1 LOCATION PLAN NTS **CLARKE MEMORIAL HALL**

161 LAKESHORE RD W, MISSISSAUGA, ON L5H 1G3

ISSUED FOR HERITAGE PERMIT 09 JUNE 2025

RESTORATION

CHERIE NG ARCHITECT INC.

T. 416.898.1979 CNG@CHERIENG.COM

BLACKWELL STRUCTURAL ENGINEERS

STRUCTURAL CONSULTANT

JDX ADVANCE SERVICE INC.

MECHANICAL AND ELECTRICAL CONSULTANT

DRAWING LIST LOCATION MAP / DRAWING LIST / GENERAL NOTES / LEGENDS BASEMENT FLOOR PLAN - DEMOLITION PLAN BASEMENT FLOOR PLAN - DEMOLITION PLAN PHOTOS GROUND FLOOR PLAN - DEMOLITION PLAN GROUND FLOOR PLAN - DEMOLITION PLAN PHOTOS GROUND FLOOR PLAN - RESTORATION PLAN PHOTOS SECOND FLOOR PLAN - DEMOLITION PLAN ATTIC - DEMOLITION PLAN ATTIC - DEMOLITION PLAN PHOTOS ROOF - DEMOLITION PLAN BASEMENT FLOOR - ENLARGED DEMOLITION PLAN GROUND FLOOR - ENLARGED DEMOLITION PLAN BASEMENT FLOOR - PROPOSED PLAN GROUND FLOOR - PROPOSED PLAN GROUND FLOOR - ENLARGED PROPOSED PLAN NORTH AND SOUTH ELEVATIONS EAST AND WEST ELEVATIONS INTERIOR ELEVATIONS PROPOSED SECTIONS A5.2 STRUCTURAL S001 GENERAL NOTES BASEMENT PLAN GROUND FLOOR PLAN ROOF PLAN NORTH AND SOUTH ELEVATION EAST AND WEST ELEVATION SECTIONS AND DETAILS MECHANICAL
M100 NOTES, LEGENDS AND SCHEDULES HVAC BASEMENT LAYOUTS HVAC L1 LAYOUT HVAC ROOF LAYOUTS NOTES, LEGENDS AND SCHEDULES

POWER BASEMENT LAYOUTS

POWER L1 LAYOUT

GENERAL NOTES

GENERAL NOTES & CONDITIONS THAT APPLY TO THE ENTIRE WORK: 1. THESE PLANS ARE TAKEN FROM ARCHIVE DRAWINGS AND LIMITED SITE SURVEY INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE TO CONFIRM THE SITE CONDITIONS PRIOR TO SUBMITTING BID. 2. ALL DIMENSIONS ARE PER SITE REVIEW AND EXISTING ARCHITECTURAL DRAWINGS. ALL DISCREPANCIES BETWEEN CONDITIONS SHOWN AND SITE CONDITIONS ARE TO BE REPORTED TO ARCHITECT.

3. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THE THIS DRAWING.

5. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE PRIOR TO FABRICATIONS/INSTALLATIONS.

6. DRAWINGS ARE NOT TO SCALED.

7. LOCATE AND PROTECT ALL UTILITIES.

8. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. 9. PROVIDE SECURE CONTROL OF SURFACE INSTALLATION AND FINISH

APPLICATIONS TO PREVENT PERMANENT EFFECTS OF VANDALISM DURING

10. OBTAIN APPROVAL OF LAYOUT PRIOR TO STARTING WORK. 11. PROVIDE TEMPORARY CONSTRUCTION FENCE 1.8M HIGH MODULAR METAL FENCE WITH LOCKABLE GATE AS REQUIRED TO SECURE THE WORK ZONE.

CONTROL FOR POTENTIAL SILICA IN CONCRETE / MORTAR. 13. FORMING CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CONSULTANT'S REVIEW PRIOR TO CONCRETE FOOTING WALL INSTALLATION.

12. CONTRACTOR IS RESPONSIBLE TO INCLUDE IN HIS SCOPE OF WORK DUST

15. CONTRACTOR TO COORDINATE WITH FOOTING WALL DIMENSIONS PRIOR TO

16. ALL COLOURS AND MATERIALS TO BE REVIEW BY ARCHITECT.

18. READ THIS DRAWING IN CONJUNCTION WITH THE COMPLETE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SPRINKLER DOCUMENTATION. 19. REPAIR, PATCH & MAKE GOOD ALL EXISTING STRUCTURE AND FINISHES

AFFECTED BY CONSTRUCTION. 20. ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED. 21. PROTECT EXISTING FINISHES TO REMAIN AS INDICATED IN DOCUMENTATION.

WHERE DEMOLITION WORK IMPACTS ON THESE FINISHES, PATCH AND MAKE GOOD TO MATCH EXISTING. 22. CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB,

INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS. 23. ANY OPENINGS IN FIRE RATED WALLS, CEILINGS AND FLOORS TO BE

RETURNED TO EQUIVALENT CONDITION PRIOR TO THE OPENING. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS PER SPECIFICATION AND OBC.

24. ALL REQUIRED CUTTING & FITTING INCLUDING ELECTRICAL & MECHANICAL TO CONNECT EXISTING WORK WITH THE NEW WORK TO BE PERFORMED AS PART OF THIS CONTRACT TO FINISH THE ENTIRE WORK IN A WORKMANLIKE AND

25. ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED. 26. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTATION FOR SPECIFIC EQUIPMENT TO BE REMOVED. PATCH AND MAKE GOOD ANY DAMAGE CAUSED BY REMOVAL OF MECHANICAL AND ELECTRICAL EQUIPMENT OR BY RELATED DEMOLITION WORK.

29. CONDUCT X-RAYS AND PERFORM INSPECTIONS AT AREAS WHERE CUTTING, DRILLING OR SLEEVING THROUGH EXISTING STRUCTURE IS REQUIRED TO ENSURE EXISTING SERVICES WILL NOT BE DAMAGED. REPAIR AND REINSTATE EXISTING SERVICES IMMEDIATELY IF DAMAGED.

30. CONTACT CONSULTANT IMMEDIATELY IF ANY UNKNOWN SERVICES ARE UNCOVERED AND INTERFERE WITH NEW WORK.

31. REMOVE ALL FURNISHINGS WITHIN THE EXTENT OF NEW WORK. CO-ORDINATE RELOCATION OR DISPOSAL WITH OWNER. ITEMS TO BE

32. ALL ITEMS INDICATED IN THE CONTRACT DOCUMENTS AS 'COORDINATION ITEMS' OR ITEMS IDENTIFIED AS N.I.C., INCLUDING BUT NOT LIMITED TO THE EQUIPMENT, SECURITY, DATA CONNECTION, SERVER, AUDIO & VISUAL AND OTHER SPECIALTY ITEMS IDENTIFIED, ARE TO BE SUPPLIED AND INSTALLED BY OTHER PARTIES OR ALLOWANCES BUT WILL REQUIRE THE COMMON ACTION OR EFFORT OF THE GENERAL CONTRACTOR IN RELATION TO THE OVERALL PROJECT. WITH RESPECT TO ALL COORDINATION ITEMS IDENTIFIED, THE GENERAL CONTRACTOR IS EXPECTED TO: -BUILDING ENVELOPE INSPECTIONS

-STRUCTURAL INSPECTIONS -WATERPROOFING MEMBRANE INSPECTIONS -CITY'S SECURITY VENDOR

-CITY'S CORPORATE SECURITY -BELL CANADA VOICE AND DATA CONNECTION -FIRE DEPARTMENT -CITY'S IT DEPARTMENT

31. REVIEW ALL ITEMS IDENTIFIED AS 'COORDINATION ITEMS' IN THE DRAWINGS AND COMMUNICATE WITH THE REQUIRED RESPONSIBLE PARTIES OF THE DEVICES THE DETAILED REQUIREMENTS OF EACH ITEM AS IT IMPACTS THE WORK OF GENERAL CONTRACTOR AND AS IT RELATES TO THE OVERALL COMPLETION OF

A. VERIFY THE EXISTING CONDITION AND ANY LIMITATIONS OF THE DEVICE AS INSTALLED IN THE PROPOSED LOCATION. B. COORDINATE WORK OF OWNER'S OWN FORCE INTO THE OVERALL CONSTRUCTION SEQUENCE

. PROVIDE ALL REQUIRED ROUGH-INS, RELATED CONSTRUCTIONS AND CONNECTIONS REQUIRED BY THE DEVICES OF OTHERS TO SUIT THE COORDINATION ITEM AND AS INDICATED IN THE CONTRACT DOCUMENTS. D. SCHEDULE AND COORDINATE THE WORK OF OTHERS INTO THE OVERALL CONSTRUCTION SEQUENCE TO AVOID UNNECESSARY DELAY TO THE COMPLETION OF THE OVERALL PROJECT. E. ENSURE THAT THE PROPOSED ITEM IS INSTALLED AS INTENDED AND IS MADE FULLY OPERATIONAL AT THE COMPLETION OF THE WORK.

32. CONSULTANT / TOWN WILL APPLY FOR BUILDING PERMIT. CONTRACTOR TO SCHEDULE ALL REQUIRED INSPECTIONS.

33. THE BUILDING WILL REMAIN IN OPERATION DURING THE COURSE OF CONSTRICTION. INTERIOR AND EXTERIOR WORK IS TO OCCUR IN PHASES THROUGHOUT THE BUILDING AND MUST BE COORDINATED WITH THE BUILDING USERS AND OWNERS TO MINIMIZE DISRUPTION TO STAFF AND THE FACILITY OPERATIONS.

34. COMPLY WITH THE MOST CURRENT REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT, REGULATION FOR CONSTRUCTION PROJECT.

35. BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL PEDESTRIANS AND VEHICLES IN THE WORK AREA. PROVIDE AND INSTALL BARRICADES, SIGNS, GUARDRAILS, ETC AS REQUIRE. AT THE CONCLUSION OF EACH DAY'S WORK, ENSURE THAT ALL PRECAUTIONS NECESSARY FOR THE PROTECTION AND SAFETY OF PEDESTRIANS AND VEHICLES HAVE BEEN TAKEN.

36. PROVIDE AND MAINTAIN OVERHEAD PROTECTION AT ALL BUILDING ENTRANCES, EXITS, DOORS AND PATIOS.

37. DO NOT BLOCK ANY FIRE EXITS.

38. PROVIDE ADEQUATE PROTECTION OF MATERIALS AND WORK FROM DAMAGE AND STAINING BY WEATHER AND OTHER CAUSES. CONTRACTOR SHALL MAKE GOOD ANY DAMAGE.

39. CONTRACTOR TO ENSURE ALL WALKWAYS / PATHS TO AND FROM ALL ENTRANCE DOORS ARE FREE OF DEBRIS AND OBSTRUCTIONS AT ALL TIMES

40. MAINTAIN AT ALL TIMES CLEAR ACCESS ON DRIVE AISLES ADJACENT TO BUILDING TO THE SITE.

41. MOBILIZATION, STORAGE OR ACCESS NOT PERMITTED AT ADJACENT

42. PARKING IS AVAILABLE ON SITE MUST BE COORDINATED WITH TOWN PM. 43. ACCESS INTO THE BUILDING AREA IS GENERALLY RESTRICTED. NO ACCESS INSIDE THE BUILDING WITHOUT EXPRESSED WRITTEN CONSENT FROM THE TOWN.

44. THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION. THE GENERAL CONTRACTOR TO COORDINATE PHASING AS REQUIRED AND MUST BE COORDINATED WITH THE BUILDING USERS AND OWNERS TO MINIMIZE DISRUPTION TO STAFF AND THE FACILITY OPERATIONS.

MATERIAL ABBREVIATIONS

ACT-1 24" X 48" SUSPENDED ACOUSTIC TILE CEILING SYSTEM

ADO AUTOMATIC DOOR OPERATOR

AL-1 PREFINISHED ALUMINUM

BB-1 BULLETIN BOARD BARRIER-FREE MIRROR

BARRIER-FREE STAINLESS STEEL SHELF

BUR BUILT-UP ROOF

CONCRETE BLOCK COAT HOOK

ADULT CHANGE TABLE

BABY CHANGE TABLE

CERAMIC TILE COLOUR 1 CERAMIC TILE COLOUR

CERAMIC TILE COLOUR 3 EPX-1 EPOXY FLOORING (BROADCAST)

HOLLOW METAL HOLLOW METAL FRAME HMF-1A THERMALLY BROKEN HOLLOW METAL FRAME

GB-1 16MM ABUSE-RESISTANT GYPSUM WALL BOARD 16MM TYPE X GYPSUM WALL BOARD

16MM TILE BACKER BOARD L-SHAPED GRAB BAR

GBR-3 GRAB BAR

19MM STANDARD TEMPERED GLASS 6MM STANDARD TEMPERED GLASS

10MM STANDARD TEMPERED GLASS LINO-1 LINOELUM SHEET FLOORING

MEL-1 MELAMINE COLOUR 1 MEL-2 MELAMINE COLOUR 2

ND SANITARY NAPKIN DISPENSER

PLAM-1 PLASTIC LAMINATE COLOUR #1 PLAM-2 PLASTIC LAMINATE COLOUR #2 PLAM-3 PLASTIC LAMINATE COLOUR #3

PLAM-4 PLASTIC LAMINATE COLOUR #4 PP-1 SOILD PHENOLIC TOILET PARTITION

AND / OR DOOR PAINT COLOUR PAINT COLOUR :

PAINT COLOUR . PAINT COLOUR 4

PAINT COLOUR 5 PAINT COLOUR 6

PTD PAPER TOWEL DISPENSER POR-1 PORCELAIN TILE TYPE #1

POR-2 PORCELAIN TILE TYPE #: POR-3 PORCELAIN TILE TYPE #3

PVC-1 PVC EDGING COLOUR PVC-2 PVC EDGING COLOUR 2

RUBBER SKATE FLOORING RUBBER BASE TO MATCH EXISTING

SOAP DISPENSER

SANITARY NAPKIN DISPENSER SOLID SURFACING COLOUR #1

SOL-2 SOLID SURFACING COLOUR #2 STAINLESS STEEL BRUSHED FINISH

SS-2 STAINLESS STEEL POLISHED FINISH

STL-1 HOT DIPPED GALVANIZED STEEL

SWF-1 SPRUNG WOOD FLOOR

TTD-1 TOILET PAPER DISPENSER DOUBLE ROLL THR-1 THRESHOLD TRIM: KN CROWER CT-45

THR-2 THRESHOLD TRIM: SCHLUTER RONDEC E

THRESHOLD TRIM: SCHLUTER RENO-T THR-4 THRESHOLD TRIM: SCHLUTER RENO-U

WAF WOOD ATHLETIC FLOORING REGULAR PLYWOOD OR WOOD BLOCKING

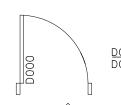
MEL-1 ON PLYWOOD MEL-1 ON PLYWOOD

PLAM-1 ON PLYWOOD PLAM-2 ON PLYWOOD PLAM-3 ON PLYWOOD

WOOD VENEER PLYWOOD SOLID WOOD WD-8WD-9

WASTE RECEPTACLE

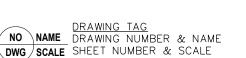
SYMBOL LEGEND



DOOR TAG DOOR NUMBER



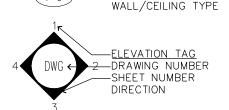
ROOM NUMBER



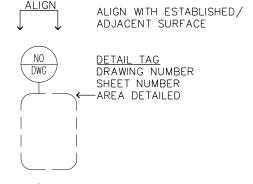




MATERIAL TAG MATERIAL TYPE



ELEV. ELEVATION



MAX - MAXIMUM MIN - MINIMUM MIR - DESCRIPTION OF MIRROR

REVISION REFERENCE NUMBER

MATERIAL LEGEND

SIM - DESCRIPTION OF SIMILAR

TYP - DESCRIPTION OF TYPICAL

CONCRETE CONCRETE BLOCK

CERAMIC

PORCELAIN CONTINUOUS WOOD BLOCKING

GYPSUM BOARD FINISH WOOD

WOOD VENEER

SIMILAR

TOP OF

TYPICAL

UNDERSIDE OF

VERIFY IN FIELD

T/O TYP

UNO

U/S

TONGUE & GROOVE

UNLESS NOTED OTHERWISE

STANDARD ABBREVIATIONS

ADJUSTABLE ABOVE FINISHED FLOOR BUILDING CENTRELINE CONT CONTINUOUS DIAMETER DIMENSION DWG ELEV DRAWING ELEVATOR EX/EXIST EXISTING F/O FRR FACE OF FIRE RESISTANCE RATING FIRE PROTECTION RATING FPR MAX MAXIMUM MIN MINIMUM OWNER SUPPLIED CONTRACTOR INSTALLED NTS NOT TO SCALE ON CENTRE OWNER SUPPLIED CONTRACTOR INSTALLED RADIUS RCP REFLECTED CEILING PLAN REV REVERSE ROOM

Appendix 2

CHERIE NG ARCHITECT INC. www.cherieng.com

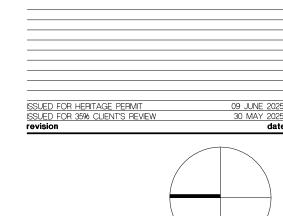
t. 416.898.1979

general notes:

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the misinterpretations of these documents by the Contractor. Upon written application the Architect will provide written / graphic clarification or supplemental information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance

2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.

3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the



CLARKE MEMORIAL HALL RESTORATION Address:161 LAKESHORE RD W,MISSISSAUGA,ON LOCATION MAP / DRAWING LIST / GENERAL NOTES / LEGENDS

project no. : NTS scale : JUNE 2025

drawing no.:

www.cherieng.com t. 416.898.1979

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DEMOLITION SITE PLAN

OUTSIDE SCOPE OF WORK

PROPERTY LINE

EXISTING CHAIN-LINK FENCE AND POSTS

GENERAL DEMOLITION NOTES:

A. REFER TO STRUCTURAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

B. ACCOUNT FOR WORKING AROUND EXISTING SERVICES.

C. ALL STRUCTURAL ELEMENTS TO REMAIN. UNLESS NOTED OTHERWISE.

D. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL. SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES.

E. PROVIDE DROP CLOTH TO CATCH PAINT AND REMOVE FROM SITE. PROTECT ADJACENT GROUND SURFACE OF BUILDING.

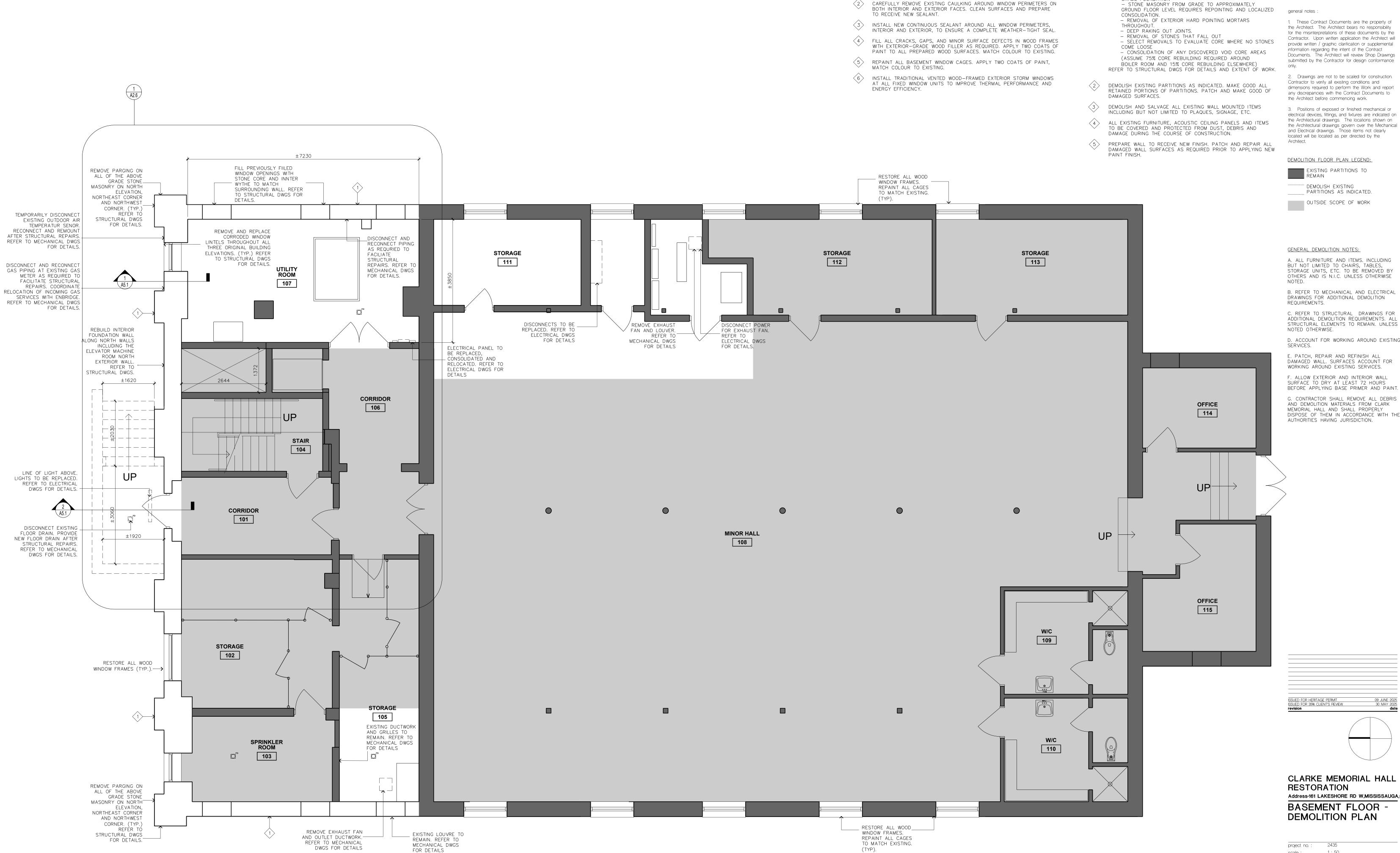
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CLARKE MEMORIAL HALL
RESTORATION
Address-161 LAKESHORE RD W,MISSISSAUGA,ON
SITE PLAN

project no. : 2435 scale : 1 : 200 date : JUNE 2025

drawing no. :

A1.



<u>WINDOW RESTORATION NOTES:</u>

RECEIVE NEW PAINT.

CLEAN ALL EXISTING WOOD WINDOW FRAMES TO REMOVE DIRT, DEBRIS, AND LOOSE OR PEELING PAINT. SAND AND PREPARE SURFACES TO

CHERIE NG ARCHITECT INC. www.cherieng.com

t. 416.898.1979

DEMOLITION NOTES:

GRADE FOUNDATION

(1) FOR FULL PERIMETER OF ORIGINAL BUILDING, REPAIR WORK TO

- EXCAVATION AND WATERPROOFING / DRAINAGE OF BELOW

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the misinterpretations of these documents by the Contractor. Upon written application the Architect will provide written / graphic clarification or supplemental information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance

2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to

3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the

BUT NOT LIMITED TO CHAIRS, TABLES, STORAGE UNITS, ETC. TO BE REMOVED BY OTHERS AND IS N.I.C. UNLESS OTHERWISE

C. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. ALL

D. ACCOUNT FOR WORKING AROUND EXISTING

E. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL. SURFACES ACCOUNT FOR

F. ALLOW EXTERIOR AND INTERIOR WALL SURFACE TO DRY AT LEAST 72 HOURS BEFORE APPLYING BASE PRIMER AND PAINT.

AND DEMOLITION MATERIALS FROM CLARK DISPOSE OF THEM IN ACCORDANCE WITH THE

Address:161 LAKESHORE RD W,MISSISSAUGA,ON BASEMENT FLOOR -**DEMOLITION PLAN**

1:50 scale: JUNE 2025

drawing no.:

A2.1

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the misinterpretations of these documents by the Contractor. Upon written application the Architect will

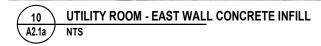
provide written / graphic clarification or supplemental information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance

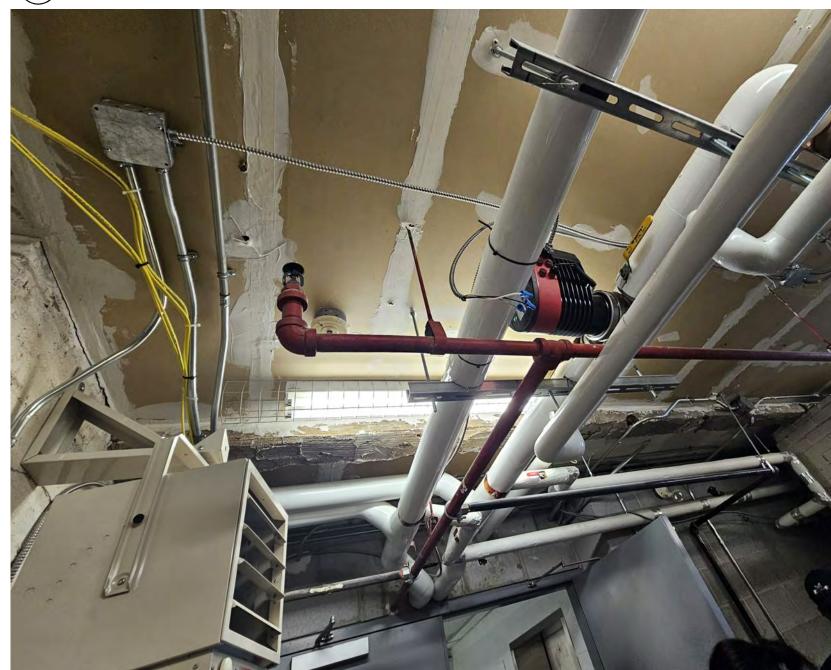
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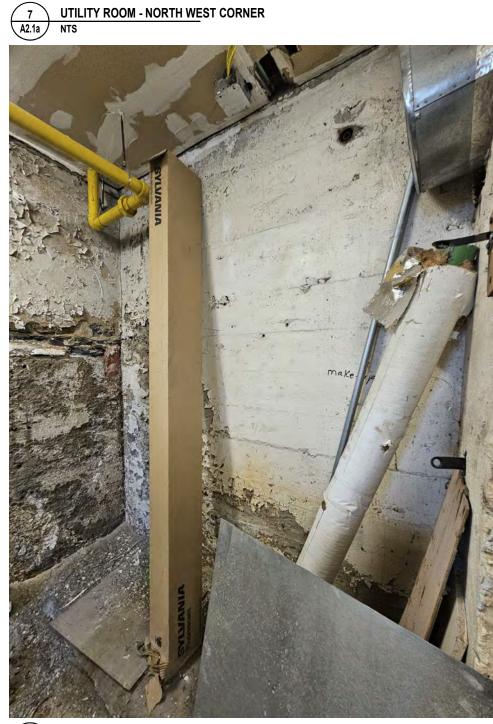
general notes :





11 UTILITY ROOM - CEILING A2.1a NTS



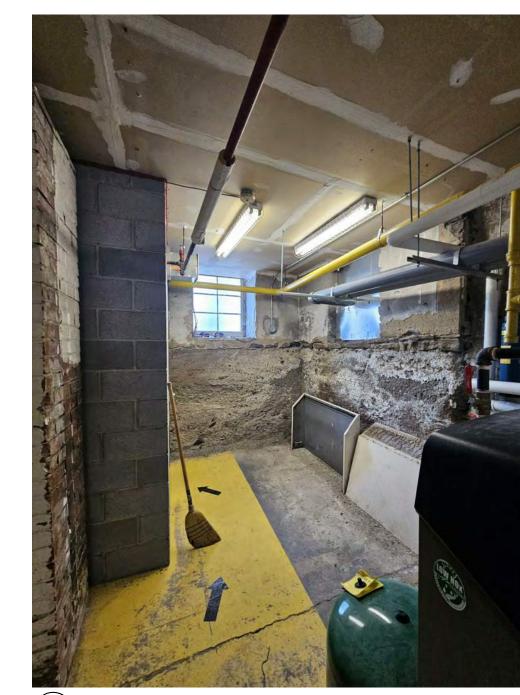








BASEMENT EXTERIOR STAIR CEILING
A2.1a NTS

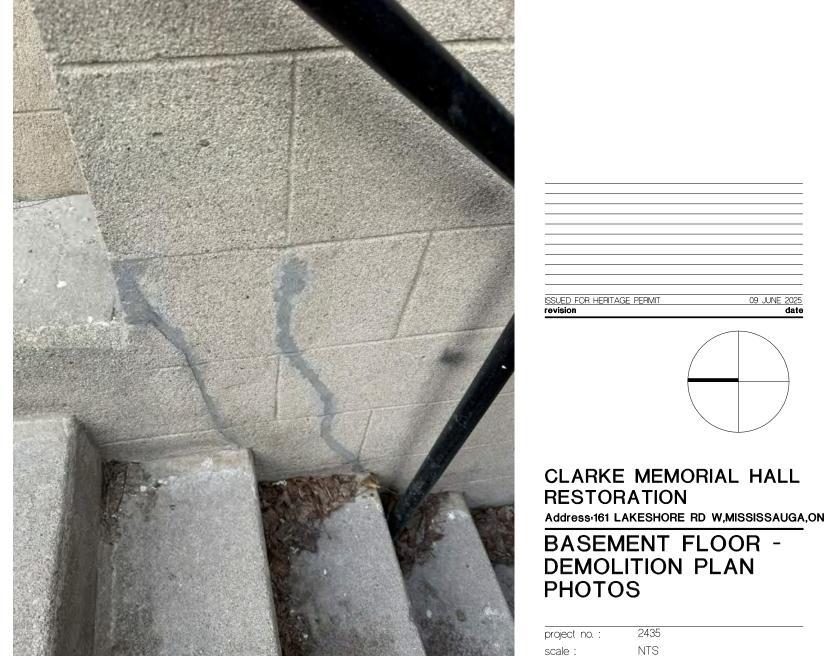


1 UTILITY ROOM - NORTH EAST CORNER A2.1a NTS



2 UTILITY ROOM - SOUTH EAST CORNER NTS

BASEMENT EXTERIOR STAIR WALL
A2.1a NTS



BASEMENT FLOOR -DEMOLITION PLAN PHOTOS

A2.1a

WINDOW RESTORATION NOTES:

RESTORE ALL WOOD

WINDOW FRAMES

RESTORE ALL WOOD_

WINDOW FRAMES

(TYP.)

STORAGE

109

MAIN HALL

110

REMOVE EXHAUST FAN,

DWGS FOR DETAILS

DISCONNECT POWER L

TO EXHAUST FAN. REFER TO

ELECTRICAL DWGS _

DISCONNECT CONTROL TO

CLOAK ROOM EXHAUST

FOR EXISTING CLOAK

FAN. SWITCH TO REMAIN

ROOM LIGHTING, REFER TO

ELECTRICAL DWGS FOR

FOR DETAILS

REMOVE ANY FREE-AIR

CABLE RUNS FOR WINDOW

OPERATOR SYSTEM WITHIN

_REMOVE ANY FREE—AIR CABLE RUNS FOR WINDOW OPERATOR SYSTEM WITHIN THE MAIN HALL

AND CAP. (TYP.). REFER TO ELECTRICAL DWGS FOR DETAILS.

JAN

113

REPLACE PANEL RP. _ REFER TO

ELECTRICAL DWGS FOR DETAILS.

SERVERY D

WALL. (TYP.).

 \bigcirc c \bigcirc

ALLOW FOR 23 METERS BY 3 METERS

ABOVE GRADE CONCRETE FOUNDATION

REPAIR/REPARGING ON ALL OF THE

112

THE MAIN HALL AND CAP. (TYP.). REFER TO

ÈLECTRICAL DWGS FOR

DETAILS.

DUCTWORK, AND DISCHARGE

OUTLET. REFER TO MECHANICAL

CLOAK ROOM

108

TICKET BOOTH

107

104

LOBBY

103

REMOVE EXHAUST -FAN, GRILLES, AND DUCTWORK. REFER TO

MECHANICAL DWGS

FOR DETAILS

RESTORE ALL WOOD

TICKET

WOMEN'S W/R

101

OFFICE 106

WINDOW FRAMES (TYP.).-

SHORE EXISTING DECORATIVE

COLUMNS THAT ARE SUPPORTED ON LANDING SLAB DURING THE DURATION OF THE WORK. REFER TO STRUCRUAL DWGS FOR

DETAILS.

DEMOLISH EXISTING

STAIRS, LANDING,

STRUCRUAL DWGS FOR DETAILS.

_======== ______

______ ______

AND BRICK WALLS. -

PICK-UP

114

HALL

105

ND HD

102

- CLEAN ALL EXISTING WOOD WINDOW FRAMES TO REMOVE DIRT, DEBRIS, AND LOOSE OR PEELING PAINT. SAND AND PREPARE SURFACES TO RECEIVE NEW PAINT.
- CAREFULLY REMOVE EXISTING CAULKING AROUND WINDOW PERIMETERS ON BOTH INTERIOR AND EXTERIOR FACES. CLEAN SURFACES AND PREPARE TO RECEIVE NEW SEALANT.
- 3) INSTALL NEW CONTINUOUS SEALANT AROUND ALL WINDOW PERIMETERS, INTERIOR AND EXTERIOR, TO ENSURE A COMPLETE WEATHER-TIGHT SEAL.
- 4 FILL ALL CRACKS, GAPS, AND MINOR SURFACE DEFECTS IN WOOD FRAMES WITH EXTERIOR-GRADE WOOD FILLER AS REQUIRED. APPLY TWO COATS OF PAINT TO ALL PREPARED WOOD SURFACES. MATCH COLOUR TO EXISTING.
- (5) REPAINT ALL BASEMENT WINDOW CAGES. APPLY TWO COATS OF PAINT, MATCH COLOUR TO EXISTING.
- INSTALL TRADITIONAL VENTED WOOD-FRAMED EXTERIOR STORM WINDOWS AT ALL FIXED WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND ENERGY EFFICIENCY.

DEMOLITION NOTES:

ALLOW FOR 23 METERS BY 3 METERS

ABOVE GRADE CONCRETE FOUNDATION

REPAIR/REPARGING ON ALL OF THE

WALL. (TYP.).

2 A2.7

- 1) REPAIR / CUT OUT AND REPOINT EXISTING MASONRY WITH TYPE O
- DEMOLISH AND SALVAGE ALL EXISTING WALL MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO PLAQUES, SIGNAGE, ETC.
- 3 ALL EXISTING FURNITURE, ACOUSTIC CEILING PANELS AND ITEMS TO BE COVERED AND PROTECTED FROM DUST, DEBRIS AND DAMAGE DURING THE COURSE OF CONSTRUCTION.
- PREPARE WALL TO RECEIVE NEW FINISH. PATCH AND REPAIR ALL DAMAGED WALL SURFACES AS REQUIRED PRIOR TO APPLYING NEW

_DEMOLISH EXISTING

EXIT STAIR. REFER

DWGS FOR DETAILS.

TO STRUCTURAL

ALLOW FOR 8 METERS BY 3

ALL OF THE ABOVE GRADE

CONCRETE FOUNDATION WALL.

METERS REPAIR/REPARGING ON

(A4.3

ALLOW FOR 8 METERS BY 3
METERS REPAIR/REPARGING ON

__DEMOLISH EXISTING EXIT STAIR. REFER

DWGS FOR DETAILS.

project no. :

drawing no.:

scale:

1:50

JUNE 2025

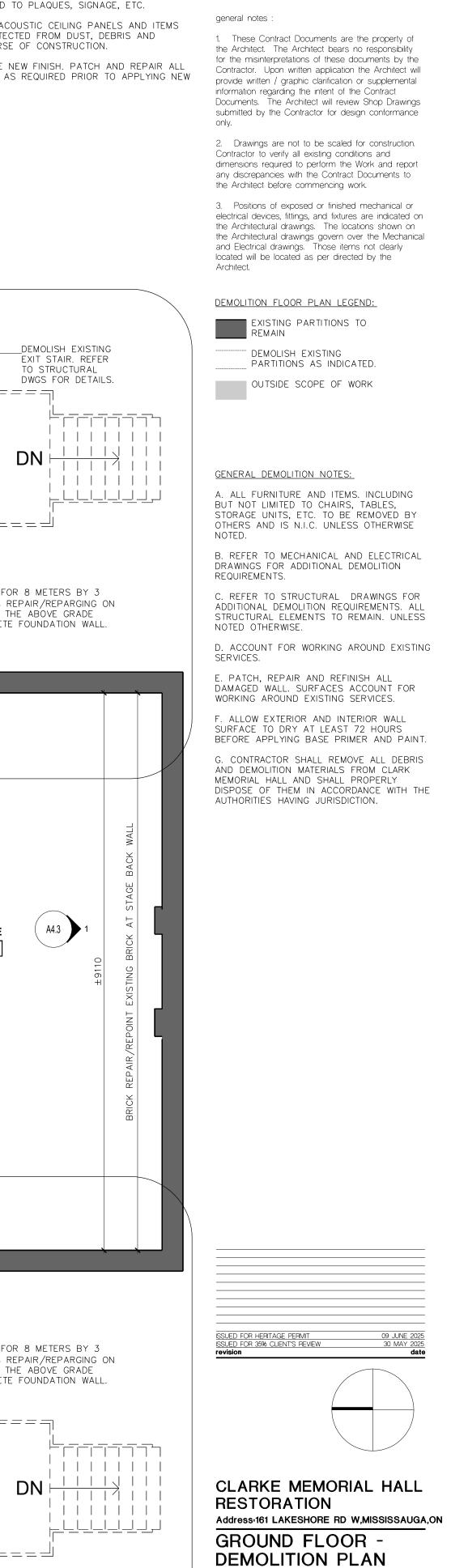
TO STRUCTURAL

ALL OF THE ABOVE GRADE CONCRETE FOUNDATION WALL.

STAGE

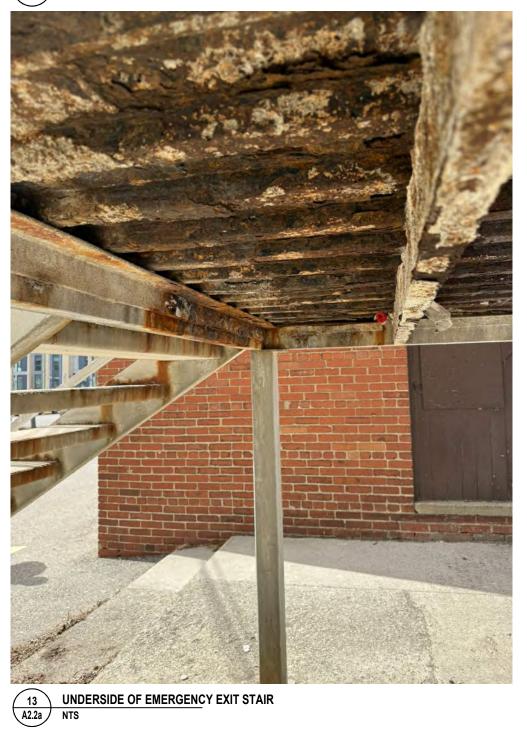
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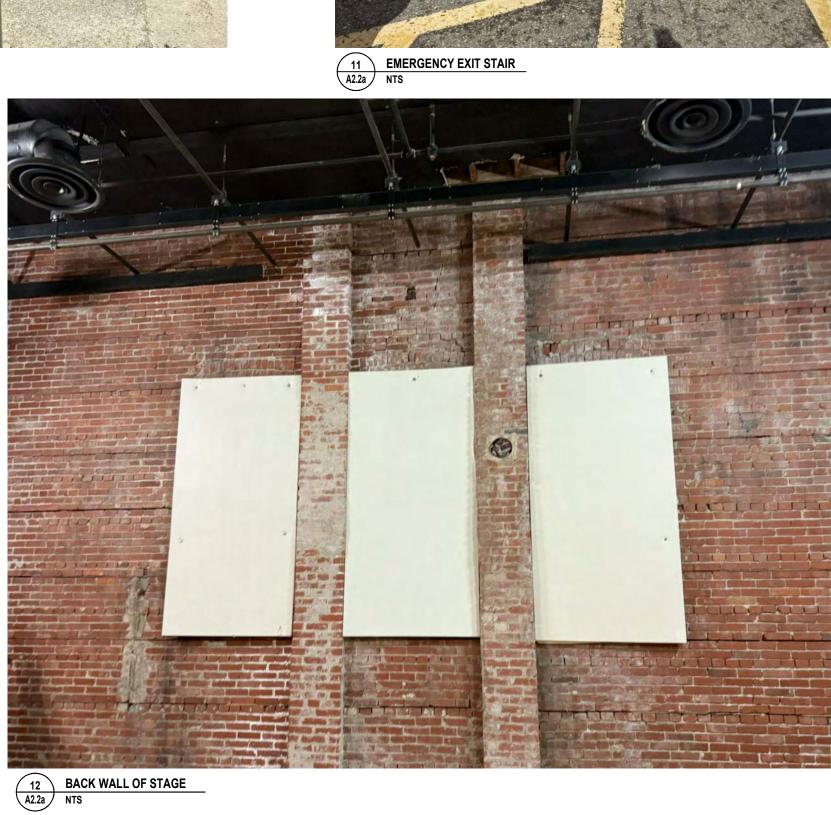
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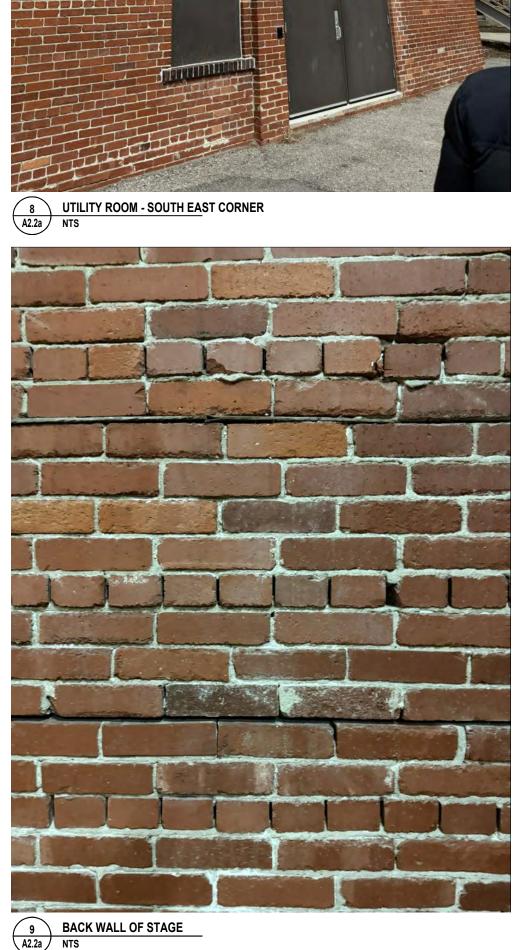






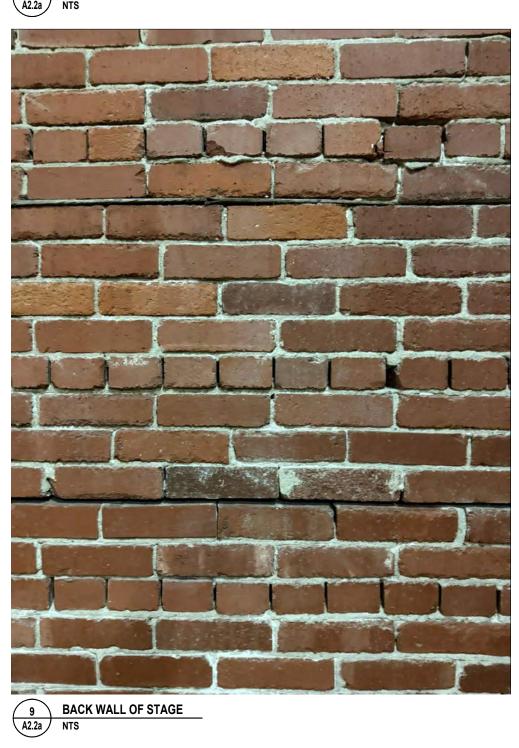
10 EAST ELEVATION - FILLED WINDOWS NTS

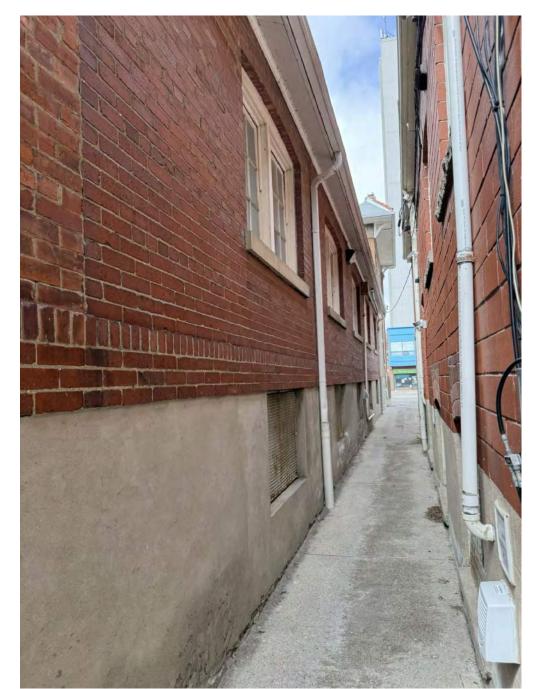






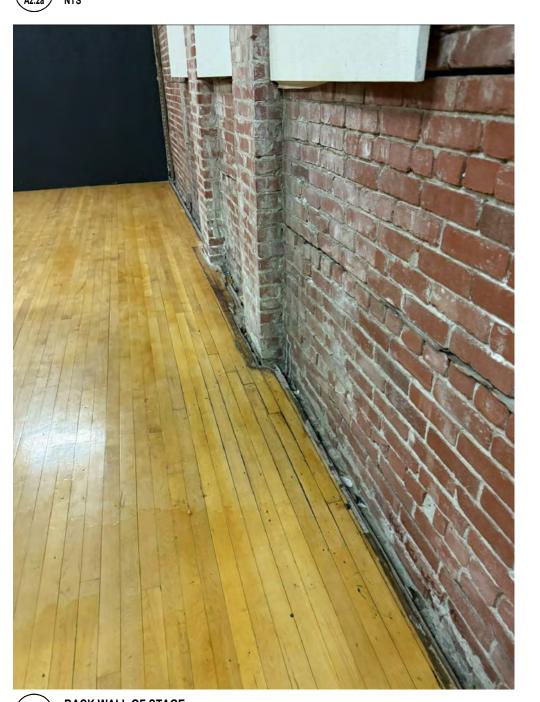




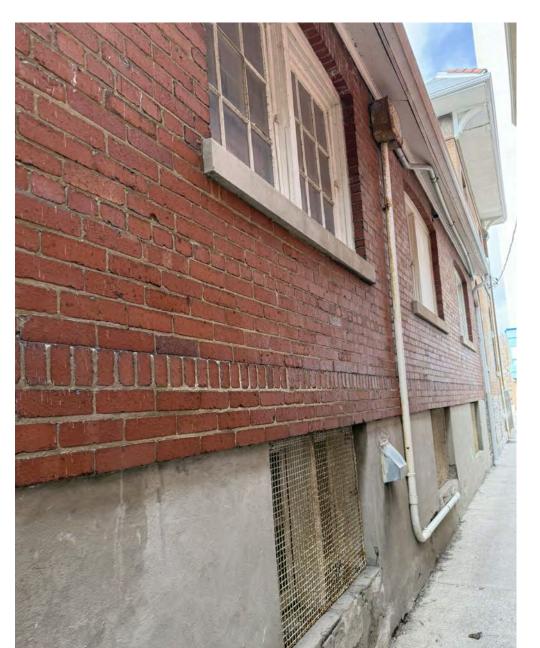


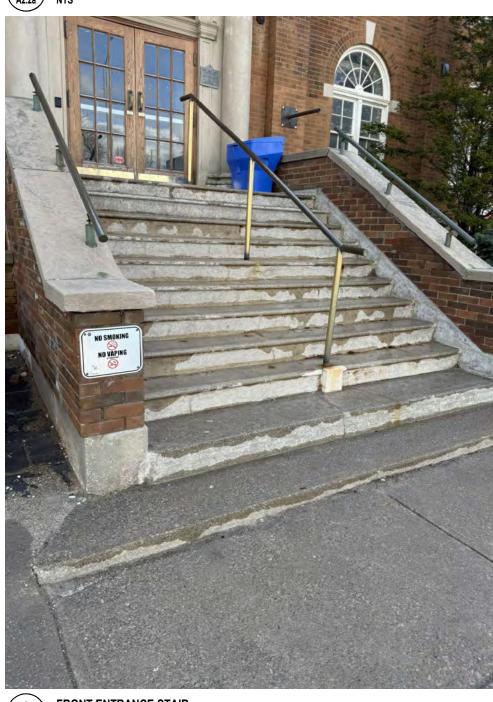
4 EAST ELEVATION NTS





6 BACK WALL OF STAGE
A2.2a NTS







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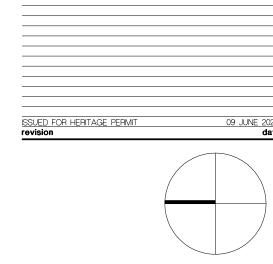
general notes :

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CLARKE MEMORIAL HALL RESTORATION Address:161 LAKESHORE RD W,MISSISSAUGA,ON GROUND FLOOR -DEMOLITION PLAN PHOTOS

A2.2a

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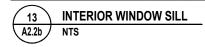
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general notes :



13 INTERIOR WINDOW SILL A2.2b NTS

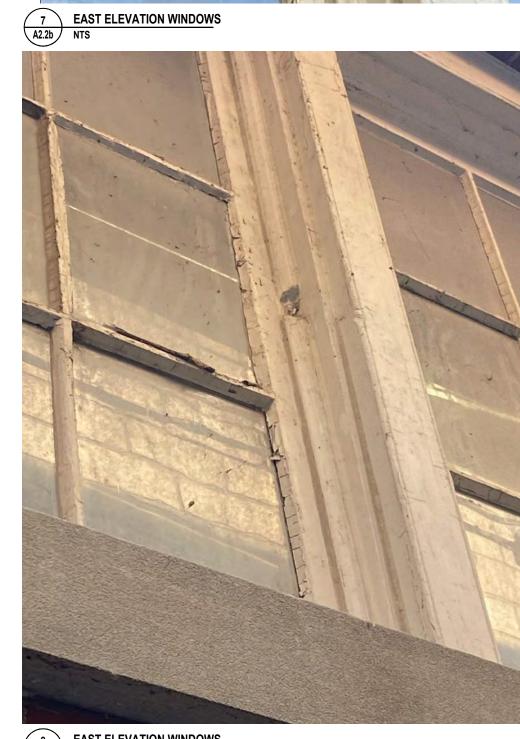


EAST ELEVATION WINDOWS
A2.2b NTS

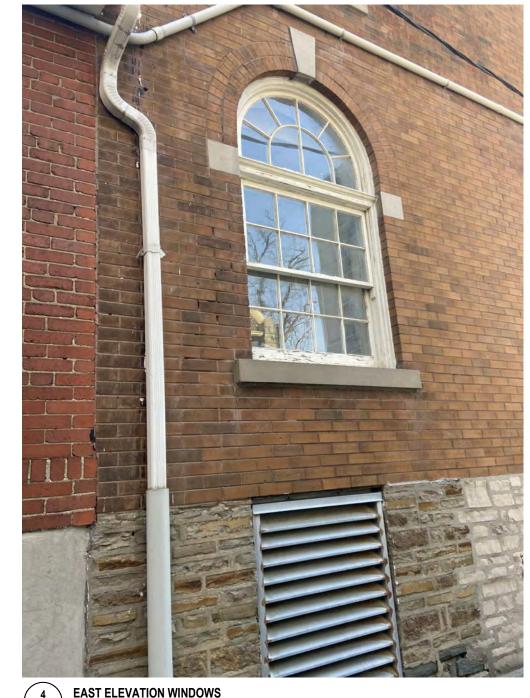


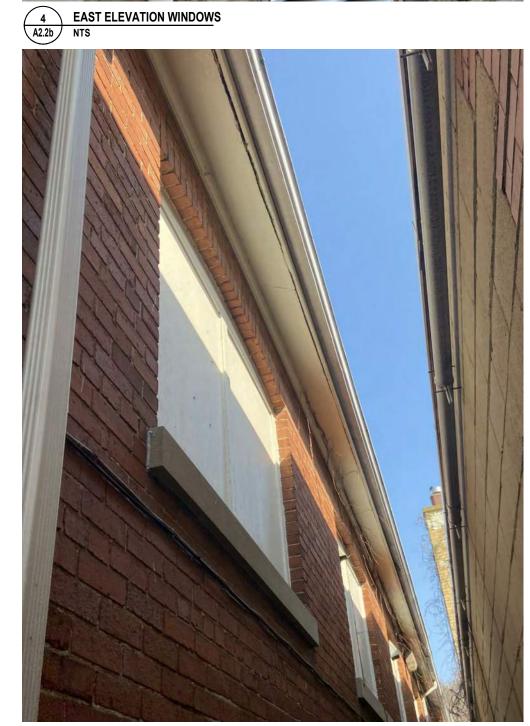








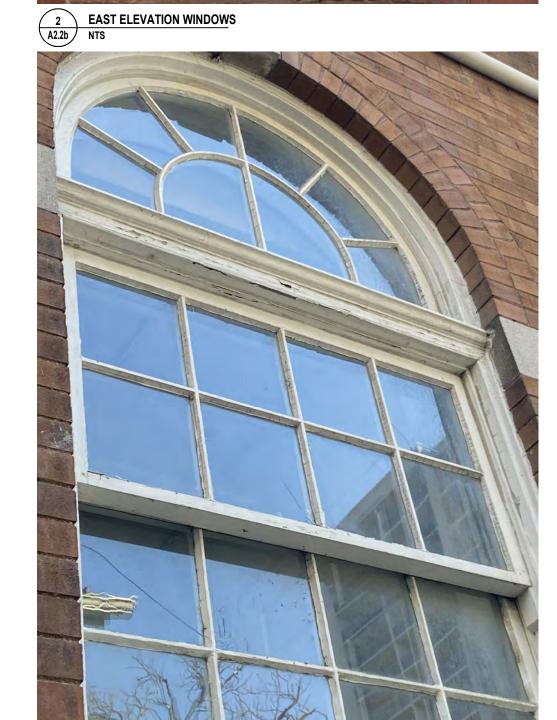




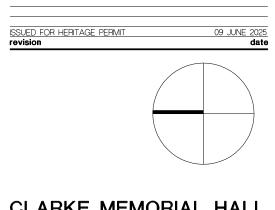




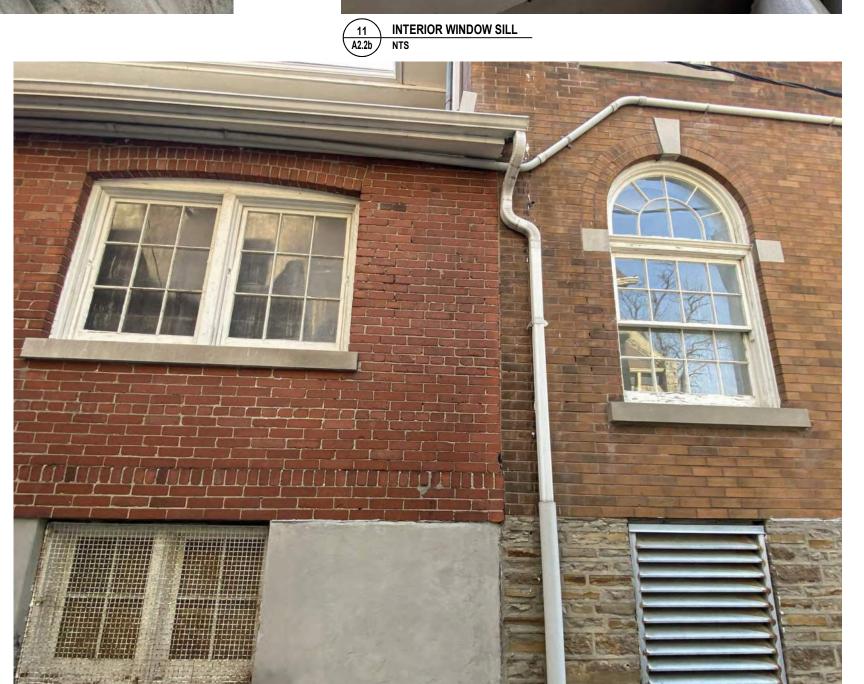




EAST ELEVATION WINDOWS
A2.2b NTS



CLARKE MEMORIAL HALL RESTORATION Address:161 LAKESHORE RD W,MISSISSAUGA,ON GROUND FLOOR RESTORATION PLAN
PHOTOS





EAST ELEVATION WINDOWS
A2.2b NTS

- CLEAN ALL EXISTING WOOD WINDOW FRAMES TO REMOVE DIRT, DEBRIS, AND LOOSE OR PEELING PAINT. SAND AND PREPARE SURFACES TO RECEIVE NEW PAINT.
- CAREFULLY REMOVE EXISTING CAULKING AROUND WINDOW PERIMETERS ON BOTH INTERIOR AND EXTERIOR FACES. CLEAN SURFACES AND PREPARE TO RECEIVE NEW SEALANT.
- 3 INSTALL NEW CONTINUOUS SEALANT AROUND ALL WINDOW PERIMETERS, INTERIOR AND EXTERIOR, TO ENSURE A COMPLETE WEATHER—TIGHT SEAL.
- FILL ALL CRACKS, GAPS, AND MINOR SURFACE DEFECTS IN WOOD FRAMES WITH EXTERIOR—GRADE WOOD FILLER AS REQUIRED. APPLY TWO COATS OF PAINT TO ALL PREPARED WOOD SURFACES. MATCH COLOUR TO EXISTING.
- REPAINT ALL BASEMENT WINDOW CAGES. APPLY TWO COATS OF PAINT, MATCH COLOUR TO EXISTING.
- 6 INSTALL TRADITIONAL VENTED WOOD-FRAMED EXTERIOR STORM WINDOWS AT ALL FIXED WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND ENERGY EFFICIENCY.

WINDOW RESTORATION NOTES :

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DEMOLITION FLOOR PLAN LEGEND:

EXISTING PARTITIONS TO REMAIN

 $_$ $_$ PARTITIONS AS INDICATED. OUTSIDE SCOPE OF WORK

GENERAL DEMOLITION NOTES:

- - DEMOLISH EXISTING

A. ALL FURNITURE AND ITEMS. INCLUDING BUT NOT LIMITED TO CHAIRS, TABLES, STORAGE UNITS, ETC. TO BE REMOVED BY OTHERS AND IS N.I.C. UNLESS OTHERWISE B. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION

REQUIREMENTS. C. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. ALL STRUCTURAL ELEMENTS TO REMAIN. UNLESS

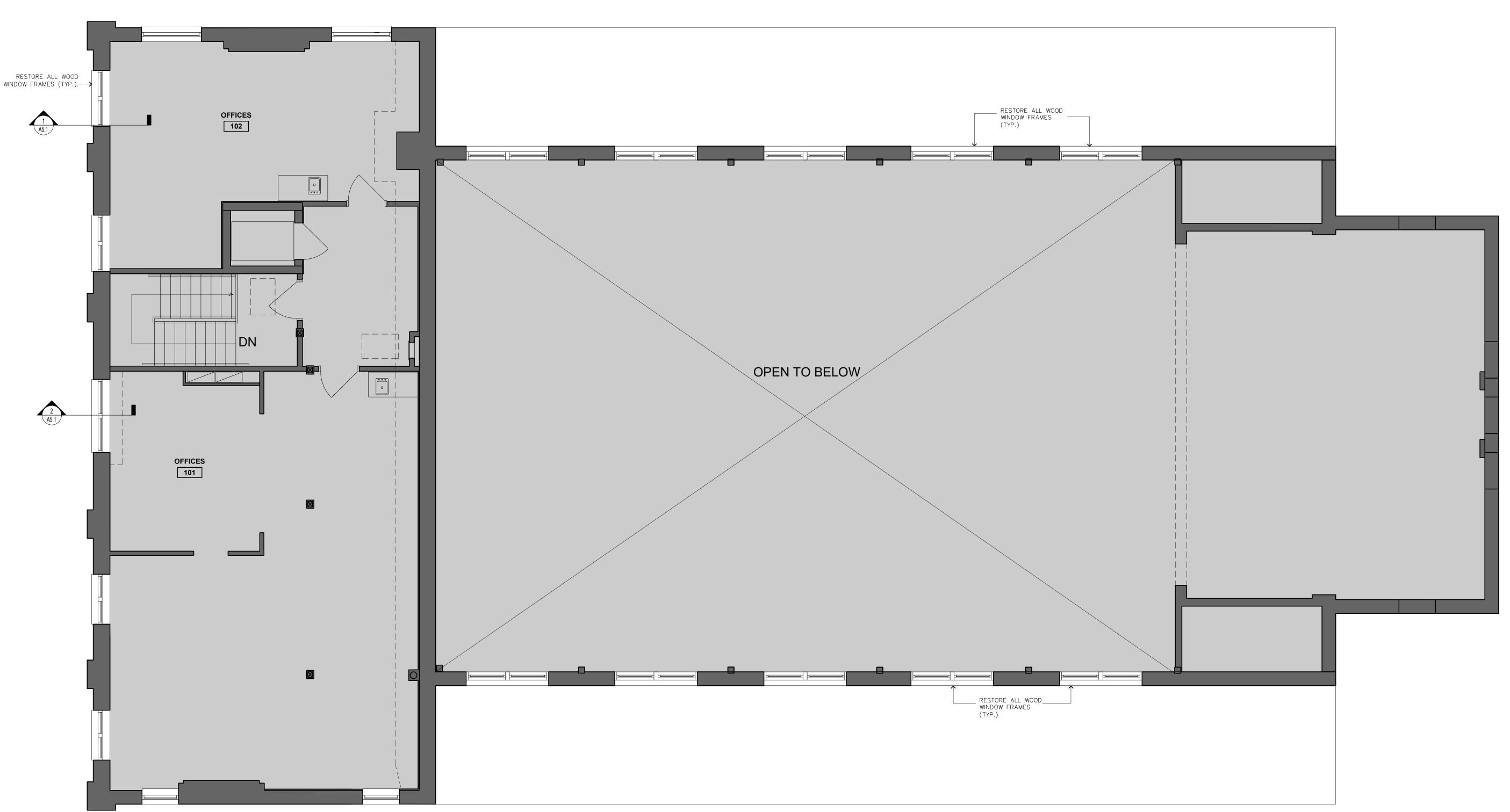
NOTED OTHERWISE.

D. ACCOUNT FOR WORKING AROUND EXISTING

E. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL. SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES. F. ALLOW EXTERIOR AND INTERIOR WALL

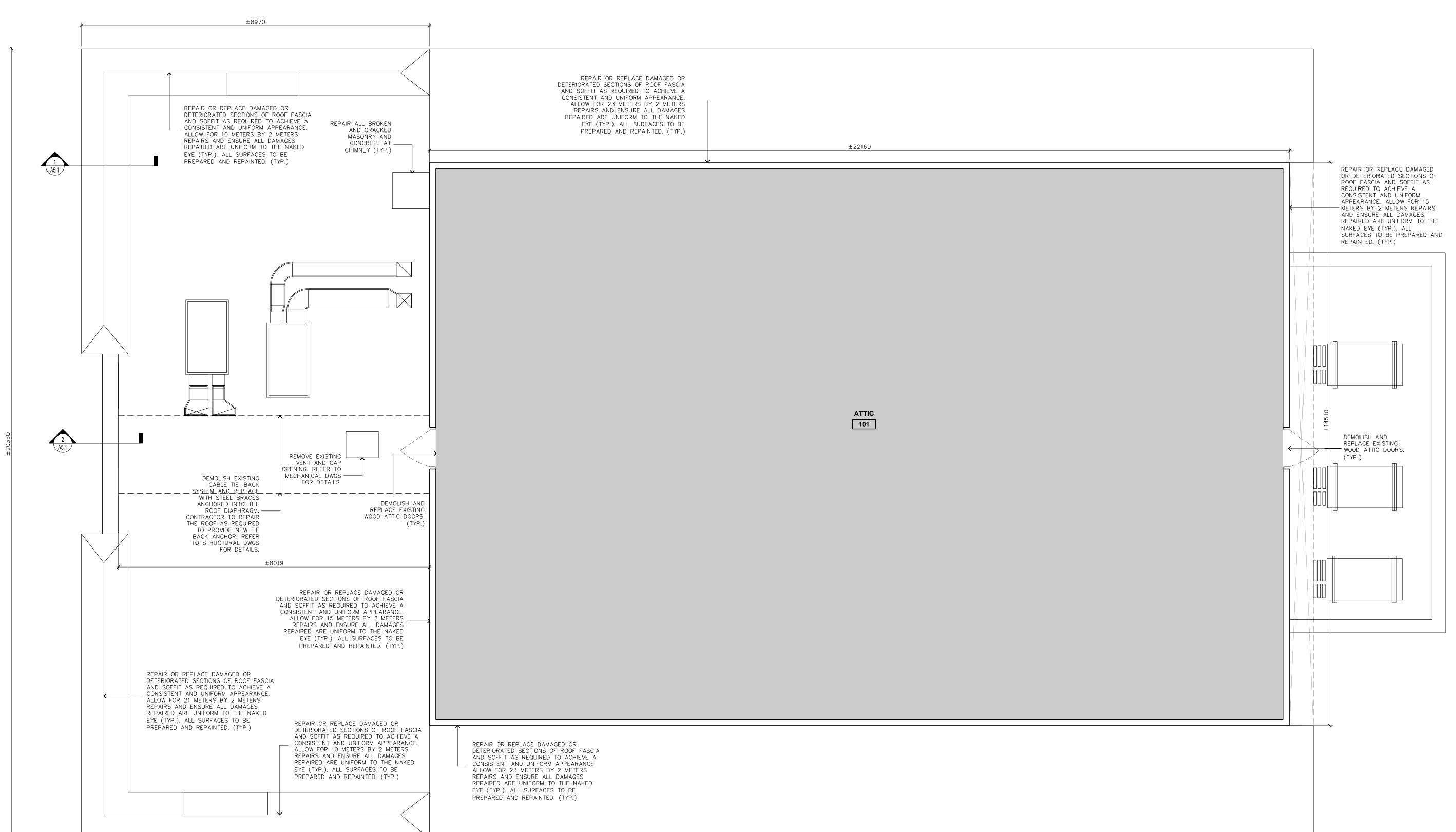
SURFACE TO DRY AT LEAST 72 HOURS BEFORE APPLYING BASE PRIMER AND PAINT. G. CONTRACTOR SHALL REMOVE ALL DEBRIS

AND DEMOLITION MATERIALS FROM CLARK MEMORIAL HALL AND SHALL PROPERLY DISPOSE OF THEM IN ACCORDANCE WITH THE AUTHORITIES HAVING JURISDICTION.



CLARKE MEMORIAL HALL RESTORATION Address:161 LAKESHORE RD W,MISSISSAUGA,ON SECOND FLOOR -**DEMOLITION PLAN**

project no. : 1:50 scale: JUNE 2025



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DEMOLITION FLOOR PLAN LEGEND:

EXISTING PARTITIONS TO REMAIN

- - DEMOLISH EXISTING

_ _ _ PARTITIONS AS INDICATED. OUTSIDE SCOPE OF WORK

GENERAL DEMOLITION NOTES:

A. ALL FURNITURE AND ITEMS. INCLUDING BUT NOT LIMITED TO CHAIRS, TABLES, STORAGE UNITS, ETC. TO BE REMOVED BY OTHERS AND IS N.I.C. UNLESS OTHERWISE

B. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

C. REFER TO STRUCTURAL DRAWINGS FOR

ADDITIONAL DEMOLITION REQUIREMENTS. ALL STRUCTURAL ELEMENTS TO REMAIN. UNLESS NOTED OTHERWISE. D. ACCOUNT FOR WORKING AROUND EXISTING

E. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL. SURFACES ACCOUNT FOR

WORKING AROUND EXISTING SERVICES. F. ALLOW EXTERIOR AND INTERIOR WALL

SURFACE TO DRY AT LEAST 72 HOURS BEFORE APPLYING BASE PRIMER AND PAINT. G. CONTRACTOR SHALL REMOVE ALL DEBRIS

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ISSUED FOR HERITAGE PERMIT ISSUED FOR 35% CLIENT'S REVIEW

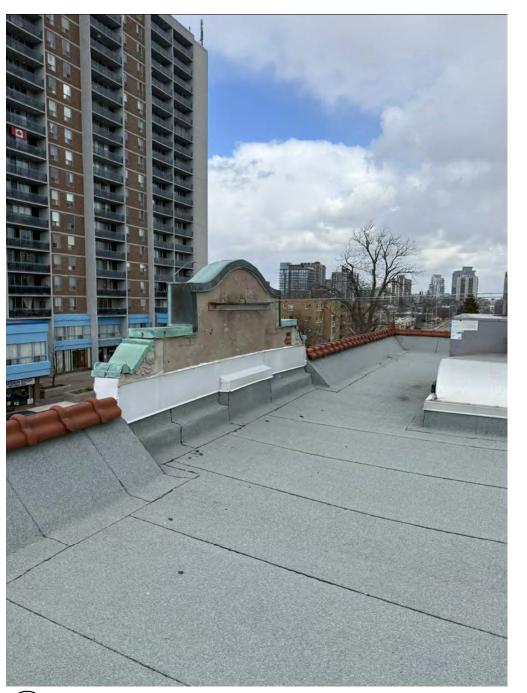


RESTORATION Address:161 LAKESHORE RD W,MISSISSAUGA,ON ATTIC -**DEMOLITION PLAN**

project no. : 1:50 scale: JUNE 2025

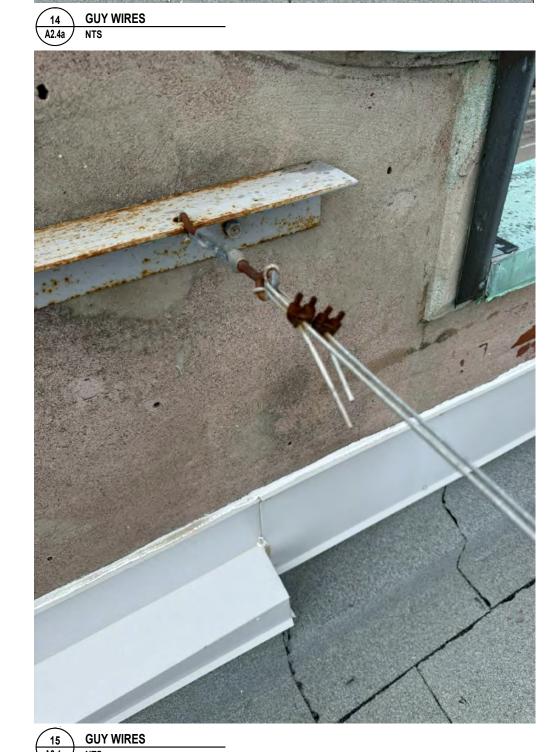
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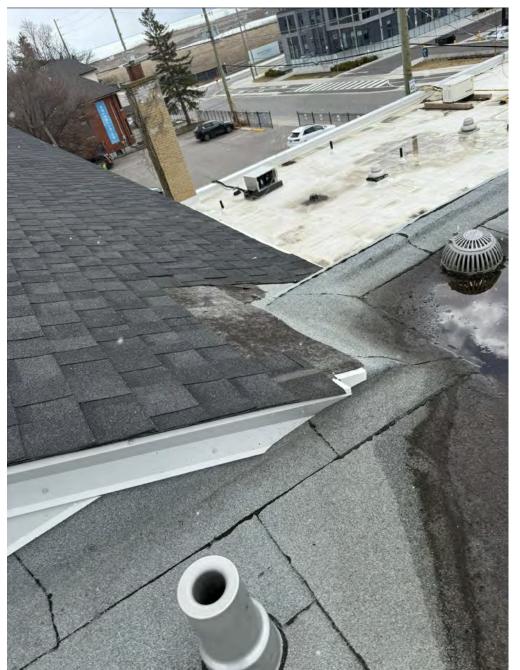
general notes :



13 FLAT ROOF GUY WIRES
A2.4a NTS





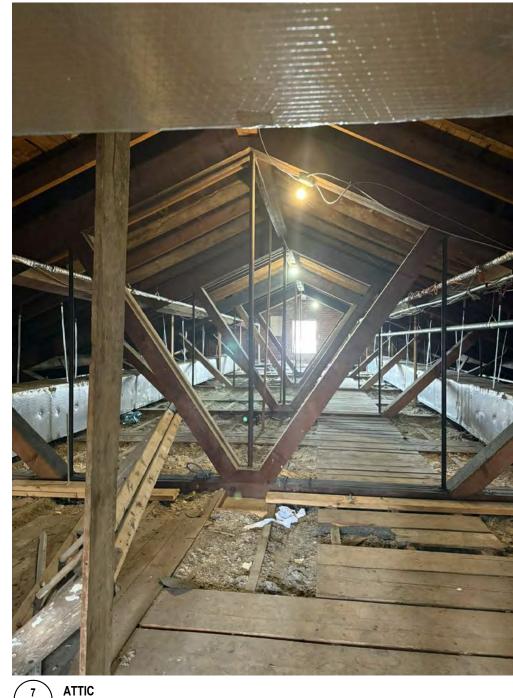




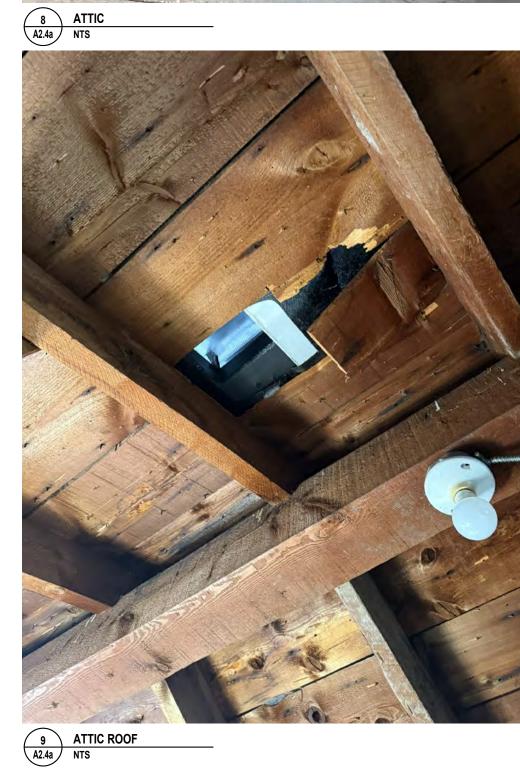


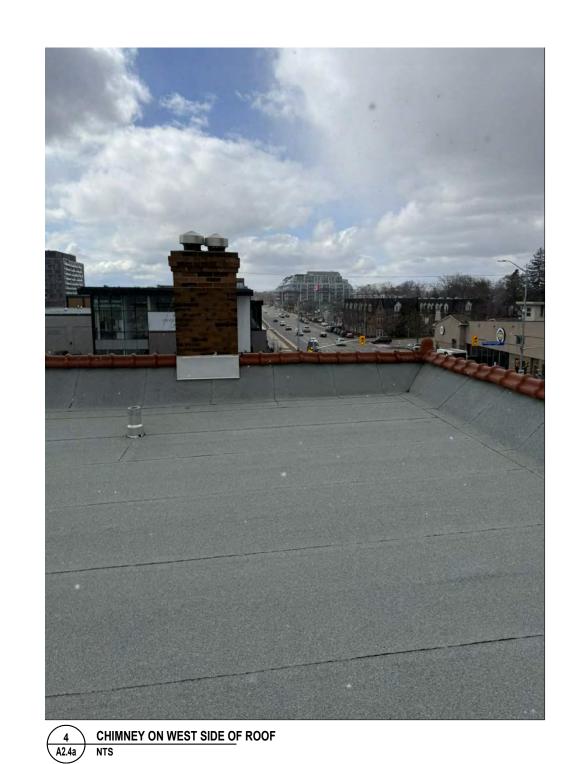


A-ROOF FASCIA
A2.4a NTS

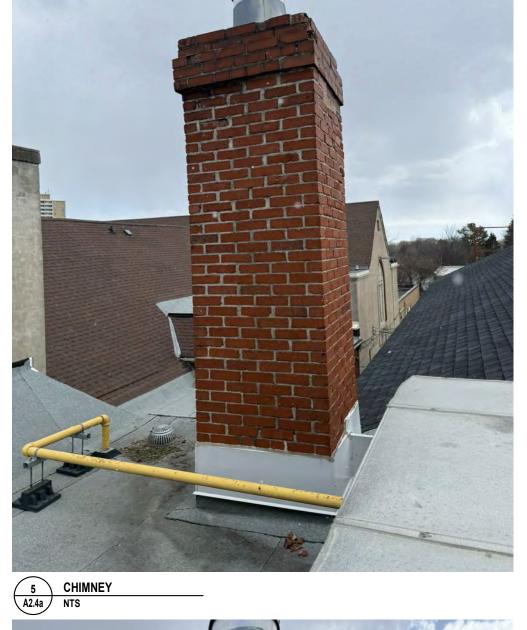






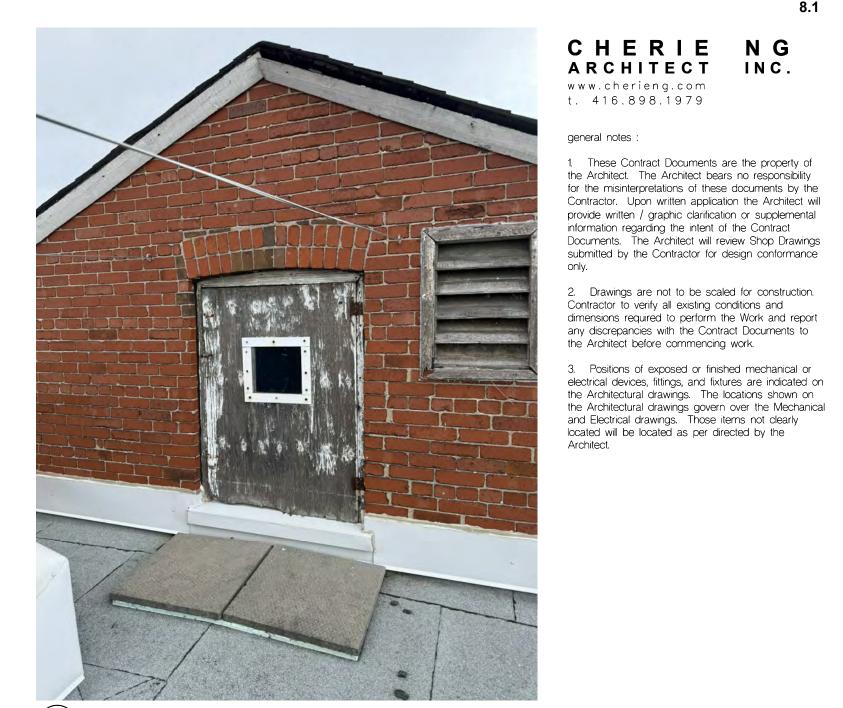




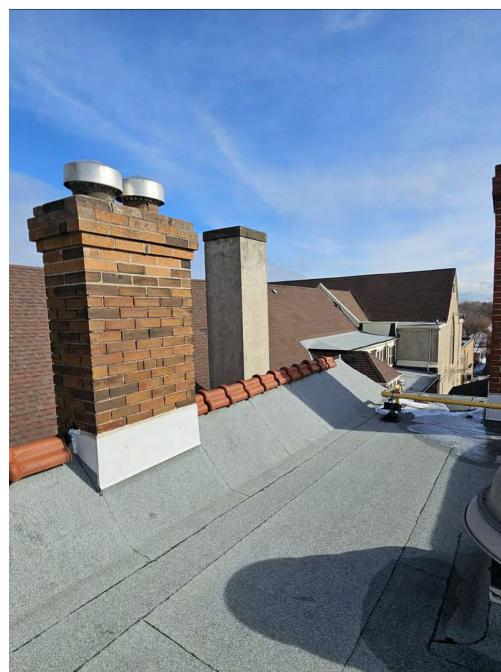




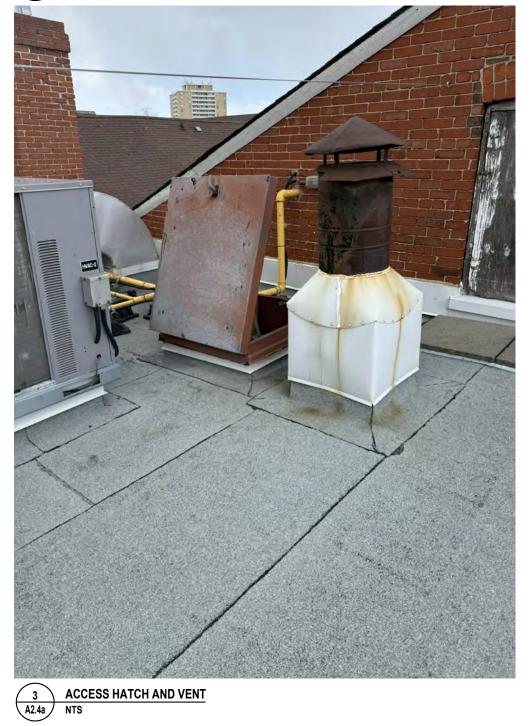




1 ATTIC DOOR A2.4a NTS

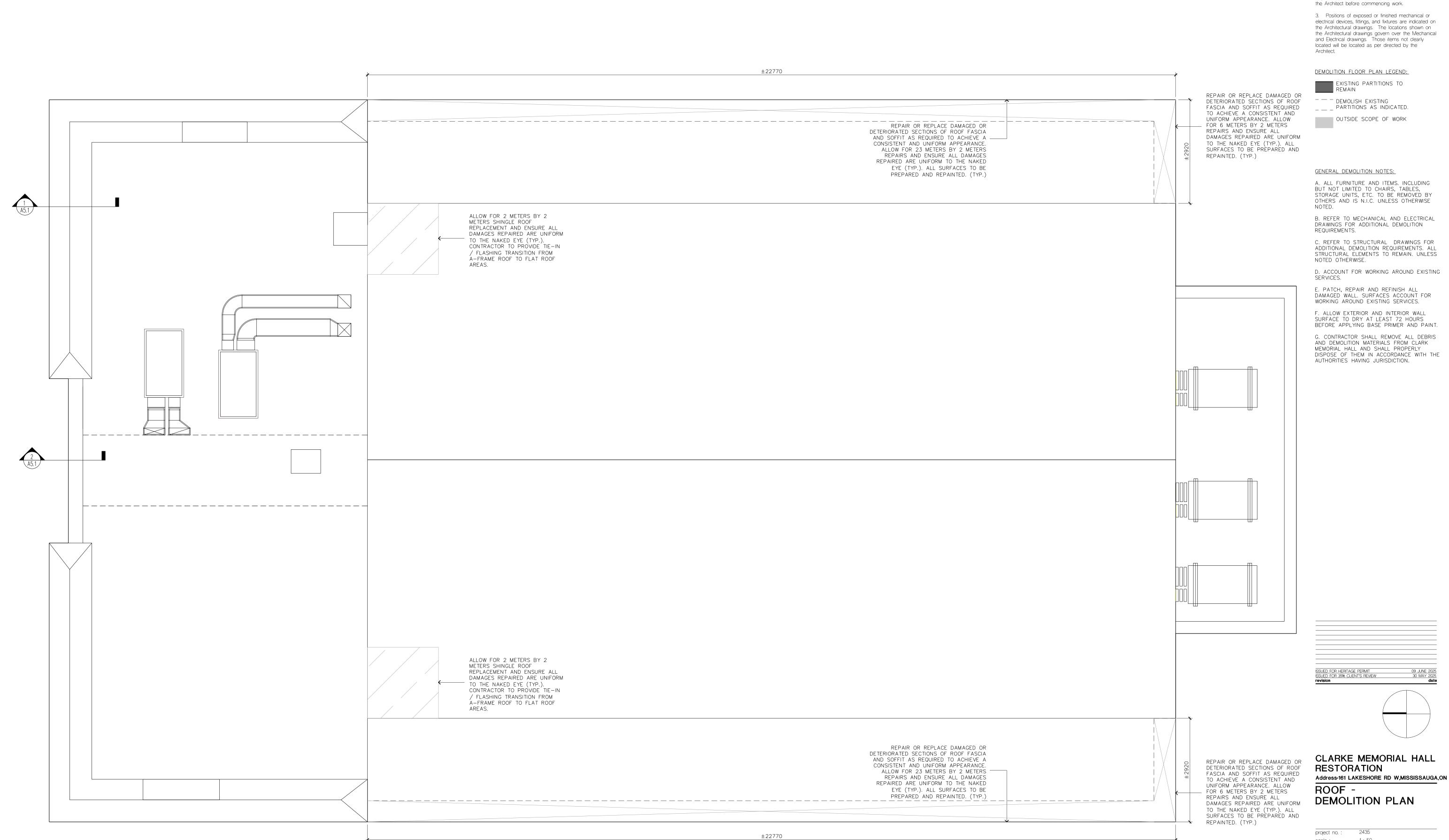


2 CHIMNEY ON EAST SIDE OF ROOF
A2.4a NTS



SSUED FOR HERITAGE PERMIT

CLARKE MEMORIAL HALL
RESTORATION
Address-161 LAKESHORE RD W,MISSISSAUGA,ON
ATTIC DEMOLITION PLAN
PHOTOS



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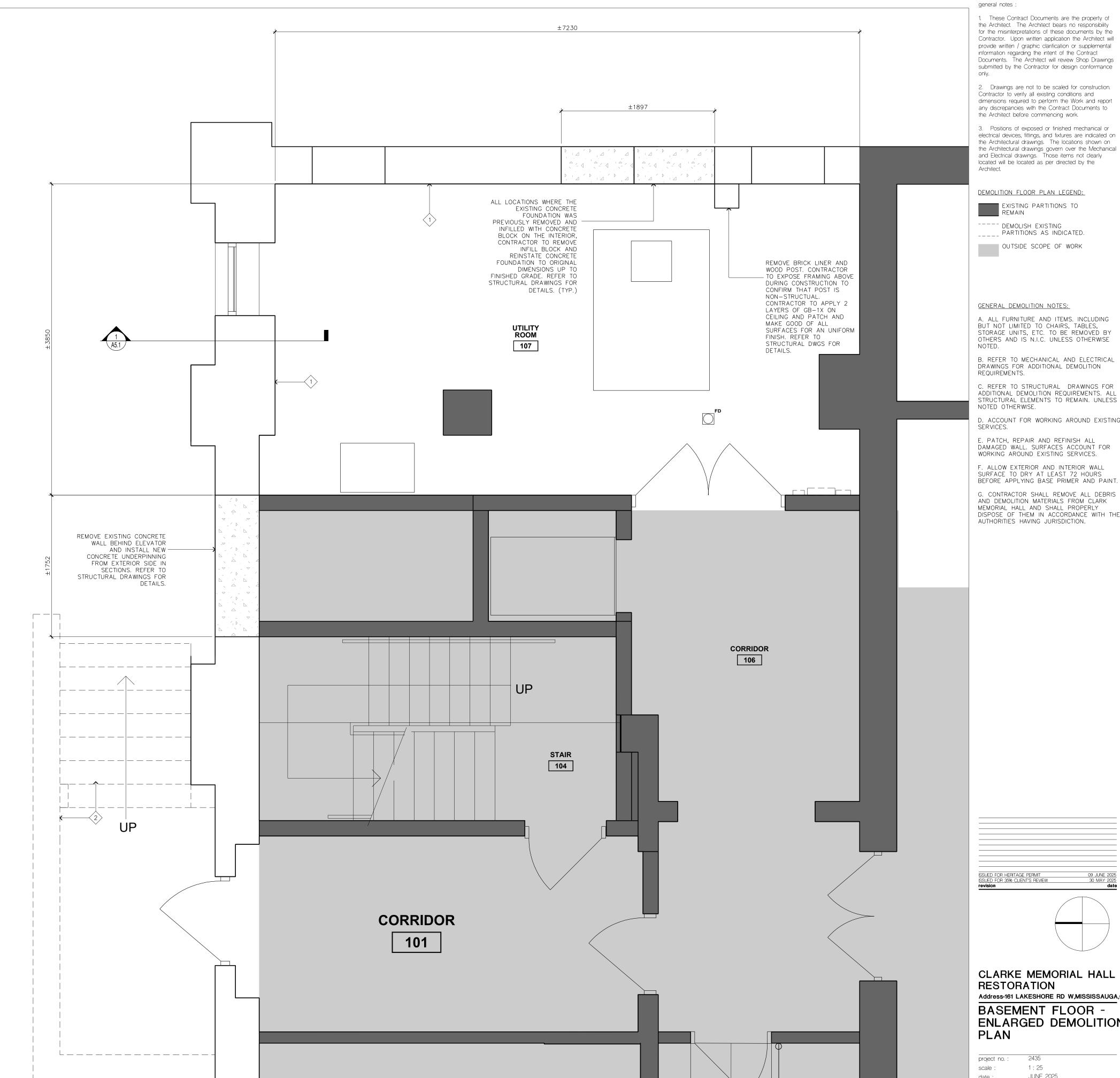
2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to

1:50 scale: JUNE 2025

drawing no.:

DEMOLITION NOTES:

- ALL LOCATIONS WHERE THE CONCRETE FOUNDATION IS DETERIORATED, REPAIR WORK TO INCLUDE:
 - EXCAVATION OF FOUNDATION TO BOTTOM OF WALL ON EXTERIOR - ABRASIVE BRUSHING ON CONCRETE FOUNDATION TO REMOVE ALL LOOSE FRIABLE MATERIAL
 - POURING A 150 mm REINFORCED CONCRETE WALL ON BOTH SIDES OF FOUNDATION, TYING THROUGH WALL ON REGULAR PATTERN TO TIE NEW CONCRETE WALLS TOGETHER
- INSTALLING NEW WATERPROOFING AND DRAINAGE ON EXTERIOR REFER TO STRUCTURAL DWGS FOR DETAILS AND EXTENT OF WORK.
- DEMOLISH EXISTING PARTITIONS AND STAIRS AS INDICATED. MAKE GOOD ALL RETAINED PORTIONS OF PARTITIONS, PATCH AND MAKE GOOD OF DAMAGED SURFACES.
- DEMOLISH AND SALVAGE ALL EXISTING WALL MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO PLAQUES, SIGNAGE, ETC.
- 4 ALL EXISTING FURNITURE, ACOUSTIC CEILING PANELS AND ITEMS TO BE COVERED AND PROTECTED FROM DUST, DEBRIS AND DAMAGE DURING THE COURSE OF CONSTRUCTION.
- PREPARE WALL TO RECEIVE NEW FINISH. PATCH AND REPAIR ALL DAMAGED WALL SURFACES AS REQUIRED PRIOR TO APPLYING NEW PAINT FINISH.



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DEMOLITION FLOOR PLAN LEGEND:

EXISTING PARTITIONS TO REMAIN ---- DEMOLISH EXISTING

PARTITIONS AS INDICATED.

OUTSIDE SCOPE OF WORK

GENERAL DEMOLITION NOTES:

A. ALL FURNITURE AND ITEMS. INCLUDING BUT NOT LIMITED TO CHAIRS, TABLES, STORAGE UNITS, ETC. TO BE REMOVED BY OTHERS AND IS N.I.C. UNLESS OTHERWISE

REQUIREMENTS. C. REFER TO STRUCTURAL DRAWINGS FOR

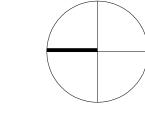
ADDITIONAL DEMOLITION REQUIREMENTS. ALL STRUCTURAL ELEMENTS TO REMAIN. UNLESS NOTED OTHERWISE. . ACCOUNT FOR WORKING AROUND EXISTING

E. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL. SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES.

F. ALLOW EXTERIOR AND INTERIOR WALL SURFACE TO DRY AT LEAST 72 HOURS

BEFORE APPLYING BASE PRIMER AND PAINT. G. CONTRACTOR SHALL REMOVE ALL DEBRIS

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CLARKE MEMORIAL HALL RESTORATION Address-161 LAKESHORE RD W,MISSISSAUGA,ON BASEMENT FLOOR -**ENLARGED DEMOLITION**

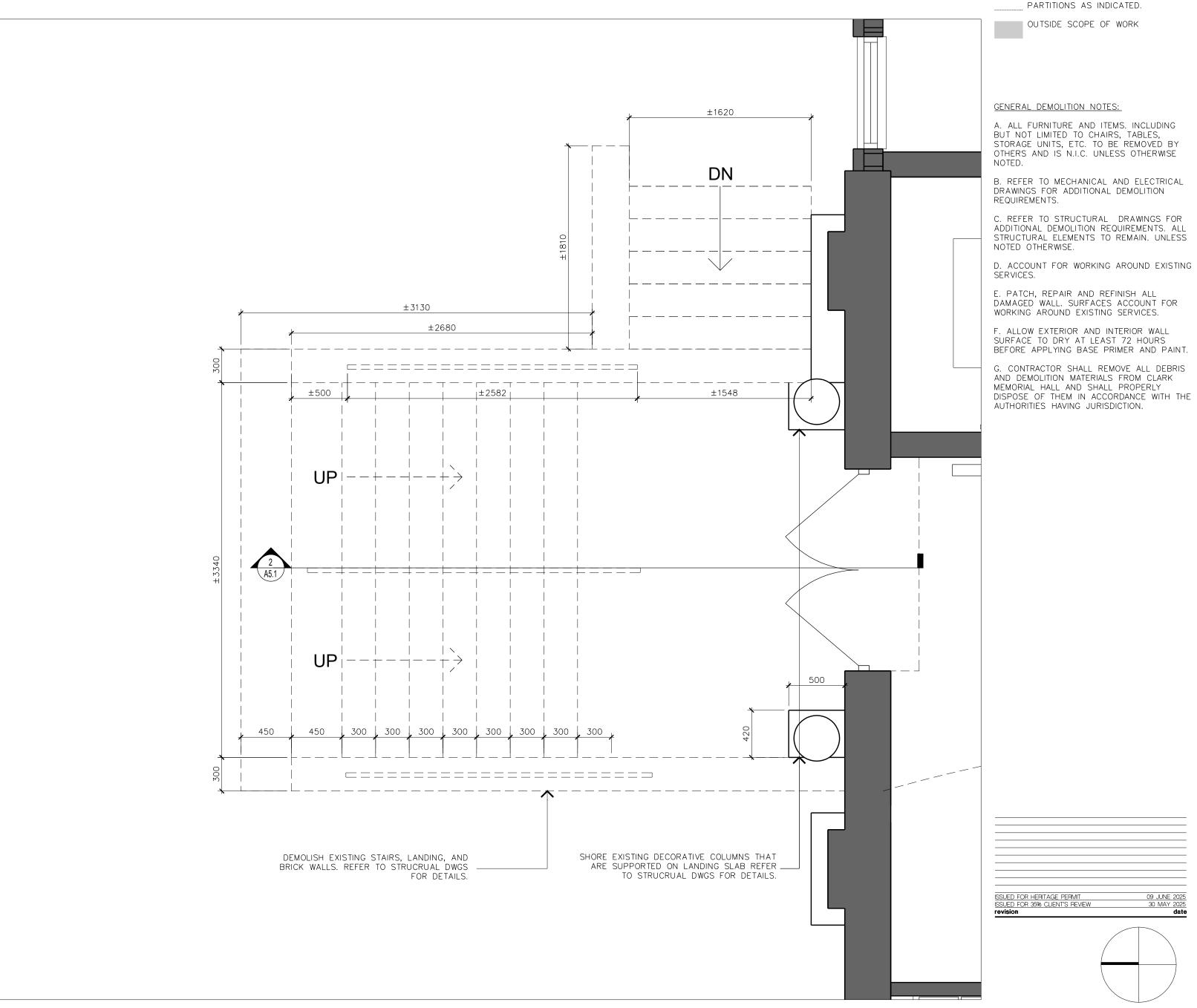
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JUNE 2025 drawing no.:

A2.6

DEMOLISH EXISTING EXIT STAIR. REFER TO STRUCTURAL DWGS FOR DETAILS. DN | | | | | | | | | | ______ ±1750 ±3640

2 EMERGENCY STAIR - ENLARGED PLAN 1:25



1 ENTRANCE STAIR - ENLARGED PLAN 1:25

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EXISTING PARTITIONS TO REMAIN

DEMOLISH EXISTING
PARTITIONS AS INDICATED.

OUTSIDE SCOPE OF WORK

GENERAL DEMOLITION NOTES:

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B. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

C. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS. ALL STRUCTURAL ELEMENTS TO REMAIN. UNLESS NOTED OTHERWISE.

E. PATCH, REPAIR AND REFINISH ALL DAMAGED WALL. SURFACES ACCOUNT FOR WORKING AROUND EXISTING SERVICES. F. ALLOW EXTERIOR AND INTERIOR WALL

SURFACE TO DRY AT LEAST 72 HOURS BEFORE APPLYING BASE PRIMER AND PAINT.

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AND DEMOLITION MATERIALS FROM CLARK
MEMORIAL HALL AND SHALL PROPERLY
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CLARKE MEMORIAL HALL RESTORATION

Address:161 LAKESHORE RD W,MISSISSAUGA,ON GROUND FLOOR -ENLARGED DEMOLITION PLAN

project no. : 1:25 scale: JUNE 2025

drawing no.:



EXISTING LOUVRE TO

REMAIN. REFER TO MECHANICAL DWGS FOR DETAILS

DUCTOWRK. PROVIDE NEW DUCTWORK

FROM DISCHARGE TO WEATHER HOOD. REFER TO MECHANICAL DWGS FOR DETAILS.

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FLOOR PLAN LEGEND:

EXISTING WALL/PARTITION TO REMAIN

OUTSIDE SCOPE OF WORK

GENERAL FLOOR PLAN NOTES:

A. PATCH AND MAKE GOOD OF ALL MATERIALS AND SURFACES.

B. CLEARLY CUT AND DEMO EXISTING WALLS AND PATCH AND MAKE GOOD OF ALL REMAINING WALLS FOR A SMOOTH UNIFORM FINISH. PROVIDE FULL SIZE CONCRETE BLOCKS INSERTS FOR AN UNIFORM WALL

C. PATCH ALL HOLES AT CEILING WITH MATCHING ADJACENT MATERIAL

D. PAINT ALL PREVIOUSLY PAINTED SURFACES. TYPICAL FOR ALL INTERIOR AND EXTERIOR SURFACE. ALLOW FOR 6 PAINT COLOURS (4 DARK COLOURS AND 2 LIGHT COLOURS)

SSUED FOR HERITAGE PERMIT ISSUED FOR 35% CLIENT'S REVIEW revision

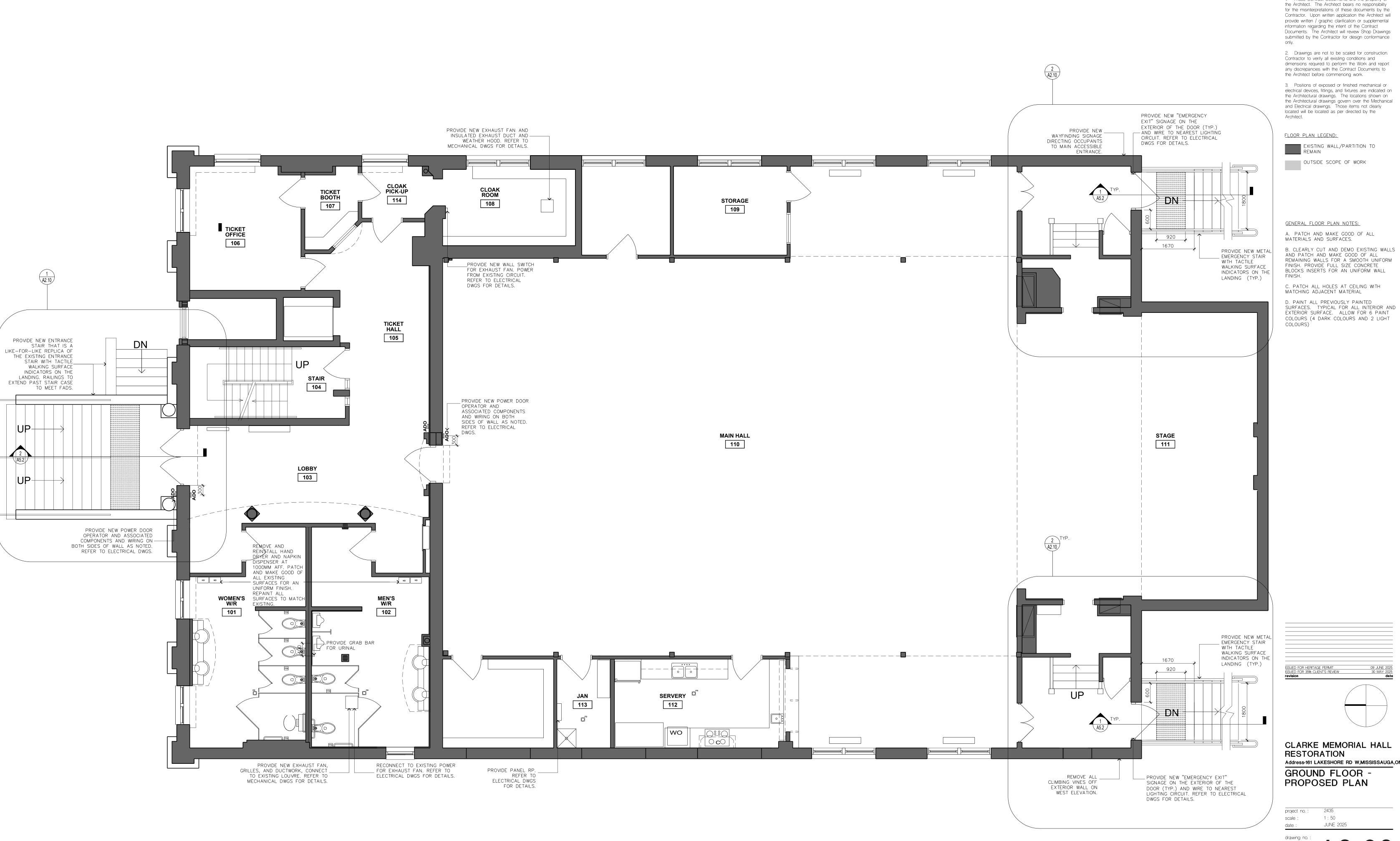
CLARKE MEMORIAL HALL

RESTORATION Address:161 LAKESHORE RD W,MISSISSAUGA,ON BASEMENT FLOOR -PROPOSED PLAN

project no. : 1:50 scale: JUNE 2025

drawing no.:

A2.8



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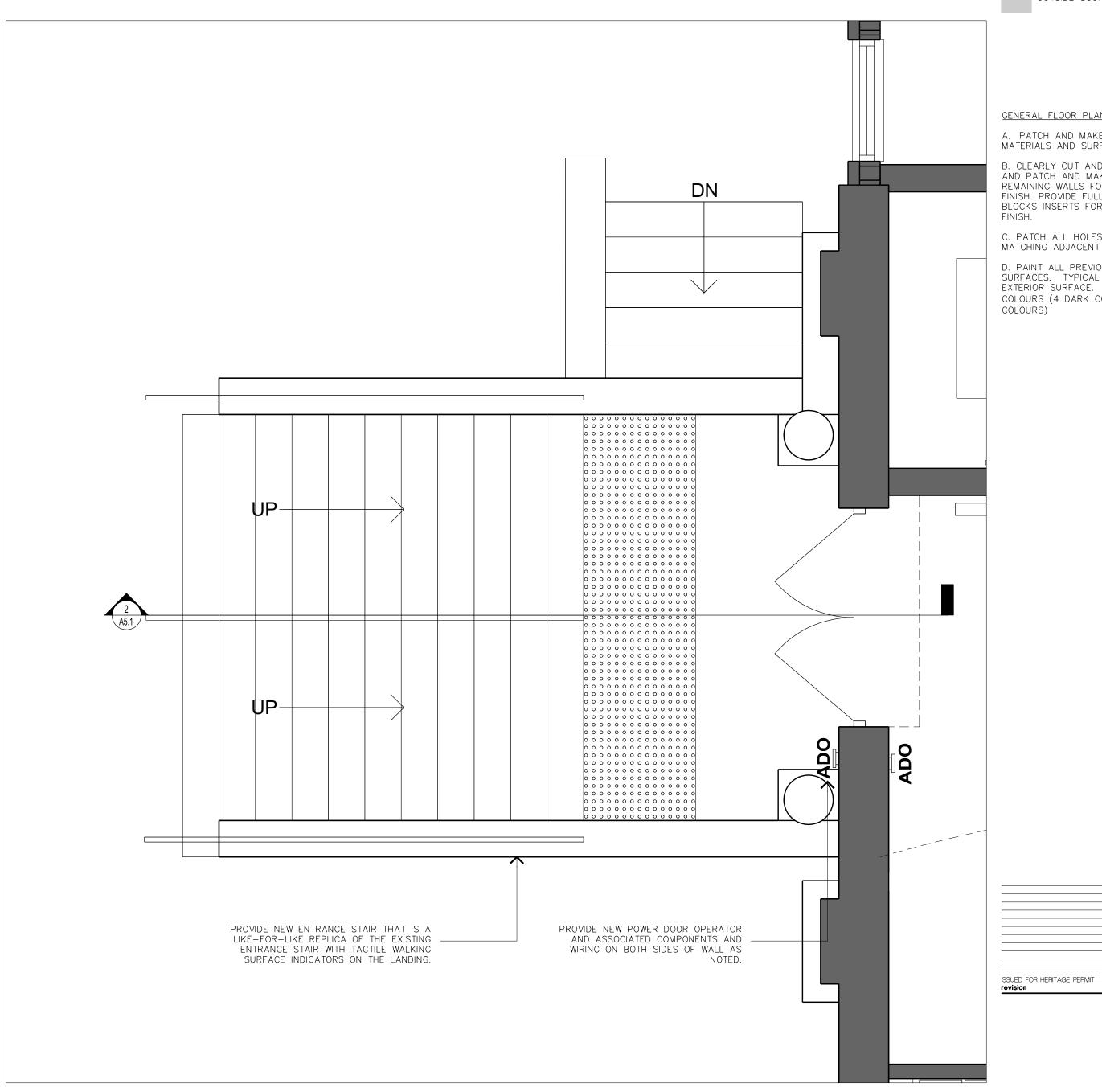
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EXTERIOR SURFACE. ALLOW FOR 6 PAINT COLOURS (4 DARK COLOURS AND 2 LIGHT

CLARKE MEMORIAL HALL Address:161 LAKESHORE RD W,MISSISSAUGA,ON

2 EMERGENCY STAIR - ENLARGED PLAN 1:25



1 ENTRANCE STAIR - ENLARGED PLAN 1:25

3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical

Architect.

the Architect before commencing work.

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FLOOR PLAN LEGEND: EXISTING WALL/PARTITION TO REMAIN

OUTSIDE SCOPE OF WORK

GENERAL FLOOR PLAN NOTES:

A. PATCH AND MAKE GOOD OF ALL MATERIALS AND SURFACES.

B. CLEARLY CUT AND DEMO EXISTING WALLS AND PATCH AND MAKE GOOD OF ALL
REMAINING WALLS FOR A SMOOTH UNIFORM FINISH. PROVIDE FULL SIZE CONCRETE BLOCKS INSERTS FOR AN UNIFORM WALL

C. PATCH ALL HOLES AT CEILING WITH MATCHING ADJACENT MATERIAL

D. PAINT ALL PREVIOUSLY PAINTED SURFACES. TYPICAL FOR ALL INTERIOR AND EXTERIOR SURFACE. ALLOW FOR 6 PAINT COLOURS (4 DARK COLOURS AND 2 LIGHT

CLARKE MEMORIAL HALL RESTORATION Address:161 LAKESHORE RD W,MISSISSAUGA,ON GROUND FLOOR -ENLARGED PROPOSED

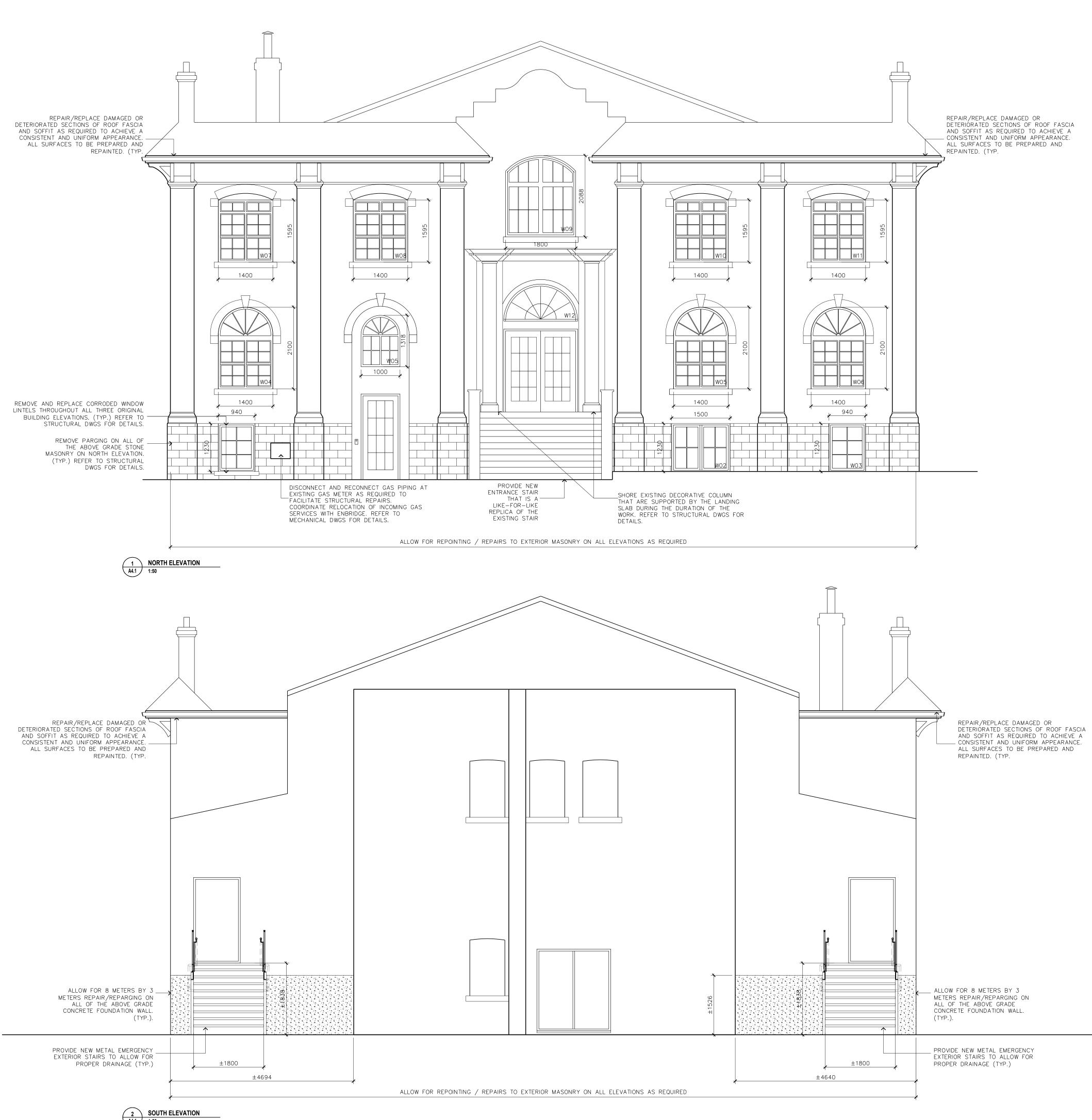
PLAN project no. : 1:25 scale:

JUNE 2025 drawing no.:

09 JUNE 2025 date

WINDOW RESTORATION NOTES :

- CLEAN ALL EXISTING WOOD WINDOW FRAMES TO REMOVE DIRT, DEBRIS, AND LOOSE OR PEELING PAINT. SAND AND PREPARE SURFACES TO RECEIVE NEW PAINT.
- CAREFULLY REMOVE EXISTING CAULKING AROUND WINDOW PERIMETERS ON BOTH INTERIOR AND EXTERIOR FACES. CLEAN SURFACES AND PREPARE TO RECEIVE NEW SEALANT.
- 3 INSTALL NEW CONTINUOUS SEALANT AROUND ALL WINDOW PERIMETERS, INTERIOR AND EXTERIOR, TO ENSURE A COMPLETE WEATHER—TIGHT SEAL.
- FILL ALL CRACKS, GAPS, AND MINOR SURFACE DEFECTS IN WOOD FRAMES WITH EXTERIOR-GRADE WOOD FILLER AS REQUIRED. APPLY TWO COATS OF PAINT TO ALL PREPARED WOOD SURFACES. MATCH COLOUR TO EXISTING.
- (5) REPAINT ALL BASEMENT WINDOW CAGES. APPLY TWO COATS OF PAINT, MATCH COLOUR TO EXISTING.
- 6 INSTALL TRADITIONAL VENTED WOOD-FRAMED EXTERIOR STORM WINDOWS AT ALL FIXED WINDOW UNITS TO IMPROVE THERMAL PERFORMANCE AND ENERGY EFFICIENCY.



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general notes :

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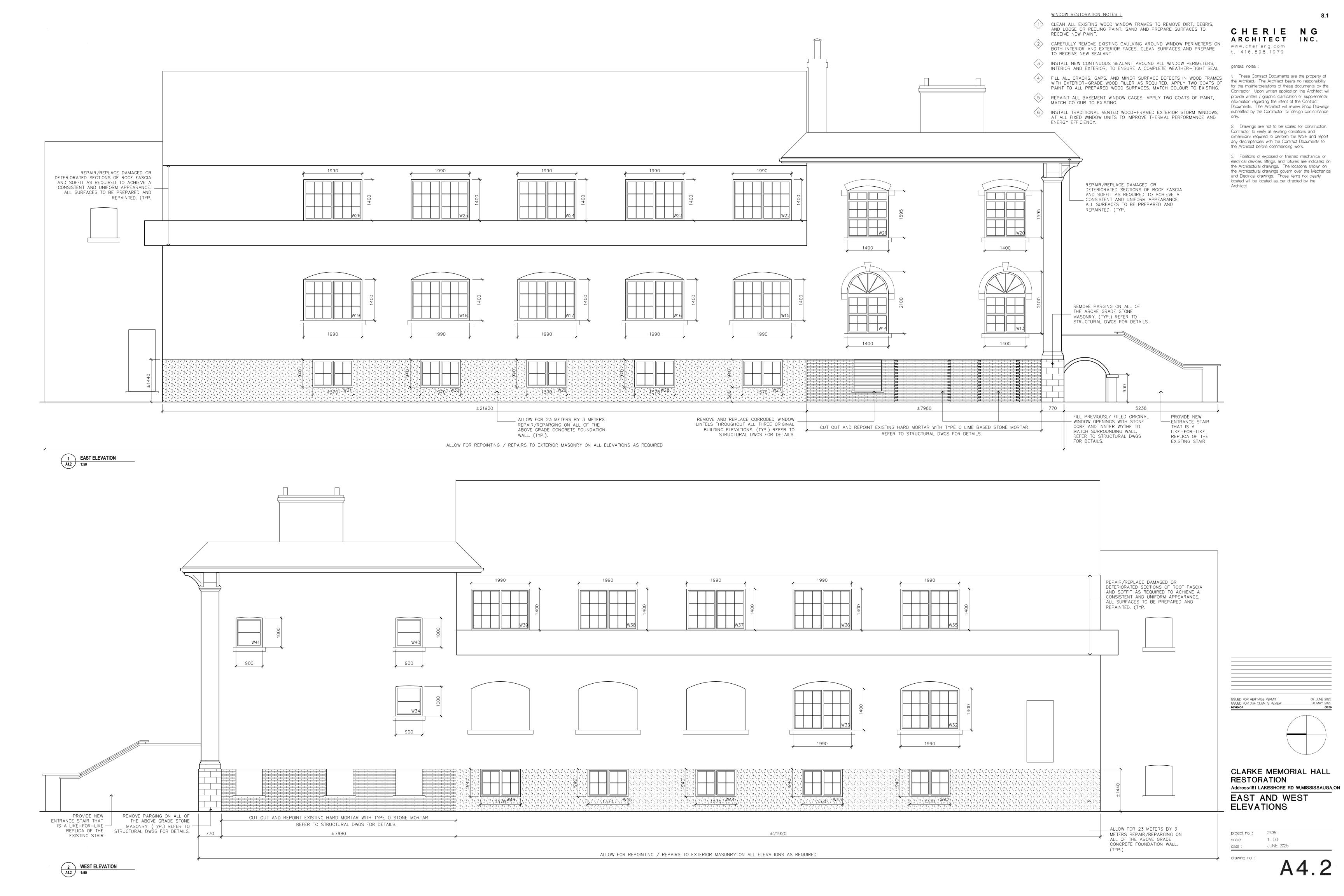
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CLARKE MEMORIAL HALL RESTORATION Address:161 LAKESHORE RD W,MISSISSAUGA,ON NORTH AND SOUTH ELEVATIONS

project no. : 1:50 scale: JUNE 2025

drawing no. :



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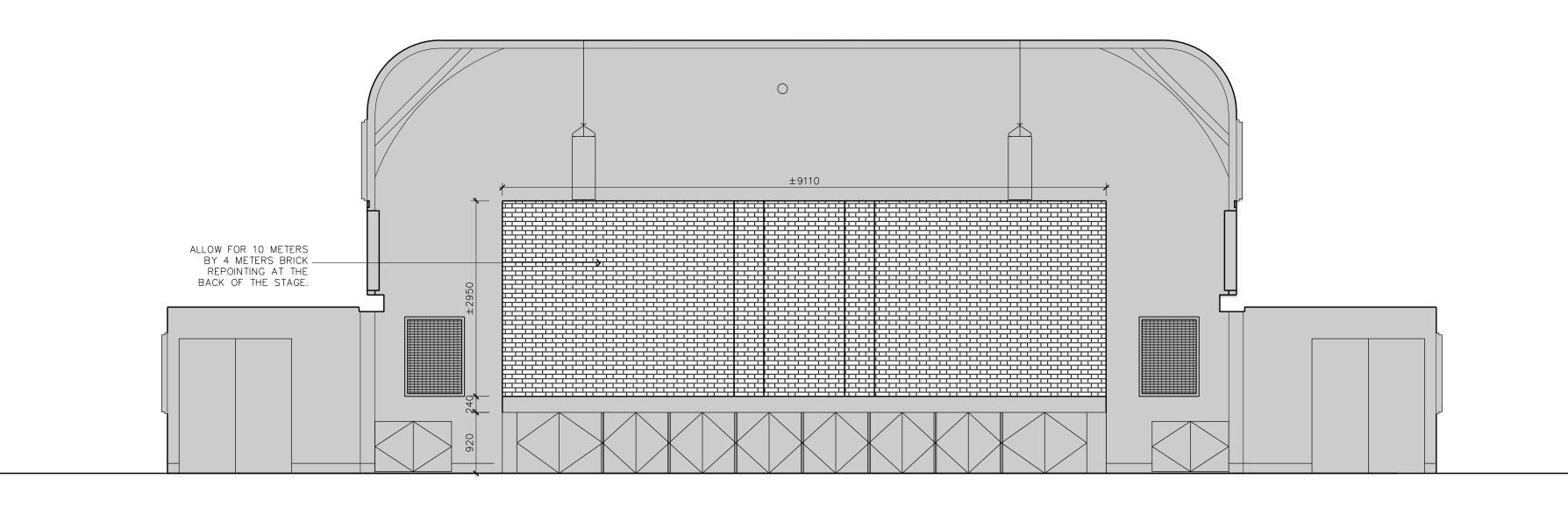
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EXISTING WALL/PARTITION TO REMAIN

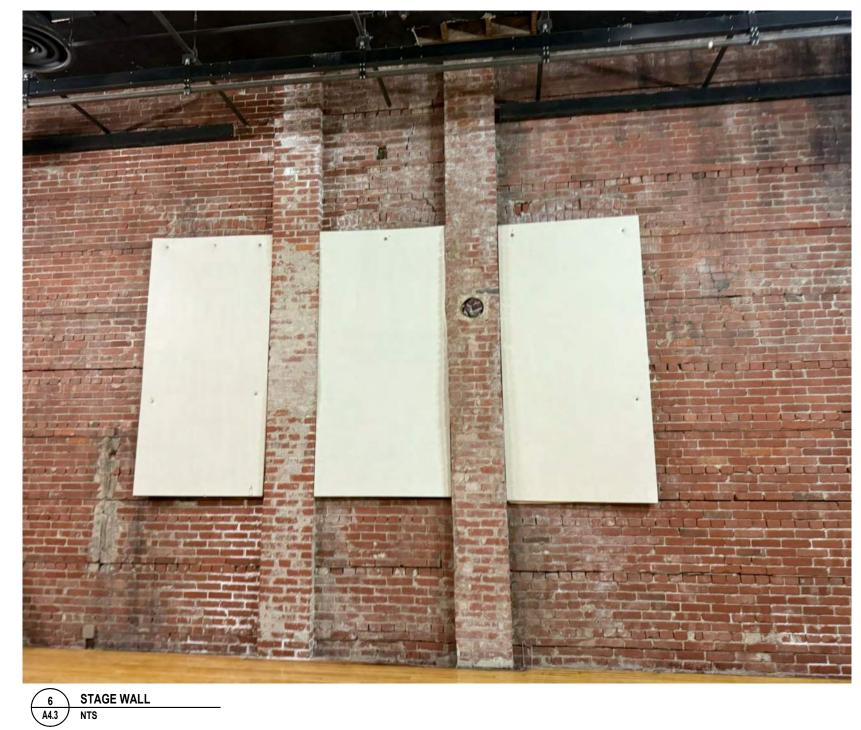
OUTSIDE SCOPE OF WORK

FLOOR PLAN LEGEND:

general notes :

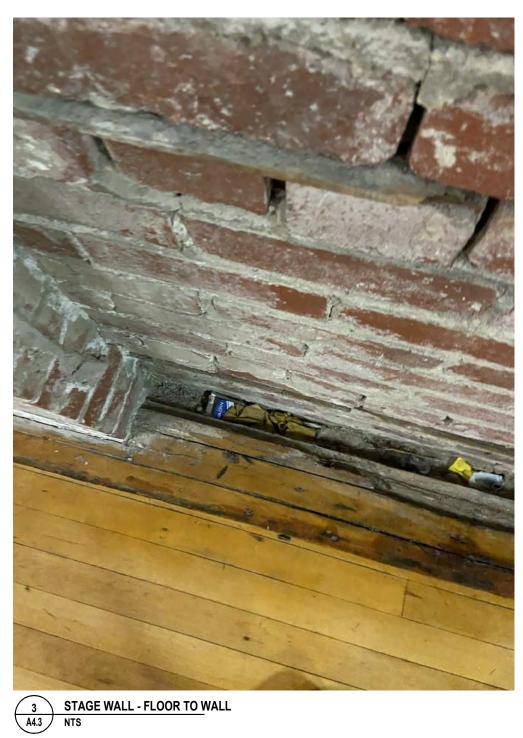


1 INTERIOR ELEVATION - SOUTH STAGE
A4.3 1:50











SSUED FOR HERITAGE PERMIT 09 JUNE 2025
revision date

CLARKE MEMORIAL HALL
RESTORATION
Address-161 LAKESHORE RD W,MISSISSAUGA,ON
INTERIOR
ELEVATIONS

project no.: 2435 scale: 1:50

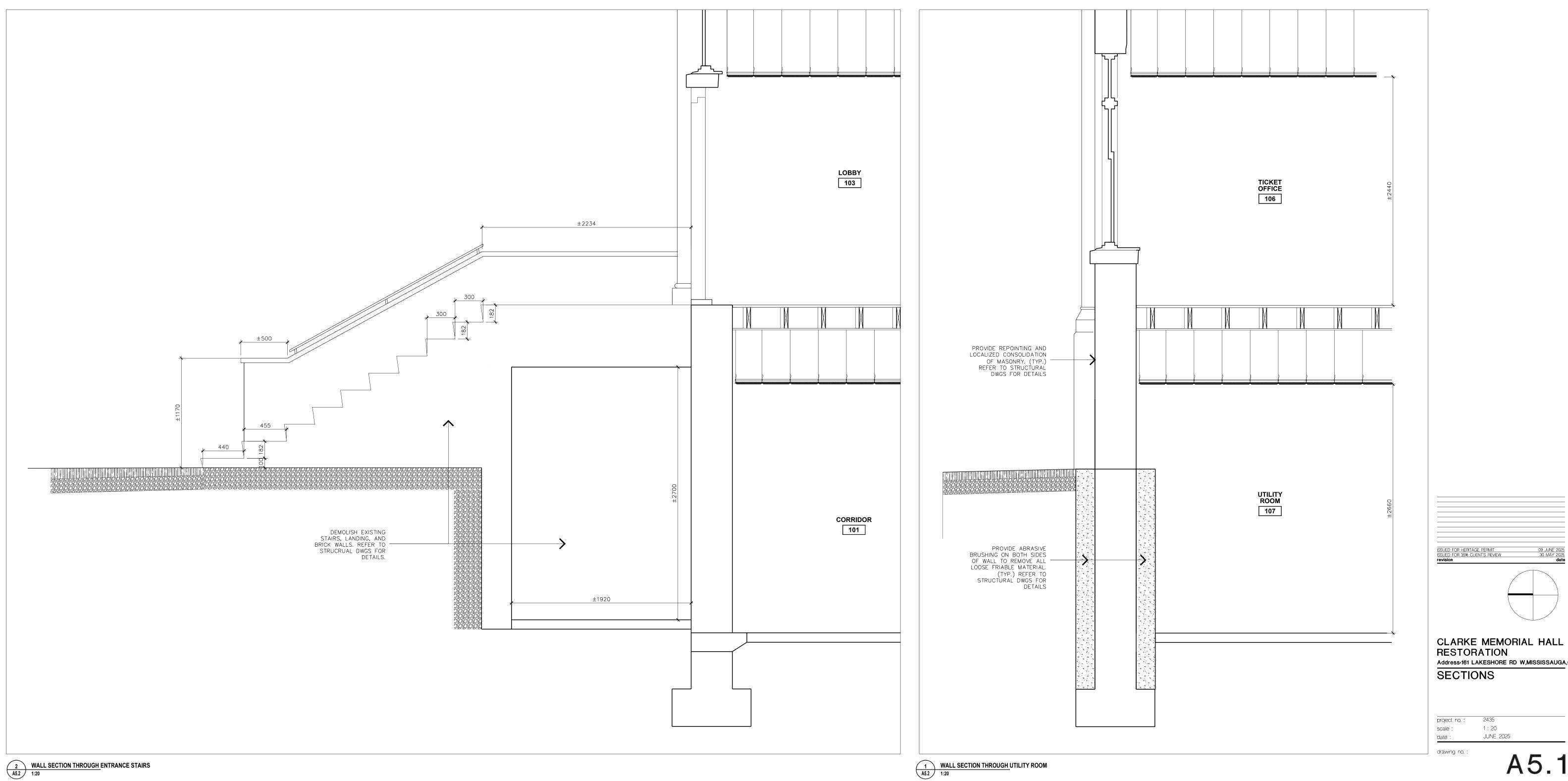
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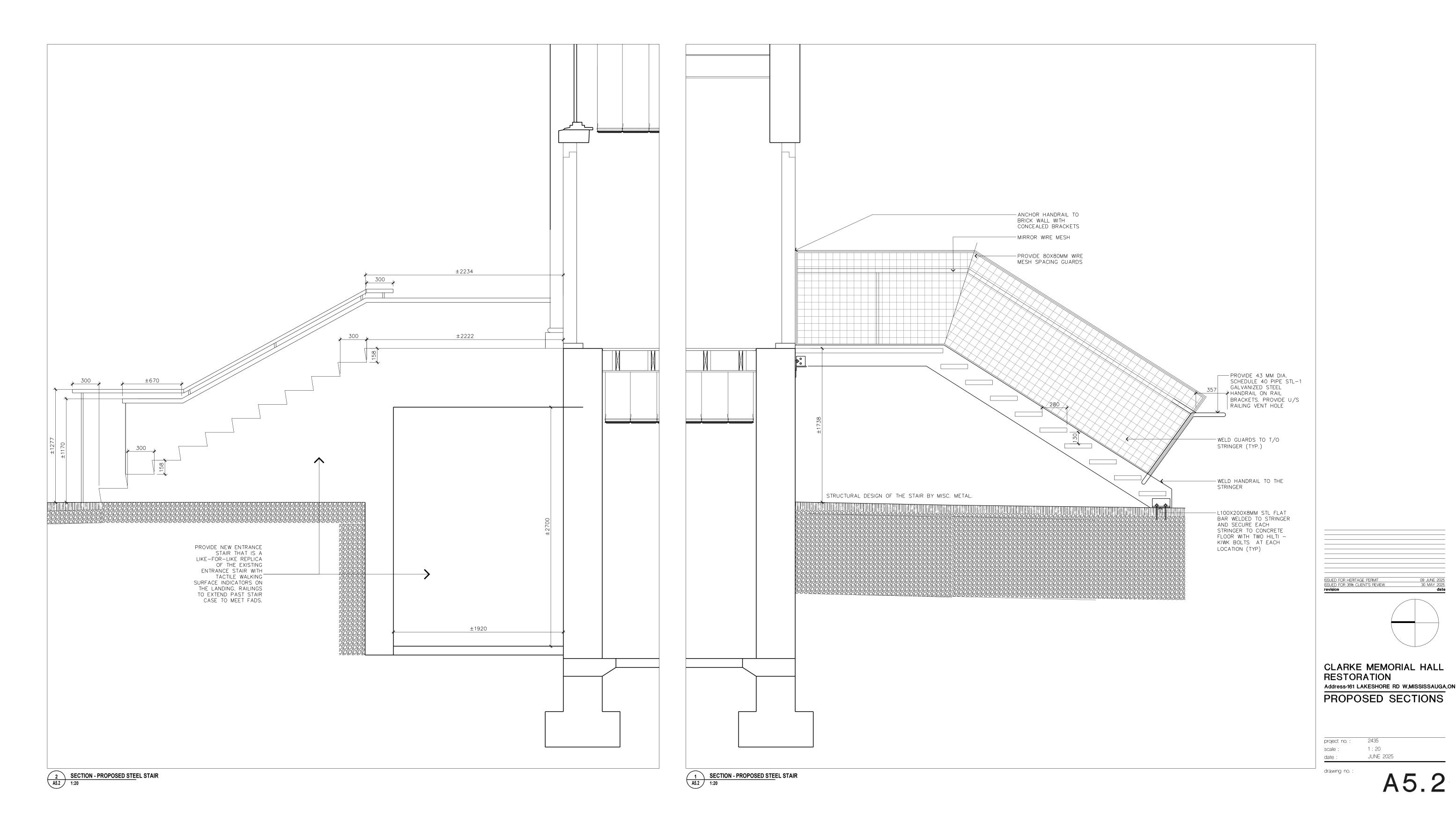
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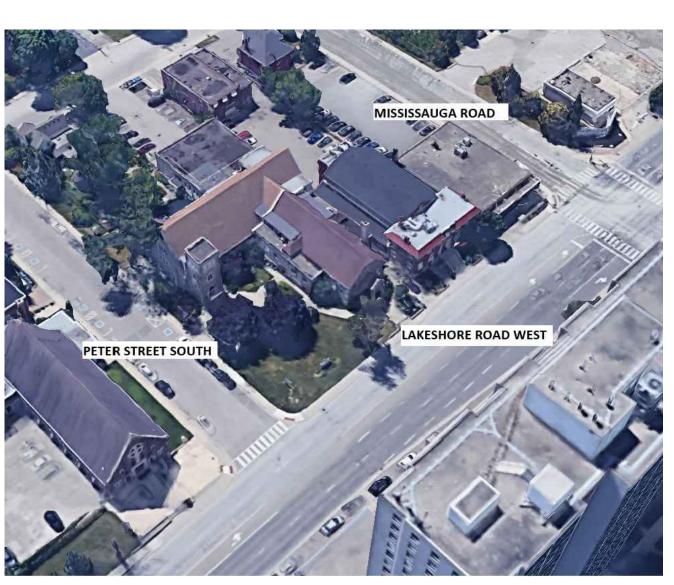
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2 3D AERIAL VIEW

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CLARKE MEMORIAL HALL

Project # 250167

Blackwell

Toronto 416.593.5300 | Waterloo 519.616.0895 | Victoria 778.817.1010 | Halifax 902.593.0125 | blackwell.ca

N.A APRIL 2025

CLARKE MEMORIAL HALL RESTORATION address: 161 lakeshore rd w,mississauga,on GENERAL NOTES

THIS SET OF DRAWINGS IS AN EARLY CONCEPT SET - ISSUED FOR HERITAGE PERMIT REVIEW ONLY. NOT FOR CONSTRUCTION.

NOTE:

RESTORATION

1 BASEMENT S101 SCALE 1:50

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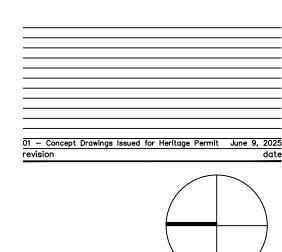
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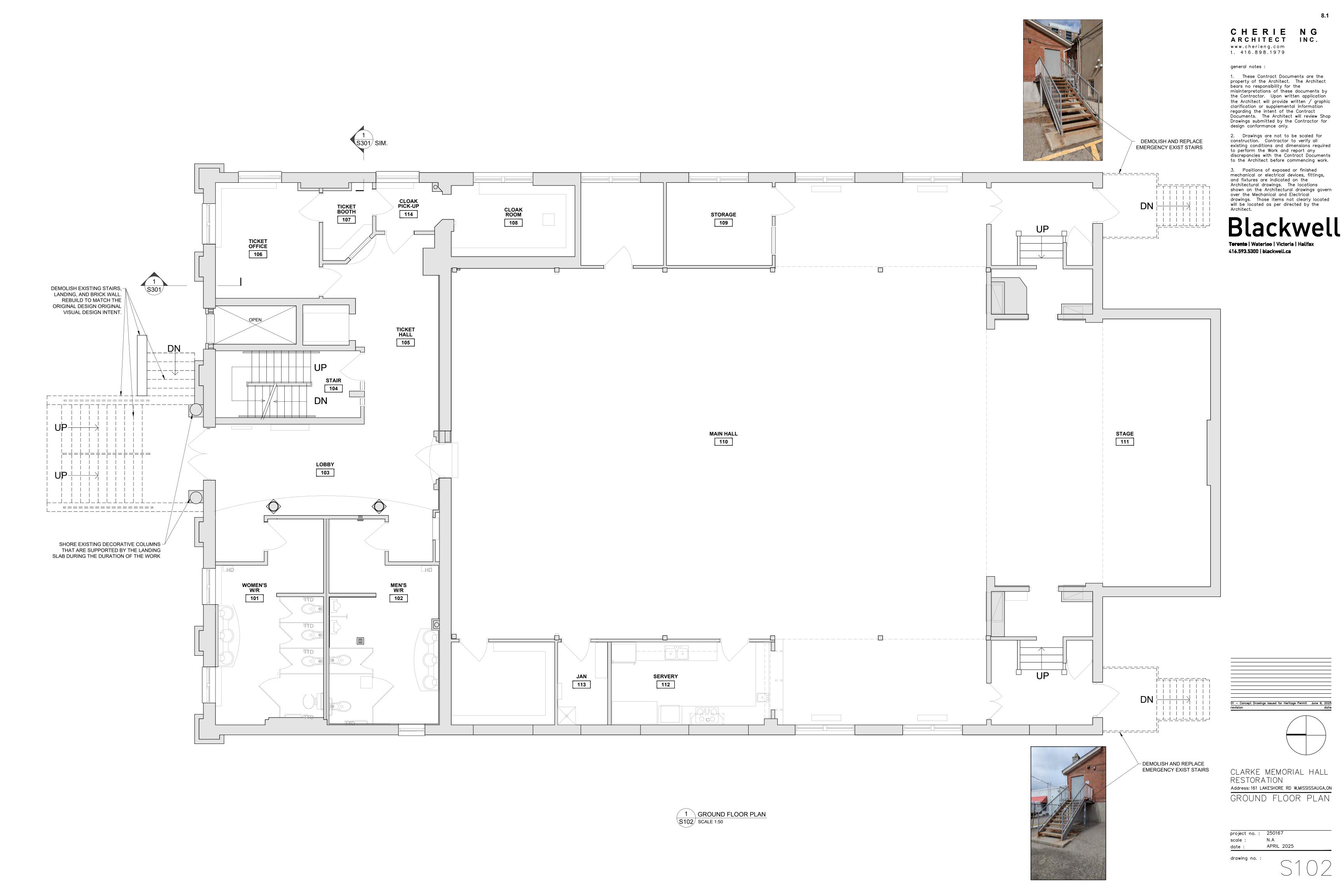
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CLARKE MEMORIAL HALL RESTORATION Address: 161 LAKESHORE RD W,MISSISSAUGA,ON

BASEMENT PLAN

N.A scale : APRIL 2025



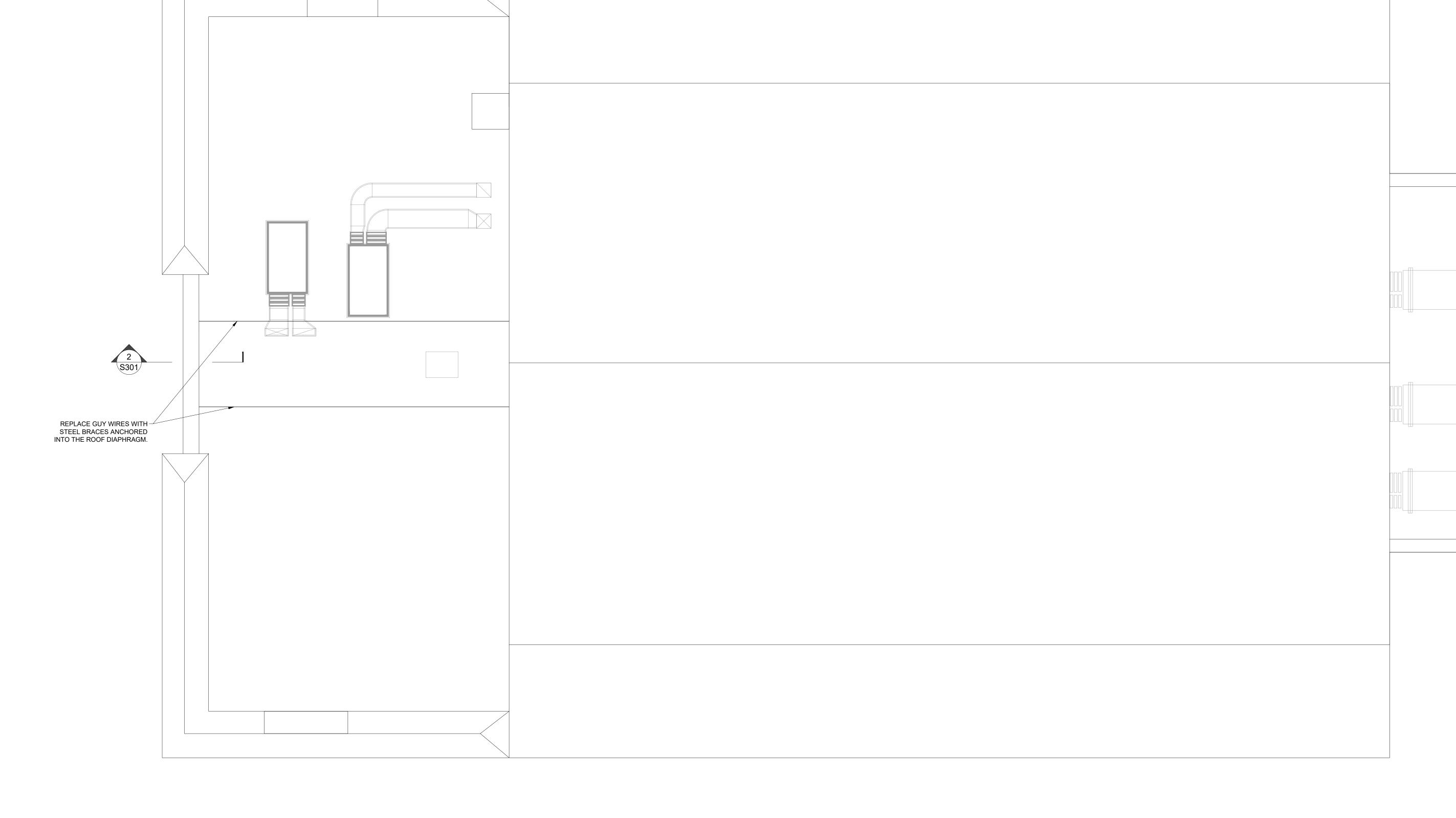
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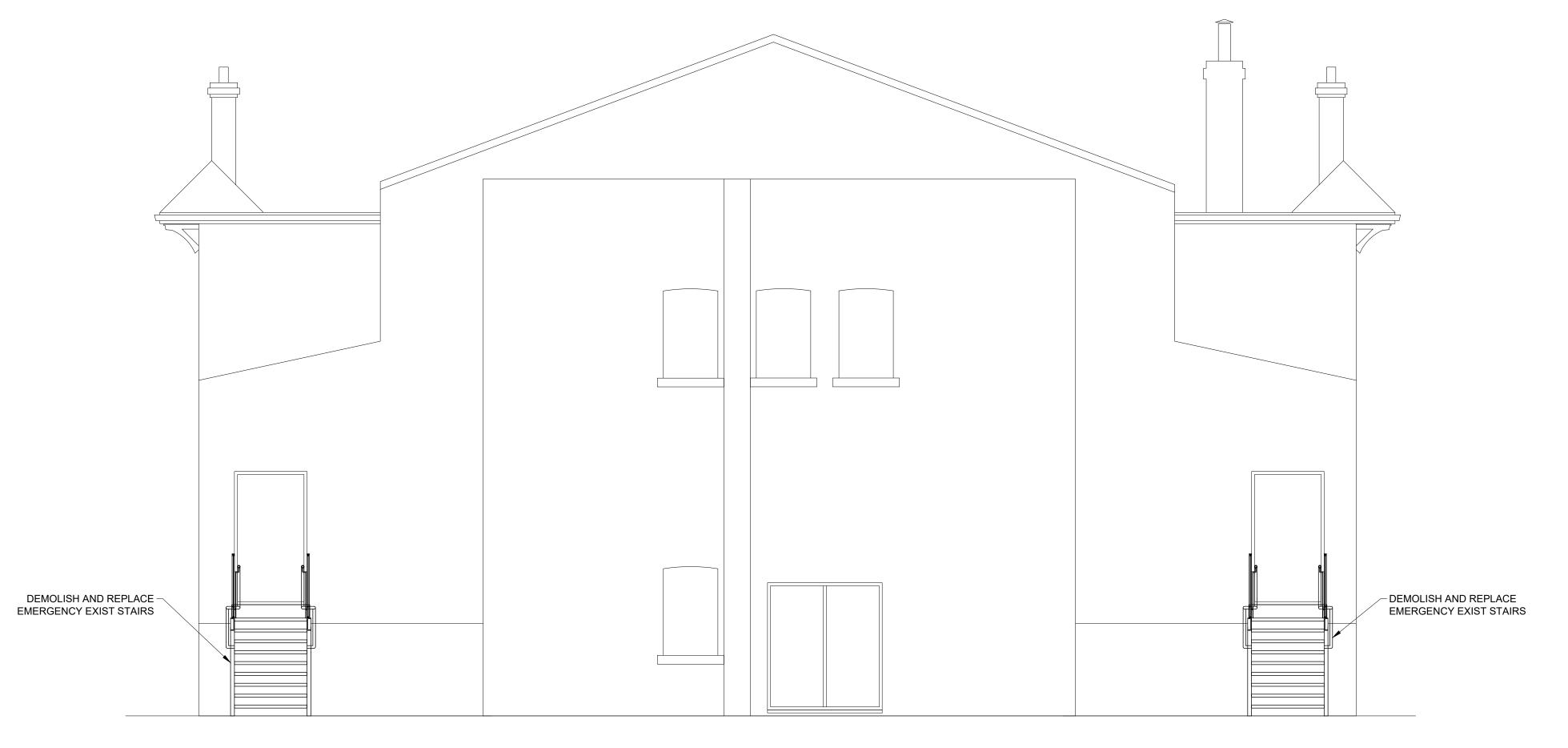


01 - Concept Drawings Issued for Heritage Permit June 9, 2025 revision date

CLARKE MEMORIAL HALL RESTORATION Address: 161 LAKESHORE RD W,MISSISSAUGA,ON ROOF PLAN

project no. : 250167 scale : N.A date : APRIL 2025







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general notes :

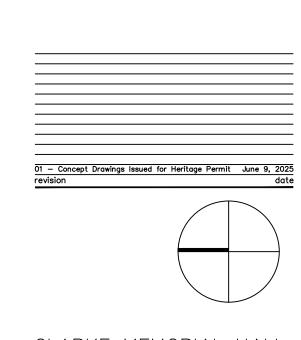
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CLARKE MEMORIAL HALL RESTORATION address: 161 lakeshore rd w,mississauga,on

Address: 161 LAKESHORE RD W,MISSISSAUGA,ON
NORTH AND SOUTH
ELEVATION

project no.: 250167 scale: N.A date: APRIL 2025

drawing no



2 WEST ELEVATION S202 SCALE 1:50

- EXTENT OF REPOINTING AND LOCALIZED CONSOLIDATION OF MASONRY

SELECT REMOVALS TO EVALUATE CORE WHERE NO STONES COME LOOSE.

REQUIRED AROUND BOILER ROOM AND 15% CORE REBUILDING ELSEWHERE)

REMOVAL OF STONES THAT FALL OUT AFTER RAKING JOINTS

• REMOVAL OF EXTERIOR HARD POINTING MORTARS THROUGHOUT. DEEP RAKING OUT JOINTS.

CONSOLIDATION OF ANY DISCOVERED VOID CORE AREAS (ASSUME 75% CORE REBUILDING

Address: 161 LAKESHORE RD W,MISSISSAUGA,ON EAST AND WEST ELEVATION

scale : N.A APRIL 2025

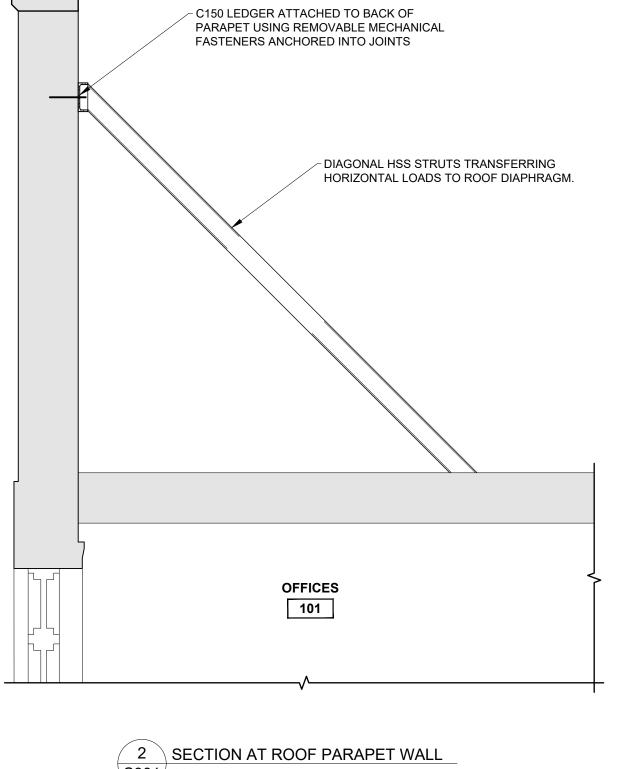
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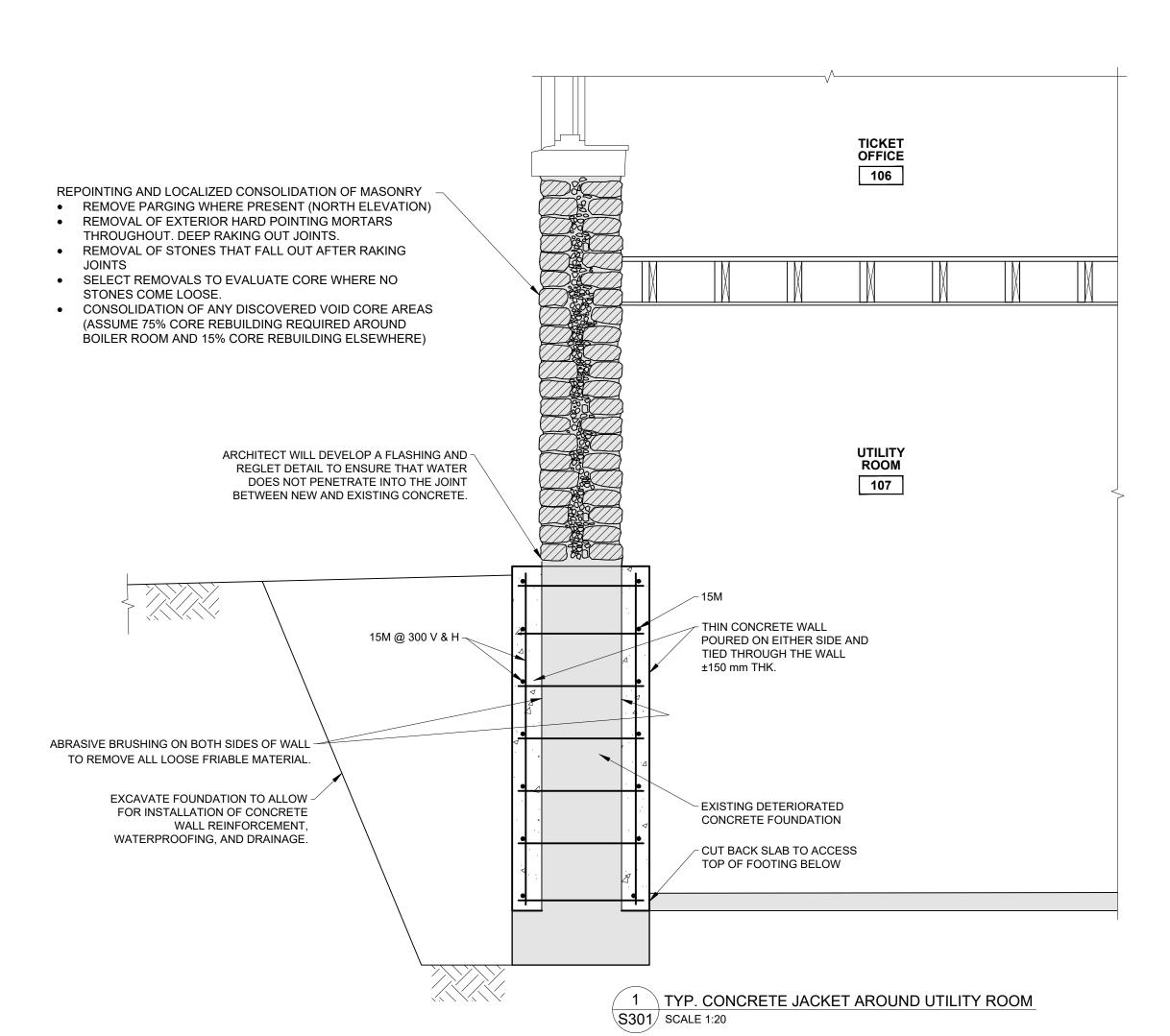
\$301 SCALE 1:20

01 - Concept Drawings Issued for Heritage Permit June 9, 2025 revision date

CLARKE MEMORIAL HALL

RESTORATION Address: 161 LAKESHORE RD W,MISSISSAUGA,ON
SECTIONS AND DETAILS

APRIL 2025



GENERAL MECHANICAL CONDITIONS

CONDITIONS.

TESTING TO DELIVER A COMPLETE AND FUNCTIONAL SYSTEMS, READY FOR OPERATION.

2. PERFORM WORK IN A CLEAN AND WORKMANLIKE MANNER. EXERCISE CARE

1. CONTRACTOR IS RESPONSIBLE FOR ALL WORK, LABOUR, MATERIALS,

- PERFORM WORK IN A CLEAN AND WORKMANLIKE MANNER. EXERCISE CARE
 TO DISRUPTION TO OTHER AREAS OF THE BUILDING WHICH ARE TO
 REMAIN IN OPERATION. ISOLATE WORK AREAS AS REQUIRED TO CONTAIN
 DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA.
- DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA.

 3. THE DRAWINGS ARE INTENDED TO BE DIAGRAMMATIC AND ARE DEVELOPED ON THE INDICATED BASIS OF DESIGN EQUIPMENT. ALL ITEMS MAY NOT BE SHOWN OR NOT SHOWN IN THEIR EXACT LOCATION, OR WITH EXACT DIMENSIONS AND DETAILS. THE CONTRACTOR SHALL VERIFY

THE ACTUAL DIMENSIONS OF THE EQUIPMENT PROPOSED TO ENSURE THAT

- THE EQUIPMENT WILL FIT IN THE AVAILABLE SPACE.

 4. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. WHERE DISCREPANCIES OCCUR BETWEEN THESE DOCUMENTS AND EXISTING CONDITIONS, REPORT THE CONDITIONS
- AND/OR ENGINEER.

 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF THEIR OWN PROPERTY ON THE JOB SITE. OWNER ASSUMES NO RESPONSIBILITY
- FOR PROTECTION OF PROPERTIES.

 6. PRIOR TO STARTING CONSTRUCTION, DETERMINE EXACT INVERT ELEVATION, SIZE, DEPTH AND LOCATION OF EXISTING UTILITIES WHERE CONNECTIONS ARE TO BE MADE OR INTERSECTIONS OCCUR. NOTIFY FNGINFER OF ANY DISCREPANCY RETWEEN DRAWINGS AND ACTUAL FIELD.
- CONSTRUCT WORK TO ALL APPLICABLE CODES, LAWS AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK. CORRECT ANY WORK IN VIOLATION OF ABOVE.
- 8. INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM
- MANUFACTURER.

 9. PROVIDE AND MAINTAIN TEMPORARY FIRE PROTECTION DURING
- PERFORMANCE OF THE WORK.

 10.MANUFACTURER AND/OR THIRD-PARTY AGENT AS NOTED IN DRAWINGS.

 11.INSTALL WORK SO AS TO BE READILY ACCESSIBLE FOR OPERATION,
 MAINTENANCE AND REPAIR. PROVIDE SLEEVES AND ACCESS DOORS
- REQUIRED FOR THE SERVICING OF CONCEALED EQUIPMENT.

 12. REMOVE AND RELOCATE EXISTING WORK AS REQUIRED, NECESSARY FOR THE PERFORMANCE OF THE GENERAL WORK, ALL EXISTING CONDITIONS MAY NOT BE COMPLETELY DETAILED ON THE DRAWINGS. CONTRACTOR TO SURVEY THE SITE AND INCLUDE ALL CHANGES IN MAKING UP THE WORK
- 13.SEAL ALL OPENINGS AROUND PIPES & DUCTS THROUGH PARTITIONS AND WALLS WITH APPROVED FIRESTOPPING MATERIAL.
- 14.GAS PIPING AND GAS VENTS SHALL CONFORM TO CSA B149.1 NATURAL GAS AND PROPANE INSTALLATION CODE WITH LATEST AMENDMENTS BY TSSA. PAINTING/BANDING OF GAS PIPING TO SATISFACTION OF AUTHORITIES HAVING JURISDICTION SHALL BE BY THIS CONTRACTOR.
- 15. CONSTRUCT WORK IN A MANNER SATISFACTORY TO THE OWNER.

 16. REMOVE AND DISPOSE OF ALL EXISTING EQUIPMENT AS INDICATED, AS REQUIRED TO COMPLETE SCOPE OF WORK. VISIT SITE AND VERIFY SCOPE PRIOR TO SUBMITTING BID.
- 17.CLEAN FROM ALL FIXTURES AND EQUIPMENT DUST, DIRT, FINGER-PRINTS, PAINT, GREASE, CONSTRUCTION AND DEMOLITION DEBRIS. CLEAN AND TOUCH UP SURFACES OF SHOP-PAINTED EQUIPMENT SCRATCHED OR MARRED DURING SHIPMENT OR INSTALLATION, TO MATCH ORIGINAL EDITION.
- 18. COORDINATE WORK OF OTHER TRADES (ELECTRICAL, SPRINKLER, STRUCTURAL, ETC.). ENSURE THAT PROPER ARRANGEMENTS AND PROVISIONS ARE MADE FOR THIS WORK. COORDINATE MECHANICAL REQUIREMENTS OF ALL OWNER-SUPPLIED EQUIPMENT PRIOR TO
- 19.ROOF CURB & OPENINGS: MECHANICAL CONTRACTOR SHALL SUPPLY ALL ROOF FLASHINGS, CURBS, STRUCTURAL SUPPORTS FOR ROOF OPENINGS AND COUNTER FLASHING FOR MECHANICAL EQUIPMENT AS REQUIRED FOR COMPLETION OF WORK.
- ELECTRICAL WIRING AND CONTROLS

 1. ALL POWER WIRING FOR ALL MECHANICAL EQUIPMENT SHALL BE DONE BY
 DIVISION 26 ELECTRICAL, EXCEPT WHERE SPECIFICALLY NOTED
- OTHERWISE.

 2. THE MECHANICAL DIVISION SHALL PROVIDE ALL STARTERS, RELAYS, CONTROL DEVICES, AND ANY BUILT-IN SAFETY SWITCHES. THE ELECTRICAL
- WILL PROVIDE ALL FIELD-MOUNTED SAFETY DISCONNECTS.

 3. THE MECHANICAL DIVISION SHALL PROVIDE ALL CONNECTIONS AND WIRING FOR CONTROLS, AND INTERLOCKS.
- SUBSTITUTIONS

 1. ALL EQUIPMENT AND MATERIALS SHALL BE AS SPECIFIED OR "APPROVED EQUAL" BY ENGINEER. ALTERNATES MAY BE SUBMITTED IN PLACE OF SPECIFIED MECHANICAL EQUIPMENT. CONTRACTOR SHALL INCLUDE ALL SPECIFIED MAJOR EQUIPMENT IN THE BASE BID AND SHOW LINE ITEM PRICE REDUCTIONS FOR PROPOSED ALTERNATES. ALTERNATES FOR MINOR EQUIPMENT MAY BE SUBSTITUTED WITHOUT PRESENTING LINE ITEM PRICE
- OWNER/ENGINEER REVIEW. SUBMIT ALL REQUESTED INFORMATION TO ENGINEER FOR REVIEW OF ALTERNATES.

 2. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS RELATED TO SUBSTITUTION TO DELIVER A COMPLETE AND FUNCTIONAL SYSTEM, READY FOR OPERATION. THIS INCLUDES CHANGES IN DUCT OR PIPING ARRANGEMENT OR SIZE, ELECTRICAL REQUIREMENTS (OVERCURRENT PROTECTION, WIRING, INTERLOCKS), REQUIRED ANCILLARY COMPONENTS, ADDITIONAL SUPPORTS,

REDUCTIONS, FINAL APPROVAL OF ALL ALTERNATES SUBJECT TO

- BALANCING

 1. TEST, ADJUST, BALANCE ALL AIR MOVING EQUIPMENT, AIR DISTRIBUTION, HEATING SYSTEMS, EXHAUST SYSTEMS, EXHAUST AND MAKE-UP SYSTEMS, ALL HYDRONIC SYSTEMS AS SPECIFIED AND AS INDICATED ON DRAWINGS
- TAB SHALL NOT BEGIN UNTIL ALL SYSTEMS ARE COMPLETED AND IN FULL WORKING ORDER
- 3. CHANGES TO FILTERS, DRIVES, AND DAMPERS OR THE ADDITION OF DAMPERS, CONTROL DEVICES OR GAUGES REQUIRED TO CORRECT BALANCE
- AS REQUIRED SHALL BE MADE AT NO ADDITIONAL COST TO OWNER.

 4. PRIOR TO TAB, ALL EQUIPMENT AND SYSTEMS SHALL BE RUN THROUGH
- CARRY OUT WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE
 ONTARIO BUILDING CODE, OCCUPATIONAL HEALTH AND SAFETY ACT AND

THEIR CYCLE TO CHECK FOR CORRECT WIRING AND SEQUENCING

- REGULATIONS AND THE MINISTRY OF LABOUR GUIDELINES.

 2. CHECK AND VERIFY ALL DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH ANY WORK
- SHEET METAL WORK MUST BE PERFORMED BY LICENSED SHEET METAL
 WORKERS POSSESSING A VALID CERTIFICATE OF QUALIFICATION FROM
 AUTHORITY HAVING JURISDICTION.
- 4. ALL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CODE REQUIREMENT, AND TO ASHRAE AND SMACNA STANDARDS. ALL MATERIAL AND EQUIPMENT SHALL BE NEW. DUCTWORK SHALL BE OF GAUGES AS OUTLINED BY SMACNA STANDARDS. EQUIPMENT TO BE AS OUTLINED ON
- THE DRAWINGS.

 5. LOCATION OF DUCTWORK AND EQUIPMENT.
- 5.1.INSTALL AS REQUIRED FOR PROPER INSTALLATION IN AVAILABLE SPACE AVOIDING. INTERFERENCE WITH ARCHITECTURAL AND STRUCTURAL MEMBERS AND WORK OF OTHER TRADES.
- 5.2. Preserve Headroom and Keep Openings and Passage Ways Clear.
- 5.3. DUCTS IN A NEAT MANNER, SYMMETRICAL WITH BUILDING LINES, LIGHTS, CEILING TILE PATTERN, ETC.5.4. DRAWINGS ARE DIAGRAMMATIC AND APPROXIMATE AND ARE SUBJECT
- TO REARRANGEMENT FOR PROPER INSTALLATION. DUCTWORK AND PIPING MAY BE SHOWN DISTORTED TO AVOID CONFUSION.

 5.5. LOCATE DIFFUSERS AND GRILLES IN ACCORDANCE WITH LIGHTING AND
- Other Ceiling Devices.

 5.6. Provide Access Doors in Finishes Walls and Ceilings for
- ACCESS TO CONCEALED DAMPERS, EQUIPMENT.

 5.7. MAINTAIN A CLEAN PREMISES INCLUDING REMOVAL OF SCRAPS AND INSTALLATION RELATED DEBRIS FROM AREA. LEAVE ENTIRE
- 5.8. HOIST AND SET IN PLACE OF ALL FURNISHED HEATING, AIR CONDITIONING, EXHAUST AND MAKE-UP AIR EQUIPMENT, UNLESS OTHERWISE SPECIFIED. REVIEW HOISTING AND RIGGING PLAN WITH

INSTALLATION IN A NEAT, CLEAN AND USABLE CONDITION.

- 5.9. SUPPORT ALL DUCTWORK.
- 5.10. ALL DUCT JOINTS, SEAMS, FITTINGS, ETC. SHALL BE SEALED TO SEAL CLASS A, TO ENSURE WATER AND AIR TIGHTNESS WITH DUCT SEALANT CARLISLE DUCT-SEAL 321 OR EQUAL, APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 5.11. USE DUCT SIZES AS SHOWN OR EQUIVALENT AS REQUIRED TO SUIT SITE CONDITIONS.
 5.12. DUCT CONNECTIONS TO ALL EQUIPMENT (EXCEPT EXHAUST FANS UNDER 150 CFM) IS TO BE COMPLETE WITH FLEXIBLE DUCT
- CONNECTORS, DURO-DYNE SUPER METAL-FAB OR EQUAL CONSISTING OF 3", 24 GAUGE GALVANIZED SHEET METAL FRAME WITH 6" WIDE FLEXIBLE NEOPRENE FABRIC TO UL STANDARDS.
- 5.13. ALL OPERABLE THERMOSTATS AT BARRIER FREE HEIGHT OF 1100-mm ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED.
 5.14. DUCT INSULATION: PROVIDE INSULATION TYPES AND THICKNESS
- ACCORDING TO TABLES.

 5.15. FIRE/SMOKE DAMPERS: DYNAMIC FIRE DAMPERS SHALL BE U.L.C.
 APPROVED AND INSTALLED AS PER MANUFACTURER'S REQUIREMENTS
 AND IN ACCORDANCE WITH OBC REQUIREMENTS. VENTEX OR EQUAL.

INSTALL WHERE SHOWN OR AS NOTED ON THE DRAWING.

- 5.16. LOCATE DIFFUSERS, GRILLES & REGISTERS TO SUIT LIGHTING AND CEILING PLAN.5.17. PROVIDE FLEXIBLE CONNECTIONS BETWEEN ALL DUCTWORK AND
- VIBRATING EQUIPMENT, INCLUDING FANS.

 5.18. VIBRATION ISOLATION HANGERS AND SUPPORTS SHALL BE USED
 TO INSTALL ALL VIBRATING EQUIPMENT, INCLUDING FANS. HYDRONIC
 SYSTEMS

									FAN SCHEDUL	.E			
		AIR FLOW	ESP	FAN SPEED	MOTOR SPEED	OTOR SPEED MOTOR POWER VOLTAGE FLA DIMENSIONS [L/W/H] WEIGHT BASIS OF DESIGN		BASIS OF DESIGN					
TAG	G DESCRIPTION	[L/s]	[Pa]	[RPM]	[RPM]	[kW]	[V/Ph/Hz]	[A]	[mm]	[kg]	MAKE	MODEL	NOTES
EF2	L1 CLOAK ROOM EXHAUST	67	62	710		0.102	120/1/60	1.4	311/311/298		CARNES OR APPROVED EQUIVALENT	VCDD015C	WITH VXCBWK WEATHER HOOD C/W BACKDRAFT DAMPER AND BIRD SCREEN
EF3	L1 WASHROOM EXHAUST	283	144	2433		0.373	120/1/60	6.6	375/350/350	21.8	GREENHECK OR APPROVED EQUIVALENT	SQ-7-M1-VG	C/W BACKDRAFT DAMPER
EF4	BASEMENT STORAGE ROOM EXHAUST	283	144	2433		0.373	120/1/60	6.6	375/350/350	21.8	GREENHECK OR APPROVED EQUIVALENT	SQ-7-M1-VG	C/W BACKDRAFT DAMPER
EF5	BASEMENT ELECTRICAL ROOM EXHAUST	142	129	1551		0.124	120/1/60	2.8	400/375/375	15.4	GREENHECK OR APPROVED EQUIVALENT	SQ-90-VG	C/W BACKDRAFT DAMPER AND WITH VENTEX WHD-90-12 WEATHER HOOD C/W BIRD SCREEN

DUCTWORK MATERIALS SCHEDULE						
ICE	MATERIAL	INSULATION	FINISH			
NUST	GALVANIZED - RECT OR SPIRAL	FIBERGLASS W/ FSK ON DISCHARGE OF EXHAUST FAN (MIN R-7.5)				

	DIFFUSER AND GRILLE SCHEDULE								
			AIR FLOW	NECK SIZE	DIMENSIONS [W/H]	WEIGHT			
AG	QUANTITY	DESCRIPTION	[L/s]	[mm]	[mm]	[kg]	MAKE	MODEL	NOTES
1	AS INDICATED	EXHAUST GRILLE - CEILING	AS INDICATED		AS INDICATED		PRICE	530	45° DEFLECTION 3/4" BLADE SPACING

PLUMB	ING FIXTURE SPECIALTIES SCHEDULE
EQUIPMENT	SPECIFICATION
	ZURN Z556-FO-Y-P CAST IRON FLOOR DRAIN WITH A 213 mm (8 3/8") IN DIAM., 171 mm (6 3/4") IN DIAM. GRATE, ADJUSTABLE FRAME AND SEDIMENT BUCKET; ALL CAST IRON. TRAP PRIMER CONNECTION.

	PIPING MATERIALS SCHEDULE						
SERVICE	MATERIAL INSULATION FINISH						
DHW/DCW/DHWR	COPPER TYPE 'L'	PRE-FORMED FIBREGLASS W/ ASJ	PVC (where exposed to mechanical damage)				
HWS/HWR	CARBON STEEL - SCHED.40	PRE-FORMED FIBREGLASS W/ ASJ	PVC (where exposed to mechanical damage)				
NATURAL GAS	CARBON STEEL - SCHED.40		PAINTED YELLOW				

	HVAC LEGEND							
	SUPPLY AIR DUCT (UP / DOWN)							
	RETURN AIR DUCT (UP / DOWN)							
	EXHAUST AIR DUCT (UP / DOWN)							
BDD L	DAMPER - BACKDRAFT							
BD L	DAMPER - MANUAL/BALANCING							
— <u>M</u>	DAMPER - MOTORIZED							
	FLEX DUCT							
	DIFFUSER/GRILLE - EXHAUST/RETURN/SUPPLY AIR CEILING							
	DIFFUSER/GRILLE - EXHAUST/RETURN/SUPPLY AIR WALL/DUCT							
	DIFFUSER/GRILLE - EXHAUST/RETURN/SUPPLY WALL BOX							
~~~ <b>&gt;</b>	AIR FLOW DIRECTION							
<b>~~~</b>	LOUVRE - INTAKE							
EF	EXHAUST FAN							
TAG L/s DIMS TYP OF 4	TAG - DIFFUSER/GRILLE							
Ī	THERMOSTAT							

		SEAL
	GENERAL LEGEND	
ABBREVIATIONS		
AFF, BFF	ABOVE FINISHED FLOOR, BELOW FINISHED FLOOR	
AFC, BFC	ABOVE FINISHED CEILING, BELOW FINISHED CEILING	
AFCT, BFCT	ABOVE FINISHED COUNTERTOP, BELOW FINISHED COUNTERTOP	
UON	UNLESS OTHERWISE NOTED	
TYP	TYPICAL	
W/, W/O, C/W	WITH, WITHOUT, COMPLETE WITH	DRAWINGS TO
SYMBOLS		SITE: CLAR
<b>─</b> 65Ø	TAG - DIMENSION	161 LAN MISSISS
$\sim$	LINE CONTINUATION	PROJECT: CLARKE
LINETYPES		TITLE: MECI
	DEMO	NOTES,
	EXISTING	N/A SCALE AT ARCH D:
	NEW	25130

SHEET LIST SCHEDULE						
	NUMBER	SHEET TITLE				
	M100	NOTES, LEGENDS AND SCHEDULES				
	M200	MECHANICAL BASEMENT LAYOUTS				
	M201	HVAC L1 LAYOUTS				
	M202	HVAC ROOF LAYOUTS				

REV. DESCRIPTION DATE

2025-06-09

2025-04-08

HERITAGE PERMIT

CLIENT REVIEW - 50%

JDX Advance Services Inc. 687 Barton Street, Suite 106 Stoney Creek, Ontario 289-329-0918 | www.JDXadvance.com

CLIENT: CHERIE NG ARCHITECT INC.

OWNER: CITY OF MISSISSAUGA
300 CITY CENTRE DRIVE
MISSISSAUGA, ON L5B 3C1

SEAL

DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES

SITE: CLARKE MEMORIAL HALL
161 LAKESHORE RD W
MISSISSAUGA, ONTARIO L5H 1G3

PROJECT: CLARKE MEMORIAL HALL RENOVATION

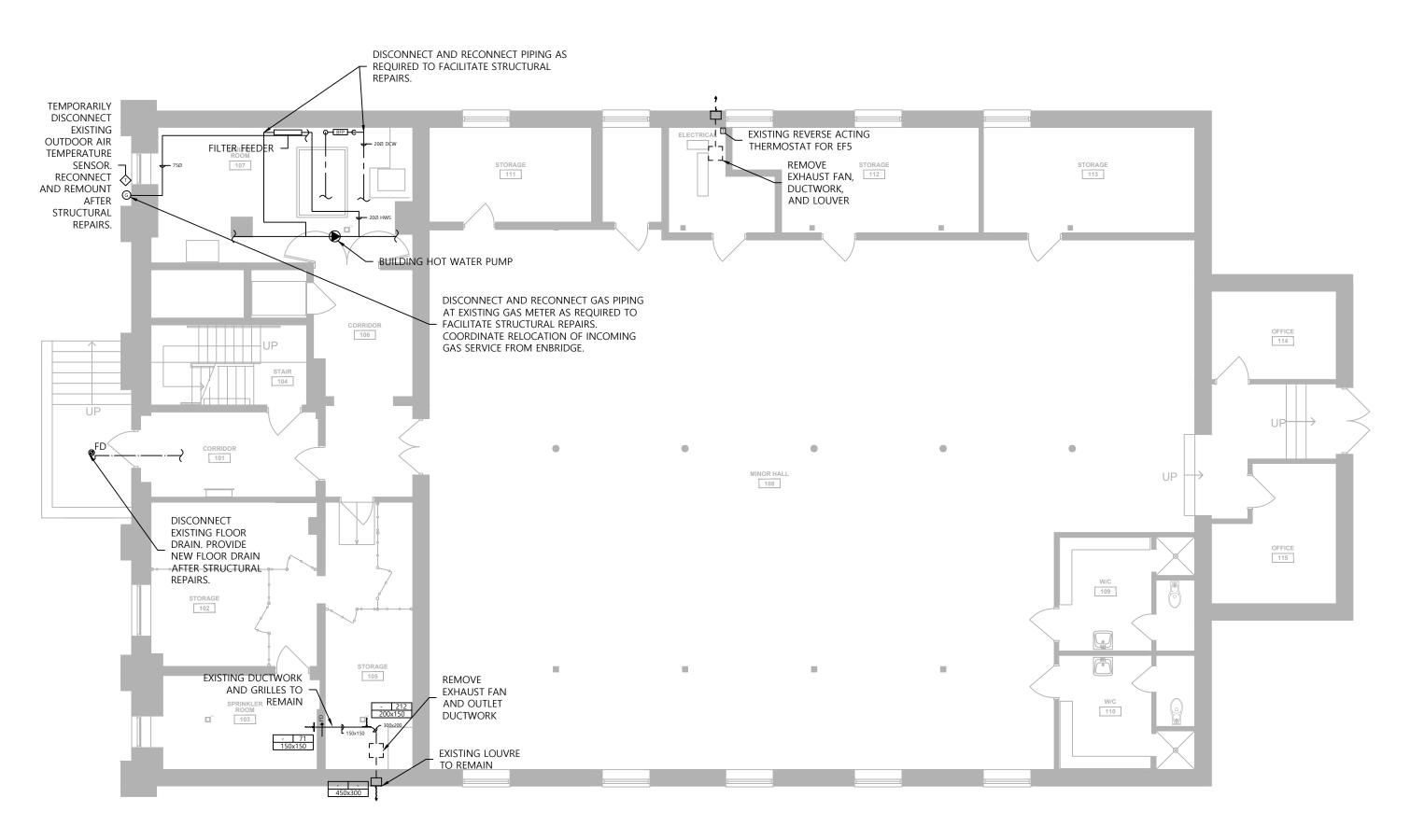
TITLE: MECHANICAL
NOTES, LEGENDS AND SCHEDULES
N/A

RB
ID

DRAWING NO:

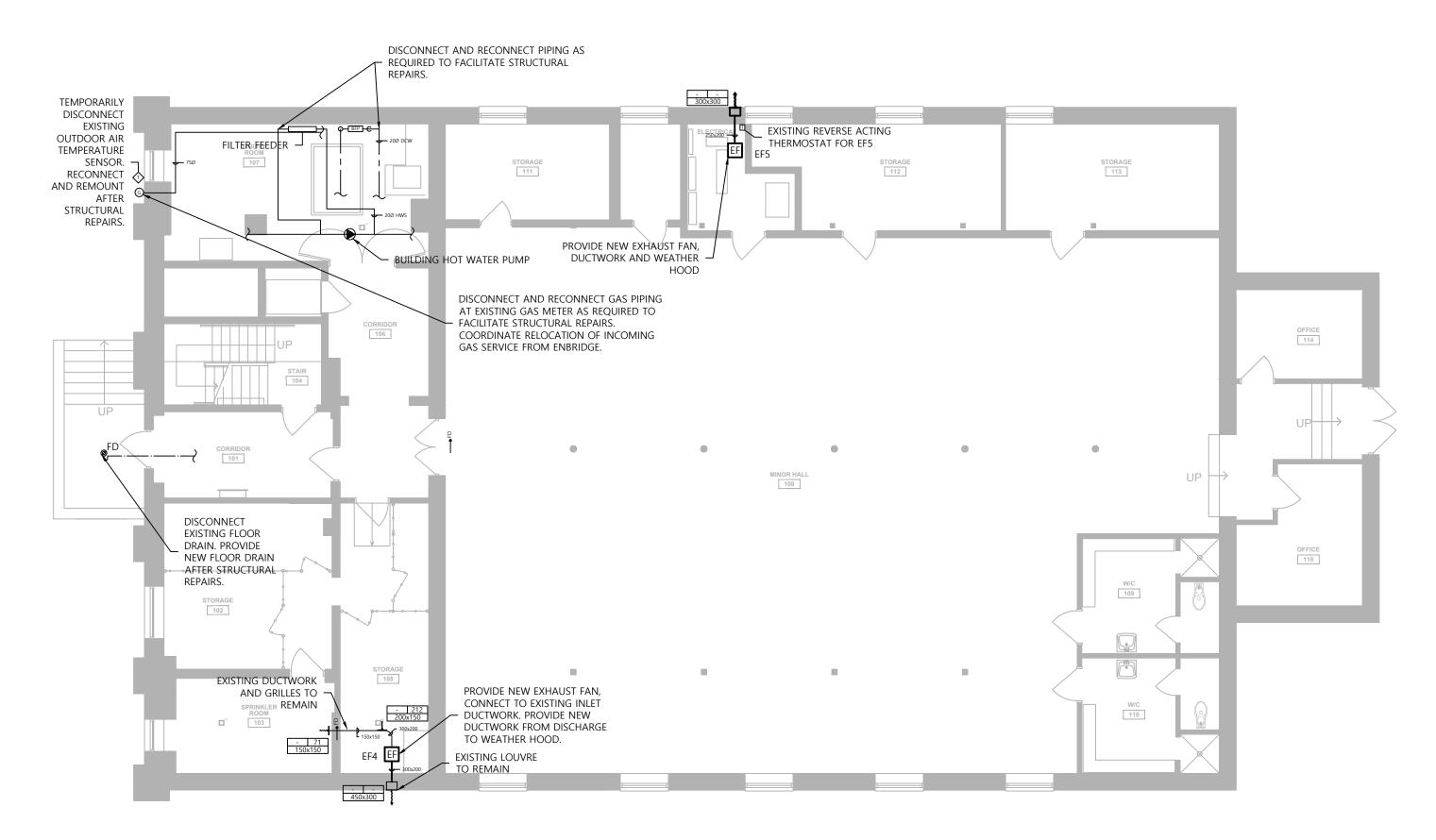
PROJECT NO:

CHECKED:



# BASEMENT MECHANICAL LAYOUT DEMO

1:100



# BASEMENT MECHANICAL LAYOUT RETROFIT

A HERITAGE PERMIT 2025-06-09 CLIENT REVIEW - 50% 2025-04-08 REV. DESCRIPTION DATE

> JDX Advance Services Inc. 687 Barton Street, Suite 106 Stoney Creek, Ontario 289-329-0918 | www.JDXadvance.com

CLIENT: CHERIE NG ARCHITECT INC.

OWNER: CITY OF MISSISSAUGA 300 CITY CENTRE DRIVE MISSISSAUGA, ON L5B 3C1

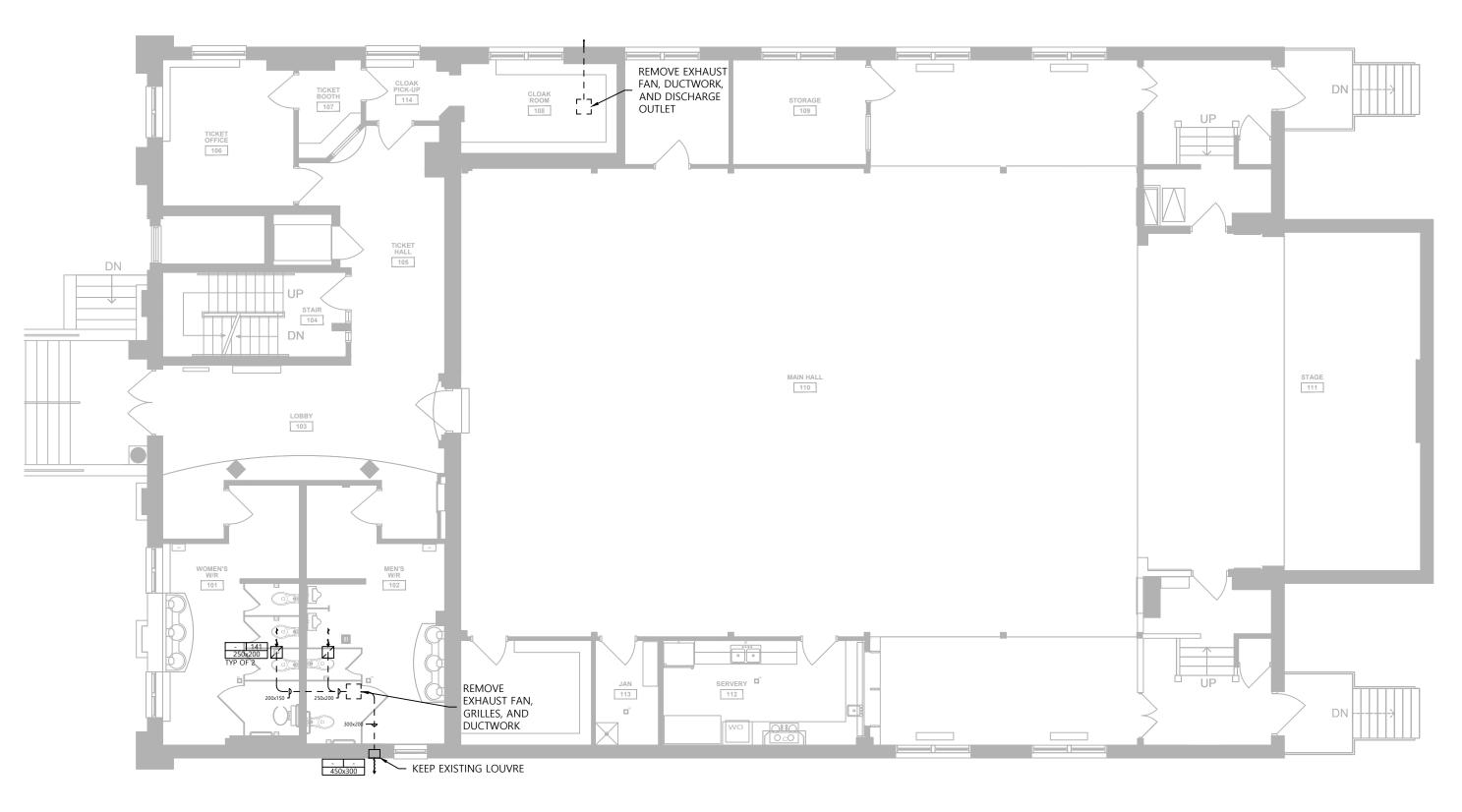
DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES CLARKE MEMORIAL HALL 161 LAKESHORE RD W MISSISSAUGA, ONTARIO L5H 1G3

PROJECT: CLARKE MEMORIAL HALL RENOVATION

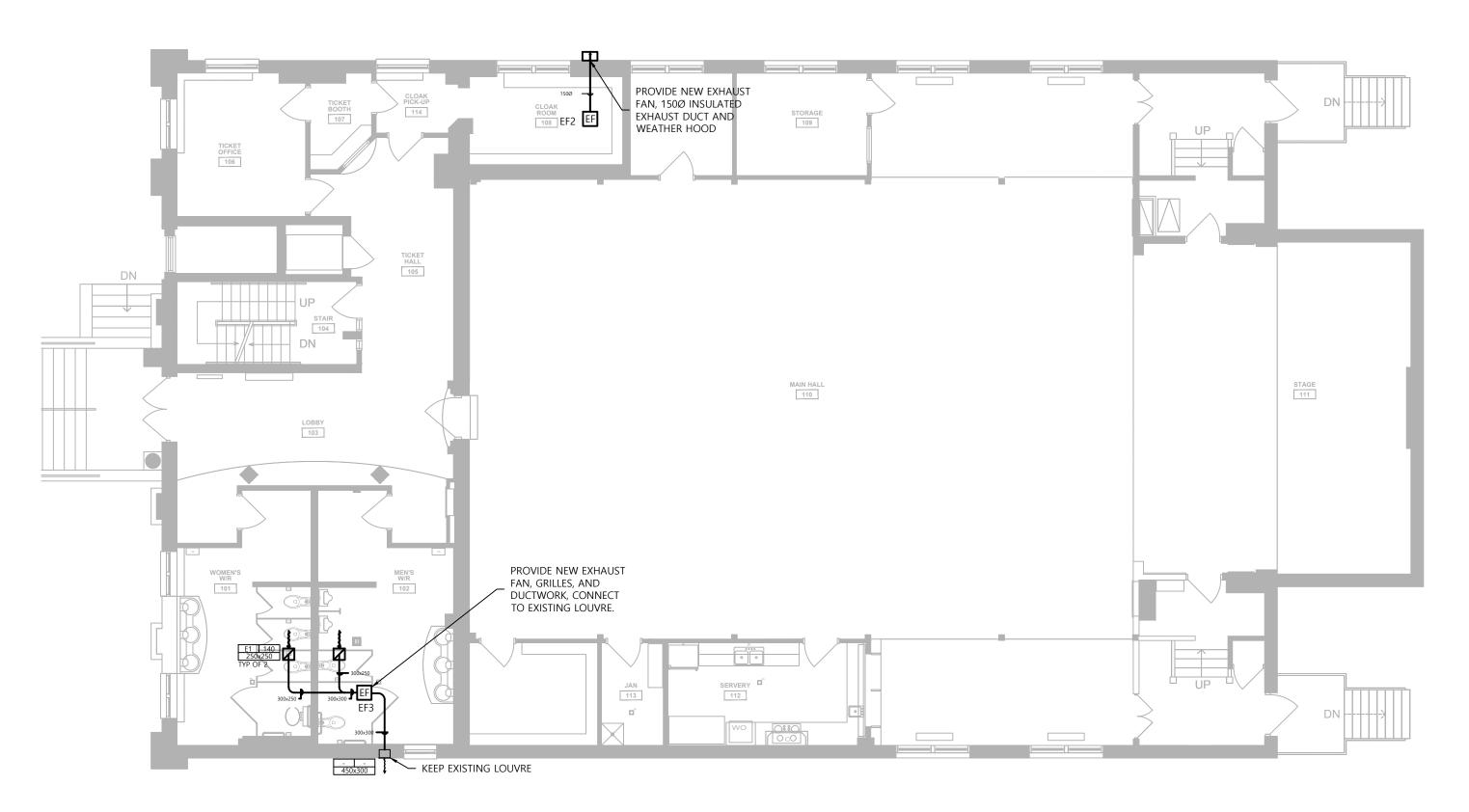
TITLE: MECHANICAL
MECHANICAL BASEMENT LAYOUTS AS STATED CHECKED: SCALE AT ARCH D: 25130 PROJECT NO:

DRAWING NO:

REVISION:



# L1 HVAC LAYOUT DEMO



L1 HVAC LAYOUT RETROFIT

1:100

A HERITAGE PERMIT 2025-06-09 CLIENT REVIEW - 50% 2025-04-08 DATE REV. DESCRIPTION

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DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES

SITE: CLARKE MEMORIAL HALL

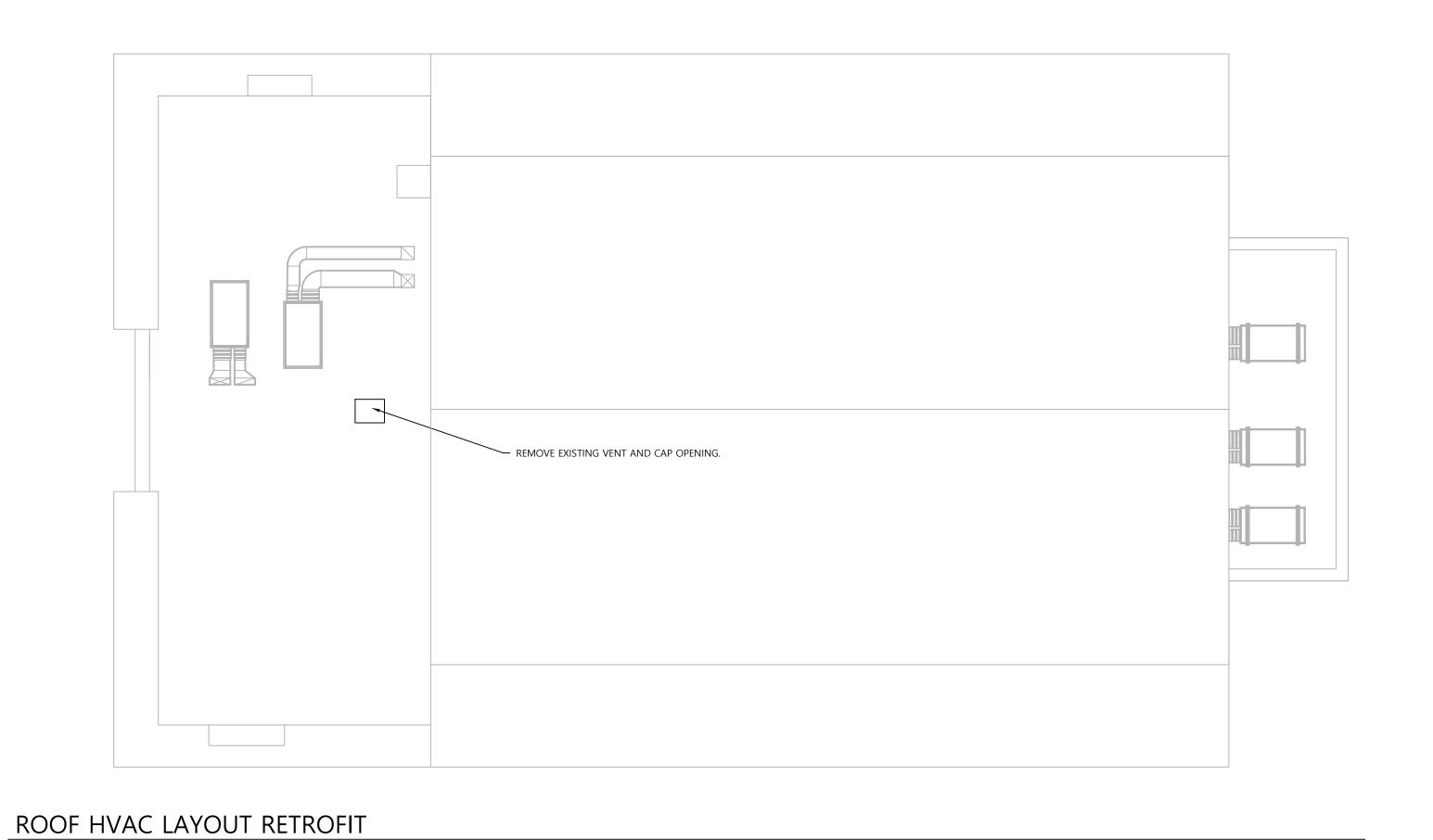
161 LAKESHORE RD W

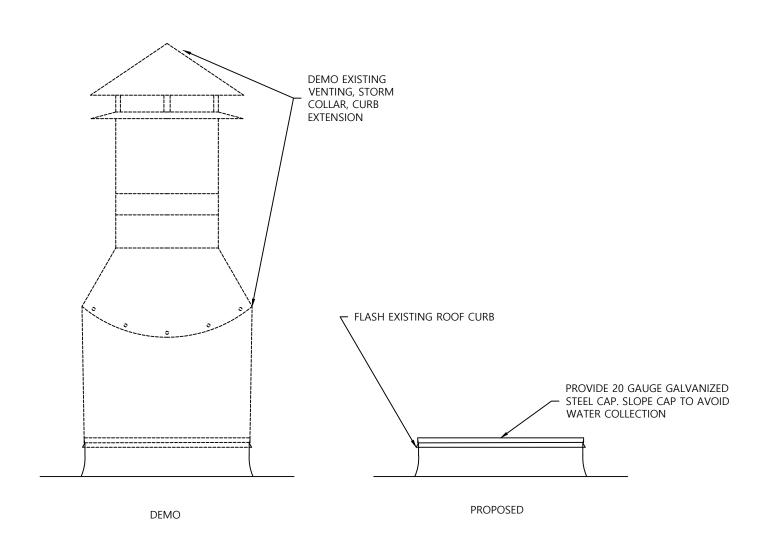
MISSISSAUGA, ONTARIO L5H 1G3

PROJECT: CLARKE MEMORIAL HALL RENOVATION

TITLE: MECHANICAL HVAC L1 LAYOUTS

AS STATED JD SCALE AT ARCH D: CHECKED: 25130 M20 project no: Drawing no: REVISION:





ROOF VENT DETAIL SCALE: NTS

A HERITAGE PERMIT 2025-06-09 2025-04-08 CLIENT REVIEW - 50% DATE REV. DESCRIPTION



JDX Advance Services Inc. 687 Barton Street, Suite 106 Stoney Creek, Ontario 289-329-0918 | www.JDXadvance.com

CLIENT: CHERIE NG ARCHITECT INC.

OWNER: CITY OF MISSISSAUGA
300 CITY CENTRE DRIVE
MISSISSAUGA, ON L5B 3C1

drawings to be used only for indicated purposes SITE: CLARKE MEMORIAL HALL
161 LAKESHORE RD W
MISSISSAUGA, ONTARIO L5H 1G3

PROJECT: CLARKE MEMORIAL HALL RENOVATION

TITLE: MECHANICAL HVAC ROOF LAYOUTS AS STATED CHECKED: SCALE AT ARCH D: 25130 M20
PROJECT NO: DRAWING NO:

REVISION:

- 2. PERFORM WORK IN A CLEAN AND WORKMANLIKE MANNER. EXERCISE CARE TO DISRUPTION TO OTHER AREAS OF THE BUILDING WHICH ARE TO REMAIN IN OPERATION. ISOLATE WORK AREAS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA
- 3. THE DRAWINGS ARE INTENDED TO BE DIAGRAMMATIC AND ARE DEVELOPED ON THE INDICATED BASIS OF DESIGN EQUIPMENT. ALL ITEMS MAY NOT BE SHOWN OR NOT SHOWN IN THEIR EXACT LOCATION, OR WITH EXACT DIMENSIONS AND DETAILS. THE CONTRACTOR SHALL VERIFY THE ACTUAL DIMENSIONS OF THE EQUIPMENT PROPOSED TO ENSURE THAT THE EQUIPMENT WILL FIT IN THE AVAILABLE SPACE.
- 4. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. WHERE DISCREPANCIES OCCUR BETWEEN THESE DOCUMENTS AND EXISTING CONDITIONS, REPORT THE CONDITIONS AND/OR ENGINEER.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF THEIR OWN 16. WIRING DEVICES: INSTALL SWITCHES, RECEPTACLES, WIRING DEVICE, AND PROPERTY ON THE JOB SITE. OWNER ASSUMES NO RESPONSIBILITY FOR PROTECTION OF PROPERTIES.
- 6. PRIOR TO STARTING CONSTRUCTION, DETERMINE EXACT INVERT ELEVATION, SIZE, DEPTH AND LOCATION OF EXISTING UTILITIES WHERE CONNECTIONS ARE TO BE MADE OR INTERSECTIONS OCCUR. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS.
- 7. CONSTRUCT WORK TO ALL APPLICABLE CODES, LAWS AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK. CORRECT ANY WORK IN VIOLATION OF ABOVE.

8. INSTALL OR ERECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S

- INSTRUCTIONS. OBTAIN WRITTEN INSTRUCTIONS DIRECTLY FROM
- 9. PROVIDE AND MAINTAIN TEMPORARY FIRE PROTECTION DURING PERFORMANCE OF THE WORK.
- 10.INSTALL WORK SO AS TO BE READILY ACCESSIBLE FOR OPERATION, MAINTENANCE AND REPAIR. PROVIDE SLEEVES AND ACCESS DOORS
- REQUIRED FOR THE SERVICING OF CONCEALED EQUIPMENT. 11.REMOVE AND RELOCATE EXISTING WORK AS REQUIRED, NECESSARY FOR THE PERFORMANCE OF THE GENERAL WORK. ALL EXISTING CONDITIONS MAY NOT BE COMPLETELY DETAILED ON THE DRAWINGS. CONTRACTOR TO SURVEY THE SITE AND INCLUDE ALL CHANGES IN MAKING UP THE WORK
- PROPOSAL. 12. SEAL ALL OPENINGS AROUND CABLES AND CONDUITS THROUGH PARTITIONS AND WALLS WITH APPROVED FIRESTOPPING MATERIAL. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE AND SMOKE SEAL RATINGS OF
- 13. CONSTRUCT WORK IN A MANNER SATISFACTORY TO THE OWNER. 14.CLEAN FROM ALL FIXTURES AND EQUIPMENT DUST, DIRT, FINGER-PRINTS,
- TOUCH UP SURFACES OF SHOP-PAINTED EQUIPMENT SCRATCHED OR MARRED DURING SHIPMENT OR INSTALLATION, TO MATCH ORIGINAL 15. COORDINATE WORK OF OTHER TRADES (MECHANICAL, SPRINKLER,

PAINT GREASE CONSTRUCTION AND DEMOLITION DERRIS CLEAN AND

- STRUCTURAL, ETC.). ENSURE THAT PROPER ARRANGEMENTS AND PROVISIONS ARE MADE FOR THIS WORK. COORDINATE ELECTRICAL REQUIREMENTS OF ALL OWNER-SUPPLIED EQUIPMENT PRIOR TO ROUGH-IN.
- 1. THE CONTRACTOR SHALL SECURE ALL PERMITS OR APPLICATIONS AND PAY ANY AND ALL FEES.
- EQUIPMENT AND WIRING . MATERIALS AND EQUIPMENT: ALL ELECTRICAL PRODUCTS SHALL BE TESTED, CERTIFIED, AND LABELED IN ACCORDANCE WITH A CERTIFICATION PROGRAM ACCREDITED BY THE STANDARDS COUNCIL OF CANADA, CSA. WHERE A PRODUCT IS NOT SO LABELED, PROVIDE WRITTEN APPROVAL BY THE AUTHORITY HAVING JURISDICTION. WHERE CSA CERTIFIED MATERIAL AND/OR EQUIPMENT IS NOT AVAILABLE, OBTAIN SPECIAL APPROVAL FROM AUTHORITY HAVING JURISDICTION.
- 2. MOTORS, ELECTRIC HEATING, CONTROLS AND DISTRIBUTION DEVICES AND EQUIPMENT TO OPERATE SATISFACTORILY AT 60HZ WITHIN NORMAL OPERATING LIMITS ESTABLISHED BY CAN3-C235 (PREFERRED VOLTAGE LEVELS FOR AC SYSTEMS, 0 TO 50,000V). EQUIPMENT TO OPERATE IN EXTREME OPERATING CONDITIONS ESTABLISHED IN ABOVE STANDARD AT 40°C AMBIENT WITHOUT DAMAGE TO EQUIPMENT.
- 3. VERIFY INSTALLATION AND COORDINATION RESPONSIBILITIES RELATED TO MOTORS, EQUIPMENT AND CONTROLS. CONTROL WIRING TO BE PROVIDED

  30.ELECTRICAL DISTRIBUTION COMPONENTS TO BE FROM ONE OF THE BY MECHANICAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 4. WARNING SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITY HAVING JURISDICTION. 5. WIRING AND RACEWAYS:
- 5.1. CONDUCTORS TO BE COPPER, MINIMUM SIZE: 12 AWG. ACCORDANCE WITH LATEST ELECTRICAL CODE.
- 5.3. ARMOURED CABLES (AC90) SHALL ONLY BE USED FOR FINAL CONNECTIONS TO LIGHT FIXTURES IN LENGTH NOT EXCEEDING 8', AND FOR RUNS CONCEALED IN STEEL PARTITIONS. PROVIDE SUFFICIENT JUNCTION BOXES AT CEILING TO MAINTAIN NEAT CEILING SPACE AND KEEP EXPOSED ARMOURED CABLES LESS THAN 8' IN LENGTH. 5.4. MINIMUM CONDUIT SIZE: 3/4" EMT OR OF TYPE APPROVED FOR
- INTENDED USE AND AREA INSTALLED. 5.5. INSTALL CONDUITS TO CONSERVE HEADROOM IN EXPOSED LOCATIONS AND CAUSE MINIMUM INTERFERENCE IN SPACES THROUGH WHICH THEY
- 5.6. CONCEAL CONDUITS EXCEPT IN UNFINISHED AREAS. RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES. 5.7. PROVIDE BOXES AND FITTINGS SUITABLE FOR INTENDED USE AND AREA
- INSTALLED. 5.8. ENSURE LUGS, TERMINALS, SCREWS USED FOR TERMINATION OF WIRING ARE SUITABLE FOR EITHER COPPER OR ALUMINUM CONDUCTORS.
- 5.9. BOND AND GROUND AS REQUIRED TO LATEST EDITION OF ONTARIO ELECTRICAL SAFETY CODE. 6. IDENTIFY ELECTRICAL EQUIPMENT WITH LAMACOID NAMEPLATES (3MM THICK PLASTIC ENGRAVING SHEET, MATTE WHITE FINISH FACE, BLACK CORE). WORDING ON NAMEPLATE TO BE APPROVED BY CONSULTANT
- PRIOR TO MANUFACTURE. 7. COLOUR CODE CONDUITS, BOXES, AND METALLIC SHEATHED CABLES. CODE WITH PLASTIC TAPE OR PAINT - INSIDE BOXES IN AREAS WITH EXPOSED CEILINGS AND IN FINISHED AREAS; AT POINTS WHERE CONDUITS OR CABLES ENTERS WALL, CEILING, OR FLOOR, AND AT 50' INTERVALS: YELLOW FOR 600V; BLUE FOR 208V; RED FOR FIRE ALARM, AND NONE FOR
- 8. CONFIRM FINISHES OF EQUIPMENT DURING SHOP DRAWING SUBMITTALS. 9. MOUNTING HEIGHT OF EQUIPMENT IS FROM FINISHED FLOOR TO CENTRELINE OF EQUIPMENT UNLESS SPECIFIED OR INDICATED OTHERWISE. CONFIRM ALL HEIGHTS WITH LOCAL INSPECTORS PRIOR TO ROUGH-IN TO ENSURE THEY MEET LOCAL INTERPRETATION OF CODE.
- 9.1. LOCAL SWITCHES: 43" 9.2. WALL RECEPTACLES: 12" OR MATCH EXISTING
- 9.3. WALL RECEPTACLES ABOVE TOP OF COUNTERS OR COUNTER SPLASH BACKS: 7"
- 9.4. WALL RECEPTACLES IN MECHANICAL ROOMS: 43" 9.5. PANEL BOARDS: AS REQUIRED BY CODE
- 9.6. TELEPHONE AND DATA OUTLETS: 12" OR MATCH EXISTING 9.7. OPERATOR PUSHBUTTONS: 43" (CONFIRMED WITH BUILDING INSPECTOR)
- 9.8. THERMOSTATS: 43" 9.9. MANUAL PULL STATIONS: 47"
- 9.10. VISUAL SIGNAL DEVICES : TOP OF DEVICE 94" AFF WHERE CEILING HEIGHTS ALLOW, ELSE TOP OF 9.11. DEVICE 6" BELOW CEILING (ENTIRE LENS FOR VISUAL SIGNAL
- COMPONENT MUST BE BETWEEN 79" AND 94" AFF). 9.12. END OF LINE RESISTORS: TOP OF DEVICE 70" AFF.
- 9.13. EMERGENCY TELEPHONE HANDSETS: 53-59" AFF CONFIRMED WITH LOCAL BUILDING OFFICIAL
- 10.PRIOR TO ROUGH-IN LOCATE ADJACENT OUTLET BOXES 6" APART UNLESS NOTED OTHERWISE (DO NOT SCALE DRAWINGS).
- 11.COORDINATE WITH ENGINEER. OWNER MAY CHANGE LOCATION OF OUTLETS PRIOR TO INSTALLATION WITH NO CHANGE TO CONTRACT PRICE, PROVIDED DISTANCE DOES NOT EXCEED 10' FROM ORIGINAL LOCATION. 12.MECHANICAL EQUIPMENT CONNECTIONS: PROVIDE CONNECTIONS TO
- 13.PROVIDE CONDUIT ROUGH-IN FOR MECHANICAL CONTROLS AS PER MECHANICAL EQUIPMENT SCHEDULE.
- 14.COORDINATE MECHANICAL POWER AND CONTROL WIRING REQUIREMENTS PRIOR TO ROUGH-IN.

MECHANICAL EQUIPMENT AS PER DRAWINGS

- 15. HANGERS AND SUPPORTS: INSTALL FASTENING AND SUPPORTS AS REQUIRED FOR EACH TYPE OF EQUIPMENT, CABLES, AND CONDUITS, IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION
- RECOMMENDATIONS. 15.1. SECURE EQUIPMENT TO HOLLOW MASONRY, TILE AND PLASTER SURFACES WITH LEAD ANCHORS

### 15.2. SECURE EQUIPMENT TO POURED CONCRETE WITH EXPANDABLE

- 15.3. SECURE EQUIPMENT TO HOLLOW MASONRY WALLS OR
- SUSPENDED CEILINGS WITH TOGGLE BOLTS
- 15.4. FASTEN EXPOSED CONDUIT OR CABLES TO BUILDING CONSTRUCTION OR SUPPORT SYSTEM USING STRAPS 15.5. FOR SURFACE MOUNTING OF TWO OR MORE CONDUITS USE
- UNISTRUT CHANNELS. 15.6. PROVIDE METAL BRACKETS, FRAMES, HANGERS, CLAMPS, AND RELATED TYPES OF SUPPORT STRUCTURES WHERE INDICATED OR AS
- REQUIRED TO SUPPORT CONDUIT AND CABLE RUNS. ENSURE ADEQUATE SUPPORT FOR RACEWAYS AND CABLES DROPPED VERTICALLY TO EQUIPMENT WHERE THERE IS NO SUPPORT
- 15.8. DO NOT USE SUPPORTS OR EQUIPMENT INSTALLED FOR OTHER TRADES FOR CONDUIT OR CABLE SUPPORT EXCEPT WITH PERMISSION OF
- OTHER TRADES AND APPROVAL OF ENGINEER.
- COVERS FLUSH AND LEVEL WITH BUILDING LINES. ENSURE THAT OUTLET BOXES ARE CLEAN PRIOR TO INSTALLING DEVICES. SWITCHES, RECEPTACLES, AND WIRING DEVICES TO BE
- SPECIFICATION GRADE, DECORA STYLE, DEVICE COLOUR TO BE DETERMINED DURING SHOP DRAWING REVIEW.
- 16.2. COVER PLATES TO BE WHITE. THERMOPLASTIC COVER PLATE TO MATCH DEVICE COLOUR MAY BE SELECTED DURING SHOP DRAWING REVIEW STAGE.
- 17.LOAD BALANCING: MEASURE PHASE CURRENT TO PANELBOARD WITH NORMAL LOADS (LIGHTING) OPERATING AT TIME OF ACCEPTANCE; ADJUST BRANCH CIRCUIT CONNECTIONS AS REQUIRED TO OBTAIN BEST BALANCE OF CURRENT BETWEEN PHASES AND RECORD CHANGES.
- MEASURE PHASE VOLTAGES AT 18.LOADS AND ADJUST TRANSFORMER TAPS TO WITHIN 2% OF RATED VOLTAGE OF EQUIPMENT. PROVIDE LOAD BALANCE REPORT AT END OF
- 19.MEGGER TEST: PROVIDE MEGGER TEST (1000V) OF UNDERGROUND SECONDARY CONDUCTORS PRIOR TO ENERGIZING SERVICE. ENGINEER TO
- 20.FUSES: PROVIDE CLASS J, TIME DELAY FUSES IN ALL FUSED DISCONNECT SWITCHES. ENSURE CORRECT FUSES FITTED TO PHYSICALLY MATCH
- 21.PANELBOARDS: MAINS, NUMBER OF CIRCUITS, AND NUMBER AND SIZE OF BRANCH CIRCUIT BREAKERS, WITHSTAND CURRENT, AS INDICTED ON PANEL SCHEDULES. PANELBOARDS MUST BE SHIPPED WITH HINGED AND LOCKABLE DOORS. BREAKERS ARE TO BE BOLT-ON THERMAL AND MAGNETIC TRIPPING EXCEPT AS INDICATED OTHERWISE. PROVIDE LOCK-ON DEVICES FOR FIRE ALARM, EMERGENCY, STAIRWAY, AND EXIT CIRCUITS. REFER TO SINGLE-LINE DIAGRAM AND RELATED NOTES FOR
- ADDITIONAL EQUIPMENT REQUIREMENTS. 22.INSTALL PANEL BOARDS ON G1S PAINTED PLYWOOD BACKBOARDS. 23.DISCONNECT SWITCHES: PROVIDE FUSIBLE HEAVY-DUTY DISCONNECT SWITCHES WITH PROVISION FOR PADLOCKING IN ON-OFF SWITCH POSITION
- BY THREE LOCKS, AND MECHANICALLY INTERLOCKED DOOR. 24.CONDUCTOR RUNS WITH ANY PORTION OUTDOORS AND/OR
- UNDERGROUND TO BE RWU90. ALL OTHER RUNS RW90. 25.PROVIDE SEPARATE INSULATED BONDING CONDUCTOR IN EACH CONDUIT REGARDLESS OF CONDUIT MATERIAL. SIZE BONDING CONDUCTORS TO
- 26.CIRCUIT BREAKERS 400A AND LARGER TO HAVE ADJUSTABLE LSI TRIP
- 27.PROVIDE GROUNDING AND BONDING AS REQUIRED BY OESC, ELECTRIC UTILITY, AND EQUIPMENT MANUFACTURERS, INCLUDING BUT NOT LIMITED TO GROUNDING RODS AND GROUNDING ARRAY AT UTILITY
- 28.PERFORM ARC-FLASH HAZARD ANALYSIS AND PROVIDE ARC-FLASH WARNING LABELS ON ALL ELECTRICAL COMPONENTS RATED 60A OR GREATER. HAZARD ANALYSIS TO BE PERFORMED BY LICENSED PROFESSIONAL ENGINEER IN ONTARIO. SUBMIT ENGINEER'S REPORT. 29.PERFORM PROTECTIVE DEVICE COORDINATION STUDY TO ENSURE
- COORDINATION BETWEEN PROTECTIVE DEVICES. ANALYSIS TO BE PERFORMED BY LICENSED PROFESSIONAL ENGINEER IN ONTARIO. SUBMIT ENGINEER'S REPORT. ADJUST DEVICE TRIP SETTINGS BASED ON REPORT
- FOLLOWING MANUFACTURERS: EATON, SCHNEIDER, SIEMENS. 31.PROVIDE MINIMUM 3 INCH HIGH CONCRETE HOUSEKEEPING PADS FOR ALL FLOOR MOUNTED ELECTRICAL EQUIPMENT. 32.UTILITY TRANSFORMER AND PRIMARY WIRING BY ELECTRIC UTILITY.
- CONTRACTOR TO PROVIDE SECONDARY DUCT BANK, SECONDARY CONDUCTORS, TRANSFORMER BASE, AND OTHER ACCESSORIES REQUIRED

MOUNTING HEIGHT

DESCRIPTION

LED VAPOR-TIGHT STRIP LIGHT

			PAN	IEL A			
/OLTAGE (V)	): 120 / 240			ENCLOSU	RE TYPE:	42 SLOT	
PHASES:	1 φ 3 W			MOUNTIN	IG:	SURFACE	
MAINS (A):	100 A MCB			PANEL RA		100 A	
AIC (A):	10000			NOTES:	107 UTILI	TY ROOM	
CCT NO	DESCRIPTION	TRIP AMPS	POLE	POLE	TRIP AMPS	DESCRIPTION	CCT NO
A-1	EM	15	1	1	15	EM	A-2
A-3	EM	15	1	1	15	EM	A-4
A-5	ELEVATOR ROOM GFCI	15	1	1	20	OUTDOOR RECP	A-6
A-7	ACCESS CONTROL PANEL	15	1	1	15	EXISTING UNLABELLED	A-8
A-9	PUMPS	15	1	1	20	ALLEY/REAR LIGHTS	A-10
A-11,13	SYSTEM PUMP	20	2	1	15	TEMP HEATER	A-12
A-11,13	SYSTEM PUMP	20	2	1	15	TEMP HEATER	A-14
A-15,17	EXISTING UNLABELLED	40	2	1	15	EXTERIOR LIGHTS	A-16
A-15,17	EXISTING UNLABELLED	40	2	1	15	EXTERIOR LIGHTS	A-18
A-19	FMC	15	1	1	15	TEMP HEATER	A-20
A-21	FMC	15	1	1	15	EXISTING UNLABELLED	A-22
A-23	EMS	15	1	1	15	EXISTING UNLABELLED	A-24
A-25	ELEVATOR PIT LIGHT	15	1	1	15	EXISTING UNLABELLED	A-26
A-27	EXISTING UNLABELLED	20	1	1	20	OUTSIDE SIGN (5MA GFI BREAKER)	A-28
A-29	ELEVATOR PIT GFCI	20	1	1	15	OUTSIDE RECP	A-30
A-31	BOILER	20	1	2	20	HTR	A-32,34
A-33,35	HTR	20	2	2	20	HTR	A-32,34
A-33,35	HTR	20	2	2	20	HTR	A-36,38
A-37	103 LOBBY PDO	15	1	2	20	HTR	A-36,38
A-39	SPARE	15	1	1	0	SPACE	A-40
A-41	SPARE	15	1	1	0	SPACE	A-42

			PAN	EL RP			
VOLTAGE (V	): 120 / 240			ENCLOSU	RE TYPE:	24 SLOT	
PHASES:	1 φ 3 W			MOUNTIN	NG:	SURFACE	
MAINS (A):	100 A MLO			PANEL RA	TING (A):	100 A	
AIC (A):	0			NOTES:	113 JANIT	OR ROOM	
CCT NO	DESCRIPTION	TRIP AMPS	POLE	POLE	TRIP AMPS	DESCRIPTION	CCT NO
RP-1	BLANK	0	1	1	0	BLANK	RP-2
RP-3	BLANK	0	1	1	15	WINDOW OPERATOR	RP-4
RP-5	HOOD VENT	15	1	1	15	PLUG #4 BOTTOM	RP-6
RP-7	PLUG #10 BOTTOM	15	1	1	15	PLUG #4 TOP	RP-8
RP-9	PLUG #9 BOTTOM	15	1	1	15	PLUG #2 BOTTOM	RP-10
RP-11	PLUG #9 TOP	15	1	1	15	PLUG#2 TOP	RP-12
RP-13	UNDER BAR LOWER SECTION	15	1	1	15	PLUG #5 BOTTOM	RP-14
RP-15	PLUG #6,7 MICROWAVE	15	1	1	15	PLUG #5 TOP	RP-16
RP-17	PLUG #8 BOTTOM	15	1	1	15	PLUG #3 TOP	RP-18
RP-19	PLUG #8 TOP	15	1	1	15	PLUG #3 BOTTOM	RP-20
RP-21,23	STOVE	40	2	1	20	PLUG #1 TOP	RP-22
RP-21,23	STOVE	40	2	1	20	PLUG #1 BOTOM	RP-24

NOTE

EXTERIOR LIGHTING FIXTURE SCHEDULE

BJTAKE

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SECURITY SYMBOLS					
ES	ELECTRICAL STRIKE				
CR	CARD READER				
DC	DOOR CONTACT				
FDC	FIRE DOOR CLOSER				
KP	SECURITY KEYPAD				
WO PO	WAVE / PUSH TO OPEN				
WL PL	WAVE / PUSH TO LOCK				
PDO	POWER DOOR OPERATOR				
RX	REQUEST TO EXIT				
RXM	REQUEST TO EXIT MOTION SENSOR				
АТ	ALARM AND TIMER				
ML	MAGNETIC LOCK				
EPS EPB	EMERGENCY PANIC STRIP / BUTTON				
	SECURITY CAMERA				
· · · · · · · · · · · · · · · · · · ·					

	LICUTING CVMDOLC LECEND
	LIGHTING SYMBOLS LEGEND
SPACE LIGHTING	
\$	WALL MOUNTED SINGLE POLE SWITCH
\$ os	WALL MOUNTED SINGLE POLE SWITCH W/ OCCUPANCY SENSOR
\$ □	WALL MOUNTED SINGLE POLE SWITCH W/ DIMMING

PC	OWER DISTRIBUTION LEGEND			J
Φ	120V-15A, 1Φ-2W GROUNDED DUPLEX RECEPTACLE, WALL MOUNTED			2
	120V-15A, 1Φ-2W GROUNDED DUPLEX RECEPTACLE, IN COMMON FLUSH BOX, FLOOR MOUNT UON	CLIEN	NT:	CHE
<b>P</b>	120V-15A, 1Ф-3W GROUNDED DOUBLE DUPLEX RECEPTACLE IN COMMON BOX, WALL MOUNTED			
	120V-15A, 1Φ-3W GROUNDED DOUBLE DUPLEX RECEPTACLE, IN COMMON FLUSH BOX, FLOOR MOUNT UON	OWN		CITY 300 CI1
0	120V, AMPACTY PER CIRCUIT, 1Φ-3W GROUNDED DUPLEX RECEPTACLE, WALL MOUNTED		ı	MISSIS:
<b>O</b>	208/240V-15A, 1Φ-3W GROUNDED DUPLEX RECEPTACLE, WALL MOUNTED	SEAL		
1.1	208/240V, AMPACITY PER CIRCUIT, 1Φ-3W GROUNDED DUPLEX RECEPTACLE, WALL MOUNTED			
	POWER DIRECT CONNECTION TO EQUIPMENT AS INDICATED			
	POWER PANEL SURFACE MOUNTED			
	POWER PANEL RECESSED MOUNTED			
	DISTRIBUTION BOARD		DRAM	/INGS TC
	DISCONNECT SWITCH - FUSED, NON-FUSED	SITE:	(	CLAF
-0-0-	SWITCH, NON-FUSED			161 LA MISSIS:
- 0	TRANSFER SWITCH	PROJ	IECT: (	CLARK
15A 1P	CIRCUIT BREAKER	TITLE		ELEC
15A 1P	SWITCH, FUSED			NOTES,
<b>→</b>	CONDUIT RUN TO PANEL	SCAL	<b>N/</b> E AT A	<b>/A</b> ARCH D:
1	ELECTRICAL FEEDER FROM UPSTREAM ELECTRICAL SERVICE	2	513	30

SHEET LIST SCHEDULE		
UMBER	SHEET TITLE	
00	NOTES, LEGENDS AND SCHEDULES	
00	POWER BASEMENT LAYOUTS	
01	POWER L1 LAYOUTS	
00	SLD	

2025-06-09

2025-04-08

DATE

CHECKED:

JDX Advance Services Inc. 687 Barton Street, Suite 106 Stoney Creek, Ontario 289-329-0918 | www.JDXadvance.com

HERITAGE PERMIT

REV. DESCRIPTION

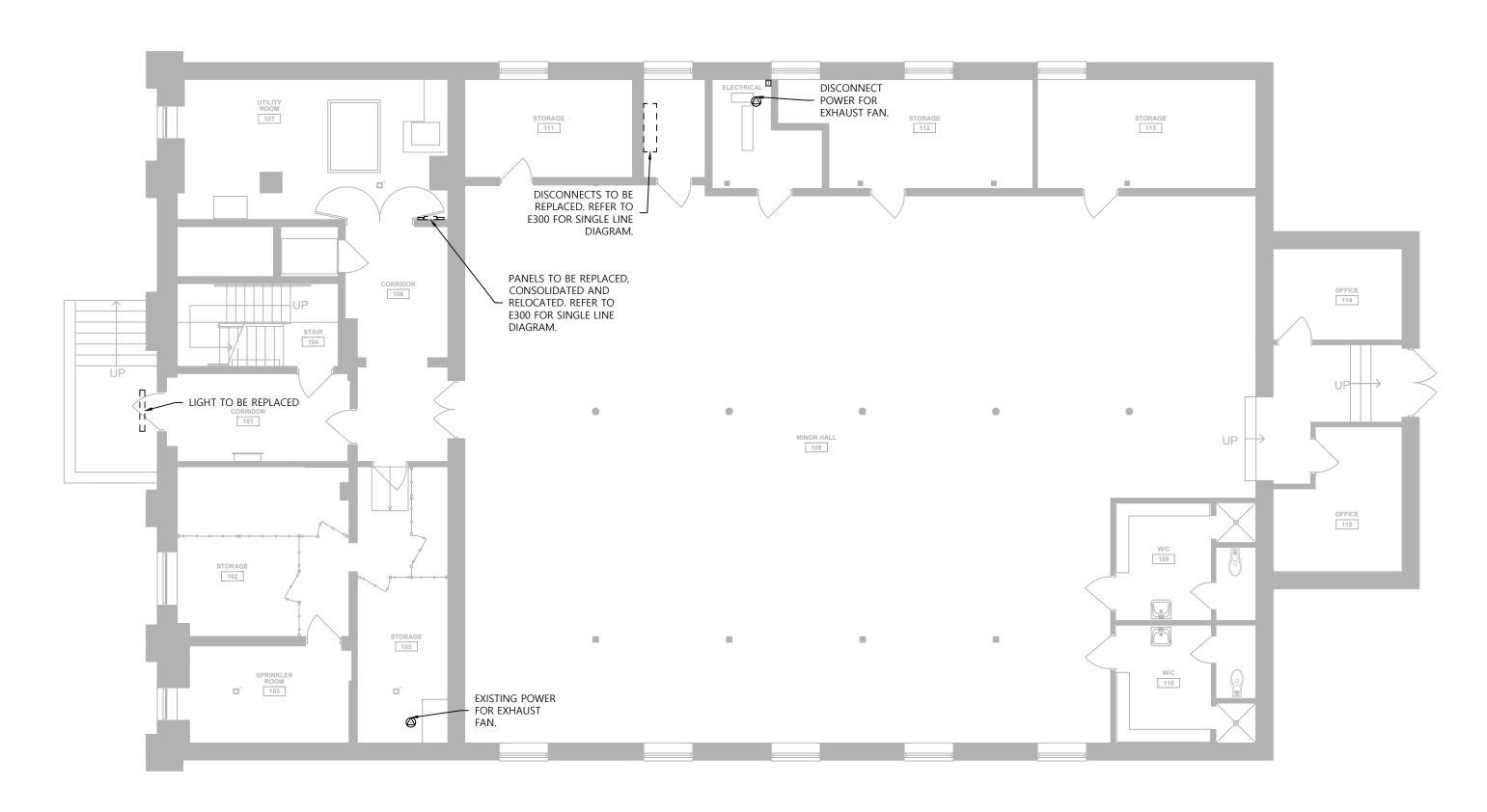
PROJECT NO:

CLIENT REVIEW - 50%

int: Cherie NG Architect inc.

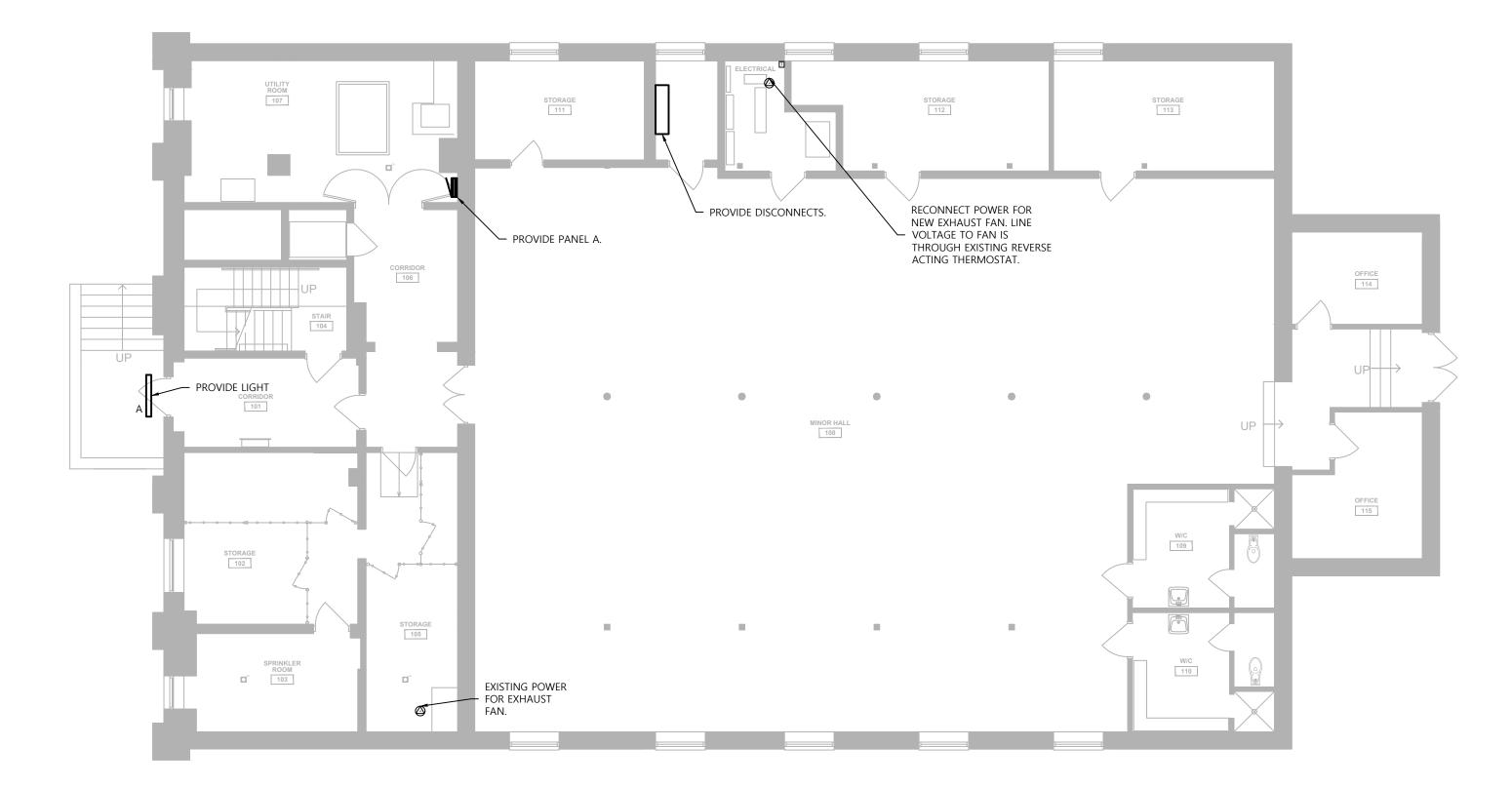
^{(NER:} CITY OF MISSISSAUGA 300 CITY CENTRE DRIVE MISSISSAUGA, ON L5B 3C1 DRAWINGS TO BE USED ONLY FOR INDICATED PURPOSES CLARKE MEMORIAL HALL 161 LAKESHORE RD W MISSISSAUGA, ONTARIO L5H 1G3 DJECT: CLARKE MEMORIAL HALL RENOVATION ELECTRICAL NOTES, LEGENDS AND SCHEDULES

DRAWING NO:

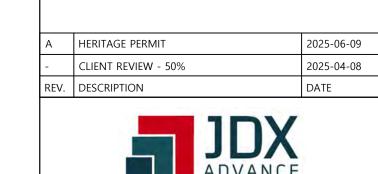


# BASEMENT POWER LAYOUT DEMO

1:100



# BASEMENT POWER LAYOUT RETROFIT

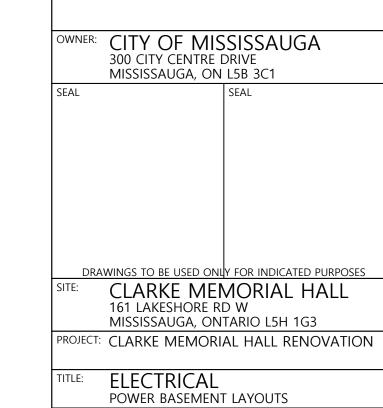


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CLIENT: CHERIE NG ARCHITECT INC.

CHECKED:

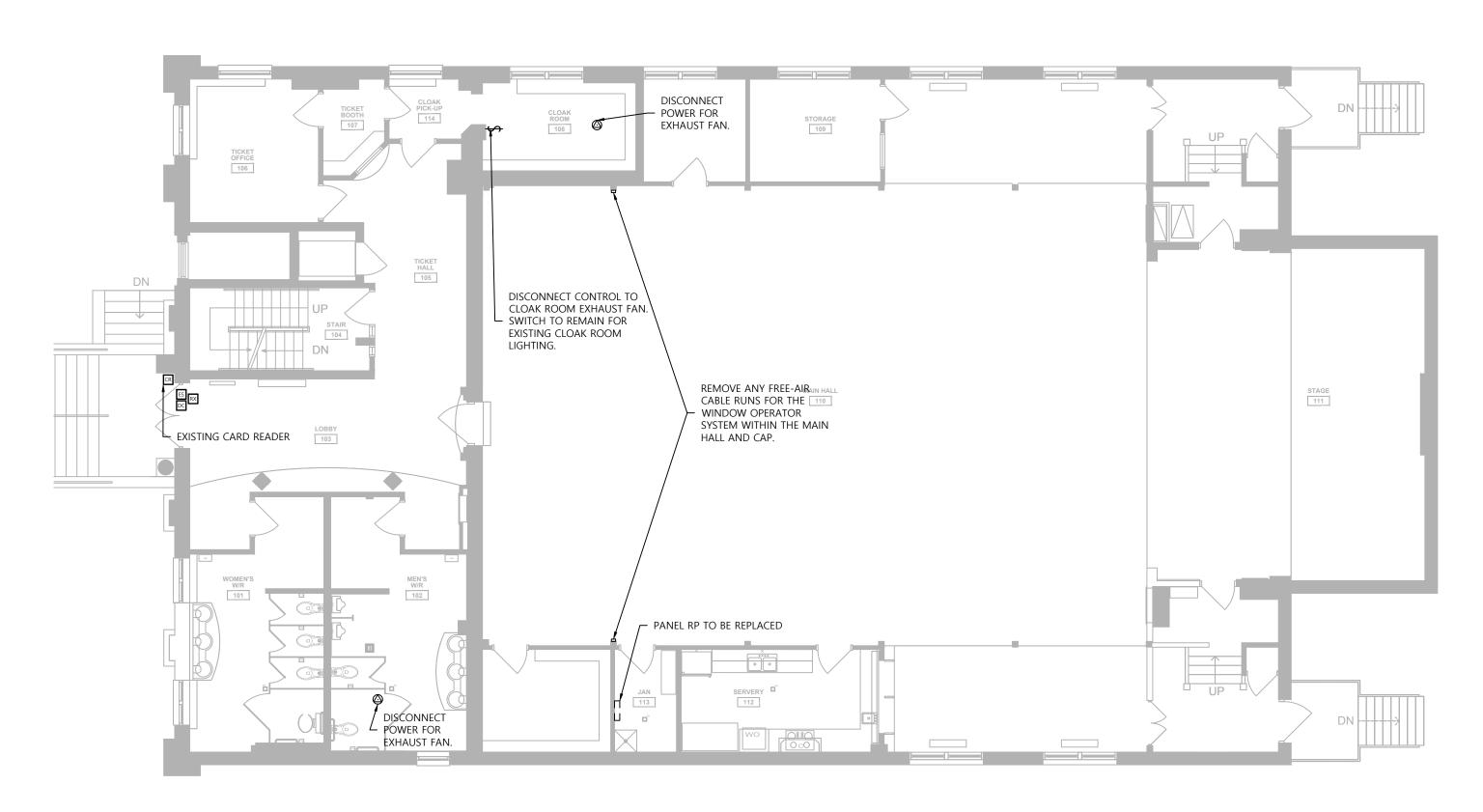
REVISION:



AS STATED

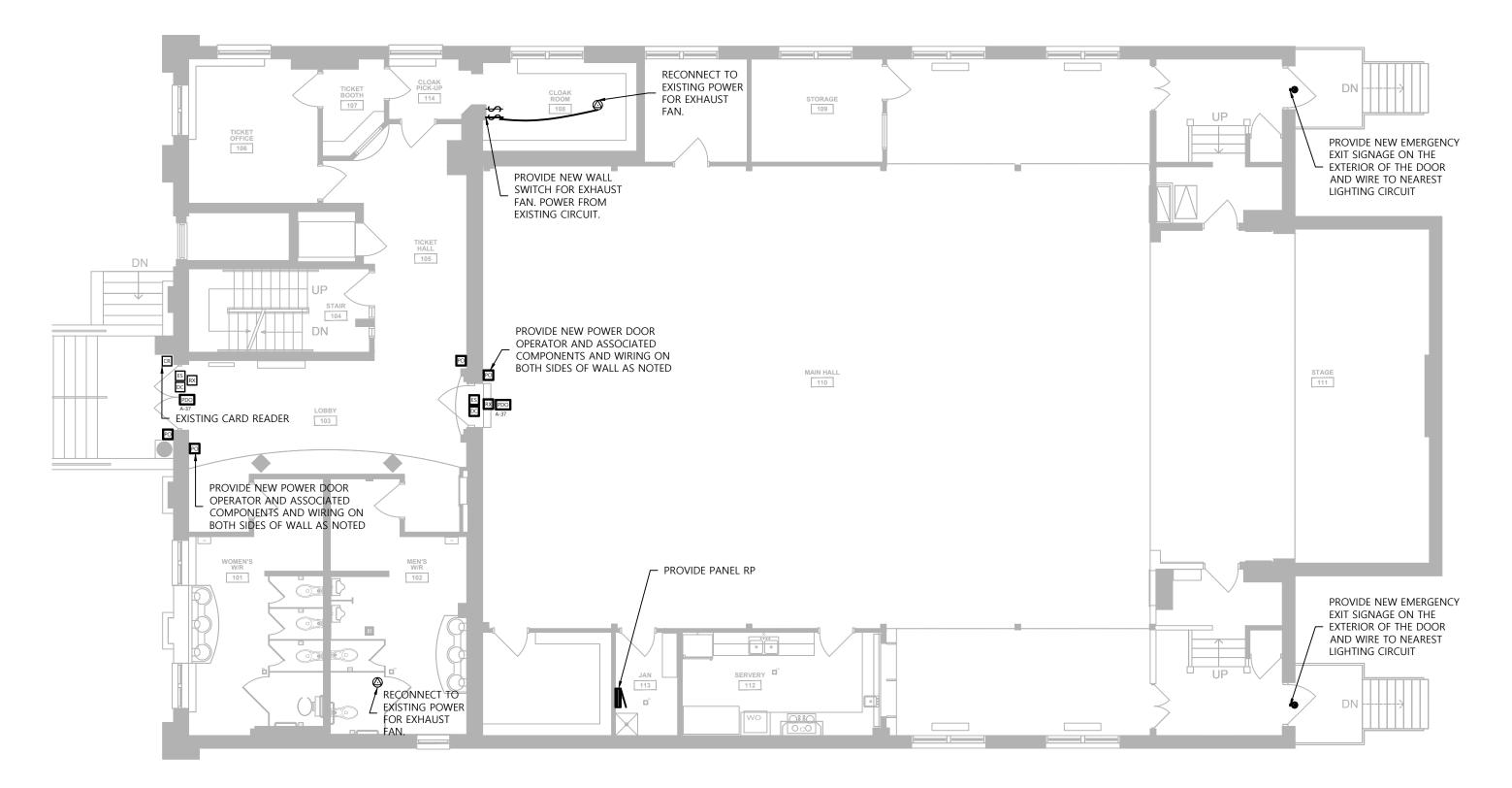
25130 E200 PROJECT NO: DRAWING NO:

SCALE AT ARCH D:



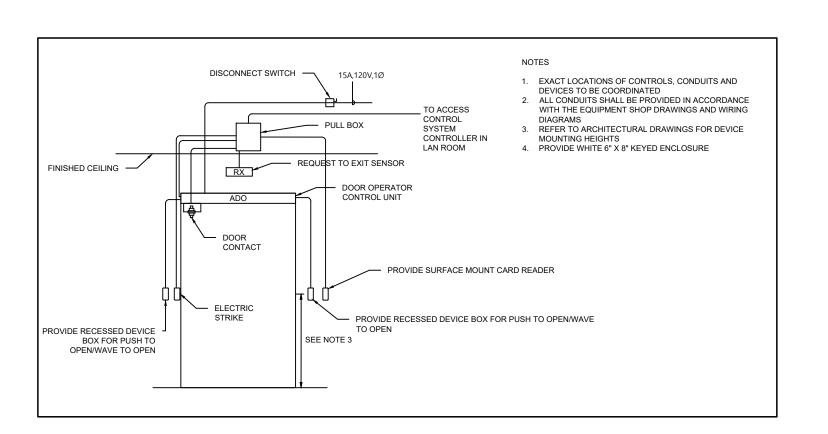
# L1 POWER LAYOUT DEMO

1:100

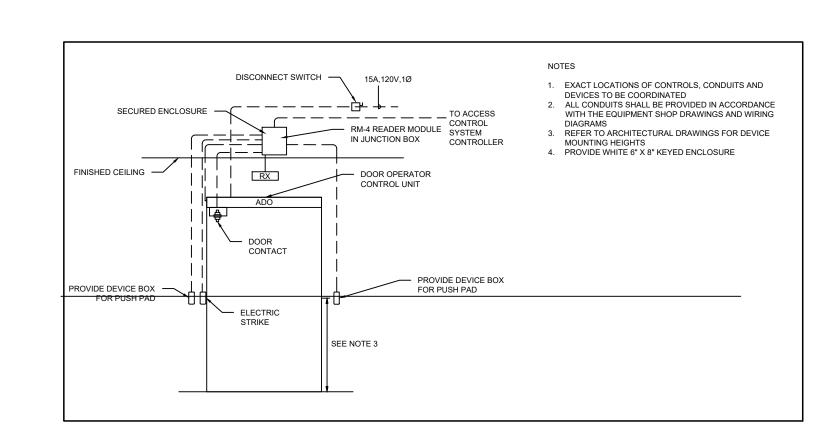


# L1 POWER LAYOUT RETROFIT

1:100

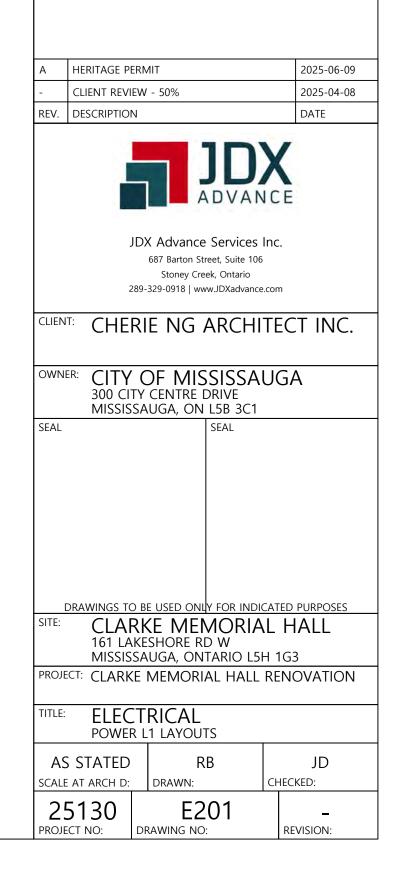


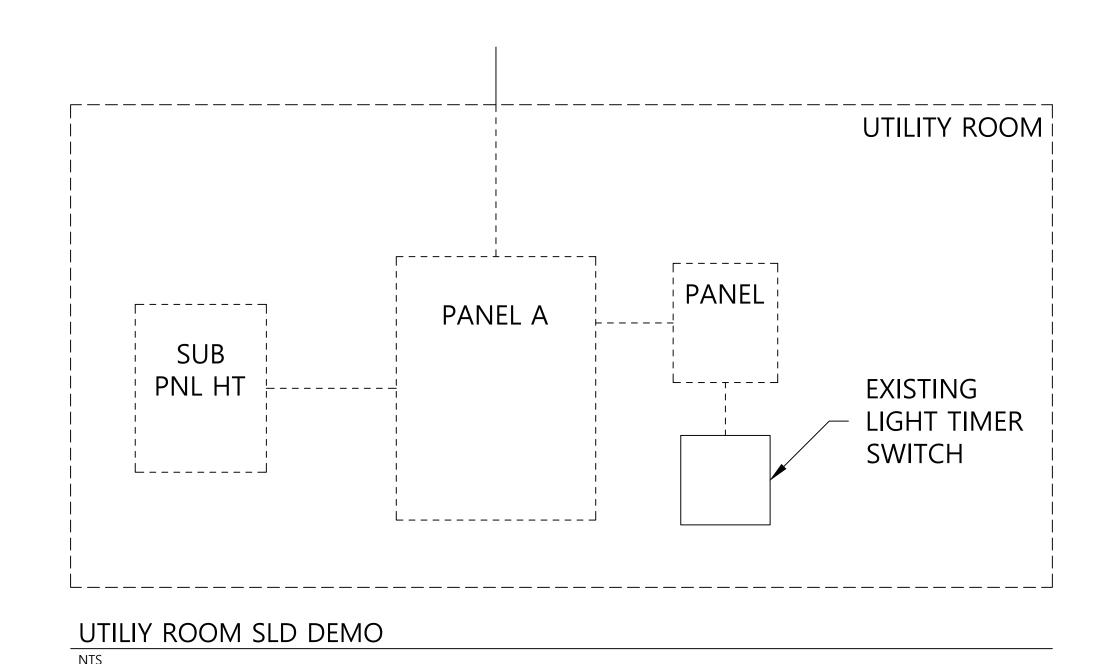
# AUTOMATIC DOOR WITH PUSH PLATE AND CARD READER OPERATION SCALE: NTS

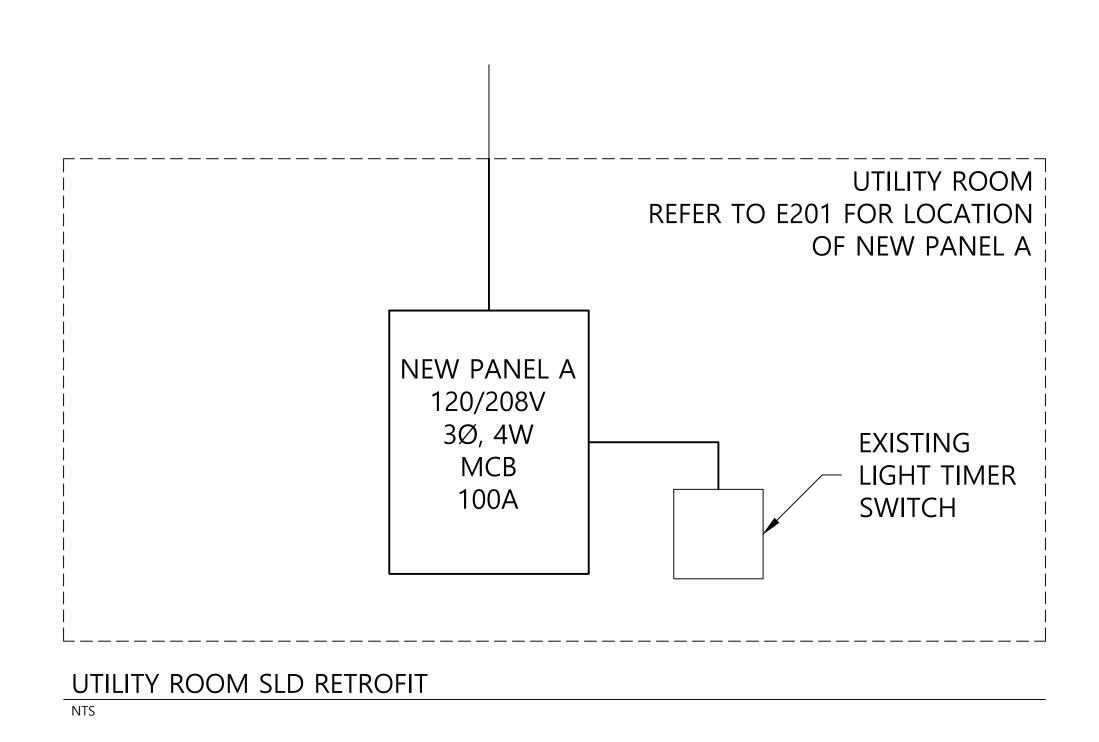


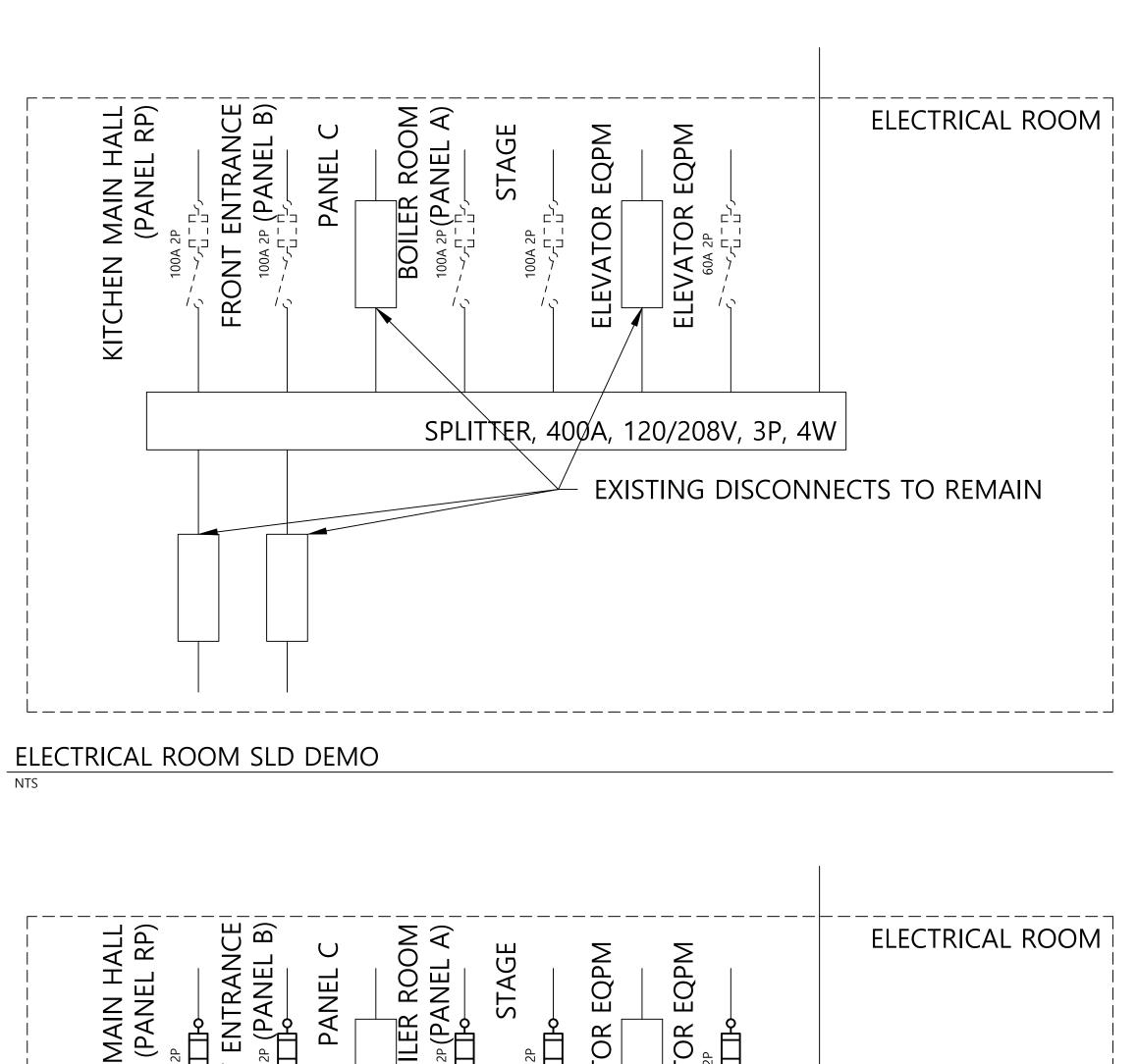
AUTOMATIC DOOR WITH PUSH PLATE OPERATION

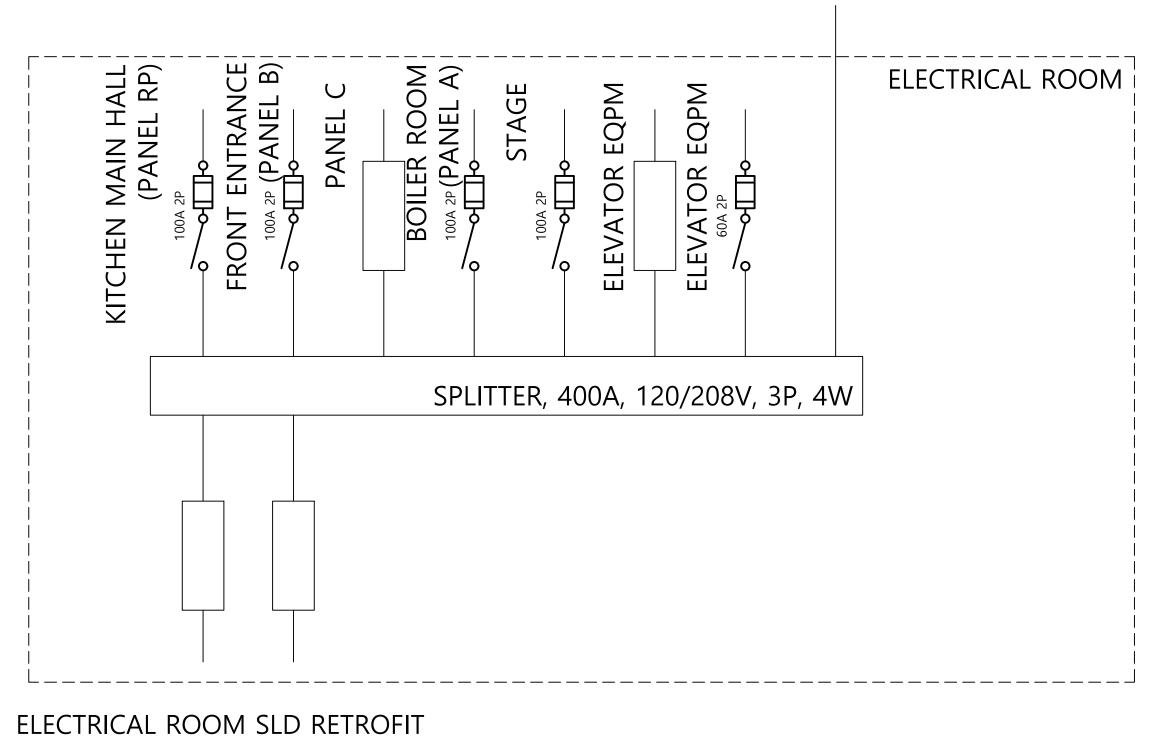
SCALE: NTS

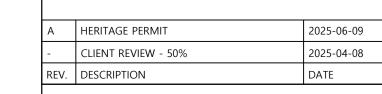














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CLIENT: CHERIE NG ARCHITECT INC.

OWNER:	CITY OF MISSISSAUGA 300 CITY CENTRE DRIVE MISSISSAUGA, ON L5B 3C1
SEAL	SEAL
DRA'	WINGS TO BE USED ONLY FOR INDICATED PURPOSES
SITE:	CLARKE MEMORIAL HALL 161 LAKESHORE RD W MISSISSAUGA, ONTARIO L5H 1G3
PROJECT:	CLARKE MEMORIAL HALL RENOVATION
TITLE:	ELECTRICAL

CHECKED:

AS STATED

SCALE AT ARCH D: