

**42 John Street South**

Port Credit, Mississauga, ON L5H 2E6

**Heritage Report**

For Review by the City of Mississauga Heritage Advisory Committee

Prepared by:

Michael Bootsma OAA

27 November 2024

*Revised 31 January 2025*

## Table of Contents

1. General Information
2. General Requirements
  - 2.1. Site History
  - 2.2. Description of Existing Condition
  - 2.3. Documentation of Existing Conditions
  - 2.4. Outline of Proposed Development
    - 2.4.1. Variances
  - 2.5. Architectural Drawings
  - 2.6. Trees
  - 2.7. Assessment of Alternative Development Options and Mitigation Measures
  - 2.8. Application of Conservation Principles
  - 2.9. Proposed Alterations in Relation to Cultural Heritage and Impact on Streetscape and Sense of Place
3. Summary Statement and Conservation Recommendations
4. Conclusion
5. Qualifications of Author
6. References
7. List of Attached Appendices

## 1. General Information

Address:	42 John Street South Port Credit, Mississauga, ON L5H 2E6
Historic Place Name:	Peer-Malone Residence
Roll Number:	05-09-0-005-07400-0000
Legal Description:	Plan 300W PT Lots 3, 5
Zoning:	R15-1
Lot Area:	335.7 m <sup>2</sup>
Lot Depth:	22.4 m
Heritage Status:	Designated under Part V
HCD Plan Classification:	Contributing

## 2. General Requirements

### 2.1. Site History

The Old Port Credit Village Heritage District sits within an area that, until the 18th century, had been inhabited primarily by indigenous peoples. Through a series of treaties between the British Crown and the Mississaugas and colonial settlement expanding beyond successive treaties, the indigenous inhabitants were displaced.

As settlement west of the Credit River intensified, the Crown surveyed the land west of the river for subdivision and sale. Following the change of hands through several parties prior, in 1881 Lot 3 North of Lake Street, was willed by James Peer to Stephen L. Peer et al. In 1897, the plot was divided between Stephen and his brother John Charles Peer. John, a Port Credit mariner and more specifically a stonehooker, received the northern 40', which roughly coincides with the address currently known as 42 John Street South.

Following the partition of Lot 3, John constructed the house that, with subsequent modifications discussed below, stands on the property c. 1897 (Old Port Credit Village Heritage Conservation District Plan 2018).

Subsequent surveys and exchange of lands modified the property to include a portion of Lot 4 North of Lakes Street and a portion of Lot 5 South of Bay Street.

Refer to Appendix A for land registry records.



Figure 1: Satellite view of 42 John Street South within the Port Credit Village neighbourhood. (Google Earth Pro; October 2022)

## 2.2. Description of Existing Conditions

The subject property includes two existing structures, the residence facing northeast onto John Street South and a storage shed at the rear, southeast corner of the lot.

The residence is a two storey, wood frame, pitched roof structure with a rear, one storey, wood frame, shed roof sunroom. The exterior is uniformly clad in sage green-painted, wood clapboard siding with white painted trim, shutters, and flourishes. The roof is clad in dark grey asphalt shingles. The windows are modern throughout, side hung at the front facade and double-hung at the rear. Refer to Figures 2 through 8 for photos of the existing conditions, taken by the owner in October 2024.

The street-facing facade, set back approximately 2.5m from the front property line and about 6.4m from the sidewalk, is distinguished by a gable end wall and ground floor bay window. The absence of the bay window in a Mississauga Library System "Historic Image Gallery" photo dated to 1980 (refer to Figure 9) and a real estate listing from 1991 (refer to Figure 10) implies that the bay window was built sometime in following years, replacing a former large, central ground floor window.



The primary door to the house, positioned perpendicular to the street, is accessed via a covered porch which was also altered sometime after 1991, with the roof extended to incorporate a carport to the north. The entry foyer opens directly to a breakfast room to the east, a dining & living room to the north, and a central stair leading to the second floor above. The kitchen to the south, sunroom to the west, and stairs leading to the basement, accessed indirectly, occupy the remainder of the ground floor plan.

Three bedrooms and a bathroom are located at the second floor. Laundry and mechanical facilities and a second bathroom are located at the basement. The basement extents are limited to the eastern volume of the house. Shallower foundations are believed to sit below the dining & living room at the north. It is suspected that the sunroom was built some time after 2008 over a previously existing deck (refer to Figure 11).

Interior finishes include hardwood flooring throughout the ground and second floors, Walls and ceilings at the ground floor are plaster. Plaster walls continue at the second floor. Acoustic tile has been installed above the second floor hallway. Wood baseboards, crown moulding , and trim do not appear to be original to the house.

The front yard includes a paved drive at the north leading to the porch and carport, a roughly semi-circular garden plot in front of the primary facade, and a moderately sized spruce tree obscuring the view to the porch and entry. Wood board fences at the rear of the carport at the west and roughly halfway back from the front facade at the southeast separate the front and rear yards. The rear yard is landscaped with a garden plot wrapping the sides of the sunroom and an irregularly shaped flagstone patio.

No known archaeological studies have been performed on the property.

42 John Street South is currently Designated under Part V, is classified under the Old Port Credit Village Heritage Conservation District Plan as Contributing, and is noted as one of 42 properties of historic significance within the district. As per the Old Port Credit Village Heritage Conservation District Property Inventory, 2018 , its heritage attributes include the low-rise form, horizontal siding, and roof line of the house alongside the property's mature tree.

### 2.3. Documentation of Existing Conditions



Figure 2: 42 John Street South viewed from the east, showing sage green painted clapboard cladding; white trim, shutter, and flourishes; and grey asphalt shingles. (Photo by owner, October 2024)



Figure 3: 42 John Street South viewed perpendicular to the street. The [spruce] tree in the front yard obscures the entry and covered porch and, along with the large maple tree to the north, frames the narrow view corridor to the carport and sideyard beyond. (Photo by owner, October 2024)





Figure 4: 42 John Street South viewed from the north. The entry and covered porch are glimpsed behind the [spruce] tree. (Photo by owner, October 2024)



Figure 5: Rear yard of 42 John Street South viewed from the north. (Photo by owner, October 2024)





Figure 6: Interior view of rear sunroom, showing the existing rear wall of the house with existing swing and sliding doors. (Photo by owner, October 2024)



Figure 7: View of rear wall of the house viewed from the interior looking through the existing swing and sliding doors into the rear sunroom. (Photo by owner, October 2024)



Figure 8: View of hallway at second floor showing rear window. Window opening to be extended to floor to accommodate access to new primary bedroom. (Photo by owner, October 2024)





Figure 9: Photo of 42 John Street South, taken 1980. (Mississauga Library System, Historic Image Gallery).

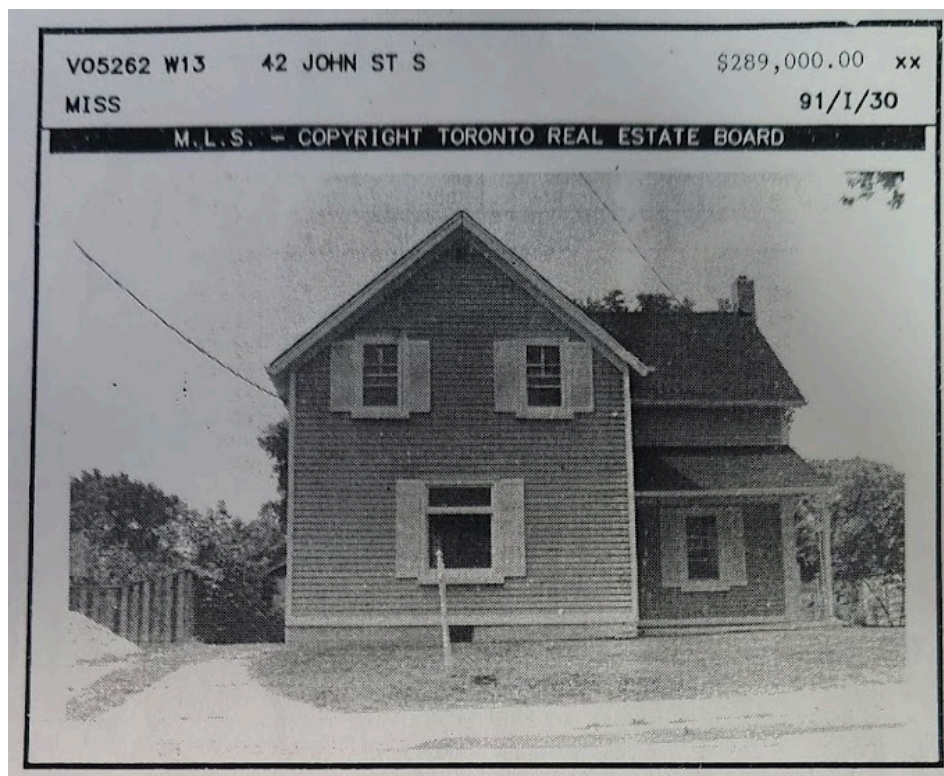


Figure 10: Excerpt of real estate listing of 42 John Street South, by Kingsway National Real Estate Ltd., listed 1991. Currently existing architectural flourishes at the gable peak and at the capitals of the columns supporting the covered porch and carport roof, the timber columns themselves, the bay window, the picket guardrail, and [spruce] tree are all absent at this period of the structure's life. Decorative shutters appear to have been installed sometime between 1980 and the date this photo was taken.





*Figure 11: Photo depicting rear deck c. 2008, roughly located in the footprint of the existing sunroom. (Photographer unknown).*

Refer also Appendix B, architectural drawing set prepared by Merner Row Design (A01 Site Plan & A02 Existing Plans) and Appendix C, site survey prepared by Tarasick McMillan Kubicki Limited, Ontario Land Surveyor.

#### **2.4. Outline of Proposed Development**

The proposed development retains the primary volume of the existing house and limits alterations to the rear of the house and the interior of the basement only.

The existing, non-original sunroom is proposed to be demolished.

The new addition, set on crawlspace foundations, is proposed to provide space for a new family room at the ground floor and a new primary bedroom with ensuite bathroom and walk-in closet at the second floor. The roof of the new volume is configured sympathetically to the existing massing, expressed with gable end walls set at similar pitches (11 1/2:12 existing vs 10:12 & 11 1/2:12 proposed). Eaves at the new addition are aligned with the existing eaves.

An out-of-character concrete masonry chimney is proposed to be removed and the wall repaired to match the existing wood clapboard siding.

The stucco cladding and larger window openings of the new addition subtly distinguish it from the existing house. At the rear west and south elevations of the new addition, wood cladding details extending out from the windows provide further contrast and relief to the facades.

The roof will be clad in asphalt shingles to match the existing.

Alterations to the existing rear wall are limited. Above grade openings into the rear addition sit within existing door and window openings with only a short section of wall at the rear of the ground floor removed to provide access to the new family room.

The entirety of the proposed development is outside of the Greenlands Designation Boundary.

#### **2.4.1. Variances**

Minor variances are being sought for a reduced rear yard setback and a greater overhang at the north entry awning as an extension to the existing carport roofline.

The required rear yard setback is 7.5m. The proposed development provides for a greater setback than required for more than 70% of its length but an irregularity in the lot line at the northwest varies the depth of the setback, eventually reducing to 5.2m (Refer to Site Plan A01).

An awning may project into the side yard setback 0.61m. The proposed development includes an extension to the eaves of the existing carport to provide an awning over the north side entry door. The extension results in an awning projection of 0.86m.

There are also a number of existing non-conforming elements that are integral to the existing character of the house. These include an existing reduced setback of the carport from the north side lot line of 0.4m (0.61m required) with an overhang extension of 0.2m; an existing south side lot line setback of 2.2m (3.0m required); and an existing east front yard setback of 2.6m (5.0m required).

### **2.5. Architectural Drawings**

Refer to Appendix B.

### **2.6. Trees**

The proposed development is located at the rear of the property with repair work to be completed at the northwest facade, all set well away from the existing mature tree. Standard construction fencing will be installed around the tree.

## **2.7. Assessment of Alternative Development Options and Mitigation Measures**

Alternatives schemes accommodating the same programme areas as the proposed development would more significantly impact the existing rear facade, windows, and interior layout and/or would begin to significantly encroach on the side yard and carport becoming more visible from the street.

## **2.8. Application of Conservation Principles**

Refer to Section 2.9 below.

## **2.9. Proposed Alterations in Relation to Cultural Heritage and Impact on Streetscape and Sense of Place**

The proposed alterations will have minimal impact on the streetscape and are designed in keeping with the guidelines set out in the HCD.

Proposed addition is limited to the rear of the house. The entirety of the existing house visible from the street (sans CMU chimney) will be retained and restored to match the existing. Views to the rear of the house are constrained by the [spruce] tree at 42 John and the neighbouring maple at 38 John. The existing carport further obscures the view and breaks up the massing of the portion of the addition that will be visible from the street.

The scale and massing of the proposed addition is designed in sympathy with the existing massing aligning the height of the eaves, matching visible roof slopes, and presenting gable end walls at two facades. It steps down in overall height and is clad in stucco to distinguish it from the original clapboard clad house.

## **3. Summary Statement and Conservation Recommendations**

The existing defining heritage attributes of the property (refer to the Old Port Credit Village Heritage Conservation District Property Inventory, 2018) will be maintained and will not be adversely affected by the proposed renovations. No change to the heritage status of the property is recommended.

## **4. Conclusion**

It is the opinion of the author that the proposed design fits well within the Old Port Credit Village HCD guidelines for additions and more than meets the spirit and intent of the HCD Plan. The owners of 42 John Street South have demonstrated consistent and thoughtful care in their maintenance of the property throughout the time their family has lived there. They value the unique heritage qualities of the neighbourhood and the beautiful setting that it has provided for the growth of their family. The modest renovation they are proposing to undertake will allow their family to continue to enjoy and contribute to the thriving community character that the HCD Plan seeks to support.

## 5. Qualifications of Author

Michael Bootsma, OAA  
Architect licensed with the OAA since August 2019.  
Certificate of Practice holder since April 2021.

*Projects of note include:*

### **71 Front Street West, Toronto: Union Station, 1927**

Original Architect: Ross & Macdonald, Hugh G. Jones, John M. Lyle, architect  
Designation: National Historic Site; Union Station Heritage Conservation District,  
Designated Part V under the Ontario Heritage Act

*2009 - Designer with NORR: base building renovations*

*2016-2019 - Project Lead with PARTISANS: renovations and public area fit-out*

### **955 Lakeshore Boulevard West, Toronto: Ontario Place, 1971**

Original Architect: Eberhard Zeidler  
Designation: Provincial Heritage Property of Provincial Significance

*2017-2019 - Project Lead with PARTISANS: re-opening of Cinesphere; rehabilitation of bridge and ramp structures; proposed rehabilitation of pod structures*

### **357 Bay Street, Toronto: General Accident Insurance Building, 1922**

Original Architect: F.S. Baker  
Designation: Listed Heritage Building

*2019-2021 - Architect and Project Lead with PARTISANS: extensive base building renovations, restoration, and tenant fit-out*

### **2 Old George Place, Toronto, 1964**

Original Architect: William G. Grierson  
Designation: Designated Part V under the Ontario Heritage Act; unrated; North Rosedale  
Heritage Conservation District

*2023-present - Sole-practitioner & Architect; extensive home renovations within Heritage Conservation District*

## 6. References

FitzGibbon, Meaghan. *Searching for the Mississauga of the Credit River: Treaties*. Heritage Mississauga. <<https://heritagemississauga.com/part-1-treaties/>>. Accessed 23 October 2024.

Heritage Mississauga. *Over 200 Years of History*. <<https://heritagemississauga.com/over-200-years-of-history/>>. Accessed 23 October 2024.

Heritage Mississauga. *History of Mississauga*. <[http://www5.mississauga.ca/rec&parks/websites/museums/pdfs/history\\_of\\_mississauga.pdf](http://www5.mississauga.ca/rec&parks/websites/museums/pdfs/history_of_mississauga.pdf)> Accessed 23 October 2024.

Mississauga. *Zoning Information Map*.

<<https://ext.maps.mississauga.ca/Html5Viewer/index.html?viewer=izbl.HTML5>>. Accessed 23 October 2024.

Mississauga. *Property Information*.

<<https://www.mississauga.ca/apps/#/property/view/property-details>>. Accessed 23 October 2024.

Mississauga Library. *Historic Image Gallery: Port Credit*. Mississauga Library.

<<https://mississauga.ca/apps/mediagallery/#/gallery/14800205>>. Accessed 23 October 2024.

Ontario Heritage Act, RSO 1990, Chapter O.18

ONLAND. Ontario Land Property Records Portal. <<https://www.onland.ca/ui/>>. Accessed 11 October 2024.

Ralston, Kelly. *Treaties Week: Provisional Agreement 13-A ("First Purchase" or "Mississauga Purchase")*. Heritage Mississauga, 2021.

<<https://heritagemississauga.com/treaties-week-provisional-agreement-13-a-first-purchase-or-mississauga-purchase/>>. Accessed 23 October 2024.

Walker and Miles. *Historical Atlas of Peel County, Ont.* Toronto, 1877

## **7. List of Attached Appendices**

**Appendix A:** Land Registry Records

**Appendix B:** Project Drawings by Merner Row Design

**Appendix C:** Survey by Tarasick McMillan Kubicki Limited, Ontario Land Surveyor

# Appendix A: Land Registry Records

10.2

Date Plan Registered.. 3 Oct. 1927  
 Owners..... Crown Survey  
 Lots Subdivided ..... Town Plot

Abstract Index  
 Répertoire par lot

Lot 3

Plan/Concession 300

Page 1

Lake Street, North Side

West of Credit River



DAY MON YR

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
Entered 127870 32325	B. & S.	11 Aug. 1848	Margaret McLean	Thomas Woods	£5.-	A11
41952	B. & S.	13 Oct. 1851	Thomas Woods	Joshua Pollard	£140.-	A11
2309	B. & S.	2 Jan. 1856	James McLean et ux	Conrad Shook	£112.10/-	A11
6779	B. & S.	23 Apr. 1859	Conrad Shook et ux	Henry Shook	£ 75.-	A11
15096	B. & S.	16 Jan. 1867	Henry Shook et ux	Henry Shook Sr.	\$200.00	A11
15097	B. & S.	16 Jan. 1867	Henry Shook Sr.	James Peer	200.00	A11
3412	W111	12 Aug. 1881	James Peer	S. L. Peer et al.		A11
9468	B. & S.	19 May 1897	John C. Peer, Wm. H. Peer & Agnes M. Peer wife of John C. Peer.	Stephen Lester Peer	266.66	Undivided 2/3
9469	B. & S.	19 May 1897	Stephen L. Peer et ux	John C. Peer	175.00	N1y. 40'
10150	B. & S.	14 Mar 1900	Stephen L. Peer et ux	Chas. Fredk. Block	225.00	A11 except N1y' 40'
11990	B. & S.	15 Jul 1905	Chas. F. Block et ux	Peter Ryan	425.00	A11 except N1y. 40'
12045	B. & S.	19 Oct 1905	Peter Ryan	Susannah Burke	500.00	A11 except N1y. 40'
12672	B. & S.	2 May 1907	Susannah Burke Widow Peter Ryan et ux	Daniel Collins	600.00	A11 except N1y. 40'
12796	B. & S.	12 Oct. 1907	Daniel J. Collins et ux	George Cory	725.00	A11 except N1y. 40'

10317 (88)

FORM 1

Continued on Suite à la page 2

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## Appendix A: Land Registry Records

10.2

Abstract Index  
Répertoire par lot

Lot 3

Plan/Concession 300

Page 2

Lake Street North Side West of Credit River



DAY MON YR						
Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM DD AA MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
13802	B. & S.	12 Feb 1910	George Corey et ux	Wm. D. Sutherland & Robert J. Murray	425.00	& C. All except Nly. 40'
14778	B. & S.	30 Jan 1912	Wm. D. Sutherland et al	Jane A. Thompson	1900.00	All except Nly. 40'
300	PLAN	3 Oct 1927	Municipal Survey made under Instructions of Minister of Lands and under Prooves of the Surveys Act.			
32094	Release	25 Sep 1929	Albert E. Block	Mary A. Hill Extrx. of Jane Ann Maud Block Est.	300.00	All except Nly. 40'. Release of devise under Will.
1128	Q.C.	20 Nov. 1942	John C. Peer et ux	Mary A. Hill, exec. Jane A. M. Block: et al	\$1.00 & C	SE 122'
1129	Q.C.	20 Nov. 1942	Mary A. Hill, exec. Jane A. M. Block: et al	John C. Peer	\$1.00 & C	NW. 43'
1130	Grant	20 Nov. 1942	Mary A. Hill, exec. Jane A. M. Block; et al	Edith H. Haney	\$1.00 & C	SE 74' 11" ± & O.L.
1162	Agree't	11 Jan. 1943	Edith H. Haney	Austin L. Hines	\$2000.00	Pt. as in 1130 & O.L. Agree't for sale
1227	Agree't	21 May 1943	Austin L. Hines	George A. Watson	100.00	assigning No. 1162
1593	Grant	27 Dec 1944	Lillian Thomson	Frances Leigh & Stephen Leigh, as joint tenants	\$1200.00	All except N 40'
2017	Grant	29 May 1946	Frances & Stephen Leigh	Eric Jas. Kay	2000.00	All except N 40'
2293	Grant	6 Feb. 1947	Edith H. Haney	Geo. A. Watson	2000.00	SE 74' 11" ± & O.L.
2294	Grant	6 Feb. 1947	Geo. A. Watson et ux	Eric J. Kay	2200.00	SE 74' 11" ± & O.L.

FORM 1 (86)

FORM 1

Continued on/Suite à la page 3

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Appendix A: Land Registry Records

10.2

Abstract Index  
Répertoire par lot



2294

Lot 3  
Lake Street

Plan/Concession

300

Page 3

DAY MON YR

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bion-fonds/Observations
2421	Grant	19 June 1947	Eric J. Kay et ux	John D. Harvey Elizabeth F. Harrison, as joint tenants	\$4500.00	Part & O.L. as in No. 1130
3871	Grant	26 May 1950	Arthur C. Peer et al Extrs. of John C. Peer Est et al	Agnes M. Smith	\$ 1.00 & C	N.W. 43' & O.L. Treasurer's Consent attached
4168	Grant	22 Nov 1950	Mary A. Hill in her personal capacity & as Extr. Jane A. M. Block, Est.	Mary L. G. L. Thomson	\$ 1.00 & C	All except N. 40'
4170	Grant	22 Nov 1950	Eric J. Kay et ux	Eugene P. Parkinson & Louise Parkinson as joint tenants	\$ 1.00 & C	All except N 40' +/- Sly 74' 11"
See Deposit No. 1808						
4254	Grant	30 Dec 1950	John D. Harvey & Elizabeth F. Harvey (John D. signs by Atty)	Muriel Player & Raymond F. Player, as joint tenants	\$ 1.00 & C	Part & O.L. as in No. 1130
5177	Assg. of Agret for Sale	10 Sept 1952	Cornelis D. Looye	John Dykstra & Kay Dykstra as joint tenants	\$1000.00	Pt & O.L. as in 1130
10999	Grant	16 Aug 1960	Muriel Player & Raymond G. Player	John Dykstra & Kay Dykstra as joint tenants	\$ 2.00 & C	Part & O.L. as in No. 1130
11000	Grant	16 Aug 1960	John Dykstra & Kay Dykstra	Clare E. Johnson & Laura D. Johnson, as joint tenants	\$ 1.00 & C	Part & O.L. as in No. 1130

10311 (Bb) FORM 1

Continued on Suite & la page 4

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25x10

Abstract Index  
Répertoire par lot

Lot 3 Plan/Concession 300 Page 4  
Lake Street North Side West of Credit River



DAY MON YR						
Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
13411	Grant	18 Nov 1964	Eugene P. Parkinson & Louise Parkinson	Lillian Fine	\$2.00 & c	Part comm. at E L. Thence NW 74.92' to p of c. Thence NW 47.06' x SW 66' x SE 46.76' x NE 66' to p of b.
13748	Grant	11 June 1965	Lillian Fine	John McNeil & Emma McNeil, as joint tenants	\$ 2.00 & C	Part as in No. 13411
See Deposit No. 132646 VS (NO. 13748)						
132647 VSGR	Cert	3 Feb. 1970	Treasurers' Consent	John McNeil Estate		Re: No. 13748
132648 VS	Grant	3 Feb. 1970	Emma McNeil	Larry Popovitch	\$ 2.00 & c	Part as in No. 13411 Restriction Dom. Consent attached for John McNeil Estate
176513 VS	Grant	14 July 1971	Larry Popovitch, et ux	James Baker, to uses	2.00 & C	Part as in No. 13411 Subj. to encroachments
245428 VS	Notice of Cond. Sale	12 Jan. 1973	The Elias Rogers Company Limited	Clare E. Johnson & Laura D. Johnson	652.60	re: No. 11000
295587 VS	Grant	27 Dec. 1973	James Baker	Reginald J. Stephens & Alma Stephens, as joint tenants	\$ 2.00 & C	Part as in No. 13411 Subj. to encroachments
302340 VS	Grant	20 Feb. 1974	Reginald J. Stephens & Alma Stephens	John Pope & Henrietta Pope as joint tenants	\$ 2.00 & C	Part as in No. 13411 Subj. to encroachments to N.W.
329023 VS	Assg't of Cond. Sale	10 Sept. 1974	The Elias Rogers Company Limited	Texaco Canada Limited	1.00	Assigning No. 245428 VS

1031 (4/8)

FORM 1

Continued on Suite à la page... 5

25x10

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## Appendix A: Land Registry Records

Abstract Index  
Répertoire par lot

329033vs

Lot 3

Plan/Concession

300

Page 5

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
352647VS	Grant	29 May 1975	John Pope & Henrietta Pope	Dianne Moore	\$2.00 & C	Part as in No. 13411 Subj. to encroachments
444244	Grant	26 Aug. 1977	Dianne Moore	Warren Lee & Elizabeth Lee as joint tenants	2.00 & C	Part as in No. 13411 Subj. to encroachments
666645	Grant	DAY MONTH YR 09 12 83	Estate of SMITH, Agnes M.	SMITH, Barry G. JOHNSTON, Carol A.R.		N.W. 43' & O.L.
688410	Grant	26 07 84	LEE, Warren LEE, Elizabeth	PHILLIPS, Michael J. PHILLIPS, Diane B. as JT.		Part as in No. 13411 Subj. to encroachments
701215	Grant	12 12 84	JOHNSTON, Carol A.R.	MICKS, Gordon MICKS, Anne as J.T.		N.W. 43' & O.L. JOHNSTON, Carol A.R. 1/2 interest
701216	Grant	12 12 84	SMITH, Barry G.	MICKS, Gordon MICKS, Anne as J.T.		N.W. 43' & O.L. SMITH, Barry G. 1/2 interest
815749	Grant	31 08 87	MICKS, Gordon MICKS, Anne	MELO, Helder MELO, Maria as J.T.	JC ADLR 13 11 87	Pt. & O.L. Comm. Nly L lot 3. Thence N.W. 7' x N.E. 66' x SE 7' x S.W. 9.76' x S.E. 37.52' x N.E. 73.48' x N.W. 43' to p of c
824098	Grant	06 11 87	MELO, Helder MELO, Maria	467826 ONTARIO INC.		Pt & O.L. as in 815749
860294	Grant	28 08 1988	PHILLIPS, Michael John PHILLIPS, Diane Bernadette	MOORE, Ronald George		Part as in 688410 Comm Ely L thence NW 74.92' x NW 47.06' x SW 66' x

10311 (58)

FORM 1

CONTINUED ON NEXT PAGE

Continued on Suite à la page 6

## Appendix A: Land Registry Records

10:2

Abstract Index  
Répertoire par lot

Lot 3

Plan/Concession 300

Page 6

Lake Street North Side West of Credit River



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Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
840294	(cont'd)					SE 46.76 x NE 66' to p of c Subject to encroachments
	Deposit	90 07 04	See Deposit No. 943300			Part & OL as in 815749
943301	Grant	90 07 04	WILCOX LANDING INC.	MALONE, Robert MALONE, Rosemary Maude as JT	\$244,000.00	Part & OL as in 815749
943302	Mort	90 07 04	MALONE, Robert MALONE, Rosemary Maude	THE ROYAL BANK OF CANADA	\$100,000.00	Part & OL as in 943301
948716	Q.C. JC ADLR	90 08 31	MICKS, Gordon MICKS, Anne	WILCOX Landing Inc.	2.00	Part & O.L. Comm Nly L lot 3. Thence NW 7' x SW 66' x SE 7' x SW 9.76' x SE 37.52' x NE 73.48' x NW 43' to p of c
951171	Mort	90 09 28	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited	160,182.64	Part & O.L. as in 824098
RO 1023786 D96/08/13	Agreet	92 11 20	MALONE Robert MALONE Rosemary Maude	MARATHON Realty Company Limited		re: 951171 and RO 1023786
RO 1044296 D 96/08/13	Agreet	93 08 03	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited		re: 951171 and RO 1023786
RO 1074392	Agreement	94 09 01	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited		re: 951171

10311 (88)

FORM 1

Continued on/ Suite à la page

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Abstract Index  
Répertoire par lot



Ontario RO 1074392

Lot 3

NORTH SIDE OF LAKE STREET

Plan/Concession 300  
west of credit river

Page 7

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
RO 1096307 <i>D 96/08/13</i>	Agreement	95 08 14	MALONE, Robert MALONE, Rosemary Maude	Marathon Realty Company Limited		Amending Charge 951171
RO 1124272	Charge	96 09 17	MALONE, Robert MALONE, Rosemary Maude	Royal Bank of Canada	75,000.00	Part and O.L. as in 943301
RO 1130568 <i>lo</i>	Charge	96 12 06	MORRIS, Ronald George	Royal Bank of Canada	103,500.00	Part. as in 860294
RO 1145300	Notice	97 06 23		THE Consumers' Gas Company Ltd.	\$2,895.00	Re: 11000 PC & O.L.

NOTICE

All Document/Instruments  
subsequent to

SEP 23 1997

are recorded in the automated abstract  
index set out in subsection 21(5) of the  
REGISTRY ACT

Continued on Suite à la page

25x100

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# Appendix A: Land Registry Records

102

Date Plan Registered:.....3 Oct. 1927

Owners:....Crown Survey

Lots Subdivided:....Town Plot

Abstract Index  
Répertoire par lot

Lot 5

Plan/Concession

300

Page 1

BAY STREET. S. Side

West of Credit River



DAY MON YR

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
9121	Will	7 May 1896	Emma Peer	John Charles Peer		All Amongst other lands and bequests etc.
10400	B. & S.	16 Feb 1901	Walter C. Hare et al Extrs. Emma Peer Estate	John C. Peer		All
300	PLAN	3 Oct 1927	Municipal Survy Made under the	Instructions of Minister of Lands and under the		Prooves of Surveys Act.
3870	Grant	26 May 1950	Arthur C. Peer et al Surviving Extes of John C. Peer Est et al	Allen G. Peer	\$1.00&C	All Save & Except S Ely 7'. Treasurer's Consent attached.
3871	Grant	26 May 1950	Arthur C. Peer et al Surviving Extes of John C. Peer Est et al	Agnes M. Smith	\$1.00&C	S. Ely 7' & O.L. Treasurer's consent Attached.
45615	PT. D. H.	26 May 1952	Arthur C. Peer	Allen G. Peer	\$1.00	discharging part as in No. 5549 from No. 4823. ADUE LE 12102112
GR21433VS	Gert.	27 Sept 1966	Treasurers' Consent	Arthur G. Peer Est.		RE: No. 4823 & O.L. ADUE LE 12102112
74739VS	Grant	5 June 1968	Allen G. Peer et ux	Renoir Investments Limited	\$2.00&C	Part (1) Comm. at Intersection of S E limit of Bay St. with S W limit John St. Thence SE 50' x SW 66' x NW 50' x NE 66' to p of c. (2) Beg. at NL. Thence SE 100' to p of c. Thence SE 58' x SW 66' x NW 58' x NE 66' to p of c.
74740VS	Grant	5 June 1968	Allen G. Peer et ux	Trade-In Homes Limited	\$2.00&C	Part Comm in SW limit John St. 50' SE of Bay St. Thence SW 66' x SE 50' x NE 66' x NW 50' to p of c.

10311 (88)

FORM 1

Continued On Suite à la page 2

25x100

32x100

25x100

## Appendix A: Land Registry Records

10:2

Abstract Index  
Répertoire par lot

Lot 5

Plan/Concession

300

Page 2

West of Credit River S. Side BAY STREET S. Side



DAY MON YR

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
78738vs	Grant	17 July 1968	Renoir Investments Limited	Peter G. Harris & Jennifer L. Harris Harris as joint tenants	\$2.00 & C	Part as in (2) of No. 74739vs
80898vs	Grant	12 Aug 1968	Trade-In Homes Limited	Meloty Leka	2.00 & c	Part as in No. 74790vs
84344vs	Grant	17 Sept 1968	Renoir Investments Limited	Raymond P. Von Adestine & Diane Von Adestine as joint tenants		Part as in No 74739vs pt (1)
258290vs	Grant	27 April 1973	Raymond P. Von Adestine & Diane Von Adestine	Hector LaChapelle to Uses	2,000.00	Part as in (1) of 74739vs
258291vs	MORTGAGE	27 April 1973	Hector La Chapelle	United Trust Company	20,210.00	Part as in (2) of No 74739vs
283305vs	Grant	28 Sept 1973	Peter G. Harris & Jennifer L. Harris	Bernard Moore & Elizabeth Moore as joint tenants	2.00 & C	Part as in (2) of No 74739vs
331042VS	Grant	30 Sept 1974	Hector La Chapelle	Ronald Post to uses	2.00 & C	Part as in (1) of 74739VS except p of c is comm NL.
485332	Mortgage	15 Aug 1978	Bernard Moore & Elizabeth Moore	Victoria and Grey Trust Company	\$38000.00	Part as in (2) of No. 74739VS
666645	Grant	09 12 83	Estate of SMITH, Agnes M.	SMITH Barry G. JOHNSTON, Carol A. R.		S. Ely 7' & O.L.
701215	Grant	12 12 84	JOHNSTON, Carol A. R.	MICKS, Gordon MICKS, Anne as J.T.		SE 7' & O.L. JOHNSTON, Carol A. R. 1/2 interest
701216	Grant	12 12 84	SMITH, Barry G.	MICKS, Gordon MICKS, Anne as J.T.		SE 7' & O.L. SMITH, Barry G. 1/2 interest
730263	Mort	11 10 85	POST, Ronald POST, Carol	THE Toronto-Dominion Bank	13,000.00	pt comm Nly L Thence SE 50' to SW 65' & NW 50' & NE 65' to p of e.
815749	Grant	31 08 87	MICKS, Gordon MICKS, Anne	MELO, Heldon MELO, Marie		pt & O.L. see lot 3 N. Side Lake St. for desc.

10311 (89)

FORM 1

Continued on Suite A la page 3

25x1

32x1

25x1

# Appendix A: Land Registry Records

10.2

## Abstract Index Répertoire par lot



815749

Lot

5

Plan/Concession

300

Page 3

BAY STREET S. Side

West of Credit River

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
815750	Mort	31-08-87	MELO, Helden MELO, Maria	THE Municipal Savings & Loan Corp.	\$104,500.00	pt & O.L. see Lot 3 H. Side Lake St. for desc.
824098	Grant	06-11-87	MELO, Helden MELO, Maria	467826 Ontario Inc.		Pt & O.L. as in 815749
DEPOSIT		YR MON DAY 90-07-04	See Deposit No. 943300			
943301	Grant	90-07-04	WILCOX LANDING INC.	MALONE, Robert MALONE, Rosemary Maude as JT	\$244,000.00	Part & O.L. as in 815749
943302	Mort	90-07-04	MALONE, Robert MALONE, Rosemary Maude	THE ROYAL BANK OF CANADA	\$100,000.00	part & O.L. as in 815749
948716	QC	90-08-31	MICKS, Gordon MICKS, Anne	WILCOX Landing Inc.	2.00	part & O.L. as in 943301
951171	Mort	90-09-28	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited	169,182.64	part & O.L. Comm Lot 3, S Side of John St. Thence NW 7' x SW 66' x SE 7' x SW 9.76' x SE 37.52' x NE 73.48' x NW 43' to p. of c.
RO-1023786	Agreet	92-11-20	MALONE Robert MALONE Rosemary Maude	MARATHON Realty Company Limited	Nil	Part & O.L. as in 824098.
RO-1044296	Agreet	93-08-03	MALONE, Robert MALONE, Rosemary Maude	MARATHON Realty Company Limited		discharged by RO1121439 96/08/31
						RE 951171
						re. 951171 and RO-1023786

10311 (80)

FORM 1

Continued on Suite à la page

25x10

32x10

25x10

Abstract Index  
Répertoire par lotLot 5 Plan/Concession 300 Page 4South Side Bay Street - west of credit river

Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date d'enregistrement YY MM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-fonds/Observations
RO 1046324	Transfer	93 08 27	POST, Ronald	SZYMANSKI, Kristof SZYMANSKI, Katrin as JT	184,000.00	Part as in no. 331042vs Planning act statement re; section 50 completed
RO1046325	Charge	93 08 27	SZYMANSKI, Kristof SZYMANSKI, Katrin	London Life Insurance Company	138,000.00	Part as in no. 331042vs
RO 1046326	Asst of Rents	93 08 27	SZYMANSKI, Kristof SZYMANSKI, Katrin	London Life Insurance Company		re: charge no. RO 1046325
RO 1046327	Charge	93 08 27	SZYMANSKI, Kristof SZYMANSKI, Katrin	POST, Ronald	36,800.00	Part as in no. 331042vs
RO 1096307	Agreement	95 08 14	MALONE, Robert MALONE, Rosemary Maude	Marathon Realty Company Limited		Discharged by # RO 1120401 Asst. Dep. Land Reg. 12/6/2. Amending Charge 961171
RO 1116737	Deposit	96 06 14	See Deposit no. RO 1116737			Part as in 283305vs
RO 1116738	Transfer	96 06 14	MOORE, Bernard MOORE, Elisabeth	RUTHERFORD, Susan GAMBLE, Jeffrey as JT	165,000.00	Part as in 283305vs
RO 1120513	Charge	96 07 31	SZYMANSKI, Kristof SZYMANSKI, Katrin	Associates Mortgage Corporation	38,247.00	Part as in 331042vs
RO 1124212 ENTERED 96-10-18 ADL/R	CHARGE	96-09-17	MALONE, ROBERT MALONE, ROSEMARY MAUDE	ROYAL BANK OF CANADA	75,000.00	Part as in no. 943301.
RO1130365	Charge	96 12 05	SZYMANSKI, Kristof SZYMANSKI, Katrin	GALLANT, Henry	30,000.00	Part as in RO1046324

10311 (65)

FORM 1

Continued on/ Suite à la page

Lot 5Plan/Concession 200

Page 5



**NOTICE**  
All Document/Instruments  
subsequent to  
**SEP 23 1997**  
are recorded in the automated abstract  
index set out in subsection 21(5) of the  
**REGISTRY ACT**

PROPERTY DESCRIPTION:

PT LTS 3 & 4, PL 300 N OF LAKE ST, W OF CREDIT RIVER & PT LT 5, PL 300 S OF BAY ST, W OF CREDIT RIVER AS IN RO943301 ; MISSISSAUGA

PROPERTY REMARKS:

THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) RO943301, WHICH IS (ARE) RECORDED FOR PIN IDENTIFICATION ONLY.

ESTATE/QUALIFIER:

RECENTLY:  
PARCELIZED

PIN CREATION DATE:  
1997/09/23

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
**EFFECTIVE	2000/07/29	THE NOTATION OF THE	"BLOCK IMPLEMENTATION	DATE" OF 1997/09/23 ON THIS PIN**		
**WAS REPLACED WITH THE	"PIN CREATION DATE"	OF 1997/09/23**				
** PRINTOUT	INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED)	**				
THIS ABSTRACT INCLUDES ALL INSTRUMENTS AND DOCUMENTS FROM:	1997/09/23					
FOR THE PREVIOUS ABSTRACT SEE ABSTRACT BOOK						
NOTE: THIS	PIN WAS ONCE	REG PIN 13488-1237.	THIS PROPERTY WAS	CONVERTED TO LT ON 1999/03/25 REUSING PIN 13488-1237.		
RO943301	1990/07/04	TRANSFER	\$244,000		MALONE, ROBERT MALONE, ROSEMARY MAUDE	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.





LAND  
REGISTRY  
OFFICE #43

13488-1237 (LT)

PAGE 1 OF 1  
PREPARED FOR owner  
ON 2024/10/11 AT 13:28:00

\* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT \* SUBJECT TO RESERVATIONS IN CROWN GRANT \*

PROPERTY DESCRIPTION: PT LT 3 N/S LAKE ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT; PT LT 4 N/S LAKE ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT; PT LT 5 S/S BAY ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT AS IN R0943301; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE  
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 13488-2333

PIN CREATION DATE:

1999/03/25

OWNERS' NAMES

CRAWFORD, LINDSAY DANIELLE  
BERGSHOEFF, DAVID MATTHEW

CAPACITY SHARE

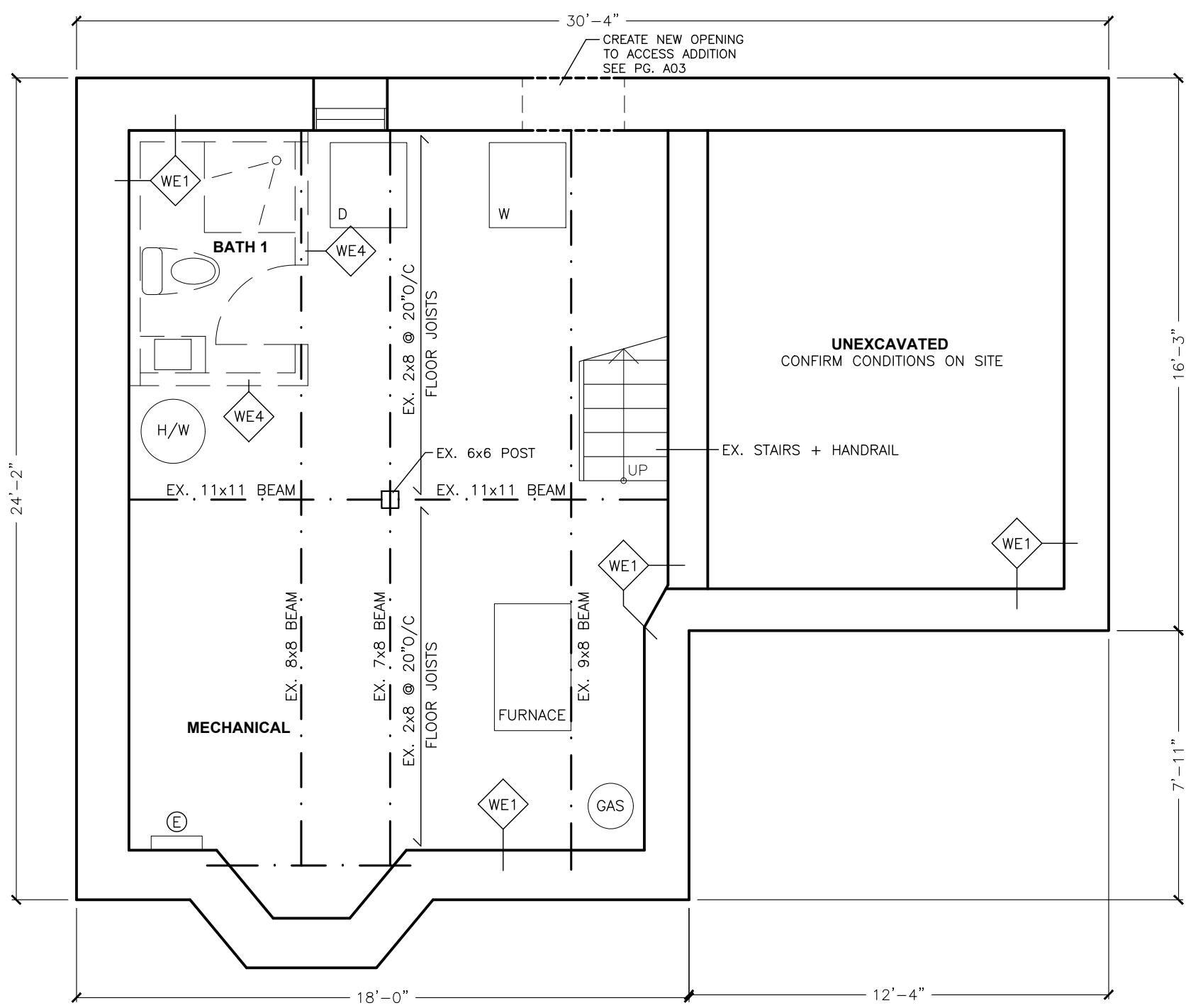
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REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
<p><b>**EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/09/23 ON THIS PIN**</b></p> <p><b>**WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/03/25**</b></p> <p><b>** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **</b></p> <p><b>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</b></p> <p><b>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *</b></p> <p><b>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</b></p> <p><b>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</b></p> <p><b>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</b></p> <p><b>** CONVENTION.</b></p> <p><b>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</b></p> <p><b>**DATE OF CONVERSION TO LAND TITLES: 1999/03/26 **</b></p> <p>PR1912812 2010/10/28 LR'S ORDER LAND REGISTRAR, LRO NO. 43</p> <p>REMARKS: AMENDS DESCRIPTION TO REFER TO PT LTS 3 &amp; 4 N/S LAKE ST PC1 AND PT LT 5 S/S BAY ST PC1 AS IN R0943301.</p> <p>PR2222954 2012/07/03 TRANSFER [REDACTED] PILON, DANIELLE CATHERINE</p> <p>REMARKS: PLANNING ACT STATEMENTS</p> <p>[REDACTED]</p>						
						C
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						C

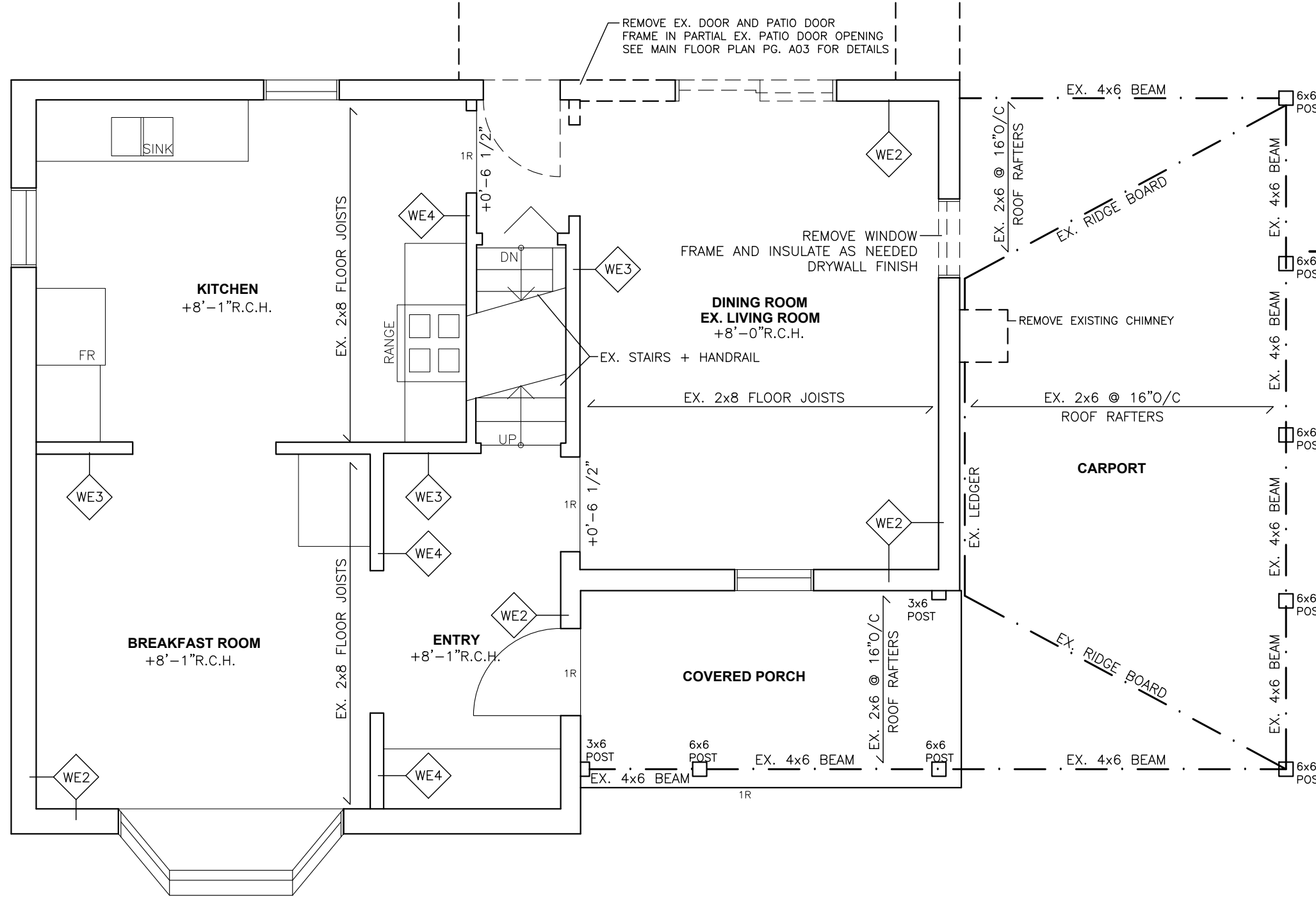
Current property owner information withheld in compliance with the Freedom of Information and Protection of Privacy Act (R.S.O. 1990, c. F.31)

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.  
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

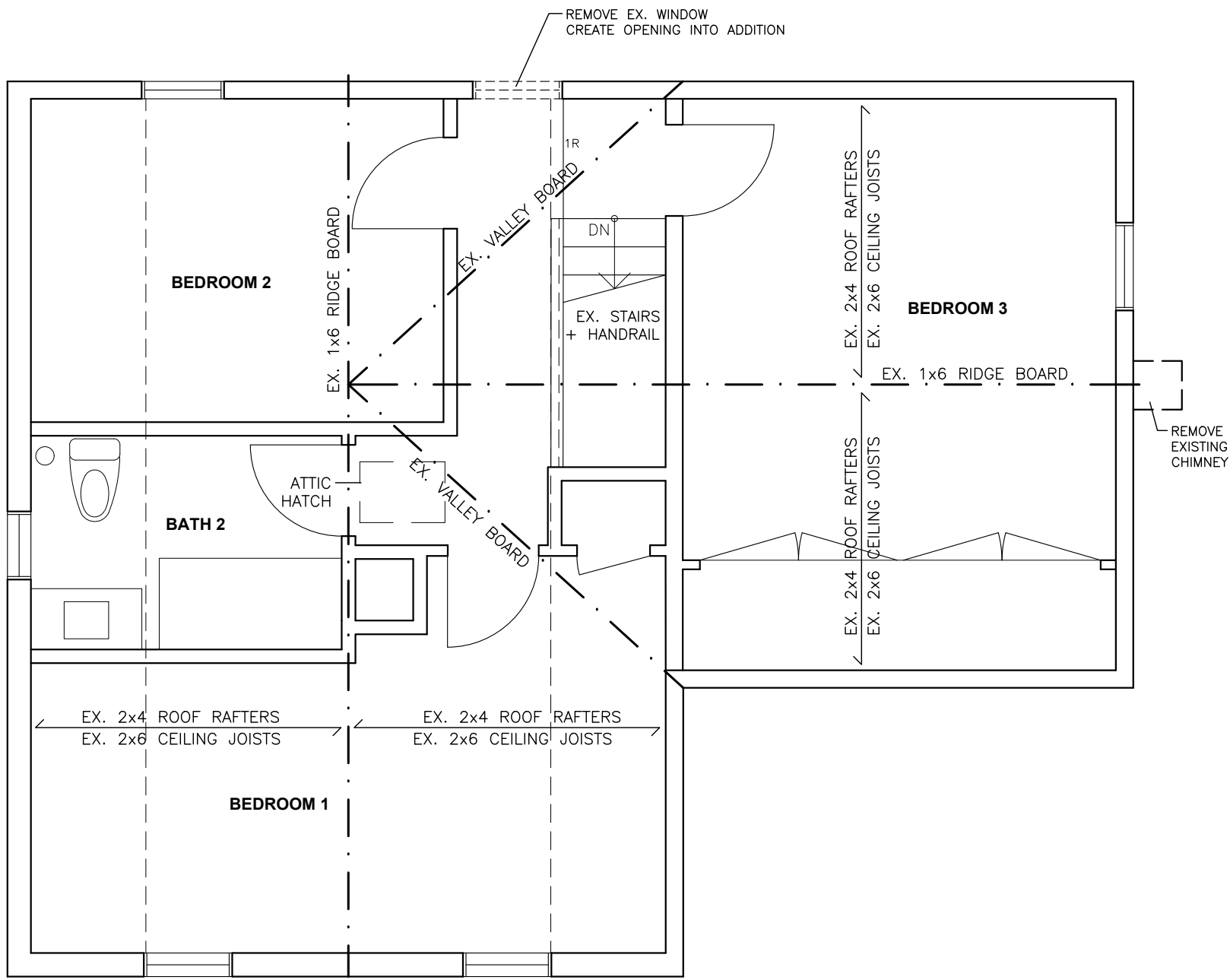




EXISTING BASEMENT PLAN



EXISTING MAIN FLOOR PLAN



EXISTING SECOND FLOOR PLAN

STRUCTURAL NOTES:

- GENERAL**
- DESIGN LOADS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION.
  - THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESSES AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION.
  - CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS PROVIDED AND REQUIRED TO PERFORM THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO MERNER ROW DESIGN (MRD) IMMEDIATELY TO OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK.
  - CONTRACTOR SHALL USE ALL SPECIFIED MATERIALS WITHOUT SUBSTITUTION.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
  - THE CONTRACTOR WILL PROVIDE ALL ACCESSORY ITEMS OR MATERIALS, SUCH AS BRACKETS, CLEATS, UNDERLAYS, OVERLAYS, CONNECTORS, FASTENERS, COVER PLATES, SEALANTS, LUBRICANTS, CLEANERS, BONDING AGENTS, AND SIMILAR ITEMS, WHETHER SPECIFIED OR NOT, SO THAT THE WORK IS COMPLETE AND WILL PERFORM AS REQUIRED.
  - STRUCTURAL REVIEW WAS COMPLETED BASED ON THE INFORMATION AND ROOF/FLOOR FRAMING LAYOUTS AND DESIGNS AVAILABLE AT THE TIME OF THE REVIEW. IF THE ACTUAL DESIGNS RESULT IN ANY DIFFERENT LAYOUTS/POINT LOADS/DIMENSIONS, CONTACT MRD PRIOR TO COMMENCING ANY WORK.
  - ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH ONTARIO BUILDING CODE, PART 9, UNLESS NOTED OTHERWISE.
  - MRD SCOPE IS LIMITED TO STRUCTURAL DESIGN OF ITEMS NOT DESIGNED BY ROOF/FLOOR/TIMBER/SIP FRAMING SUPPLIERS ONLY.

GENERAL FOUNDATION

- ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED BASE OR COMPACTED GRANULAR WITH A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 75kpa (TO BE VERIFIED BY GEO-TECHNICAL ENGINEER PRIOR TO CONSTRUCTION).
- CONCRETE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS:
  - BASEMENT SLABS 20mpa (4-7% AIR)
  - FOOTINGS & FOUNDATION WALLS 20mpa (4-7% AIR)
  - EXTERIOR FLATWORK 32mpa (5-8% AIR)
- CONCRETE COLD WEATHER REQUIREMENTS WHEN AIR TEMPERATURE AT OR BELOW 5 DEGREES CELSIUS:
  - TEMPERATURE OF THE CONCRETE AT ALL SURFACES SHALL BE KEPT AT A MINIMUM OF 10 DEGREES CELSIUS FOR 3 DAYS.
  - NO FROZEN MATERIAL SHALL BE USED IN CONCRETE MIX.
- NO CONCRETE SHALL BE POURED WITHOUT PRIOR REVIEW BY THE BUILDING INSPECTOR.
- DAMP PROOF & WATER PROOF FOUNDATION WALLS & SLABS PER OBC 2012, PART 9 REQUIREMENTS
- REINFORCING STEEL
  - YIELD STRENGTH FOR MAIN BARS: 400mpa
  - YIELD STRENGTH FOR LATERAL TIES & STIRRUPS: 400mpa, CAS SPEC. G30.12
  - ALL SPLICES TO BE LAPPED 24"
  - PROVIDE 3" COVER TO REINFORCING STEEL AGAINST EARTH, 2" ELSEWHERE
- FOUNDATION WALL IS DESIGNED BASED ON THE ASSUMPTION THAT THE BACKFILL WILL BE FREE DRAINING SAND, GRAVEL WITH SILT/CLAY WITH A MAXIMUM EQUIVALENT FLUID DENSITY OF 7200K/M3. IF THE SITE CONDITION VARIES FROM ABOVE ASSUMPTION, INFORM STRUCTURAL ENGINEER IMMEDIATELY TO REVIEW AND SPECIFY REINFORCING STEEL REQUIREMENTS.
- HYDROSTATIC PRESSURE DUE TO WATER BUILD UP HAS NOT BEEN ACCOUNTED FOR IN THE STRUCTURAL DESIGN. IF THIS ASSUMPTION IS NOT VALID DUE TO SITE SPECIFIC CONDITIONS, CONTACT STRUCTURAL ENGINEER FOR INSTRUCTIONS PRIOR TO STARTING ANY WORK.
- PROTECT THE FOUNDATIONS FROM FROST DAMAGE, WHERE NECESSARY, UNTIL PERMANENT CONSTRUCTION PROVIDES SUCH PROTECTION.
- FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL LATERALLY SUPPORTED AT THE TOP AND BOTTOM.
- THE LINE OF SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10, MAXIMUM STEP 600MM (2'-0").
- ALL EXTERIOR FOOTINGS OR OTHER FOOTINGS EXPOSED TO FREEZING IN THE FINISHED BUILDING SHALL BE FOUNDED AT A MINIMUM OF 1200MM (4'-0") BELOW FINISHED GRADE UNLESS NOTED OTHERWISE. FOOTINGS EXPOSED TO FROST ACTION DURING CONSTRUCTION SHALL BE PROTECTED BY A MINIMUM OF 1200MM (4'-0") OF EARTH OR ITS EQUIVALENT SUFFICIENT TO PREVENT FREEZING, IF NOT BEARING ON BEDROCK.
- IF ACTUAL JOB SITE OR SOIL CONDITIONS VARY FROM THOSE ASSUMED, THEN WRITTEN DIRECTIONS MUST BE OBTAINED FROM THE STRUCTURAL CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- KEEP EXCAVATIONS CONTINUOUSLY DRY BEFORE CONCRETE IS PLACED. IF THE SOIL IS SOFTENED BY WATER, THE EXCAVATION SHALL BE EXTENDED BELOW THE SOFTENED MATERIAL AND THE BOTTOM OF THE FOOTINGS LOWERED TO SUIT.
- DAMP PROOF/WATERPROOF PER OBC 2012, PART 9
- SECURE TO FOOTING WITH 8"x16"xV 15M DOWELS @ 240"/C

GENERAL WOOD FRAMING

- ALL WOOD CONSTRUCTION SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF OBC 2012, PART 9, UNLESS NOTED OTHERWISE.
- ROUGH HARDWARE - BOLTS, NUTS, WASHERS, LAGS, PINS AND SCREWS - ALL TO BE HOT DIP GALVANIZED IF EXPOSED TO EXTERIOR USE.
- ALL FRAMING ANCHORS, JOIST HANGERS, BEAM HANGERS, POST CAPS, POST ANCHORS, BACK-UP CLIPS AND ANGLES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GUIDELINES. UNLESS NOTED OTHERWISE, UTILIZE SIMPSON STRONG TIE (SST) HANGERS & TIES FOR CONNECTIONS.
- SPLICING, NOTCHING AND DRILLING THROUGH MEMBERS IS NOT PERMITTED EXCEPT AS SPECIFIED BY THESE PLANS AND/OR AS APPROVED BY MRD.
- PRE-ENGINEERED PRODUCTS, MANUFACTURED LUMBER OR TIMBER PRODUCTS NOT SPECIFIED HEREIN ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER, MANUFACTURED/ENGINEERED WOOD PRODUCTS DESIGNED BY OTHERS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- ALL MULTI-PLY WOOD MEMBERS SHALL BE BUILT-UP IN ACCORDANCE WITH OBC 2012, PART 9 OR PER MANUFACTURER'S SPECIFICATIONS AND GUIDELINES.
  - ALL LVL'S SHALL MEET OR EXCEED 2.0E, 2900FB.
  - USE APPROPRIATE HURRICANE TIES TO CONNECT ROOF FRAMING TO BEARING WALL (TBD BASED ON FINAL ROOF FRAMING DESIGNS.
  - PROVIDE SQUASH BLOCKS, SOLID BLOCCING AS REQUIRED TO SUPPORT POINT LOADS.
  - WOOD PRESERVATIVES (PRESSURE TREATED): -WHERE REQUIRED TO CONFORM TO CSA STANDARD 080-M, ALL WOOD PRODUCTS BEARING ON CONCRETE OR MASONRY AT OR BELOW GRADE TO BE PRESSURE TREATED OR BE PROTECTED WITH A MINIMUM 0.05 POLYETHYLENE VAPOUR BARRIER, ROLL ROOFING, OR APPROVED EQUIVALENT.
  - LUMBER - UNLESS OTHERWISE NOTED TO BE SPRUCE-PIKE-FIR (SPF), GRADE NO.1 OR 2, CONFORMING TO CSA STANDARD WITH 0141 WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION. LUMBER SHALL BEAR THE GRADING STAMP OF AN AGENCY APPROVED BY THE CANADIAN LUMBER STANDARDS ADMINISTRATION BOARD.

GENERAL CONCRETE MASONRY

- ALL MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARD A371 "MASONRY CONSTRUCTION FOR BUILDINGS"
- REFER ALSO TO GENERAL NOTES, STRUCTURAL DRAWINGS / PLANS AND TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

PRODUCTS

- UNLESS NOTED OTHERWISE THE MINIMUM COMPRESSIVE STRENGTH (TESTED FLAT WISE) SHALL BE 20MPA BASED ON GROSS AREA FOR SOLID AND CORED UNITS AND NET AREA FOR HOLLOW UNITS.
- MORTAR TO BE PREPARED BY PROPORTION SPECIFICATION IN ACCORDANCE WITH CSA A179, TYPE "S" FOR ALL MASONRY.
- MASONRY GROUT TO CONFORM TO CSA A179 AND BE PREPARED BY PROPERTY SPECIFICATION:
  - MINIMUM 15MPA COMPRESSIVE STRENGTH AT 28 DAYS.
  - SUMP TO BE 200mm (8") MIN. TO 250mm (10") MAX.
  - GROUT TO BE FINE WHEN MAX. GROUT SPACE IS 50mm (2") OR LESS.
  - TESTING TO BE DONE IN ACCORDANCE WITH CSA A179.
- MASONRY CONNECTORS (TIES, ANCHORS, AND FASTENERS) SHALL CONFORM TO CSA A370 AND BE INSTALLED IN ACCORDANCE WITH CSA A371. SPACING, STRENGTH AND CORROSION PROTECTION OF STRIP TIES, DOVETAIL ANCHORS, BAR ANCHORS, ROD ANCHORS, STRAP ANCHORS, WALL AND PARTITION ANCHORS SHALL COMPLY WITH CSA A370.
- REINFORCING BARS TO CONFORM TO CSA G30.18 - GRADE 400MPA.
- HORIZONTAL JOINT REINFORCEMENT TO BE 240 LADDER-TWIN-MESH, EXTRA HEAVY DUTY REINFORCING BY HOHMANN & BARNARD, INC. OR APPROVED EQUIVALENT (AT EACH COURSE), PROVIDE ALL PREFABRICATED CORNERS AND TEE SECTION.
- JOINT REINFORCING FOR EXTERIOR WALLS, WALLS IN CONTACT WITH SOIL, AND WALLS IN MOIST ENVIRONMENTS SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION TO ASTM A153 - CLASS B2 W/ MIN. ZINC COATING MASS OF 458 G/m2 (1.50OZ/SF).

EXECUTION

- VERTICAL SPACING OF HORIZONTAL JOINT REINFORCING SHALL NOT EXCEED 400mm (16").
- TOLERANCES FOR MASONRY CONSTRUCTION SHALL CONFORM TO CSA A371 UNLESS NOTED OTHERWISE.
- PROVIDE HOT AND COLD WEATHER PROTECTION AS REQUIRED BY CSA A371.

LEGEND:  
(SEE NOTES PG. A03)

- CROSS SECTION
- STRUCTURAL MEMBER
- EXISTING STRUCTURE TO BE REMOVED

**NOTE:**  
EXISTING DWELLING TO REMAIN UNCHANGED

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INTERIOR DIMENSIONS ARE MEASURED FROM THE INSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALLS AND OPENINGS.

**MERNER ROW DESIGN**

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**QUALIFICATION INFORMATION**  
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LISA APPS 112545  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

MERNER ROW DESIGN 115433  
FIRM NAME BCIN

**PROPOSED ADDITION**

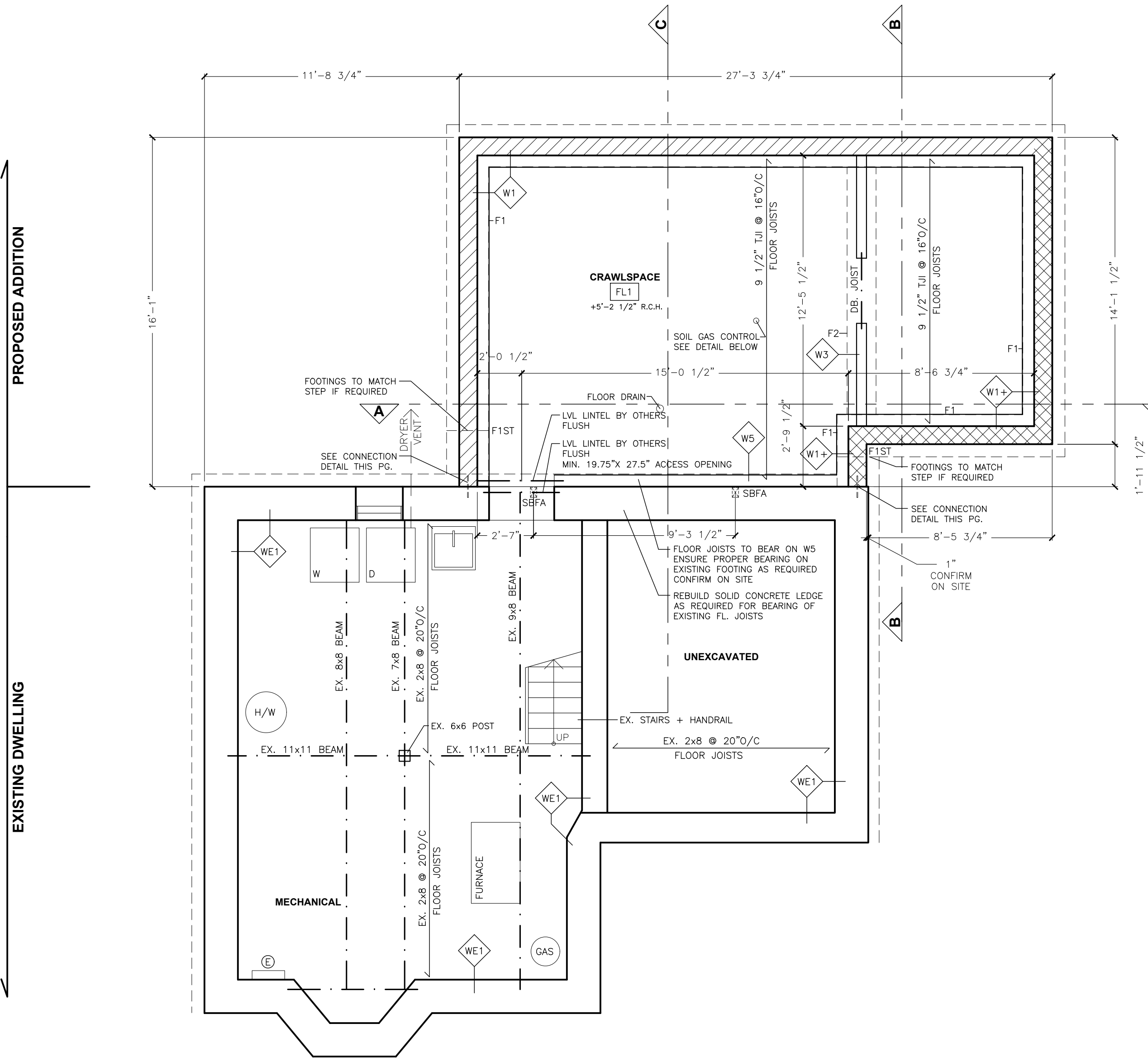
**42 JOHN ST. S. MISSISSAUGA**

**DEMO PLANS & ADD. NOTES**

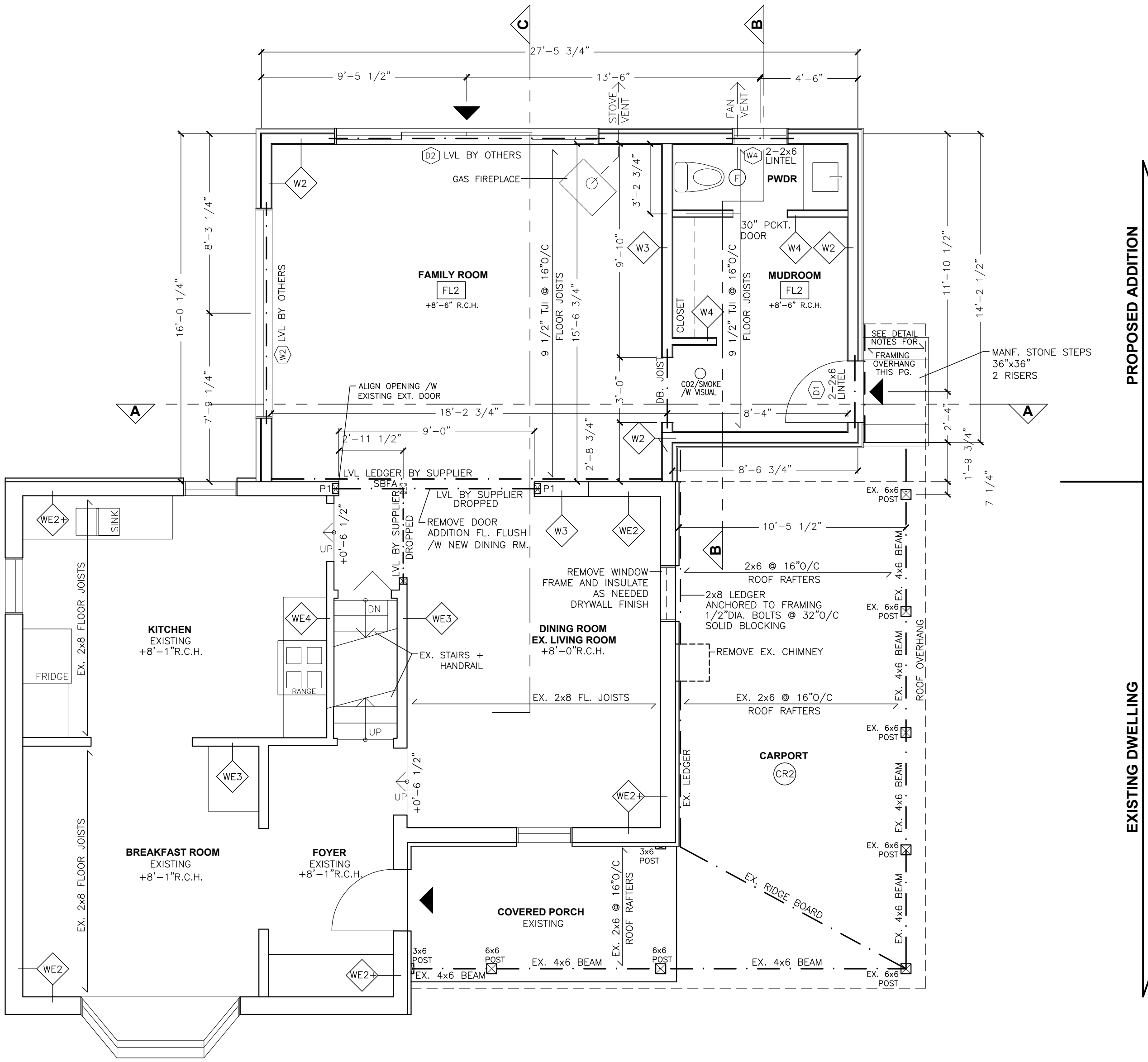
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(1/4" = 1'-0")

**A02**

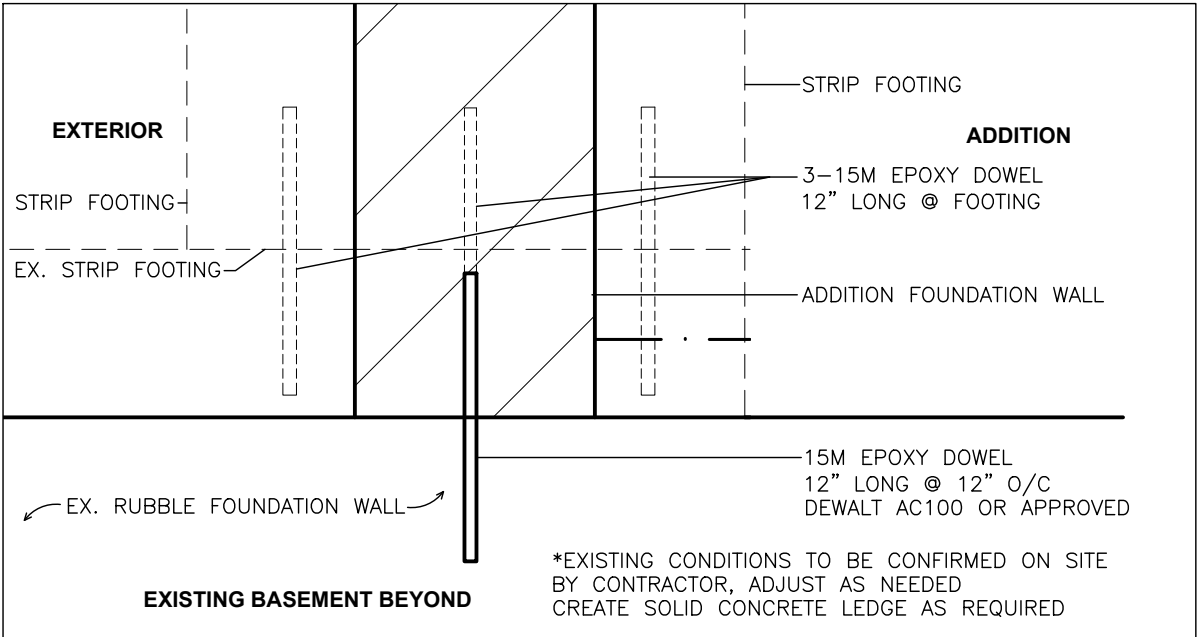
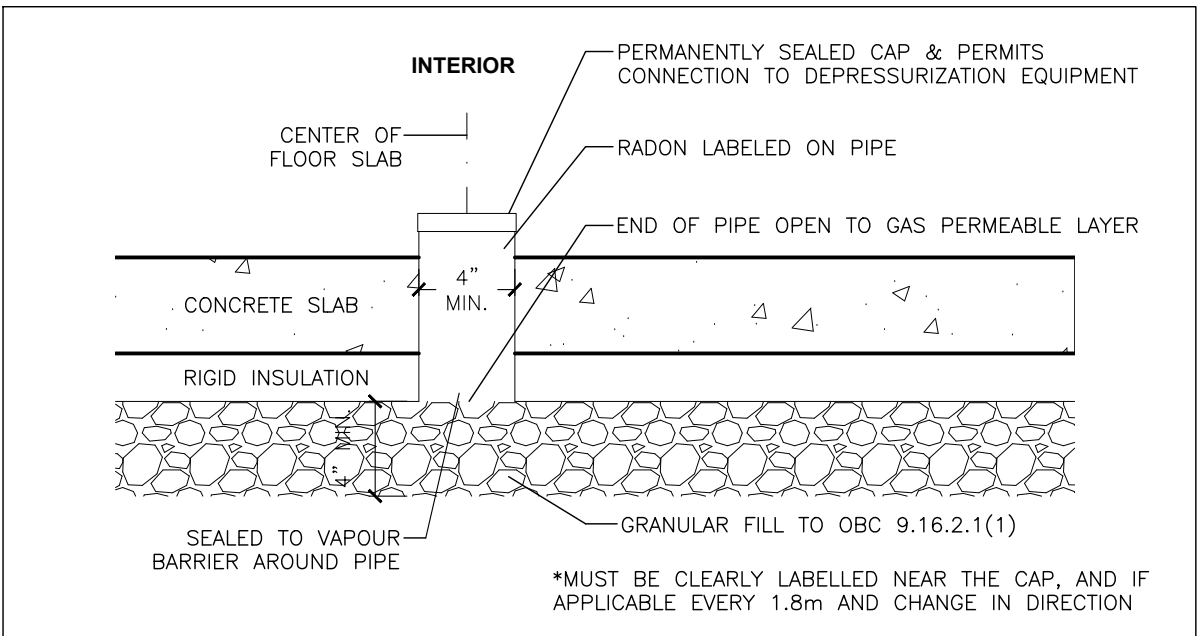
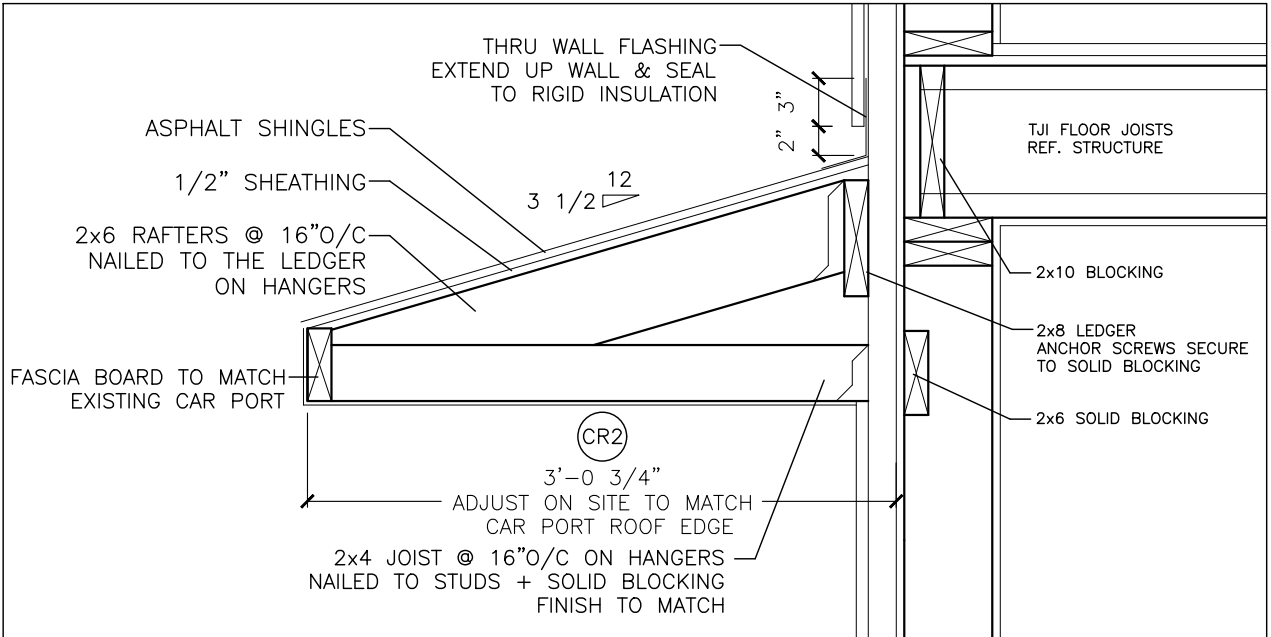
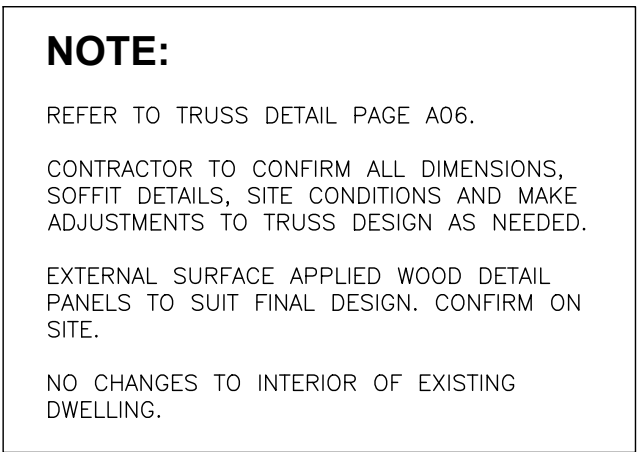
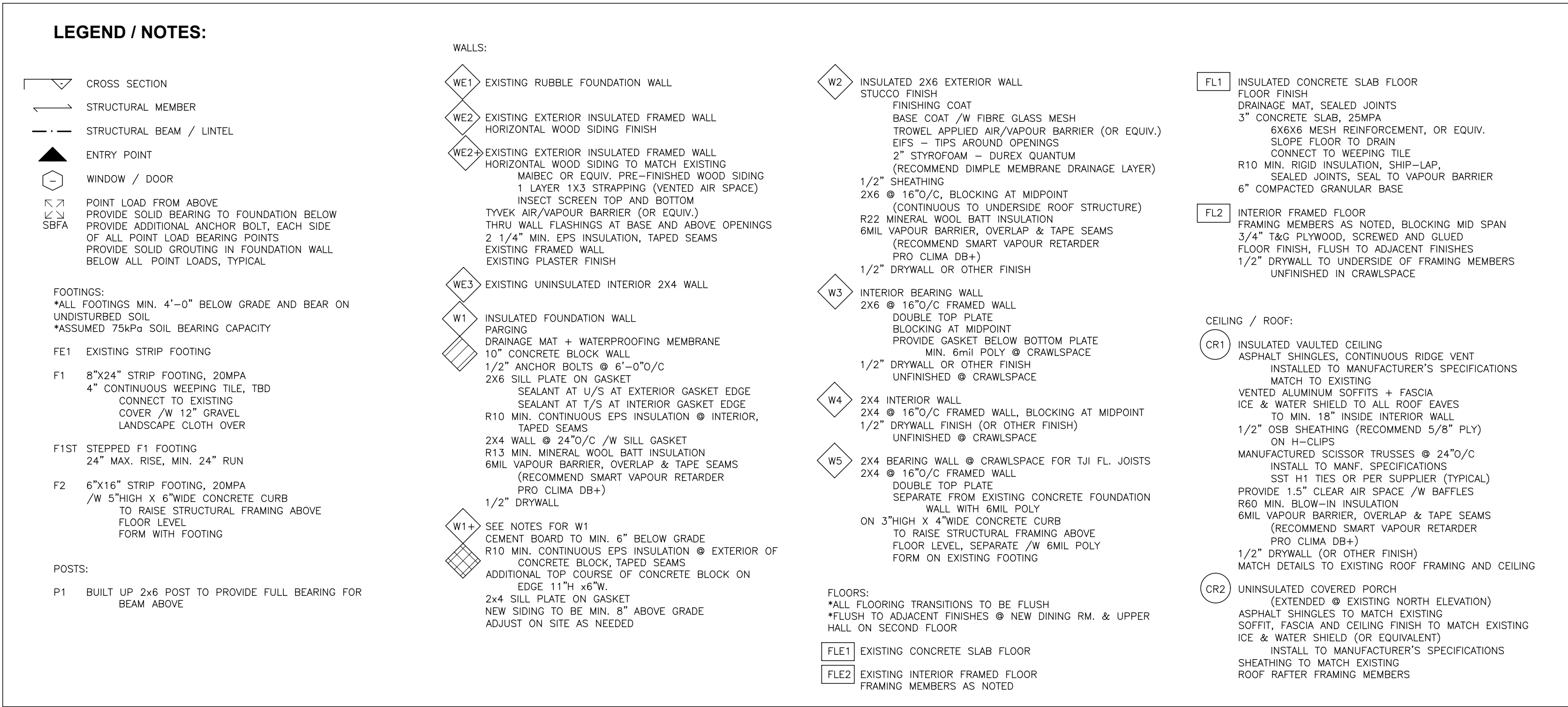




FOUNDATION PLAN



MAIN FLOOR PLAN



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**REGISTRATION INFORMATION**

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MERNER ROW DESIGN 115433  
FIRM NAME BCIN

**PROPOSED ADDITION**

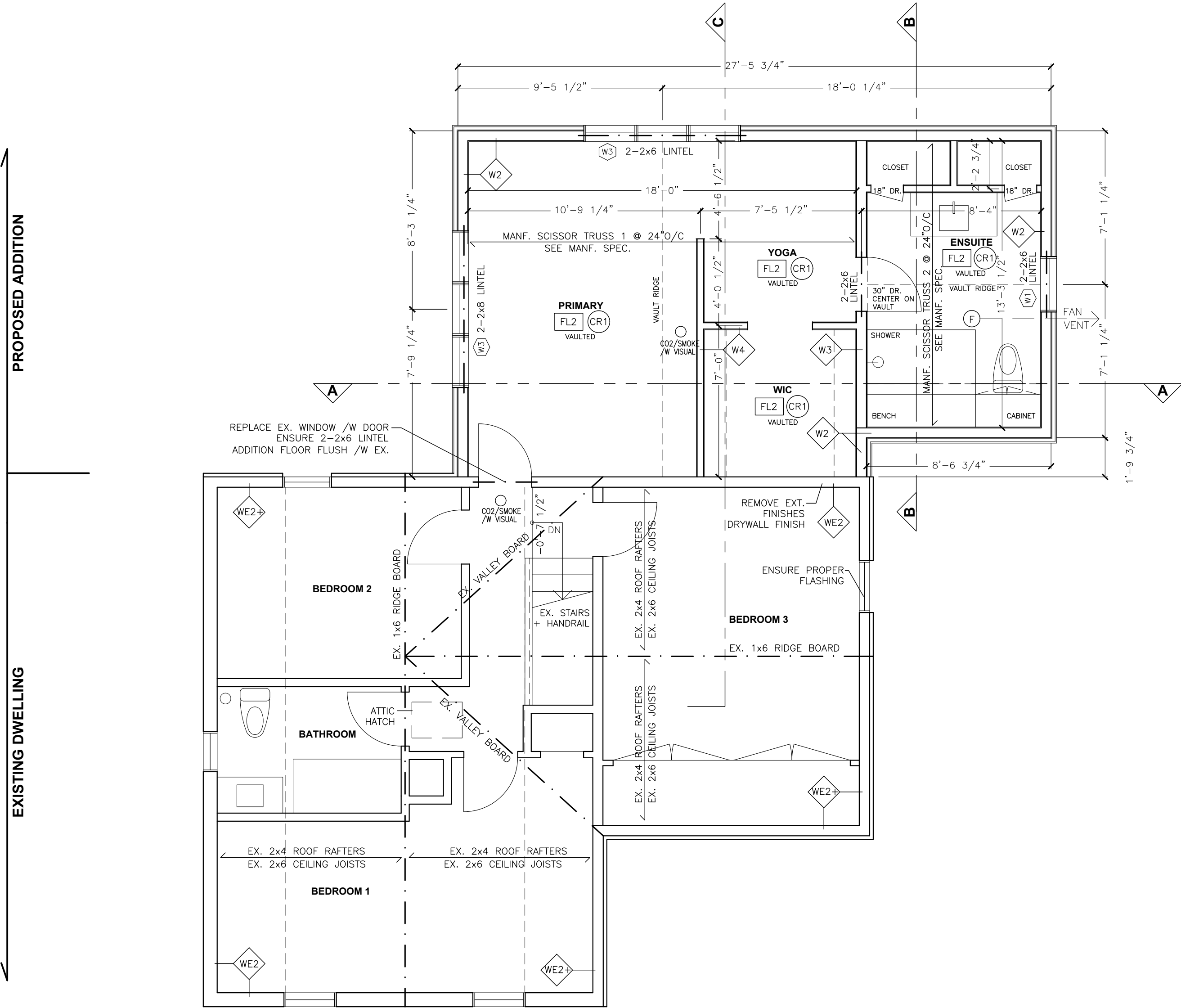
**42 JOHN ST. S. MISSISSAUGA**

**FOUNDATION & MAIN FL. PLANS**

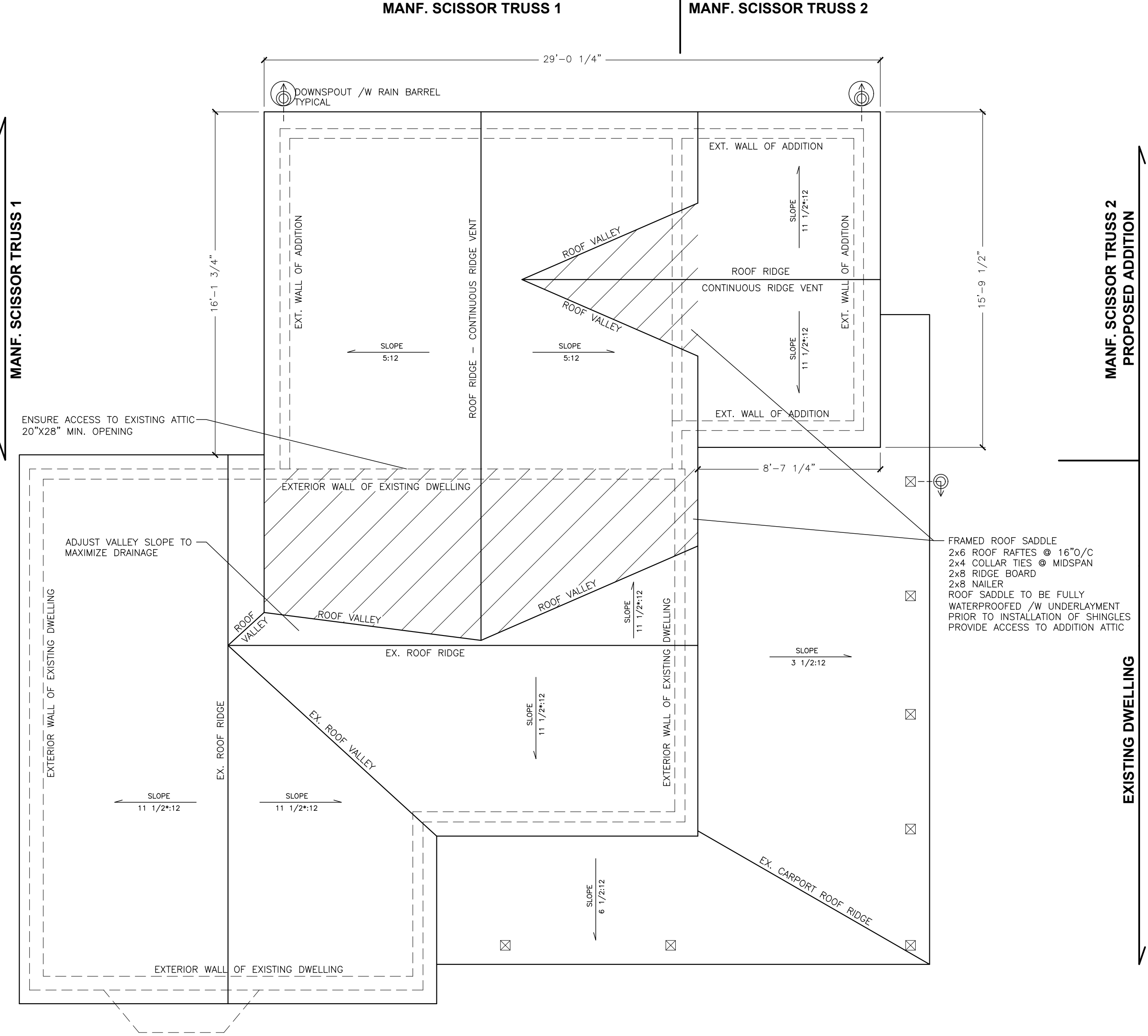
DATE: NOV. 21, 2024 SCALE: 1:50 (1/4" = 1'-0")

**A03**





SECOND FLOOR PLAN



ROOF PLAN

**LEGEND / NOTES:**

CROSS SECTION

STRUCTURAL MEMBER

STRUCTURAL BEAM / LINTEL

ENTRY POINT

WINDOW / DOOR

POINT LOAD FROM ABOVE  
PROVIDE SOLID BEARING TO FOUNDATION BELOW  
PROVIDE ADDITIONAL ANCHOR BOLT, EACH SIDE  
OF ALL POINT LOAD BEARING POINTS  
PROVIDE SOLID GROUTING IN FOUNDATION WALL  
BELOW ALL POINT LOADS, TYPICAL

SBFA

**WALLS:**

**W2** INSULATED 2X6 EXTERIOR WALL  
STUCCO FINISH  
FINISHING COAT  
BASE COAT /W FIBRE GLASS MESH  
TROWEL APPLIED AIR/VAPOUR BARRIER (OR EQUIV.)  
EIFS - TIPS AROUND OPENINGS  
2" STYROFOAM - DUREX QUANTUM  
(RECOMMEND DIMPLE MEMBRANE DRAINAGE LAYER)

**1/2"** SHEATHING  
2X6 @ 16"O/C, BLOCKING AT MIDPOINT  
(CONTINUOUS TO UNDERSIDE ROOF STRUCTURE)  
R22 MINERAL WOOL BATT INSULATION  
6MIL VAPOUR BARRIER, OVERLAP & TAPE SEAMS  
(RECOMMEND SMART VAPOUR RETARDER  
PRO CLIMA DB+)

**1/2"** DRYWALL OR OTHER FINISH

**W3** INTERIOR BEARING WALL  
2X6 @ 16"O/C FRAMED WALL  
DOUBLE TOP PLATE  
BLOCKING AT MIDPOINT  
PROVIDE GASKET BELOW BOTTOM PLATE  
MIN. 6MIL POLY @ CRAWLSPACE

**1/2"** DRYWALL OR OTHER FINISH  
UNFINISHED @ CRAWLSPACE

**W4** 2X4 INTERIOR WALL  
2X4 @ 16"O/C FRAMED WALL, BLOCKING AT MIDPOINT  
1/2" DRYWALL FINISH (OR OTHER FINISH)  
UNFINISHED @ CRAWLSPACE

**FLOORS:**

\*ALL FLOORING TRANSITIONS TO BE FLUSH  
\*FLUSH TO ADJACENT FINISHES @ NEW DINING RM. & UPPER  
HALL ON SECOND FLOOR

**FL2** INTERIOR FRAMED FLOOR  
FRAMING MEMBERS AS NOTED, BLOCKING MID SPAN  
3/4" T&G PLYWOOD, SCREWED AND GLUED  
FLOOR FINISH, FLUSH TO ADJACENT FINISHES  
1/2" DRYWALL TO UNDERSIDE OF FRAMING MEMBERS  
UNFINISHED IN CRAWLSPACE

**CEILING / ROOF:**

**CR1** INSULATED VAULTED CEILING  
ASPHALT SHINGLES, CONTINUOUS RIDGE VENT  
INSTALLED TO MANUFACTURER'S SPECIFICATIONS  
MATCH TO EXISTING

VENTED ALUMINUM SOFFITS + FASCIA  
ICE & WATER SHIELD TO ALL ROOF EAVES  
TO MIN. 18" INSIDE INTERIOR WALL  
1/2" OSB SHEATHING (RECOMMEND 5/8" PLY)  
ON H-CLIPS

MANUFACTURED SCISSOR TRUSSES @ 24"O/C  
INSTALL TO MANF. SPECIFICATIONS  
SST H1 TIES OR PER SUPPLIER (TYPICAL)

PROVIDE 1.5" CLEAR AIR SPACE /W BAFFLES  
R60 MIN. BLOW-IN INSULATION  
6MIL VAPOUR BARRIER, OVERLAP & TAPE SEAMS  
(RECOMMEND SMART VAPOUR RETARDER  
PRO CLIMA DB+)

1/2" DRYWALL (OR OTHER FINISH)  
MATCH DETAILS TO EXISTING ROOF FRAMING AND CEILING

**NOTE:**

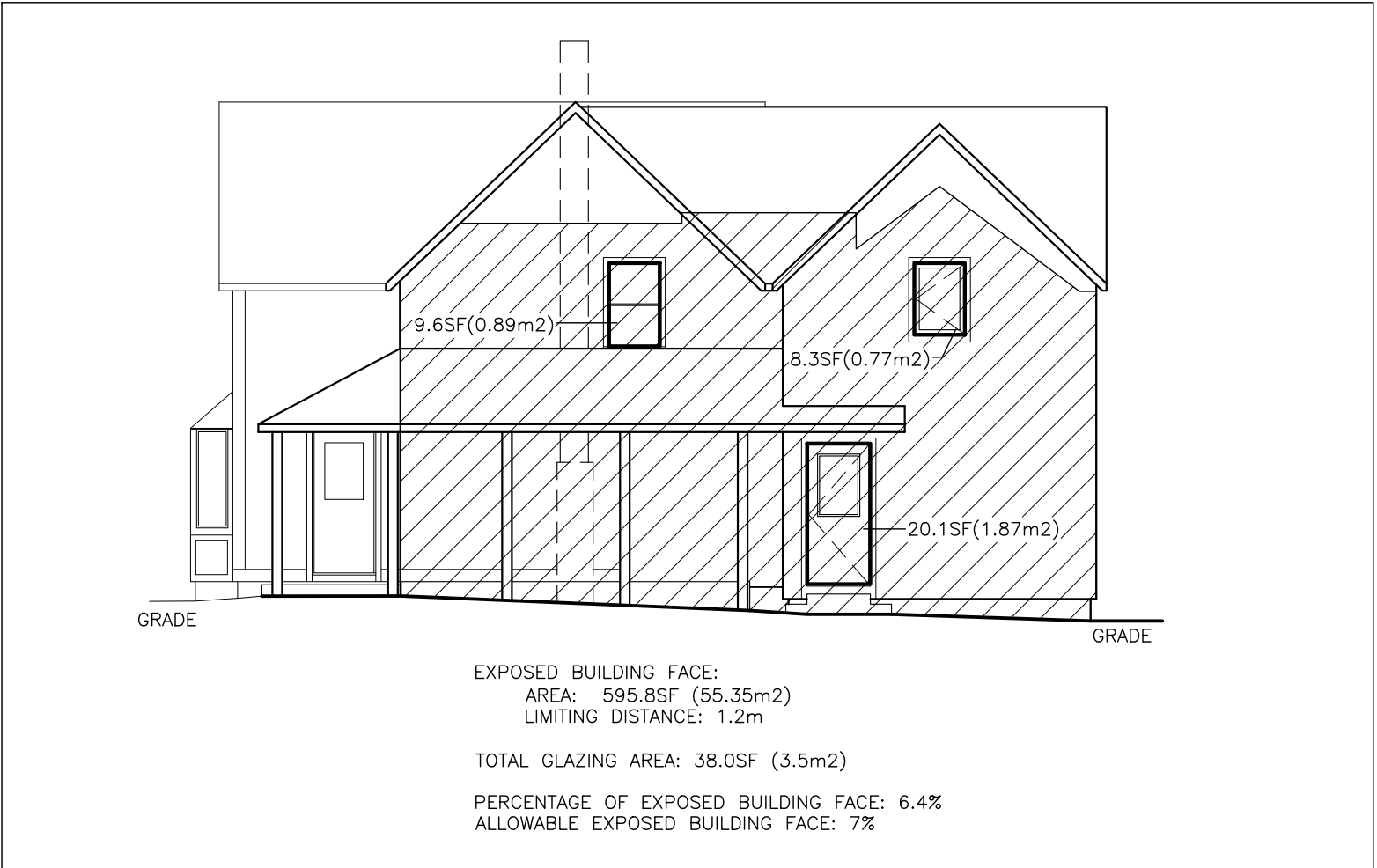
REFER TO TRUSS DETAIL PAGE A06.

CONTRACTOR TO CONFIRM ALL DIMENSIONS,  
SOFFIT DETAILS, EX. SLOPE, SITE CONDITIONS  
AND MAKE ADJUSTMENTS TO TRUSS DESIGN AS  
NEEDED.

EXTERNAL SURFACE APPLIED WOOD DETAIL  
PANELS TO SUIT FINAL DESIGN. CONFIRM ON  
SITE.

CONTINUOUS RIDGE VENT WHERE NOTED, OR  
EQUIVALENT FOR ADEQUATE VENTING.

NO CHANGES TO INTERIOR OF EXISTING  
DWELLING.



PERCENTAGE OF GLAZED AREA CALCULATIONS  
SCALE: 1/8" = 1'-0" (1:96)

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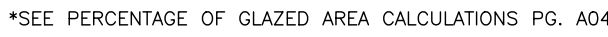
LISA APPS 112545  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
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MERNER ROW DESIGN 115433  
FIRM NAME BCIN

**PROPOSED  
ADDITION**  
  
**42 JOHN ST. S.  
MISSISSAUGA**

**FLOOR & ROOF  
PLANS**  
DATE: NOV. 21, 2024 SCALE: 1:50  
(1/4" = 1'-0")  
 **A04**



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LISA APPS		112545
NAME	SIGNATURE	BCIN

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MERNER ROW DESIGN	115433
FIRM NAME	BCIN

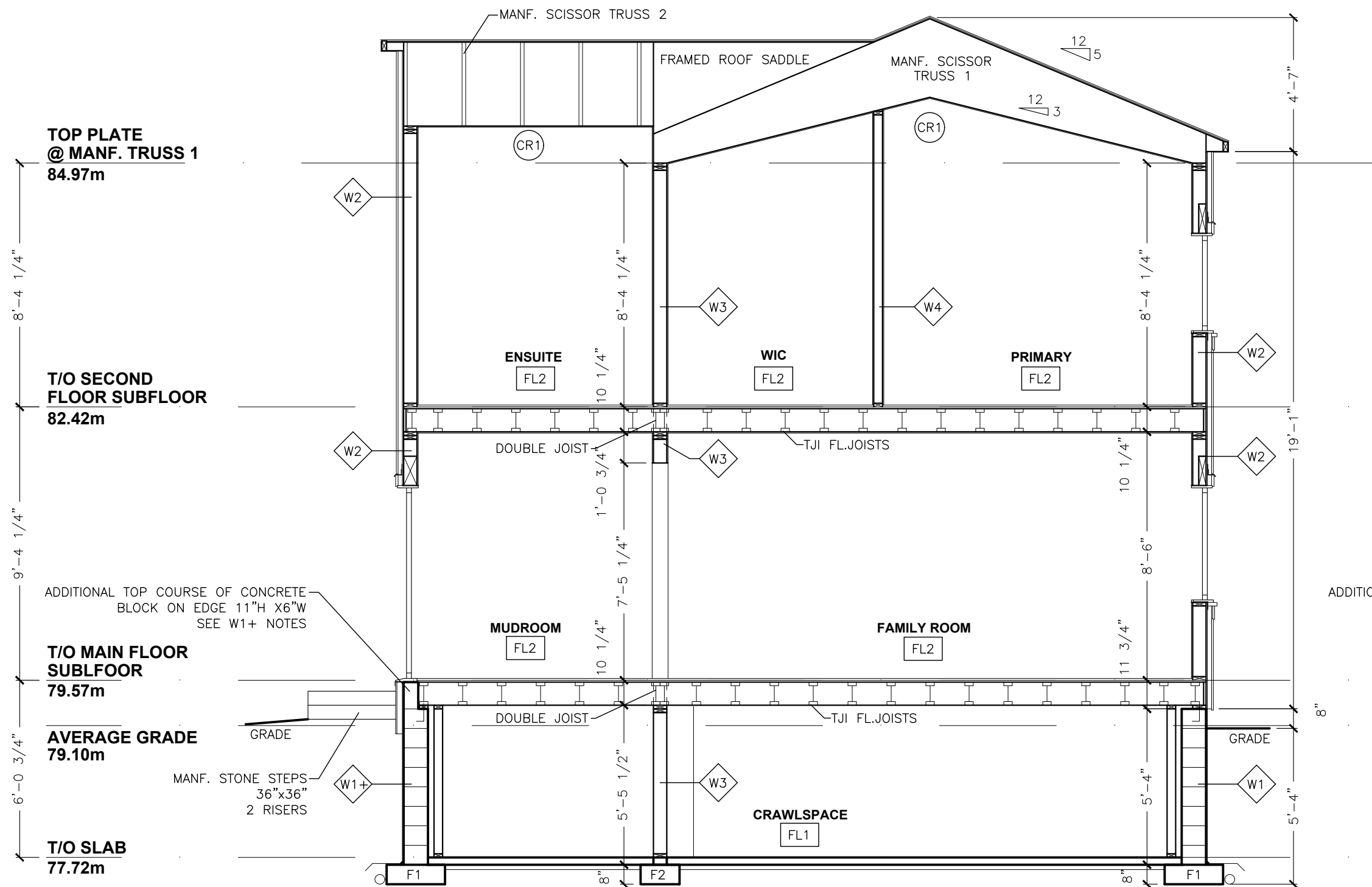
## PROPOSED ADDITION

**42 JOHN ST. S.  
MISSISSAUGA**

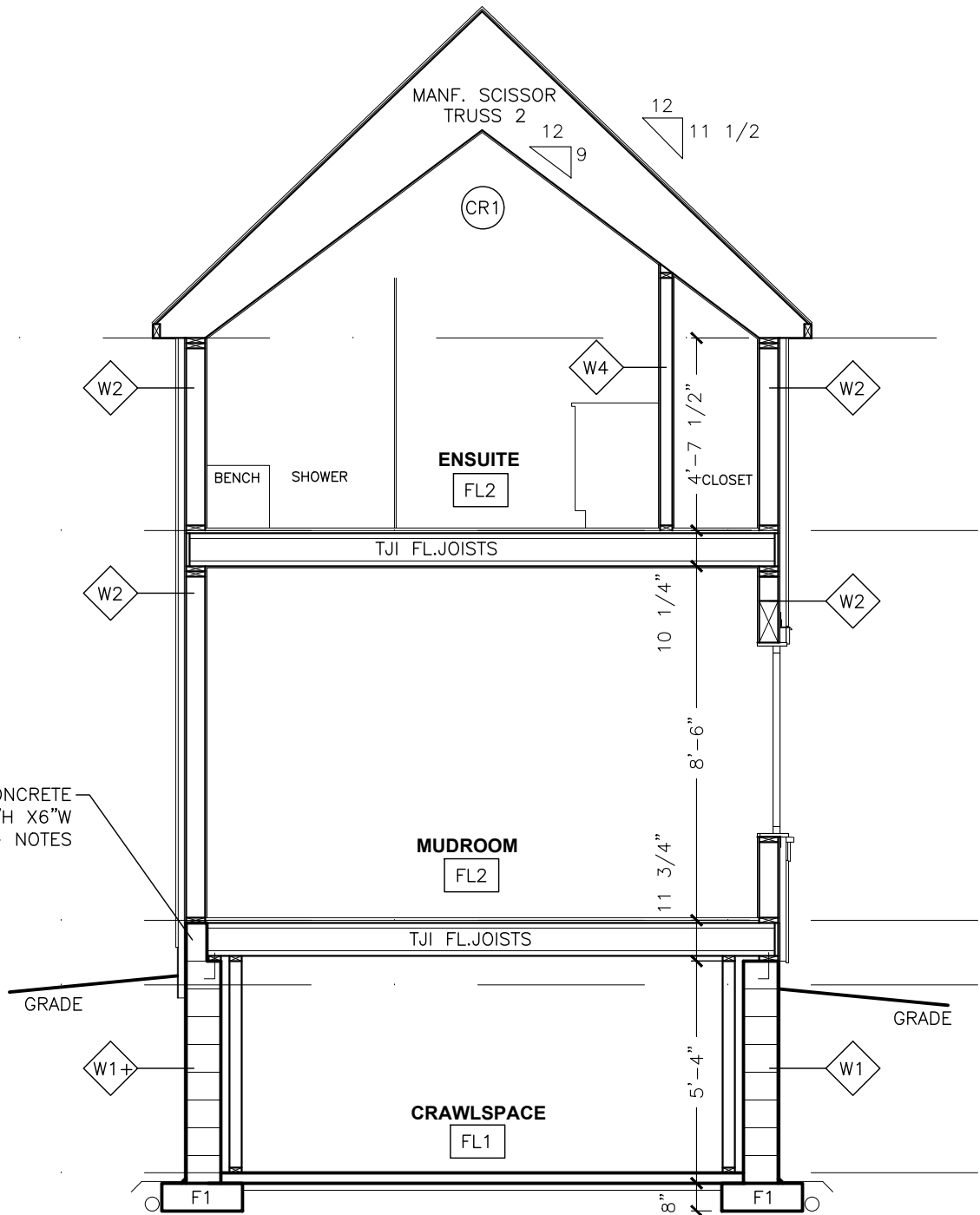
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DATE: NOV. 21, 2024      SCALE: 1:50  
(1/4" = 1' 0")

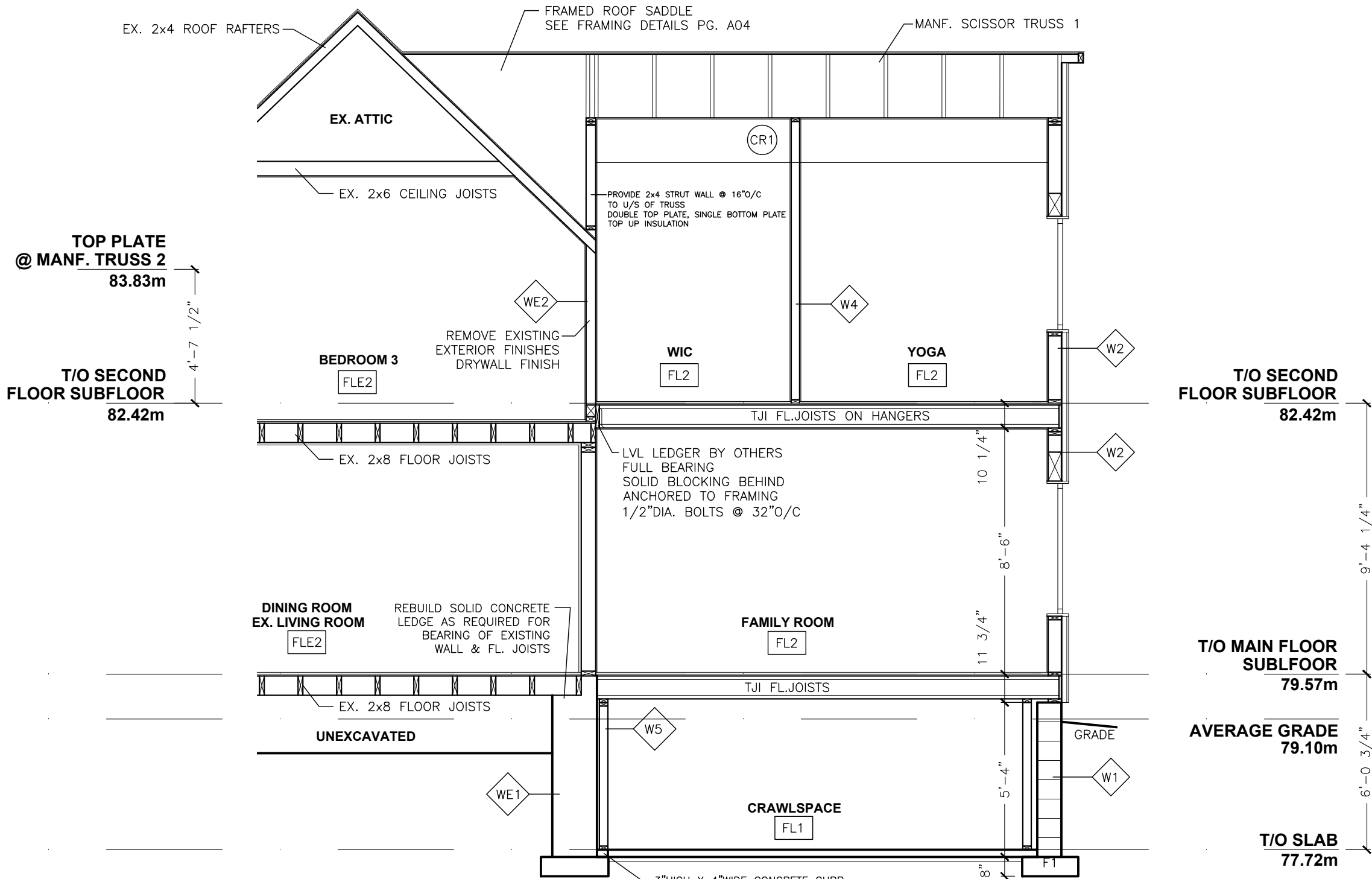
# A05



CROSS SECTION A-A



CROSS SECTION B-B

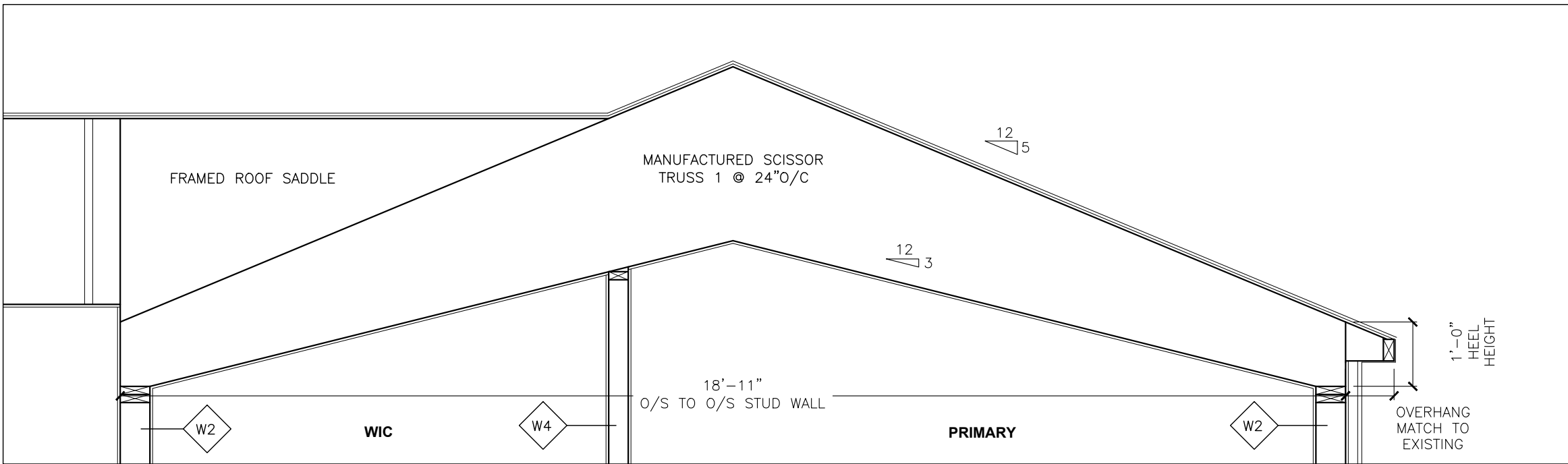


CROSS SECTION C-C

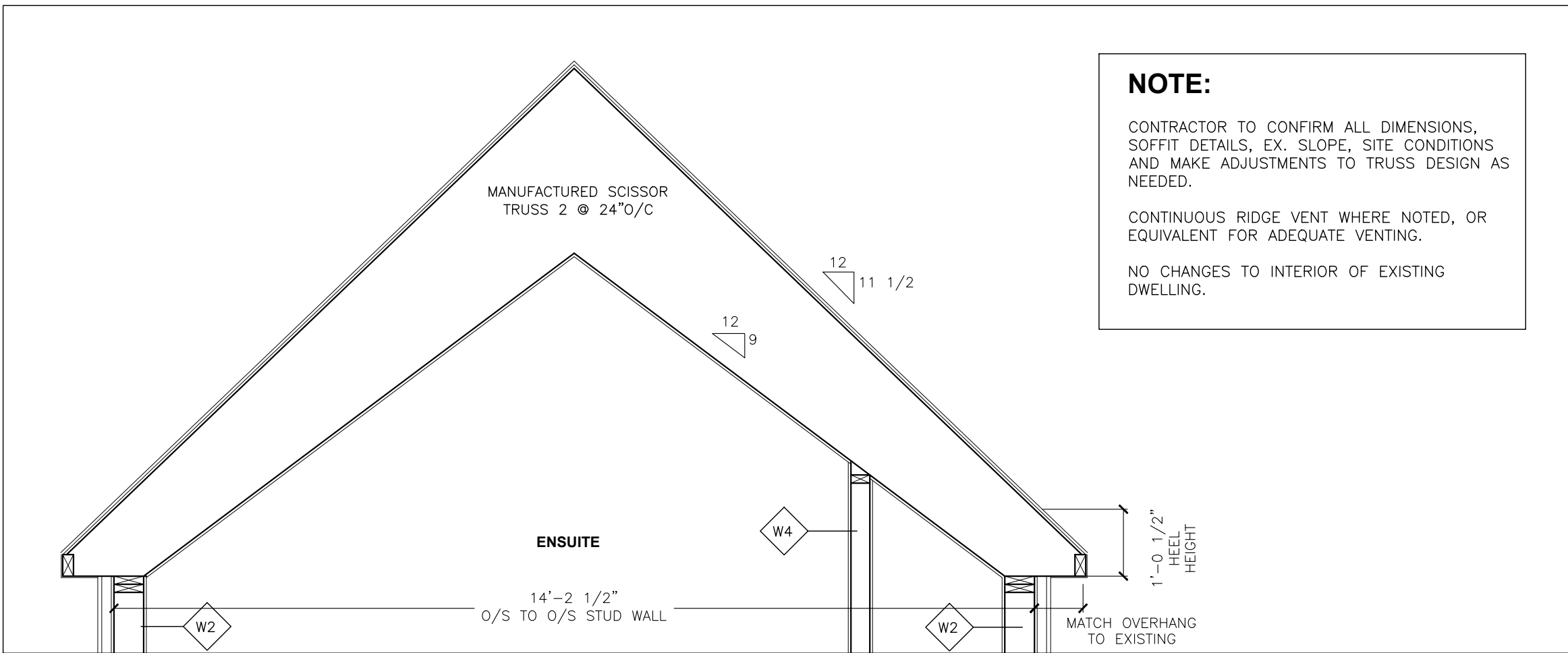
DESCRIPTION	UNIT WIDTH	UNIT HEIGHT	QTY	UNIT GLAZING	SILL HEIGHT
W1 SINGLE PANEL, CASEMENT	29"	41"	1	8.3SF	31"
W2 QUAD PANEL, CASEMENT	116"	48"	1	38.7SF	30"
W3 TRIPLE PANEL, CASEMENT	87"	48"	2	29.0SF	30 3/4"
W4 SINGLE PANEL, CASEMENT	30"	55.5"	1	11.8SF	25 1/2"
D1 ENTRY DOOR, INSULATED HALF GLAZED PANEL	34"	80"	1	20.1SF	N/A
D2 4 PANEL SLIDING DOOR	120"	80"	1	81.1SF	N/A

- \* CONFIRM ALL WINDOW AND DOOR SIZES PRIOR TO COMMENCING CONSTRUCTION
- \* CONFIRM ROUGH OPENING SIZE /W MANUFACTURER
- \* ADJUST WINDOW/DOOR SIZES TO MANUFACTURER STANDARD SIZING TO MINIMIZE COST

EXTERIOR DOOR / WINDOW SCHEDULE

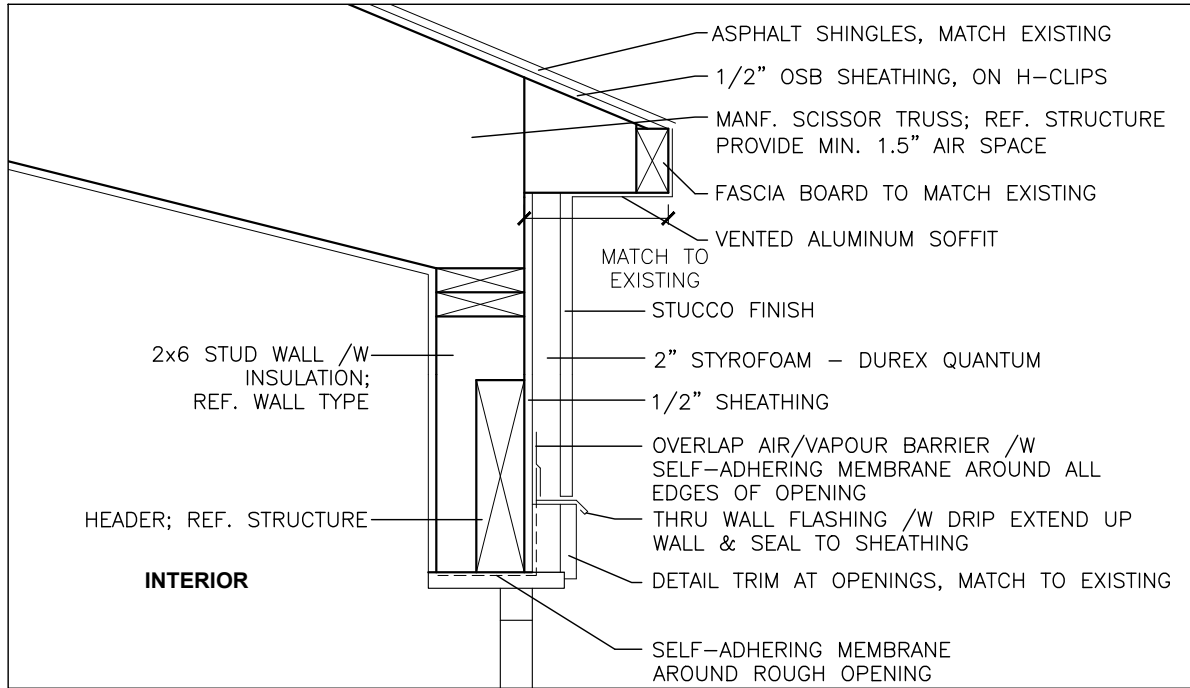


MANUFACTURED SCISSOR TRUSS 1 DETAIL  
SCALE: 1/2" = 1'-0"

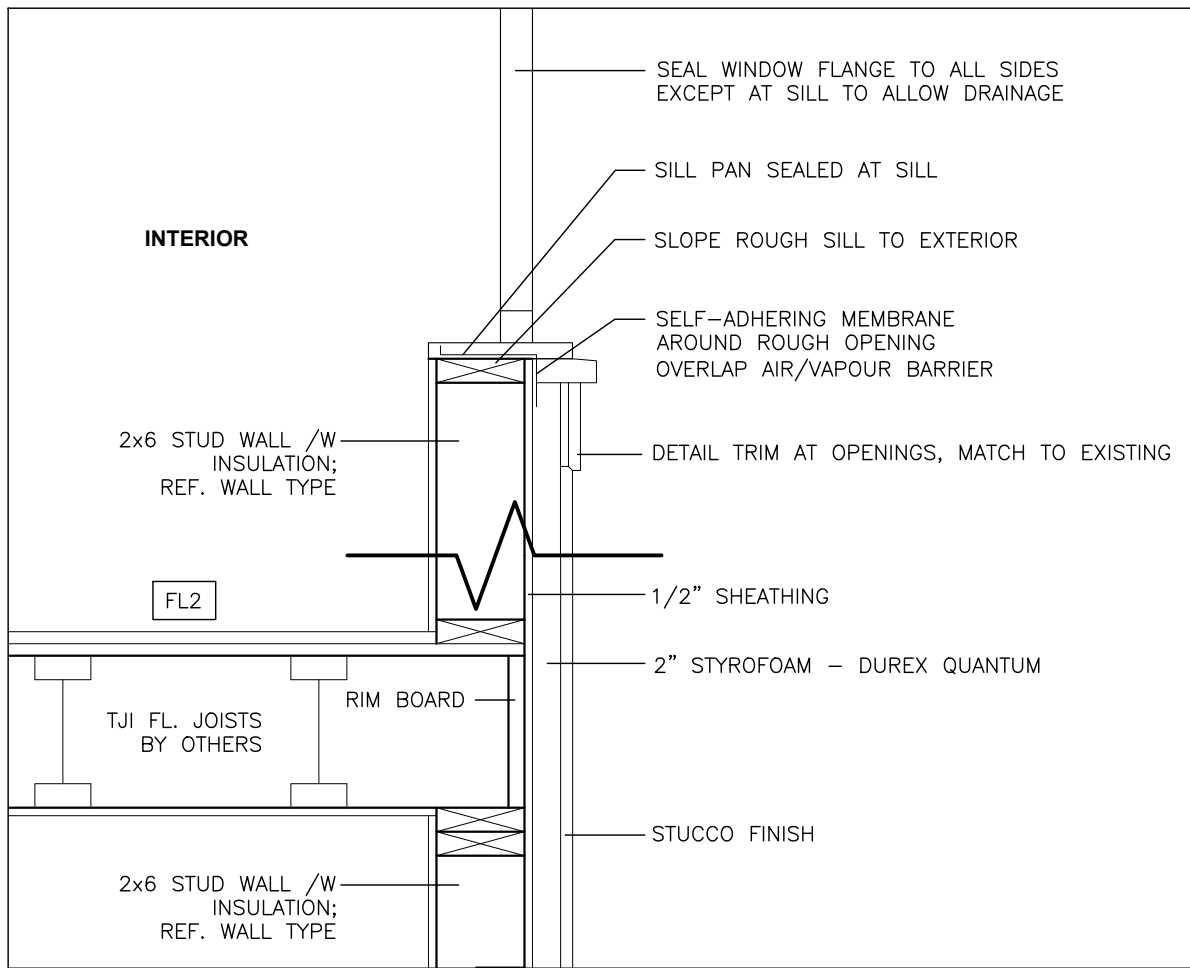


MANUFACTURED SCISSOR TRUSS 2 DETAIL  
SCALE: 1/2" = 1'-0"

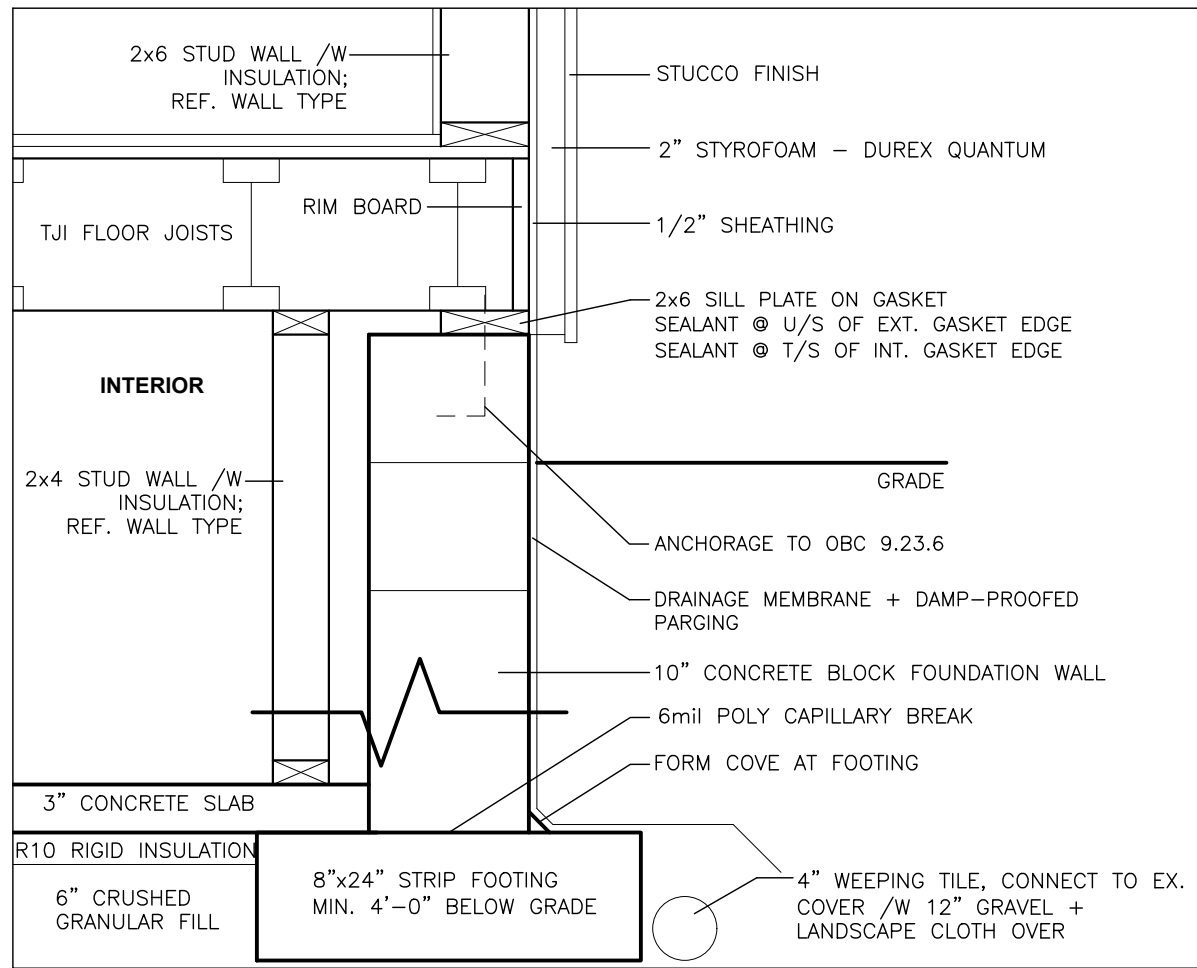
SEE LEGEND / NOTES PG. A03, A04



TYPICAL OPENING & OVERHANG DETAIL @ ADDITION  
SCALE: 1" = 1'-0"



TYPICAL OPENING SILL DETAIL @ ADDITION  
SCALE: 1" = 1'-0"



TYPICAL FOUNDATION DETAIL @ ADDITION  
SCALE: 1" = 1'-0"

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MERNER ROW DESIGN | 115433  
FIRM NAME | BCIN

## PROPOSED ADDITION

42 JOHN ST. S.  
MISSISSAUGA

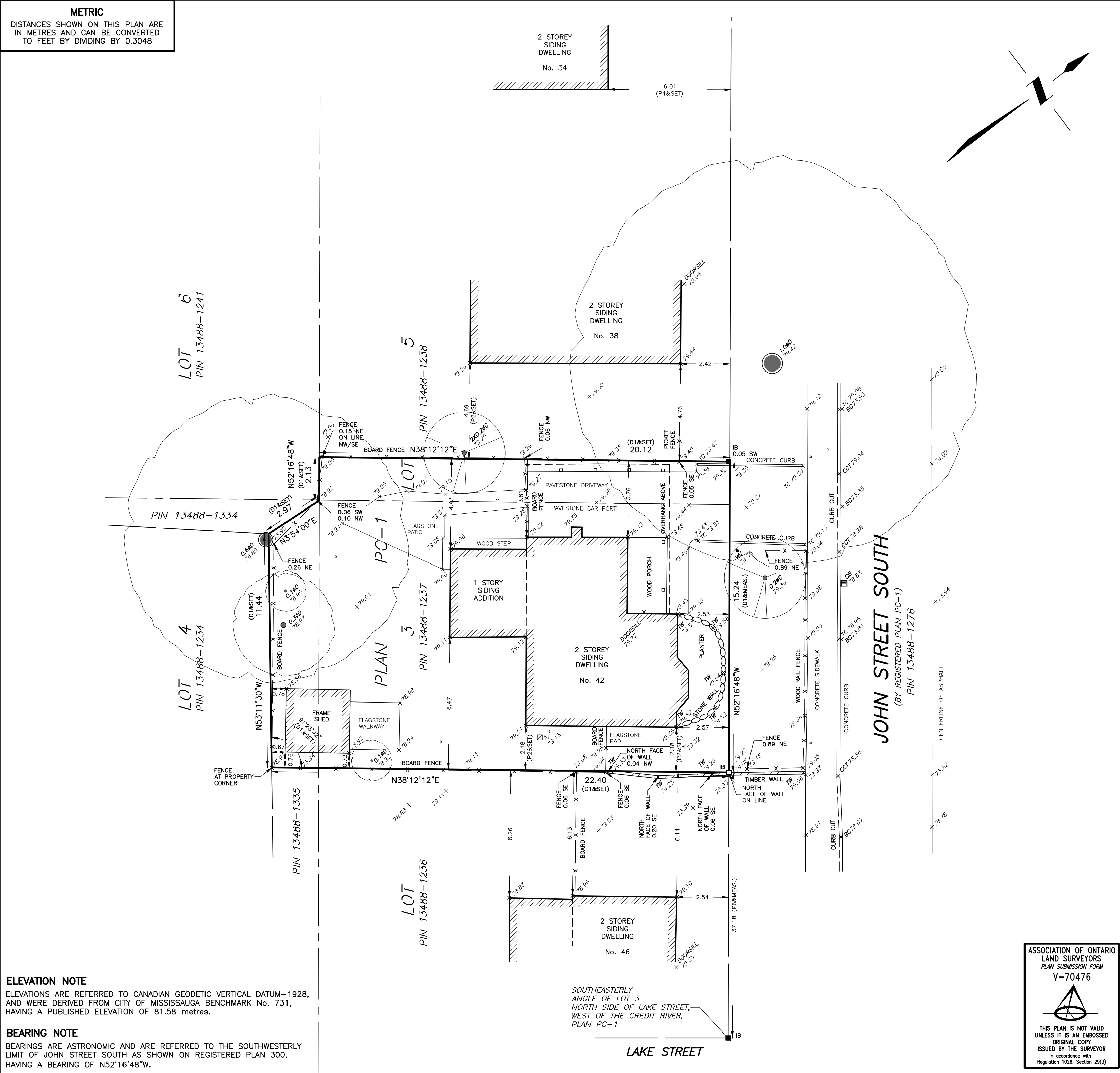
## CROSS SECTIONS & TYP. DETAILS & WINDOW/DOOR SCHEDULE

DATE: NOV. 21, 2024 | SCALE: 1:50  
(1/4" = 1'-0")

A06



**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048

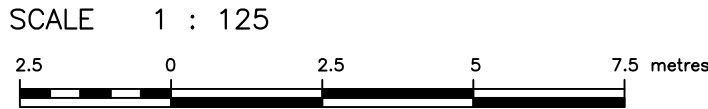


**ELEVATION NOTE**  
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM-1928,  
AND WERE DERIVED FROM CITY OF MISSISSAUGA BENCHMARK No. 731,  
HAVING A PUBLISHED ELEVATION OF 81.58 metres.

**BEARING NOTE**  
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHWESTERLY  
LIMIT OF JOHN STREET SOUTH AS SHOWN ON REGISTERED PLAN 300,  
HAVING A BEARING OF N52°16'48"W.

SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF  
**PART OF LOTS 3 AND 4,  
NORTH SIDE OF LAKE STREET,  
WEST OF THE CREDIT RIVER,  
AND PART OF LOT 5,  
SOUTH SIDE OF BAY STREET,  
WEST OF THE CREDIT RIVER,  
PLAN PC-1 (ALSO SHOWN ON PLAN 300)  
CITY OF MISSISSAUGA  
REGIONAL MUNICIPALITY OF PEEL**



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ONTARIO LAND SURVEYORS

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**REPORT SUMMARY**

**PROPERTY DESCRIPTION:** 42 JOHN STREET SOUTH, BEING PART OF LOTS 3 AND 4, NORTH SIDE OF LAKE STREET, WEST OF THE CREDIT RIVER, AND PART OF LOT 5, SOUTH SIDE OF BAY STREET, WEST OF THE CREDIT RIVER, PLAN PC-1 (ALSO SHOWN ON PLAN 300), CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY OF PEEL, PIN 13488-1237.

**EASEMENTS/RIGHTS-OF-WAY:** NONE REGISTERED ON TITLE

**COMMENTS:**  
1. NOTE LOCATION OF FENCES.  
2. NOTE LOCATION OF THE TIMBER WALL ALONG THE SOUTHEASTERLY PROPERTY LIMIT.

**LEGEND**

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
TC	DENOTES	TOP OF CURB
BC	DENOTES	BOTTOM OF CURB
CCT	DENOTES	CURB CUT
CB	DENOTES	CATCH BASIN
WV	DENOTES	WATER VALVE
TW	DENOTES	TOP OF WALL
P2	DENOTES	DUNNING & TAYLOR LTD., O.L.S., AUGUST 24, 1987
P4	DENOTES	JAMES AND WANDABENSE O.L.S., DEC. 19, 1952
P6	DENOTES	CHRISTOPHER PEAT O.L.S., NOV. 5, 1964
D1	DENOTES	INSTRUMENT R0943301

0.20Ø DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

0.20Ø DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

**PREPARED FOR:**

THIS REPORT WAS PREPARED FOR LINDSAY CRAWFORD AND THE  
UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT :

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON MARCH 21, 2024.

MARCH 28, 2024  
DATE

STEFAN JOANNOU  
ONTARIO LAND SURVEYOR

**TARASICK McMILLAN KUBICKI LIMITED**

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