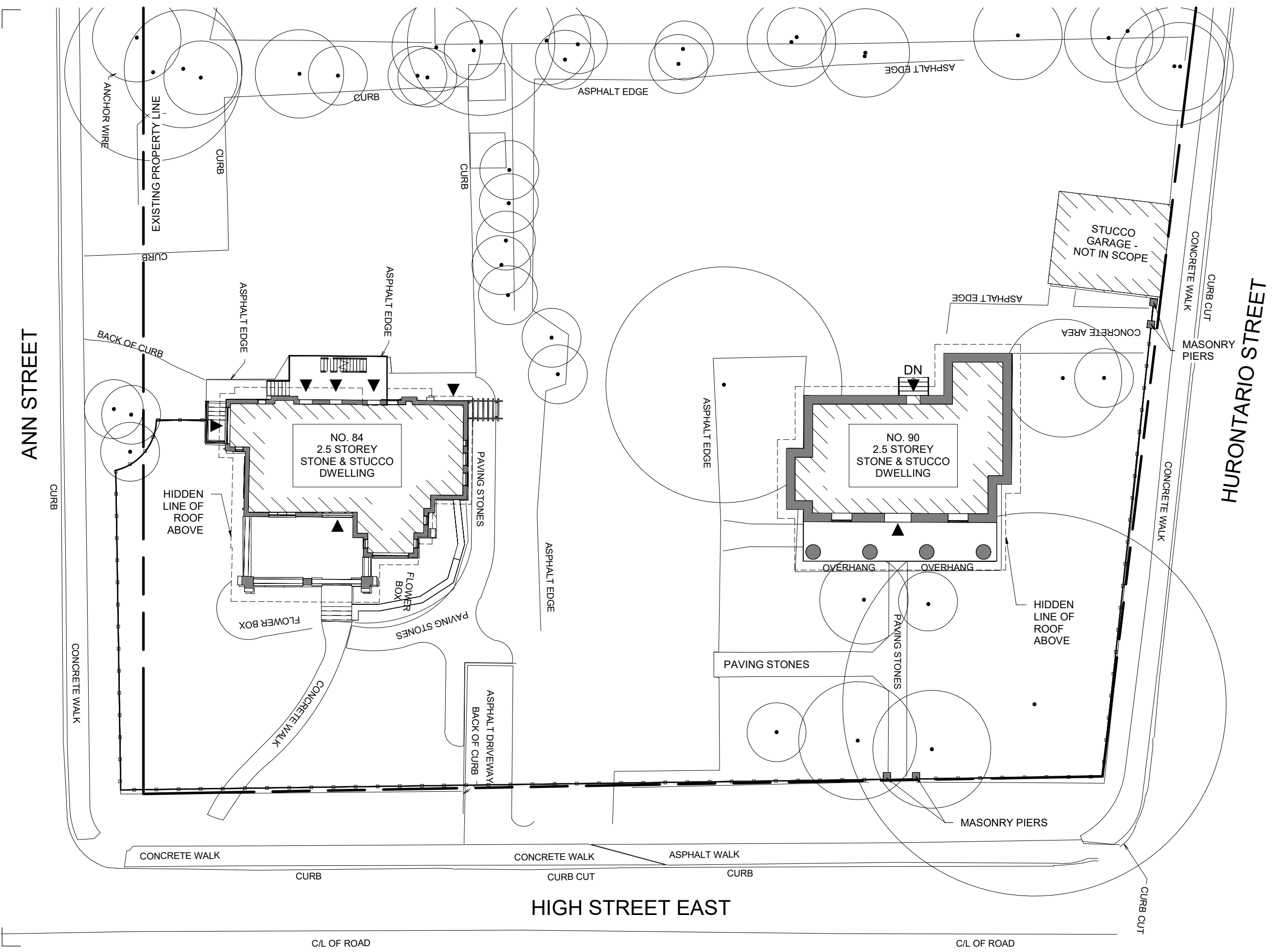
Drawn by RD, EL

Reviewed by JQ, MY

Drawing title

Site Plan Existing -
84 & 90 High St E

Sheet no. **CP101**



C/L OF ROAD

C/L OF ROAD

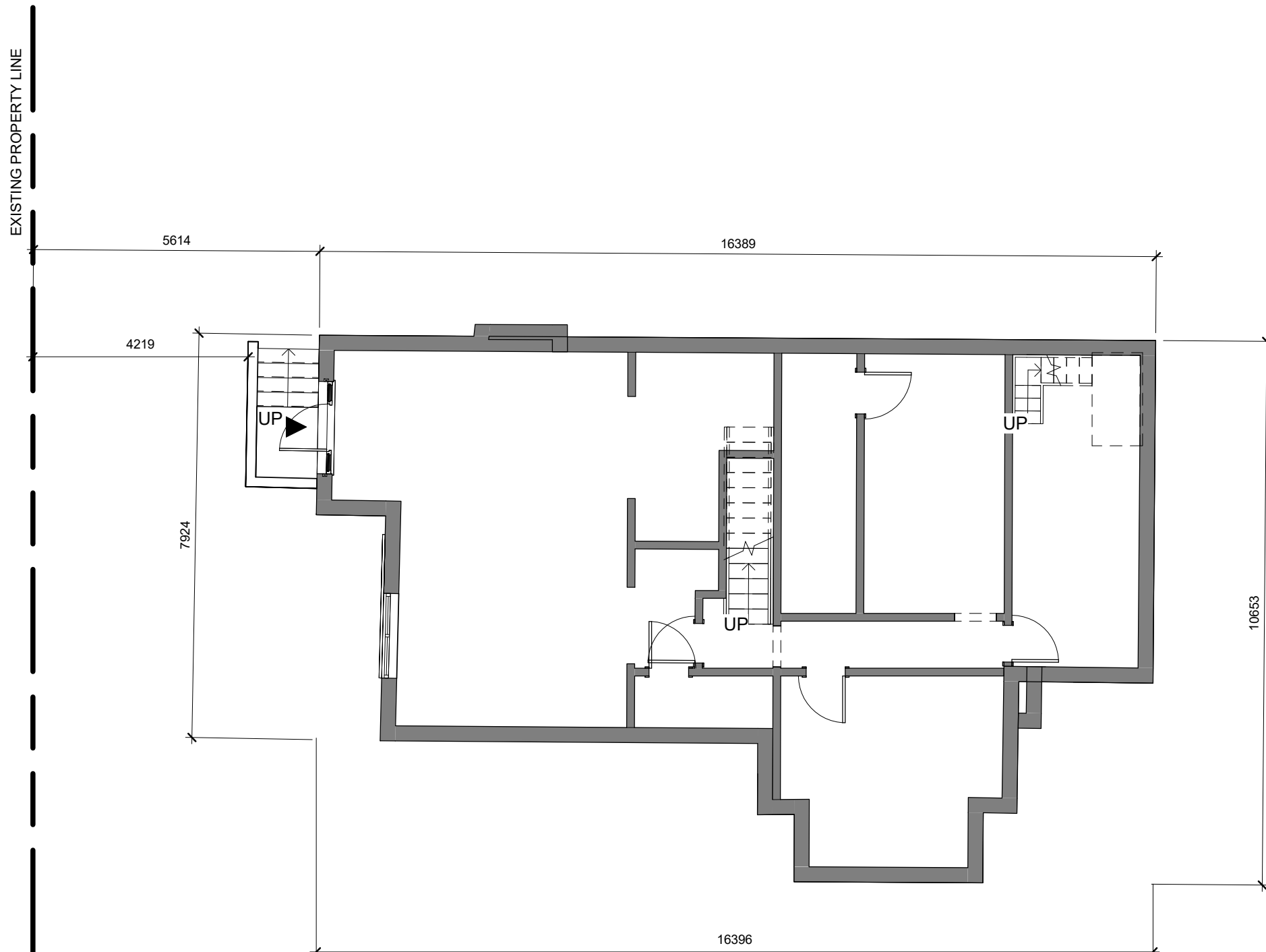
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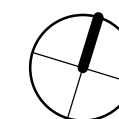
NOT FOR CONSTRUCTION

LEGEND

 EXISTING



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E.R.A. Architects Inc.



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

Basement Floor Plan_Existing -
84 High St E

Sheet no.

CP102

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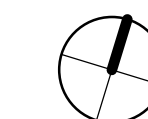
NOT FOR CONSTRUCTION

LEGEND

 EXISTING



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 625 Church St, Suite 600
 Toronto, Ontario, M4Y 2G1
E.R.A. Architects Inc.

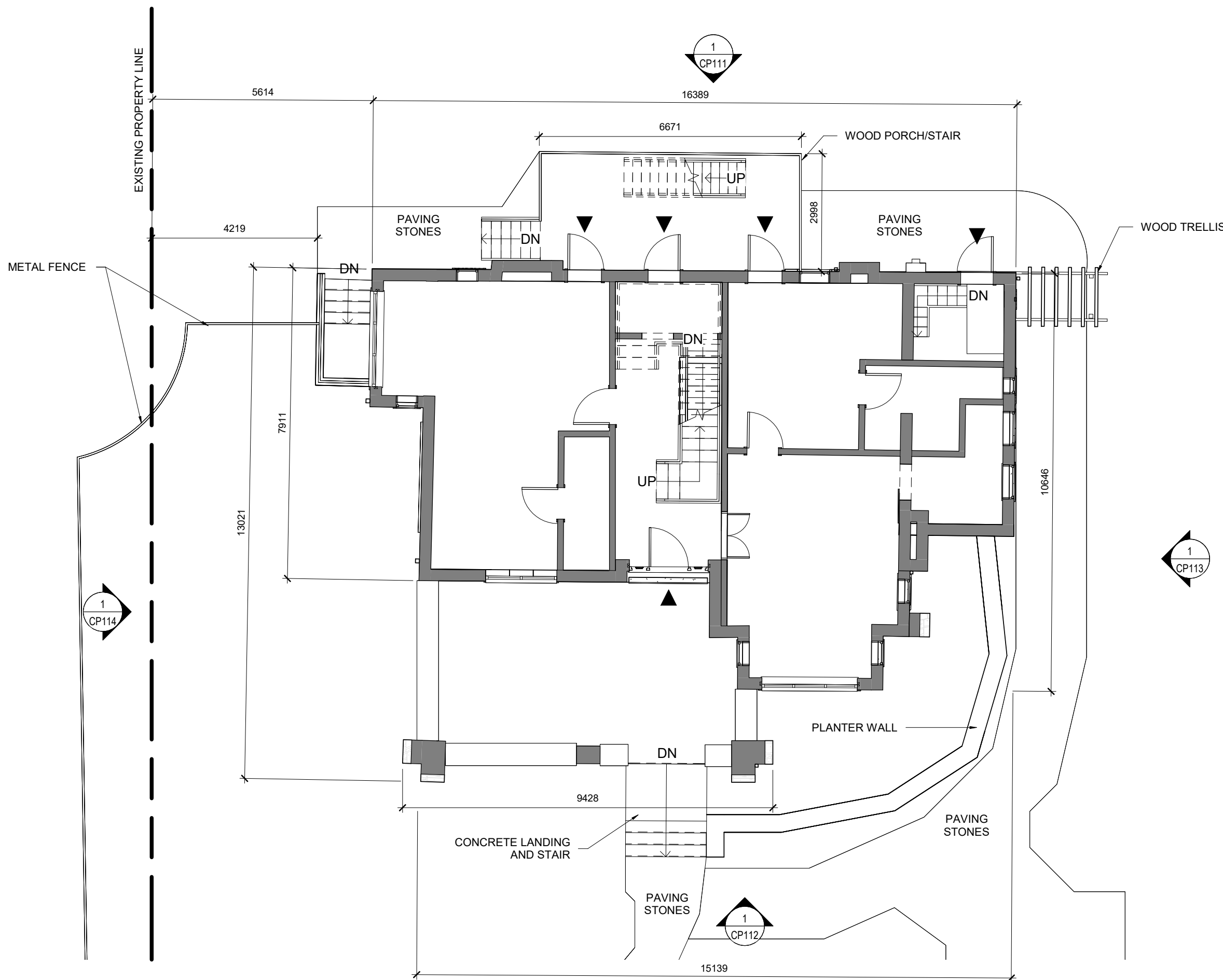


Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

Ground Floor Plan_Existing - 84 High St E

Sheet no.

CP103



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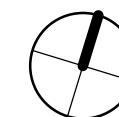
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LEGEND

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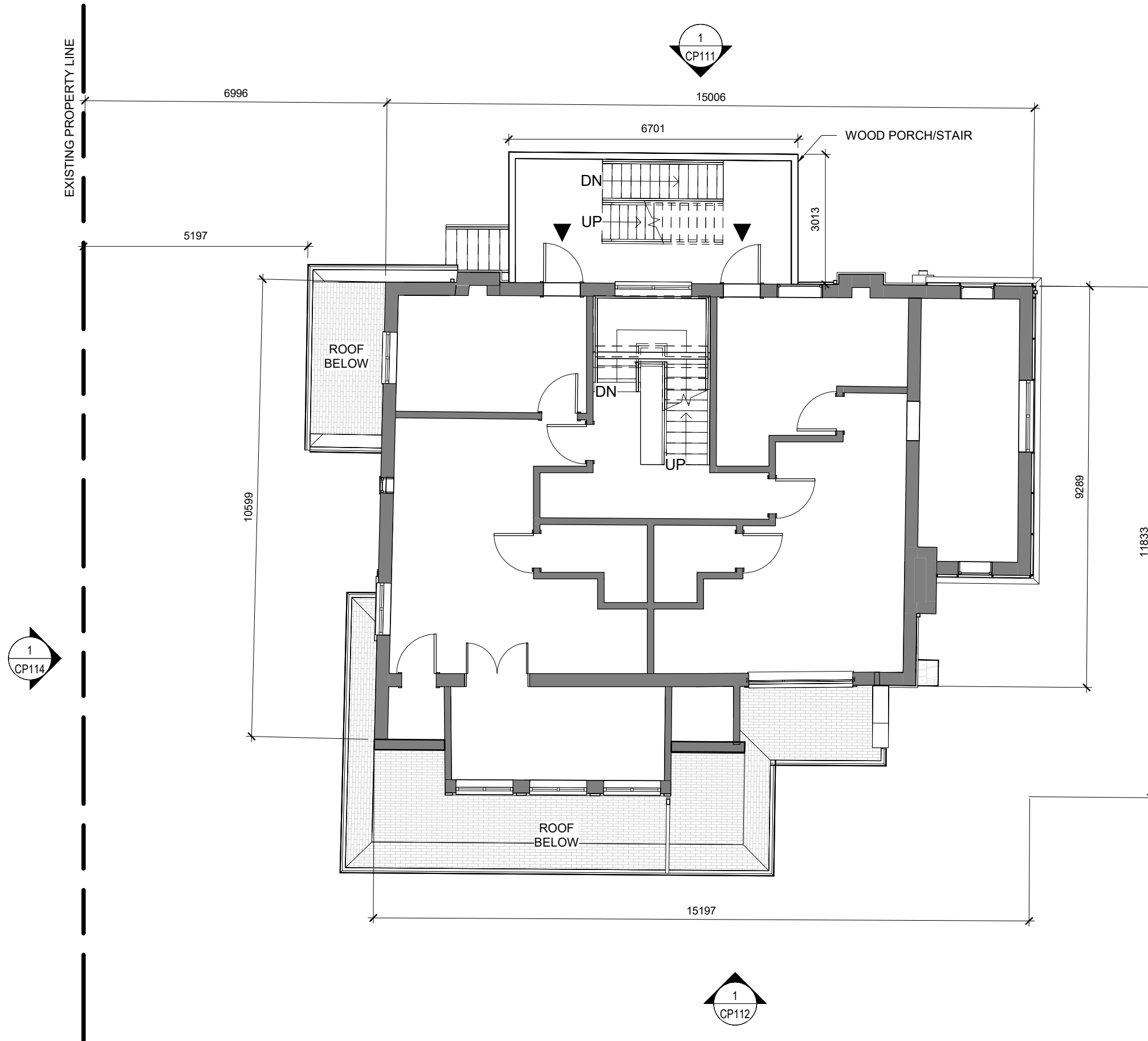


Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

Second Floor Plan_Existing -
84 High St E

Sheet no.

CP104



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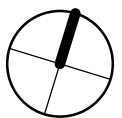
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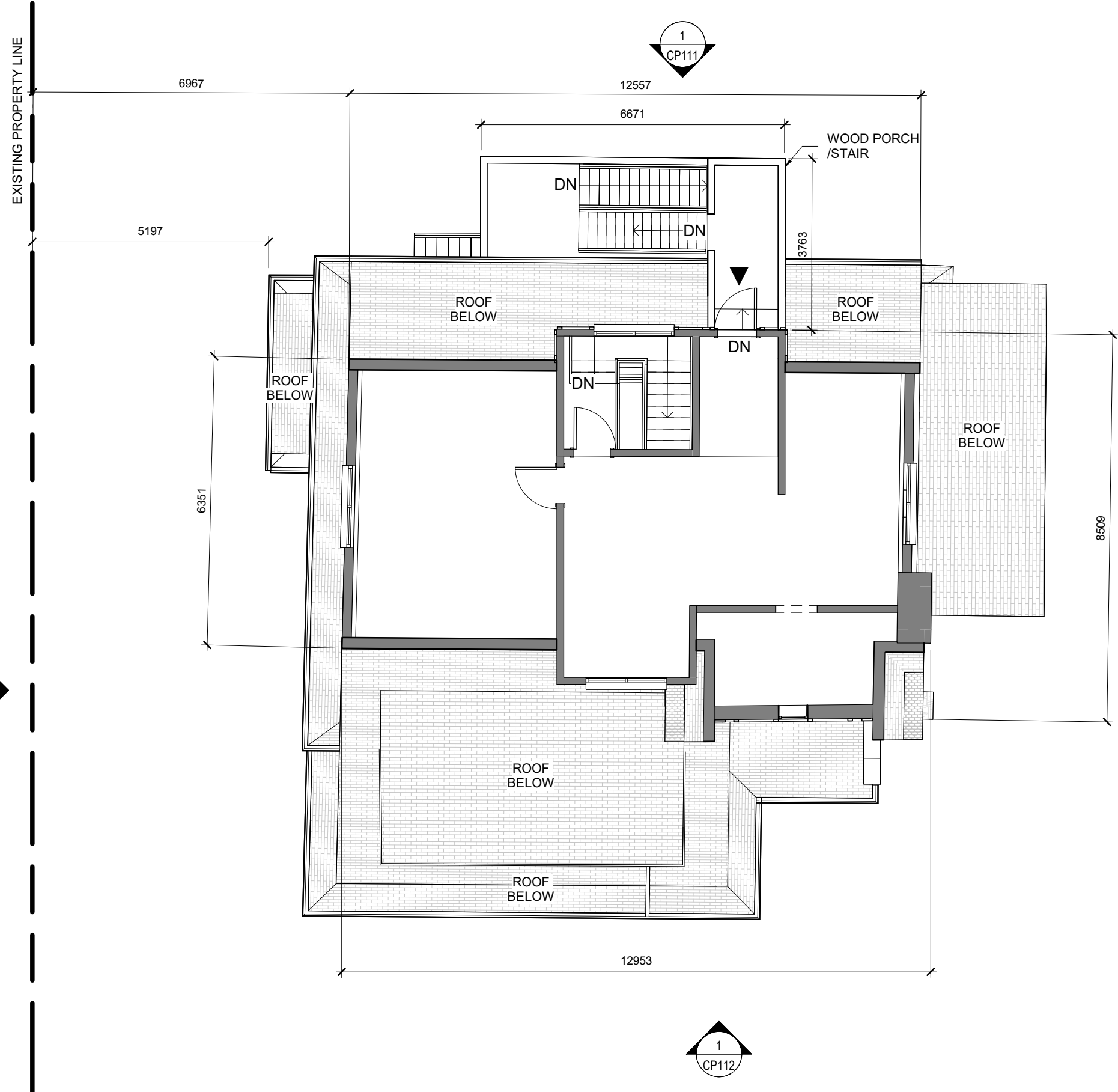
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Project	84 & 90 High Street East
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For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	Third Floor Plan_Existing - 84 High St E

Sheet no.

CP105




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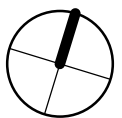
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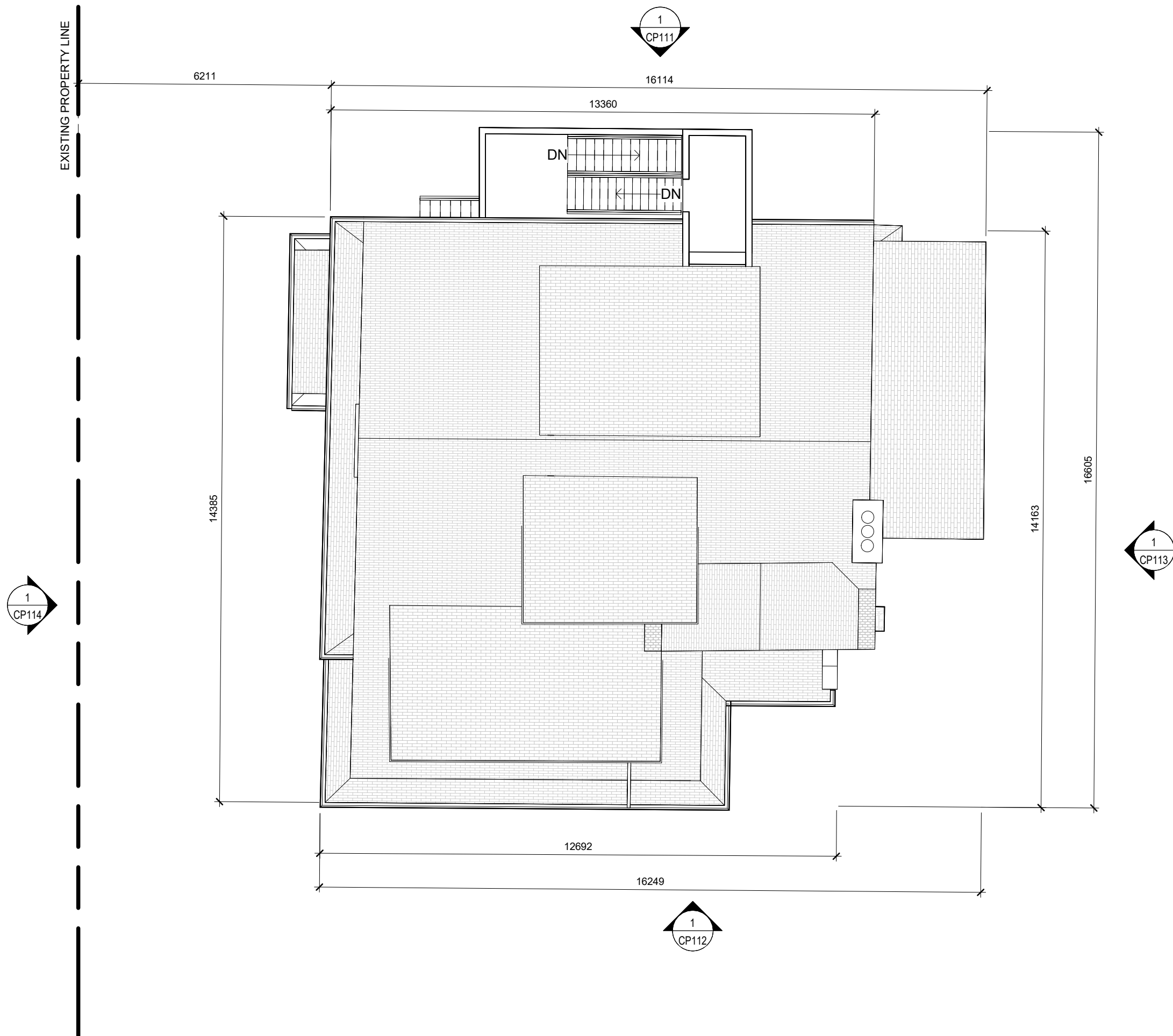


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84 & 90 High Street East
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1 : 100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

Roof Plan_Existing - 84 High St E

Sheet no.

CP106



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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	North Elevation_Existing - 84 High St E

Sheet no.

CP111

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For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Elevation_Existing - 84 High St E

Sheet no.

CP112

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For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Elevation_Existing - 84 High St E

Sheet no.

CP113

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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	West Elevation_Existing - 84 High St E

Sheet no.

CP114

CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

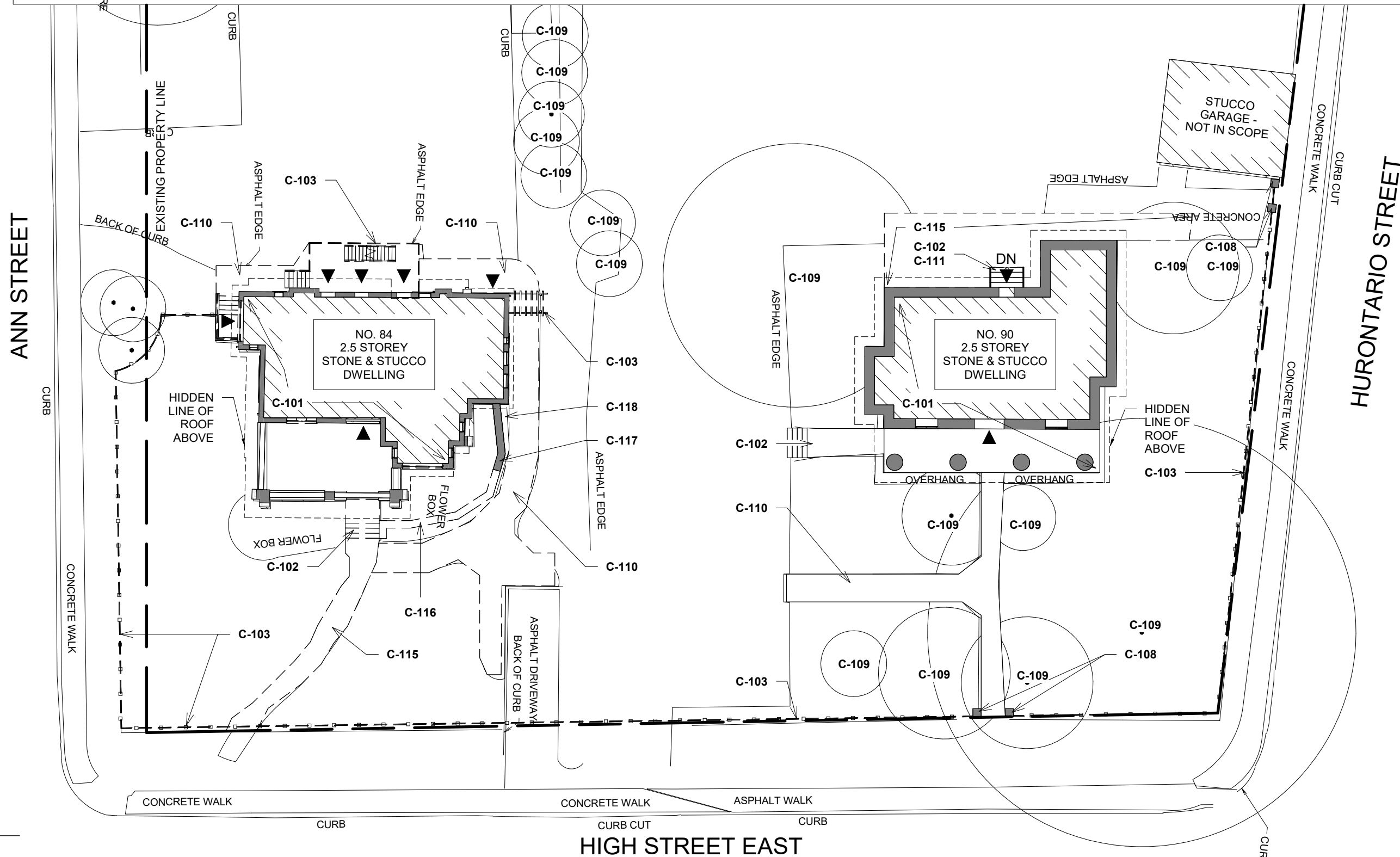
C-101 - Retain existing heritage building, in situ.
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.

C-104 - Remove existing shingles and flashing.
 C-105 - Remove existing metal gutters and downpipes.
 C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.

C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
 C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.

C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
 C-110 - Remove and salvage exterior pavers for owner's use.
 C-111 - Demolish and remove existing metal handrails.
 C-112 - Remove screen door.
 C-113 - Retain existing door or window in-situ.
 C-114 - Retain existing shingles and flashing at 84 High Street East.

C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
 C-116 - Remove and salvage armour stone whole units for re-use.
 C-117 - Retain existing armour stone.
 C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
 C-119 - Cut existing dimple board back to grade.
 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



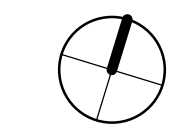
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LEGEND

	EXISTING BUILDING/LANDSCAPE ELEMENT
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR
	EXISTING PROPERTY LINE
	EXISTING FENCE LINE



Project
 84 & 90 High Street East
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:250
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

Site Plan_Demolition -
 84 & 90 High St E





Sheet no.
CP201

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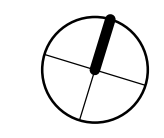
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LEGEND

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR
	NOT IN SCOPE



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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

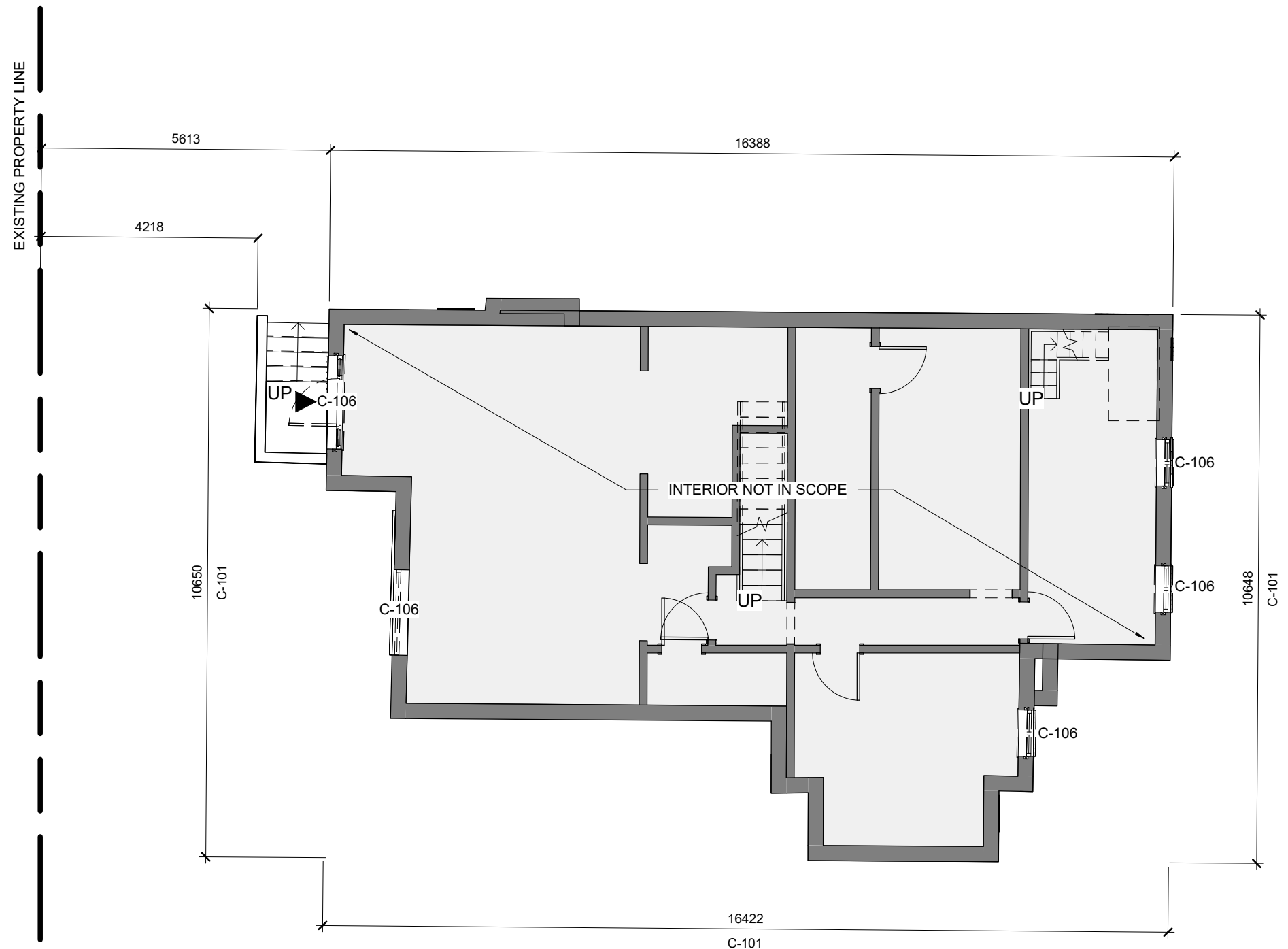
Basement Floor Plan_Demolition -
84 High St E

Sheet no. **CP202**

CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

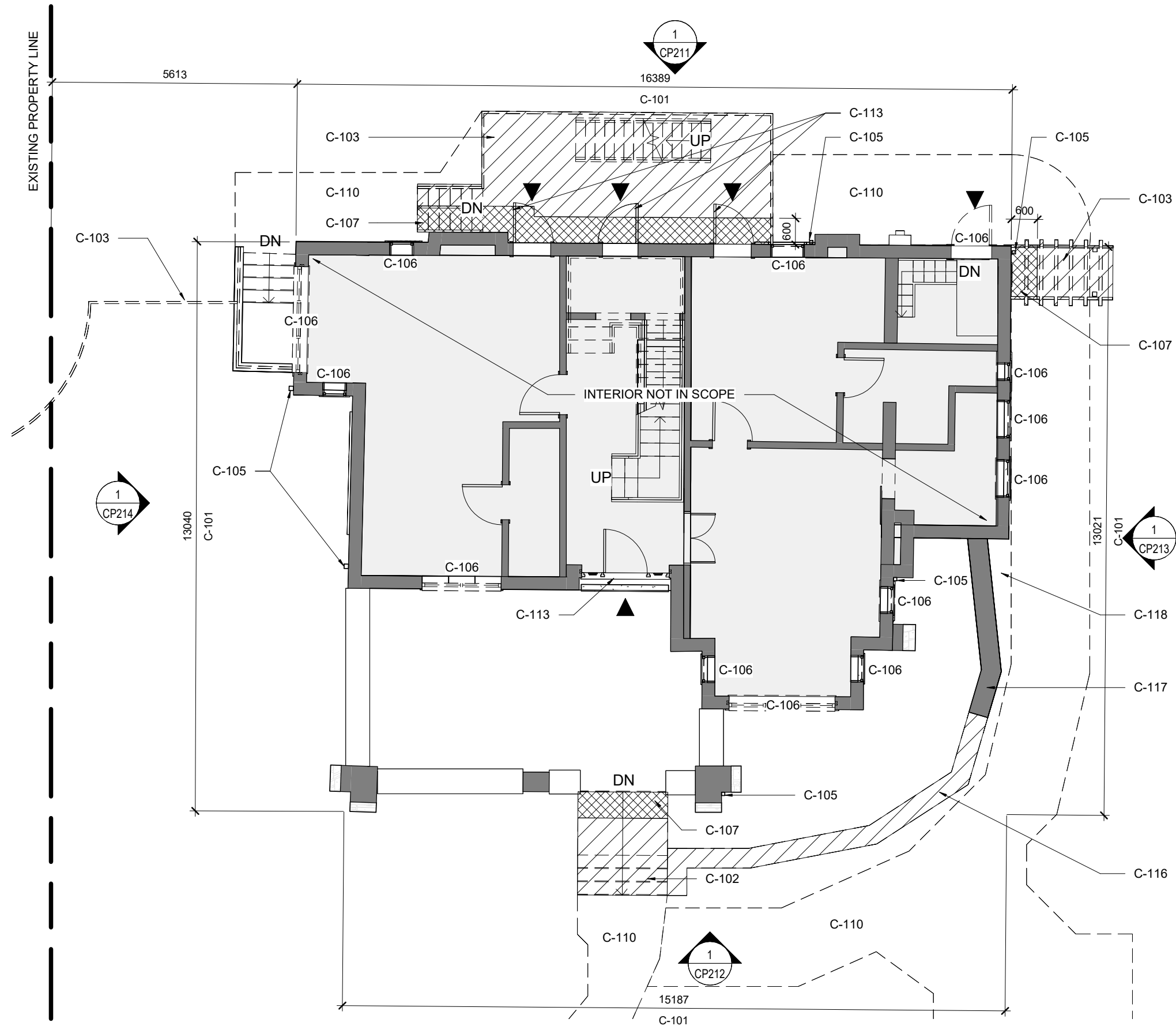
- C-100 - SALVAGE + DEMOLITION + STABILIZATION**
- C-101 - Retain existing heritage building, in situ.
 - C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
 - C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
 - C-104 - Remove existing shingles and flashing.
 - C-105 - Remove existing metal gutters and downpipes.
 - C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
 - C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
 - C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
 - C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
 - C-110 - Remove and salvage exterior pavers for owner's use.
 - C-111 - Demolish and remove existing metal handrails.
 - C-112 - Remove screen door.
 - C-113 - Retain existing door or window in-situ.
 - C-114 - Retain existing shingles and flashing at 84 High Street East.
 - C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
 - C-116 - Remove and salvage armour stone whole units for re-use.
 - C-117 - Retain existing armour stone.
 - C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
 - C-119 - Cut existing dimple board back to grade.
 - C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

- C-100 - SALVAGE + DEMOLITION + STABILIZATION**
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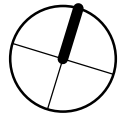
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	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR
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Project
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 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

Ground Floor Plan_Demolition -
 84 High St E

Sheet no.

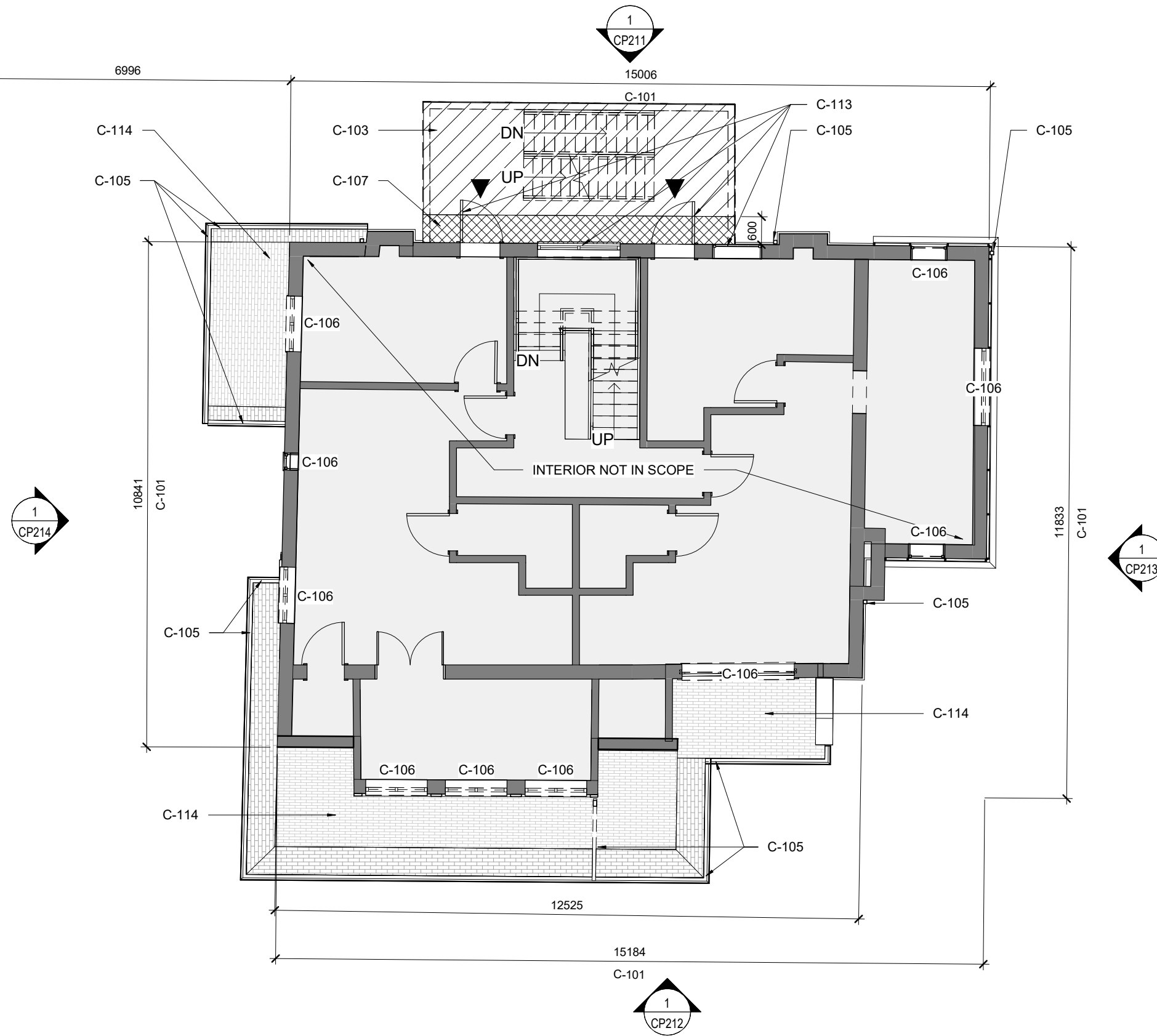
CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

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EXISTING PROPERTY LINE



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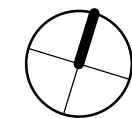
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- DEMOLITION BY HERITAGE CONTRACTOR
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Project

84 & 90 High Street East

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1:100

Drawn by RD, EL

Reviewed by JQ, MY

Drawing title

**Second Floor Plan_Demolition -
84 High St E**

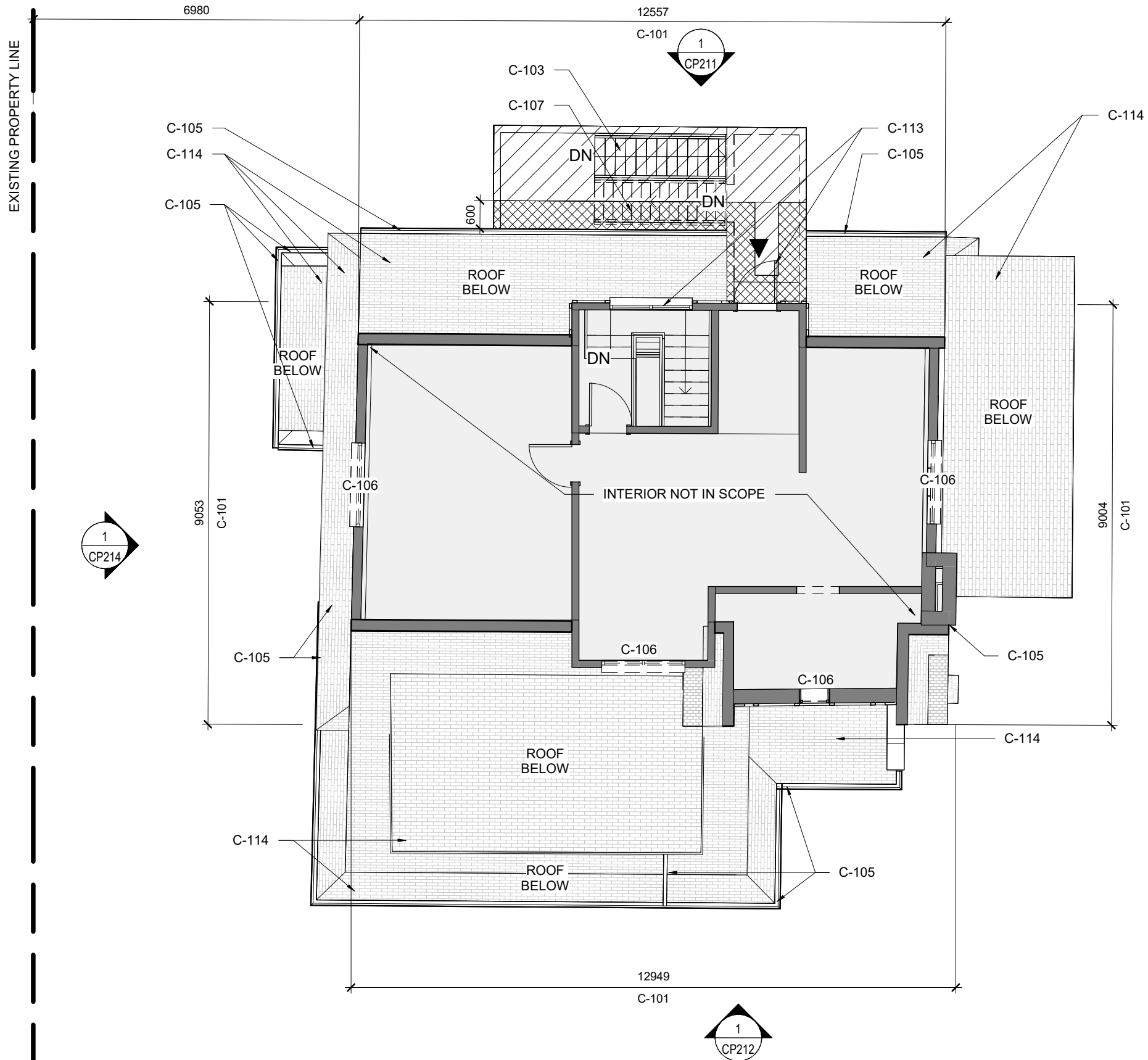
Sheet no.

CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

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	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR
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E.R.A. Architects Inc.

Project

84 & 90 High Street East

Address **84 & 90 High St E, Mississauga, ON L5G 1K4**

For **10 WEST GO LP**

Project no. **21-110-04**

Scale at 11x17 **1:100**

Drawn by **RD, EL**

Reviewed by **JQ, MY**

Drawing title

Third Floor Plan_Demolition - 84 High St E

Sheet no.

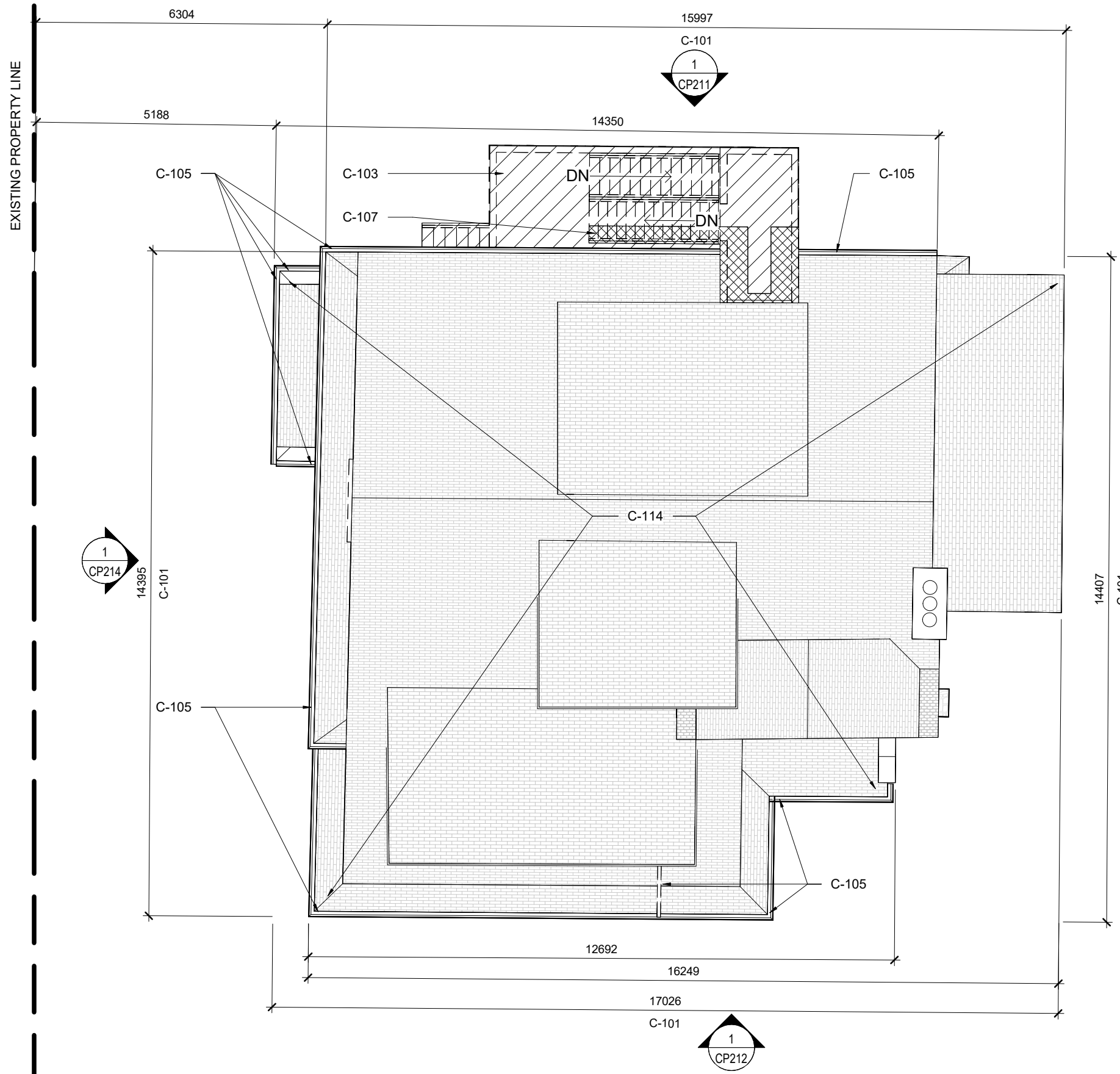
CP205

CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).






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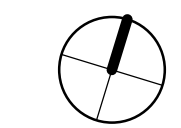
NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

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LEGEND

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR

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E.R.A. Architects Inc.



Project
 84 & 90 High Street East
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

Roof Plan_Demolition -
 84 High St E

Sheet no.
CP206

CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

C-101 - Retain existing heritage building, in situ.
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
 C-104 - Remove existing shingles and flashing.
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C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
 C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.

C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
 C-110 - Remove and salvage exterior pavers for owner's use.
 C-111 - Demolish and remove existing metal handrails.
 C-112 - Remove screen door.
 C-113 - Retain existing door or window in-situ.
 C-114 - Retain existing shingles and flashing at 84 High Street East.




C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
 C-116 - Remove and salvage armour stone whole units for re-use.
 C-117 - Retain existing armour stone.
 C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
 C-119 - Cut existing dimple board back to grade.
 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

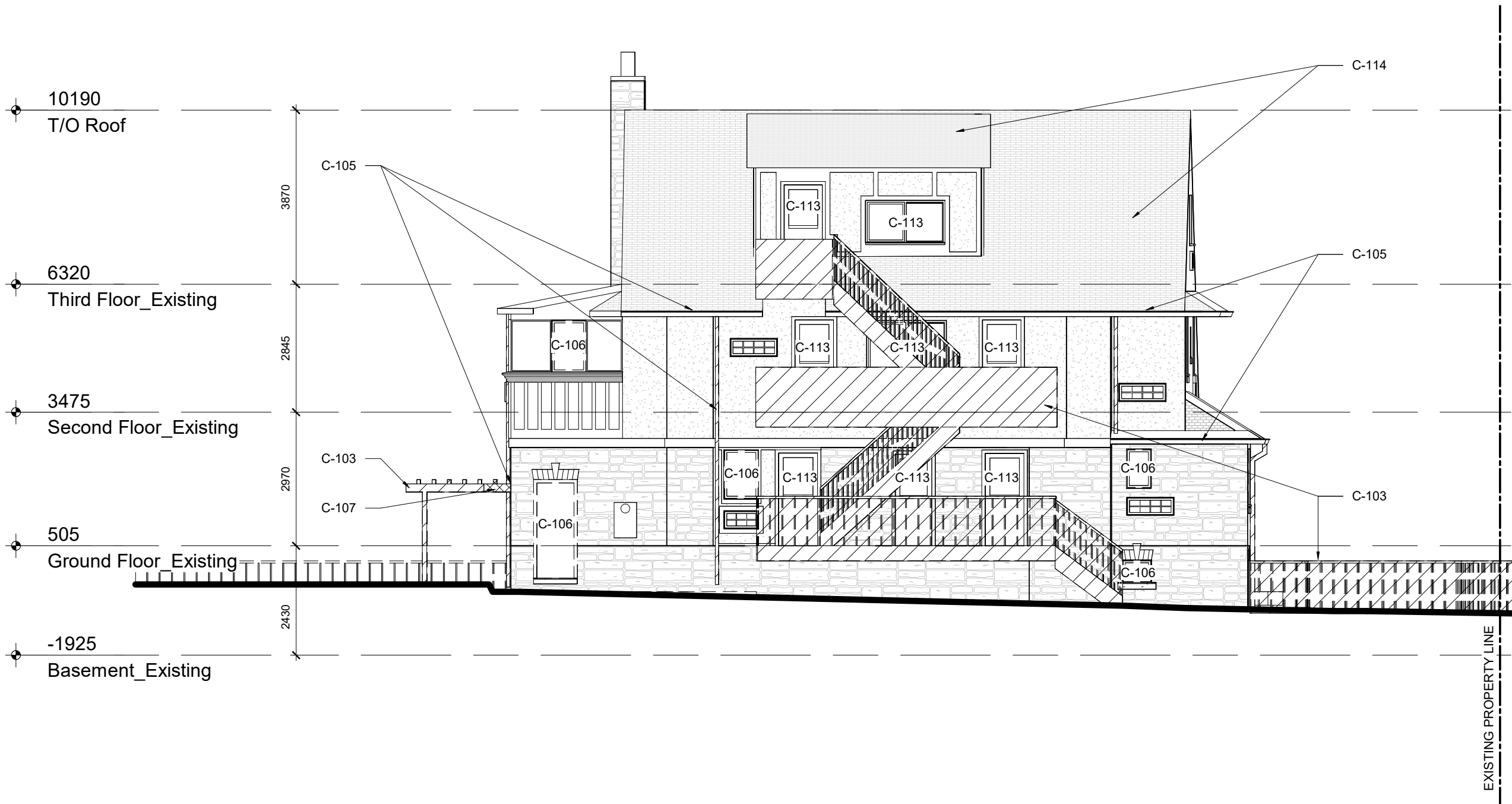
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-  EXISTING
-  DEMOLITION
-  DEMOLITION BY HERITAGE CONTRACTOR



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 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

North Elevation_Demolition -
 84 High St E

Sheet no.

CP211

CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION
 C-101 - Retain existing heritage building, in situ.
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.

C-104 - Remove existing shingles and flashing.
 C-105 - Remove existing metal gutters and downpipes.
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 C-113 - Retain existing door or window in-situ.
 C-114 - Retain existing shingles and flashing at 84 High Street East.

C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
 C-116 - Remove and salvage armour stone whole units for re-use.
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 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

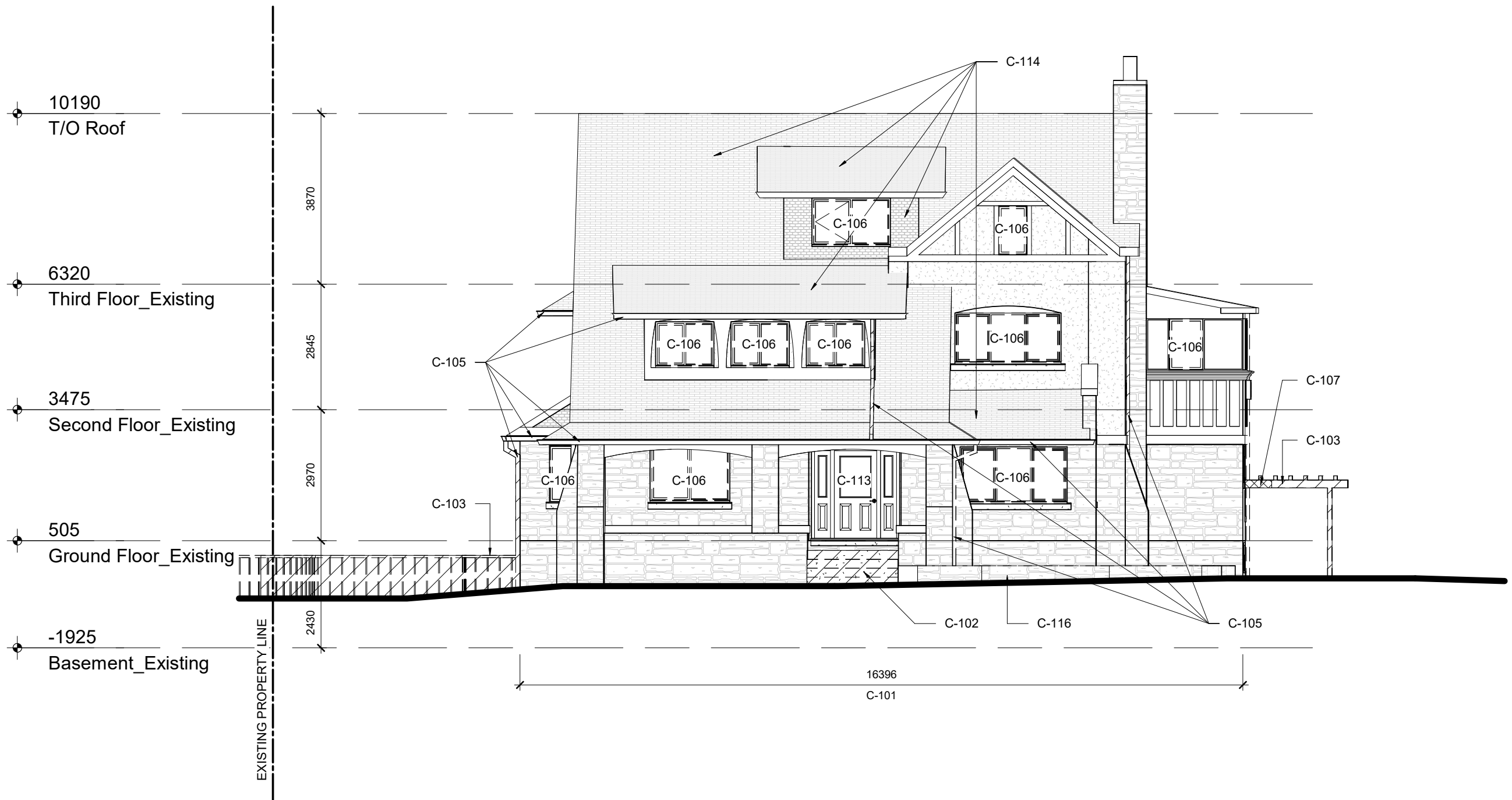
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	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR



Project
 84 & 90 High Street East
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

South Elevation_Demolition -
 84 High St E

Sheet no.
CP212

CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

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 C-113 - Retain existing door or window in-situ.
 C-114 - Retain existing shingles and flashing at 84 High Street East.


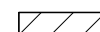

C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
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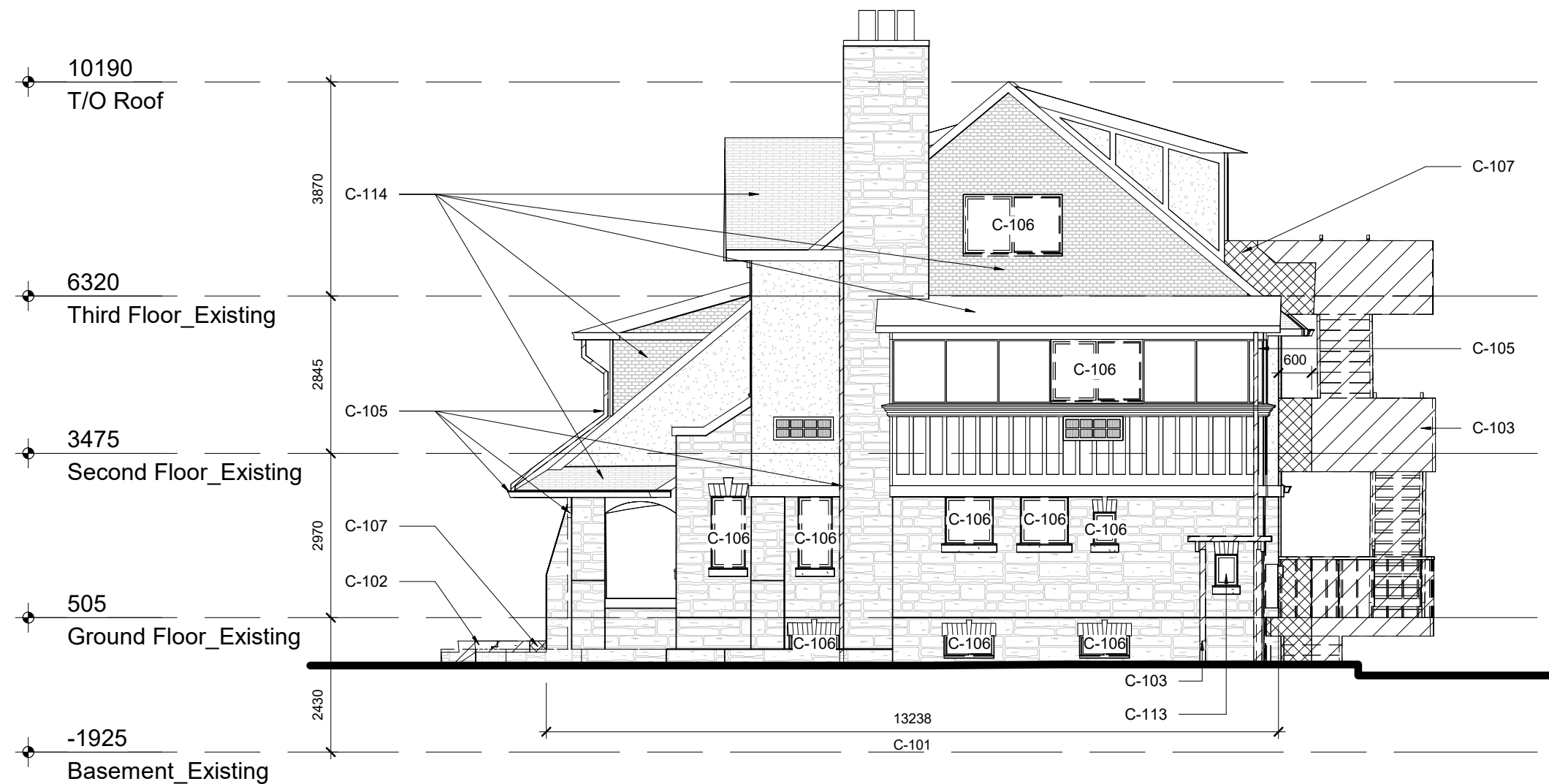
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-  EXISTING
-  DEMOLITION
-  DEMOLITION BY HERITAGE CONTRACTOR



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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Elevation_Demolition - 84 High St E

Sheet no.

CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK

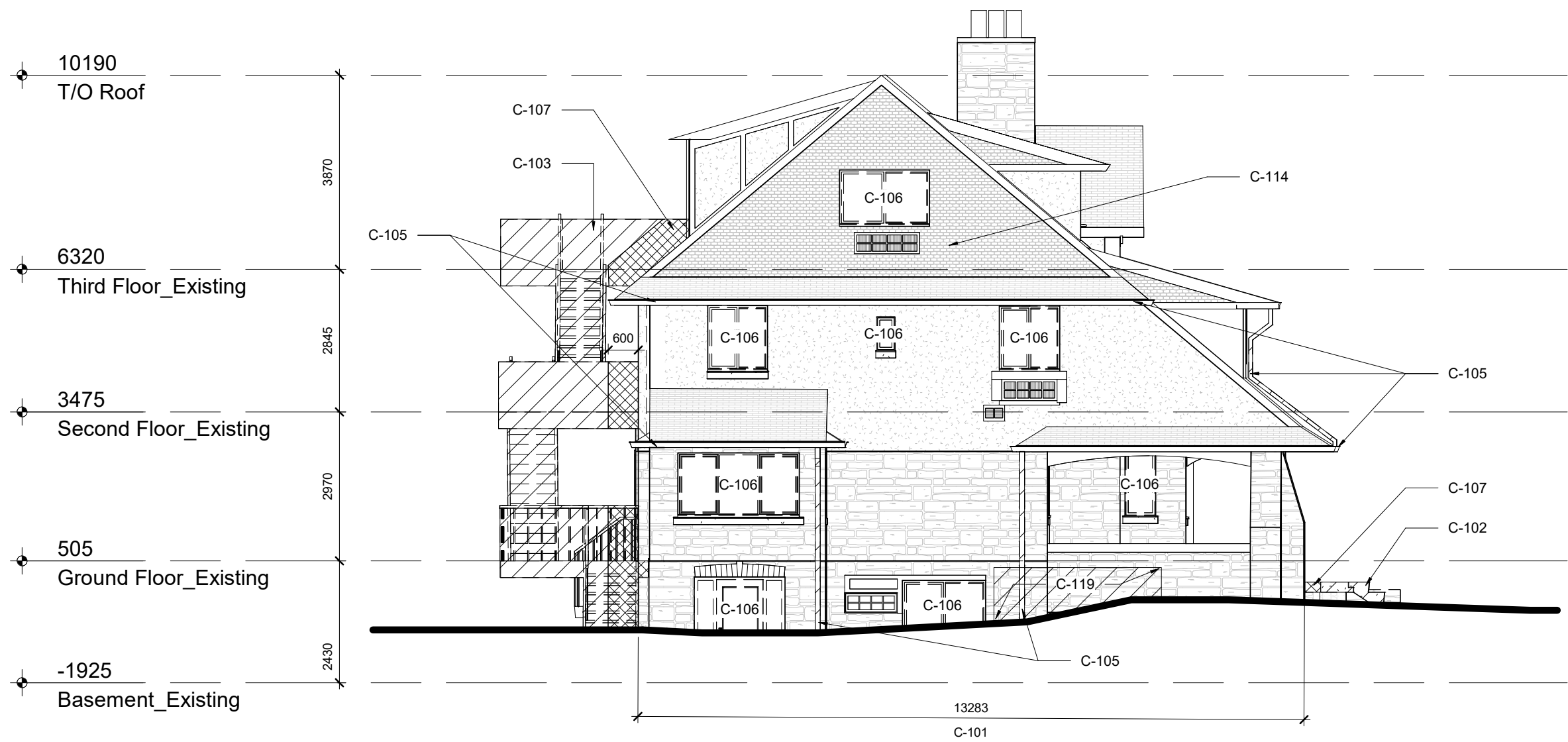
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



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	DEMOLITION BY HERITAGE CONTRACTOR

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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	West Elevation_Demolition - 84 High St E

CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION




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- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
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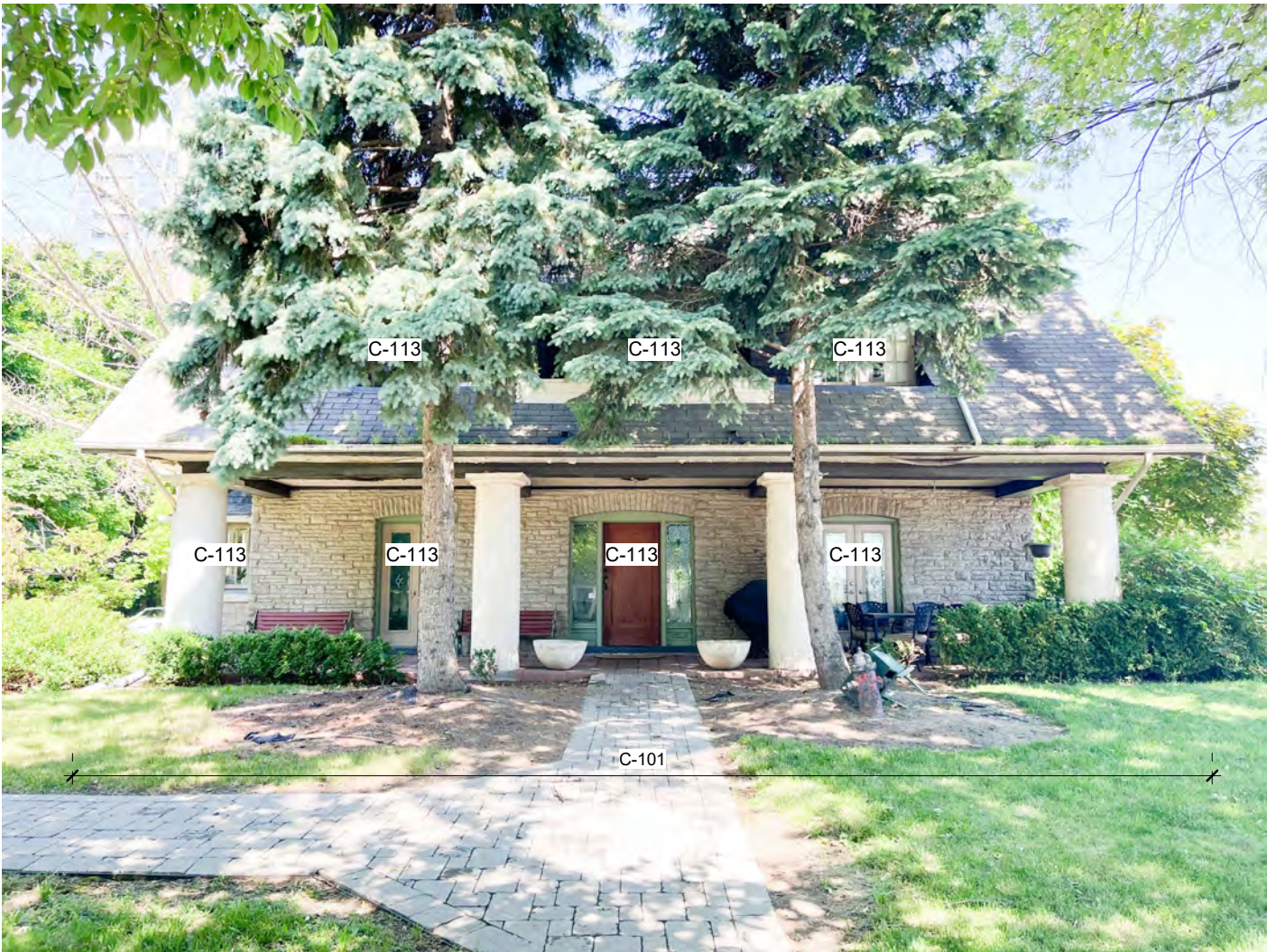
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-  DEMOLITION
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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Elevation_Demolition - 90 High St E

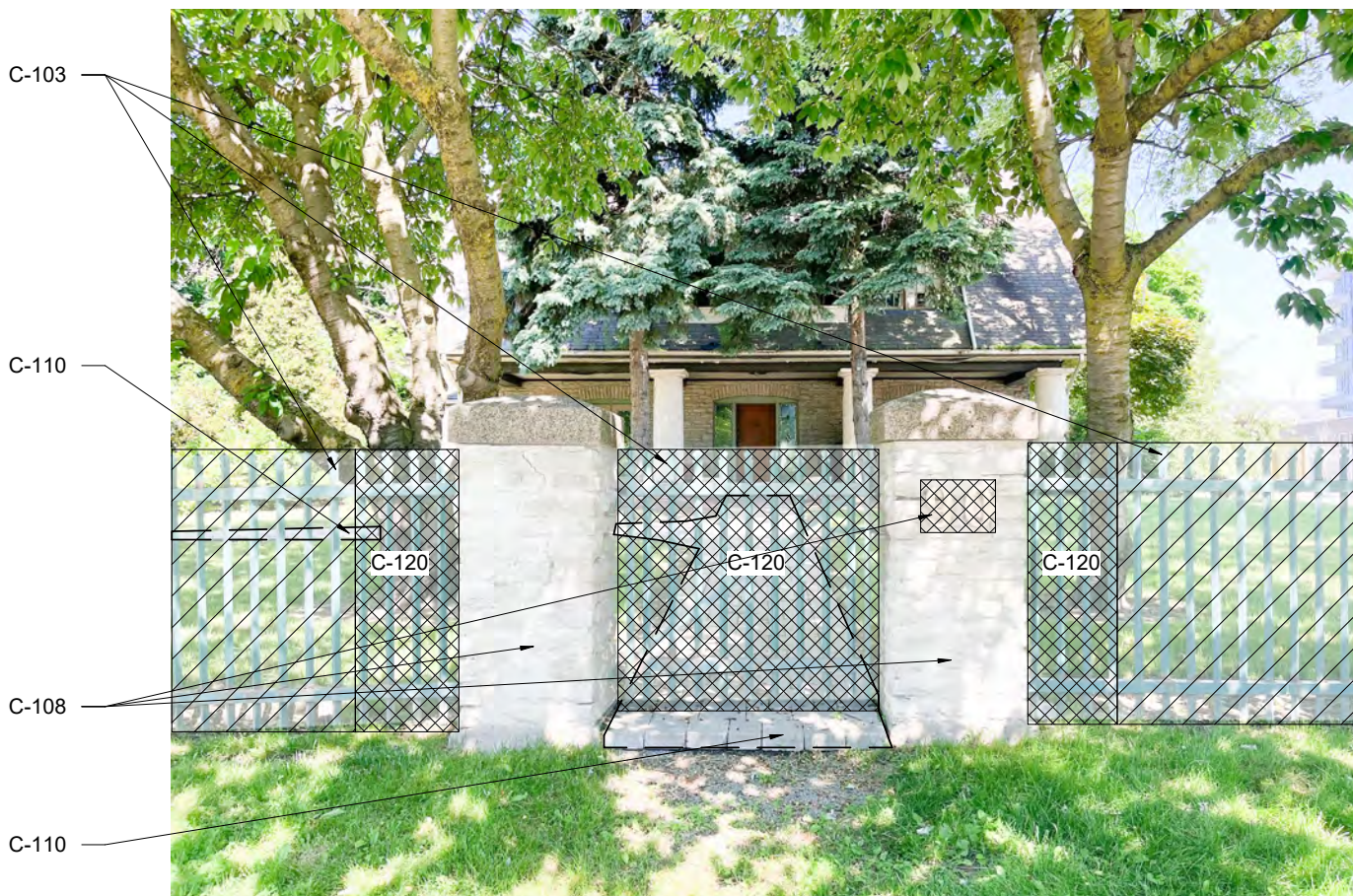
Sheet no. **CP221**

CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

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SOUTH STONE PIERS - SOUTH ELEVATION

NTS

1
CP222



SOUTH STONE PIERS - NORTH ELEVATION

NTS

2
CP222

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- EXISTING
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- DEMOLITION BY HERITAGE CONTRACTOR

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Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Stone Piers_Demolition - 90 High St E

Sheet no.

CP222

CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

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EAST ELEVATION (NORTH END - DETAIL) 2
NTS CP223



EAST ELEVATION (SOUTH END) 1
NTS CP223

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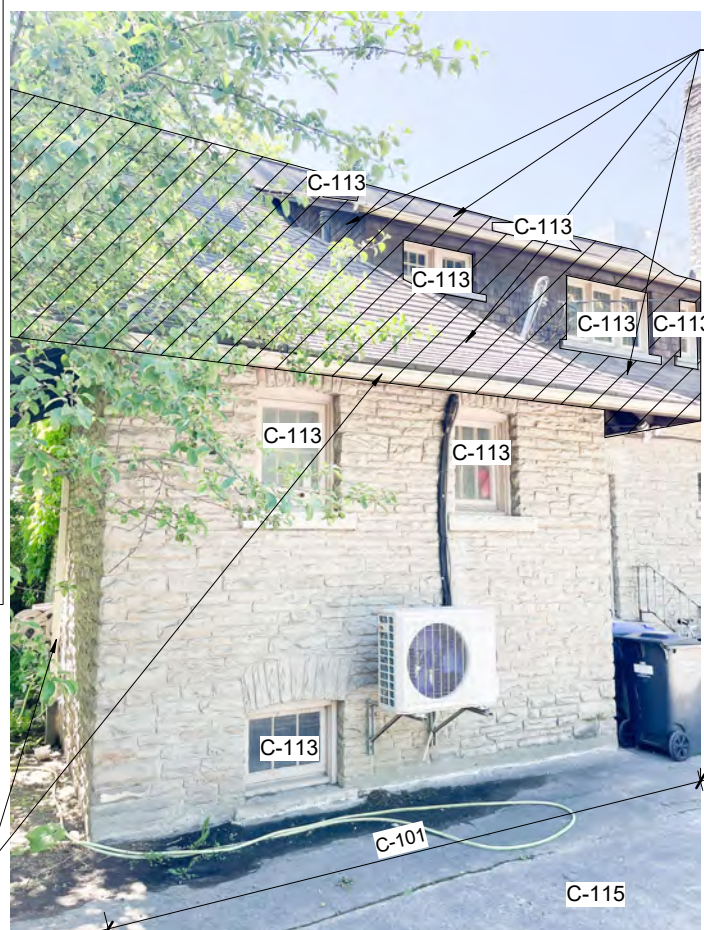
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For	10 WEST GO LP
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Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Elevation_Demolition - 90 High St E

CONSERVATION NOTES:

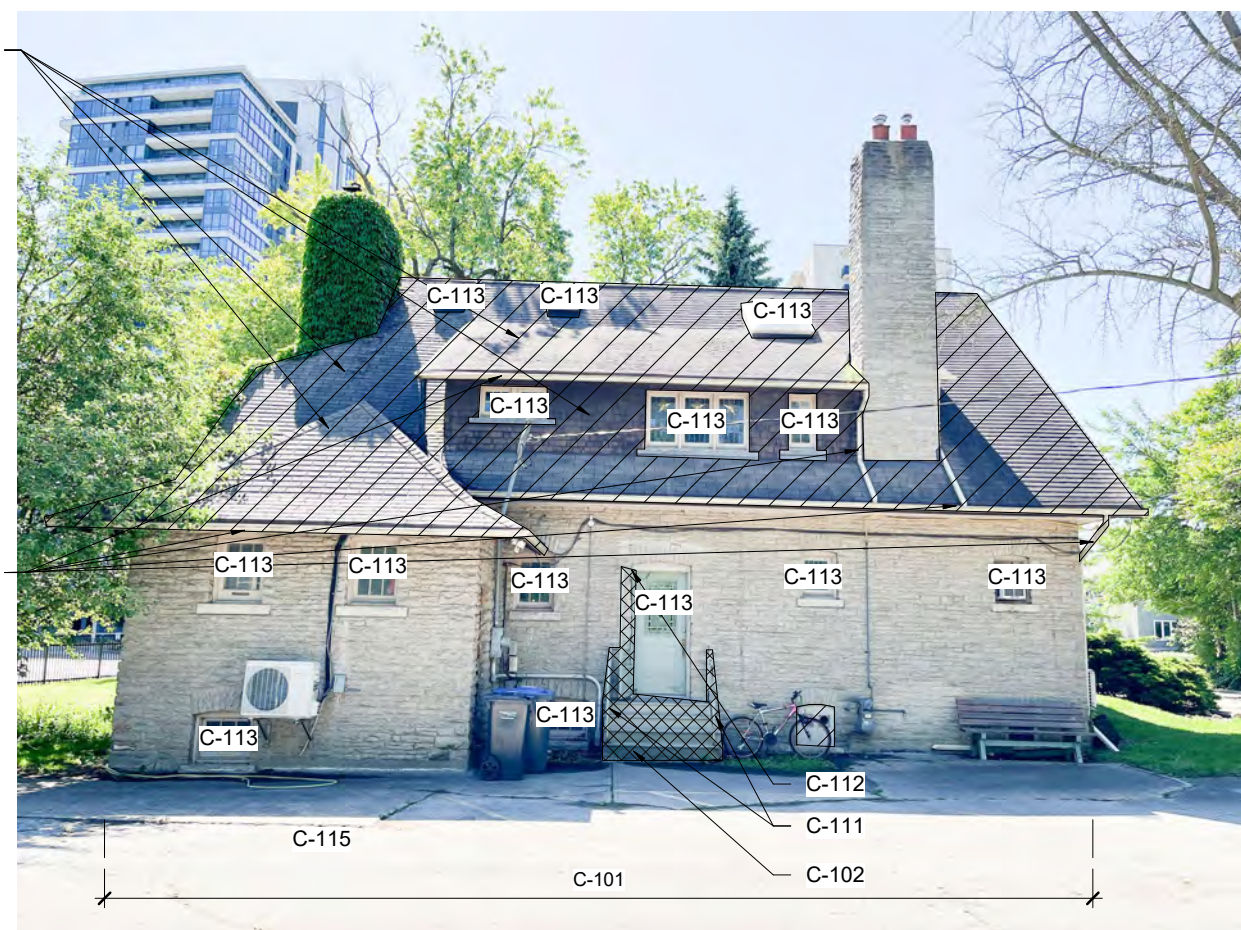
SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



NORTH ELEVATION (EAST END - DETAIL) 2
NTS CP224



NORTH ELEVATION 1
NTS CP224

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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR

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T: 416.963.4497 | F: 416.963.8761
625 Church St, Suite 600
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E.R.A. Architects Inc.

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	North Elevation_Demolition - 90 High St E

CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

- C-100 - SALVAGE + DEMOLITION + STABILIZATION
- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



NORTH ELEVATION (LOOKING EAST) 1
NTS CP225






NORTH ELEVATION (WEST END - DETAIL) 2
NTS CP225

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NO.	DATE	REVISION / ISSUANCE
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NOT FOR CONSTRUCTION

LEGEND

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR

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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

North Elevation_Demolition -
90 High St E

Sheet no. **CP225**

CONSERVATION NOTES:

SALVAGE, DEMOLITION, AND STABILIZATION WORK

C-100 - SALVAGE + DEMOLITION + STABILIZATION

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



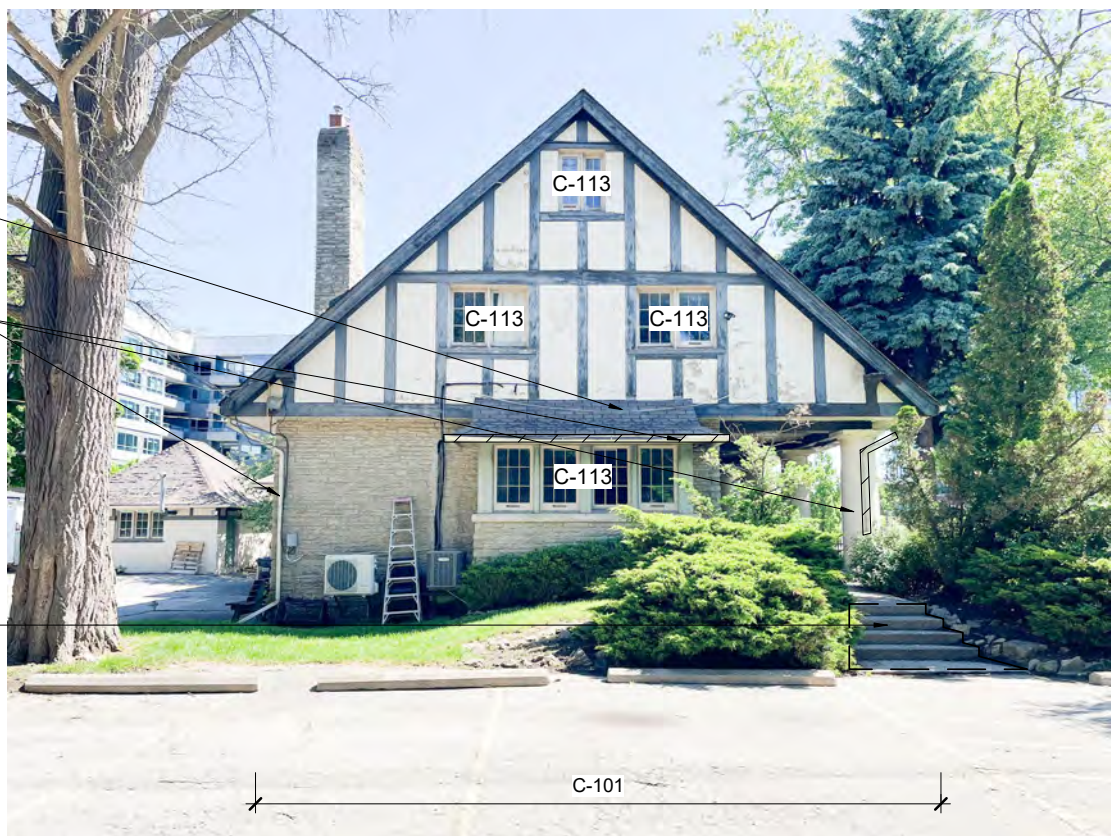
EAST ELEVATION (EAST STONE PIER) 4
NTS CP226



EAST ELEVATION (EAST STONE PIER) 3
NTS CP226



EAST ELEVATION 2
NTS CP226



WEST ELEVATION 1
NTS CP226

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NO.	DATE	REVISION / ISSUANCE
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LEGEND

- EXISTING
- DEMOLITION
- DEMOLITION BY HERITAGE CONTRACTOR

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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East and West Elevations Demolition - 90 High St E

Sheet no.

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

- C-201 Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 Retain existing window openings, repair as required before installing new windows.
- C-203 Retain existing door openings, repair as required before installing new doors.
- C-204 Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 Repoint stone at façade elevations as required.
- C-206 Repair mortar joint cracks in masonry.
- C-207 Repair existing stucco.

- C-208 Install new stucco to match existing.
- C-209 Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.

- C-214 Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstall planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS


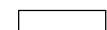

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

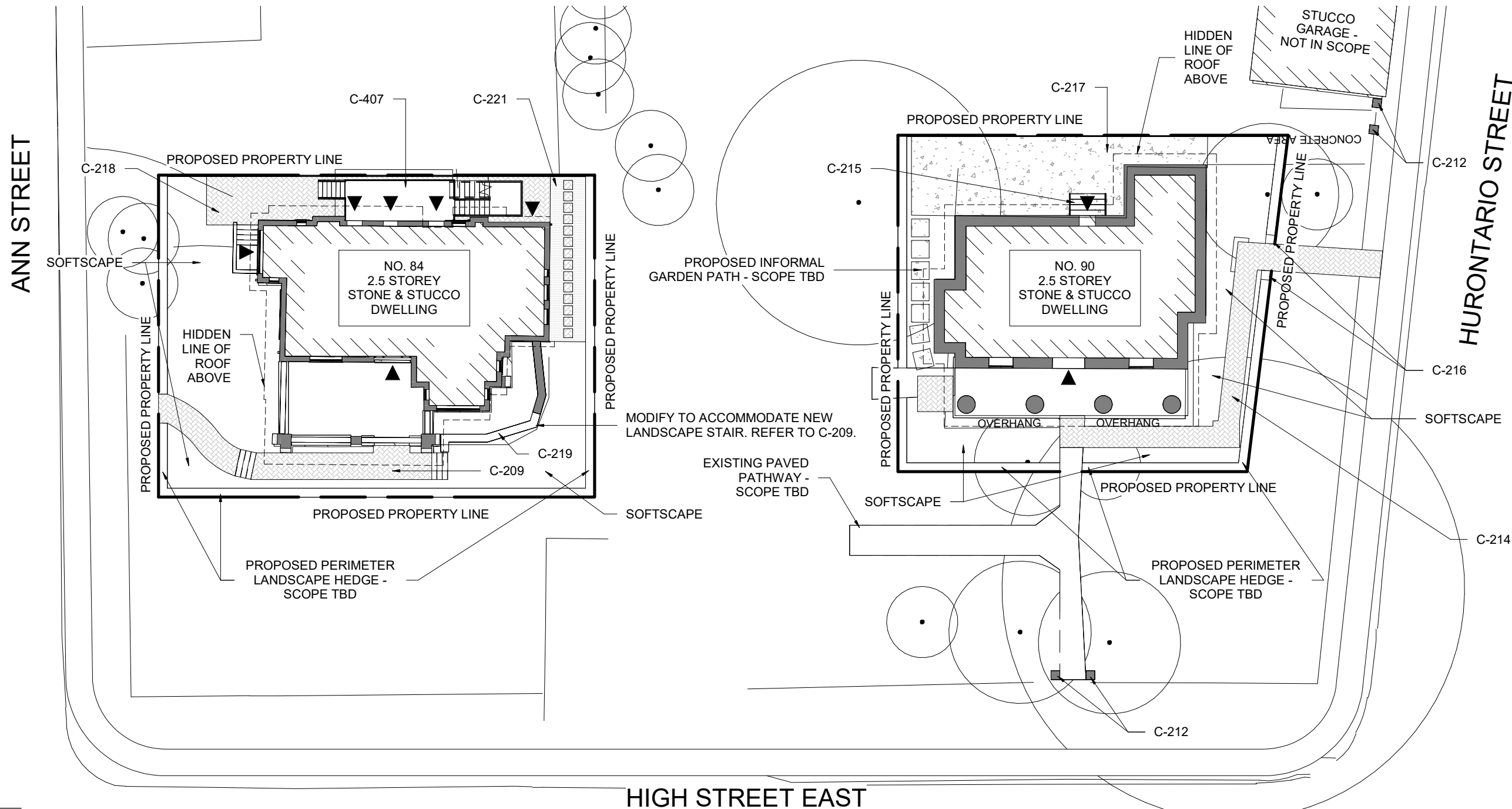
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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

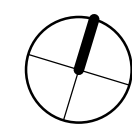
NOT FOR CONSTRUCTION

LEGEND

-  EXISTING BUILDING/LANDSCAPE ELEMENT
-  PROPOSED BUILDING/LANDSCAPE ELEMENT
-  PROPOSED PROPERTY LINE



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Project

84 & 90 High Street East

Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:250
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

Site Plan_Proposed -
84 & 90 High St E

Sheet no.

CP301

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

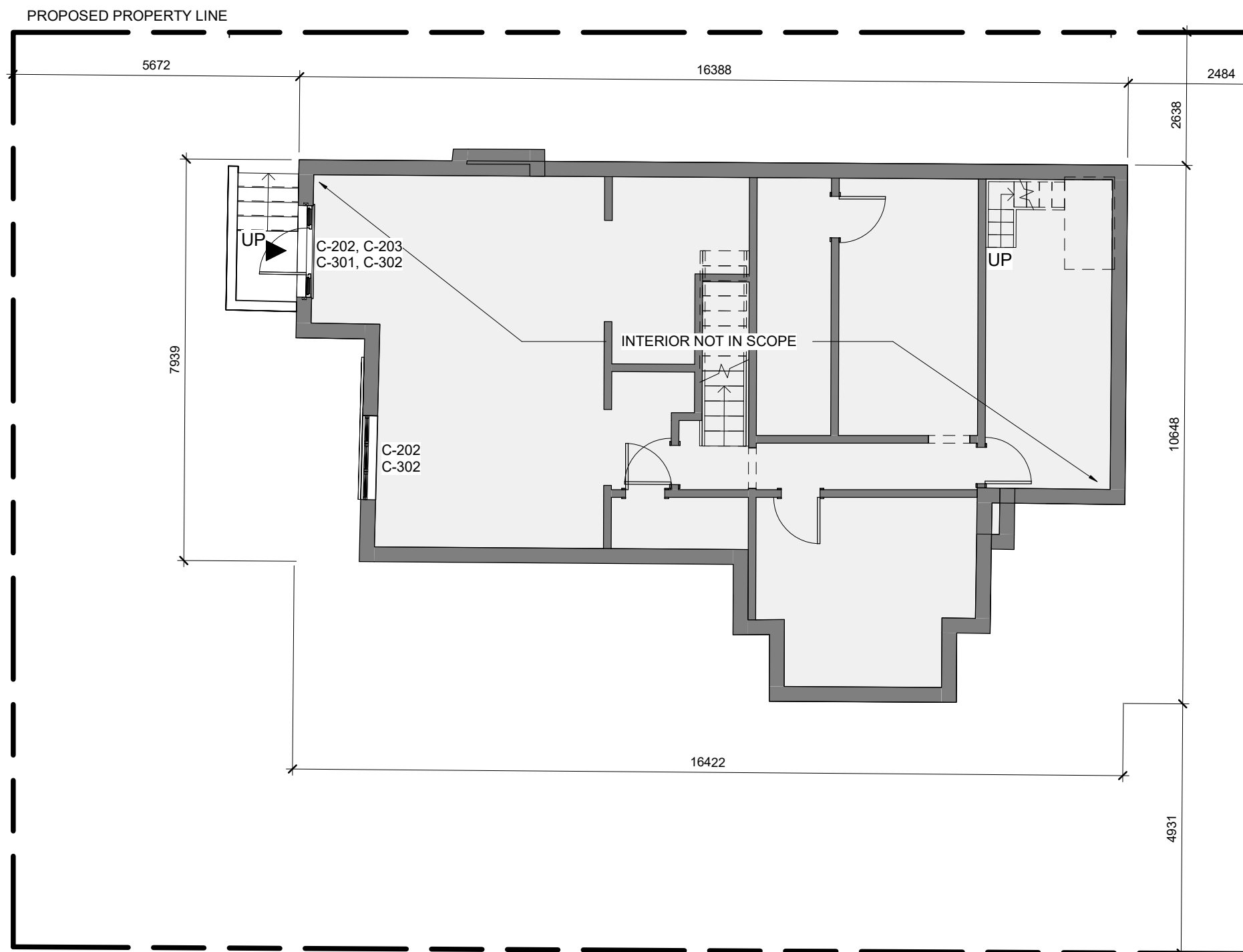
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

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LEGEND

- EXISTING
- PROPOSED
- NOT IN SCOPE

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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	Basement Floor Plan_Proposed - 84 High St E

Sheet no.

CP302

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

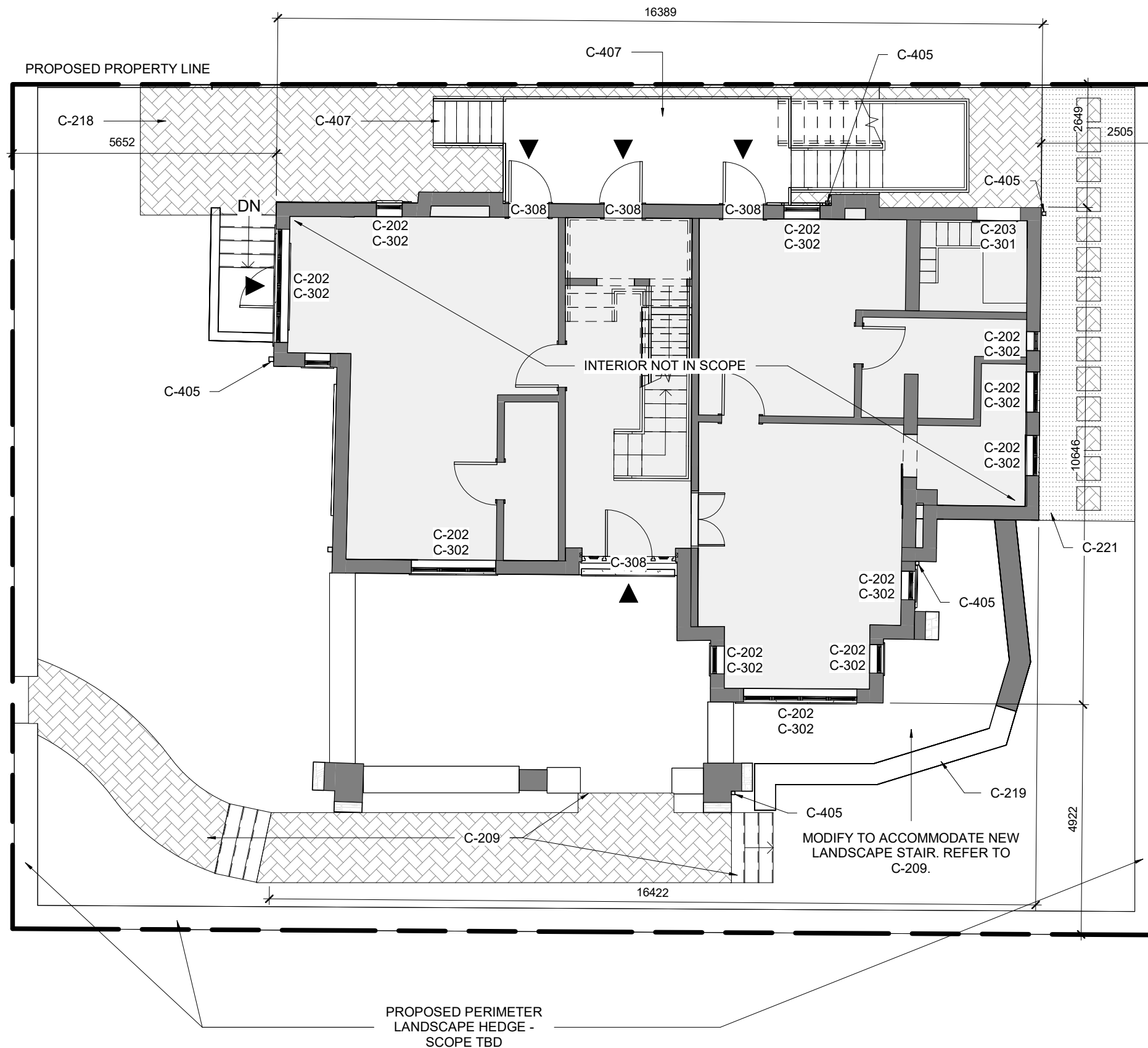
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstall planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



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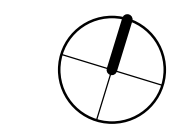
NO.	DATE	REVISION / ISSUANCE
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LEGEND

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Project

84 & 90 High Street East

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1:100

Drawn by RD, EL

Reviewed by JQ, MY

Drawing title

Ground Floor Plan Proposed - 84 High St E

Sheet no.

CP303

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

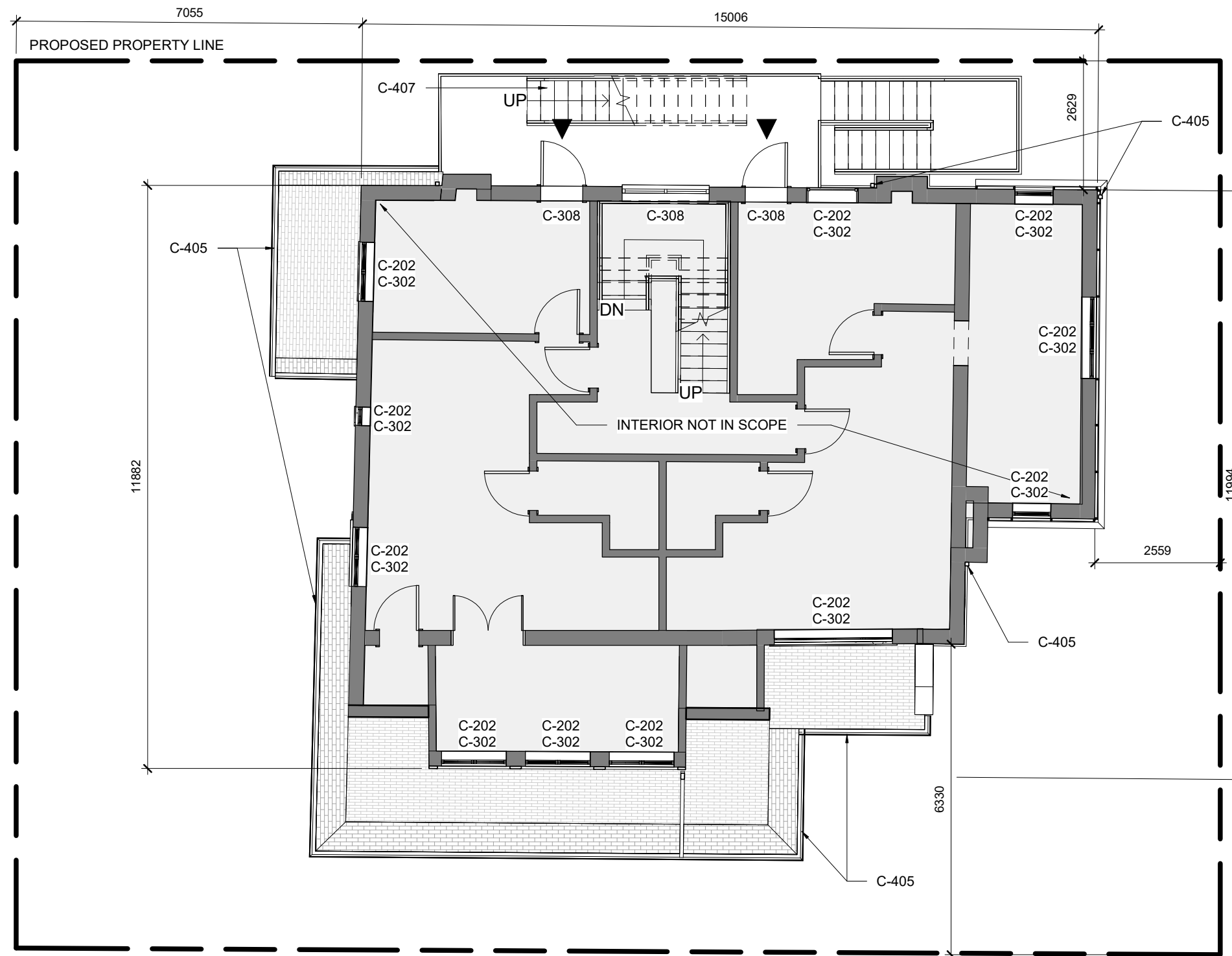
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

- EXISTING
- PROPOSED
- NOT IN SCOPE

E R A
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 T: 416.963.4497 | F: 416.963.8761
 625 Church St, Suite 600
 Toronto, Ontario, M4Y 2G1
E.R.A. Architects Inc.



Project
 84 & 90 High Street East
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

Second Floor Plan, Proposed -
 84 High St E

Sheet no.

CP304

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

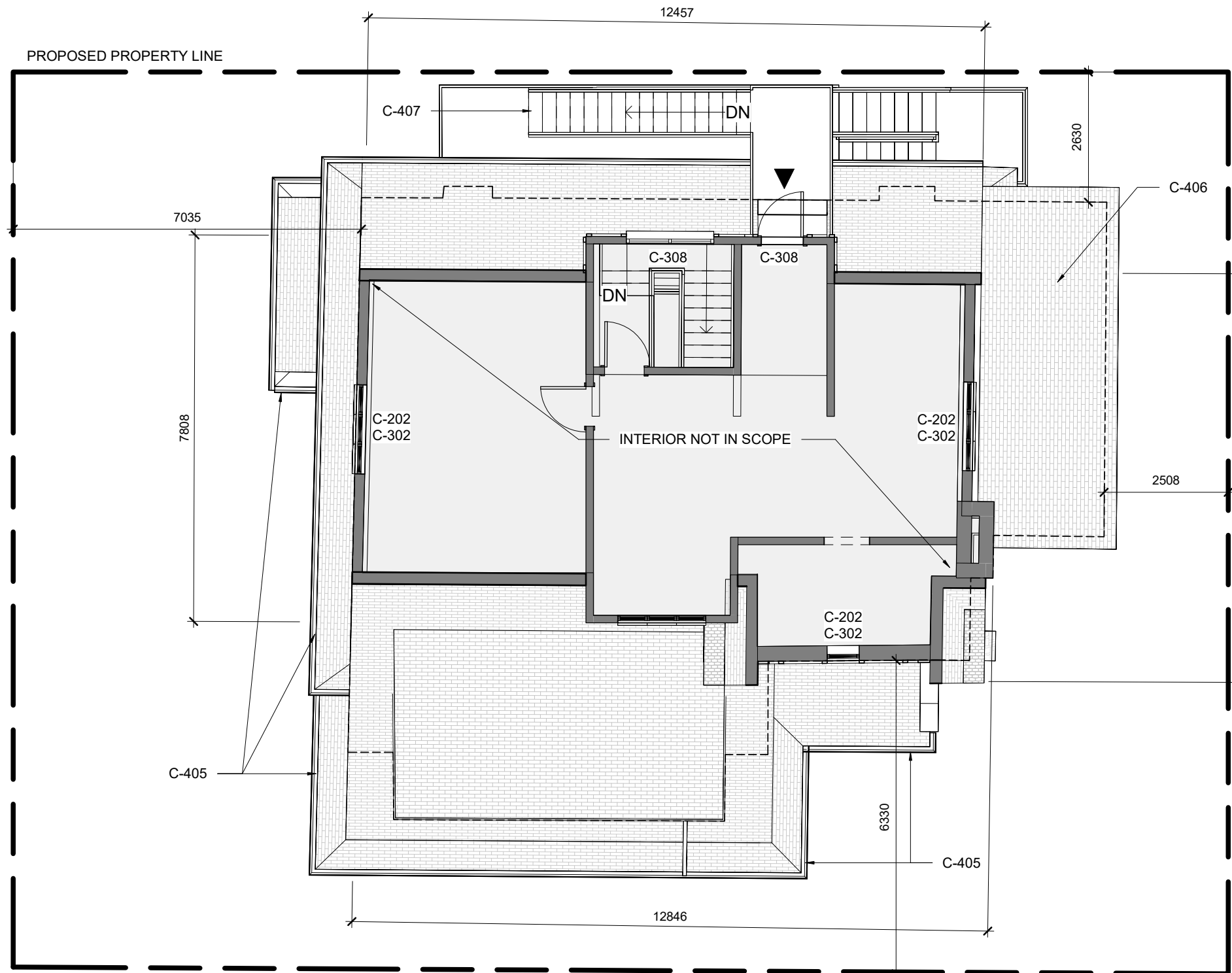
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



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 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

Third Floor Plan Proposed -
 84 High St E

Sheet no.
CP305

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

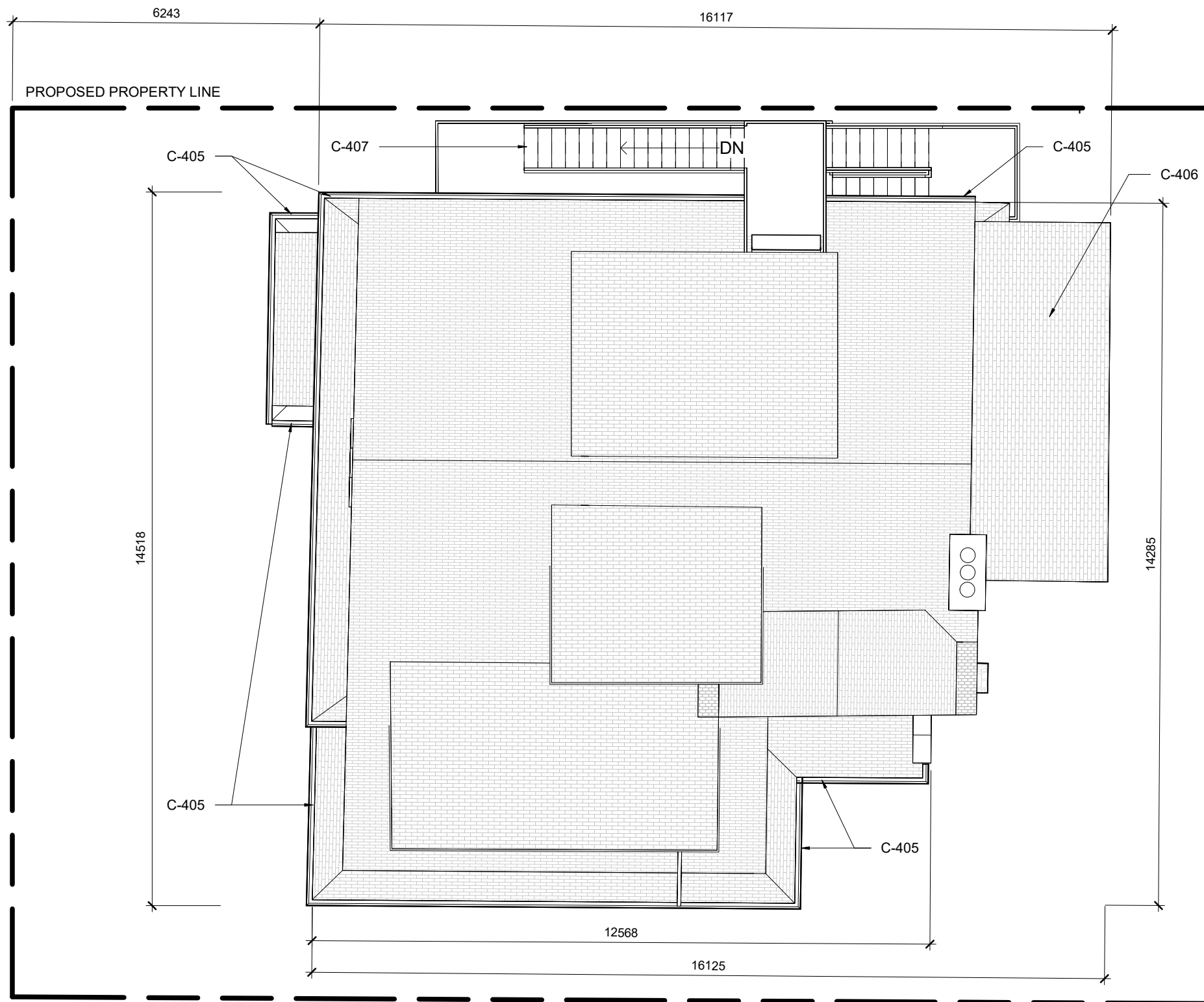
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.





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Project

84 & 90 High Street East

Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

**Roof Plan Proposed -
84 High St E**

Sheet no.

CP306

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning: use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT









- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

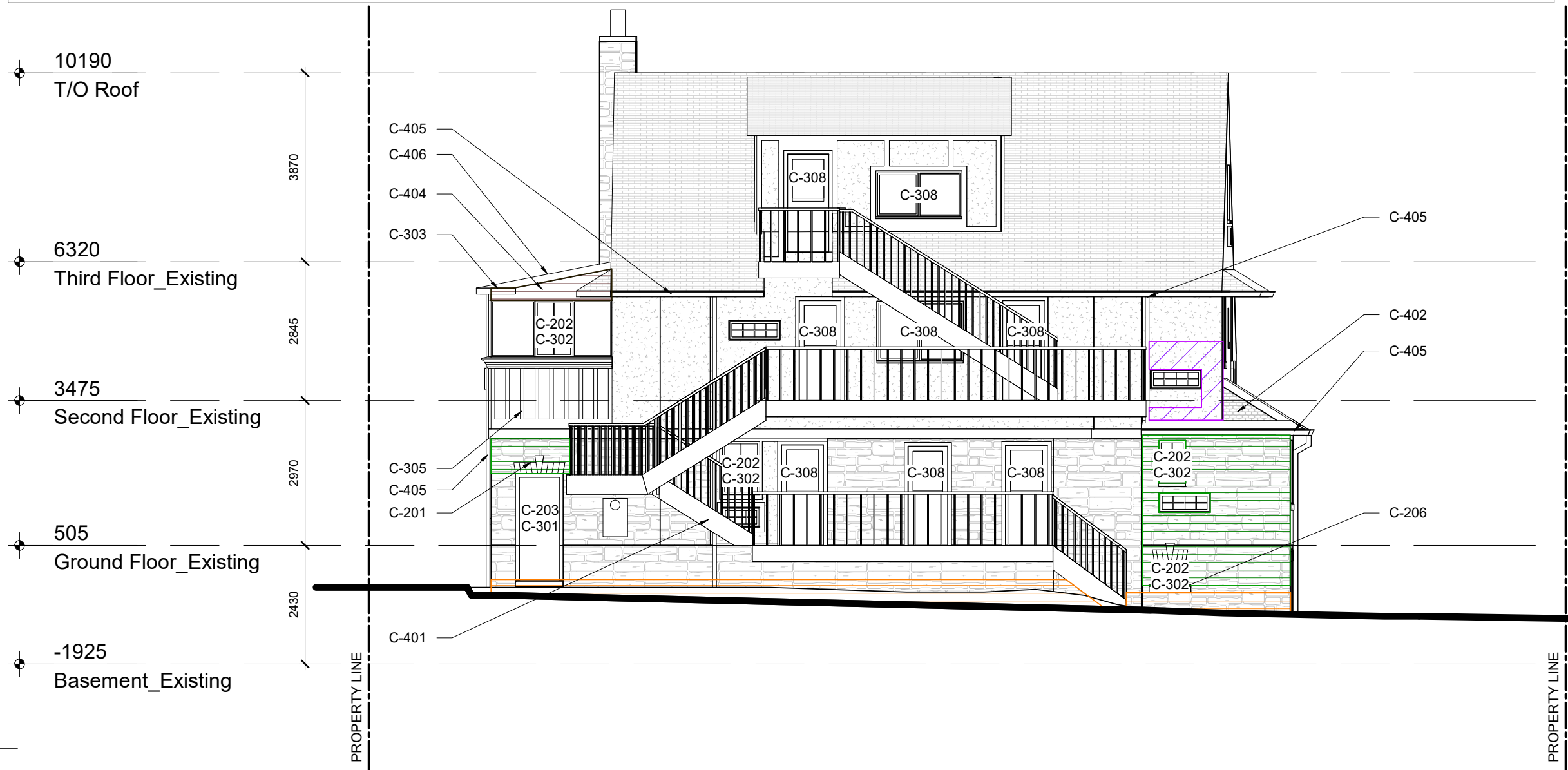
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

LEGEND:

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



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Project
 84 & 90 High Street East
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

North Elevation Proposed -
 84 High St E

Sheet no.
CP311

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE
 C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
 C-202 - Retain existing window openings, repair as required before installing new windows.
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 C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
 C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.




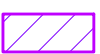




C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
 C-214 - Construct new accessible masonry landscape path/ramp.
 C-215 - Construct new masonry stair, with metal handrails/guards as required.
 C-216 - Construct new commemorative masonry piers.
 C-217 - Construct new concrete pad.
 C-218 - Construct new paved surface with new and salvaged pavers.
 C-219 - Reinstate planter bed wall using salvaged armour stone.
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
 C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT
 C-301 - Install new doors.
 C-302 - Install new wood windows, to match heritage profile.
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

C-305 - Prepare, prime and paint all existing wood elements.
 C-306 - Prepare, prime and paint masonry and stucco elements.
 C-307 - Repair, prepare, prime and paint existing wood windows.
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
 C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS
 C-401 - Install new painted metal flashings.
 C-402 - Install new asphalt shingle, colour to be determined.
 C-403 - Install new wood shingle siding, colour to be determined.
 C-404 - Install new wood siding, colour to be determined.
 C-405 - Provide new painted metal gutters and downpipes.
 C-406 - Install new metal flat roof.
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
 C-408 - Provide new galvanized window well complete with gravel infill.
 C-409 - Provide new painted metal vent.
 C-410 - Provide new metal handrails.

LEGEND:

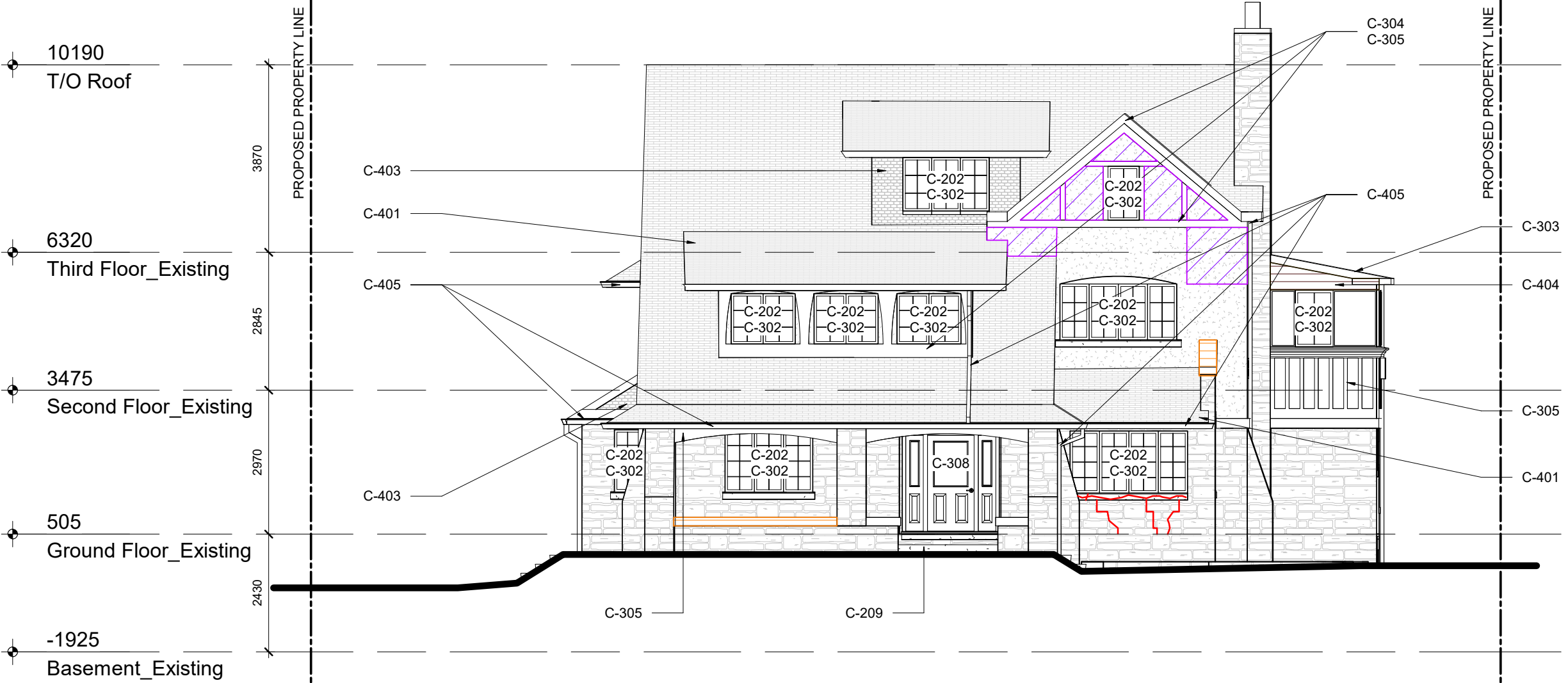
-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

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Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Elevation Proposed - 84 High St E

Sheet no.

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
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 C-208 - Install new stucco to match existing.
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 C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
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C-300 - DOORS + WINDOWS + WOOD + PAINT









C-301 - Install new doors.
 C-302 - Install new wood windows, to match heritage profile.
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

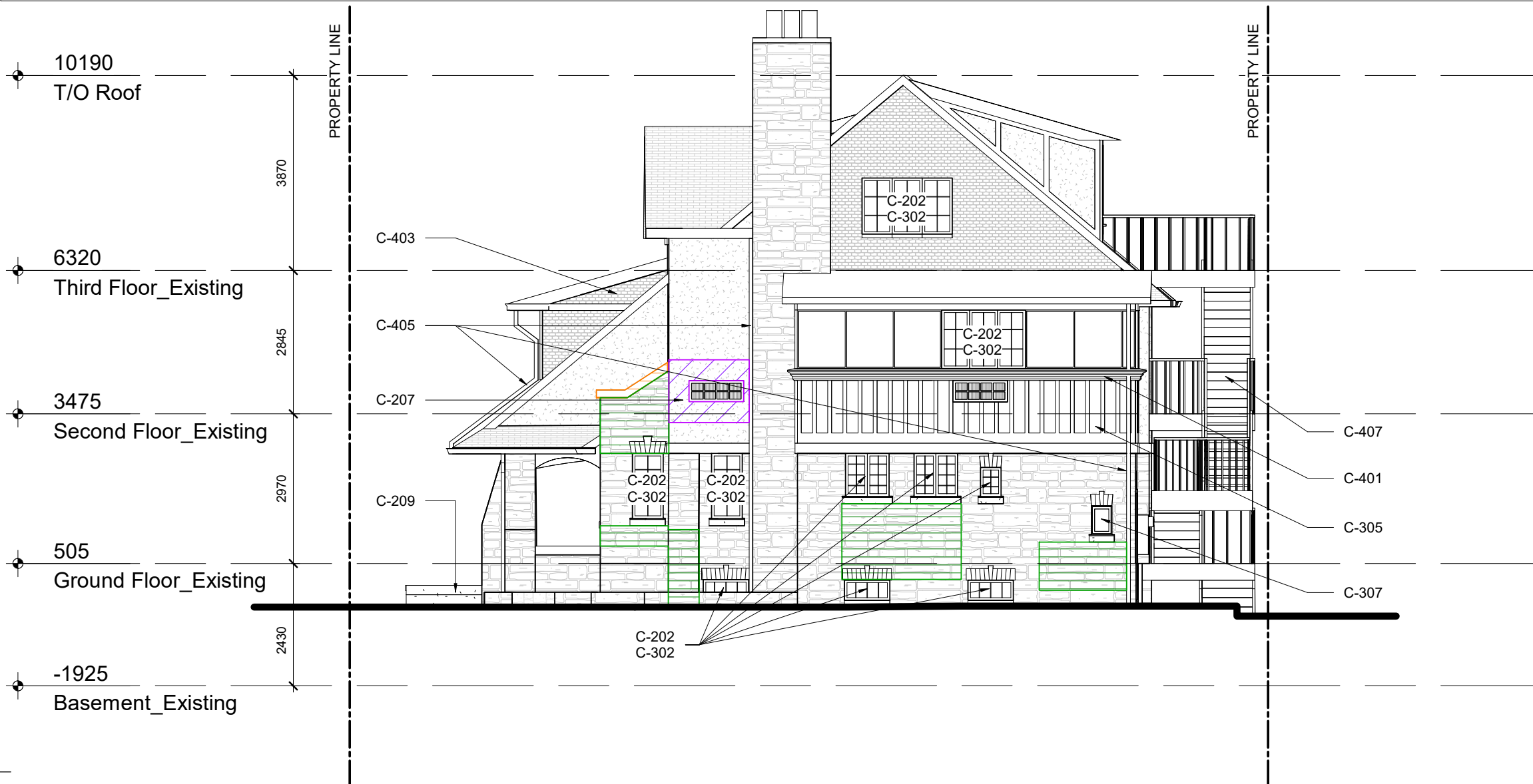
C-305 - Prepare, prime and paint all existing wood elements.
 C-306 - Prepare, prime and paint masonry and stucco elements.
 C-307 - Repair, prepare, prime and paint existing wood windows.
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C-400 - ROOF + FLASHING + METALS

C-401 - Install new painted metal flashings.
 C-402 - Install new asphalt shingle, colour to be determined.
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 C-404 - Install new wood siding, colour to be determined.
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LEGEND:

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
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E.R.A. Architects Inc.

Project
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 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
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 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

East Elevation Proposed -
 84 High St E

Sheet no.

CP313

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
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C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
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 C-215 - Construct new masonry stair, with metal handrails/guards as required.
 C-216 - Construct new commemorative masonry piers.
 C-217 - Construct new concrete pad.
 C-218 - Construct new paved surface with new and salvaged pavers.
 C-219 - Reinstate planter bed wall using salvaged armour stone.
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
 C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT









C-301 - Install new doors.
 C-302 - Install new wood windows, to match heritage profile.
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

C-305 - Prepare, prime and paint all existing wood elements.
 C-306 - Prepare, prime and paint masonry and stucco elements.
 C-307 - Repair, prepare, prime and paint existing wood windows.
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
 C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

C-401 - Install new painted metal flashings.
 C-402 - Install new asphalt shingle, colour to be determined.
 C-403 - Install new wood shingle siding, colour to be determined.
 C-404 - Install new wood siding, colour to be determined.
 C-405 - Provide new painted metal gutters and downpipes.
 C-406 - Install new metal flat roof.
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
 C-408 - Provide new galvanized window well complete with gravel infill.
 C-409 - Provide new painted metal vent.
 C-410 - Provide new metal handrails.

LEGEND:

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



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 625 Church St, Suite 600
 Toronto, Ontario, M4Y 2G1
E.R.A. Architects Inc.

Project
 84 & 90 High Street East
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 1:100
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

West Elevation Proposed -
 84 High St E

Sheet no.

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
 C-202 - Retain existing window openings, repair as required before installing new windows.
 C-203 - Retain existing door openings, repair as required before installing new doors.
 C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
 C-205 - Repoint stone at façade elevations as required.
 C-206 - Repair mortar joint cracks in masonry.
 C-207 - Repair existing stucco.
 C-208 - Install new stucco to match existing.
 C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
 C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
 C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
 C-214 - Construct new accessible masonry landscape path/ramp.
 C-215 - Construct new masonry stair, with metal handrails/guards as required.
 C-216 - Construct new commemorative masonry piers.
 C-217 - Construct new concrete pad.
 C-218 - Construct new paved surface with new and salvaged pavers.
 C-219 - Reinstate planter bed wall using salvaged armour stone.
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
 C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT




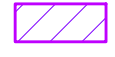




C-301 - Install new doors.
 C-302 - Install new wood windows, to match heritage profile.
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

C-305 - Prepare, prime and paint all existing wood elements.
 C-306 - Prepare, prime and paint masonry and stucco elements.
 C-307 - Repair, prepare, prime and paint existing wood windows.
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
 C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

C-401 - Install new painted metal flashings.
 C-402 - Install new asphalt shingle, colour to be determined.
 C-403 - Install new wood shingle siding, colour to be determined.
 C-404 - Install new wood siding, colour to be determined.
 C-405 - Provide new painted metal gutters and downpipes.
 C-406 - Install new metal flat roof.
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
 C-408 - Provide new galvanized window well complete with gravel infill.
 C-409 - Provide new painted metal vent.
 C-410 - Provide new metal handrails.

LEGEND:

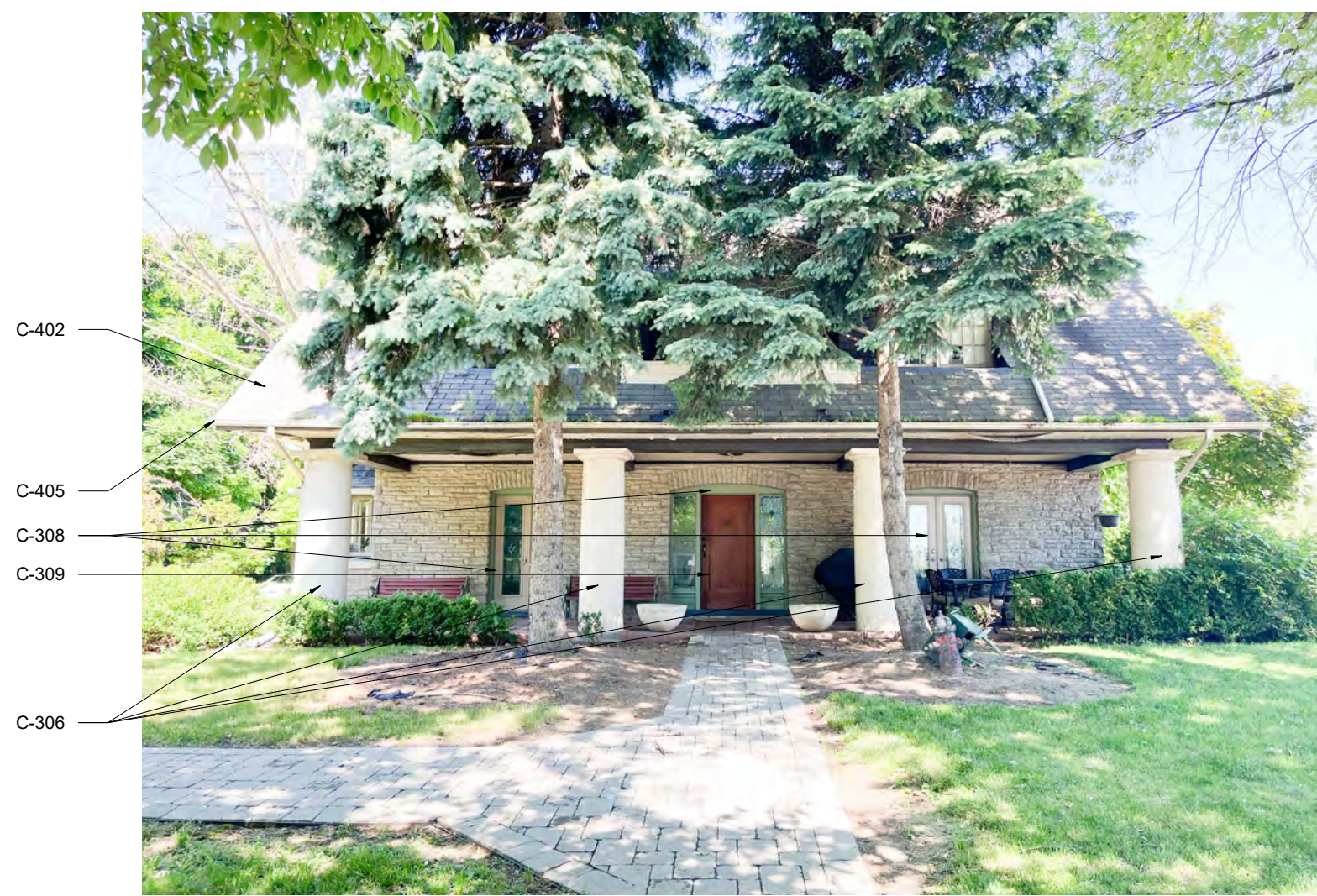
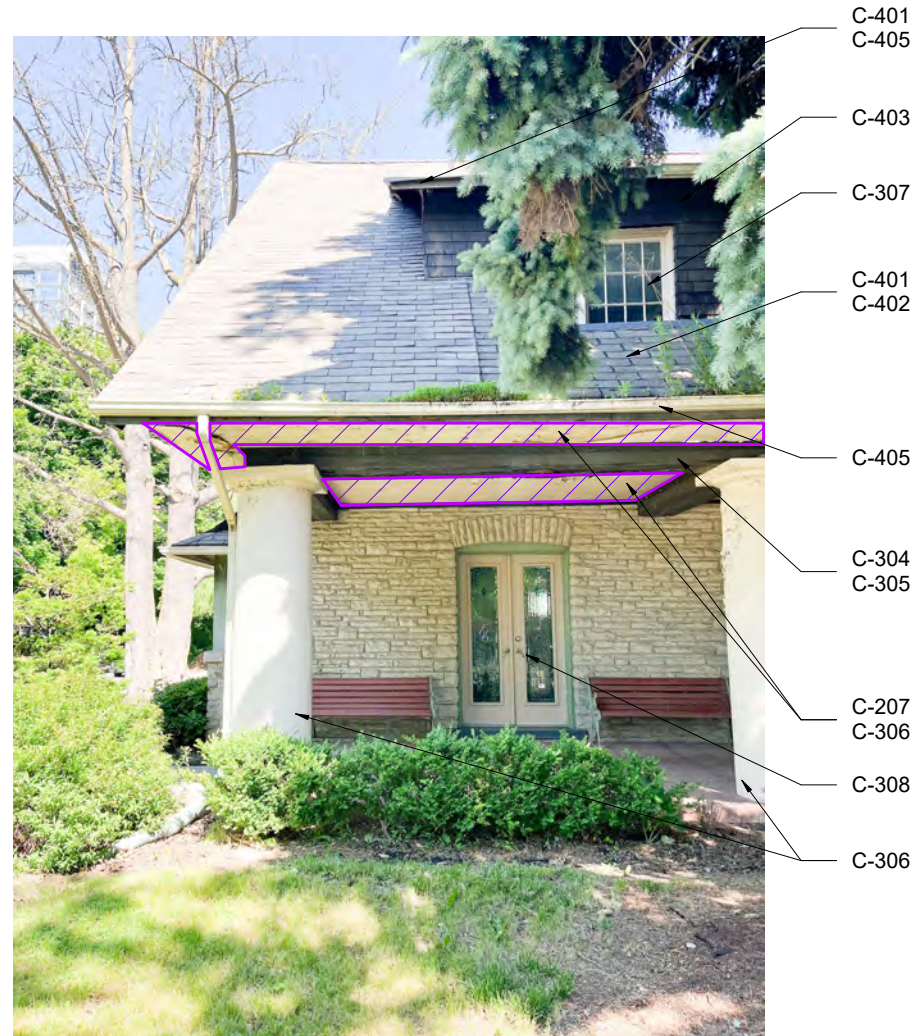
-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Elevation Proposed - 90 High St E

Sheet no.

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning: use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstall planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT




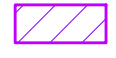




- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

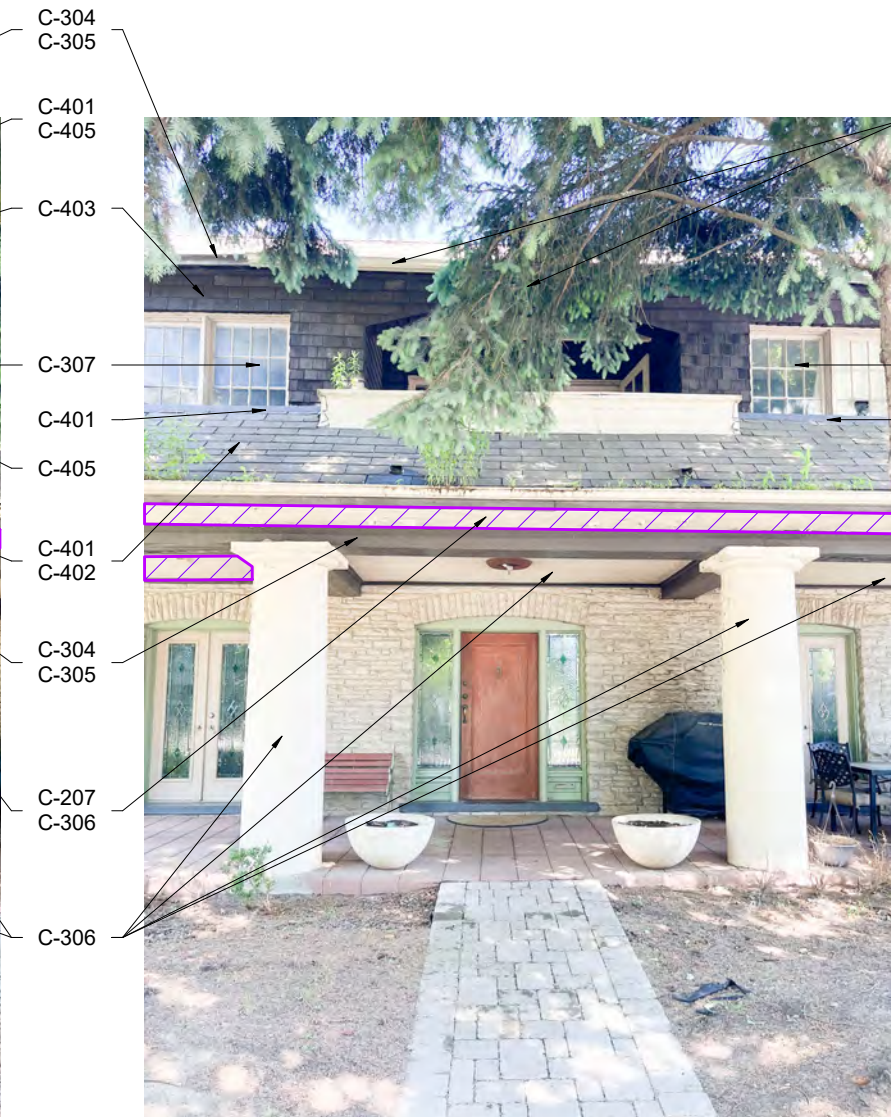
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

LEGEND:

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



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NO.	DATE	REVISION / ISSUANCE
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NOT FOR CONSTRUCTION

LEGEND



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Elevation Proposed - 90 High St E

Sheet no.

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
 C-202 - Retain existing window openings, repair as required before installing new windows.
 C-203 - Retain existing door openings, repair as required before installing new doors.
 C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
 C-205 - Repoint stone at façade elevations as required.
 C-206 - Repair mortar joint cracks in masonry.
 C-207 - Repair existing stucco.
 C-208 - Install new stucco to match existing.
 C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
 C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
 C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
 C-214 - Construct new accessible masonry landscape path/ramp.
 C-215 - Construct new masonry stair, with metal handrails/guards as required.
 C-216 - Construct new commemorative masonry piers.
 C-217 - Construct new concrete pad.
 C-218 - Construct new paved surface with new and salvaged pavers.
 C-219 - Reinstall planter bed wall using salvaged armour stone.
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
 C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT




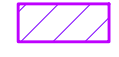




C-301 - Install new doors.
 C-302 - Install new wood windows, to match heritage profile.
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

C-305 - Prepare, prime and paint all existing wood elements.
 C-306 - Prepare, prime and paint masonry and stucco elements.
 C-307 - Repair, prepare, prime and paint existing wood windows.
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
 C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

C-401 - Install new painted metal flashings.
 C-402 - Install new asphalt shingle, colour to be determined.
 C-403 - Install new wood shingle siding, colour to be determined.
 C-404 - Install new wood siding, colour to be determined.
 C-405 - Provide new painted metal gutters and downpipes.
 C-406 - Install new metal flat roof.
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
 C-408 - Provide new galvanized window well complete with gravel infill.
 C-409 - Provide new painted metal vent.
 C-410 - Provide new metal handrails.

LEGEND:

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
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-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

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NO.	DATE	REVISION / ISSUANCE
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LEGEND



SOUTH STONE PIERS - SOUTH ELEVATION

NTS

1
CP323



SOUTH STONE PIERS - NORTH ELEVATION

NTS

2
CP323

Project
 84 & 90 High Street East
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4
 For 10 WEST GO LP
 Project no. 21-110-04
 Scale at 11x17 NTS
 Drawn by RD, EL
 Reviewed by JQ, MY
 Drawing title

South Stone Piers Proposed -
 90 High St E

Sheet no.

CP323

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 Toronto, Ontario, M4Y 2G1
E.R.A. Architects Inc.

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
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- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT









- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
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- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
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- C-410 - Provide new metal handrails.

LEGEND:

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
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-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



EAST ELEVATION (NORTH END - DETAIL) 2
NTS CP324



EAST ELEVATION (SOUTH END) 1
NTS CP324

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 625 Church St, Suite 600
 Toronto, Ontario, M4Y 2G1
E.R.A. Architects Inc.

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Elevation Proposed - 90 High St E

Sheet no.

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
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C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.

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- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
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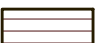


C-305 - Prepare, prime and paint all existing wood elements.

- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
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LEGEND:

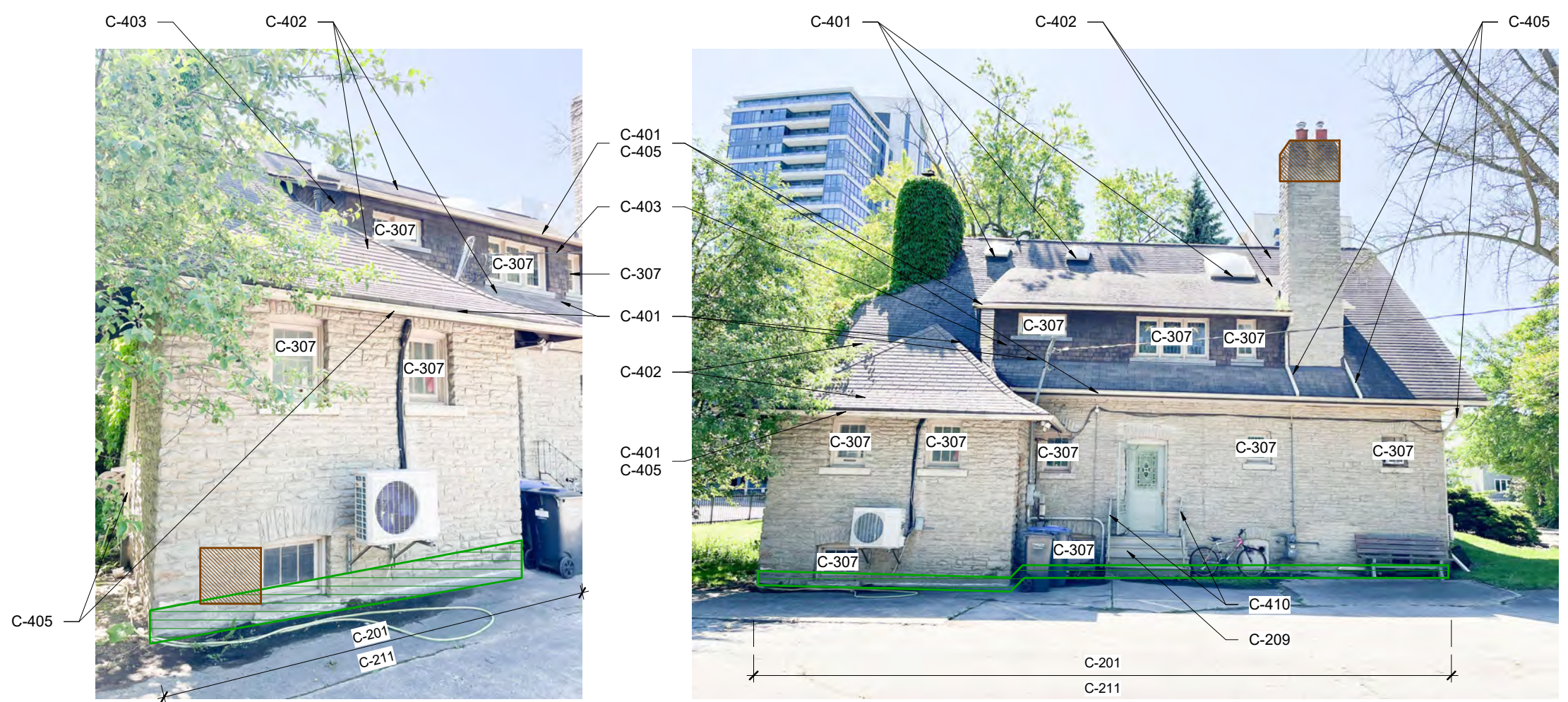
-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
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-  C-210 - Deep cleaning
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-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

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LEGEND



NORTH ELEVATION (EAST END - DETAIL) 2
NTS CP325

NORTH ELEVATION 1
NTS CP325



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	North Elevation Proposed - 90 High St E

Sheet no.

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.

- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.









C-305 - Prepare, prime and paint all existing wood elements.

- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

LEGEND:

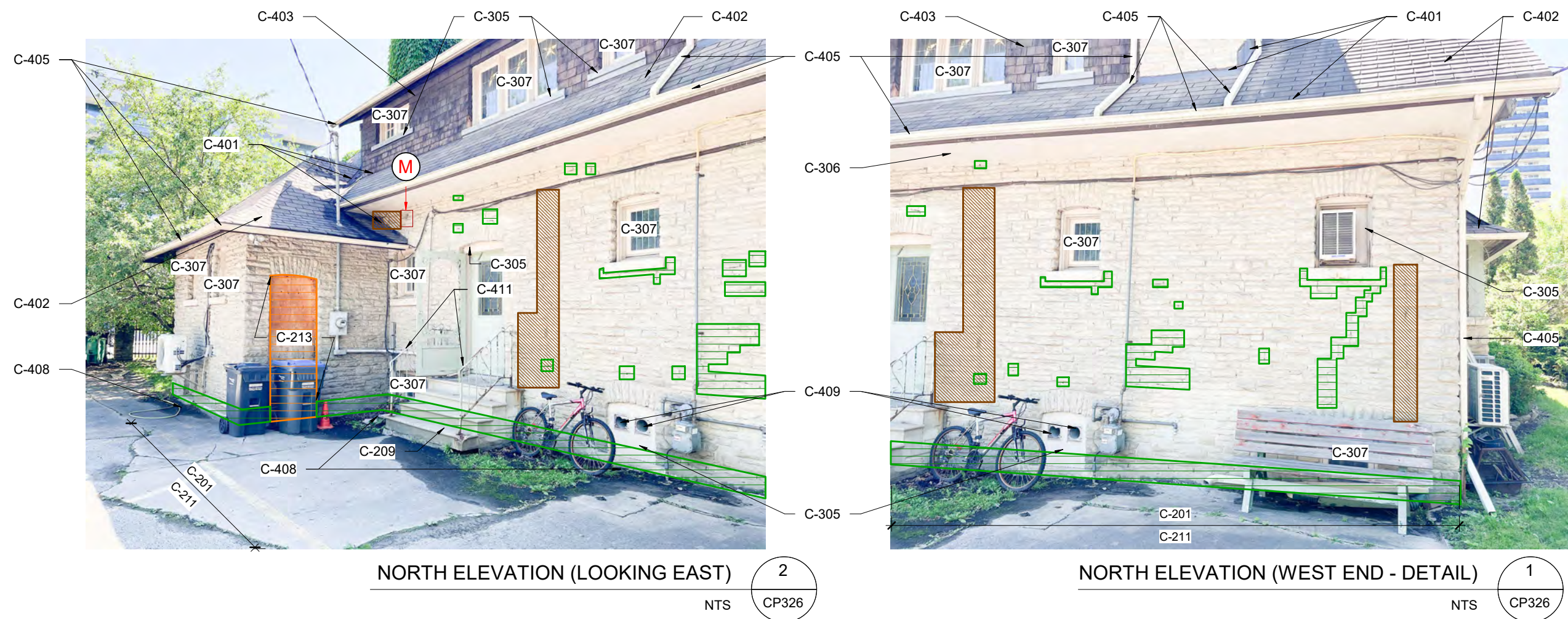
-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



NORTH ELEVATION (LOOKING EAST) 2
NTS CP326

NORTH ELEVATION (WEST END - DETAIL) 1
NTS CP326



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	North Elevation Proposed - 90 High St E

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

C-300 - DOORS + WINDOWS + WOOD + PAINT






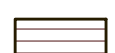


- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

C-400 - ROOF + FLASHING + METALS

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
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- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

LEGEND:

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
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-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



EAST ELEVATION 2
NTS CP327



WEST ELEVATION 1
NTS CP327

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NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

E R A
 info@eraarch.ca | www.eraarch.ca
 T: 416.963.4497 | F: 416.963.8761
 625 Church St, Suite 600
 Toronto, Ontario, M4Y 2G1
E.R.A. Architects Inc.

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East and West Elevations Proposed - 90 High St E

CONSERVATION NOTES:

C-200 - MASONRY + STUCCO + LANDSCAPE

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
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- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
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- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
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C-300 - DOORS + WINDOWS + WOOD + PAINT






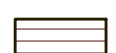


- C-301 - Install new doors.
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LEGEND:

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NO.	DATE	REVISION / ISSUANCE
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NOT FOR CONSTRUCTION

LEGEND



EAST ELEVATION (EAST STONE PIER) 2
NTS CP328

C-205
C-211
C-212



EAST ELEVATION (EAST STONE PIER) 1
NTS CP328



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Stone Piers Proposed - 90 High St E

Sheet no.

APPENDIX B: DESIGNATION BY-LAW 0206-2007

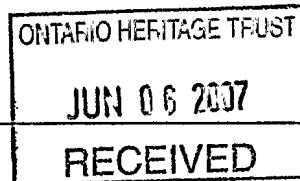
Corporate Services Department
Office of the City Clerk

152
City of Mississauga
300 City Centre Drive
MISSISSAUGA ON L5B 3C1



Leading today for tomorrow

FAX: 905-615-4181
www.mississauga.ca



May 30, 2007

██████████
1609375 Ontario Ltd.
10 Hurontario Street
Mississauga, ON L5G 3G7

REGISTERED MAIL

af

Dear Mr. Blair:

Re: Heritage Designation – 84 High Street East
References: GC-0431-2005 and GC-0002-2007
File: CS.08.High Street East (84) (W1)

I have attached for your retention, a copy of By-law 0206-2007 regarding the heritage designation of ~~863 Sangster Avenue~~ 84 High Street East which was passed by Council on May 23, 2007.

Yours truly, 84 High Street East

Kevin Arjoon
Committee Coordinator
905-615-3200 ext. 5425

Attachment

cc: Ontario Heritage Trust, 10 Adelaide Street East, Toronto,
Ontario M5C 1J3 (REGISTERED MAIL) (w/attachment)
Mr. Chris Barnett, Davis & Company, LLP, 1 First Canadian Place, Suite 5600, Box 367,
100 King Street West, Toronto, ON M5X 1E2 (w/attachment)
Mr. Paul Mitcham, Commissioner of Community Services (w/attachment)
Mr. Mark Warrack, Heritage Coordinator, Community Services (w/attachment)
Ms. Denise Mahoney, Supervisor, Administration and Cemeteries (w/attachment)
Mr. Art Leonard, Building Section, Planning & Development (w/attachment)
Councillor Carmen Corbasson, Ward 1 (w/attachment)



THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER *.D.20.6..2007*

A By-law to designate the Charles Hamilton House located at 84 High Street East as being of historical, architectural and contextual significance

WHEREAS the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of cultural heritage value or interest;

AND WHEREAS Notice of Intention to designate the Charles Hamilton House located at 84 High Street East, being Part of 1 on Registered Plan 43R-31484 in the City of Mississauga, has been duly published and served, and an objection to the proposed heritage designation was received by the Clerk of The Corporation of the City of Mississauga by way of letter dated August 10, 2005 from Chris Barnett, Davis & Company LLP, on behalf of the registered owner, 1609375 Ontario Limited;

AND WHEREAS City Council at its meeting on January 17, 2007 adopted GC-0002-2007 to receive the Conservation Review Board's decision dated July 6, 2006 for information and support GC-0431-2005 to designate 84 High Street East under Part IV of the *Ontario Heritage Act* for reasons of its historical, architectural and contextual significance;

NOW THEREFORE the Council of The Corporation of the City of Mississauga hereby ENACTS as follows:

1. That the property, including all the buildings and structures thereon, located at 84 High Street East, in the City of Mississauga, and legally described in Schedule 'A' attached hereto, is hereby designated as being of cultural heritage value under Part IV of the *Ontario Heritage Act*, R.S.O. 1990, Chapter 0.18, as amended.
2. That the reasons for designating the property known as the Charles Hamilton House located at 84 High Street East, in the City of Mississauga, under section 1 of this By-law, are duly set out in Schedule "B".
3. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property, and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.
4. That Schedules "A" and "B" form an integral part of this by-law.
5. That the City Solicitor is hereby directed to register a copy of this by-law against the property located at 84 High Street East in the proper land registry office.

ENACTED AND PASSED this *23* day of *May*, 2007.

[Signature]
MAYOR

[Signature]
CLERK

APPROVED AS TO FORM City Solicitor MISSISSAUGA
<i>MEM</i>
Date <i>10 05 07</i>

SCHEDULE 'A' TO BY-LAW 0206-2007

Description: Part of Lot 1, North Side of High Street, East of the Credit River, Plan PC-2
(To be designated under the Ontario Heritage Act)

(Ward 1, City Zone 8, in the vicinity of Hurontario Street and Lakeshore Road
East)

In the City of Mississauga, Regional Municipality of Peel, (formerly Village of Port Credit, County of Peel), Province of Ontario and being composed of part of Lot 1, North Side of High Street, East of the Credit River, Plan PC-2, designated as Part 1 on a Plan of Survey deposited in the Land Registry Office for the Land Titles Division of Peel Region (No: 43) as Plan 43R-31484.



Alnashir Jeraj
Ontario Land Surveyor

SCHEDULE "B" TO BY-LAW NO. 0206-2007**STATEMENT OF REASONS FOR DESIGNATION**
"The Charles Hamilton House", 84 High Street East

The property known as 84 High Street East be designated as being of cultural heritage value pursuant to Part IV of the Ontario Heritage Act, for reasons of its historical, architectural and contextual significance.

Description of Property

The Charles Hamilton House is a two-and-a-half storey dwelling, located on the north side of High Street East, Port Credit.

Statement of Cultural Heritage Value or Interest

The Charles Hamilton House's cultural heritage value lies in it being one of few remaining Bungalow style dwellings of its scale in Mississauga and the only known surviving structure designed by Chadwick and Beckett in Mississauga. Typical of the Bungalow style, it features a broad, gently pitched roof, deep overhanging eaves, an extensive porch and a variety of building materials. Lawrence Park architects Chadwick and Beckett designed the house, which was likely built in 1912.

The Charles Hamilton House's cultural heritage value also lies in its association with Charles Hamilton, Port Credit's Post Master from 1894 to 1921. Hamilton was a central figure and community leader in Port Credit. He ran Port Credit's leading general store, served as Councillor from 1926 to 1927, was instrumental to the success of the Port Credit Band, served as warden and board member of Port Credit's Trinity Anglican Church, and was involved in the public library and local service lodge.

The Charles Hamilton House's cultural heritage value also lies in its association with Port Credit's history as a tourist destination. Hamilton used his house as a tourist home (bed 'n breakfast).

The Charles Hamilton House is also of cultural heritage value because it is a Port Credit landmark that is critical to defining the character of the immediate area. The house is visible from a main and historic thoroughfare of not only Port Credit but Mississauga as well, Hurontario Street. Central amongst other early twentieth century single family dwellings, the structure is critical to defining the historic character of the area. Moreover, it is the companion piece to the W.T. Gray House, its only neighbour on the north side of High Street between Ann Street and Hurontario Street. The Hamilton House complements the W.T. Gray House, at 90 High Street East, in style. According to the Gray family, this was Hamilton's intention. The Hamilton House is physically, functionally and historically linked to Port Credit by its location, proximity to the core, as the residence of one of its foremost citizens and downtown merchants, and as part of its tourist history.

Description of Heritage Attributes

Key attributes of the Charles Hamilton House that reflect its value as a Bungalow style dwelling designed by Chadwick and Beckett:

- the footprint of the house as it relates to the property at large
- its mature trees, including the mature spruce in its full shape
- the entire structure in and of itself, including all of its conglomerate parts
- its broad, gently pitched roof that covers the porch and extends beyond the house walls
- the proportions and exact form of the roof and gables
- the shingled gables
- its deep overhanging eaves
- the exposed purlins under the eaves, including their shape and form
- its extensive front porch

SCHEDULE "B" TO BY-LAW NO. 0206-2007STATEMENT OF REASONS FOR DESIGNATION
"The Charles Hamilton House", 84 High Street East

- all exposed natural Credit Valley stone with its aged patina, including ground floor, porch walls, porch columns and chimney
- the arches that span the space between the porch columns
- the stone ledge that caps the buttresses and porch walls
- the voussoirs and keystone above the openings
- the stuccoed upper walls
- the arrangement and form of the Tudor half timbering
- the shed dormers and their shape and form
- the varying size of the windows proportionate to the structure
- the wooden window surrounds
- the stone plinths below the windows
- the large three-flue stone chimney on the east side
- the wide stairway that accesses the front porch

Key attributes of the Charles Hamilton House that reflect its association with Charles Hamilton:

- its location in Port Credit, near to the village core in which he was active
- the extensive front and side lawn on which his funeral was held

Key attributes of the Charles Hamilton House that reflect its association with Port Credit tourism:

- its location in Port Credit and its proximity to Lakeshore Road and Hurontario, both historic thoroughfares

Key attributes of the Charles Hamilton House that reflect its contextual value:

- its location on High Street, in the midst of a historical neighbourhood and occupying the west half of the north side of the High Street block between Ann Street and Hurontario Street
- its scale and massing that are compatible with the other structures in the neighbourhood
- its full visibility from Hurontario Street
- its original massing and layout on the lot that reflects the historic pattern of the neighbourhood

