42 John Street South

Port Credit, Mississauga, ON L5H 2E6

Heritage Report

For Review by the City of Mississauga Heritage Advisory Committee

Prepared by:
Michael Bootsma OAA
27 November 2024
Revised 31 January 2025

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1. General Information

Address: 42 John Street South

Port Credit, Mississauga, ON L5H 2E6

Historic Place Name: Peer-Malone Residence

Roll Number: 05-09-0-005-07400-0000

Legal Description: Plan 300W PT Lots 3, 5

Zoning: R15-1

Lot Area: 335.7 m²

Lot Depth: 22.4 m

Heritage Status: Designated under Part V

HCD Plan Classification: Contributing

2. General Requirements

2.1. Site History

The Old Port Credit Village Heritage District sits within an area that, until the 18th century, had been inhabited primarily by indigenous peoples. Through a series of treaties between the British Crown and the Mississaugas and colonial settlement expanding beyond successive treaties, the indigenous inhabitants were displaced.

As settlement west of the Credit River intensified, the Crown surveyed the land west of the river for subdivision and sale. Following the change of hands through several parties prior, in 1881 Lot 3 North of Lake Street, was willed by James Peer to Stephen L. Peer et al. In 1897, the plot was divided between Stephen and his brother John Charles Peer. John, a Port Credit mariner and more specifically a stonehooker, received the northern 40', which roughly coincides with the address currently known as 42 John Street South.

Following the partition of Lot 3, John constructed the house that, with subsequent modifications discussed below, stands on the property c. 1897 (Old Port Credit Village Heritage Conservation District Plan 2018).

Subsequent surveys and exchange of lands modified the property to include a portion of Lot 4 North of Lakes Street and a portion of Lot 5 South of Bay Street.

Refer to Appendix A for land registry records.

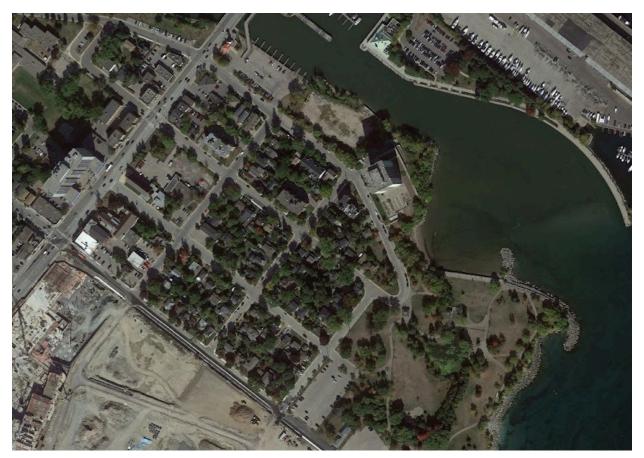


Figure 1: Satellite view of 42 John Street South within the Port Credit Village neighbourhood. (Google Earth Pro; October 2022)

2.2. Description of Existing Conditions

The subject property includes two existing structures, the residence facing northeast onto John Street South and a storage shed at the rear, southeast corner of the lot.

The residence is a two storey, wood frame, pitched roof structure with a rear, one storey, wood frame, shed roof sunroom. The exterior is uniformly clad in sage green-painted, wood clapboard siding with white painted trim, shutters, and flourishes. The roof is clad in dark grey asphalt shingles. The windows are modern throughout, side hung at the front facade and double-hung at the rear. Refer to Figures 2 through 8 for photos of the existing conditions, taken by the owner in October 2024.

The street-facing facade, set back approximately 2.5m from the front property line and about 6.4m from the sidewalk, is distinguished by a gable end wall and ground floor bay window. The absence of the bay window in a Mississauga Library System "Historic Image Gallery" photo dated to 1980 (refer to Figure 9) and a real estate listing from 1991 (refer to Figure 10) implies that the bay window was built sometime in following years, replacing a former large, central ground floor window.

The primary door to the house, positioned perpendicular to the street, is accessed via a covered porch which was also altered sometime after 1991, with the roof extended to incorporate a carport to the north. The entry foyer opens directly to a breakfast room to the east, a dining & living room to the north, and a central stair leading to the second floor above. The kitchen to the south, sunroom to the west, and stairs leading to the basement, accessed indirectly, occupy the remainder of the ground floor plan.

Three bedrooms and a bathroom are located at the second floor. Laundry and mechanical facilities and a second bathroom are located at the basement. The basement extents are limited to the eastern volume of the house. Shallower foundations are believed to sit below the dining & living room at the north. It is suspected that the sunroom was built some time after 2008 over a previously existing deck (refer to Figure 11).

Interior finishes include hardwood flooring throughout the ground and second floors, Walls and ceilings at the ground floor are plaster. Plaster walls continue at the second floor. Acoustic tile has been installed above the second floor hallway. Wood baseboards, crown moulding, and trim do not appear to be original to the house.

The front yard includes a paved drive at the north leading to the porch and carport, a roughly semi-circular garden plot in front of the primary facade, and a moderately sized spruce tree obscuring the view to the porch and entry. Wood board fences at the rear of the carport at the west and roughly halfway back from the front facade at the southeast separate the front and rear yards. The rear yard is landscaped with a garden plot wrapping the sides of the sunroom and an irregularly shaped flagstone patio.

No known archaeological studies have been performed on the property.

42 John Street South is currently Designated under Part V, is classified under the Old Port Credit Village Heritage Conservation District Plan as Contributing, and is noted as one of 42 properties of historic significance within the district. As per the Old Port Credit Village Heritage Conservation District Property Inventory, 2018, its heritage attributes include the low-rise form, horizontal siding, and roof line of the house alongside the property's mature tree.

2.3. Documentation of Existing Conditions



Figure 2: 42 John Street South viewed from the east, showing sage green painted clapboard cladding; white trim, shutter, and flourishes; and grey asphalt shingles. (Photo by owner, October 2024)



Figure 3: 42 John Street South viewed perpendicular to the street. The [spruce] tree in the front yard obscures the entry and covered porch and, along with the large maple tree to the north, frames the narrow view corridor to the carport and sideyard beyond. (Photo by owner, October 2024)



Figure 4: 42 John Street South viewed from the north. The entry and covered porch are glimpsed behind the [spruce] tree. (Photo by owner, October 2024)



Figure 5: Rear yard of 42 John Street South viewed from the north. (Photo by owner, October 2024)



Figure 6: Interior view of rear sunroom, showing the existing rear wall of the house with existing swing and sliding doors. (Photo by owner, October 2024)



Figure 7: View of rear wall of the house viewed from the interior looking through the existing swing and sliding doors into the rear sunroom. (Photo by owner, October 2024)

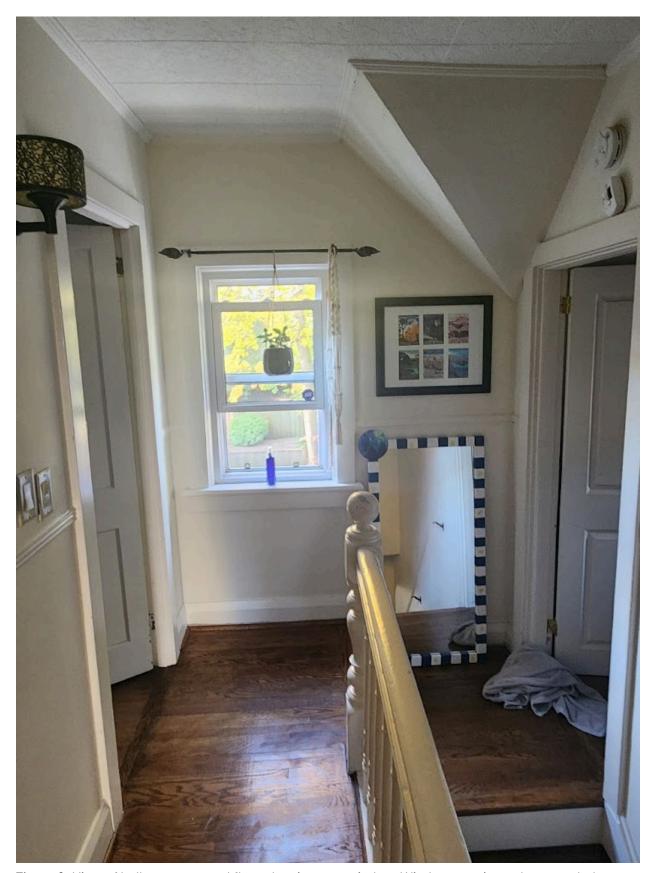


Figure 8: View of hallway at second floor showing rear window. Window opening to be extended to floor to accommodate access to new primary bedroom. (Photo by owner, October 2024)



Figure 9: Photo of 42 John Street South, taken 1980. (Mississauga Library System, Historic Image Gallery).

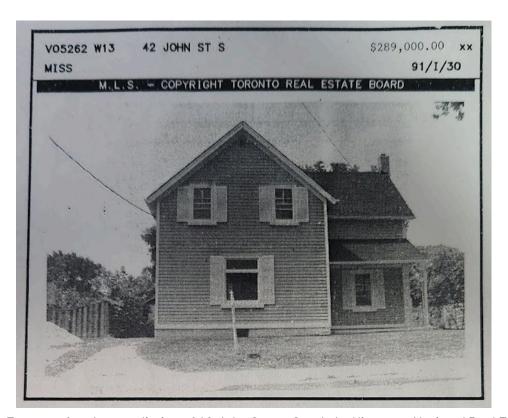


Figure 10: Excerpt of real estate listing of 42 John Street South, by Kingsway National Real Estate Ltd., listed 1991. Currently existing architectural flourishes at the gable peak and at the capitals of the columns supporting the covered porch and carport roof, the timber columns themselves, the bay window, the picket guardrail, and [spruce] tree are all absent at this period of the structure's life. Decorative shutters appear to have been installed sometime between 1980 and the date this photo was taken.



Figure 11: Photo depicting rear deck c. 2008, roughly located in the footprint of the existing sunroom. (Photographer unknown).

Refer also Appendix B, architectural drawing set prepared by Merner Row Design (A01 Site Plan & A02 Existing Plans) and Appendix C, site survey prepared by Tarasick McMillan Kubicki Limited, Ontario Land Surveyor.

2.4. Outline of Proposed Development

The proposed development retains the primary volume of the existing house and limits alterations to the rear of the house and the interior of the basement only.

The existing, non-original sunroom is proposed to be demolished.

The new addition, set on crawlspace foundations, is proposed to provide space for a new family room at the ground floor and a new primary bedroom with ensuite bathroom and walk-in closet at the second floor. The roof of the new volume is configured sympathetically to the existing massing, expressed with gable end walls set at similar pitches (11 1/2:12 existing vs 10:12 & 11 1/2:12 proposed). Eaves at the new addition are aligned with the existing eaves.

An out-of-character concrete masonry chimney is proposed to be removed and the wall repaired to match the existing wood clapboard siding.

The stucco cladding and larger window openings of the new addition subtly distinguish it from the existing house. At the rear west and south elevations of the new addition, wood cladding details extending out from the windows provide further contrast and relief to the facades.

The roof will be clad in asphalt shingles to match the existing.

Alterations to the existing rear wall are limited. Above grade openings into the rear addition sit within existing door and window openings with only a short section of wall at the rear of the ground floor removed to provide access to the new family room.

The entirety of the proposed development is outside of the Greenlands Designation Boundary.

2.4.1. Variances

Minor variances are being sought for a reduced rear yard setback and a greater overhang at the north entry awning as an extension to the existing carport roofline.

The required rear yard setback is 7.5m. The proposed development provides for a greater setback than required for more than 70% of its length but an irregularity in the lot line at the northwest varies the depth of the setback, eventually reducing to 5.2m (Refer to Site Plan A01).

An awning may project into the side yard setback 0.61m. The proposed development includes an extension to the eaves of the existing carport to provide an awning over the north side entry door. The extension results in an awning projection of 0.86m.

There are also a number of existing non-conforming elements that are integral to the existing character of the house. These include an existing reduced setback of the carport from the north side lot line of 0.4m (0.61m required) with an overhang extension of 0.2m; an existing south side lot line setback of 2.2m (3.0m required); and an existing east front yard setback of 2.6m (5.0m required).

2.5. Architectural Drawings

Refer to Appendix B.

2.6. Trees

The proposed development is located at the rear of the property with repair work to be completed at the northwest facade, all set well away from the existing mature tree. Standard construction fencing will be installed around the tree.

t. 647-998-7010

2.7. Assessment of Alternative Development Options and Mitigation Measures

Alternatives schemes accommodating the same programme areas as the proposed development would more significantly impact the existing rear facade, windows, and interior layout and/or would begin to significantly encroach on the side yard and carport becoming more visible from the street.

2.8. Application of Conservation Principles

Refer to Section 2.9 below.

2.9. Proposed Alterations in Relation to Cultural Heritage and Impact on Streetscape and Sense of Place

The proposed alterations will have minimal impact on the streetscape and are designed in keeping with the guidelines set out in the HCD.

Proposed addition is limited to the rear of the house. The entirety of the existing house visible from the street (sans CMU chimney) will be retained and restored to match the existing. Views to the rear of the house are constrained by the [spruce] tree at 42 John and the neighbouring maple at 38 John. The existing carport further obscures the view and breaks up the massing of the portion of the addition that will be visible from the street.

The scale and massing of the proposed addition is designed in sympathy with the existing massing aligning the height of the eaves, matching visible roof slopes, and presenting gable end walls at two facades. It steps down in overall height and is clad in stucco to distinguish it from the original clapboard clad house.

3. Summary Statement and Conservation Recommendations

The existing defining heritage attributes of the property (refer to the Old Port Credit Village Heritage Conservation District Property Inventory, 2018) will be maintained and will not be adversely affected by the proposed renovations. No change to the heritage status of the property is recommended.

4. Conclusion

It is the opinion of the author that the proposed design fits well within the Old Port Credit Village HCD guidelines for additions and more than meets the spirit and intent of the HCD Plan. The owners of 42 John Street South have demonstrated consistent and thoughtful care in their maintenance of the property throughout the time their family has lived there. They value the unique heritage qualities of the neighbourhood and the beautiful setting that it has provided for the growth of their family. The modest renovation they are proposing to undertake will allow their family to continue to enjoy and contribute to the thriving community character that the HCD Plan seeks to support.

5. Qualifications of Author

Michael Bootsma, OAA

Architect licensed with the OAA since August 2019.

Certificate of Practice holder since April 2021.

Projects of note include:

71 Front Street West, Toronto: Union Station, 1927

Original Architect: Ross & Macdonald, Hugh G. Jones, John M. Lyle, architect Designation: National Historic Site; Union Station Heritage Conservation District,

Designated Part V under the Ontario Heritage Act

2009 - Designer with NORR: base building renovations

2016-2019 - Project Lead with PARTISANS: renovations and public area fit-out

955 Lakeshore Boulevard West, Toronto: Ontario Place, 1971

Original Architect: Eberhard Zeidler

Designation: Provincial Heritage Property of Provincial Significance

2017-2019 - Project Lead with PARTISANS: re-opening of Cinesphere; rehabilitation of bridge and

ramp structures; proposed rehabilitation of pod structures

357 Bay Street, Toronto: General Accident Insurance Building, 1922

Original Architect: F.S. Baker

Designation: Listed Heritage Building

2019-2021 - Architect and Project Lead with PARTISANS: extensive base building renovations,

restoration, and tenant fit-out

2 Old George Place, Toronto, 1964

Original Architect: William G. Grierson

Designation: Designated Part V under the Ontario Heritage Act; unrated; North Rosedale

Heritage Conservation District

2023-present - Sole-practitioner & Architect; extensive home renovations within Heritage Conservation District

6. References

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Ralston, Kelly. Treaties Week: Provisional Agreement 13-A ("First Purchase" or "Mississauga Purchase"). Heritage Mississauga, 2021.

https://heritagemississauga.com/treaties-week-provisional-agreement-13-a-first-purchase-or-mississauga-purchase/. Accessed 23 October 2024.

Walker and Miles. Historical Atlas of Peel County, Ont. Toronto, 1877

7. List of Attached Appendices

Appendix A: Land Registry Records

Appendix B: Project Drawings by Merner Row Design

Appendix C: Survey by Tarasick McMillan Kubicki Limited, Ontario Land Surveyor

Registration Number Numbro d'enregistrement	Instrument Type Type d'acte	Registration Date Date dienregistrement YY LIM DO AA LIM JJ	Parties from Parties	Parties to Parties	Consideration Contrepartie	Land/Remarks Bien-lands/Observations
Enetered 127 32325	8/70 B. & S.		, Margaret McLean	Thomas Woods	£5	All .
41952	B. & S.	13 Oct.1851	Thomas Woods	Joshua Pollard	E140	A11
2309	B. & S.	2 Jan. 1856	James McLean et ux	Conrad Shook	£112.10/-	A11
6779	B. & S.	23 Apr.1859	Conrad Shook et ux	Henry Shook	£ 75	A11
15096	B. & S.	16 Jan.1867	Henry Shook et ux	Henry Shook Sr.	\$200.00	
15097	B. & S.	16 Jan.1867	Henry Shook Sr.	James Peer	200.00	A11
3412	 .W111	12 Aug. 1881	James Peel	S. L. Peer et al	·· · · · · · · · · · · · · · · · · · ·	. Alt
2468	B. & S.	19 May 1897	John C. Peer, Wm. H. Peer & Agnes M. Peer wife of	Stephen Lester Peer	266.66	Undivided 2/3
469	B. & S.	19 May 1897	John C. Peer.			en e
	B. & S.		Stephen L. Peer et ux	John C. Peer	175.00	Nly. 40'
1990		14 Mar 1900	Stephen L. Peer et ux	Chas. Fredk. Block	225.00	All except Nly' 40'
	8. & S.	15 Jul 1905	Chas. F. Block et ux	Peter Ryan	425.00	All except Nly. 40'
2045	8. å S.	19 Oct 1905	Peter Ryan	Susannah Burke	500.00	All except Nly. 40'
2672	B. & S.	2 May 1907	Susannah Burke Widow Peter Ryan et ux	Daniel Collins	600.00	All except Nly. 40'
796	B. & S.	. 12 Oct .1907	Daniel J. Collins et ux	George Cory	725.00	All except Nly. 40'

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13802	B. & S.	12 Feb 1910	George Corey et ux	Wm. D. Sutherland & Robert J. Murray	425.00	& C. All except Nly. 40'
4778	B. & S.	30 Jan 1912	Wm. D. Sutherland et al	Jane A. Thompson	1900.00	All except Nly. 40'
00	PLAN	3 Oct 1927	II	structions of Minister of Lands ar	d under Prooves	of the Surveys Act.
2094	Release	25 Sep 1929	Albert E. Block	Mary A. Hill Extrx. of Jane Ann Maud Block Est.	300.00	All except Mly. 40'. Release of devise under Will.
128	q.c.	20 Nov.1942	John C. Peer et ux	Mary A. Hill, exec. Jane A. M. Block:et al	1	SE1221
29	q.c.	20 Nov.1942	Mary A. Hill, exec. Jane A. M. Block: et al	John C. Peer		NW.43'
30	Grant	20 Nov.1942	Mary A. Hill. exec. Jane A. M. Block; et al.	Edith H. Haney	\$1.00 & C	SE 74' 11" ± & O.L.
62	Agree't	11 Jan.1943	Edith H. Haney	Austin L. Hines		P.t as in 1130 & O.L. Agree't fo sale
27	.Agree!t	21 May 1943	Austin L. Hines	George A. Watson	1	assigning No. 1162
i93	Grant	27 Dec 1944	Lillian Thomson	Frances Leigh & Stephen Leigh,	\$1200.00	All except N 40'
				as joint tenants		
7 .	Grant	29 May 1946	Frances & Stephen Leigh	Eric Jas. Kay	2000.00	All execpt N 40'
3 	_Grant	6 Feb.1947 6 Feb.1947	Edith H. Haney Geo. A. Watson et ux	Geo. A. Watson	2000.00	SE_74! 11" ± & O.L.
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3871	Grant	26 May 1950	Arthur C. Peer et al	-		
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Registration Number Numéro d'enregistrement	Instrument Type Type d'acte	Registration Date Date dispressivement YY MIX DO AA MIX J	Parties from Parties	Parties to Parties	Consideration Confrepartie	Land/Remarks Bien-londs/Observations
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943301	Grant	90 07 04	WILCOX LANDING INC.	MALONE, Robert	\$244,000.00	Part & OL as in 815749
	1			MALONE, Rosemary Maude	4244,000,00	FOIL 0 02 05 IN 015749
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296/08		95-08-14	MALONE, Robert	Harathon-Realty Company-Limited	1	Bien-fonds/Observations
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RO 1124272			1	The state of the s		
1124272	Charge	96 09 17	MALONE, Robert MALONE, Rosemary Maude	Royal Bank of Canada	75,000.00	Part_and 0.L. as in 943301
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Abstract Index Répertoire par lot Owners:....Crown Survey Lots Subdivided: Town Plot Lot_ Plan/Concession BAY STREET. S. Side West of Credit River DAY MON YR Registration Number Numéro d'enregistrement Registration Date
Date dienregistrement
YY LUL DG
AA MM J Instrument Type Type d'acte Parties from Parties Consideration Contrepartie 9121 Will 7 May 1896 Emma Peer John Charles Peer All Amongst other lands and. bequests etc. 10400 B. & S. 16 Feb 1901 Walter C. Hare et al Extrs. John C. Peer Emma Peer Estate 300 PLAN Municipal Survy Made under the Instructions of Minister of Lands and under the Prooves of Surveys Act. 3 Oct 1927 3870 Grant 26 May 1950 Arthur C. Peer etal All Save & Except S Ely 7'. Treasurer! Surviving Extes of John C. Consent attached. Peer Est etal 26 May 1950 Arthur C. Peer etal Agnes M. Smith Grant S. Ely 7' & O.L. Treasurer's consent Surviving Extes of John C. Peer Est etal ischarging part as in No.6549 from Ho. 4823 ... Acre ce naloslis 74739VS Part (1) Comm. at intersection of .S.E limit of Bay St. with S W limits John St. Thence SE 50' x SW 66' x NW .50' x NE 66' .. to p of c. (2) Beg. at NL. Thence SE 100' to p of c. Thence SE 58' X SW 66' X NW 58' X NE 66' 74740VS Part Comm in SW limit John St. 50' SE of Bay St. Thence SW 66' x SE 50'... x NE 66! x NW. 50! to p of. c.

Abstract Index

Répertoire par lot . Plan/Concession . **P** West of Credit River : BAY STREET S. Side DAY MON YR Instrument Type Type d'acte Parties from Parties Consideration Contrepartie Land/Remarks Blen-fonds/Observations 78738vs 17 July 1968 Renoir Investments Limited: Peter G. Harris & Jenifer L. Harri\$2.00.& C. Part as in (2) of No. 74739vs Harris as joint tenants 80898vs Grant. Melety Leka 12 Aug 1968 Trade-In Homes Limited 2.00 & c Part as in No. 74790vs: 84344vs Grant 17 Sept 1968 Renoir Investments Limited Raymond P. Von Adestine & Diane Part as in No 74739vs pt (1) Von Adestine as joint tenants 258290vs 27 April 1973 Raymond P. Von Adestine & Diane Hector baChapelle to Uses 2;00.8.00. Part as in (1) of 74739vs: Von Adestine 7 April 1973 Hector ba Chapelle 258291vs Inited-Trust Company Part as in (2) of No 74739vs 283305vs 28 Sept 1973 Peter G.Harris&Jenifer L.Harris Bernard Moore & Elizabeth Moore Grant 2.00 & C as joint tenants 331042VS Grant Hector La Chapelle Ronald Post - to uses . .2.00&C .Part. as .in . (1). Of .74739VS except p of c is comm NL. Discharged by # Rollalosi Asst. Dep. Land Reg. \$\triangle 96/8/0 666645 . Grant 09 12 83 Estate of SMITH, Agnes M. SMITH Barry G. S. Ely 7' & O.L. JOHNSTON, Carol A. R. 701215 12 12 84 JOHNSTON, Carol A. R. MICKS, Gordon SE 7' & O.L. JOHNSTON, Carol A. R. MICKS, Anne. as J.T. 1/2 interest 701216 12 12 84 SMITH, Barry G. MICKS, Gordon Grant SE 7' & O.L. SMITH, Barry G. MICKS, Anne as J.T. 1/2 interest. -730263 Rolosiani Asst. Bep. Land Reg. 93 11/09 31 08 87 815749 MELO, Heldon Grant pt & O.L. see lot 3 N. Side Lake St. for desc.

Abstract Index Répertoire par lot . Plan/Concession _ 815749 DAY MON YR West of Credit River Registration Date
Date d'enredistrement
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AA | MM | D Instrument Type Type d'acte Consideration Contrepartie Land/Remarks Bien-fends/Observations 815750 THE Municipal Savings & Loan 6/9/10/sole MELO, Marta 824098 06 11 87 MELO, Heldor 467826 Ontario Inc. MELO, Maria Pt & O.L. as in 815749 YR MON DAY DEPOSIT 90 07 04 See Deposit No. 943300 943301 Grant 90 07 04 WILCOX LANDING INC. \$244,000.00 part & O.L. as in 815749 MALONE, Rosemary Maude as JT 943302 Mort 90 07 04 MALONE, Robert THE ROYAL BANK OF CANADA MALONE, Rosemary Maude \$100,000.00 948716 MICKS, Gordon MICKS, Anne John St. Thence NW 7' x SW 66' x SE 7' x SW 9.76' x SE 37.52' x NE 73.48' x NW 43' to p.of.c. RO-1044296

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Abstract Index Répertoire par lot

Plan/Concession __ Registration Num Numéro d'enregistreme Instrument Type
Type d'acte Parties from Parties RO 1046324 Transfer 93 08 27 POST, Ronald SZYMANSKI, Kristof 184,000.00 Part as in no. 331042vs SZYMANSKI, Katrin Planning act statement re; section 50 R01046325 93 08 27 SZYMANSKI, Kristof London Life Insurance Company 138,000.00 SZYMANSKI, Katrin RO 1046326 Asst of Rents | 93 08 27 SZYMANSKI, Kristof London Life Insurance Company SZYMANSKI, Katrin RO-1046327 SZYMANSKI, Kristof Gischarged by # Rolla One Asst. Dep. Land Reg. 196/6/2. MALONE, Rosemary Maude RO 1116737 Deposit 96 06 14 See Deposit no. RO 1116737 Part as in 283305vs RO 1116738 Transfer 96 06 14 MOORE, Bernard RUTHERFORD, Susan 165,000.00 Part as in 283305vs MOORE, Elisabeth GAMBLE, Jeffrey as JT RO 1120513 Charge 96.07 31. SZYMANSKI, Kristof Associates Mortgage Corporation 38,247.00 Part as in 331042vs SZYMANSKI, Katrin RO 1124272 CHARGE 96-09-17 MAYONE , POBERT ROYAL BANK OF CANADA 75,000.∞ PART - OL AS IN NO. 943301. ENTERED 96-10-18 ADLLYC MALONE, ROSEMARY MOUNT R01130365 Charge 96 12 05 SZYMANSKI, Kristof GALLANT, Henry 30,000.00 Part as in R01046324 SZYMANSKI, Katrin

Abstract Index Répertoire par lot Lot <u>5</u> Plan/Concession _ Registration Date
Date dierregistrement
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All Document/Instruments SEP 2 3 1997 are received in the automated abstract index set out in subsection 21(5) of the REGISTRY ACT FORM I

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ABSTRACT INDEX (ABBREVIATED) FOR PROPERTY IDENTIFIER



13488-2333 (R)

PAGE 1 OF 1
PREPARED FOR owner
ON 2024/10/11 AT 13:32:17

ONLAND

PROPERTY DESCRIPTION:

PT LTS 3 & 4, PL 300 N OF LAKE ST, W OF CREDIT RIVER & PT LT 5, PL 300 S OF BAY ST, W OF CREDIT RIVER AS IN RO943301; MISSISSAUGA

PROPERTY REMARKS:

THIS PARCEL WAS CREATED BASED ON INFORMATION CONTAINED IN DOCUMENT(S) RO943301, WHICH IS (ARE) RECORDED FOR PIN IDENTIFICATION ONLY.

ESTATE/QUALIFIER:

RECENTLY:
PARCELIZED

PIN CREATION DATE:
1997/09/23

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE	2000/07/29	THE NOTATION OF THE	"BLOCK IMPLEMENTATION	ON DATE" OF 1997/09/23 ON THIS PIN		
WAS REPLA	CED WITH THE	"PIN CREATION DATE"	OF 1997/09/23			
** PRINTOUT	INCLUDES AL	L DOCUMENT TYPES (DE.	LETED INSTRUMENTS N	OT INCLUDED) **		
THIS ABSTRA	CT INCLUDES	ALL INSTRUMENTS AND .	DOCUMENTS FROM: 199	7/09/23		
FOR THE PRE	VIOUS ABSTRA	CT SEE ABSTRACT BOOK				
NOTE: THIS	PIN WAS ONCE	REG PIN 13488-1237.	THIS PROPERTY WAS	CONVERTED TO LT ON 1999/03/25 REUSING PIN 13488-1237.		
RO943301	1990/07/04	TRANSFER	\$244,000		MALONE, ROBERT MALONE, ROSEMARY MAUDE	С

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER



REGISTRY OFFICE #43

13488-1237 (LT) * CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PREPARED FOR owner ON 2024/10/11 AT 13:28:00

PAGE 1 OF 1

ONLAND

PROPERTY DESCRIPTION:

PT LT 3 N/S LAKE ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT; PT LT 4 N/S LAKE ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT; PT LT 5 S/S BAY ST WCR PL PC1 (SHOWN ON PL 300) PORT CREDIT AS IN RO943301; CITY OF MISSISSAUGA

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE

LT CONVERSION QUALIFIED

CRAWFORD, LINDSAY DANIELLE BERGSHOEFF, DAVID MATTHEW

RECENTLY:

RE-ENTRY FROM 13488-2333

<u>CAPACITY</u> <u>SHARE</u>

JTEN JTEN PIN CREATION DATE:

1999/03/25

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE	2000/07/29	THE NOTATION OF THE	"BLOCK IMPLEMENTATION	ON DATE" OF 1997/09/23 ON THIS PIN		
WAS REPLA	ACED WITH THE	"PIN CREATION DATE"	OF 1999/03/25			
** PRINTOUS	I INCLUDES AL	L DOCUMENT TYPES (DE.	LETED INSTRUMENTS NO	OT INCLUDED) **		
**SUBJECT,	ON FIRST REG	ISTRATION UNDER THE :	LAND TITLES ACT, TO			
**	SUBSECTION 4	4(1) OF THE LAND TIT.	LES ACT, EXCEPT PAR	AGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *		
**	AND ESCHEATS	OR FORFEITURE TO TH	E CROWN.			
**	THE RIGHTS OF	F ANY PERSON WHO WOU.	LD, BUT FOR THE LAN	TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF		
**	IT THROUGH L	ENGTH OF ADVERSE POS.	SESSION, PRESCRIPTION	ON, MISDESCRIPTION OR BOUNDARIES SETTLED BY		
**	CONVENTION.					
**	ANY LEASE TO	WHICH THE SUBSECTION	N 70(2) OF THE REGI	STRY ACT APPLIES.		
**DATE OF (ONVERSION TO	LAND TITLES: 1999/0.	3/26 **			
PR1912812	2010/10/28	LR'S ORDER		LAND REGISTRAR, LRO NO. 43		С
RE	MARKS: AMENDS	DESCRIPTION TO REFE	R TO PT LTS 3 & 4 N	/S LAKE ST PC1 AND PT LT 5 S/S BAY ST PC1 AS IN RO943301.		
PR2222954	2012/07/03	TRANSFER		PILON, DANIELLE CATHERINE		С
RE	MARKS: PLANNI	NG ACT STATEMENTS				
						C

Current property owner information withheld in compliance with the Freedom of Information and Protection of Privacy Act (R.S.O. 1990, c. F.31)

10.2

PLANNING AND BUILDING NOTES

I HEREBY CERTIFY THAT THIS DRAWING CONFORMS IN ALL RESPECTS TO THE SITE DEVELOPMENT PLANS AS APPROVED BY THE CITY OF MISSISSAUGA. SIGNED:

LINDSAY CRAWFORD MATTHEW BERGSHOEFF LISA APPS

OWNER OWNER MERNER ROW DESIGN

THE CITY OF MISSISSAUGA REQUIRES THAT ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF AN APPLICATION FOR THE ISSUANCE OF A BUILDING PERMIT SHALL BE IN CONFORMITY WITH THE SITE DEVELOPMENT PLAN AS APPROVED BY THE CITY OF MISSISSAUGA, DEVELOPMENT AND DESIGN DIVISION.

THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO (2) YEARS FOLLOWING COMPLETION OF ALL SITE WORKS. OWNER SIGNATURE:

LINDSAY CRAWFORD MATTHEW BERGSHOEFF OWNER OWNER

SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING AND BUILDING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.

THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m(2.00ft) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

GRADES MUST BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT

AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.

ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO STOP AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.

THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED.

ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.

THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN.

CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR COLLECTION.

ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOD PRIOR TO RELEASE OF SECURITIES.

ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE.

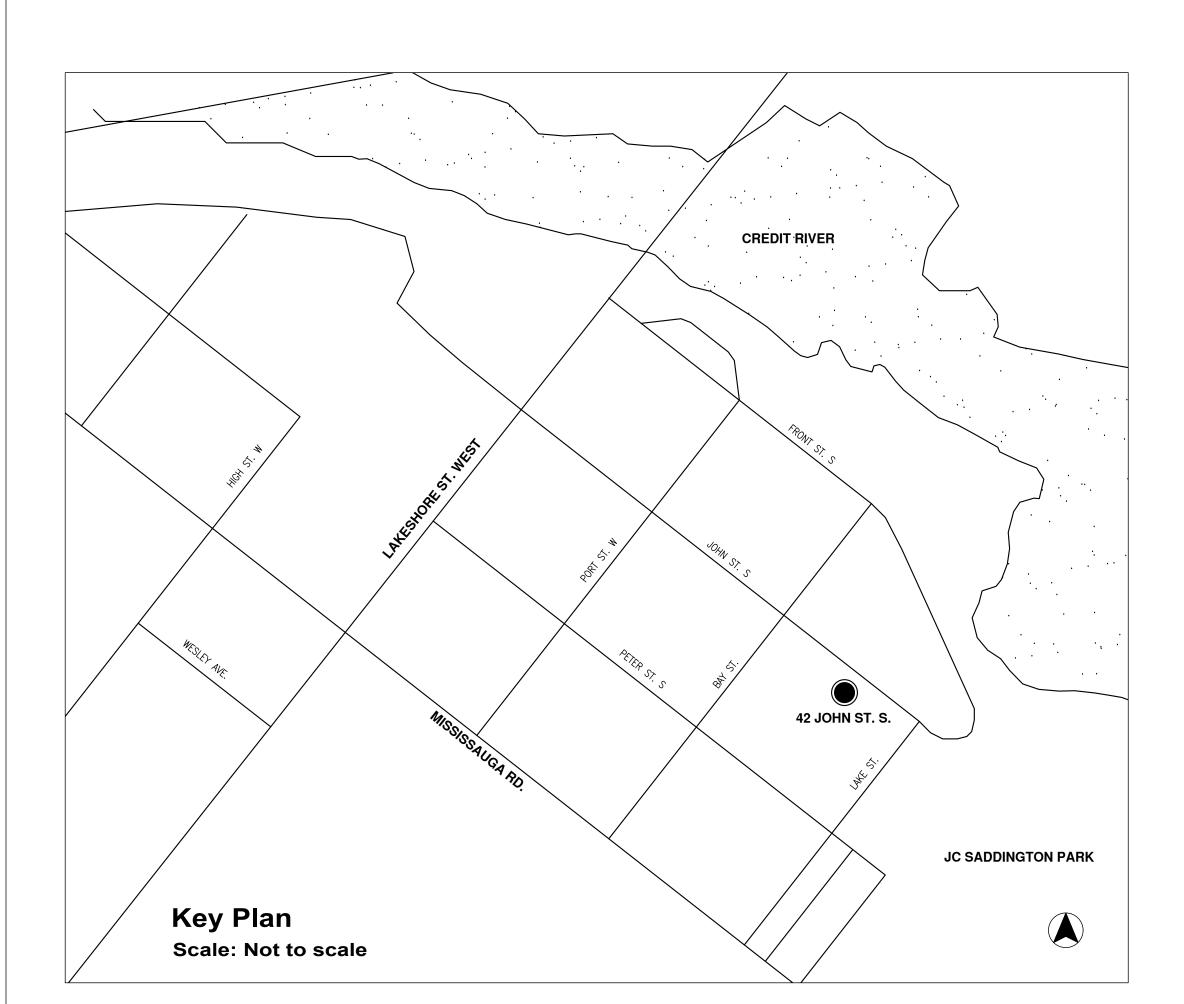
THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

(a) PRIOR TO COMMENCING CONSTRUCTION, ALL REQUIRED HOARDING, IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS, MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

(b) SHOULD ANY WORKS BE REQUIRED WITHIN THE MUNICIPAL RIGHT-OF-WAY, A ROAD OCCUPANCY PERMIT WILL BE REQUIRED. PUCC APPROVAL WILL BE REQUIRED. FOR FURTHER INFORMATION, PLEASE CONTACT THE PUCC/PERMIT TECHNOLOGIST, LOCATED AT 3185 MAVIS ROAD.

ONCE ALL WORKS ARE COMPLETE, THE APPLICANT IS TO CONTACT THE PLANNING AND BUILDING DEPARTMENT, DEVELOPMENT AND DESIGN DIVISION, AT (905)896-5511 FOR AN INSPECTION PRIOR TO HOARDING BEING REMOVED.

TRAFFIC NOTES: (I) ALL DAMAGED OR DISTURBED AREAS WITHIN THE MUNICIPAL RIGHT-OF-WAY ARE TO BE REINSTATED AT THE OWNER'S EXPENSE. (II) ALL LANDSCAPING AND GRADING WITHIN CLOSE PROXIMITY TO THE PROPOSED ACCESS POINTS IS TO BE DESIGNED TO ENSURE THAT ADEQUATE SIGHT DISTANCES ARE AVAILABLE FOR ALL APPROACHING AND EXITING MOTORISTS AND PEDESTRIANS. (III) THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD IS TO BE PAVED BY THE OWNER. (IV) DRIVEWAY ACCESSES SHALL MAINTAIN A 1.5M SETBACK FROM ABOVEGROUND FEATURES SUCH AS UTILITIES AND TREES. (V) ANY ABOVE GROUND UTILITIES LOCATED WITHIN 1.5M OF A PROPOSED ACCESS ARE TO BE RELOCATED AT THE OWNER'S EXPENSE. (VI) THE COST FOR ANY/ALL ROAD IMPROVEMENTS REQUIRED IN SUPPORT OF THIS DEVELOPMENT APPLICATION WILL BE BORNE BY THE OWNER. (VII) THE OWNER SHALL MAKE SATISFACTORY ARRANGEMENTS WITH THE TRANSPORTATION AND WORKS DEPARTMENT FOR THE DESIGN, CONSTRUCTION AND PAYMENT OF ALL COSTS ASSOCIATED WITH WORKS NECESSARY IN SUPPORT ACCESS TO THIS SITE. (VIII) ANY ACCESS TO INTERNAL SERVICING SHALL BE PROVIDED INTERNALLY THROUGH THE SITE.



ZONING NOTES: R15-1 HERITAGE

ROLL NUMBER = 05-09-0-005-07400-0000 LEGAL DESCRIPTION = PLAN 300W PT LOTS 3, 5 OLD PORT CREDIT VILLAGE HERITAGE CONSERVATION DISTRICT

1. LOT AREA = 3,613.65SF (335.7m2) 2. LOT FRONTAGE = 50'-0" (15.2m)

3. AVERAGE GRADE = 79.10m

4. HEIGHT TO MID POINT = 6.15m HEIGHT TO HIGHEST RIDGE = 7.46m HEIGHT TO EAVES = 4.73m

5. GROSS FLOOR AREA:

EXISTING GROUND FLOOR = 654.98sf (60.85m2)
PROPOSED GROUND FLOOR = 441.27sf (41.0m2)
TOTAL GROUND FLOOR = 1,096.25sf (101.84m2)

EXISTING SECOND FLOOR = 654.98SF (60.85m2)
PROPOSED SECOND FLOOR = 441.27SF (41.0m2)
TOTAL SECOND FLOOR = 1,096.25SF (101.84m2)

EXISTING SUNROOM = 173.47SF (16.12m2) (TO BE REMOVED)

TOTAL GFA = 2,192.50sf (203.69m2)

6. LOT COVERAGE:

EXISTING DWELLING FOOTPRINT = 828.45SF (76.97m2)
(EXISTING SUNROOM INCLUDED)

PROPOSED ADDITION FOOTPRINT = 441.27SF (41.0m2)

TOTAL DWELLING FOOTPRINT = 1,096.25SF (101.84m2)
(EXISTING SUNROOM REMOVED)

EXISTING COVERED FRONT PORCH = 78.22SF (7.27m2)

EXISTING CARPORT = 265.86SF (24.70m2)
PROPOSED CARPORT EXTENSION = 16.75SF (1.56m2)
TOTAL CARPORT = 282.61SF (26.26m2)

WOODEN PLATFORM (REMOVED) = -28.4SF (-2.64m2)

EXISTING ACCESSORY STRUCTURES = 104.79SF (9.74m2) PROPOSED ACCESSORY STRUCTURES = N/ATOTAL ACCESSORY STRUCTURES = 104.79SF (9.74m2)

EXISTING EAVES (>0.45m) = N/APROPOSED EAVES (>0.45m) = 16.32SF (1.52m2)TOTAL EAVES (>0.45m) = 16.32SF (1.52m2)

TOTAL PROPOSED LOT COVERAGE = 1,549.79sf (143.98m2)
TOTAL PROPOSED LOT PERCENTAGE = 42.89%

7. LANDSCAPED AREAS:

HARD SURFACE AREAS = 410.45SF (38.13m2)
(DRIVEWAY, FLAGSTONES, NOT INCLUDING CAR PORT)
= 11.36% HARD LANDSCAPED LOT COVERAGE

LANDSCAPED SOFT AREA = 2,221.40sf (206.38m2) = 61.47% SOFT LANDSCAPED LOT COVERAGE

8. RATIO OF WINDOWS/SKYLIGHTS/GLASS TO WALL AREAS: AREA OF W/S/G = 346.7SF (32.2m2) AREA OF WALLS = 2,912.4SF (270.57m2)

DESIGN LOADS (PORT CREDIT):

ALL LOADS SHOWN ON DRAWINGS ARE UNFACTORED SERVICE LOADS IN KN(KIPS) AND KPA(PSF) UNLESS NOTED OTHERWISE

GROUND SNOW LOAD — 0.90kPa

DESIGN SNOW LOAD — 1.0kPa

ASSOCIATED RAIN LOAD Sr — 0.4kPa

CB = 0.55 Sa (0.2) = 0.28

REFERENCE WIND PRESSURE q1/50 — 0.48kPa

ROOF DEAD LOAD — 1.0kPa MAX. INCLUDING CEILING FINISHES
FLOOR DEAD LOAD — 0.72kPa

FLOOR LIVE LOAD — 1.9kPa UNIFORMLY DISTRIBUTED LOAD

ALLOWABLE SOIL BEARING CAPACITY — 75kPa

(TO BE CONFIRMED PRIOR TO CONSTRUCTION)

ESTIMATED GRADE CALCULATIONS

CCESSORY STRUCTURE:

BEGIN	ELEV. END	ELEV. LENGIH	L
79.46	79.35	6.16m	489.13
79.35	79.15	6.16m	488.18
79.15	78.98	11.95m	944.83
78.98	79.21	6.16m	487.23
79.21	79.35	6.16m	488.36
79.35	79.46	11.95m	948.89
	TOTAL:	48.54m	3,846.62
	EG:	3,846.62/48.54	79.25

AVERAGE GRADE CALCULATIONS DETACHED DWELLING:

	POINT 1	POINT 2	POINT 3	POINT 4
Α	79.02	79.30	79.40	79.00
В	78.82	79.08	79.25	78.92
			TOTAL:	632.79
			TOTAL/8	79.10

LEGEND & NOTES:

→ = DIRECTION OF SLOPE

X = GRADE ELEVATION POINT

= ENTRY

← DOWNSPOUT

= TREE (LOCATION APPROXIMATE)

= PROPOSED ADDITION AREA

= LANDSCAPED AREA (SOFT)

= LANDSCAPED AREA (HARD)

= EXISTING WOOD FENCE

F.F.F. = FINISHED FIRST FLOOR

F.B.S. = FINISHED BASEMENT SLAB

SITE PLAN

DRAWING LIST:

A01 SITE PLAN

AO2 DEMO PLANS, ADDITIONAL NOTES

A03 FLOOR PLANS

A04 FLOOR PLANS, ROOF PLANS & GLAZING PERCENTAGE

A05 ELEVATIONS

A06 CROSS SECTIONS, TYPICAL DETAILS & WINDOW / DOOR SCHEDULE

> MATTHEW BERGSHOEFF LINDSAY CRAWFORD 42 JOHN ST S.

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NOTES:

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DO NOT SCALE DRAWINGS.

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CHECK ALL DIMENSIONS PRIOR TO
CONSTRUCTION. REPORT DISCREPANCIES AND
CONFIRM CLARIFICATIONS BEFORE
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WORKING DRAWINGS DO NOT PROVIDE
REQUIREMENTS FOR ALL CONSTRUCTION
DETAILS. CONTRACTOR IS RESPONSIBLE FOR
PROVIDING SUPERVISED WORKMANSHIP IN ALL
AREAS OF CONSTRUCTION.

ALL WINDOW AND DOOR SIZES ARE OUTSIDE MEASUREMENTS. ROUGH OPENING SIZES SHOULD BE CONFIRMED BEFORE FRAMING.

EXTERIOR DIMENSIONS ARE MEASURED FROM THE OUTSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALL AND OPENINGS.

INTERIOR DIMENSIONS ARE MEASURED FROM THE INSIDE OF EXTERIOR WALLS AND TO THE

THE INSIDE OF EXTERIOR WALLS AND TO TH CENTER OF ALL INTERIOR WALLS AND OPENINGS.

MERNER ROW **DESIGN**

LISA APPS I 647.704.5604 mernerrowdesign@gmail.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER 3.2.5.1. OF THE BUILDING CODE

AME SIGNATURE BO

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER 3.2.4.1. OF THE BUILDING CODE

115433

FIRM NAME

PROPOSED ADDITION

42 JOHN ST. S. MISSISSAUGA

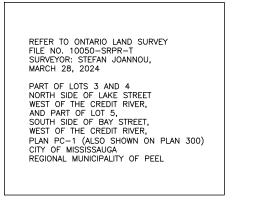
SITE PLAN

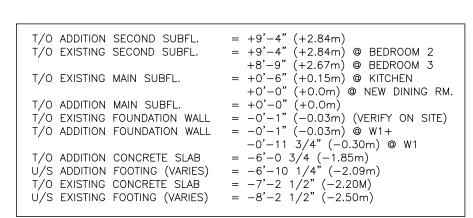
DATE: NOV. 21, 2024 SCALE: 1:100



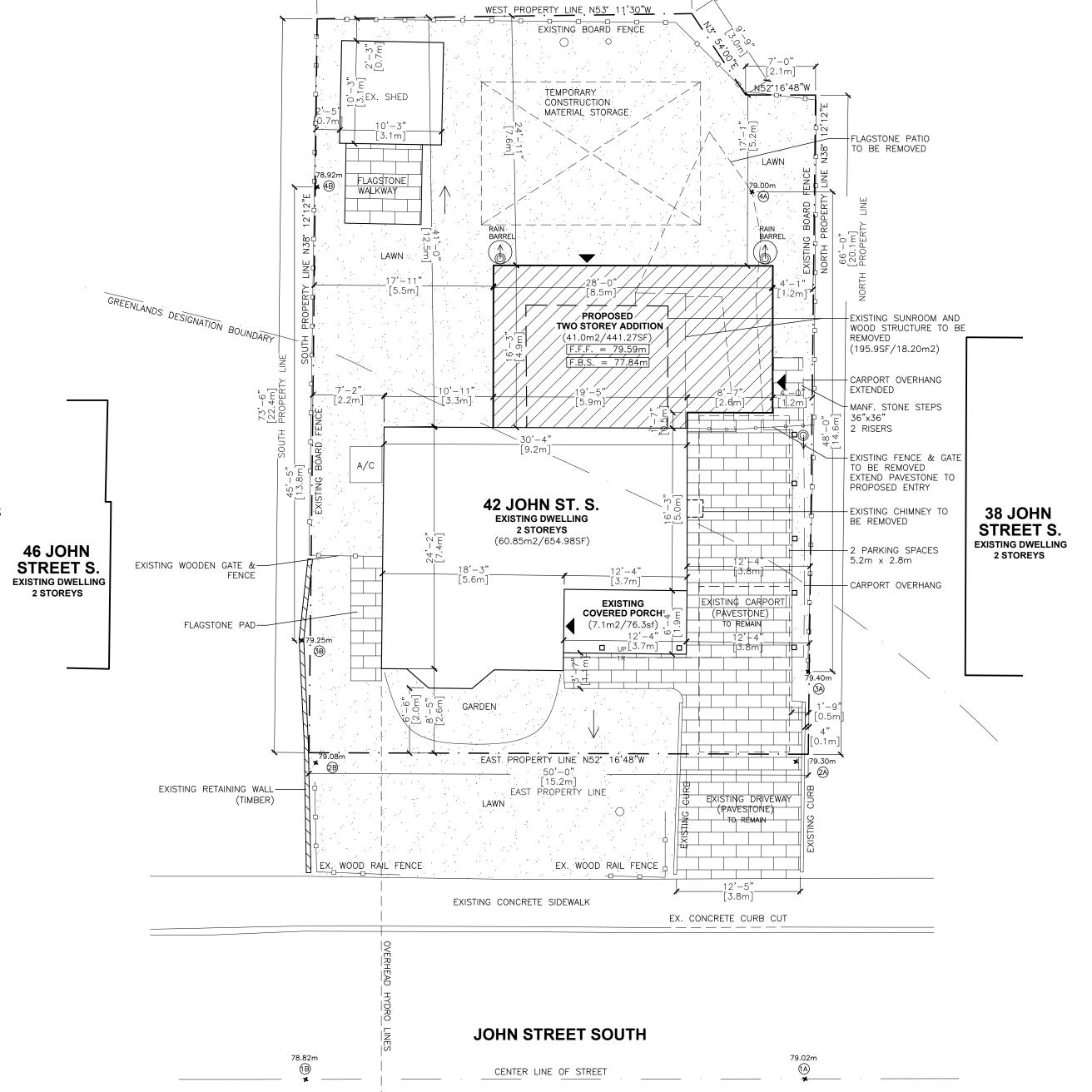
A01

(1/8" = 1'-0")





[11.4m]



L REMOVE EXISTING CHIMNEY

EX. 2x6 @ 16"0/0

ROOF RAFTERS

CARPORT

RE-ROOF EXISTING CAR PORT BEYOND POST

EXTEND NEW ROOF TO NEW MUDROOM ENTRY

EXISTING SUNROOM

REMOVE EX. DOOR AND PATIO DOOR FRAME IN PARTIAL EX. PATIO DOOR OPENING

SEE MAIN FLOOR PLAN PG. A03 FOR DETAILS

DINING ROOM

EX. LIVING ROOM

EX. 2x8 FLOOR JOISTS

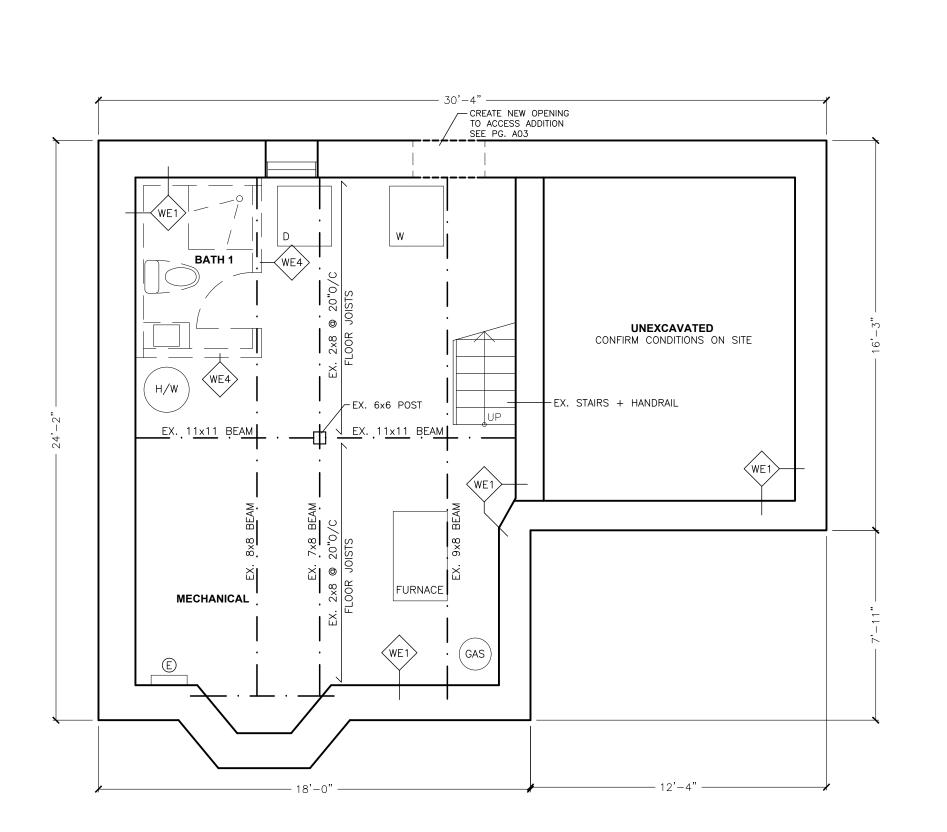
COVERED PORCH

≻EX. STAIRS + HANDRAIL

REMOVE WINDOW ---

DRYWALL FINISH

FRAME AND INSULATE AS NEEDED



EXISTING MAIN FLOOR PLAN

KITCHEN

+8'-1"R.C.H.

BREAKFAST ROOM

+8'-1"R.C.H.

EXISTING SECOND FLOOR PLAN

BEDROOM :

EX. 2x4 ROOF RAFTERS

EX. 2x6 CEILING JOISTS

EXISTING DWELLING TO REMAIN UNCHANGED

BEDROOM 1

STRUCTURAL NOTES:

1. DESIGN LOADS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. 2. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESSES AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. 3. CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS PROVIDED AND REQUIRED TO PERFORM THE WORK. ANY DISCREPANCIES ARE

TO BE REPORTED TO MERNER ROW DESIGN (MRD) IMMEDIATELY TO OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK. 4. CONTRACTOR SHALL USE ALL SPECIFIED MATERIALS WITHOUT SUBSTITUTION.

5. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.

6. THE CONTRACTOR WILL PROVIDE ALL ACCESSORY ITEMS OR MATERIALS, SUCH AS BRACKETS, CLEATS, UNDERLAYS, OVERLAYS, CONNECTORS, FASTENERS, COVER PLATES, SEALANTS, LUBRICANTS, CLEANERS, BONDING AGENTS, AND SIMILAR ITEMS, WHETHER SPECIFIED OR NOT, SO THAT THE WORK IS COMPLETE AND WILL PERFORM AS REQUIRED.

7. STRUCTURAL REVIEW WAS COMPLETED BASED ON THE INFORMATION AND ROOF/FLOOR FRAMING LAYOUTS AND DESIGNS AVAILABLE AT THE TIME OF THE REVIEW. IF THE ACTUAL DESIGNS RESULT IN ANY DIFFERENT LAYOUTS/POINT LOADS/DIMENSIONS, CONTACT MRD

9. MRD SCOPE IS LIMITED TO STRUCTURAL DESIGN OF ITEMS NOT DESIGNED BY ROOF/FLOOR/TIMBER/SIP FRAMING SUPPLIERS ONLY.

PRIOR TO COMMENCING ANY WORK. 8. ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH ONTARIO BUILDING CODE, PART 9, UNLESS NOTED OTHERWISE.

GENERAL FOUNDATION

1. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED BASE OR COMPACTED GRANULAR WITH A MINIMUM ALLOWABLE SOIL BEARING

CAPACITY OF 75kpa (TO BE VERIFIED BY GEO-TECHNICAL ENGINEER PRIOR TO CONSTRUCTION). 2. CONCRETE MÍNIMÚM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS:

A. BASEMENT SLABS 20mpa (4-7% AIR) B. FOOTINGS & FOUNDATION WALLS

EXISTING BASEMENT PLAN

- 20MPA (4-7% AIR) C. EXTERIOR FLATWORK 32mpa (5-8% AIR) 3. CONCRETE COLD WEATHER REQUIREMENTS WHEN AIR TEMPERATURE AT OR BELOW 5 DEGREES CELSIUS:
- TEMPERATURE OF THE CONCRETE AT ALL SURFACES SHALL BE KEPT AT A MINIMUM OF 10 DEGREES CELSIUS FOR 3 DAYS. - NO FROZEN MATERIAL SHALL BE USED IN CONCRETE MIX.
- 4. NO CONCRETE SHALL BE POURED WITHOUT PRIOR REVIEW BY THE BUILDING INSPECTOR. 5. DAMP PROOF & WATER PROOF FOUNDATION WALLS & SLABS PER OBC 2012, PART 9 REQUIREMENTS
- 6. REINFORCING STEEL A. YIELD STRENGTH FOR MAIN BARS: 400mpa
- B. YIELD STRENGTH FOR LATERAL TIES & STIRRUPS: 400mpa, CAS SPEC. G30.12 C. ALL SPLICES TO BE LAPPED 24"
- D. PROVIDE 3" COVER TO REINFORCING STEEL AGAINST EARTH. 2" ELSEWHERE 7. FOUNDATION WALL IS DESIGNED BASED ON THE ASSUMPTION THAT THE BACKFILL WILL BE FREE DRAINING SAND, GRAVEL WITH SILT/CLAY WITH A MAXIMUM EQUIVALENT FLUID DENSITY OF 720KG/M3. IF THE SITE CONDITION VARIES FROM ABOVE ASSUMPTION, INFORM STRUCTURAL ENGINEER IMMEDIATELY TO REVIEW AND SPECIFY REINFORCING STEEL REQUIREMENTS. 8. HYDROSTATIC PRESSURE DUE TO WATER BUILD UP HAS NOT BEEN ACCOUNTED FOR IN THE STRUCTURAL DESIGN. IF THIS ASSUMPTION IS NOT VALID DUE TO SITE SPECIFIC CONDITIONS, CONTACT STRUCTURAL ENGINEER FOR INSTRUCTIONS PRIOR TO STARTING
- ANY WORK. 9. PROTECT THE FOUNDATIONS FROM FROST DAMAGE, WHERE NECESSARY, UNTIL PERMANENT CONSTRUCTION PROVIDES SUCH
- 10. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL LATERALLY SUPPORTED AT THE TOP AND BOTTOM. 11. THE LINE OF SLOPE BETWEEN ADJACENT AXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE

13. IF ACTUAL JOB SITE OR SOIL CONDITIONS VARY FROM THOSE ASSUMED, THEN WRITTEN DIRECTIONS MUST BE OBTAINED FROM THE

- OF 7 IN A RUN OF 10, MAXIMUM STEP 600MM (2'-0"). 12. ALL EXTERIOR FOOTINGS OR OTHER FOOTINGS EXPOSED TO FREEZING IN THE FINISHED BUILDING SHALL BE FOUNDED AT A MINIMUM OF 1200MM (4'-0") BELOW FINISHED GRADE UNLESS NOTED OTHERWISE. FOOTINGS EXPOSED TO FROST ACTION DURING CONSTRUCTION SHALL BE PROTECTED BY A MINIMUM OF 1200MM (4'-0") OF EARTH OR ITS EQUIVALENT SUFFICIENT TO PREVENT FREEZING, IF NOT BEARING ON BEDROCK.
- STRUCTURAL CONSULTANT BEFORE PROCEEDING WITH THE WORK. 14. KEEP EXCAVATIONS CONTINUOUSLY DRY BEFORE CONCRETE IS PLACED. IF THE SOIL IS SOFTENED BY WATER, THE EXCAVATION SHALL BE EXTENDED BELOW THE SOFTENED MATERIAL AND THE BOTTOM OF THE FOOTINGS LOWERED TO SUIT.
- 15. DAMP PROOF/WATERPROOF PER OBC 2012, PART 9 16. SECURE TO FOOTING WITH 8"Hx16"V 15M DOWELS @ 24"O/C

GENERAL WOOD FRAMING

ALL WOOD CONSTRUCTION SHALL BE COMPLETED IN CONFORMANCE WITH THE REQUIREMENTS OF OBC 2012, PART 9, UNLESS NOTED OTHERWISE. ROUGH HARDWARE - BOLTS, NUTS, WASHERS, LAGS, PINS AND SCREWS - ALL TO BE HOT DIP GALVANIZED IF EXPOSED TO EXTERIOR USE. 3. ALL FRAMING ANCHORS, JOIST HANGERS, BEAM HANGERS, POST CAPS, POST ANCHORS, BACK-UP CLIPS AND ANGLES SHALL BE

-⟨WE4⟩

ENTRY

+8'-1"R.C.H

-{WE4}

INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GUIDELINES. UNLESS NOTED OTHERWISE, UTILIZE SIMPSON STRONG TIE (SST) HANGERS & TIES FOR CONNECTIONS. 4. SPLICING, NOTCHING AND DRILLING THROUGH MEMBERS IS NOT PERMITTED EXCEPT AS SPECIFIED BY THESE PLANS AND/OR AS

APPROVED BY MRD. 5. PRE-ENGINEERED PRODUCTS, MANUFACTURED LUMBER OR TIMBER PRODUCTS NOT SPECIFIED HEREIN ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER. MANUFACTURED/ENGINEERED WOOD PRODUCTS DESIGNED BY OTHERS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.

6. ALL MULTI-PLY WOOD MEMBERS SHALL BE BUILT-UP IN ACCORDANCE WITH OBC 2012, PART 9 OR PER MANUFACTURER'S SPECIFICATIONS AND GUIDELINES.

ALL LVLS SHALL MEET OR EXCEED 2.0E, 2900FB. USE APPROPRIATE HURRICANE TIES TO CONNECT ROOF FRAMING TO BEARING WALL (TBD BASED ON FINAL ROOF FRAMING DESIGNS.

PROVIDE SQUASH BLOCKS, SOLID BLOCKING AS REQUIRED TO SUPPORT POINT LOADS. WOOD PRESERVATIVES (PRESSURE TREATED): -WHERE REQUIRED TO CONFORM TO CSA STANDARD 080-M. ALL WOOD PRODUCTS BEARING ON CONCRETE OR MASONRY AT OR BELOW GRADE TO BE PRESSURE TREATED OR BE PROTECTED WITH A MINIMUM 0.05 POLYETHYLENE VAPOUR BARRIER, ROLL ROOFING, OR APPROVED EQUIVALENT.

11. LUMBER: -UNLESS OTHERWISE NOTED TO BE SPRUCE-PINE-FIR (SPF), GRADE NO.1 OR 2, CONFORMING TO CSA STANDARD WITH 0141 WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF INSTALLATION. LUMBER SHALL BEAR THE GRADING STAMP OF AN AGENCY APPROVED BY THE CANADIAN LUMBER STANDARDS ADMINISTRATION BOARD.

1.1 ALL MASONRY CONSTRUCTION SHALL CONFORM TO CSA STANDARD A371 "MASONRY CONSTRUCTION FOR BUILDINGS" 1.2 REFER ALSO TO GENERAL NOTES, STRUCTURAL DRAWINGS / PLANS AND TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

2.1 UNLESS NOTED OTHERWISE THE MINIMUM COMPRESSIVE STRENGTH (TESTED FLAT WISE) SHALL BE 20MPA BASED ON GROSS AREA FOR SOLID AND CORED UNITS AND NET AREA FOR HOLLOW UNITS. 2.2 MORTAR TO BE PREPARED BY PROPORTION SPECIFICATION IN ACCORDANCE WITH CSA A179. TYPE "S" FOR ALL MASONRY. 2.3 MASONRY GROUT TO CONFORM TO CSA A179 AND BE PREPARED BY PROPERTY SPECIFICATION:

- A: MINIMUM 15MPA COMPRESSIVE STRENGTH AT 28 DAYS. B: SLUMP TO BE 200mm (8") MIN. TO 250mm (10") MAX.
- C: GROUT TO BE FINE WHEN MAX. GROUT SPACE IS 50mm (2") OR LESS. D: TESTING TO BE DONE IN ACCORDANCE WITH CSA A179.
- 2.4 MASONRY CONNECTORS (TIES, ANCHORS, AND FASTENERS) SHALL CONFORM TO CSA A370 AND BE INSTALLED IN ACCORDANCE WITH CSA A 371. SPACING, STRENGTH AND CORROSION PROTECTION OF STRIP TIES, DOVETAIL ANCHORS, BAR ANCHORS, ROD ANCHORS, STRAP ANCHORS, WALL AND PARTITION ANCHORS SHALL COMPLY WITH CSA A370. 2.5 REINFORCING BARS TO CONFORM TO CSA G30.18 - GRADE 400MPA.
- 2.6 HORIZONTAL JOINT REINFORCEMENT TO BE 240 LADDER-TWIN-MESH, EXTRA HEAVY DUTY REINFORCING BY HOHMANN & BARNARD, INC. OR APPROVED EQUIVALENT (AT EACH COURSE). PROVIDE ALL PREFABRICATED CORNERS AND TEE SECTION. 2.7 JOINT REINFORCING FOR EXTERIOR WALLS, WALLS IN CONTACT WITH SOIL, AND WALLS IN MOIST ENVIRONMENTS SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION TO ASTM A153 - CLASS B2 W/ MIN. ZINC COATING MASS OF 458 G/m2 (1.500Z/SF).
- 3.2 TOLERANCES FOR MASONRY CONSTRUCTION SHALL CONFORM TO CSA A371 UNLESS NOTED OTHERWISE.

3.1 VERTICAL SPACING OF HORIZONTAL JOINT REINFORCING SHALL NOT EXCEED 400mm (16"). 3.3 PROVIDE HOT AND COLD WEATHER PROTECTION AS REQUIRED BY CSA A371.

LEGEND: (SEE NOTES PG. A03)

CROSS SECTION

EX. 2x6 CEILING JOISTS

STRUCTURAL MEMBER

----- EXISTING STRUCTURE TO BE REMOVED

REMOVE EX. WINDOW
CREATE OPENING INTO ADDITION

BEDROOM 3

EX. 1x6 RIDGE BOARD

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MEASUREMENTS. ROUGH OPENING SIZES SHOULD BE CONFIRMED BEFORE FRAMING.

ALL WINDOW AND DOOR SIZES ARE OUTSIDE

EXTERIOR DIMENSIONS ARE MEASURED FROM THE OUTSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALL AND OPENINGS.

INTERIOR DIMENSIONS ARE MEASURED FROM THE INSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALLS AND OPENINGS.

mernerrowdesign@gmail.com

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QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

SIGNATURE

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

FIRM NAME

MERNER ROW DESIGN

PROPOSED ADDITION

42 JOHN ST. S. MISSISSAUGA

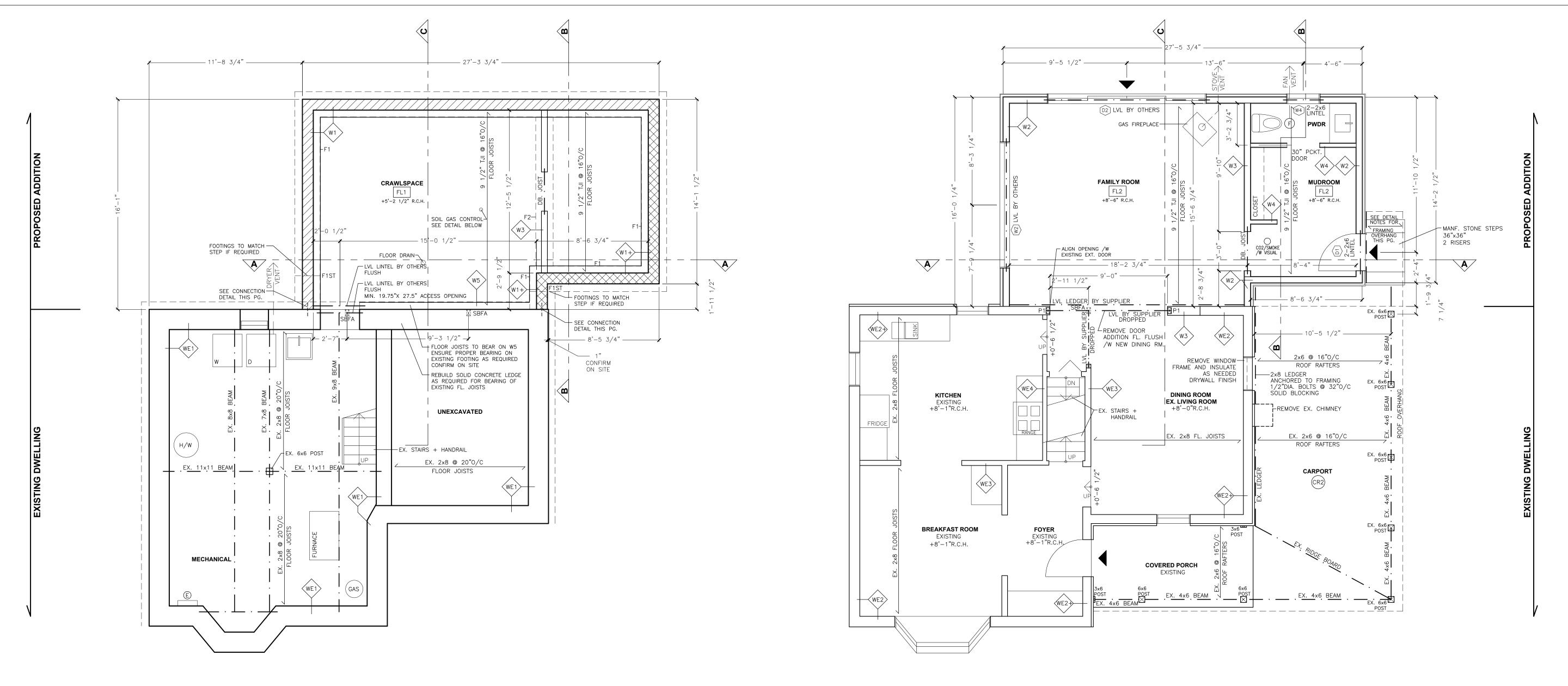
DEMO PLANS & ADD. NOTES

DATE: NOV. 21, 2024 SCALE: 1:50





(1/4" = 1'-0")



LEGEND / NOTES: WALLS: < W2 > INSULATED 2X6 EXTERIOR WALL \langle WE1angle EXISTING RUBBLE FOUNDATION WALL FL1 INSULATED CONCRETE SLAB FLOOR CROSS SECTION STUCCO FINISH FLOOR FINISH FINISHING COAT DRAINAGE MAT, SEALED JOINTS STRUCTURAL MEMBER (WE2) EXISTING EXTERIOR INSULATED FRAMED WALL BASE COAT /W FIBRE GLASS MESH 3" CONCRETE SLAB, 25MPA HORIZONTAL WOOD SIDING FINISH 6X6X6 MESH REINFORCEMENT, OR EQUIV. --- STRUCTURAL BEAM / LINTEL TROWEL APPLIED AIR/VAPOUR BARRIER (OR EQUIV.) SLOPE FLOOR TO DRAIN EIFS - TIPS AROUND OPENINGS ENTRY POINT WE2+EXISTING EXTERIOR INSULATED FRAMED WALL 2" STYROFOAM - DUREX QUANTUM CONNECT TO WEEPING TILE HORIZONTAL WOOD SIDING TO MATCH EXISTING R10 MIN. RIGID INSULATION, SHIP-LAP, (RECOMMEND DIMPLE MEMBRANE DRAINAGE LAYER) MAIBEC OR EQUIV. PRE-FINISHED WOOD SIDING SEALED JOINTS, SEAL TO VAPOUR BARRIER WINDOW / DOOR 1/2" SHEATHING 1 LAYER 1X3 STRAPPING (VENTED AIR SPACE) 6" COMPACTED GRANULAR BASE 2X6 @ 16"0/C, BLOCKING AT MIDPOINT ΓZ

INSECT SCREEN TOP AND BOTTOM POINT LOAD FROM ABOVE TYVEK AIR/VAPOUR BARRIER (OR EQUIV.) PROVIDE SOLID BEARING TO FOUNDATION BELOW PROVIDE ADDITIONAL ANCHOR BOLT, EACH SIDE THRU WALL FLASHINGS AT BASE AND ABOVE OPENINGS 2 1/4" MIN. EPS INSULATION, TAPED SEAMS OF ALL POINT LOAD BEARING POINTS PROVIDE SOLID GROUTING IN FOUNDATION WALL EXISTING FRAMED WALL BELOW ALL POINT LOADS, TYPICAL EXISTING PLASTER FINISH

FOUNDATION PLAN

*ALL FOOTINGS MIN. 4'-0" BELOW GRADE AND BEAR ON UNDISTURBED SOIL *ASSUMED 75kPa SOIL BEARING CAPACITY FE1 EXISTING STRIP FOOTING

F1 8"X24" STRIP FOOTING, 20MPA 4" CONTINUOUS WEEPING TILE, TBD CONNECT TO EXISTING COVER /W 12" GRAVEL LANDSCAPE CLOTH OVER

F1ST STEPPED F1 FOOTING 24" MAX. RISE, MIN. 24" RUN

F2 6"X16" STRIP FOOTING, 20MPA /W 5"HIGH X 6"WIDE CONCRETE CURB TO RAISE STRUCTURAL FRAMING ABOVE FORM WITH FOOTING

P1 BUILT UP 2x6 POST TO PROVIDE FULL BEARING FOR BEAM ABOVE

WE3 EXISTING UNINSULATED INTERIOR 2X4 WALL W1 > INSULATED FOUNDATION WALL DRAINAGE MAT + WATERPROOFING MEMBRANE 10" CONCRETE BLOCK WALL 1/2" ANCHOR BOLTS @ 6'-0"0/C

2X6 SILL PLATE ON GASKET SEALANT AT U/S AT EXTERIOR GASKET EDGE SEALANT AT T/S AT INTERIOR GASKET EDGE R10 MIN. CONTINUOUS EPS INSULATION @ INTERIOR, TAPED SEAMS

2X4 WALL @ 24"O/C /W SILL GASKET R13 MIN. MINERAL WOOL BATT INSULATION 6MIL VAPOUR BARRIER, OVERLAP & TAPE SEAMS (RECOMMEND SMART VAPOUR RETARDER PRO CLIMA DB+) 1/2" DRYWALL

 $\langle W1+\rangle$ SEE NOTES FOR W1 CEMENT BOARD TO MIN. 6" BELOW GRADE R10 MIN. CONTINUOUS EPS INSULATION @ EXTERIOR OF CONCRETE BLOCK, TAPED SEAMS ADDITIONAL TOP COURSE OF CONCRETE BLOCK ON EDGE 11"H x6"W. 2x4 SILL PLATE ON GASKET NEW SIDING TO BE MIN. 8" ABOVE GRADE ADJUST ON SITE AS NEEDED

(CONTINUOUS TO UNDERSIDE ROOF STRUCTURE) R22 MINERAL WOOL BATT INSULATION 6MIL VAPOUR BARRIER, OVERLAP & TAPE SEAMS (RECOMMEND SMART VAPOUR RETARDER PRO CLIMA DB+) 1/2" DRYWALL OR OTHER FINISH

2X6 @ 16"O/C FRAMED WALL DOUBLE TOP PLATE BLOCKING AT MIDPOINT PROVIDE GASKET BELOW BOTTOM PLATE MIN. 6mil POLY @ CRAWLSPACE 1/2" DRYWALL OR OTHER FINISH

UNFINISHED @ CRAWLSPACE < W4 > 2X4 INTERIOR WALL 2X4 @ 16"0/C FRAMED WALL, BLOCKING AT MIDPOINT 1/2" DRYWALL FINISH (OR OTHER FINISH) UNFINISHED @ CRAWLSPACE

W5 2X4 BEARING WALL @ CRAWLSPACE FOR TJI FL. JOISTS 2X4 @ 16"O/C FRAMED WALL DOUBLE TOP PLATE SEPARATE FROM EXISTING CONCRETE FOUNDATION WALL WITH 6MIL POLY ON 3"HIGH X 4"WIDE CONCRETE CURB TO RAISE STRUCTURAL FRAMING ABOVE FLOOR LEVEL, SEPARATE /W 6MIL POLY FORM ON EXISTING FOOTING

*ALL FLOORING TRANSITIONS TO BE FLUSH *FLUSH TO ADJACENT FINISHES @ NEW DINING RM. & UPPER HALL ON SECOND FLOOR FLE1 EXISTING CONCRETE SLAB FLOOR

FLE2 EXISTING INTERIOR FRAMED FLOOR

FRAMING MEMBERS AS NOTED

| FL2 | INTERIOR FRAMED FLOOR FRAMING MEMBERS AS NOTED, BLOCKING MID SPAN 3/4" T&G PLYWOOD, SCREWED AND GLUED FLOOR FINISH, FLUSH TO ADJACENT FINISHES 1/2" DRYWALL TO UNDERSIDE OF FRAMING MEMBERS UNFINISHED IN CRAWLSPACE

CEILING / ROOF: (CR1) INSULATED VAULTED CEILING

ASPHALT SHINGLES, CONTINUOUS RIDGE VENT INSTALLED TO MANUFACTURER'S SPECIFICATIONS MATCH TO EXISTING VENTED ALUMINUM SOFFITS + FASCIA ICE & WATER SHIELD TO ALL ROOF EAVES TO MIN. 18" INSIDE INTERIOR WALL 1/2" OSB SHEATHING (RECOMMEND 5/8" PLY) ON H-CLIPS

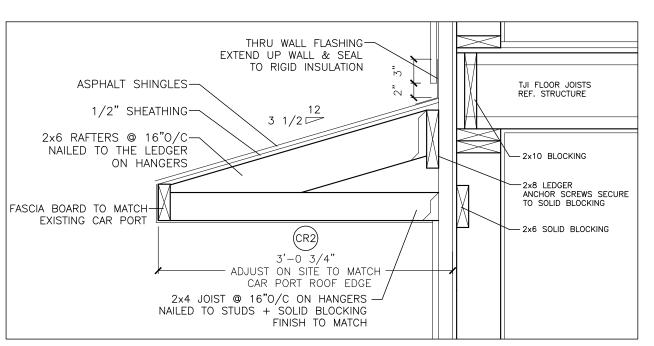
MANUFACTURED SCISSOR TRUSSES @ 24"0/C INSTALL TO MANF. SPECIFICATIONS SST H1 TIES OR PER SUPPLIER (TYPICAL) PROVIDE 1.5" CLEAR AIR SPACE /W BAFFLES R60 MIN. BLOW-IN INSULATION 6MIL VAPOUR BARRIER, OVERLAP & TAPE SEAMS (RECOMMEND SMART VAPOUR RETARDER PRO CLIMA DB+) 1/2" DRYWALL (OR OTHER FINISH)

MATCH DETAILS TO EXISTING ROOF FRAMING AND CEILING (CR2) UNINSULATED COVERED PORCH (EXTENDED @ EXISTING NORTH ELEVATION) ASPHALT SHINGLES TO MATCH EXISTING SOFFIT, FASCIA AND CEILING FINISH TO MATCH EXISTING ICE & WATER SHIELD (OR EQUIVALENT) INSTALL TO MANUFACTURER'S SPECIFICATIONS SHEATHING TO MATCH EXISTING ROOF RAFTER FRAMING MEMBERS

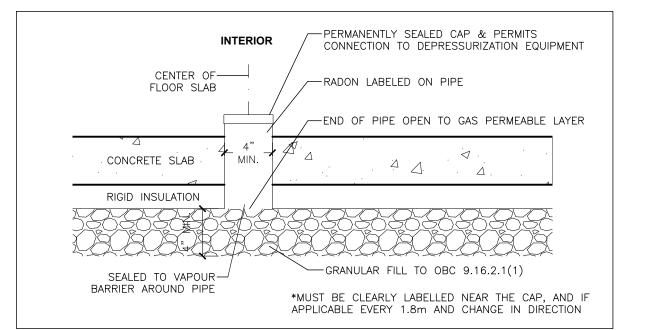
NOTE: REFER TO TRUSS DETAIL PAGE A06. CONTRACTOR TO CONFIRM ALL DIMENSIONS, SOFFIT DETAILS, SITE CONDITIONS AND MAKE ADJUSTMENTS TO TRUSS DESIGN AS NEEDED. EXTERNAL SURFACE APPLIED WOOD DETAIL PANELS TO SUIT FINAL DESIGN. CONFIRM ON

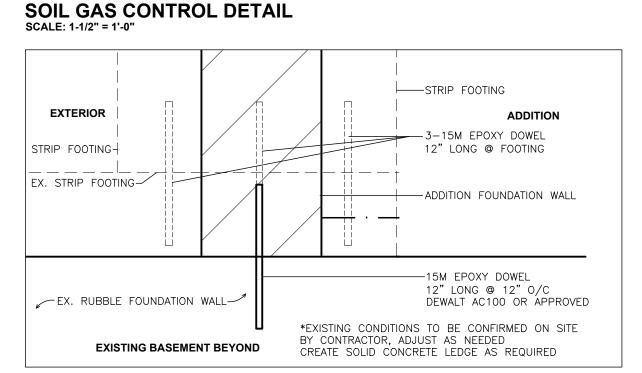
NO CHANGES TO INTERIOR OF EXISTING DWELLING.

MAIN FLOOR PLAN



OVERHANG FRAMING DETAIL SCALE: 1" = 1'-0"





CONNECTION DETAIL 1 SCALE: 1-1/2" = 1'-0"

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ALL CONSTRUCTION TO MEET CURRENT REQUIREMENTS OF ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES.

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ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. WORKING DRAWINGS DO NOT PROVIDE REQUIREMENTS FOR ALL CONSTRUCTION

WITH ALL RELEVANT SPECIFICATIONS,

PROVIDING SUPERVISED WORKMANSHIP IN ALL AREAS OF CONSTRUCTION. ALL WINDOW AND DOOR SIZES ARE OUTSIDE

MEASUREMENTS. ROUGH OPENING SIZES

DETAILS. CONTRACTOR IS RESPONSIBLE FOR

SHOULD BE CONFIRMED BEFORE FRAMING. EXTERIOR DIMENSIONS ARE MEASURED FROM THE OUTSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALL AND OPENINGS.

INTERIOR DIMENSIONS ARE MEASURED FROM THE INSIDE OF EXTERIOR WALLS AND TO THE CENTER OF ALL INTERIOR WALLS AND OPENINGS.

MERNER

LISA APPS I 647.704.5604 mernerrowdesign@gmail.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1. OF THE BUILDING CODE

LISA APPS SIGNATURE

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

MERNER ROW DESIGN 115433 FIRM NAME

> **PROPOSED ADDITION**

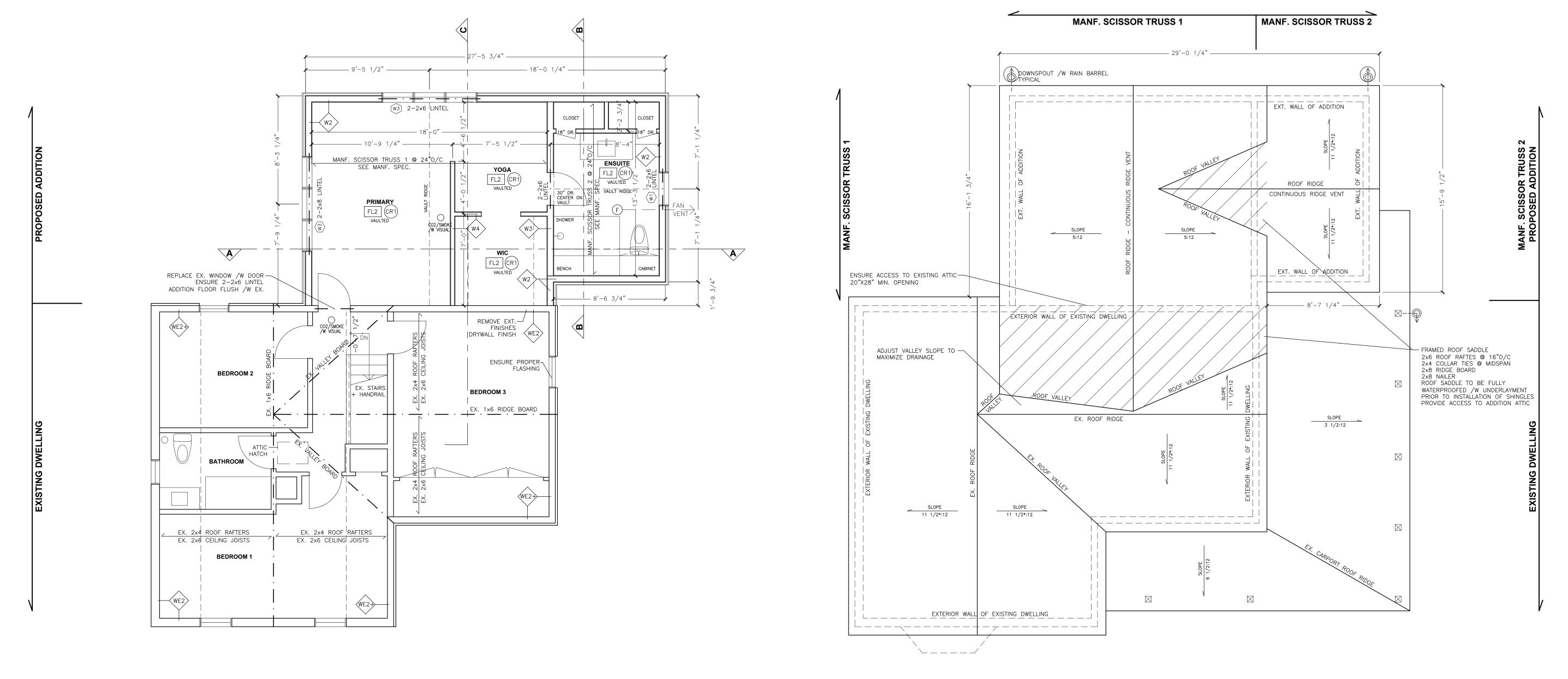
42 JOHN ST. S. **MISSISSAUGA**

FOUNDATION & MAIN FL. PLANS

DATE: NOV. 21, 2024 SCALE: 1:50 (1/4" = 1'-0")

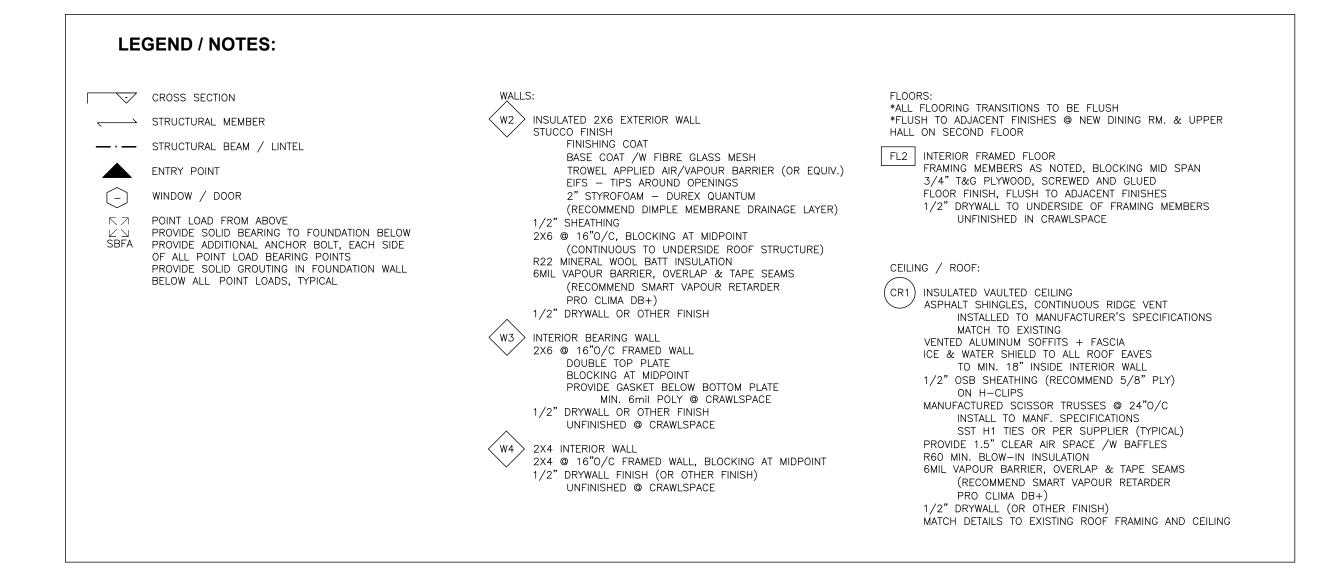


A03



SECOND FLOOR PLAN

ROOF PLAN



NOTE:

DWELLING.

REFER TO TRUSS DETAIL PAGE A06.

CONTRACTOR TO CONFIRM ALL DIMENSIONS, SOFFIT DETAILS, EX. SLOPE, SITE CONDITIONS AND MAKE ADJUSTMENTS TO TRUSS DESIGN AS NEEDED.

EXTERNAL SURFACE APPLIED WOOD DETAIL PANELS TO SUIT FINAL DESIGN. CONFIRM ON

CONTINUOUS RIDGE VENT WHERE NOTED, OR EQUIVALENT FOR ADEQUATE VENTING.

NO CHANGES TO INTERIOR OF EXISTING



PERCENTAGE OF GLAZED AREA CALCULATIONS
SCALE: 1/8" = 1'-0" (1:96)

MATTHEW BERGSHOEFF LINDSAY CRAWFORD 42 JOHN ST S. MISSISSAUGA, ON. L5H 2G4

MATTHEW.BERGSHOEFF

@GMAIL.COM LINDSAYDCRAWFORD@GMAIL.COM

PHONE: 647-2735482

710112. 017 2700102

NOTES:
THE DRAWINGS ARE THE PROPERTY OF

MERNER ROW DESIGN. DO NOT REPRODUCE WITHOUT WRITTEN CONSENT.

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO MEET CURRENT

REQUIREMENTS OF ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES.

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MERNER ROW **DESIGN**

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QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER 3.2.5.1. OF THE BUILDING CODE

LISA APPS 11254 NAME SIGNATURE BC

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER 3.2.4.1. OF THE BUILDING CODE

MERNER ROW DESIGN 11543

FIRM NAME

PROPOSED ADDITION

42 JOHN ST. S. MISSISSAUGA

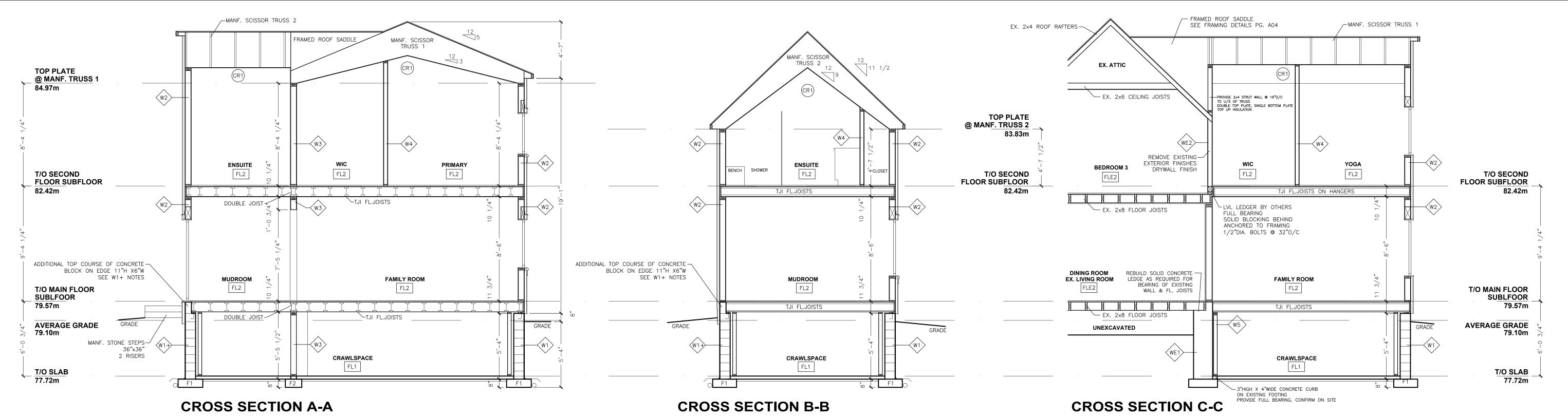
FLOOR & ROOF PLANS

DATE: NOV. 21, 2024 SCALE: 1:50 (1/4" = 1'-0")



A04





SEE LEGEND / NOTES PG. AO3, AO4

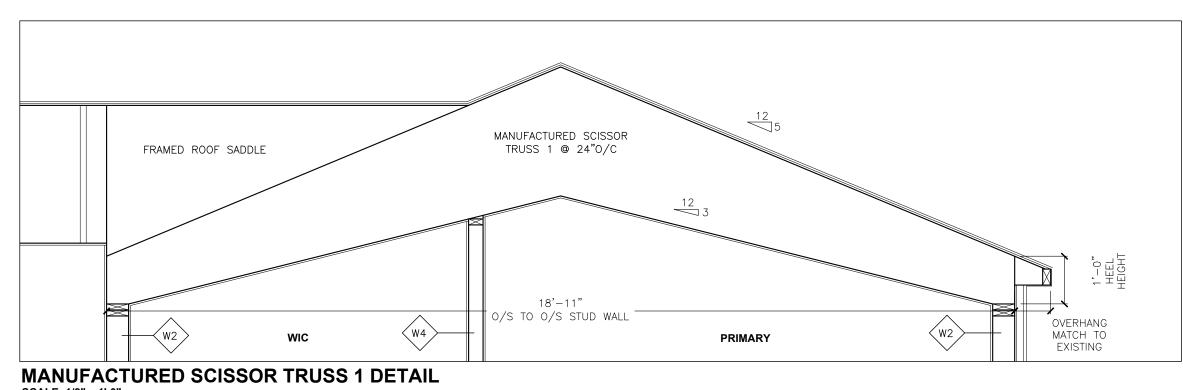
<u>-</u>	DESCRIPTION	UNIT WIDTH	UNIT HEIGHT	QTY	UNIT GLAZING	SILL HEIGHT
W 1	SINGLE PANEL, CASEMENT	29"	41"	1	8.3SF	31"
W2	QUAD PANEL, CASEMENT	116"	48"	1	38.7SF	30"
W3	TRIPLE PANEL, CASEMENT	87"	48"	2	29.0SF	30 3/4"
W4	SINGLE PANEL, CASEMENT	30"	55.5"	1	11.8SF	25 1/2"
D1	ENTRY DOOR, INSULATED HALF GLAZED PANEL	34"	80"	1	20.1SF	N/A
D2	4 PANEL SLIDING DOOR	120"	80"	1	81.1SF	N/A

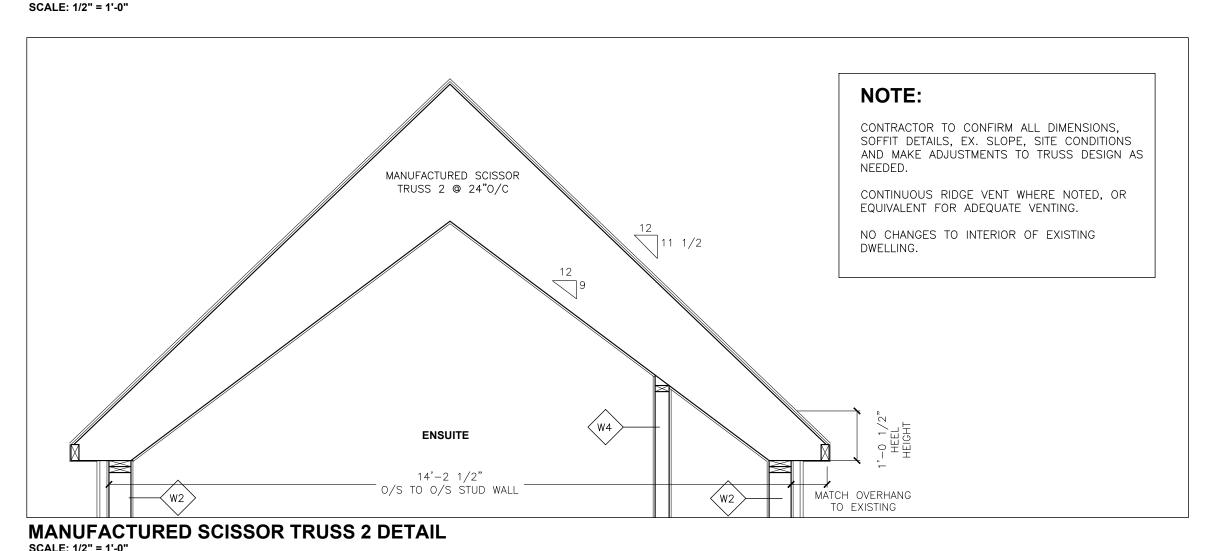
* CONFIRM ROUGH OPENING SIZE /W MANUFACTURER

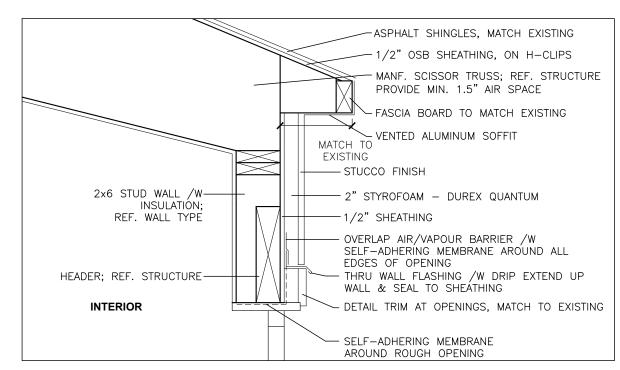
* ADJUST WINDOW/DOOR SIZES TO MANUFACTURER STANDARD SIZING TO MINIMIZE COST

* CONFIRM ALL WINDOW AND DOOR SIZES PRIOR TO COMMENCING CONSTRUCTION

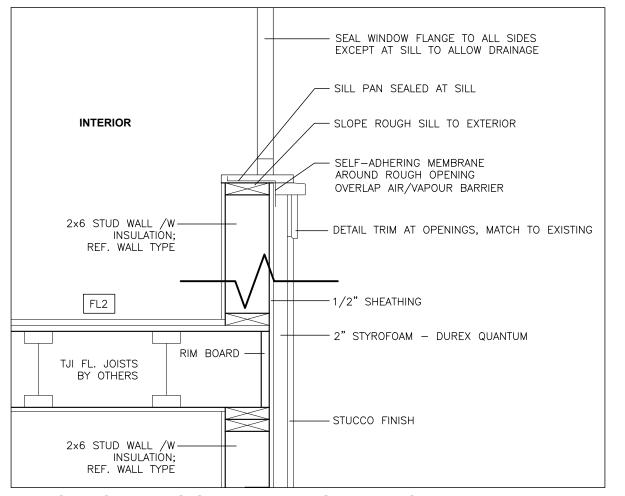
EXTERIOR DOOR / WINDOW SCHEDULE



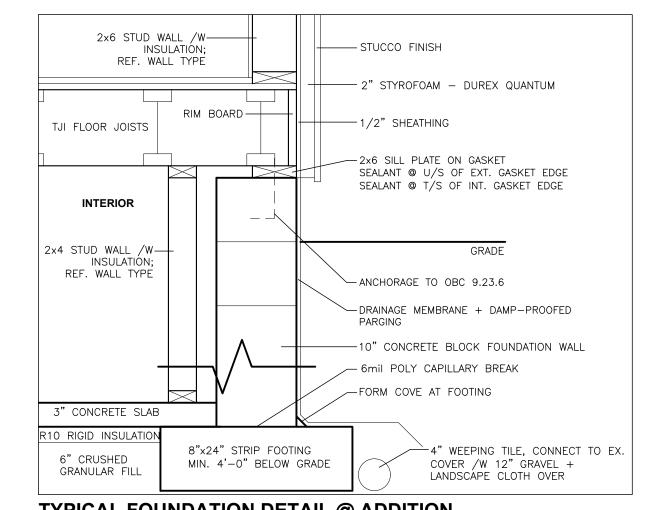




TYPICAL OPENING & OVERHANG DETAIL @ ADDITION



TYPICAL OPENING SILL DETAIL @ ADDITION SCALE: 1" = 1'-0"



TYPICAL FOUNDATION DETAIL @ ADDITION SCALE: 1" = 1'-0"

MATTHEW BERGSHOEFF LINDSAY CRAWFORD 42 JOHN ST S.

MISSISSAUGA, ON. L5H 2G4

10.2

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| | PHONE: 647-2735482

NOTES: The drawings are 1

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UNDER 3.2.5.1. OF THE BUILDING CODE

NAME SIGNATURE BCI

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.4.1. OF THE BUILDING CODE

MERNER ROW DESIGN 115433
FIRM NAME BCIN

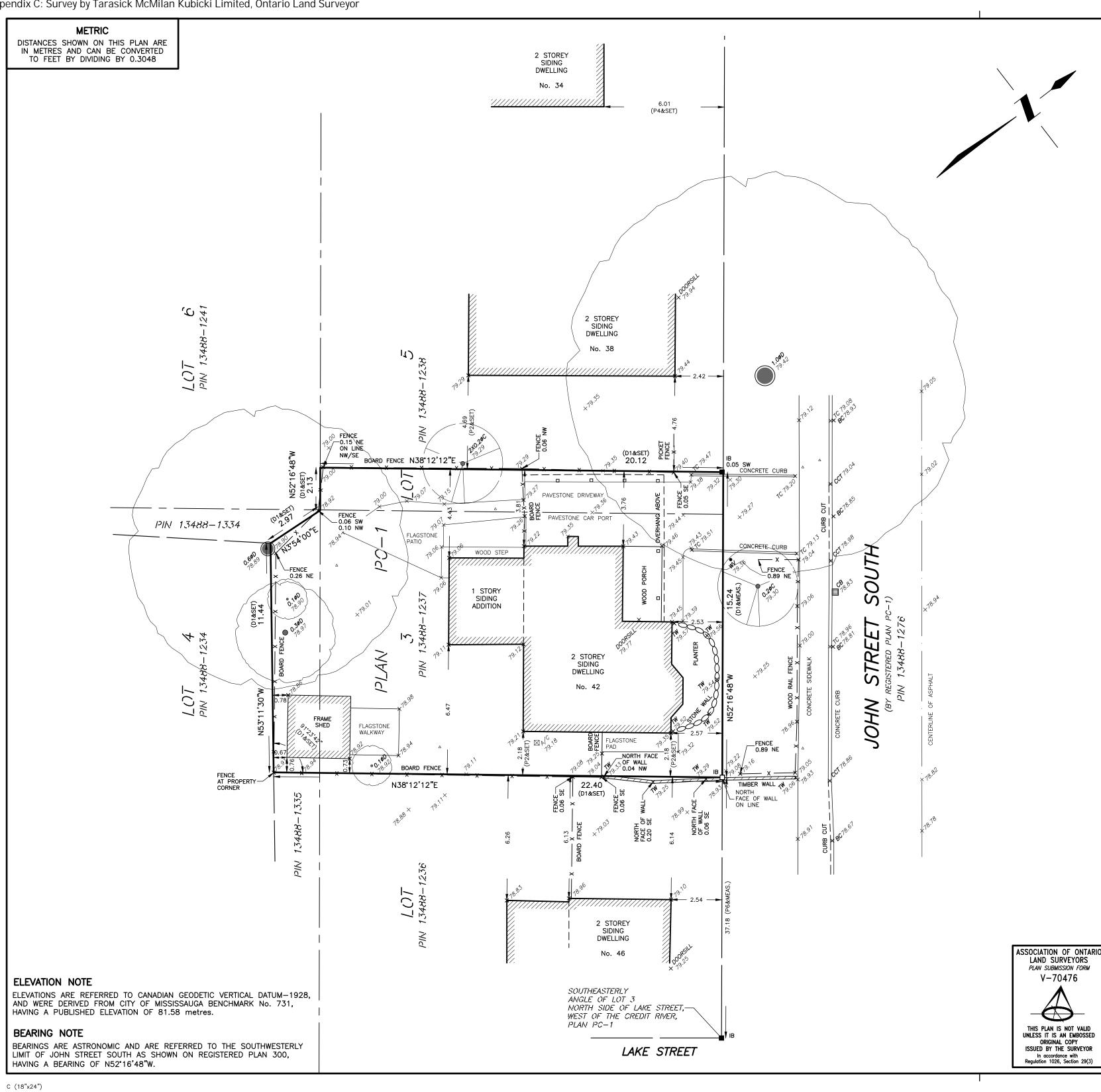
PROPOSED ADDITION

42 JOHN ST. S. MISSISSAUGA

CROSS SECTIONS & TYP. DETAILS & WINDOW/DOOR SCHEDULE

DATE: NOV. 21, 2024 SCALE: 1:50 (1/4" = 1'-0")

A06



SURVEYOR'S REAL PROPERTY REPORT

PLAN OF SURVEY WITH TOPOGRAPHY OF

PART OF LOTS 3 AND 4, NORTH SIDE OF LAKE STREET, WEST OF THE CREDIT RIVER, AND PART OF LOT 5, SOUTH SIDE OF BAY STREET, WEST OF THE CREDIT RIVER, PLAN PC-1 (ALSO SHOWN ON PLAN 300) CITY OF MISSISSAUGA

SCALE 1: 125 7.5 metres

REGIONAL MUNICIPALITY OF PEEL

TARASICK McMILLAN KUBICKI LIMITED ONTARIO LAND SURVEYORS

(C) COPYRIGHT, 2024

REPORT SUMMARY

PROPERTY DESCRIPTION: 42 JOHN STREET SOUTH, BEING PART OF LOTS 3 AND 4, NORTH SIDE OF LAKE STREET, WEST OF THE CREDIT RIVER, AND PART OF LOT 5, SOUTH SIDE OF BAY STREET, WEST OF THE CREDIT RIVER, PLAN PC-1 (ALSO SHOWN ON PLAN 300), CITY OF MISSISSAUGA, REGIONAL MUNICIPALITY OF PEEL, PIN 13488-1237.

EASEMENTS/RIGHTS-OF-WAY: NONE REGISTERED ON TITLE

COMMENTS:

1. NOTE LOCATION OF FENCES.

2. NOTE LOCATION OF THE TIMBER WALL ALONG THE SOUTHEASTERLY

LEGEND

SURVEY MONUMENT FOUND SURVEY MONUMENT PLANTED DENOTES **DENOTES** IRON BAR TOP OF CURB BOTTOM OF CURB TC BC CCT CB WV DENOTES DENOTES CURB CUT DENOTES DENOTES CATCH BASIN WATER VALVE DENOTES TW P2 DENOTES TOP OF WALL DUNNING & TAYLOR LTD., O.L.S., AUGUST 24, 1987 DENOTES JAMES AND WANDABENSE O.L.S., DEC. 19, 1952 CHRISTOPHER PEAT O.L.S., NOV. 5, 1964 DENOTES INSTRUMENT R0943301

DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER

0.20¢ DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

TREE CANOPIES ARE DRAWN TO SCALE.

PREPARED FOR:

THIS REPORT WAS PREPARED FOR LINDSAY CRAWFORD AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- 2. THE SURVEY WAS COMPLETED ON MARCH 21, 2024.

MARCH 28, 2024 DATE

STEF#N JOANNOU ONTAŘIO LAND SURVEYOR

TARASICK McMILLAN KUBICKI LIMITED

ONTARIO

LAND

SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2 TEL: (905) 569-8849 FAX: (905) 569-3160 E-MAIL: office@tmksurveyors.com

DRAWN BY: K.H.

FILE No. 10050-SRPR-T