

# 90 HIGH STREET EAST

Mississauga, ON

## CONSERVATION PLAN

Issued: December 4, 2024



Project # 21-110-04  
Prepared by PE/JQ/EA/MY/SC/RD/  
MS

---

PREPARED FOR:

10 WEST GO GP INC.  
141 Lakeshore Rd. East,  
Mississauga, Ontario, L5G 1E8  
416-747-9661 ext. 241

PREPARED BY:

ERA Architects Inc.  
#600-625 Church St  
Toronto ON, M4Y 2G1  
416-963-4497

# CONTENTS

EXECUTIVE SUMMARY	IV
<b>1 INTRODUCTION</b>	<b>1</b>
1.1 Report Scope	
1.2 Site Location and Description	
1.3 Site History and Heritage Status	
1.4 Policy Context	
<b>2 ASSESSMENT OF EXISTING CONDITION</b>	<b>14</b>
<b>3 CONSERVATION STRATEGY</b>	<b>17</b>
3.1 Conservation Approach	
3.2 Description of Proposed Development	
3.3 Conservation Scope	
3.4 Detailed Conservation Notes	
3.5 Heritage Contractor Requirements	
<b>4 COST ESTIMATE</b>	<b>31</b>
<b>5 WORK PLAN &amp; MAINTENANCE RECOMMENDATIONS</b>	<b>32</b>
<b>6 CONCLUSION</b>	
<b>7 PROJECT PERSONNEL</b>	<b>33</b>
APPENDIX A: CONSERVATION DRAWINGS PREPARED BY ERA ARCHITECTS INC.	
APPENDIX B: DESIGNATION BY-LAW 0385-2005	

# EXECUTIVE SUMMARY

## Overview

This Conservation Plan has been prepared by ERA Architects Inc. (“ERA”) for 84 High Street East (the “Site”).

The purpose of this report is to identify and describe the conservation scope of work required for the Site, in accordance with architectural plans by ERA, dated December 2, 2024, and the Heritage Impact Assessment (“HIA”) by ERA, dated January 27, 2023.

## Heritage Status

The Site is currently designated under Part IV, Section 29 of the *Ontario Heritage Act* (“OHA”) by designation by-law 0385-2005 (see Appendix B), passed by City Council on October 12, 2005.

## Proposed Development

The proposed development involves a full-block redevelopment between High, Ann, Park, and Hurontario Streets. This includes the retention of the buildings at 84 and 90 High Street East, the construction of a 23-storey tower at the block’s west corner, and a land exchange with the City of Mississauga. The land exchange is proposed to create a South Public Park that surrounds the two heritage resources at 84 and 90 High Street East, enveloping part of their original lawns. A redesigned landscape is proposed for both lots.

## Conservation Strategy at 90 High Street East

The general conservation scope of work includes:

- In-situ retention of heritage building;
- In-situ retention of stone piers (two pairs);
- Protection of mature trees on-site;
- Salvage of existing hardscape elements to accommodate new landscape design on the south lawn;

- Removal of concrete stairs and landing, and installation of new masonry stairs with metal handrails and concrete pad on north elevation;
- Restoration of existing doors and windows;
- Removal of existing shingles and flashing and installation of new shingle roof and flashing;
- General masonry, wood, and stucco repair and cleaning on all exterior elevations, as well as extant stone piers, including replacement as required; and
- Construction of new masonry landscape stairs and path with new and salvaged pavers, concrete pad, and commemorative masonry piers.

The proposed development will involve a redesigned landscape on the Site, including property boundaries marked by low hedges, reconfigured access routes running eastward to Hurontario Street, interpretive landscape elements to recognize the historic front path, and retention of key landscape elements. The existing detached garage and two sets of stone piers and iron fence currently on the Site will be excluded from the proposed site boundaries, and will be located within the proposed North and South Public Parks.

## Conclusion

The conservation scope of work outlined in this report will be undertaken to rehabilitate the heritage resource at 90 High Street East. This approach conserves the Site’s cultural heritage value while allowing for intensification, the expansion of public park space, and new compatible commercial uses.



# 1 INTRODUCTION

## 1.1 Report Scope

ERA Architects Inc. (“ERA”) was retained by 10 WEST GO GP INC. (the “property owner”) as the heritage consultant for the redevelopment of the five adjacent properties known municipally as 17 and 19 Ann Street, 84 and 90 High Street East, and 91 Park Street East in Port Credit, Ontario. This Conservation Plan (“CP”, “Plan”) pertains exclusively to 90 High Street East (the “Site”).

The purpose of this Plan is to identify and describe the conservation scope of work required at 90 High Street East, in coordination with the architectural plans by CORE Architects. This Plan conforms to the approved Heritage Impact Assessment (“HIA”) by ERA (dated January 27, 2023).

Detailed Conservation Drawings are provided at Appendix A of this Plan.

This report was developed with reference to the following documents:

- The City of Mississauga Official Plan (2020);
- City of Mississauga Heritage Impact Assessment Terms of Reference (2017);
- Port Credit Local Area Plan (2016);
- Provincial Planning Statement (2024);
- The Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada (2010); and
- The Ontario Ministry of Culture’s Ontario Heritage Toolkit.

## 1.2 Site Location and Description

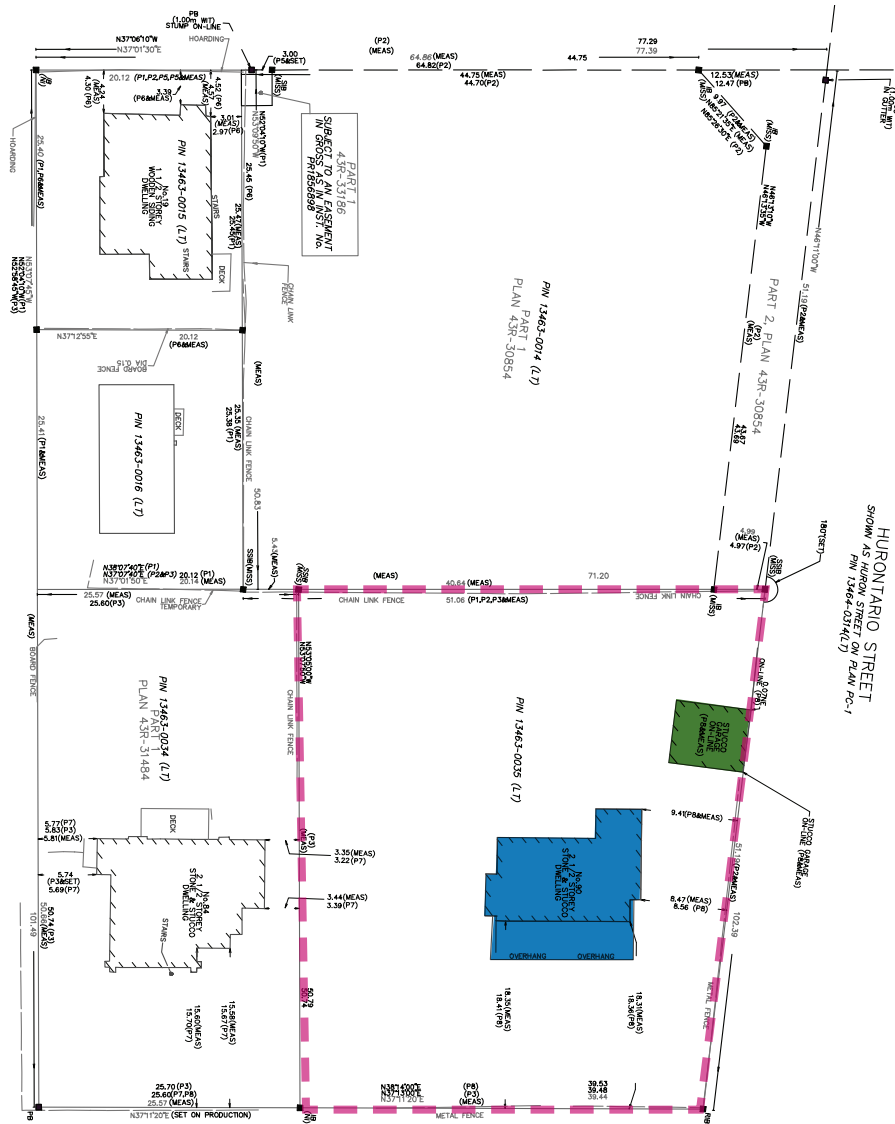
The Site is part of a larger redevelopment area composed of five adjacent properties, known municipally as 17 and 19 Ann Street, 84 and 90 High Street East, and 91 Park Street East, in Port Credit (in the City of Mississauga), Ontario. This area comprises the entire block bounded by Park Street East to the northwest, Hurontario Street to the northeast, High Street East to the southeast, and Ann Street to the southwest.

The Site contains a two-and-a-half storey Credit Valley stone, stucco and wood residence constructed in 1909, as well as a one-storey garage dating to the construction of the house. It is set back from High Street East on a large landscaped lot with mature trees, a two-bay detached garage, and a parking lot. The property is enclosed by a steel fence with stone gateposts along High Street East and Hurontario Street. It is currently occupied with commercial uses.

The larger redevelopment area contains four residential buildings, as well as public open space.



Aerial image showing the redevelopment area outlined in white, the Site outlined in pink, and the existing residential building highlighted in blue (Google Maps, 2022; annotated by ERA).



Survey showing the Site within the context of the larger redevelopment area, with the Site outlined in pink (J.D. Barnes, 2022; annotated by ERA).

- 1909 HOUSE
- 1909 GARAGE (to be excluded from Site boundaries; recommended to remain in public park and be relocated by City of Mississauga if/when required by Hurontario expansion, maintaining a rear relationship to the 90 High Street East lot)





Principal (south) elevation of 90 High Street East (ERA, 2024).



Rear (north) elevation of 90 High Street East (ERA, 2024).





Primary (south) elevation and east elevation of 90 High Street East (ERA, 2024).



West elevation of 90 High Street East (ERA, 2024).





Masonry posts and gates along High Street East (ERA, 2024).



Detached garage, circa 1909, fronting onto Hurontario Street (ERA, 2024).





Masonry posts demarcating entrance to 90 High Street East from Hurontario Street (ERA, 2024).

### 1.3 Site History and Heritage Status

The Site is currently designated under Part IV, Section 29 of the OHA by designation by-law 0385-2005 (see Appendix B for the full by-law), passed by City Council on May 23, 2007.

The building on the Site is known as the W.T. Gray House and is designated for its design/physical, historical/associative, and contextual value. Designation by-law 0385-2005, excerpted below, thoroughly documents the property's cultural heritage value.

*In 1908, William Thomas Gray acquired the subject property for \$650 from Charles G. Hamilton, and built the current house in 1909. W. T. Gray and Louise Marie Elliot, just married, moved into the house in the same year. Located at the corner of High Street East and Hurontario Street, it is only steps away from the former St. Lawrence Starch Works. W. T. Gray became president of the company in 1938, remaining so until 1965. He passed away in 1975 in his ninety-fifth year and ownership of the property was passed on to his sons James A. D. Gray and John C. Gray. W. T. Gray's father, John Gray, was one of the founding partners of the St. Lawrence Starch Works, which was incorporated in 1889. The Gray family name is synonymous with the early economic development and success of Port Credit.*

*The W. T. Gray residence, built in 1909, was designed as a Colonial variation of the traditional Bungalow Style, with some Tudor Revival influences of half-timbering. The two-and-a-half storey, three bay structure has exterior finishes in coursed Credit Valley stone on the ground floor, second floor, and chimneys, stucco and half timbering on the second floor gable ends and shingles that presumably were originally wood. The main entrance is located at the centre of the south facade. The main door and sidelights appear original to the structure, but the adjacent French doors placed on either side of the entrance have been replaced in recent years. The south facade dormer fenestration includes original paired twelve pane casement windows on either side of the shed dormer balcony. Within the balcony, there are multi-paned glass windows and a door. The west facade has original double nine paned casement windows, and a first storey projecting bay with four casement windows side-by-side, each with nine panes. The east facade has paired nine pane and four pane casement windows of various sizes. The rear facade, which faces north, has several small multi-paned windows along*

*the main floor and basement. There are two doors, one located at the centre and another on the west facade of the small, one storey projecting wing. The upper storey windows are of various shapes and sizes, located within the shed dormer, including the three twelve paned casement windows.*

*Structural and stylistic details that contribute to its high architectural quality include the rear and front shed dormers, large overhang roof supported by large pillars, large veranda, central main entrance, and use of various 'rustic' materials. The expanse of exterior space around the building helps to relate the building with its natural surroundings. Another important characteristic is the rather modest appearing front elevation, while side elevations reveal two-and-a-half stories of living space. Elements of Colonial-Revival are demonstrated through the four large Tuscan columns, the Tudor inspired half-timbering located on the gable ends, stone base and windows that are varied in size. The Bungalow Style was popular through the first half of the twentieth century, arriving in Canada circa 1910. This is a particularly fine example of the Colonial variation and should be acknowledged as one of the earlier examples.*

*The W. T. Gray House fronts onto High Street East, located just off Hurontario Street, one block north of Lakeshore Road East, within the centre of Port Credit. The property is predominately [sic] displayed on an open corner lot and its proximity to Hurontario Street makes it a significant cultural landscape and within the immediate context of early twentieth century residential structures. The relationship between 84 and 90 High Street provides a unifying scale and adds to the architectural quality of each, but also to their historical association and context within Port Credit as recognized landmarks. Although the structure has been used in the past for both commercial and residential uses, the original residential character has remained intact and the Bungalow Stylistic qualities of the building have been preserved.*

#### **Statement of the Reasons for Designation**

*The subject property, located at the northwest corner of Hurontario Street and High Street is, highly visible. The building rests on a relatively large open lot consisting of mature trees, including an uncommon Ginkgo tree, and other vegetation.*



*An expansive open lawn on the front yard is also open to the Hurontario Street side of this corner lot. An iron fence, which compliments the character of the house and streetscape, is located on the eastern and southern edges of the property. This open vista from the street to the house enhances the visual character of the building in its setting.*



Undated photograph of 90 High Street East, looking northwestward towards the principal (south) elevation (FRAM + Slokker).

## 1.4 Policy Context

This report was prepared with reference to the following:

- The Ontario Heritage Act, R.S.O. 1990;
- The City of Mississauga Official Plan (2020);
- Provincial Planning Statement (2024); and
- The Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada (2010).

### Provincial Planning Statement (PPS), 2024

The PPS guides the creation and implementation of planning policy across Ontario municipalities, and provides a framework for the conservation of heritage resources, including the following relevant policies:

4.6.1 *Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.*

4.6.3 Planning authorities shall not permit *development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.*

### The City of Mississauga Official Plan (Consolidated March 2024)

Section 7.4.1 of the Official Plan directs the following:

*7.4.1.2 Mississauga will discourage the demolition, destruction or inappropriate alteration or reuse of cultural heritage resources.*

*7.4.1.3 Mississauga will require development to maintain locations and settings for cultural heritage resources that are compatible with and enhance the character of the cultural heritage resource.*

**Protected heritage property:** *property designated under Part IV or VI of the Ontario Heritage Act; property included in an area designated as a heritage conservation district under Part V of the Ontario Heritage Act; property subject to a heritage conservation easement or covenant under Part II or IV of the Ontario Heritage Act; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the Standards and Guidelines for the Conservation of Provincial Heritage Properties; property protected under federal heritage legislation; and UNESCO World Heritage Sites (PPS, 2024).*

**Built heritage resource:** *a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community (PPS, 2024).*

**Conserved:** *the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments (PPS, 2024).*

7.4.1.10 Applications for development involving cultural heritage resources will be required to include a Heritage Impact Assessment prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

7.4.1.11 Cultural heritage resources designated under the Ontario Heritage Act, will be required to preserve the heritage attributes and not detract or destroy any of the heritage attributes in keeping with the Ontario Heritage Tool Kit, the Ontario Ministry of Culture, and the Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada.

7.4.1.12 The proponent of any construction, development, or property alteration that might adversely affect a listed or designated cultural heritage resource or which is proposed adjacent to a cultural heritage resource will be required to submit a Heritage Impact Assessment, prepared to the satisfaction of the City and other appropriate authorities having jurisdiction.

7.4.1.13 Cultural heritage resources must be maintained in situ and in a manner that prevents deterioration and protects the heritage qualities of the resource.

7.4.1.14 Cultural heritage resources will be integrated with development proposals.

7.4.2 of the Official Plan directs the following:

7.4.2.2 Prior to the demolition or alteration of a cultural heritage resource, documentation will be required of the property to the satisfaction of the City, and any appropriate advisory committee. This documentation may be in the form of a Heritage Impact Assessment.

7.4.2.3 Development adjacent to a cultural heritage property will be encouraged to be compatible with the cultural heritage property.

**Adjacent lands:** d) for the purposes of policy 4.6.3, those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (PPS, 2024).

**Heritage attributes:** means, as defined under the Ontario Heritage Act, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest (PPS, 2024).



### The Standards & Guidelines for the Conservation of Historic Places in Canada (Parks Canada, 2010)

The following standards, outlined in Section 3, provide guidance regarding the treatment of the heritage resource on the Site:

*Standard 1: Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.*

*Standard 3: Conserve heritage value by adopting an approach calling for minimal intervention.*

*Standard 5: Find a use for an historic place that requires minimal or no change to its character-defining elements.*

*Standard 7: Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.*

*Standard 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.*

*Standard 10: Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.*

## 2 ASSESSMENT OF EXISTING CONDITION

ERA conducted an assessment of the building at 90 High Street East in June 2024. At that time, architectural features such as the visible exterior wood cladding and trim details, exterior masonry and rough-cast stucco, windows and doors, roof details, and flashings and rainwater management systems were reviewed. Interior spaces along with the structural, mechanical, electrical, and plumbing systems and elements were not included in the review.

Overall, the exterior primary building elements for 90 High Street East appeared to be in fair condition to poor condition, with certain building features such as stucco details and roof cladding approaching poor condition, with some areas in defective condition.

- The exterior building elevations are primarily composed of small-scale uncoursed ashlar masonry on the lower floor and chimneys. Smooth painted stucco and Tudor half-timbering details are located in the gable ends on the upper floors, and stucco is used for the front porch soffit details and to clad the oversized Tuscan-style porch columns. Wood shingles are applied to the fronts and cheeks of the upper-storey shed dormers on the north and south elevations. Wood details are used throughout the building for features such as the trim around the doors and windows, the faux beams on the front porch ceiling, and gable brackets.
- The ground floor and chimney masonry details appeared to be in fair condition in most locations, with isolated locations of step cracks and open mortar joints between the small stone units. The stone window sills appeared to be in good condition (see Fig. 1).
- The smooth painted stucco in the east and west upper floor gable ends appeared to be in generally fair condition with no visible cracks or delamination. However, the paint on the stucco was peeling badly and appeared to be in poor condition (see Fig. 2).
- The stucco used for the ceiling of the front porch appeared to be in defective condition, with delamination from the ceiling areas observed (see Fig. 3).

### DEFINITION OF TERMS

*The building components were graded using the following assessment system:*

**Excellent:** *Superior aging performance. Functioning as intended; no deterioration observed.*

**Good:** *Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

**Fair:** *Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

**Poor:** *Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

**Defective:** *Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*

- Wood details around the building perimeter were in fair to poor condition in many locations. Wood trim details around the windows and doors, as well as the applied wood half-timbering details appeared to be in fair condition. Some of the upper-storey wood window sills were rotten. The applied faux ceiling beams in the front porch area and the gable-end brackets were badly rotten (see Fig. 4 and 5).
- The wood shingles on the upper storey shed dormers were approaching the end of their serviceable lifespan and appeared to be in poor condition.
- The wood windows were in fair condition, and at least one had a broken window pane.
- The asphalt shingles and associated perimeter flashings on the roof appeared to be in poor condition. The prepainted metal gutters and downspouts also appeared to be in poor condition around the building perimeter (see Fig. 6).





Fig. 1 (ERA, 2024).



Fig. 2 (ERA, 2024).



Fig. 3 (ERA, 2024).



Fig. 4 (ERA, 2024).



Fig. 5 (ERA, 2024).



Fig. 6 (ERA, 2024).

## 3 CONSERVATION STRATEGY

### 3.1 Conservation Approach

The principal conservation approach is rehabilitation as defined by the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

As part of the full-block redevelopment, which would establish a 23-storey residential building at the block's west corner, the existing building will be retained in situ and is proposed to be re-adapted for commercial office use.

A summary of the conservation scope proposed for each of the buildings is provided on the following pages.

**Rehabilitation:** the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

**Restoration:** the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

**Preservation:** the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

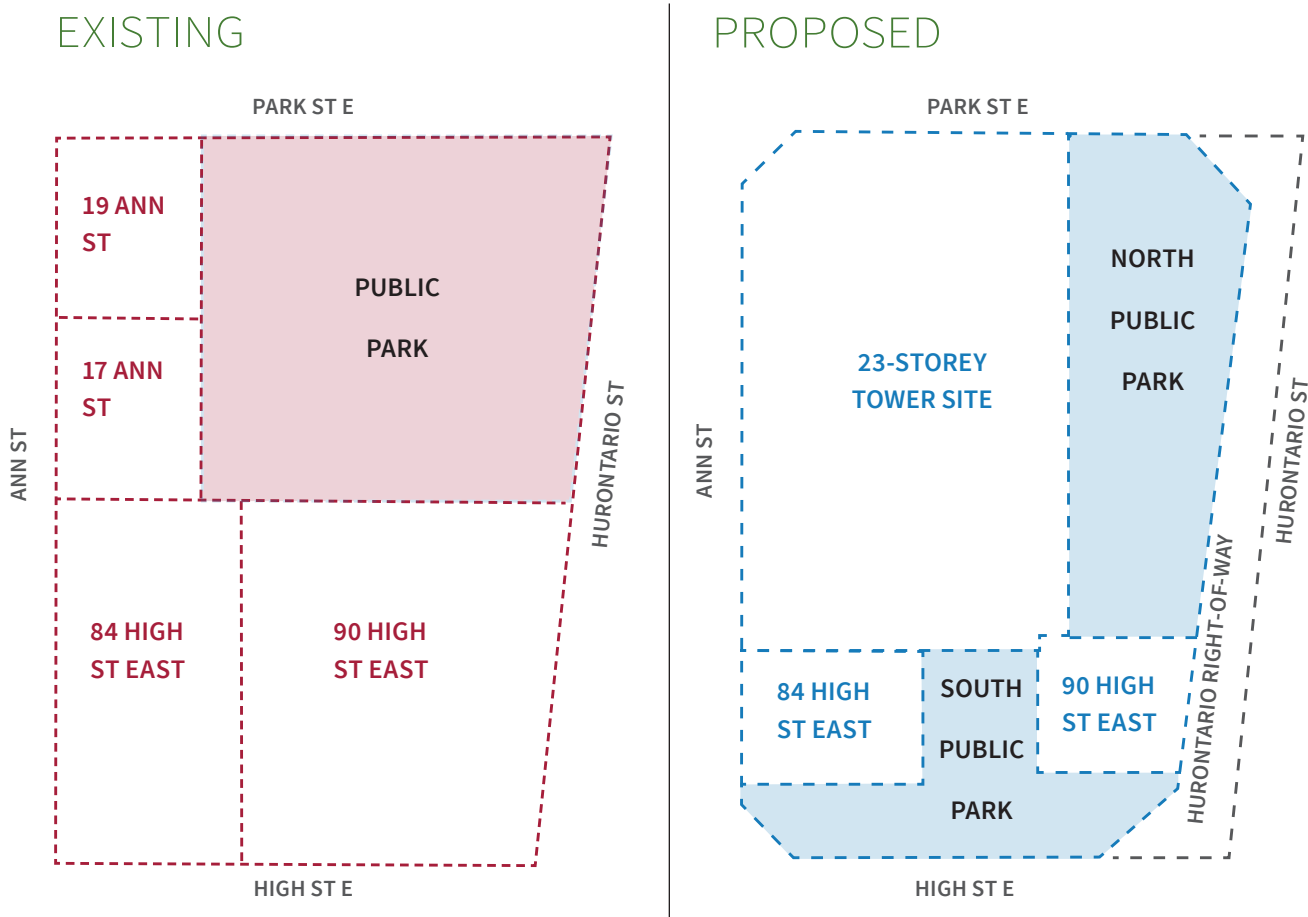
Source: *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010).

### 3.2 Description of Proposed Development

The proposed development involves a full-block redevelopment between High, Ann, Park and Hurontario Streets. This includes the retention of the buildings at 84 and 90 High Street East, the construction of a 23-storey tower at the block's west corner, and a land exchange with the City of Mississauga to create two new public parks on the north and south ends of the block.

The land exchange is proposed to create a South Public Park that will surround the two designated heritage resources at 84 and 90 High Street East, enveloping portions of their original large lawns. New, tighter property boundaries will be created for both lots as a result. The proposed development will involve a redesigned landscape surrounding each resource, including property boundaries marked by low hedges, reconfigured access routes running east and westward to Ann and Hurontario Streets respectively, interpretive landscape elements to recognize the historic front path routes toward High Street East, and retention of key landscape elements like mature trees within the public park lands.

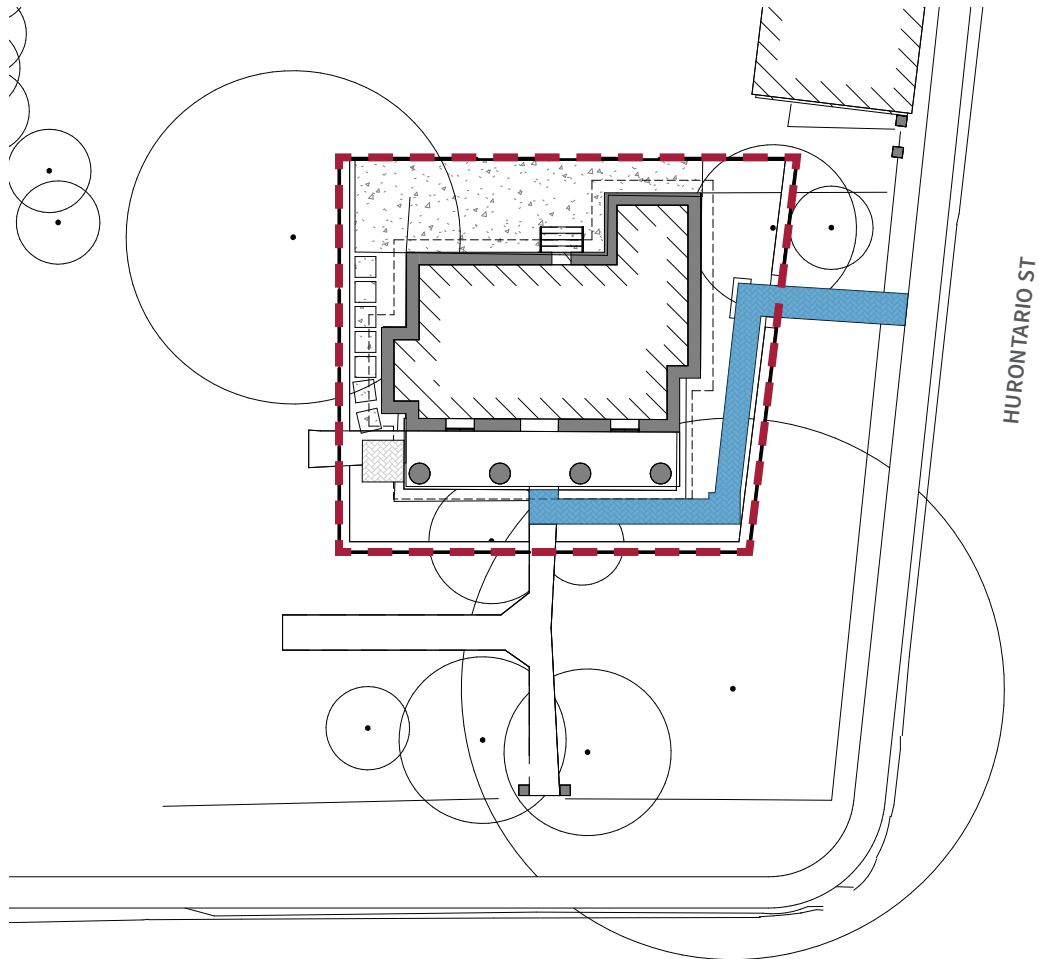
The building at 90 High Street East is situated on a large, historically residential lot. As part of the landscape strategy for the Site, the use of low natural hedges or manufactured metal fencing is proposed to create a natural boundary between private and public spaces, visually connecting the park and heritage properties while preserving the heritage "residential estate" character of the Site. This strategy conserves the Site's landscape character and orientation in relation to High Street East while addressing privacy and physical separation to the proposed park. As part of the landscape strategy, certain mature



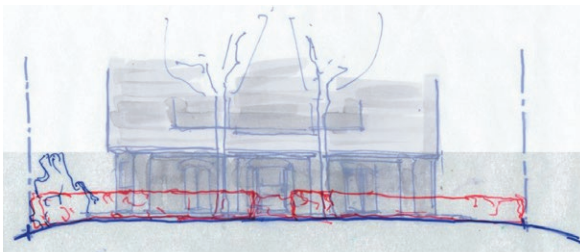
A diagram of the property boundary changes resulting from the proposed land swap occurring as part of the redevelopment of the Site (ERA, 2024).

trees on the Site are proposed to remain in situ, now within the public parks, while others that are in poor condition may be removed.

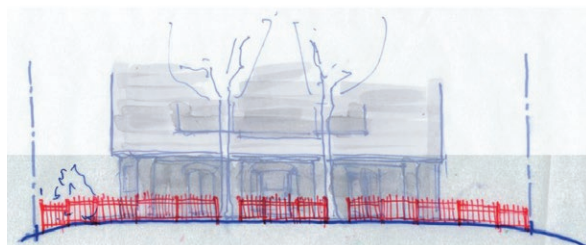
While the property entrance is being reoriented towards Hurontario Street, heritage interpretation can be provided via a gesture toward the original entrance on the south side of the Site (see the following page for examples). Similarly, while the sets of stone piers on the south and east lawns, currently located on the Site, will be excluded from the new site boundaries, their retention in situ is recommended as part of an interpretation program within the proposed public parks, retaining the legibility of the original estate layout and entrances.



Preliminary landscape plan for 90 High Street East, showing the tighter property boundary (dashed in red) and reconfigured access route to Hurontario Street (shaded in blue) (ERA, 2024).

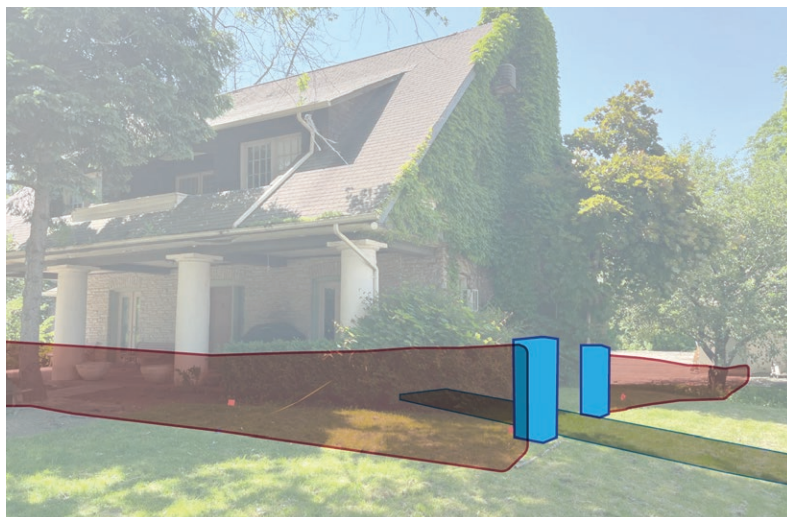


A low hedge fence is one possible means of separating the Site from the public realm following the reconfiguration of the lot (ERA, 2024).



A metal fence is one possible means of separating the Site from the public realm following the reconfiguration of the lot (ERA, 2024).





Proposed locations of new stone pillars flanking the reconfigured access route to Hurontario Street (shown in blue and green, respectively) at 90 High Street East, following the tightening of property boundaries (ERA, 2024).

The existing detached garage on the Site, currently situated along and oriented towards Hurontario Street, is outside the proposed scope of conservation work. Following the reconfiguration of the property boundaries of the Site, the garage will be located in the Hurontario right-of-way lands, conveyed to the City along with the proposed parkland. The garage is of architectural and contextual interest, despite not being identified in the Site's designation by-law, and there is potential for it to be adapted for reuse as a City of Mississauga public park building. In the instance that Hurontario Street is expanded within its right-of-way, the garage and stone pillars may both be relocated within the North Public Park, with their relationship and proximity to the rear of the 90 High Street East house maintained.



Existing detached garage fronting onto Hurontario Street (ERA, 2024).



East elevation of detached garage, which is of architectural and contextual interest (ERA, 2024).



Stone piers to the south of the existing detached garage. Both the garage and the stone piers are recommended to be adapted for reuse while maintaining their relationship to 90 High Street East (ERA, 2024).

### 3.3 Conservation Scope

The general conservation scope of work includes:

- In-situ retention of heritage building;
- In-situ retention of stone piers (two pairs);
- Protection of mature trees on-site;
- Salvage of existing hardscape elements to accommodate new landscape design on south lawn;
- Removal of concrete stairs and landing, and installation of new masonry stairs with metal handrails and concrete pad on north elevation;
- Restoration of existing doors and windows;
- Removal of existing shingles and flashing and installation of new shingle roof and flashing;
- General masonry, wood, and stucco repair and cleaning on all exterior elevations, as well as extant stone piers, including replacement as required; and
- Construction of new masonry landscape stairs and path with new and salvaged pavers, concrete pad, and commemorative masonry piers.

See Section 3.4 and the attached Conservation Drawings by ERA (Appendix A) for additional details.

### 3.4 Detailed Conservation Notes

The following conservation notes are further detailed in the attached Conservation Drawings by ERA (Appendix A).

#### C-100 GENERAL NOTES

- C-001 Disconnect all existing power, water, gas & communication services at building face. Demolish and remove existing services if required. Minimize damage to original face to remain.
- C-002 Heritage Contractor, Structural Consultant, and Heritage Consultant to closely inspect and photo document the existing heritage facades and relevant building conditions, including, but not limited to:
- Exterior masonry details (to confirm method and extent of protection required);
  - Extent of initial facade repairs required prior to shoring and building demolition;
  - Existing perimeter wall assembly, foundation, and roof details; and
  - Condition of existing structure.
- C-003 Contractor to confirm all dimensions on-site.
- C-004 Monitor vibrations during caisson drilling, ensuring adequate setback from drilling equipment to avoid damage to retained building fabric.

#### C-100 SALVAGE, DEMOLITION, AND STABILIZATION

- C-101 Retain existing heritage building in situ.
- C-102 Demolish and remove existing concrete stairs and landing, minimizing damage to retained heritage fabric.
- C-103 Remove fencing, exterior stairs, wood deck, utility services, and unsympathetic construction, minimizing damage to retained heritage fabric.
- C-104 Remove existing shingles and flashing.
- C-105 Remove existing metal gutters and downpipes.

- C-106 Remove all windows and doors unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 Area between retention and saw cut line, +/- 600mm, to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls, and openings with robust protection and temporary painted metal flashings.
- C-108 Retain existing stone piers, in situ, at 90 High Street East. Remove building numbers '90' from south stone piers.
- C-109 Protect existing mature trees on the Site during construction.
- C-110 Remove and salvage exterior pavers for owner's use.
- C-111 Demolish and remove existing metal handrails.
- C-112 Remove screen door.
- C-113 Retain existing door or window in situ.
- C-114 Retain existing shingles and flashing at 84 High Street East.
- C-115 Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 Remove and salvage armour stone whole units for reuse.
- C-117 Retain existing armour stone.
- C-118 Remove and salvage river stone for owner's use, separating debris and cleaning prior to storage.
- C-119 Cut existing dimple board back to grade.
- C-120 Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



**C-200 MASONRY + STUCCO + LANDSCAPE**

- C-201 Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter, etc. from building facades to remain.
- C-202 Retain existing window openings, repair as required before installing new windows.
- C-203 Retain existing door openings, repair as required before installing new doors.
- C-204 Replace and repair damaged stone on facades to remain with stone to matching existing adjacent.
- C-205 Repoint stone at facade elevations as required.
- C-206 Repair mortar joint cracks in masonry.
- C-207 Repair existing stucco.
- C-208 Install new stucco to match existing.
- C-209 Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains.
- C-211 General cleaning: use low-pressure steam or water wash to gently remove surface stains and soiling and blend final masonry finish on entire elevation.
- C-212 Repoint 100% of mortars at existing stone piers at 90 High Street East.
- C-213 Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 Construct new accessible masonry landscape path/ramp and stair, with metal handrails/guards as required.
- C-215 Construct new masonry stair, with metal handrails/guards as required.
- C-216 Construct new commemorative masonry piers.

- C-217 Construct new concrete pad.
- C-218 Construct new paved surface with new and salvaged pavers.
- C-219 Reinstate planter bed wall using salvaged armour stone.
- C-220 Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 Construct flagstone pathway with riverstone bedding.

**C-300 DOORS + WINDOWS + WOOD + PAINT**

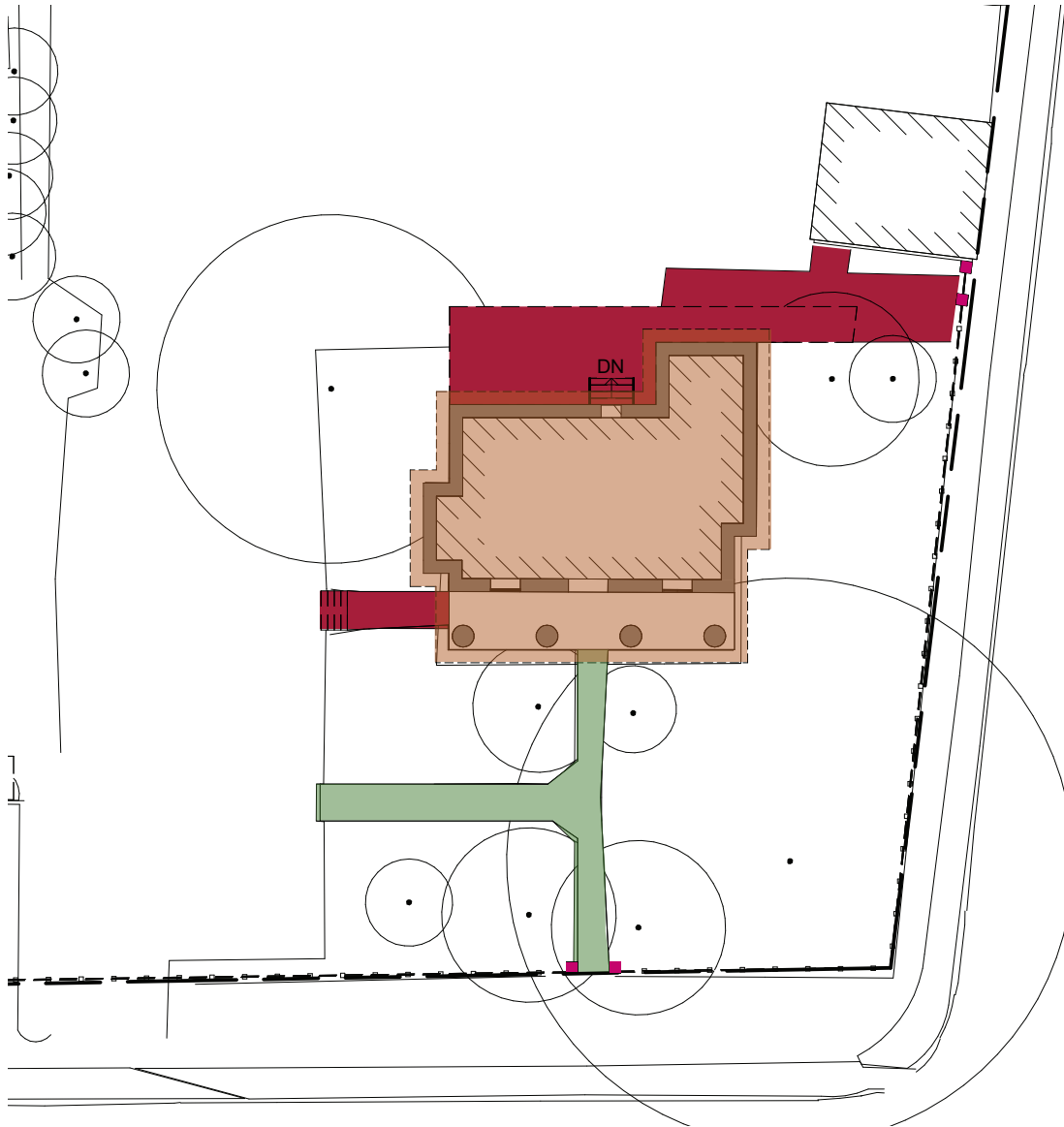
- C-301 Install new doors.
- C-302 Install new wood windows, to match heritage profile.
- C-303 Install new wood bargeboard, fascia & soffits to match existing.
- C-304 Repair existing wood half-timber, beams, bargeboard, fascia & soffits.
- C-305 Prepare, prime, and paint all existing wood elements.
- C-306 Prepare, prime, and paint masonry and stucco elements.
- C-307 Repair, prepare, prime, and paint existing wood windows.
- C-308 Repair, prepare, prime, and paint existing metal/vinyl door/windows/sidelight.
- C-309 Repair, prepare, prime, and paint existing wood door.

**C-400 ROOF + FLASHING + METALS**

- C-401 Install new painted metal flashings.
- C-402 Install new asphalt shingle, colour to be determined.
- C-403 Install new wood shingle siding (colour to be determined).
- C-404 Install new wood siding, colour to be determined.
- C-405 Provide new painted metal gutters and downpipes.
- C-406 Install new metal flat roof.
- C-407 Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.

- C-408 Provide new galvanized window well complete with gravel infill.
- C-409 Provide new painted metal vent.
- C-410 Provide new metal handrails.

## PROPOSED DEMOLITION SCOPE OF WORK



Site plan of 90 High Street East showing the extent of the proposed alterations to the landscape (ERA, 2024).

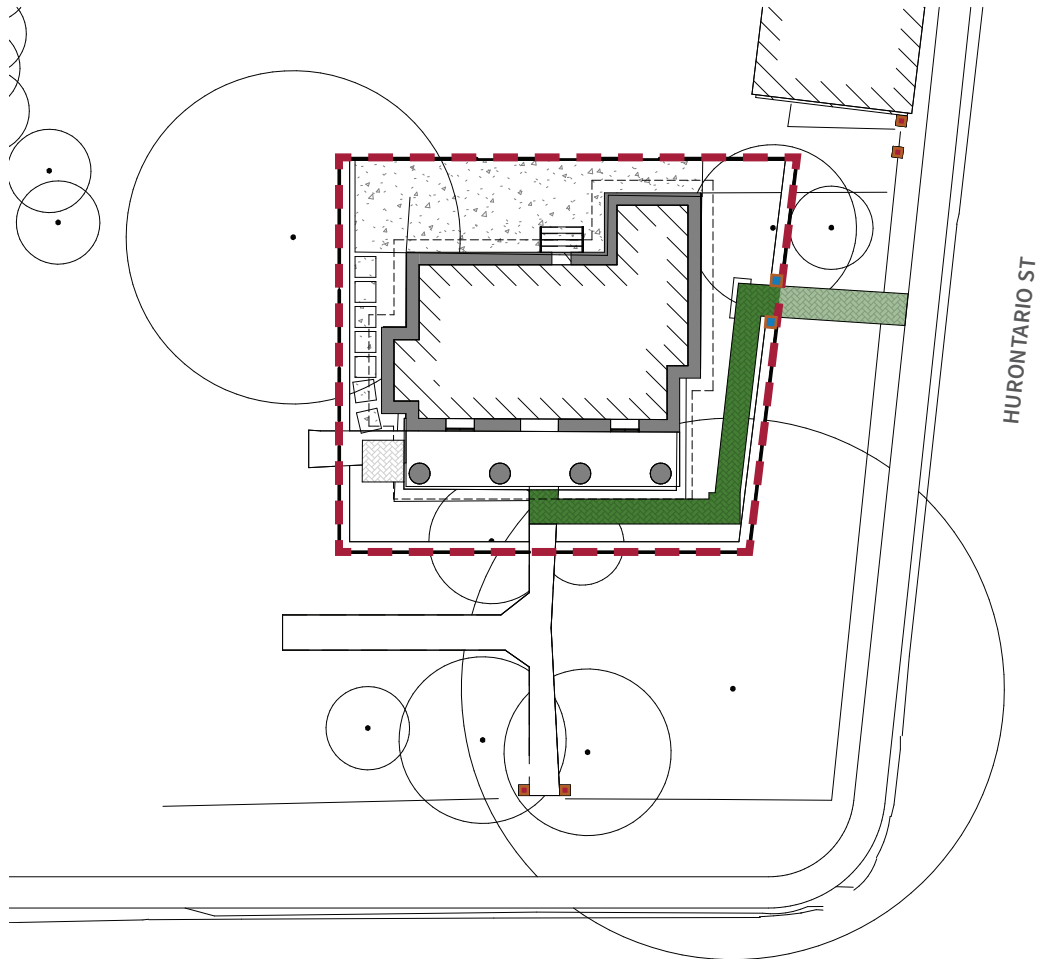
- RETAIN IN-SITU
- DEMOLISH
- PARTIAL SALVAGE
- RETAIN STONE MASONRY PIERS



## PROPOSED DEMOLITION SCOPE OF WORK

Refer to drawings CP221 - CP226 in the architectural drawing set attached as Appendix A for annotated photographs outlining in detail the proposed demolition scope of work.

## PROPOSED CONSERVATION SCOPE OF WORK



Site Plan of 90 High Street East (with new property boundaries dashed in red) showing the extent of the proposed alterations to the landscape, including a path towards the rear within the boundaries of the Site to accommodate its slope. A portion of the path is situated within the Hurontario Street right-of-way. (ERA, 2024).

- NEW PAVED SURFACE (LOCATED ON THE SITE)
- NEW PAVED SURFACE (LOCATED IN THE PROPOSED NORTH PUBLIC PARK AND HURONTARIO RIGHT-OF-WAY)
- NEW COMMEMORATIVE MASONRY PIERS
- RETAIN EXISTING MASONRY PIERS

## PROPOSED CONSERVATION SCOPE OF WORK

Refer to drawings CP321 - CP328 in the architectural drawing set attached as Appendix A for annotated photographs outlining in detail the proposed conservation scope of work.

### 3.5 Heritage Contractor Requirements

The work described in this CP, and in any additional documents to follow, will be executed by a specialist contractor with a minimum of five years experience working with heritage structures. The work will be reviewed on-site by ERA for general conformance with heritage guidelines and best practices.



## 4 COST ESTIMATE

A Letter of Credit, including provision for upwards indexing, to secure all work identified in this CP will be provided under separate cover, prior to the issuance of any permit for the Site, including a heritage permit or building permit.

## 5 WORK PLAN & MAINTENANCE RECOMMENDATIONS

The work identified in this CP will be completed within five years of the approval of the Plan and subsequent building permits. It is anticipated that the rehabilitation of the heritage resources on Site will proceed in conjunction with the development at the west corner of the larger redevelopment area.

With respect to ongoing maintenance, regular inspections of the property are recommended within the following time frames:

### Yearly

- Inspect the envelope of the building for damage due to weather events, disturbance by animals, vandalism and damage due to human occupancy that may compromise its condition if left unrepaired.

### Every 5 Years

- Complete an updated condition assessment of the building and exterior envelope to evaluate the performance of the masonry, sealants, windows and doors, flashings, roofing, and adjacent grade condition.

In addition to repairs made following these inspections, the following life-cycle inspections and replacements are recommended:

### Every 10-15 Years

- Renewal of caulking, inspection of window hardware and weather-stripping.

### Every 25-30 Years

- Replacement of roofing membrane and flashings.

### Ongoing

- Selective repointing of deteriorated mortar joints.

## 6 CONCLUSION

The conservation scope of work outlined in this report will be undertaken to rehabilitate the heritage resource at 90 High Street East. This approach conserves the Site's cultural heritage value while allowing for intensification, the expansion of public park space, and new compatible commercial uses.

## 7 PROJECT PERSONNEL

ERA Architects Inc. (ERA) specializes in heritage conservation, architecture, planning and landscape as they relate to historical places. This work is driven by our core interest in connecting heritage issues to wider considerations of urban design and city building, and to a broader set of cultural values that provide perspective to our work at different scales.

In our 30 years of work, we've provided the highest level of professional services to our clients in both the public and private sector out of offices in Toronto, Montreal and Ottawa. We have a staff of more than 100, and our Principals and Associates are members of associations that include: the Ontario Association of Architects (OAA), the Canadian Association of Heritage Professionals (CAHP) and the Royal Architectural Institute of Canada (RAIC).

**Philip Evans OAA, MRAIC, CAHP** is a Principal at ERA and the founder of Culture of Outports. Over the course of 20+ years working in the field of heritage conservation, he has led a wide range of conservation, adaptive reuse, design, and feasibility planning projects.

**Janice Quieta, OAA, MArch, CAHP** is a Senior Associate and architect at ERA. She received her Master of Architecture degree from Dalhousie University after completing a Bachelor of Architectural Science degree at Toronto Metropolitan University (formerly Ryerson University). Her graduate thesis examined the feasibility of retrofitting post-war residential towers in Toronto's St. Jamestown using a socially and ecologically sustainable program. She has studied and worked in Toronto, Halifax, Dusseldorf, and Koln and participated in a number of national and international design competitions in Canada and Germany.

**Emma Abramowicz CAHP** is a Planner and Senior Project Manager at ERA Architects. She holds a BAH in History from Queen's University, and a Master of Planning from Toronto Metropolitan University (formerly Ryerson University). Her prior experience includes public-sector heritage work in Ontario and Alberta, including heritage planning and urban design in the Town of Banff, AB.

**Max Yuristy, OAA, MArch** is a Project Manager at ERA Architects. A graduate of the Daniels Faculty of Architecture, Landscape, and Design at the University of Toronto, Max holds a BA in Human Geography from Queen's University, and a BFA in Fine Art Photography from Concordia University.



**Marina Smirnova** is a Planner at ERA Architects. She holds a Bachelor of Arts in Political Science from the University of British Columbia, and a Master of Planning from Toronto Metropolitan University (formerly Ryerson University).

**Raluca Dobrotescu** is Professional Staff at ERA. Raluca obtained her Master of Applied Science degree, in Structural Engineering with a focus on Heritage Engineering, and her Bachelor of Engineering, in Architectural Conservation and Sustainability Engineering, from Carleton University.

## APPENDIX A: CONSERVATION DRAWINGS (ERA, 2024)





## 84 & 90 High Street East

84 & 90 High St E, Mississauga, ON L5G 1K4

21-110-04

Issued For  
Conservation Plan

December 2, 2024



### HERITAGE ARCHITECT

ERA Architects Inc.  
625 Church St, Suite 600, Toronto, Ontario, M4Y 2G1

### HERITAGE DRAWING LIST

Sheet Number	Sheet Name	Sheet Number	Sheet Name
CP000	Cover Page	CP222	South Stone Piers_Demolition - 90 High St E
CP001	Conservation Notes	CP223	East Elevation_Demolition - 90 High St E
CP002	Site Survey	CP224	North Elevation_Demolition - 90 High St E
CP101	Site Plan_Existing - 84 & 90 High St E	CP225	North Elevation_Demolition - 90 High St E
CP102	Basement Floor Plan_Existing - 84 High St E	CP226	East and West Elevations_Demolition - 90 High St E
CP103	Ground Floor Plan_Existing - 84 High St E	CP301	Site Plan_Proposed - 84 & 90 High St E
CP104	Second Floor Plan_Existing - 84 High St E	CP302	Basement Floor Plan_Proposed - 84 High St E
CP105	Third Floor Plan_Existing - 84 High St E	CP303	Ground Floor Plan_Proposed - 84 High St E
CP106	Roof Plan_Existing - 84 High St E	CP304	Second Floor Plan_Proposed - 84 High St E
CP111	North Elevation_Existing - 84 High St E	CP305	Third Floor Plan_Proposed - 84 High St E
CP112	South Elevation_Existing - 84 High St E	CP306	Roof Plan_Proposed - 84 High St E
CP113	East Elevation_Existing - 84 High St E	CP311	North Elevation_Proposed - 84 High St E
CP114	West Elevation_Existing - 84 High St E	CP312	South Elevation_Proposed - 84 High St E
CP201	Site Plan_Demolition - 84 & 90 High St E	CP313	East Elevation_Proposed - 84 High St E
CP202	Basement Floor Plan_Demolition - 84 High St E	CP314	West Elevation_Proposed - 84 High St E
CP203	Ground Floor Plan_Demolition - 84 High St E	CP321	South Elevation_Proposed - 90 High St E
CP204	Second Floor Plan_Demolition - 84 High St E	CP322	South Elevation_Proposed - 90 High St E
CP205	Third Floor Plan_Demolition - 84 High St E	CP323	South Stone Piers_Proposed - 90 High St E
CP206	Roof Plan_Demolition - 84 High St E	CP324	East Elevation_Proposed - 90 High St E
CP211	North Elevation_Demolition - 84 High St E	CP325	North Elevation_Proposed - 90 High St E
CP212	South Elevation_Demolition - 84 High St E	CP326	North Elevation_Proposed - 90 High St E
CP213	East Elevation_Demolition - 84 High St E	CP327	East and West Elevations_Proposed - 90 High St E
CP214	West Elevation_Demolition - 84 High St E	CP328	East Stone Piers_Proposed - 90 High St E
CP221	South Elevation_Demolition - 90 High St E		



**CONSERVATION NOTES:****HERITAGE ARCHITECTURAL PRE-CONSERVATION SCOPE  
SALVAGE, DEMOLITION, AND STABILIZATION WORK****C-000 GENERAL NOTES**

C-001 Disconnect all existing power, water, gas & communication services at building face. Demolish and remove existing services if required. Minimize damage to original face to remain.

C-002 Heritage Contractor, Structural Consultant, and Heritage Consultant to closely inspect and photo document the existing heritage facades and relevant building conditions, including, but not limited to:

- Exterior masonry details (to confirm method and extent of protection required);
- Extent of initial facade repairs required prior to shoring and building demolition;
- Existing perimeter wall assembly, foundation and roof details; and
- Condition of existing structure.

C-003 Contractor to confirm all dimensions on-site.

C-004 Monitor vibrations during caisson drilling, ensure adequate set back from drilling equipment to avoid damage to retained heritage fabric.

**C-100 SALVAGE + DEMOLITION + STABILIZATION**

C-101 Retain existing heritage building, in situ.

C-102 Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.

C-103 Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.

C-104 Remove existing shingles and flashing.

C-105 Remove existing metal gutters and downpipes.

C-106 Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.

C-107 Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.

C-108 Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.

C-109 Protect existing mature trees on site during construction, refer to Arborist report.

C-110 Remove and salvage exterior pavers for owner's use.

C-111 Demolish and remove existing metal handrails.

C-112 Remove screen door.

C-113 Retain existing door or window in-situ.

C-114 Retain existing shingles and flashing at 84 High Street East.

C-115 Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.

C-116 Remove and salvage armour stone whole units for re-use.

C-117 Retain existing armour stone.

C-118 Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.

C-119 Cut existing dimple board back to grade.

C-120 Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

**HERITAGE ARCHITECTURAL CONSERVATION SCOPE****C-200 MASONRY + STUCCO + LANDSCAPE**

C-201 Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.

C-202 Retain existing window openings, repair as required before installing new windows.

C-203 Retain existing door openings, repair as required before installing new doors.

C-204 Replace and repair damaged stone on facades to remain with stone to match existing adjacent.

C-205 Repoint stone at façade elevations as required.

C-206 Repair mortar joint cracks in masonry.

C-207 Repair existing stucco.

C-208 Install new stucco to match existing.

C-209 Construct new masonry landscape stairs and path with new and salvaged pavers.

C-210 Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.

C-211 General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 Repoint 100% of mortars at existing stone piers at 90 High St E.

C-213 Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.

C-214 Construct new accessible masonry landscape path/ramp.

C-215 Construct new masonry stair, with metal handrails/guards as required.

C-216 Construct new commemorative masonry piers.

C-217 Construct new concrete pad.

C-218 Construct new paved surface with new and salvaged pavers.

C-219 Reinstate planter bed wall using salvaged armour stone.

C-220 Parge existing exposed concrete near grade with like colour to existing mortars.

C-221 Construct flagstone pathway with riverstone bedding.

**C-300 DOORS + WINDOWS + WOOD + PAINT**

C-301 Install new doors.

C-302 Install new wood windows, to match heritage profile.

C-303 Install new wood bargeboard, fascia and soffits to match existing.

C-304 Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

C-305 Prepare, prime and paint all existing wood elements.

C-306 Prepare, prime and paint masonry and stucco elements.

C-307 Repair, prepare, prime and paint existing wood windows.

C-308 Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.

C-309 Repair, prepare, prime and paint existing wood door.

**C-400 ROOF + FLASHING + METALS**

C-401 Install new painted metal flashings.

C-402 Install new asphalt shingle, colour to be determined.

C-403 Install new wood shingle siding, colour to be determined.

C-404 Install new wood siding, colour to be determined.

C-405 Provide new painted metal gutters and downpipes.

C-406 Install new metal flat roof.

C-407 Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.

C-408 Provide new galvanized window well complete with gravel infill.

C-409 Provide new painted metal vent.

C-410 Provide new metal handrails.

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION****LEGEND**

Project

84 &amp; 90 High Street East

Address 84 &amp; 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 NTS

Drawn by RD, EL

Reviewed by JQ, MY

Drawing title

Conservation Notes

Sheet no.

**CP001**



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

### NOT FOR CONSTRUCTION

#### LEGEND

PLAN OF SURVEY OF  
**PART OF LOT 1**  
**SOUTH SIDE OF PARK STREET**  
**EAST OF THE CREDIT RIVER**  
**REGISTERED PLAN 300E**  
 (FORMERLY IN THE VILLAGE OF PORT CREDIT)  
**CITY OF MISSISSAUGA**  
 REGIONAL MUNICIPALITY OF PEEL  
 SCALE 1 : 250



J. D. BARNES LIMITED  
 © COPYRIGHT

**METRIC:** DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

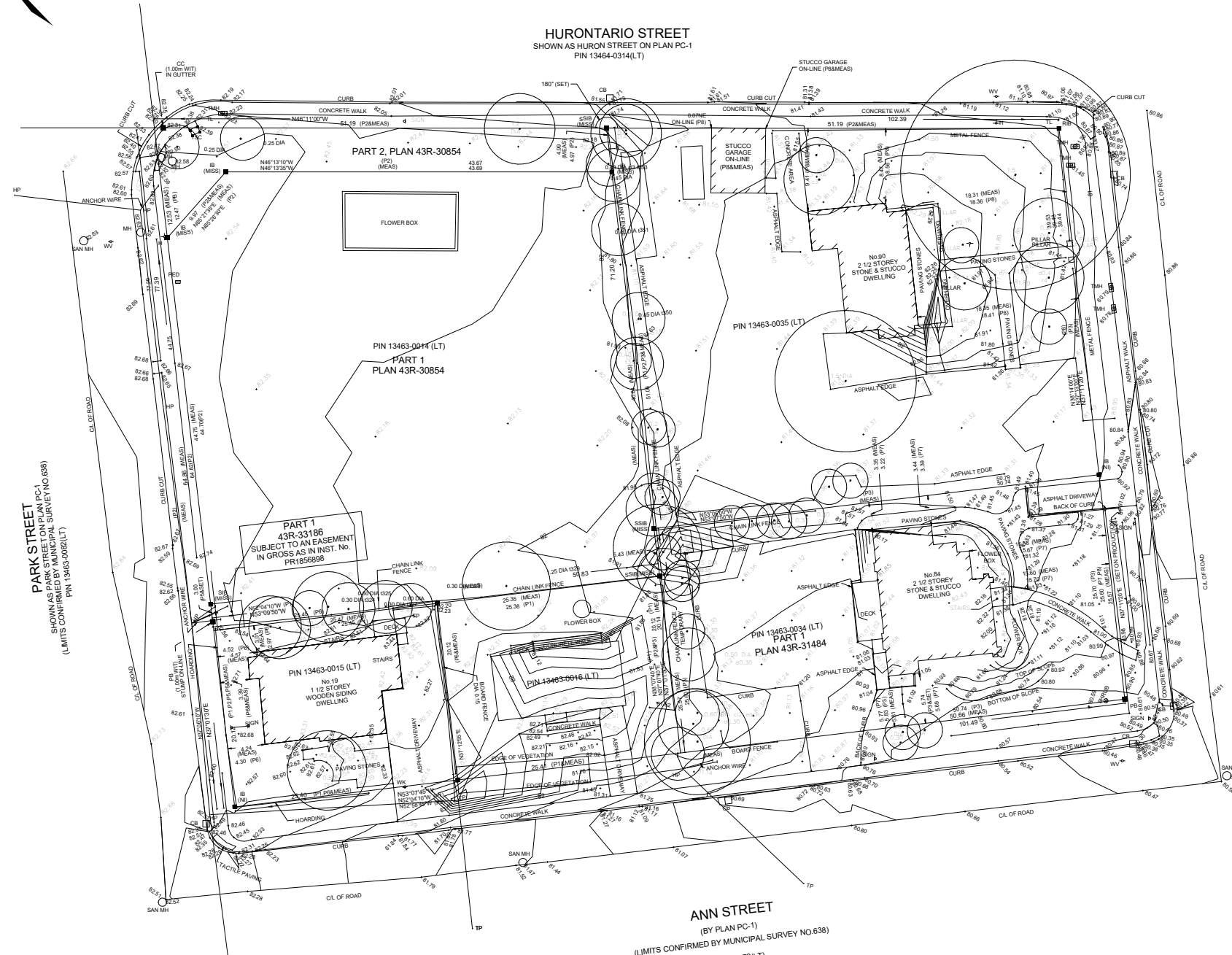
#### NOTES

BEARINGS ARE UTM GRID, DERIVED FROM REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CRS) (2010.0).  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99975465

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- S3IB DENOTES SHORT STANDARD IRON BAR
- PIB DENOTES PALSTIC BAR
- IB DENOTES IRON BAR
- IT DENOTES IRON TUBE
- RIB DENOTES ROUND IRON BAR
- CC DENOTES CUT CROSS
- WT DENOTES WEIGHTS
- MEAS DENOTES MEASURED
- INST DENOTES INSTRUMENT
- NO DENOTES NUMBER
- MSS DENOTES CITY OF MISSISSAUGA SURVEY DEPARTMENT
- P1 DENOTES PLAN 43R-13415
- P2 DENOTES PLAN 43R-30854
- P3 DENOTES PLAN 43R-31484
- P4 DENOTES PLAN 43R-33186
- P5 DENOTES PLAN OF SURVEY BY C.P.EAT, OLS DATED AUG 25, 1977
- P7 DENOTES PLAN OF SURVEY BY C.P.EAT, OLS DATED OCT 16, 1979
- P8 DENOTES BUILDINGS LOCATIONS SURVEY BY TARASIOK, MUMLLAN LIMITED DATED MAY 3, 1988.

ALL SET PB MONUMENTS WERE USED DUE TO LACK OF OVERSIGHT AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

BY-LAW 0206-2007 TO DESIGNATE THE CHARLES HAMILTON HOUSE LOCATED AT HIGH STREET EAST AS BEING OF HISTORICAL, ARCHITECTURAL AND CONTEXTUAL SIGNIFICANCE AS IN INST. NO. PR1292224



HIGH STREET  
 SHOWN AS HIGH STREET ON PLAN PC-1  
 (LIMITS CONFIRMED BY MUNICIPAL SURVEY NO 0381)  
 PIN 13463-0083(LT)

ANN STREET  
 (BY PLAN PC-1)  
 (LIMITS CONFIRMED BY MUNICIPAL SURVEY NO 638)  
 PIN 13463-0079(LT)

#### SURVEYOR'S CERTIFICATE

I CERTIFY THAT  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON AUGUST 25, 2021.

JANUARY 28, 2020  
 DATE  
 R. S. QUERQUEN  
 ONTARIO LAND SURVEYOR



**J.D. BARNES LIMITED**  
 SURVEYING MAPPING GIS  
 LAND INFORMATION SPECIALISTS  
 401 WHEELABRATOR WAY, SUITE A, MILTON, ON L9T 3C1  
 T: (905) 875-0955 F: (905) 875-0956 www.jdbarnes.com

DRAWN BY: AD CHECKED BY: RSO REFERENCE NO.: 19-30-457-01  
 FILE: C:\19-30-457\00\Drawing\19-30-457-00-88PR.dwg DATED: 11/24/2021  
 PLOTTED: 11/24/2021

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	N/A
Reviewed by	N/A
Drawing title	Site Survey




Sheet no.  
**CP002**

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

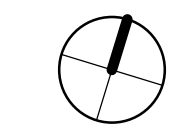
**NOT FOR CONSTRUCTION**

**LEGEND**

	EXISTING BUILDING/LANDSCAPE ELEMENT
	EXISTING PROPERTY LINE
	EXISTING FENCE LINE



info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

**84 & 90 High Street East**

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1 : 250

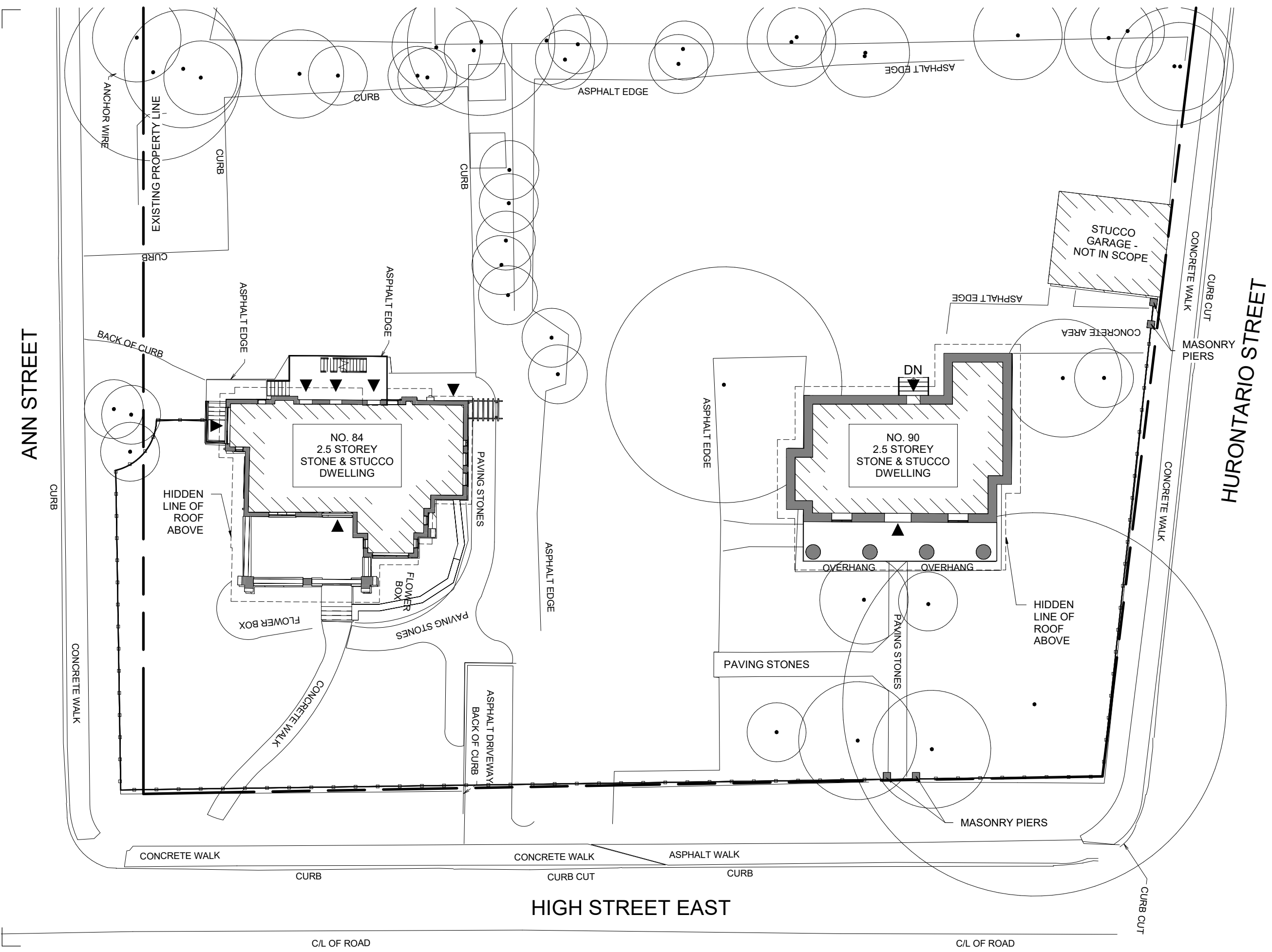
Drawn by RD, EL

Reviewed by JQ, MY

Drawing title

Site Plan Existing -  
84 & 90 High St E

Sheet no. **CP101**



C/L OF ROAD

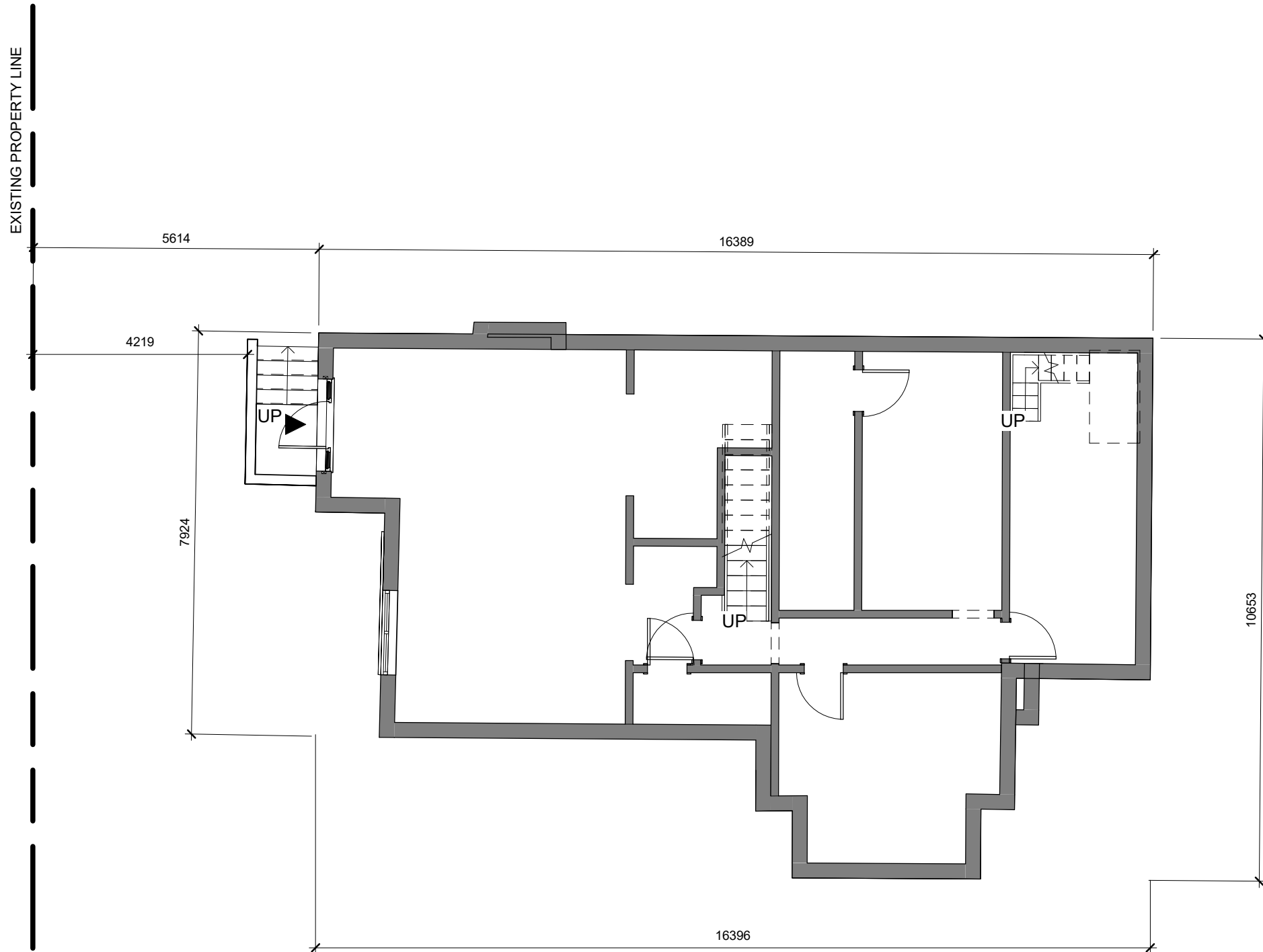
This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

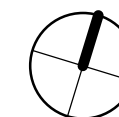
### NOT FOR CONSTRUCTION

#### LEGEND

 EXISTING



**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

Basement Floor Plan\_Existing -  
84 High St E

Sheet no.

**CP102**

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

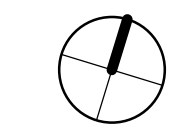
### NOT FOR CONSTRUCTION

**LEGEND**

 EXISTING



info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

**84 & 90 High Street East**

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1 : 100

Drawn by RD, EL

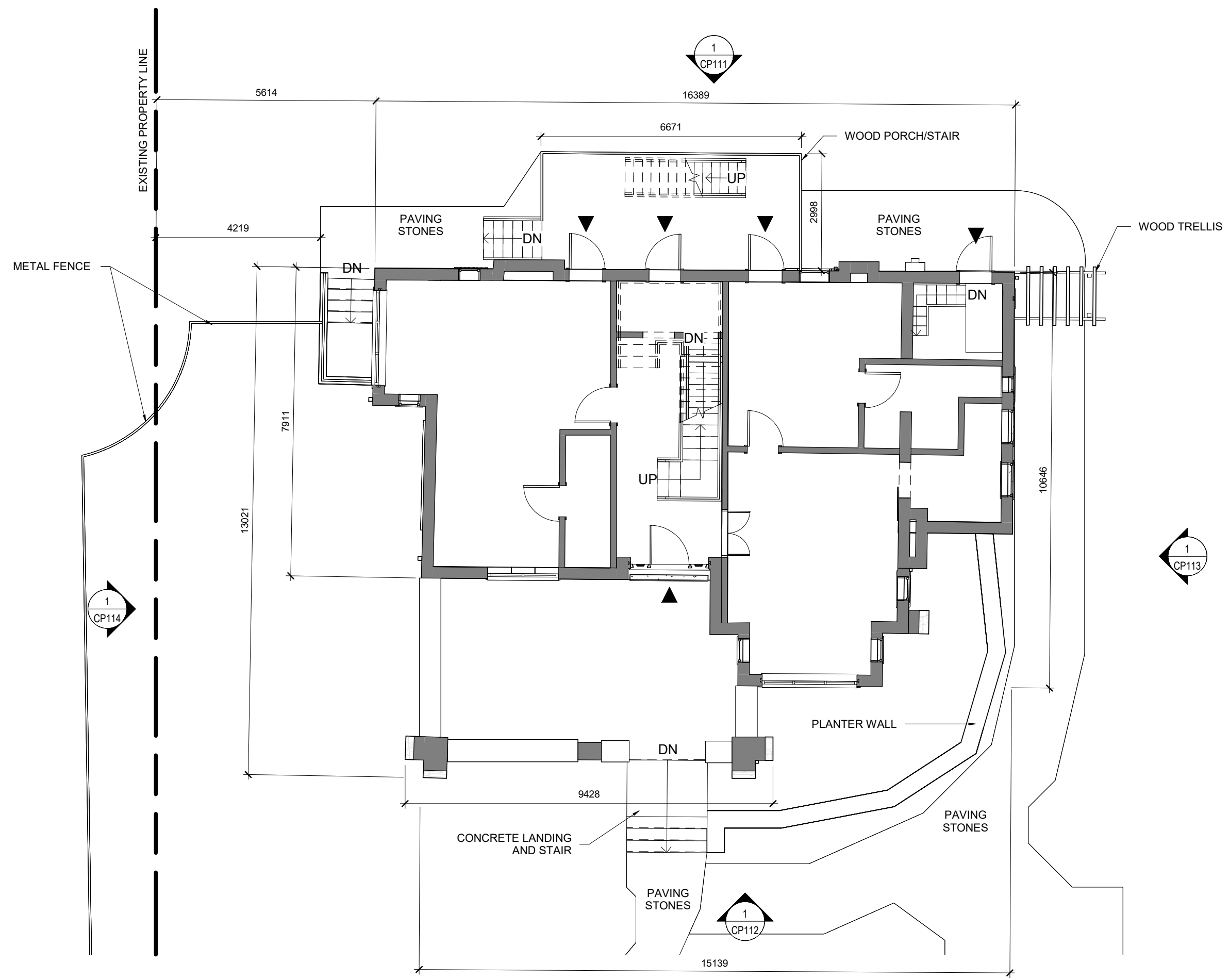
Reviewed by JQ, MY

Drawing title

Ground Floor Plan\_Existing - 84 High St E

Sheet no.

**CP103**






This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

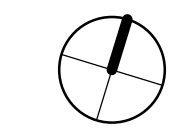
### NOT FOR CONSTRUCTION

LEGEND

	EXISTING
---	----------



info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

84 & 90 High Street East

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1 : 100

Drawn by RD, EL

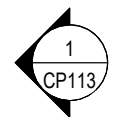
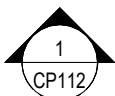
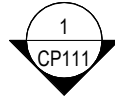
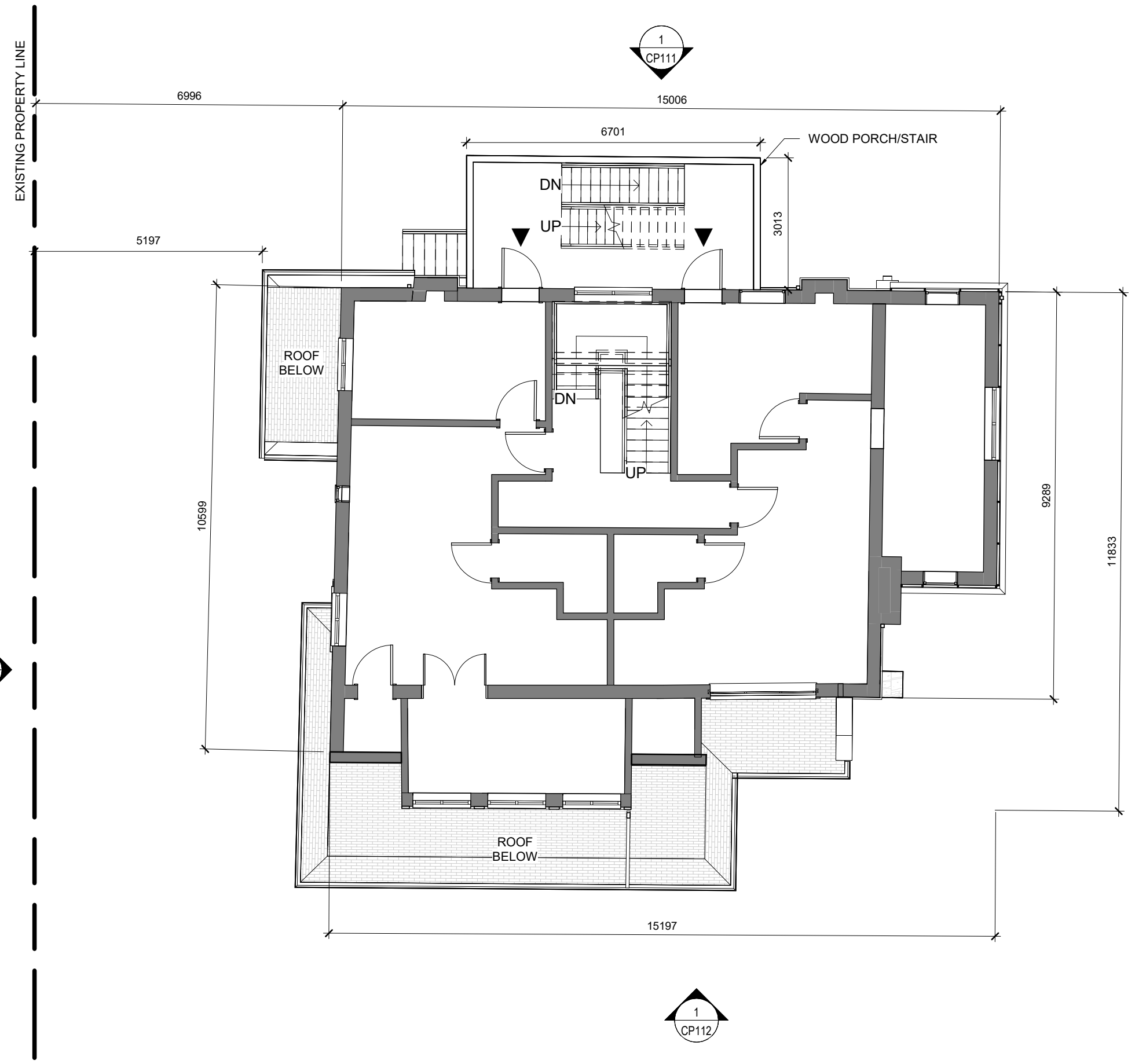
Reviewed by JQ, MY

Drawing title

Second Floor Plan\_Existing - 84 High St E

Sheet no.

# CP104




This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

### NOT FOR CONSTRUCTION

LEGEND

 EXISTING



info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project

84 & 90 High Street East

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1 : 100

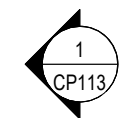
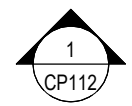
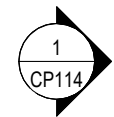
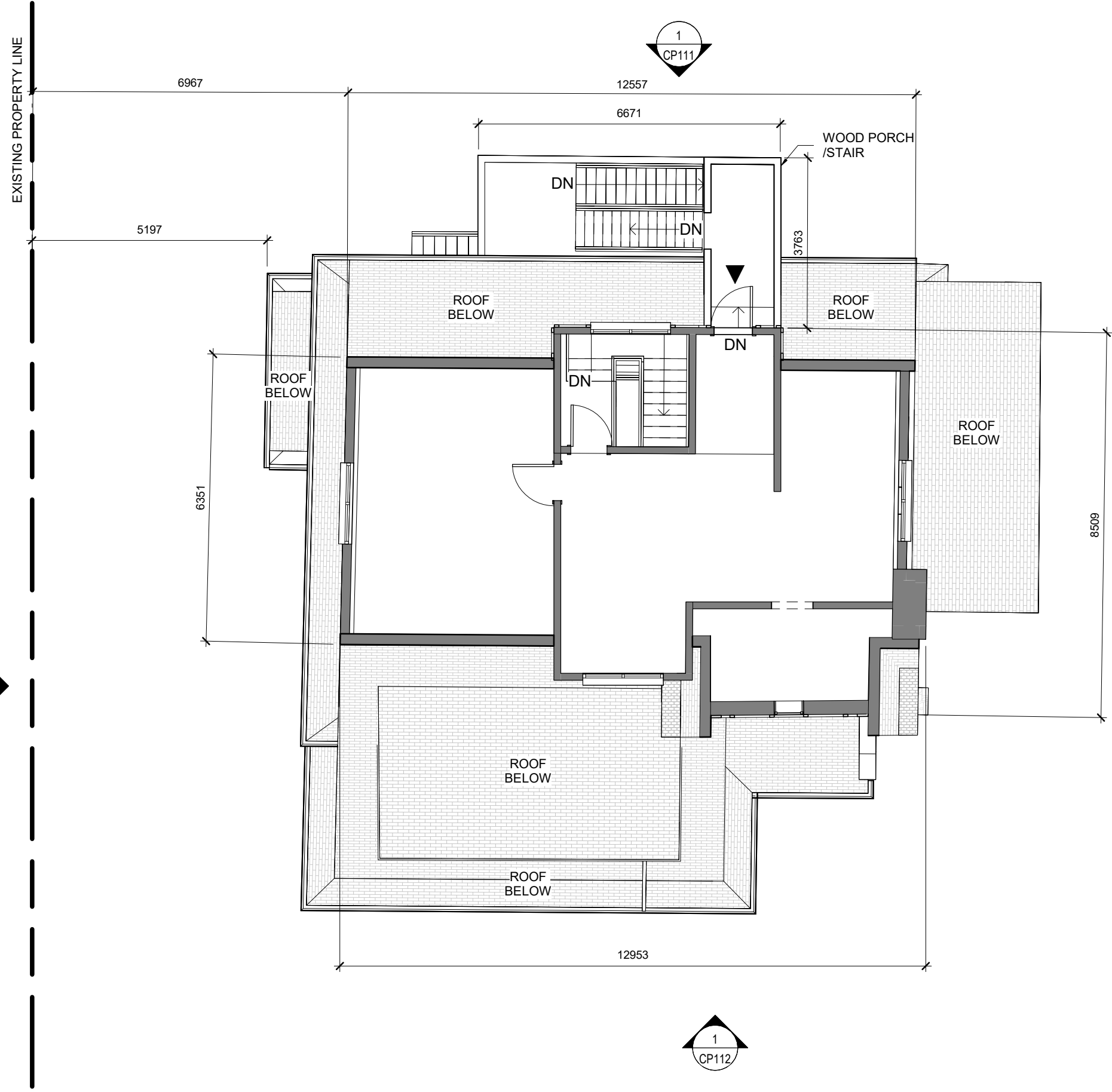
Drawn by RD, EL

Reviewed by JQ, MY

Drawing title

Third Floor Plan\_Existing - 84 High St E

Sheet no. **CP105**



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

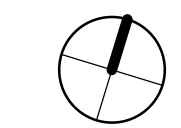
NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

### NOT FOR CONSTRUCTION

#### LEGEND

 EXISTING

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project  
**84 & 90 High Street East**  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1 : 100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

Roof Plan\_Existing - 84 High St E

Sheet no.

# CP106

EXISTING PROPERTY LINE



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

LEGEND



**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	North Elevation_Existing - 84 High St E

Sheet no.

**CP111**

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

LEGEND



**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1 : 100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

South Elevation\_Existing -  
 84 High St E

Sheet no.

**CP112**



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

LEGEND



**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Elevation_Existing - 84 High St E

Sheet no.

**CP113**

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1 : 100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	West Elevation_Existing - 84 High St E

Sheet no.

**CP114**

**CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

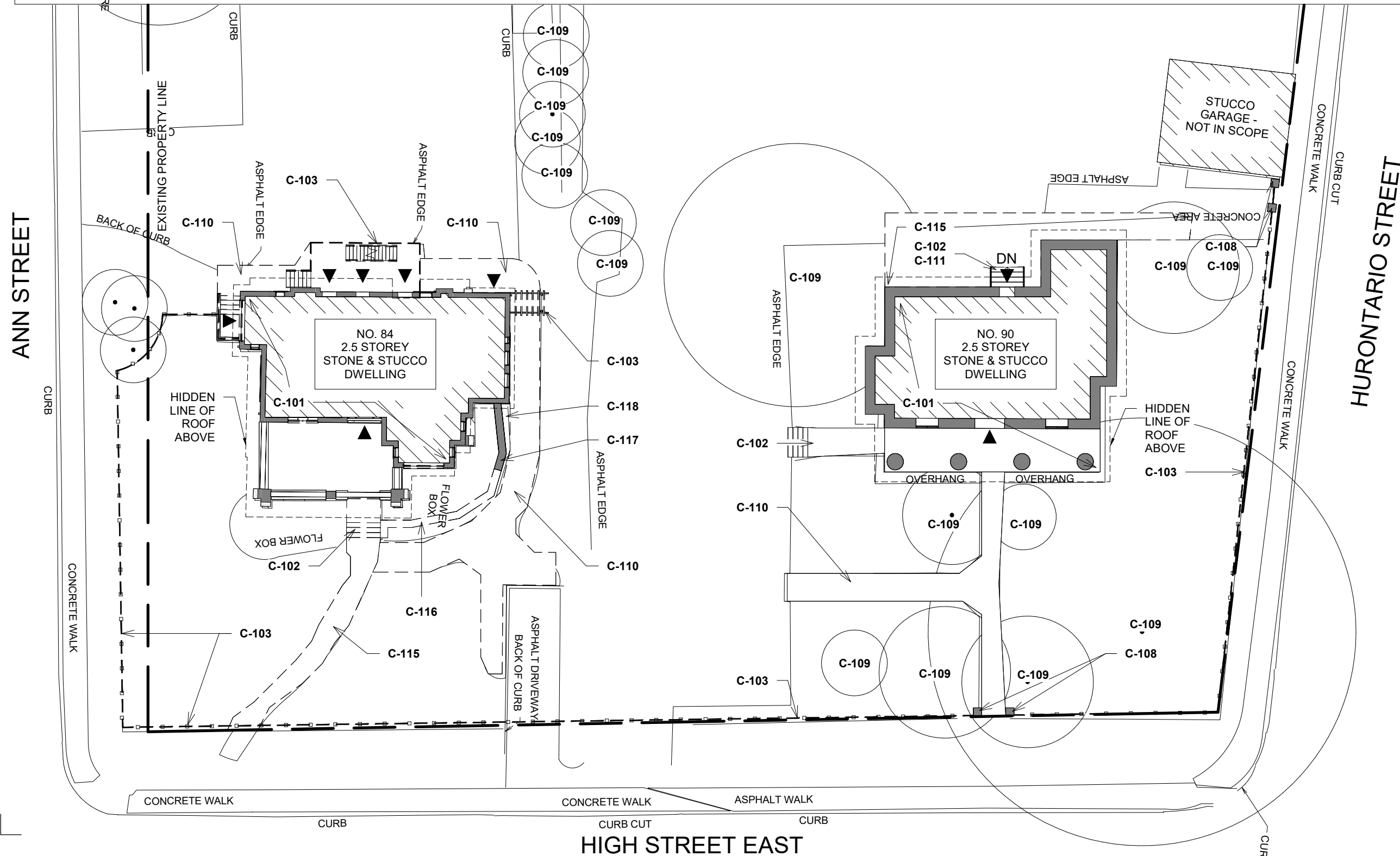
C-101 - Retain existing heritage building, in situ.  
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.  
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.

C-104 - Remove existing shingles and flashing.  
 C-105 - Remove existing metal gutters and downpipes.  
 C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.

C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.  
 C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.

C-109 - Protect existing mature trees on site during construction, refer to Arborist report.  
 C-110 - Remove and salvage exterior pavers for owner's use.  
 C-111 - Demolish and remove existing metal handrails.  
 C-112 - Remove screen door.  
 C-113 - Retain existing door or window in-situ.  
 C-114 - Retain existing shingles and flashing at 84 High Street East.

C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.  
 C-116 - Remove and salvage armour stone whole units for re-use.  
 C-117 - Retain existing armour stone.  
 C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.  
 C-119 - Cut existing dimple board back to storage.  
 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

- EXISTING BUILDING/LANDSCAPE ELEMENT
- DEMOLITION
- DEMOLITION BY HERITAGE CONTRACTOR
- EXISTING PROPERTY LINE
- EXISTING FENCE LINE

**E R A** info@eraarch.ca | www.eraarch.ca  
T: 416.963.4497 | F: 416.963.8761

625 Church St, Suite 600  
Toronto, Ontario, M4Y 2G1

**E.R.A. Architects Inc.**

Project

84 & 90 High Street East

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1:250

Drawn by RD, EL

Reviewed by JQ, MY

Drawing title

Site Plan\_Demolition -  
84 & 90 High St E

Sheet no.





**CP201**

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

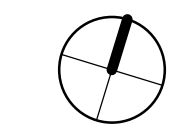
**NOT FOR CONSTRUCTION**

**LEGEND**

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR
	NOT IN SCOPE



info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

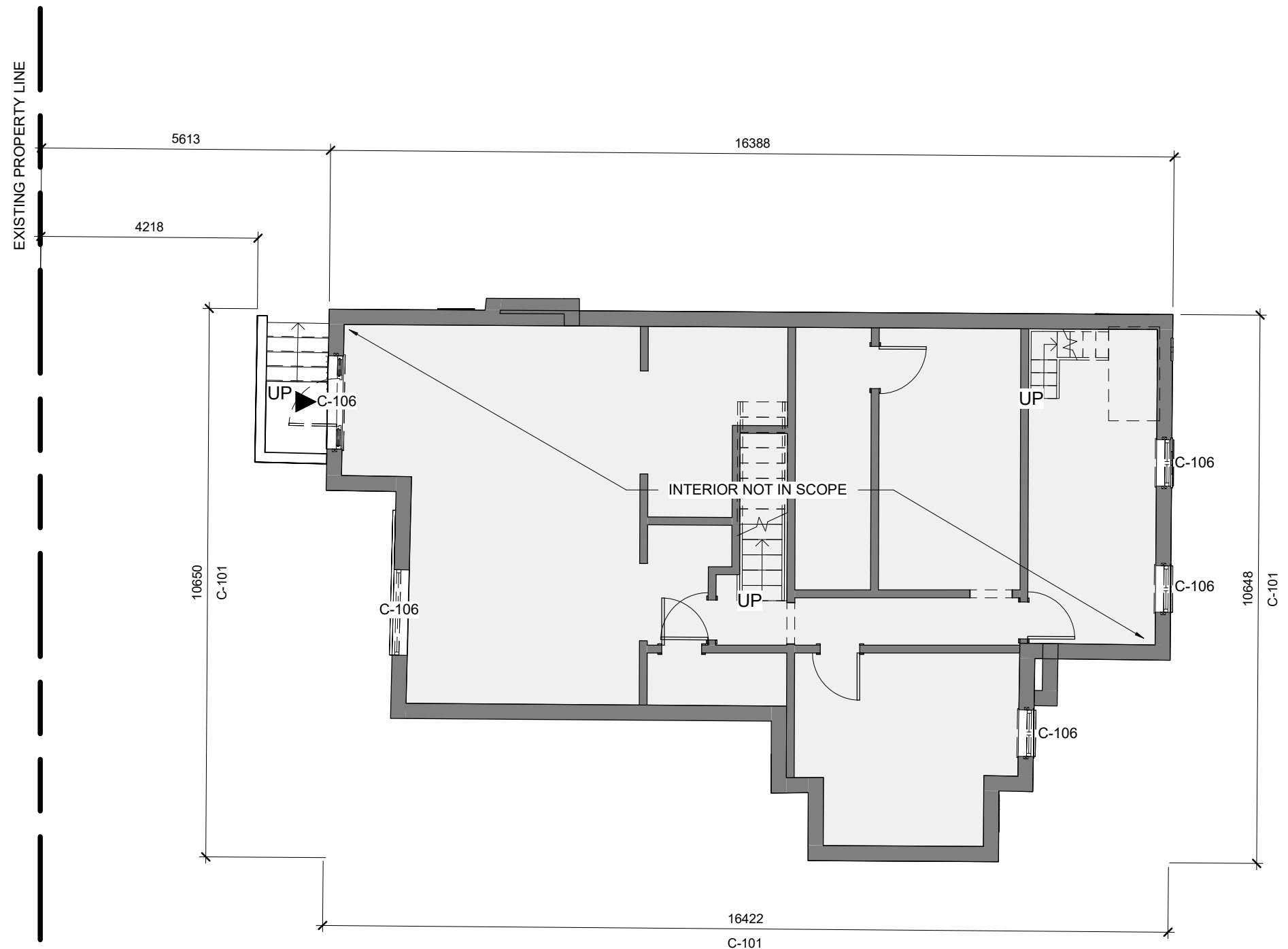
Basement Floor Plan\_Demolition -  
84 High St E

Sheet no. **CP202**

**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

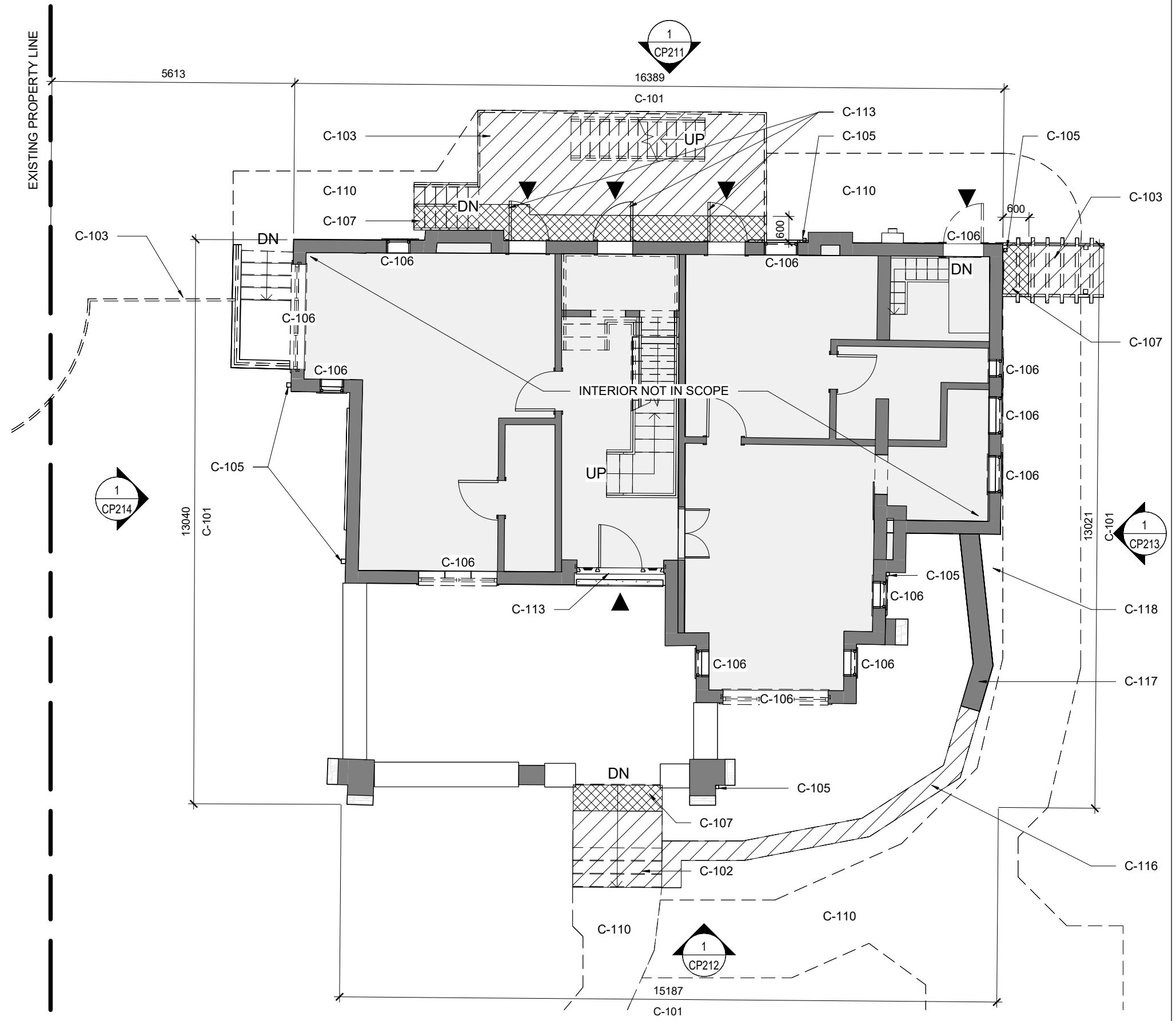
- C-100 - SALVAGE + DEMOLITION + STABILIZATION**
- C-101 - Retain existing heritage building, in situ.
  - C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
  - C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
  - C-104 - Remove existing shingles and flashing.
  - C-105 - Remove existing metal gutters and downpipes.
  - C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
  - C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
  - C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
  - C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
  - C-110 - Remove and salvage exterior pavers for owner's use.
  - C-111 - Demolish and remove existing metal handrails.
  - C-112 - Remove screen door.
  - C-113 - Retain existing door or window in-situ.
  - C-114 - Retain existing shingles and flashing at 84 High Street East.
  - C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
  - C-116 - Remove and salvage armour stone whole units for re-use.
  - C-117 - Retain existing armour stone.
  - C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
  - C-119 - Cut existing dimple board back to grade.
  - C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

- C-100 - SALVAGE + DEMOLITION + STABILIZATION**
- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

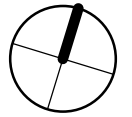
NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR
	NOT IN SCOPE

info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

Ground Floor Plan\_Demolition -  
 84 High St E

Sheet no.

**CP203**

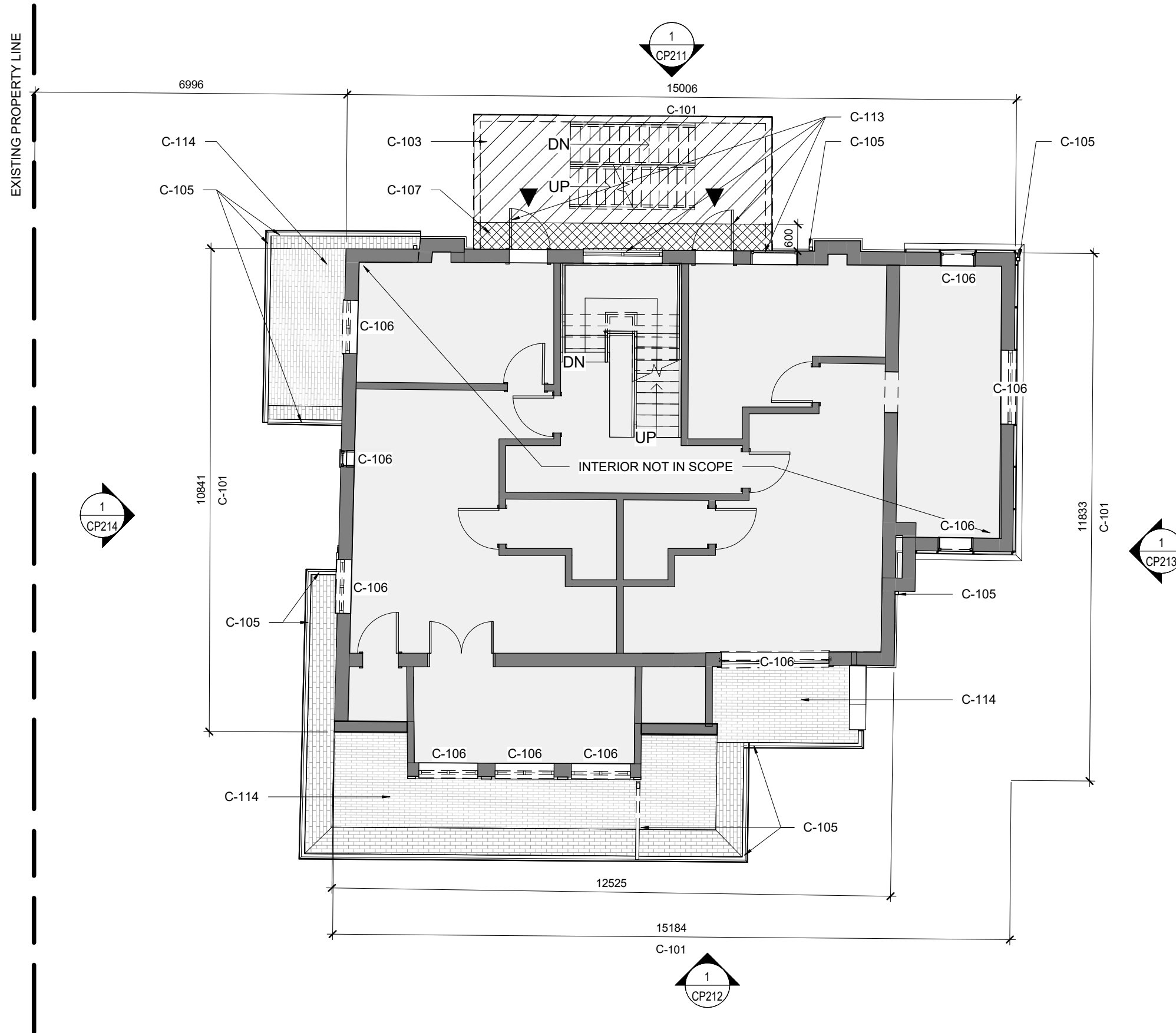


**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

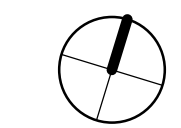
NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR
	NOT IN SCOPE

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

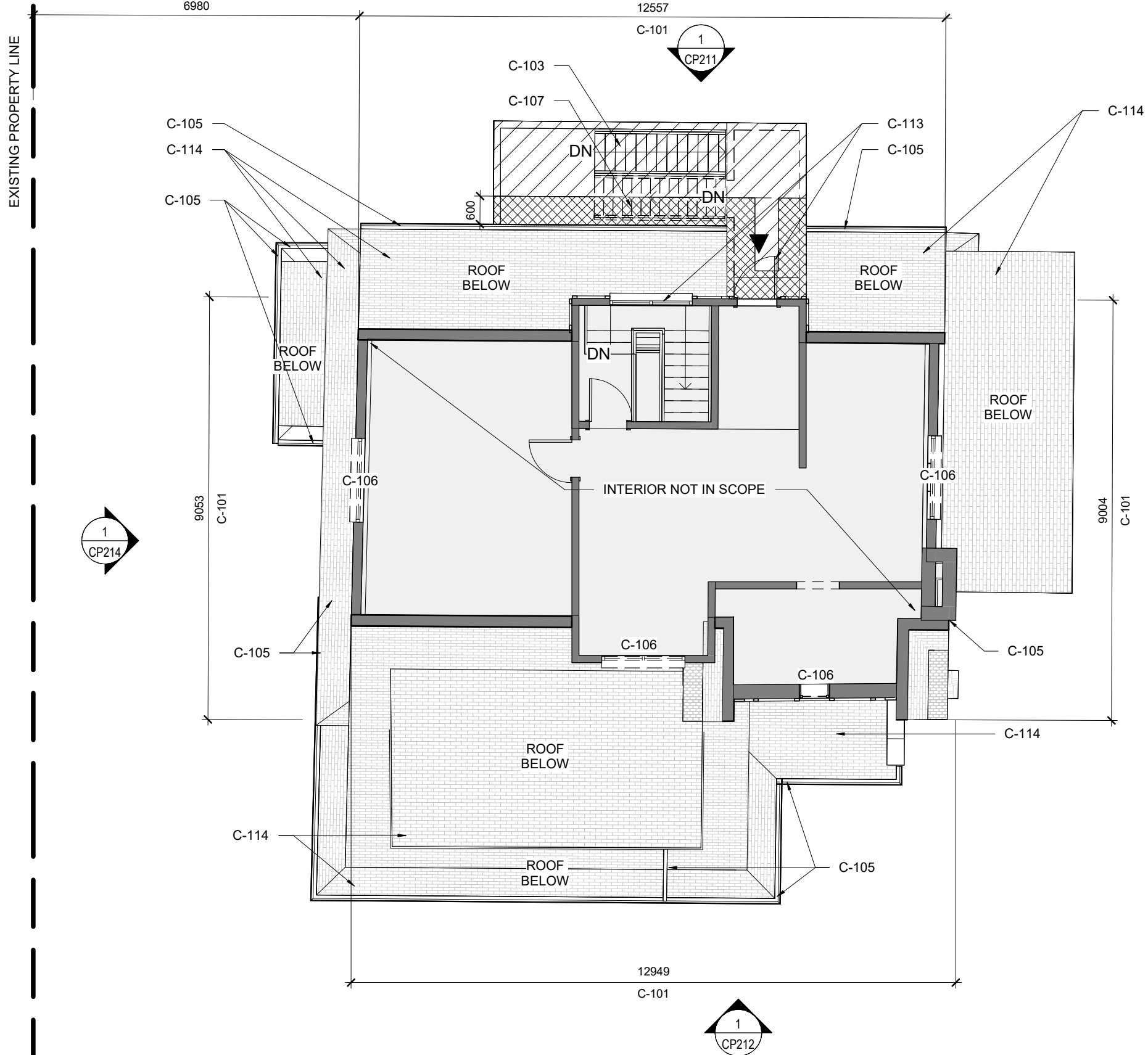
Second Floor Plan\_Demolition -  
 84 High St E

Sheet no.  
**CP204**

**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

- C-100 - SALVAGE + DEMOLITION + STABILIZATION**
- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

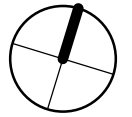
**LEGEND**

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR
	NOT IN SCOPE

**E R A** info@eraarch.ca | www.eraarch.ca  
T: 416.963.4497 | F: 416.963.8761

625 Church St, Suite 600  
Toronto, Ontario, M4Y 2G1

**E.R.A. Architects Inc.**



Project  
**84 & 90 High Street East**

Address **84 & 90 High St E, Mississauga, ON L5G 1K4**

For **10 WEST GO LP**

Project no. **21-110-04**

Scale at 11x17 **1:100**

Drawn by **RD, EL**

Reviewed by **JQ, MY**

Drawing title

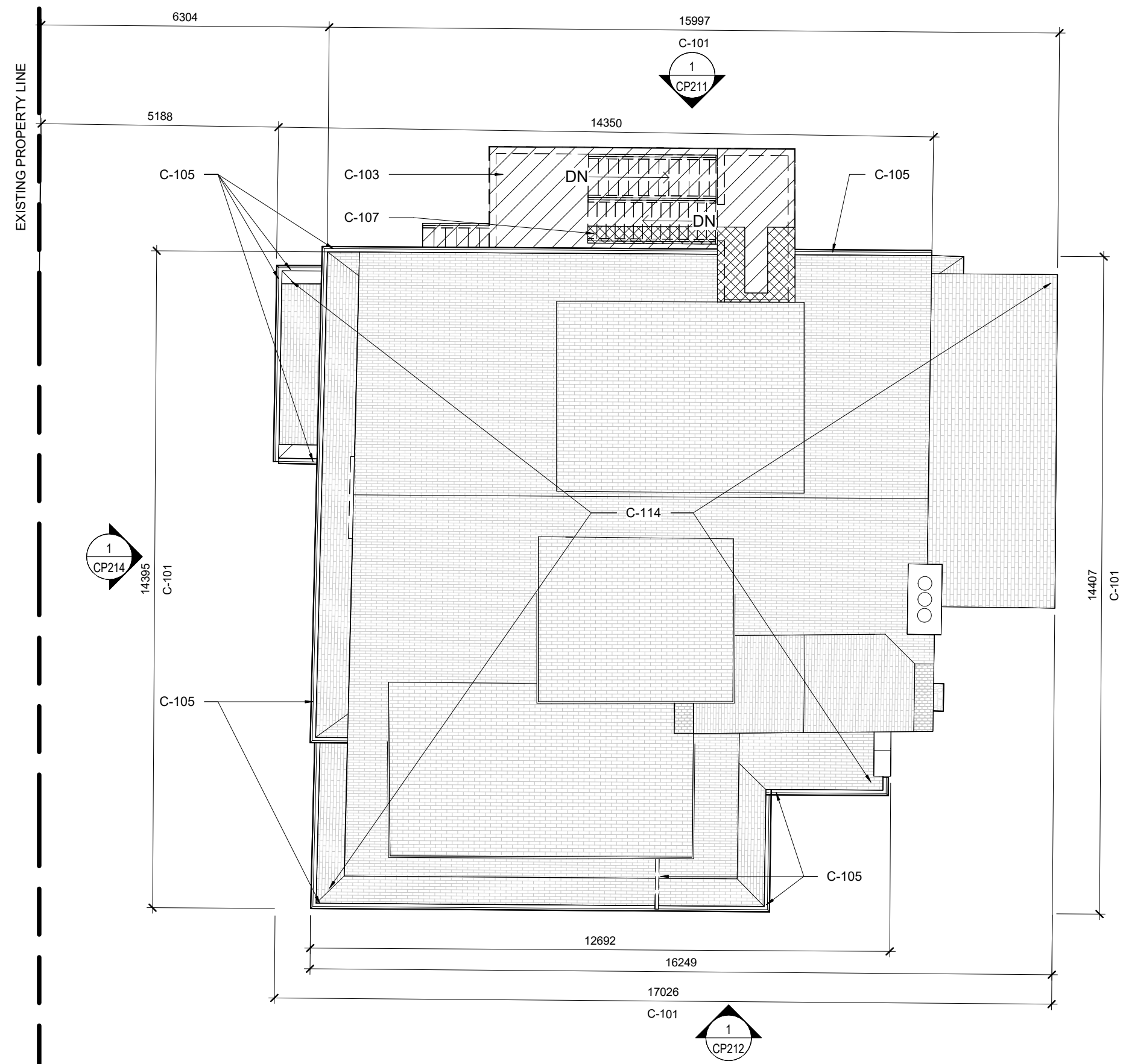
**Third Floor Plan\_Demolition -  
84 High St E**

Sheet no.  
**CP205**

**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

- C-100 - SALVAGE + DEMOLITION + STABILIZATION**  
 C-101 - Retain existing heritage building, in situ.  
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.  
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.  
 C-104 - Remove existing shingles and flashing.  
 C-105 - Remove existing metal gutters and downpipes.  
 C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.  
 C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.  
 C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.  
 C-109 - Protect existing mature trees on site during construction, refer to Arborist report.  
 C-110 - Remove and salvage exterior pavers for owner's use.  
 C-111 - Demolish and remove existing metal handrails.  
 C-112 - Remove screen door.  
 C-113 - Retain existing door or window in-situ.  
 C-114 - Retain existing shingles and flashing at 84 High Street East.  
 C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.  
 C-116 - Remove and salvage armour stone whole units for re-use.  
 C-117 - Retain existing armour stone.  
 C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.  
 C-119 - Cut existing dimple board back to grade.  
 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

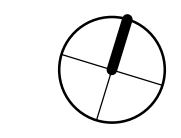
NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

Roof Plan\_Demolition -  
 84 High St E

Sheet no.  
**CP206**

**CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

C-101 - Retain existing heritage building, in situ.  
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.  
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.  
 C-104 - Remove existing shingles and flashing.  
 C-105 - Remove existing metal gutters and downpipes.  
 C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.

C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.  
 C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.

C-109 - Protect existing mature trees on site during construction, refer to Arborist report.  
 C-110 - Remove and salvage exterior pavers for owner's use.  
 C-111 - Demolish and remove existing metal handrails.  
 C-112 - Remove screen door.  
 C-113 - Retain existing door or window in-situ.  
 C-114 - Retain existing shingles and flashing at 84 High Street East.




C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.  
 C-116 - Remove and salvage armour stone whole units for re-use.  
 C-117 - Retain existing armour stone.  
 C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.  
 C-119 - Cut existing dimple board back to grade.  
 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

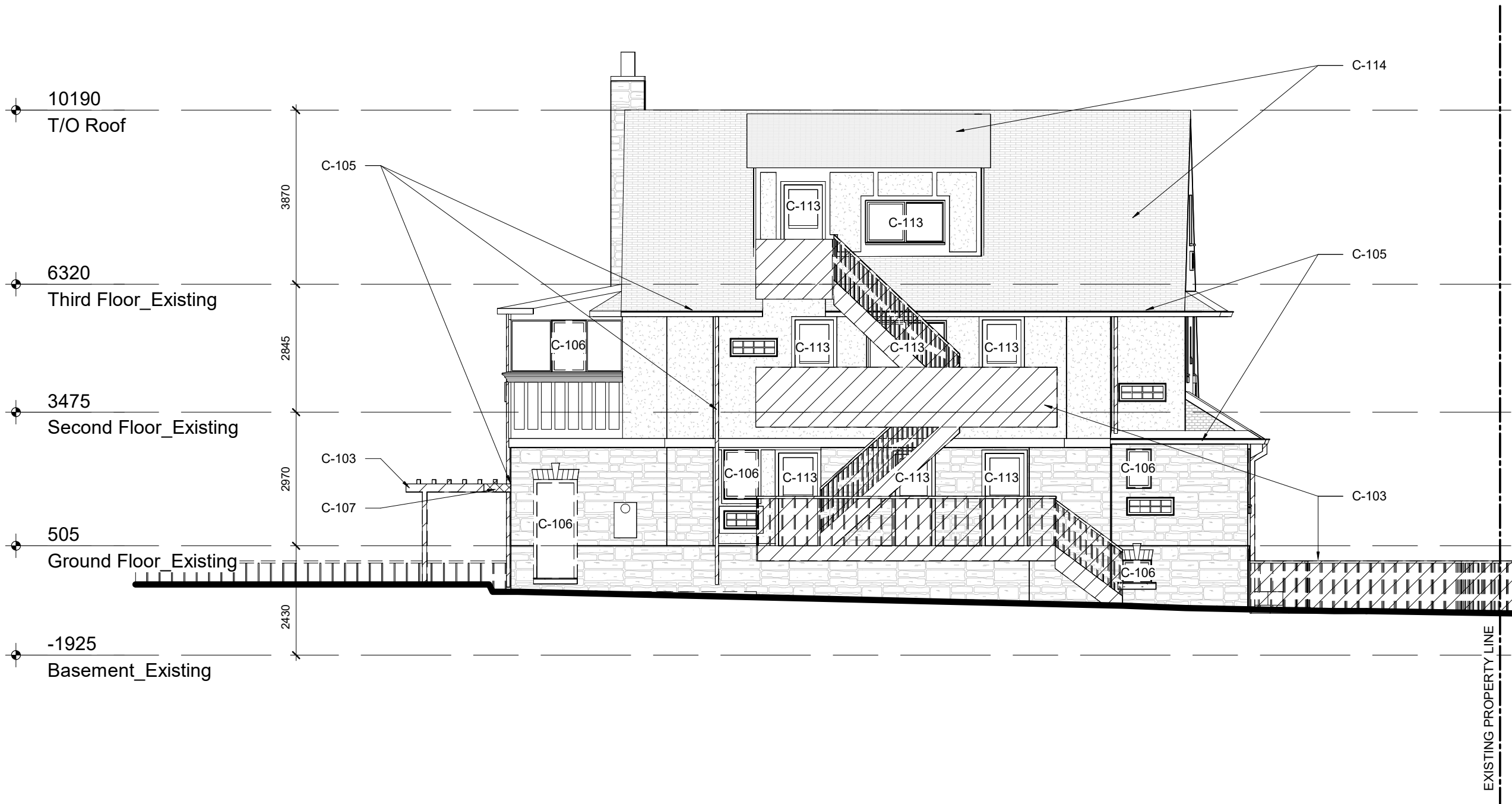
NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

-  EXISTING
-  DEMOLITION
-  DEMOLITION BY HERITAGE CONTRACTOR

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	North Elevation_Demolition - 84 High St E

Sheet no.

**CP211**

**CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

C-101 - Retain existing heritage building, in situ.  
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.  
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.

C-104 - Remove existing shingles and flashing.  
 C-105 - Remove existing metal gutters and downpipes.  
 C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.

C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.  
 C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.

C-109 - Protect existing mature trees on site during construction, refer to Arborist report.  
 C-110 - Remove and salvage exterior pavers for owner's use.  
 C-111 - Demolish and remove existing metal handrails.  
 C-112 - Remove screen door.  
 C-113 - Retain existing door or window in-situ.  
 C-114 - Retain existing shingles and flashing at 84 High Street East.


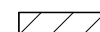

C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.  
 C-116 - Remove and salvage armour stone whole units for re-use.  
 C-117 - Retain existing armour stone.  
 C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.  
 C-119 - Cut existing dimple board back to grade.  
 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

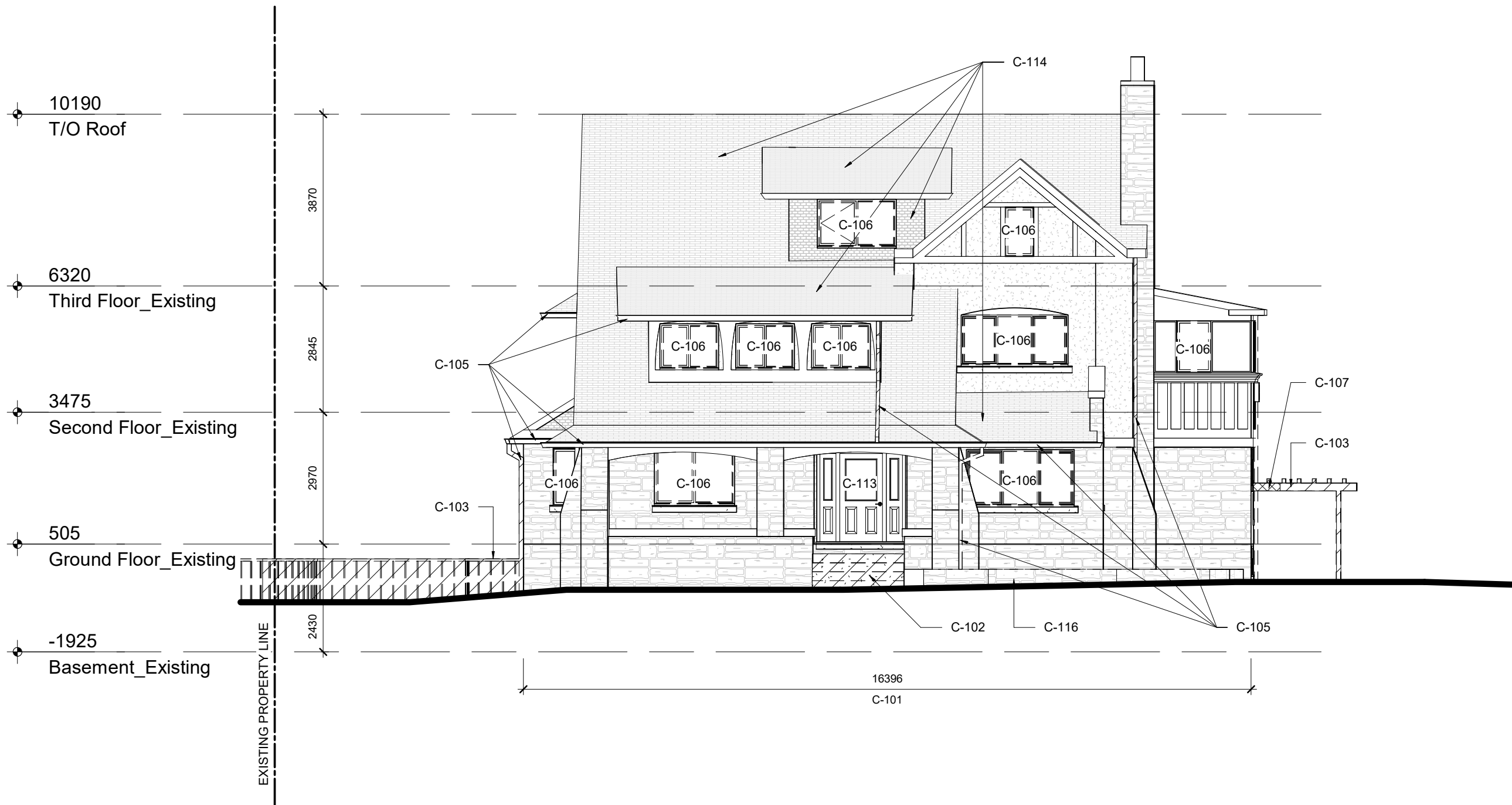
This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

-  EXISTING
-  DEMOLITION
-  DEMOLITION BY HERITAGE CONTRACTOR



**E R A** info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Elevation_Demolition - 84 High St E

Sheet no.

**CP212**

**CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

C-101 - Retain existing heritage building, in situ.  
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.  
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.  
 C-104 - Remove existing shingles and flashing.  
 C-105 - Remove existing metal gutters and downpipes.  
 C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.

C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.  
 C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.

C-109 - Protect existing mature trees on site during construction, refer to Arborist report.  
 C-110 - Remove and salvage exterior pavers for owner's use.  
 C-111 - Demolish and remove existing metal handrails.  
 C-112 - Remove screen door.  
 C-113 - Retain existing door or window in-situ.  
 C-114 - Retain existing shingles and flashing at 84 High Street East.




C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.  
 C-116 - Remove and salvage armour stone whole units for re-use.  
 C-117 - Retain existing armour stone.  
 C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.  
 C-119 - Cut existing dimple board back to grade.  
 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

-  EXISTING
-  DEMOLITION
-  DEMOLITION BY HERITAGE CONTRACTOR



**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Elevation_Demolition - 84 High St E

Sheet no.

**CP213**



**CONSERVATION NOTES: SALVAGE, DEMOLITION, AND STABILIZATION WORK**

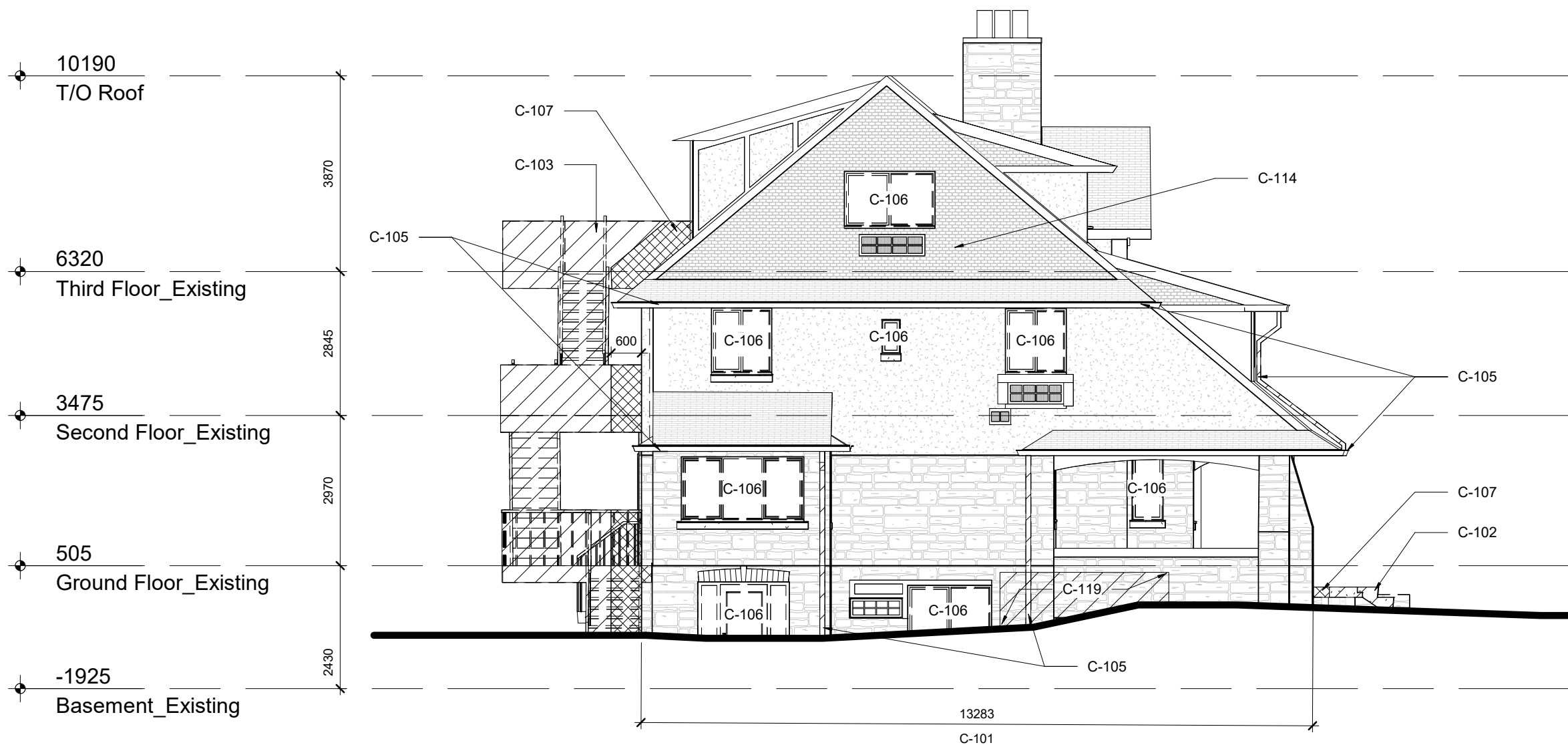
**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

C-101 - Retain existing heritage building, in situ.  
 C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.  
 C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.  
 C-104 - Remove existing shingles and flashing.  
 C-105 - Remove existing metal gutters and downpipes.  
 C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.

C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.  
 C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.

C-109 - Protect existing mature trees on site during construction, refer to Arborist report.  
 C-110 - Remove and salvage exterior pavers for owner's use.  
 C-111 - Demolish and remove existing metal handrails.  
 C-112 - Remove screen door.  
 C-113 - Retain existing door or window in-situ.  
 C-114 - Retain existing shingles and flashing at 84 High Street East.

C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.  
 C-116 - Remove and salvage armour stone whole units for re-use.  
 C-117 - Retain existing armour stone.  
 C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.  
 C-119 - Cut existing dimple board back to grade.  
 C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR

**E R A** info@eraarch.ca | www.eraarch.ca  
T: 416.963.4497 | F: 416.963.8761

625 Church St, Suite 600  
Toronto, Ontario, M4Y 2G1

**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	1:100
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	West Elevation_Demolition - 84 High St E

**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**


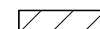

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

-  EXISTING
-  DEMOLITION
-  DEMOLITION BY HERITAGE CONTRACTOR



**E R A** info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Elevation_Demolition - 90 High St E

Sheet no.

**CP221**



**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

- C-100 - SALVAGE + DEMOLITION + STABILIZATION**
- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



**SOUTH STONE PIERS - SOUTH ELEVATION**

NTS

1  
CP222



**SOUTH STONE PIERS - NORTH ELEVATION**

NTS

2  
CP222

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

- EXISTING
- DEMOLITION
- DEMOLITION BY HERITAGE CONTRACTOR

**E R A** info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Stone Piers_Demolition - 90 High St E

Sheet no.

**CP222**



**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



**EAST ELEVATION (NORTH END - DETAIL)** 2  
NTS CP223



**EAST ELEVATION (SOUTH END)** 1  
NTS CP223

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

- EXISTING
- DEMOLITION
- DEMOLITION BY HERITAGE CONTRACTOR

**E R A** info@eraarch.ca | www.eraarch.ca  
T: 416.963.4497 | F: 416.963.8761  
625 Church St, Suite 600  
Toronto, Ontario, M4Y 2G1

**E.R.A. Architects Inc.**

Project  
**84 & 90 High Street East**

Address **84 & 90 High St E, Mississauga, ON L5G 1K4**

For **10 WEST GO LP**

Project no. **21-110-04**

Scale at 11x17 **NTS**

Drawn by **RD, EL**

Reviewed by **JQ, MY**

Drawing title

**East Elevation\_Demolition - 90 High St E**

Sheet no.

**CP223**

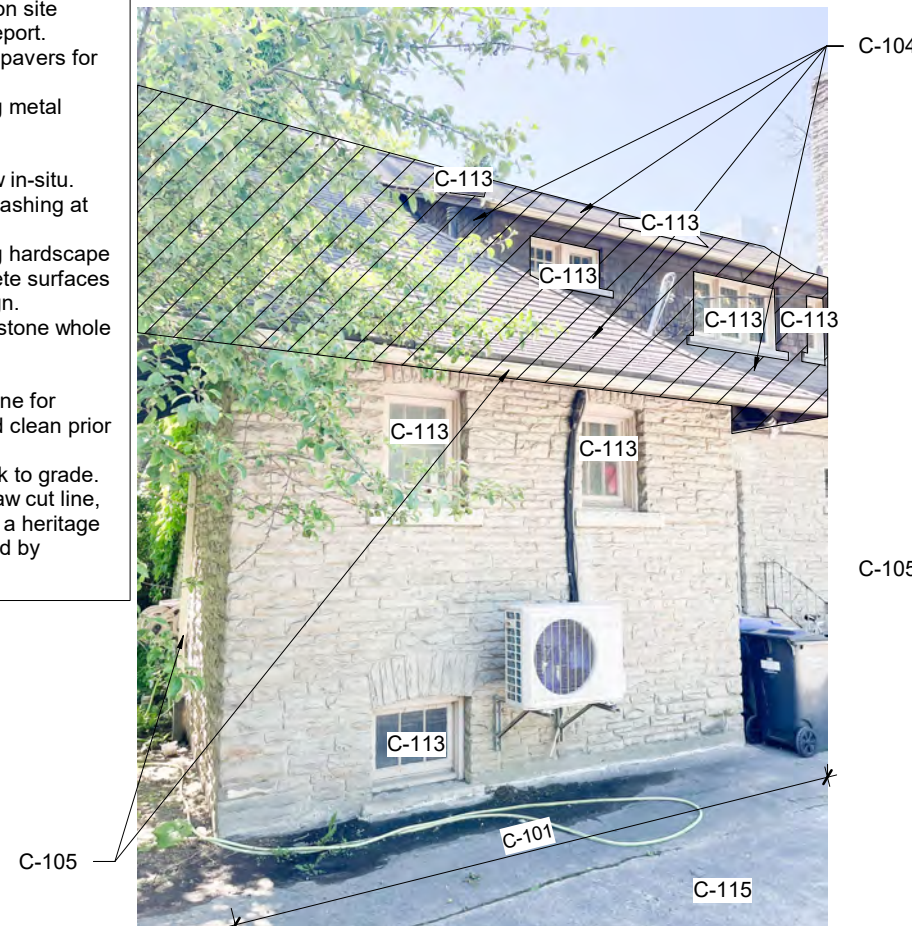


**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



**NORTH ELEVATION (EAST END - DETAIL)** 2  
NTS CP224



**NORTH ELEVATION** 1  
NTS CP224

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

- EXISTING
- DEMOLITION
- DEMOLITION BY HERITAGE CONTRACTOR

**E R A** info@eraarch.ca | www.eraarch.ca  
T: 416.963.4497 F: 416.963.8761  
625 Church St, Suite 600  
Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	North Elevation_Demolition - 90 High St E

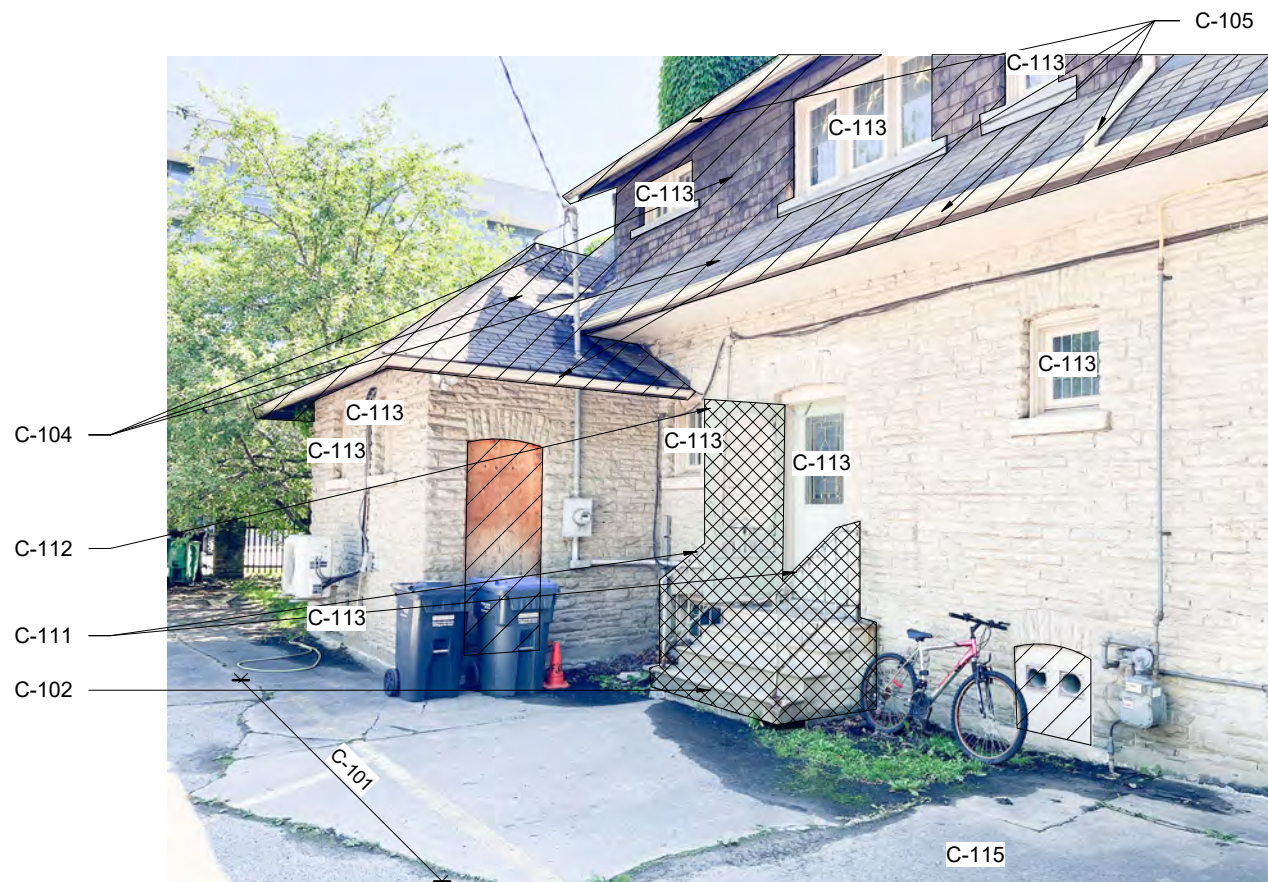


**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).

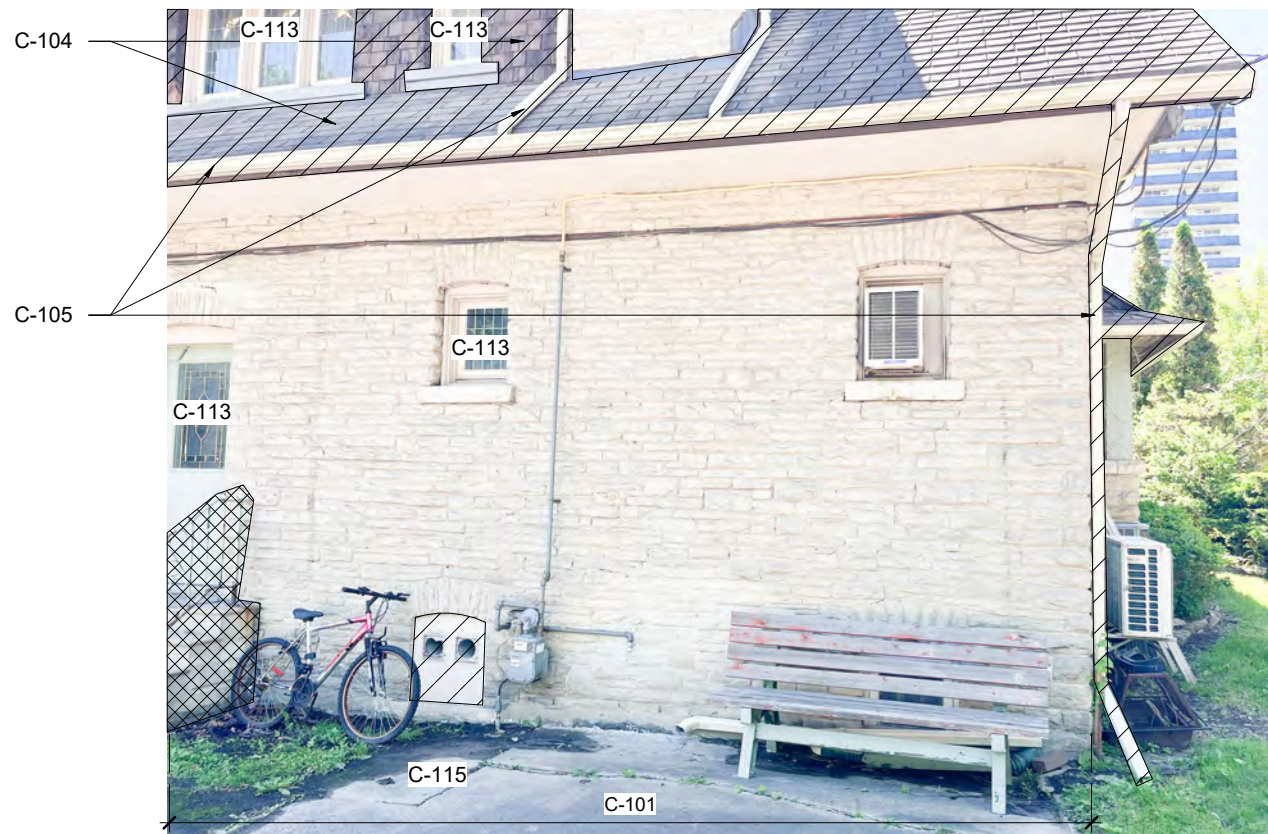


**NORTH ELEVATION (LOOKING EAST)**

1

NTS

CP225



**NORTH ELEVATION (WEST END - DETAIL)**

2

NTS

CP225

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

- EXISTING
- DEMOLITION
- DEMOLITION BY HERITAGE CONTRACTOR

**E R A** info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	North Elevation_Demolition - 90 High St E

Sheet no.

**CP225**



**CONSERVATION NOTES:**

**SALVAGE, DEMOLITION, AND STABILIZATION WORK**

**C-100 - SALVAGE + DEMOLITION + STABILIZATION**

- C-101 - Retain existing heritage building, in situ.
- C-102 - Demolish and remove existing concrete stairs and landing, minimize damage to the heritage fabric to be retained in situ.
- C-103 - Remove fencing, exterior stairs, wood deck, utility services and unsympathetic construction, minimize damage to the heritage fabric to be retained in situ.
- C-104 - Remove existing shingles and flashing.
- C-105 - Remove existing metal gutters and downpipes.
- C-106 - Remove all windows and doors, unless otherwise noted. Minimize damage to original brick face and sills to be retained in situ. Provide weather protection and bracing at existing openings, as required.
- C-107 - Area between retention and saw cut line, +/-600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural). Install robust temporary weather protection, mechanically fastened over entire surface and edges of exposed walls, cap walls and openings with robust protection and temporary painted metal flashings.
- C-108 - Retain existing stone piers, in situ, at 90 High Street E. Remove building numbers '90' from south stone piers.
- C-109 - Protect existing mature trees on site during construction, refer to Arborist report.
- C-110 - Remove and salvage exterior pavers for owner's use.
- C-111 - Demolish and remove existing metal handrails.
- C-112 - Remove screen door.
- C-113 - Retain existing door or window in-situ.
- C-114 - Retain existing shingles and flashing at 84 High Street East.
- C-115 - Demolish and remove existing hardscape elements including asphalt and concrete surfaces to accommodate new landscape design.
- C-116 - Remove and salvage armour stone whole units for re-use.
- C-117 - Retain existing armour stone.
- C-118 - Remove and salvage river stone for owner's use. Separate from debris and clean prior to storage.
- C-119 - Cut existing dimple board back to grade.
- C-120 - Area between retention and saw cut line, +/- 600mm to be removed carefully by a heritage contractor (saw cut line to be confirmed by structural).



**EAST ELEVATION (EAST STONE PIER)** 4  
NTS CP226



**EAST ELEVATION (EAST STONE PIER)** 3  
NTS CP226



**EAST ELEVATION** 2  
NTS CP226



**WEST ELEVATION** 1  
NTS CP226

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

	EXISTING
	DEMOLITION
	DEMOLITION BY HERITAGE CONTRACTOR

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East and West Elevations Demolition - 90 High St E



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

- C-201 Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 Retain existing window openings, repair as required before installing new windows.
- C-203 Retain existing door openings, repair as required before installing new doors.
- C-204 Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 Repoint stone at façade elevations as required.
- C-206 Repair mortar joint cracks in masonry.
- C-207 Repair existing stucco.

- C-208 Install new stucco to match existing.
- C-209 Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.

- C-214 Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstall planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**




- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

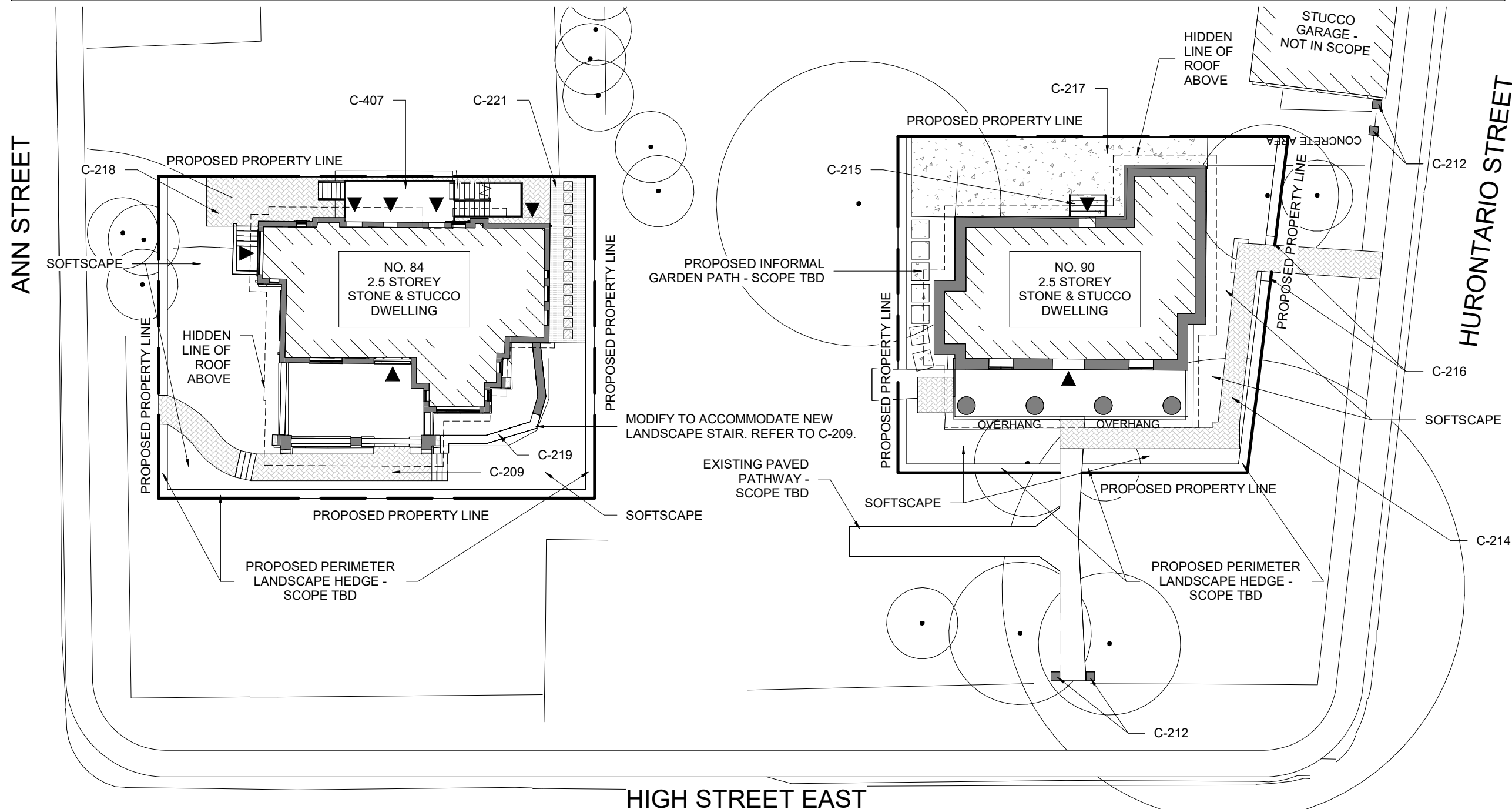
This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

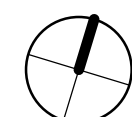
**NOT FOR CONSTRUCTION**

**LEGEND**

-  EXISTING BUILDING/LANDSCAPE ELEMENT
-  PROPOSED BUILDING/LANDSCAPE ELEMENT
-  PROPOSED PROPERTY LINE



**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

**84 & 90 High Street East**

Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:250  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

Site Plan\_Proposed -  
84 & 90 High St E

Sheet no.

**CP301**

**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

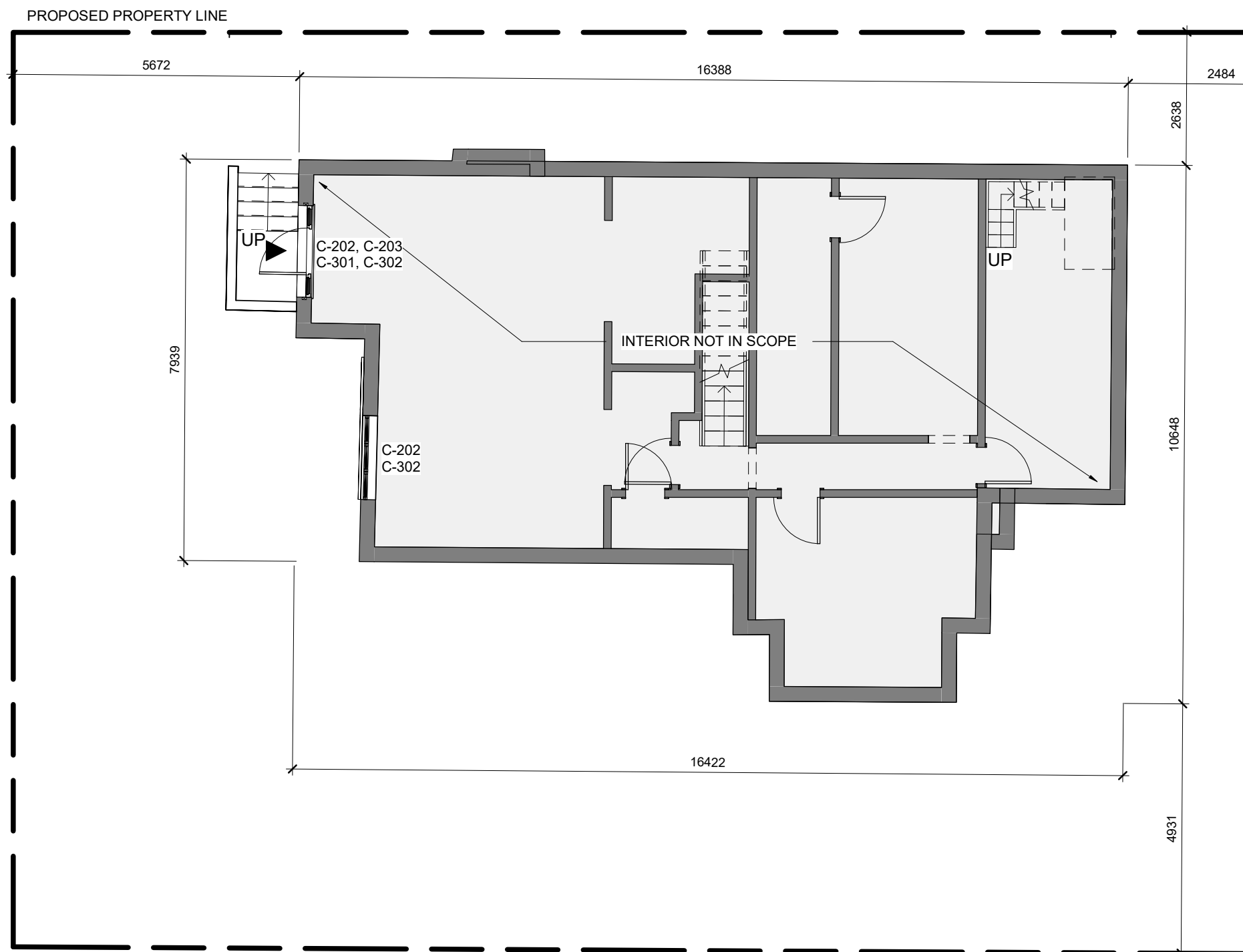
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

- EXISTING
- PROPOSED
- NOT IN SCOPE

**E R A** info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project	84 & 90 High Street East	
Address	84 & 90 High St E, Mississauga, ON L5G 1K4	
For	10 WEST GO LP	
Project no.	21-110-04	
Scale at 11x17	1:100	
Drawn by	RD, EL	
Reviewed by	JQ, MY	
Drawing title	Basement Floor Plan_Proposed - 84 High St E	

Sheet no.

**CP302**

**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

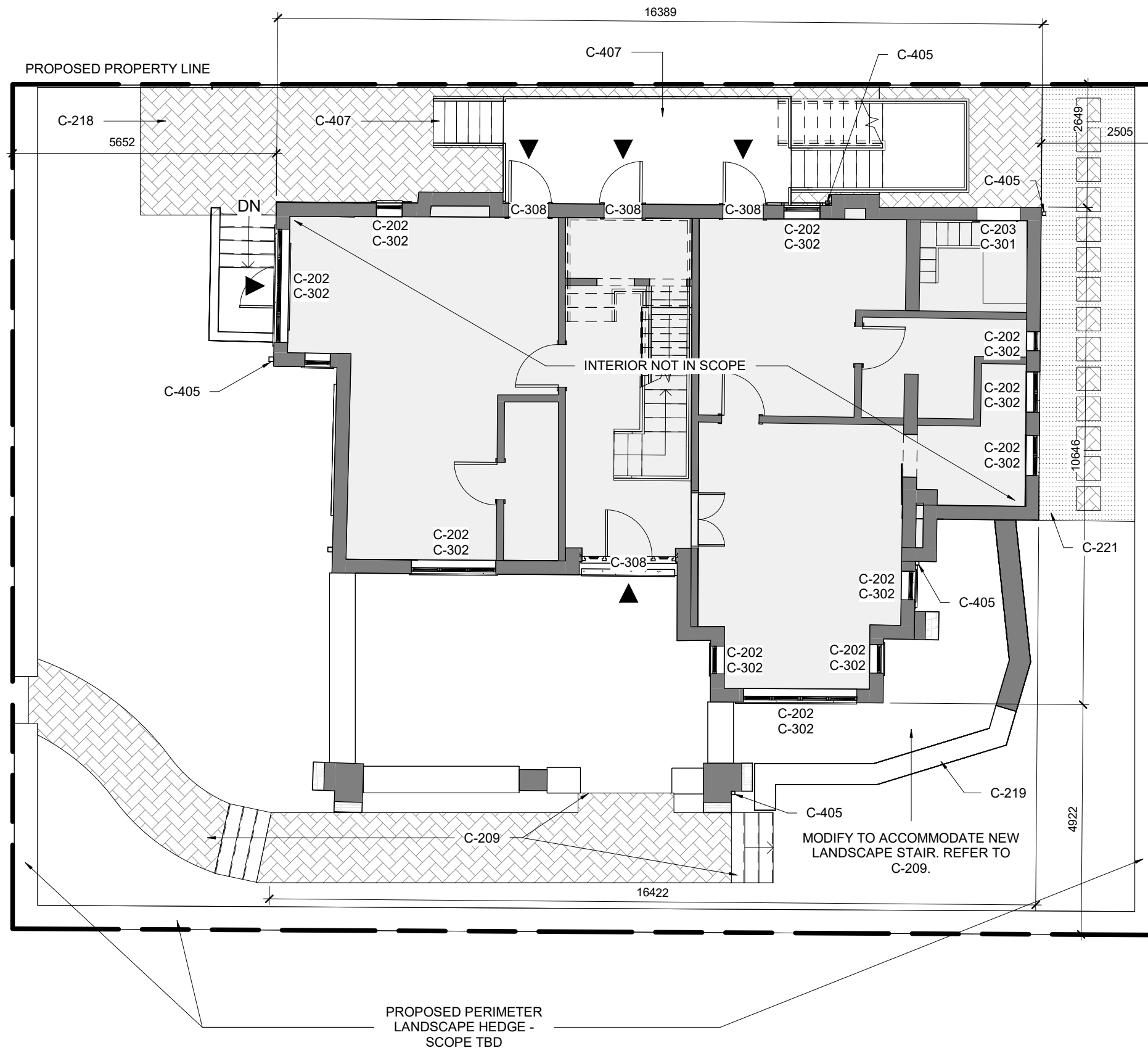
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstall planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

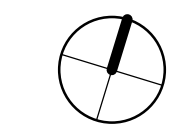
NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

	EXISTING
	PROPOSED
	NOT IN SCOPE

info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

84 & 90 High Street East

Address 84 & 90 High St E, Mississauga, ON L5G 1K4

For 10 WEST GO LP

Project no. 21-110-04

Scale at 11x17 1:100

Drawn by RD, EL

Reviewed by JQ, MY

Drawing title

Ground Floor Plan Proposed -  
84 High St E

Sheet no.

**CP303**



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

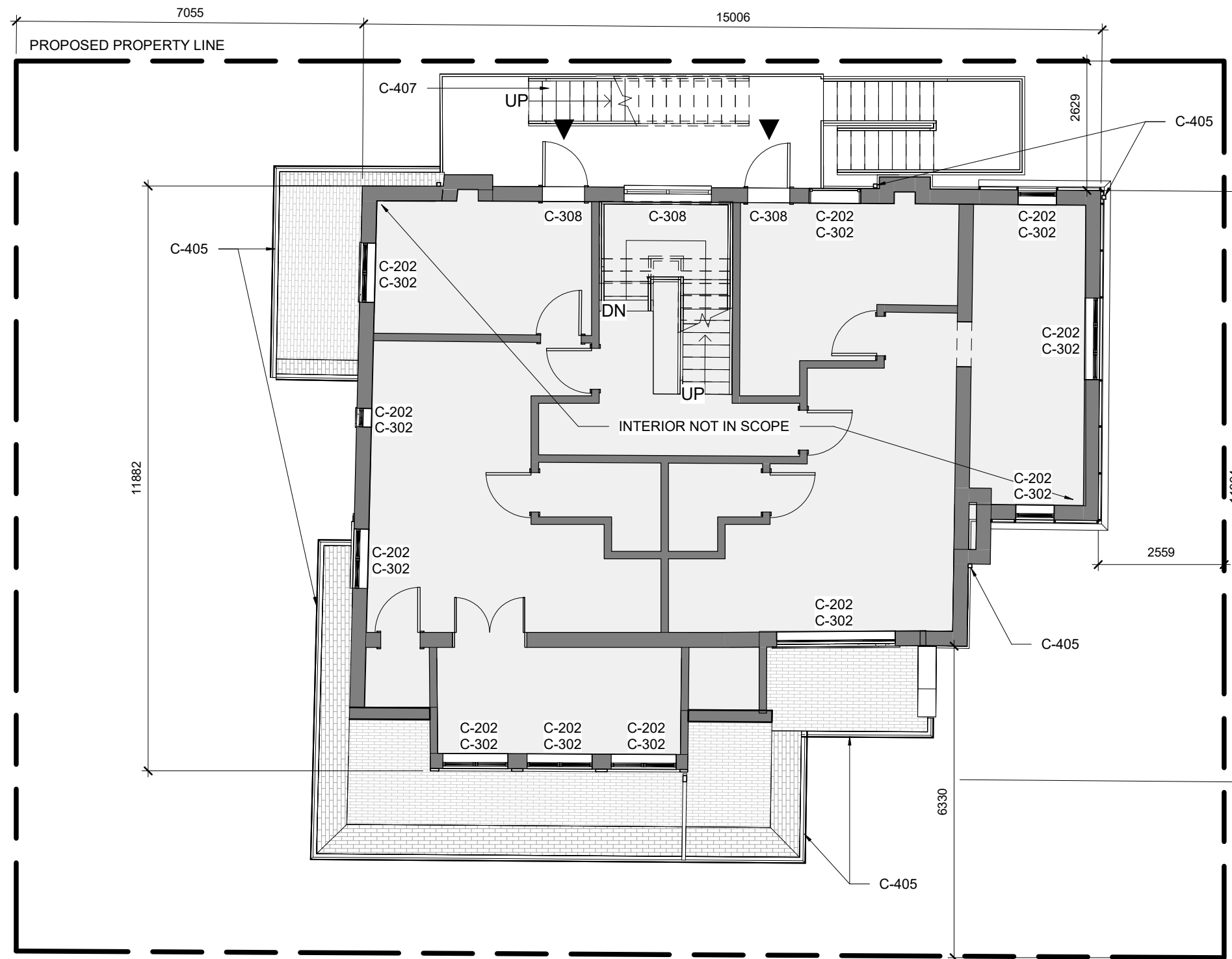
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

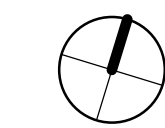
NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

- EXISTING
- PROPOSED
- NOT IN SCOPE

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

Second Floor Plan, Proposed -  
 84 High St E

Sheet no.

**CP304**

**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

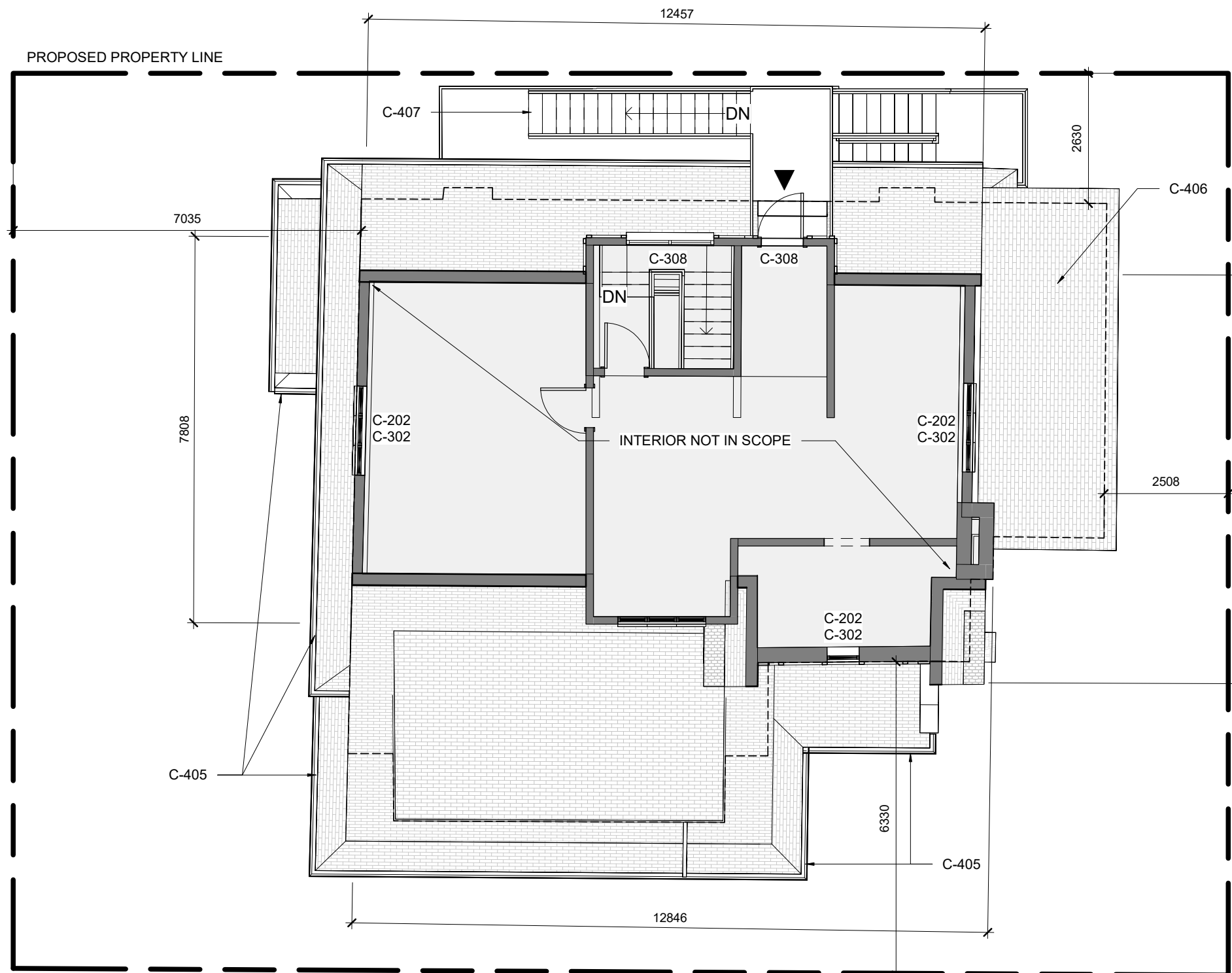
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

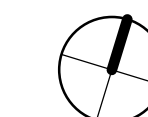
**LEGEND**

- EXISTING
- PROPOSED
- NOT IN SCOPE

**E R A** info@eraarch.ca | www.eraarch.ca  
T: 416.963.4497 | F: 416.963.8761

625 Church St, Suite 600  
Toronto, Ontario, M4Y 2G1

**E.R.A. Architects Inc.**



Project  
**84 & 90 High Street East**

Address **84 & 90 High St E, Mississauga, ON L5G 1K4**

For **10 WEST GO LP**

Project no. **21-110-04**

Scale at 11x17 **1:100**

Drawn by **RD, EL**

Reviewed by **JQ, MY**

Drawing title

**Third Floor Plan, Proposed -  
84 High St E**

Sheet no.

**CP305**

**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

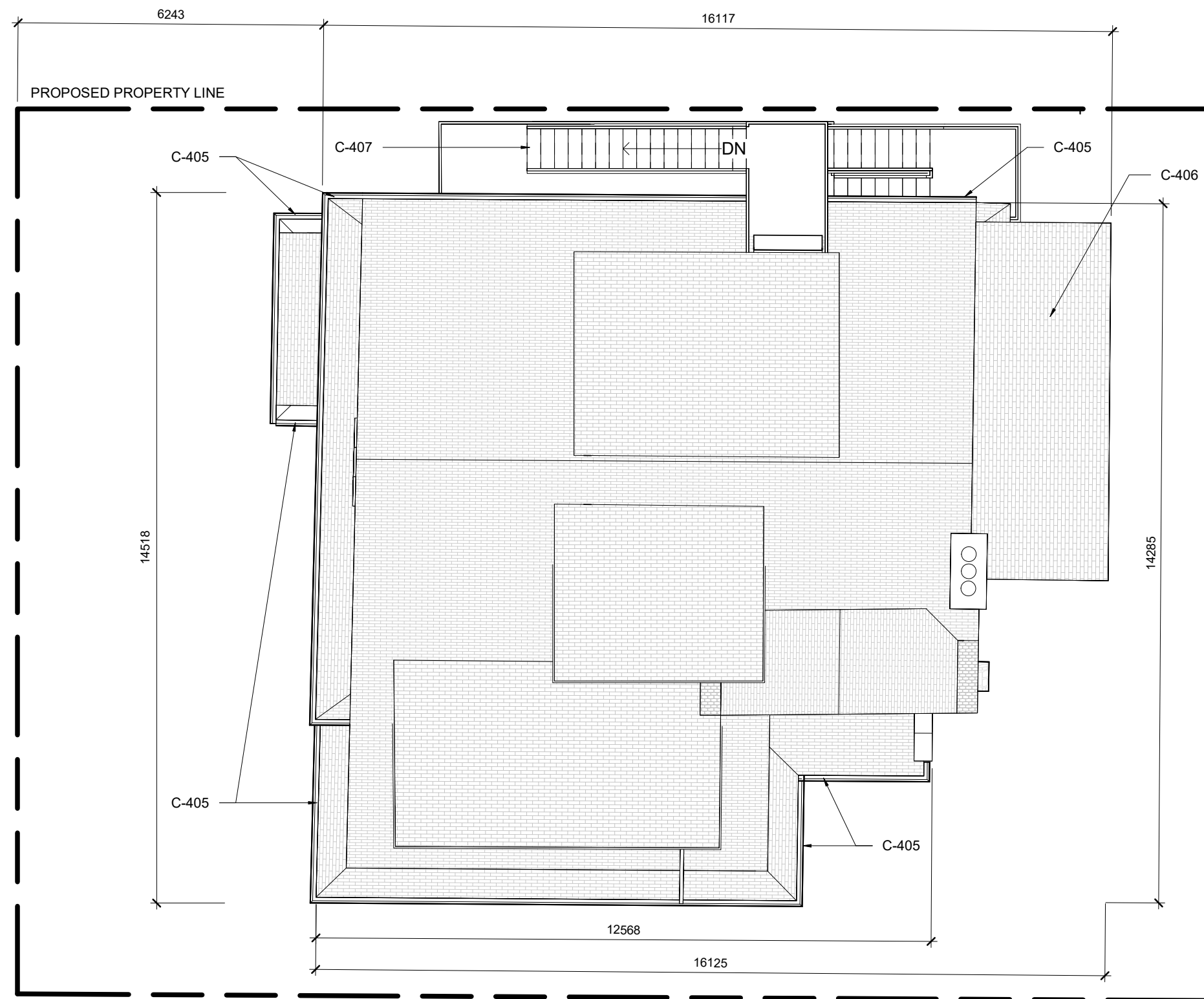
- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.
- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

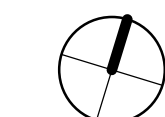
**LEGEND**

- EXISTING
- PROPOSED

**E R A** info@eraarch.ca | www.eraarch.ca  
T: 416.963.4497 | F: 416.963.8761

625 Church St, Suite 600  
Toronto, Ontario, M4Y 2G1

**E.R.A. Architects Inc.**



Project	84 & 90 High Street East	
Address	84 & 90 High St E, Mississauga, ON L5G 1K4	
For	10 WEST GO LP	
Project no.	21-110-04	
Scale at 11x17	1:100	
Drawn by	RD, EL	
Reviewed by	JQ, MY	
Drawing title	Roof Plan Proposed - 84 High St E	

Sheet no.

**CP306**

**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning: use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**









- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

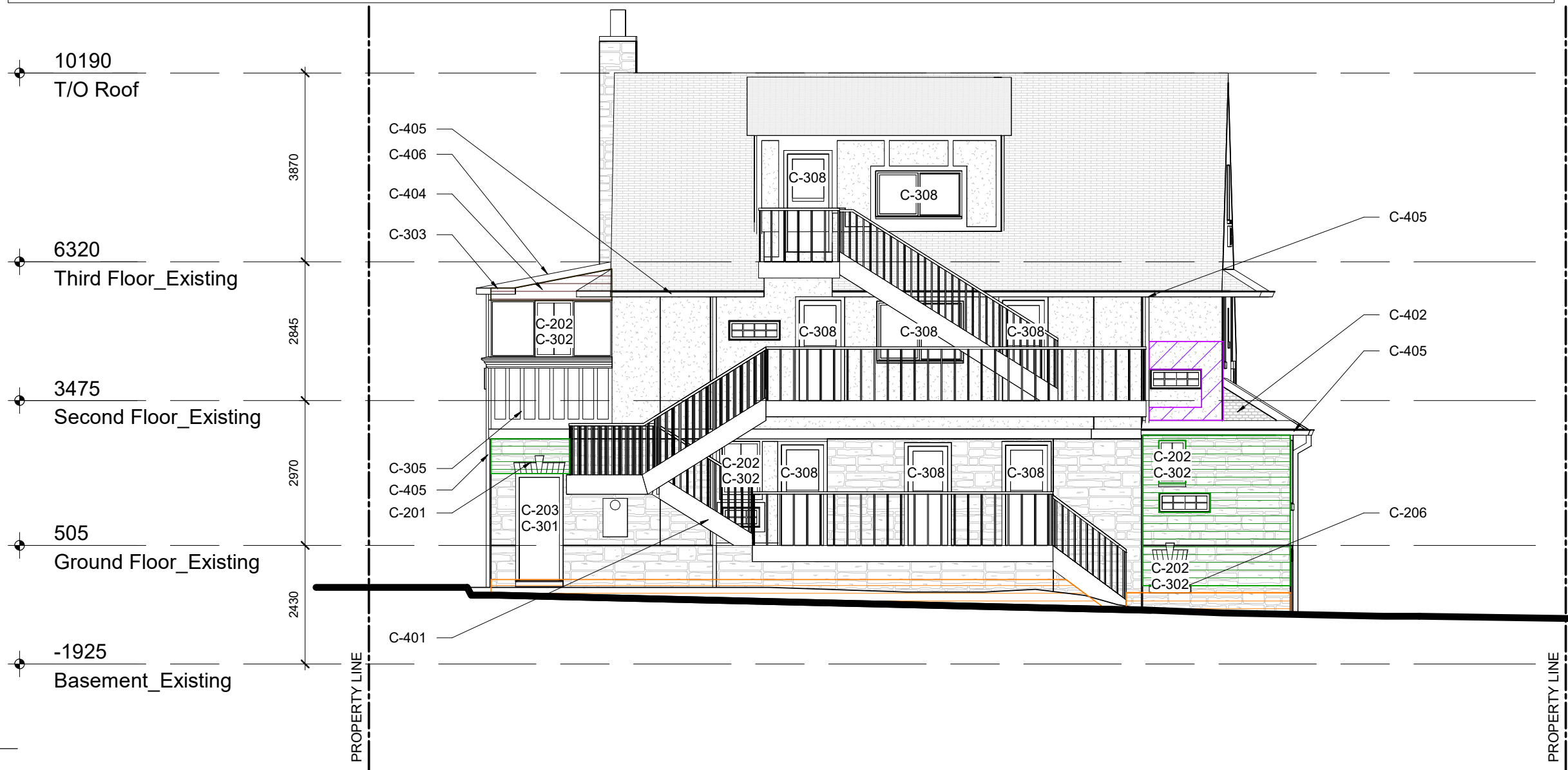
- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

North Elevation Proposed -  
 84 High St E

Sheet no.  
**CP311**



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.  
 C-202 - Retain existing window openings, repair as required before installing new windows.  
 C-203 - Retain existing door openings, repair as required before installing new doors.  
 C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.  
 C-205 - Repoint stone at façade elevations as required.  
 C-206 - Repair mortar joint cracks in masonry.  
 C-207 - Repair existing stucco.  
 C-208 - Install new stucco to match existing.  
 C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.  
 C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.  
 C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.  
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.  
 C-214 - Construct new accessible masonry landscape path/ramp.  
 C-215 - Construct new masonry stair, with metal handrails/guards as required.  
 C-216 - Construct new commemorative masonry piers.  
 C-217 - Construct new concrete pad.  
 C-218 - Construct new paved surface with new and salvaged pavers.  
 C-219 - Reinstate planter bed wall using salvaged armour stone.  
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.  
 C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**




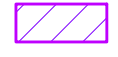




C-301 - Install new doors.  
 C-302 - Install new wood windows, to match heritage profile.  
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.  
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

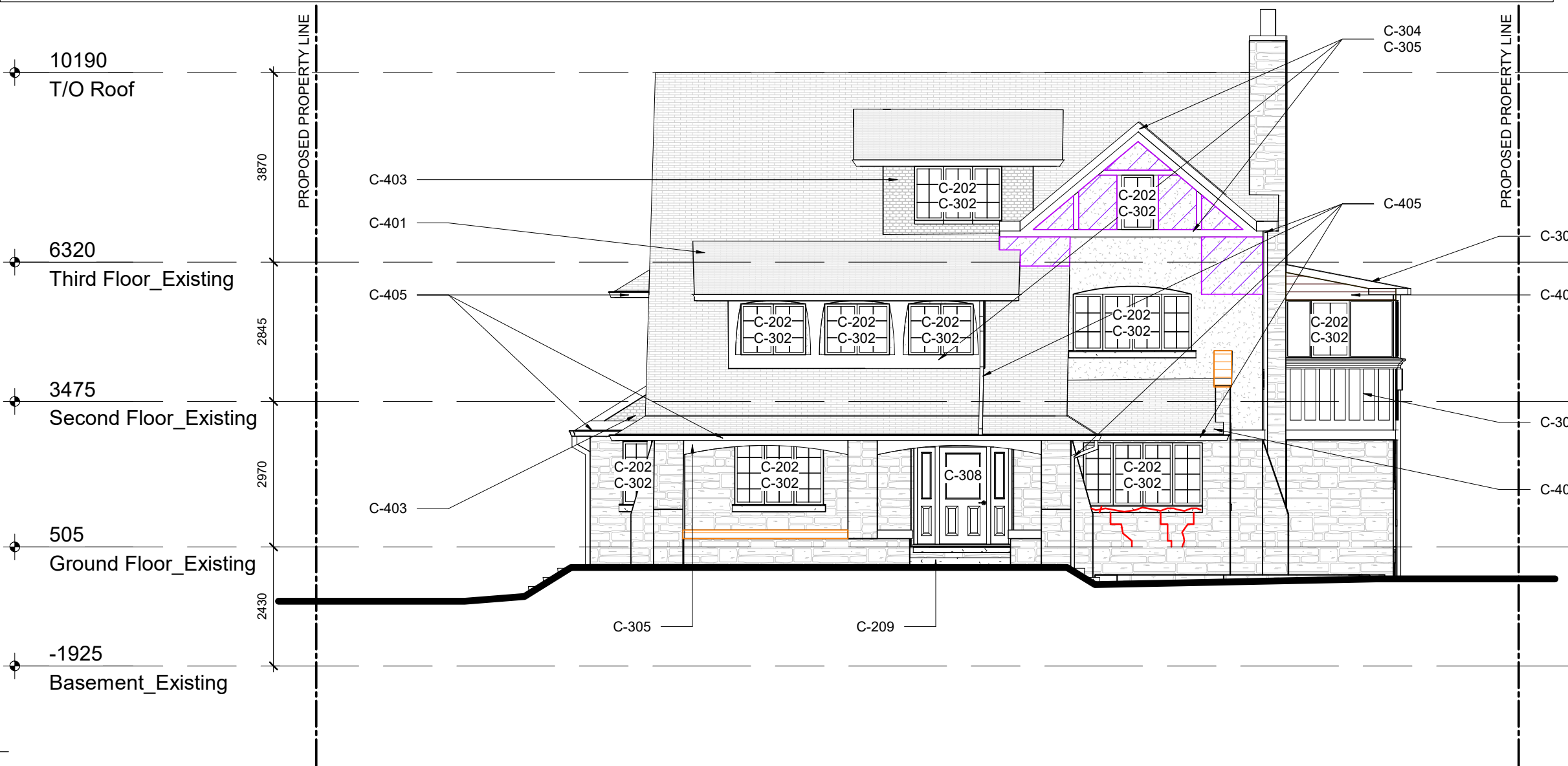
C-305 - Prepare, prime and paint all existing wood elements.  
 C-306 - Prepare, prime and paint masonry and stucco elements.  
 C-307 - Repair, prepare, prime and paint existing wood windows.  
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.  
 C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

C-401 - Install new painted metal flashings.  
 C-402 - Install new asphalt shingle, colour to be determined.  
 C-403 - Install new wood shingle siding, colour to be determined.  
 C-404 - Install new wood siding, colour to be determined.  
 C-405 - Provide new painted metal gutters and downpipes.  
 C-406 - Install new metal flat roof.  
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.  
 C-408 - Provide new galvanized window well complete with gravel infill.  
 C-409 - Provide new painted metal vent.  
 C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

South Elevation Proposed -  
 84 High St E

Sheet no.

**CP312**

**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.  
 C-202 - Retain existing window openings, repair as required before installing new windows.  
 C-203 - Retain existing door openings, repair as required before installing new doors.  
 C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.  
 C-205 - Repoint stone at façade elevations as required.  
 C-206 - Repair mortar joint cracks in masonry.  
 C-207 - Repair existing stucco.  
 C-208 - Install new stucco to match existing.  
 C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.  
 C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.  
 C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.  
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.  
 C-214 - Construct new accessible masonry landscape path/ramp.  
 C-215 - Construct new masonry stair, with metal handrails/guards as required.  
 C-216 - Construct new commemorative masonry piers.  
 C-217 - Construct new concrete pad.  
 C-218 - Construct new paved surface with new and salvaged pavers.  
 C-219 - Reinstate planter bed wall using salvaged armour stone.  
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.  
 C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**









C-301 - Install new doors.  
 C-302 - Install new wood windows, to match heritage profile.  
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.  
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

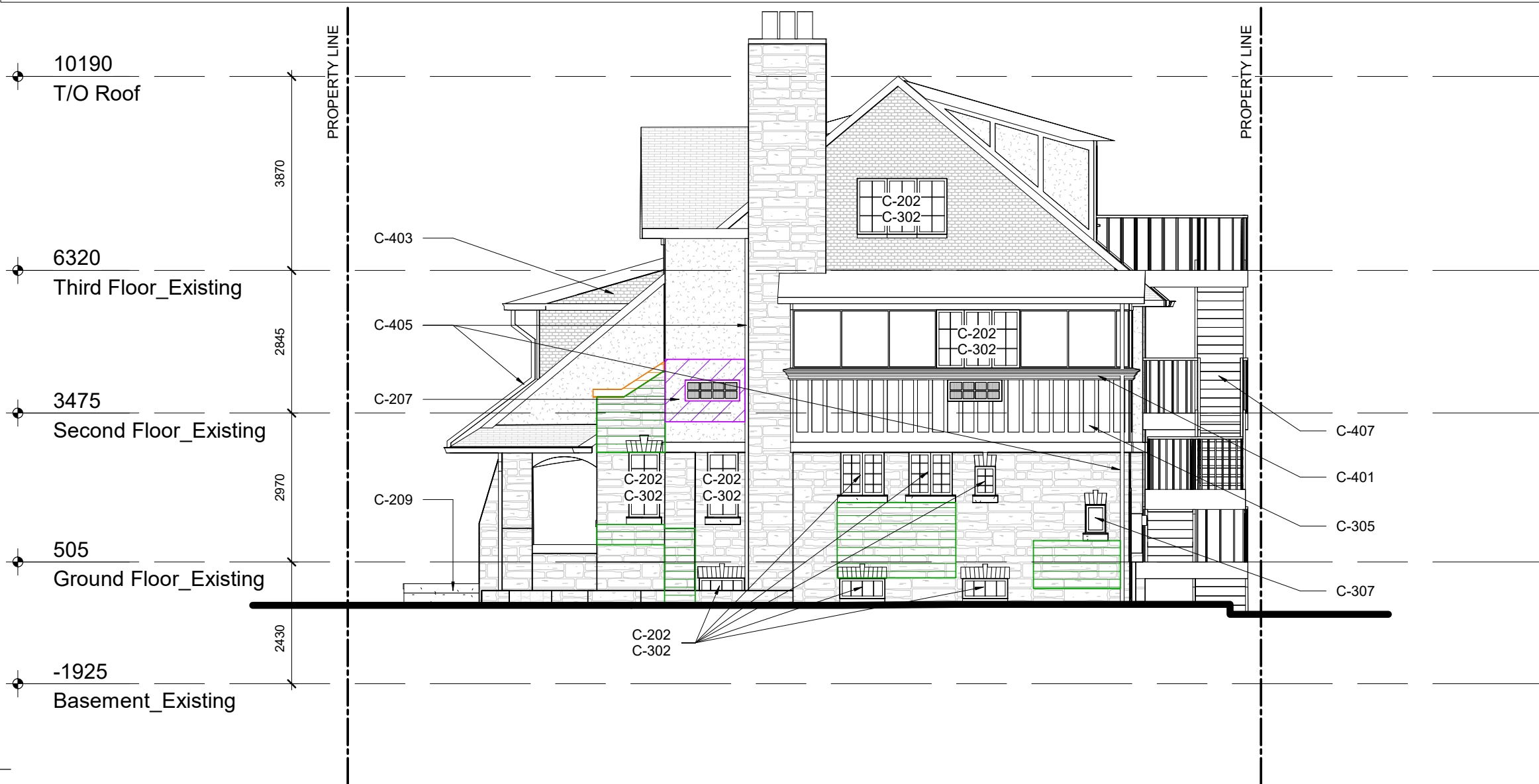
C-305 - Prepare, prime and paint all existing wood elements.  
 C-306 - Prepare, prime and paint masonry and stucco elements.  
 C-307 - Repair, prepare, prime and paint existing wood windows.  
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.  
 C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

C-401 - Install new painted metal flashings.  
 C-402 - Install new asphalt shingle, colour to be determined.  
 C-403 - Install new wood shingle siding, colour to be determined.  
 C-404 - Install new wood siding, colour to be determined.  
 C-405 - Provide new painted metal gutters and downpipes.  
 C-406 - Install new metal flat roof.  
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.  
 C-408 - Provide new galvanized window well complete with gravel infill.  
 C-409 - Provide new painted metal vent.  
 C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

East Elevation Proposed -  
 84 High St E

Sheet no.

**CP313**

**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.  
 C-202 - Retain existing window openings, repair as required before installing new windows.  
 C-203 - Retain existing door openings, repair as required before installing new doors.  
 C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.  
 C-205 - Repoint stone at façade elevations as required.  
 C-206 - Repair mortar joint cracks in masonry.  
 C-207 - Repair existing stucco.  
 C-208 - Install new stucco to match existing.  
 C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.  
 C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.  
 C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.  
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.  
 C-214 - Construct new accessible masonry landscape path/ramp.  
 C-215 - Construct new masonry stair, with metal handrails/guards as required.  
 C-216 - Construct new commemorative masonry piers.  
 C-217 - Construct new concrete pad.  
 C-218 - Construct new paved surface with new and salvaged pavers.  
 C-219 - Reinstate planter bed wall using salvaged armour stone.  
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.  
 C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**









C-301 - Install new doors.  
 C-302 - Install new wood windows, to match heritage profile.  
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.  
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

C-305 - Prepare, prime and paint all existing wood elements.  
 C-306 - Prepare, prime and paint masonry and stucco elements.  
 C-307 - Repair, prepare, prime and paint existing wood windows.  
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.  
 C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

C-401 - Install new painted metal flashings.  
 C-402 - Install new asphalt shingle, colour to be determined.  
 C-403 - Install new wood shingle siding, colour to be determined.  
 C-404 - Install new wood siding, colour to be determined.  
 C-405 - Provide new painted metal gutters and downpipes.  
 C-406 - Install new metal flat roof.  
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.  
 C-408 - Provide new galvanized window well complete with gravel infill.  
 C-409 - Provide new painted metal vent.  
 C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 1:100  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

West Elevation Proposed -  
 84 High St E

Sheet no.  
**CP314**



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.  
 C-202 - Retain existing window openings, repair as required before installing new windows.  
 C-203 - Retain existing door openings, repair as required before installing new doors.  
 C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.  
 C-205 - Repoint stone at façade elevations as required.  
 C-206 - Repair mortar joint cracks in masonry.  
 C-207 - Repair existing stucco.  
 C-208 - Install new stucco to match existing.  
 C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.  
 C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.  
 C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.  
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.  
 C-214 - Construct new accessible masonry landscape path/ramp.  
 C-215 - Construct new masonry stair, with metal handrails/guards as required.  
 C-216 - Construct new commemorative masonry piers.  
 C-217 - Construct new concrete pad.  
 C-218 - Construct new paved surface with new and salvaged pavers.  
 C-219 - Reinstall planter bed wall using salvaged armour stone.  
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.  
 C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**




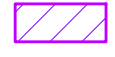




C-301 - Install new doors.  
 C-302 - Install new wood windows, to match heritage profile.  
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.  
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

C-305 - Prepare, prime and paint all existing wood elements.  
 C-306 - Prepare, prime and paint masonry and stucco elements.  
 C-307 - Repair, prepare, prime and paint existing wood windows.  
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.  
 C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

C-401 - Install new painted metal flashings.  
 C-402 - Install new asphalt shingle, colour to be determined.  
 C-403 - Install new wood shingle siding, colour to be determined.  
 C-404 - Install new wood siding, colour to be determined.  
 C-405 - Provide new painted metal gutters and downpipes.  
 C-406 - Install new metal flat roof.  
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.  
 C-408 - Provide new galvanized window well complete with gravel infill.  
 C-409 - Provide new painted metal vent.  
 C-410 - Provide new metal handrails.

**LEGEND:**

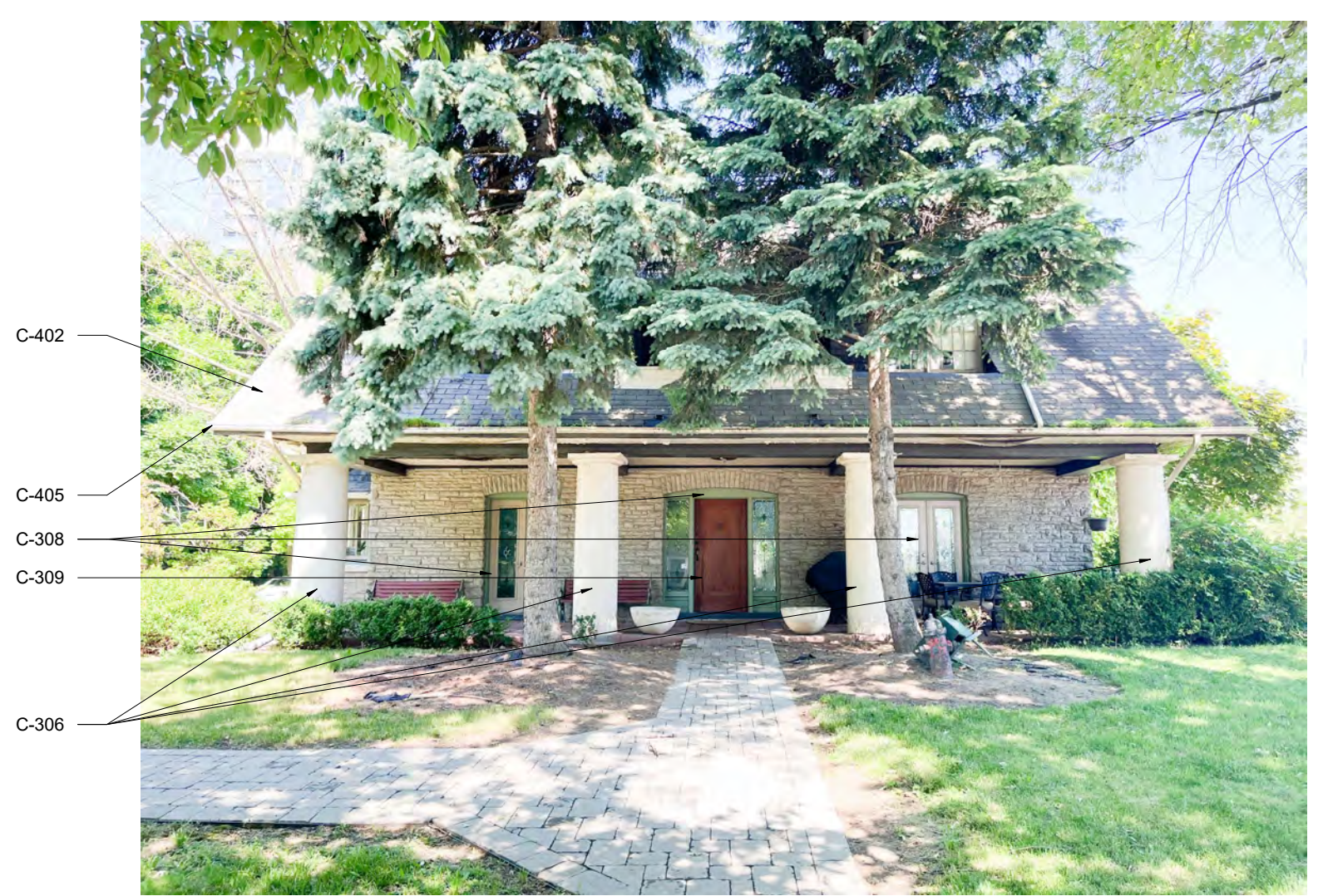
-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



Project  
 84 & 90 High Street East  
 Address 84 & 90 High St E, Mississauga, ON L5G 1K4  
 For 10 WEST GO LP  
 Project no. 21-110-04  
 Scale at 11x17 NTS  
 Drawn by RD, EL  
 Reviewed by JQ, MY  
 Drawing title

South Elevation Proposed -  
 90 High St E

Sheet no.

**CP321**



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.  
 C-202 - Retain existing window openings, repair as required before installing new windows.  
 C-203 - Retain existing door openings, repair as required before installing new doors.  
 C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.  
 C-205 - Repoint stone at façade elevations as required.  
 C-206 - Repair mortar joint cracks in masonry.  
 C-207 - Repair existing stucco.  
 C-208 - Install new stucco to match existing.  
 C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.  
 C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.  
 C-211 - General cleaning: use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.  
 C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.  
 C-214 - Construct new accessible masonry landscape path/ramp.  
 C-215 - Construct new masonry stair, with metal handrails/guards as required.  
 C-216 - Construct new commemorative masonry piers.  
 C-217 - Construct new concrete pad.  
 C-218 - Construct new paved surface with new and salvaged pavers.  
 C-219 - Reinstall planter bed wall using salvaged armour stone.  
 C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.  
 C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**




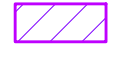




C-301 - Install new doors.  
 C-302 - Install new wood windows, to match heritage profile.  
 C-303 - Install new wood bargeboard, fascia and soffits to match existing.  
 C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

C-305 - Prepare, prime and paint all existing wood elements.  
 C-306 - Prepare, prime and paint masonry and stucco elements.  
 C-307 - Repair, prepare, prime and paint existing wood windows.  
 C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.  
 C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

C-401 - Install new painted metal flashings.  
 C-402 - Install new asphalt shingle, colour to be determined.  
 C-403 - Install new wood shingle siding, colour to be determined.  
 C-404 - Install new wood siding, colour to be determined.  
 C-405 - Provide new painted metal gutters and downpipes.  
 C-406 - Install new metal flat roof.  
 C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.  
 C-408 - Provide new galvanized window well complete with gravel infill.  
 C-409 - Provide new painted metal vent.  
 C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Elevation Proposed - 90 High St E

Sheet no.

**CP322**



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstall planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**









- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



SOUTH STONE PIERS - SOUTH ELEVATION

NTS

1  
CP323



SOUTH STONE PIERS - NORTH ELEVATION

NTS

2  
CP323

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	South Stone Piers Proposed - 90 High St E

Sheet no.

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstall planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**




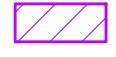




- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



**EAST ELEVATION (NORTH END - DETAIL)** 2  
NTS CP324

**EAST ELEVATION (SOUTH END)** 1  
NTS CP324

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Elevation Proposed - 90 High St E



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.

- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**









- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

**LEGEND:**

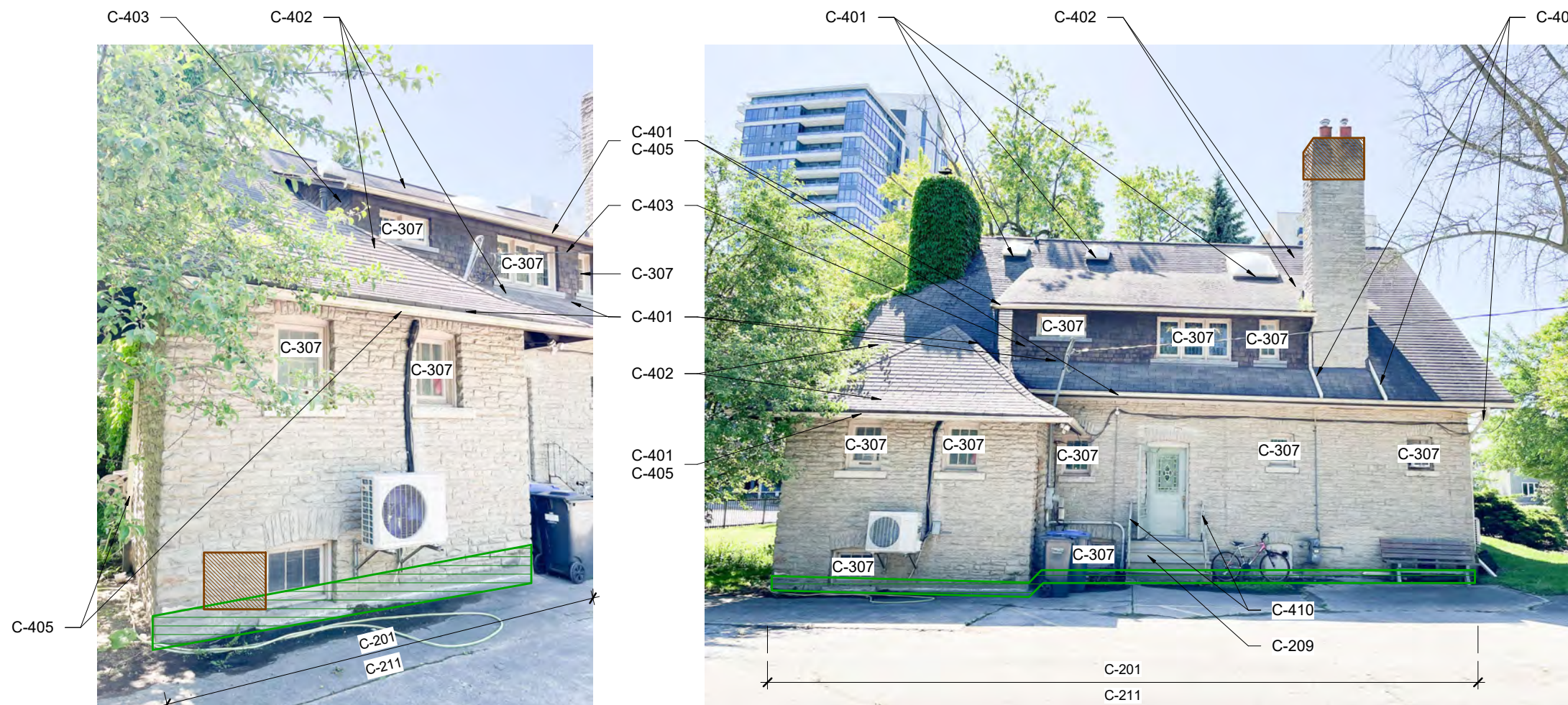
-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



NORTH ELEVATION (EAST END - DETAIL)

NTS

2  
CP325

NORTH ELEVATION

NTS

1  
CP325

North Elevation Proposed -  
90 High St E

Sheet no.

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

**E R A**  
E.R.A. Architects Inc.  
info@eraarch.ca | www.eraarch.ca  
T: 416.963.4497 | F: 416.963.8761  
625 Church St, Suite 600  
Toronto, Ontario, M4Y 2G1



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**

- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

**LEGEND:**

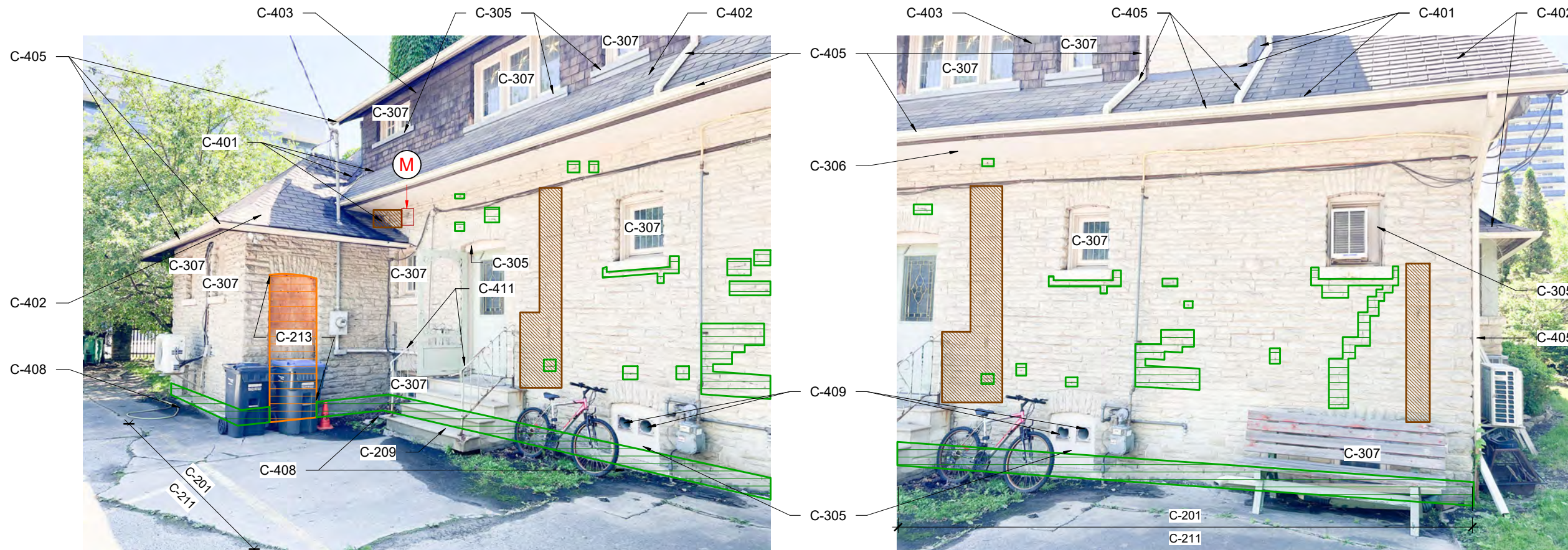
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-210 - Deep cleaning
- C-404 - Install new wood siding, colour to be determined.
- Small Hole in Masonry Repair
- Medium Hole in Masonry Repair

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



NORTH ELEVATION (LOOKING EAST) 2 NTS CP326

NORTH ELEVATION (WEST END - DETAIL) 1 NTS CP326



Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	

North Elevation Proposed - 90 High St E

Sheet no.

**CP326**



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**




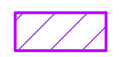




- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair



**EAST ELEVATION** 2  
NTS CP327



**WEST ELEVATION** 1  
NTS CP327

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East and West Elevations Proposed - 90 High St E



**CONSERVATION NOTES:**

**C-200 - MASONRY + STUCCO + LANDSCAPE**

- C-201 - Remove all obsolete metal fasteners, fittings, brackets, mechanical pipes, light fixtures, gas meter etc. from building facades to remain. Repair or replace damaged masonry in these areas with material to match adjacent.
- C-202 - Retain existing window openings, repair as required before installing new windows.
- C-203 - Retain existing door openings, repair as required before installing new doors.
- C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
- C-205 - Repoint stone at façade elevations as required.
- C-206 - Repair mortar joint cracks in masonry.
- C-207 - Repair existing stucco.
- C-208 - Install new stucco to match existing.
- C-209 - Construct new masonry landscape stairs and path with new and salvaged pavers.
- C-210 - Deep cleaning: use a surfactant cleaner in conjunction with a low-pressure water wash to release stubborn stains, such as paint.
- C-211 - General cleaning; use low-pressure steam or water wash to gently remove surface stains & soiling and blend final masonry finish on entire elevation. Typical for all building elevations.

- C-212 - Repoint 100% of mortars at existing stone piers at 90 High St E.
- C-213 - Provide masonry infill at existing opening. New masonry to match existing adjacent and to be inset from face of adjacent masonry.
- C-214 - Construct new accessible masonry landscape path/ramp.
- C-215 - Construct new masonry stair, with metal handrails/guards as required.
- C-216 - Construct new commemorative masonry piers.
- C-217 - Construct new concrete pad.
- C-218 - Construct new paved surface with new and salvaged pavers.
- C-219 - Reinstate planter bed wall using salvaged armour stone.
- C-220 - Parge existing exposed concrete near grade with like colour to existing mortars.
- C-221 - Construct flagstone pathway with riverstone bedding.

**C-300 - DOORS + WINDOWS + WOOD + PAINT**




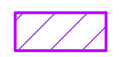




- C-301 - Install new doors.
- C-302 - Install new wood windows, to match heritage profile.
- C-303 - Install new wood bargeboard, fascia and soffits to match existing.
- C-304 - Repair existing wood half-timber, beams, bargeboard, fascia and soffits.

- C-305 - Prepare, prime and paint all existing wood elements.
- C-306 - Prepare, prime and paint masonry and stucco elements.
- C-307 - Repair, prepare, prime and paint existing wood windows.
- C-308 - Repair, prepare, prime and paint existing metal/vinyl door/window/sidelight.
- C-309 - Repair, prepare, prime and paint existing wood door.

**C-400 - ROOF + FLASHING + METALS**

- C-401 - Install new painted metal flashings.
- C-402 - Install new asphalt shingle, colour to be determined.
- C-403 - Install new wood shingle siding, colour to be determined.
- C-404 - Install new wood siding, colour to be determined.
- C-405 - Provide new painted metal gutters and downpipes.
- C-406 - Install new metal flat roof.
- C-407 - Construct new metal exit stair. Design and layout to be confirmed prior to fabrication.
- C-408 - Provide new galvanized window well complete with gravel infill.
- C-409 - Provide new painted metal vent.
- C-410 - Provide new metal handrails.

**LEGEND:**

-  C-204 - Replace and repair damaged stone on facades to remain with stone to match existing adjacent.
-  C-205 - Repoint stone at façade elevations as required.
-  C-206 - Repair mortar joint cracks in masonry.
-  C-207 - Repair existing stucco.
-  C-210 - Deep cleaning
-  C-404 - Install new wood siding, colour to be determined.
-  Small Hole in Masonry Repair
-  Medium Hole in Masonry Repair

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	02/12/2024	ISSUED FOR CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**



EAST ELEVATION (EAST STONE PIER)

NTS

2  
CP328



EAST ELEVATION (EAST STONE PIER)

NTS

1  
CP328

**E R A**  
 info@eraarch.ca | www.eraarch.ca  
 T: 416.963.4497 | F: 416.963.8761  
 625 Church St, Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**

Project	84 & 90 High Street East
Address	84 & 90 High St E, Mississauga, ON L5G 1K4
For	10 WEST GO LP
Project no.	21-110-04
Scale at 11x17	NTS
Drawn by	RD, EL
Reviewed by	JQ, MY
Drawing title	East Stone Piers Proposed - 90 High St E

Sheet no.

**CP328**



## APPENDIX B: DESIGNATION BY-LAW 0385-2005

275

Corporate Services Department  
Office of the City Clerk

City of Mississauga  
300 City Centre Drive  
MISSISSAUGA ON L5B 3C1



Leading today for tomorrow

FAX: 905-615-4181  
mississauga.ca

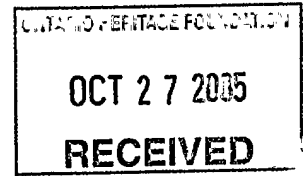
REGISTERED MAIL

October 24, 2005



Dear [Redacted]

Re: "W. T. Gray" Property, 90 High Street East  
Reference: HAC-0051-2005  
File: CS.08.High Street East (90) (W1)



I enclose for your retention, a copy of By-law 0385-2005, a by-law to designate the property located at 90 High Street East, Mississauga, Ontario.

Yours truly,

Denise Peternell  
Committee Coordinator  
905-896-5423

- cc: Ontario Heritage Trust, 10 Adelaide Street East, Toronto, Ontario
- M5C 1J3 (REGISTERED MAIL) (w/encl)
- Mr. P. Mitcham, Commissioner of Community Services (w/encl)
- Mr. M. Warrack, Heritage Coordinator, Community Services (w/encl)
- Mr. A. Leonard, Building Section, Planning & Development (w/encl)
- Councillor C. Corbasson, Ward 1
- File (w/encl)

✓ 11/15/05  
RC



NOTICE OF INTENTION TO DESIGNATE IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER 0.18, AS AMENDED, AND IN THE MATTER OF THE LANDS AND PREMISES LOCATED AT 90 HIGH STREET EAST IN THE CITY OF MISSISSAUGA, IN THE PROVINCE OF ONTARIO. TAKE NOTICE that The Council of the Corporation of the City of Mississauga intends to designate these lands and premises under Part IV of The Ontario Heritage Act, R.S.O. 1990, c. 0.18, as amended.

**REASONS FOR THE PROPOSED DESIGNATION:** This property is proposed for heritage designation for reasons of its historical, architectural and contextual significance.

For further information and a full description of the Reasons for Designation, please contact the Heritage Coordinator, Community Services at 905-896-5070. Notice of objection to the designation may be served on the City Clerk no later than 4:30 pm on Friday, September 23, 2005.





THE CORPORATION OF THE CITY OF MISSISSAUGA

BY-LAW NUMBER ... 0385 2005

A By-law to designate the property located at 90 High Street East as being of historical, architectural and contextual significance.

WHEREAS the Ontario Heritage Act, R.S.O. 1990, Chapter 0.18, as amended, authorizes the Council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of architectural value or interest;

AND WHEREAS Notice of Intention to so designate the property located at 90 High Street East, in the City of Mississauga, has been duly published and served, and no notice of objection to such designation has been received by the Clerk of The Corporation of the City of Mississauga;

AND WHEREAS the reasons for the said designation are set out as Schedule 'A' hereto;

NOW THEREFORE the Council of The Corporation of the City of Mississauga hereby ENACTS as follows:

- 1. That the real property located at 90 High Street East, City of Mississauga, and legally described in Schedule 'B' attached hereto, is hereby designated as being of historic value under Part IV of the Ontario Heritage Act, R.S.O. 1990, Chapter 0.18, as amended.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid property, and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Mississauga.
3. That Schedules "A" and "B" form an integral part of this by-law.
4. That the City Solicitor is hereby directed to register a copy of this by-law against the property located at 90 High Street East in the proper land registry office.

ENACTED AND PASSED this 12th day of October, 2005.

[Signature of Mayor]

MAYOR

[Signature of Capital Green]

CLERK

APPROVED AS TO FORM City Solicitor MISSISSAUGA Date 04/10/05

SCHEDULE "A" TO BY-LAW NO. 0385-2005'

## STATEMENT OF THE REASONS FOR DESIGNATION

## W. T. Gray House, 90 High Street East

The property known as 90 High Street East is recommended for heritage designation under the terms and conditions of *Part IV, the Ontario Heritage Act*, for reasons of its cultural heritage value and interests of historical, architectural and contextual significance.

In 1908, William Thomas Gray acquired the subject property for \$650 from Charles G. Hamilton, and built the current house in 1909. W. T. Gray and Louise Marie Elliot, just married, moved into the house in the same year. Located at the corner of High Street East and Hurontario Street, it is only steps away from the former St. Lawrence Starch Works. W. T. Gray became president of the company in 1938, remaining so until 1965. He passed away in 1975 in his ninety-fifth year and ownership of the property was passed on to his sons James A. D. Gray and John C. Gray. W. T. Gray's father, John Gray, was one of the founding partners of the St. Lawrence Starch Works, which was incorporated in 1889. The Gray family name is synonymous with the early economic development and success of Port Credit.

The W. T. Gray residence, built in 1909, was designed as a Colonial variation of the traditional Bungalow Style, with some Tudor Revival influences of half-timbering. The two-and-a-half storey, three bay structure has exterior finishes in coursed Credit Valley stone on the ground floor, second floor, and chimneys, stucco and half timbering on the second floor gable ends and shingles that presumably were originally wood.

The main entrance is located at the centre of the south facade. The main door and sidelights appear original to the structure, but the adjacent French doors placed on either side of the entrance have been replaced in recent years. The south facade dormer fenestration includes original paired twelve pane casement windows on either side of the shed dormer balcony. Within the balcony, there are multi-paned glass windows and a door. The west facade has original double nine paned casement windows, and a first storey projecting bay with four casement windows side-by-side, each with nine panes. The east facade has paired nine pane and four pane casement windows of various sizes. The rear facade, which faces north, has several small multi-paned windows along the main floor and basement. There are two doors, one located at the centre and another on the west facade of the small, one storey projecting wing. The upper storey windows are of various shapes and sizes, located within the shed dormer, including the three twelve paned casement windows.

Structural and stylistic details that contribute to its high architectural quality include the rear and front shed dormers, large overhang roof supported by large pillars, large veranda, central main entrance, and use of various 'rustic' materials. The expanse of exterior space around the building helps to relate the building with its natural surroundings. Another important characteristic is the rather modest appearing front elevation, while side elevations reveal two-and-a-half stories of living space. Elements of Colonial-Revival are demonstrated through the four large Tuscan columns, the Tudor inspired half-timbering located on the gable ends, stone base and windows that are varied in size. The Bungalow Style was popular through the first half of the twentieth century, arriving in Canada circa 1910. This is a particularly fine example of the Colonial variation and should be acknowledged as one of the earlier examples.

The W. T. Gray House fronts onto High Street East, located just off Hurontario Street, one block north of Lakeshore Road East, within the centre of Port Credit. The property is predominantly displayed on an open corner lot and its proximity to Hurontario Street makes it a significant cultural landscape and within the immediate context of early twentieth century residential structures. The relationship between 84 and 90 High Street provides a unifying scale and adds to the architectural quality of each, but also to their historical association and context within Port Credit as recognized landmarks. Although the structure has been used in the past for both commercial and residential uses, the original residential character has remained intact and the Bungalow Stylistic qualities of the building have been preserved.

SCHEDULE "A" TO BY-LAW NO. 0385-2005

STATEMENT OF THE REASONS FOR DESIGNATION

W. T. Gray House, 90 High Street East

The subject property, located at the northwest corner of Hurontario Street and High Street is highly visible. The building rests on a relatively large open lot consisting of mature trees, including an uncommon Ginkgo tree, and other vegetation. An expansive open lawn on the front yard is also open to the Hurontario Street side of this corner lot. An iron fence, which compliments the character of the house and streetscape, is located on the eastern and southern edges of the property. This open vista from the street to the house enhances the visual character of the building in its setting.

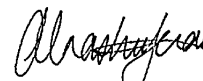


SCHEDULE 'B' TO BY-LAW 0385.2005'

Description: Part of Lot 1, Plan PC-2, East of the Credit River, North Side of High Street  
(To be designated under the Ontario Heritage Act)

(Ward 1, City Zone 8, in the vicinity of Hurontario Street and Lakeshore Road East)

In the City of Mississauga, Regional Municipality of Peel, (formerly in the Village of Port Credit, County of Peel), Province of Ontario and being composed of that part of Lot 1, on the North Side of High Street, West Side of Hurontario Street, East of the Credit River, according to a plan of the Village of Port Credit know as PC-2, as described in Instrument Number RO998249.



Alnashir Jeraj  
Ontario Land Surveyor

